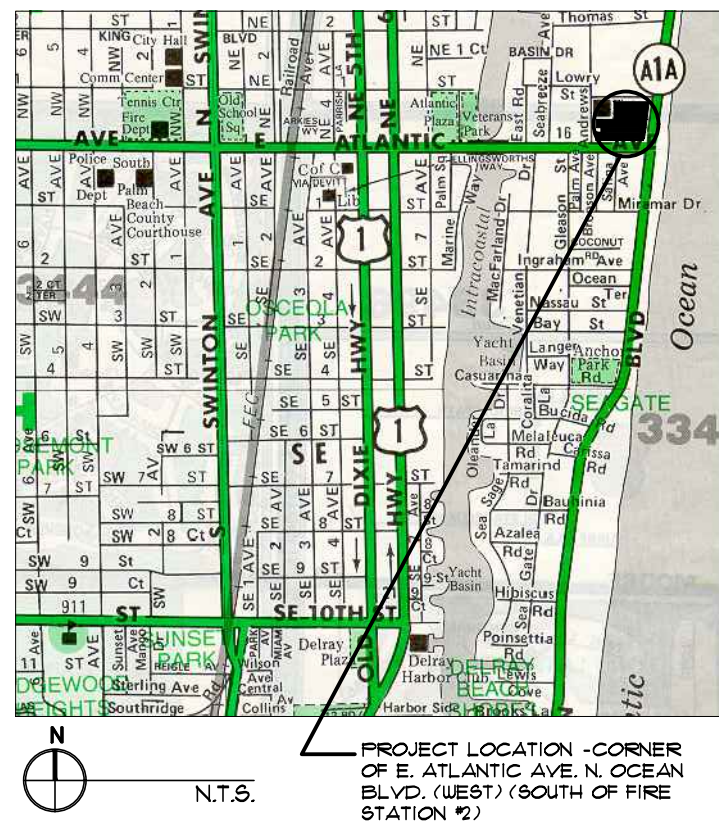


LOCATION MAP:



ADDITION AND RENOVATION:
PROPOSED PARKING:

PHASE III	1 STORY RESTAURANT EXPANSION PROPOSED RESTAURANT • 4,293 SQFT. • 6 SPACES/1000 SQFT. (REQUIRED) • 26 SPACES PROPOSED RELOCATED OUTDOOR SEATING • 2,152 SQFT. (NOTED: EXISTING 1000 SQFT. • 6 SPACES) ADDITIONAL 1152 SQFT. • 6 SPACES/1000 SQFT. • 1 SPACES TOTAL PARKING REQUIRED • 33 SPACES
PHASE III	1 STORY BANQUET/KITCHEN ADDITION PROPOSED KITCHEN ADDITION • NU CORNER/ 1282 SQFT. (NO ADDIT. PARKING REQUIRED).
PHASE III	EVENT DECK PROPOSED EVENT DECK • 3,943 SQFT. • 6 SPACES/1000 SQFT. (REQUIRED) • 24 SPACES PROPOSED GREEN BUFFER DECK • 1132 SQFT. (ASTRO TURF SURFACE NOT OCCUPIABLE SPACE) TOTAL DECK AREA: 5,075 SQ. FT.
PHASE IV	ELEVATOR- STAIR TOWER PROPOSED STREET-LEVEL ENTRY • 635-SQ.-FT. (TIE-IN TO FUTURE RETAIL GROUND FLOOR PHASE V) PROPOSED GROUND FLOOR TOWER • 1,741 SQ. FT. (TIE-IN WITH PROPOSED RESTAURANT EXPANSION PHASE III) PROPOSED MEZZANINE LEVEL • 229 SQ. FT. (TIE-IN WITH MEZZANINE HOTEL EXPANSION) PROPOSED EVENT DECK TOWER LOBBY • 876 SQ. FT. (TIE-IN WITH MEZZANINE HOTEL EXPANSION) PROPOSED 2ND FLR. ELEVATOR LOBBY • 556 SQ. FT. (TIE-IN WITH 2ND FLR. HOTEL EXPANSION) PROPOSED 3RD FLR. ELEVATOR LOBBY • 371 SQ. FT. (TIE-IN WITH FUTURE 3RD FLR. HOTEL EXPANSION)
PHASE V	THIS PERMIT RAISED POOL DECK W/ DRIVEWAY TUNNEL PROPOSED RAISED POOL DECK • 3,780 SQ. FT. (EXCAVATION AND RAMMING OF EXTG. DRIVEWAY) PROPOSED RAISED POOL DECK • 3,993 SQ. FT. (BUILD OVER PROPOSED DRIVEWAY TUNNEL) POOL EQUIPMENT ENCLOSURE • 400 SQ. FT.
PHASE VI	4 STORY COMMERCIAL/HOTEL GUEST SUITES ADDITION PROPOSED GROUND FLOOR RETAIL SPACE • 2,663 SQFT. • 45 SPACES/1000 SQFT. (REQUIRED) • 118 SPACES/ 12 SPACES PROPOSED (15) 4-STORY HOTEL GUESTROOM SUITES • SE CORNER (RANGING FROM 383 SQFT. TO 1,104 SQFT.) NOTE: (2) EXISTING HOTEL SUITES ELIMINATED IN EXISTING HOTEL FOR NEW HOTEL CONN. CORRIDOR • EXISTING HOTEL FLOORS 2ND & 3RD. • 7 SPACES/ROOM (REQUIRED) • (105 - 14 • 91) 10 SPACES
PHASE VI	TOTAL PARKING REQUIRED FOR HOTEL RENOVATION/ADDITION • 79 SPACES TOTAL PARKING REQUIRED FOR EXISTING HOTEL & HOTEL RENOVATION/ADDITION • EXISTING HOTEL (REQUIRED) • 383 SPACES EXTG. 2 STORY (8) CABANA SUITE (REQ.) • 6 SPACES PROPOSED HOTEL RENOV/ADDITION • 79 SPACES EXISTING PARKING 50 SPACE VARIANCE (JUNE 1930) • 489 SPACES 50 SPACES TOTAL EXISTING PARKING • 539 SPACES PHASE II PARKING CONDITION EXISTING H.C. PARKING • 2 SPACES EXISTING PARALLEL PARKING • 4 SPACES EXISTING STANDARD PARKING • 26 SPACES TOTAL SPACE ELIMINATED • 32 SPACES TOTAL EXISTING PARKING • 507 SPACES ADDITIONAL HC SPACE (PHASE II) • 1 SPACE TOTAL EXISTING PARKING • 508 SPACES PHASE III ADDITIONAL HC PARKING • 4 SPACE PARKING SPACE ELIMINATED AFTER CONVERTED TO ACCESSIBLE PARKING • 2 SPACE TOTAL PARKING • 506 SPACES PARKING REQUIRED EXISTING HOTEL • 371 SPACES REQUIRED INTERIOR RENOVATION (SPA & ADMIN) • 622 CREDIT SPACES PHASE II (CABANA SUITES, COURTYARD & RAMP) • 46 SPACES REQUIRED PHASE III (PROPOSED RESTAURANT EXPANSION) • 33 SPACES REQUIRED PHASE III (PROPOSED EVENT DECK) • 24 SPACES REQUIRED PHASE III (PROPOSED STAIR-ELEVATOR TOWER) • 10 SPACES REQUIRED PHASE IV (GROUND FLOOR RETAIL) • 12 SPACES REQUIRED PHASE IV (SOUTH WEST HOTEL EXPANSION) • 10 SPACES REQUIRED TOTAL OVERALL PARKING REQUIRED • 456 SPACES REQUIRED

ZONING:

CENTRAL BUSINESS DISTRICT

SITE:		
TOTAL SITE AREA	= +/- 202,180 SF.	100 %
EXISTING BASEMENT		
PARKING GARAGE	= 111,473 SF.	
EXISTING GROUND FLOOR	= 61,934 SF.	30.1 %
EXISTING MEZZANINE	= 4,098 SF.	
EXISTING SECOND FLOOR	= 31,411 SF.	
EXISTING THIRD FLOOR	= 31,241 SF.	
EXISTING FOURTH FLOOR	= 30,662 SF.	
EXISTING FIFTH FLOOR	= 30,402 SF.	
EXISTING PENTHOUSE SUITES	= 5,414 SF.	
TOTAL EXISTING BUILDING AREA	= 312,135 SF.	
EXISTING EASTSIDE EXPANSION		
(2 STORY HOTEL CABANA SUITES)		
EXISTING GROUND FLOOR	= 5,760 SF.	2.8 %
EXISTING SECOND FLOOR	= 5,417 SF.	
TOTAL EXISTING EASTSIDE ADDITION	= 11,177 SF.	
SOUTH EXPANSION (1 STORY RESTAURANT EXPANSION)		
PROPOSED GROUND FLOOR (RESTAURANT EXPANSION)	= 4,293 SF.	2.1 %
PROPOSED GROUND FLOOR (OUTDOOR DINING)	= 2,152 SF.	1.1 %
SOUTH EXPANSION (EVENT DECK)		
PROPOSED EVENT DECK	= 3,943 SF.	
PROPOSED GREEN BUFFER DECK (RESTAURANT EXPANSION)	= 1,132 SF.	
SOUTHEAST STAIR-ELEVATOR TOWER (4 STORY EXPANSION)		
PROPOSED TOWER STREET LEVEL (SERVING RESTAURANT, EVENT DECK & FUTURE 4 STORY RETAIL- HOTEL EXPANSION)	= 910 SF.	0.4 %
PROPOSED GROUND FLOOR TOWER (TIE-IN WITH PROPOSED RESTAURANT EXPANSION)	= 1,741 SQ. FT.	
PROPOSED MEZZANINE LEVEL (TIE-IN WITH FUTURE MEZZANINE HOTEL EXPANSION)	= 227 SQ. FT.	
PROPOSED EVENT DECK TOWER LOBBY (TIE-IN WITH FUTURE 2ND FLR. HOTEL EXPANSION)	= 876 SQ. FT.	
PROPOSED 2ND FLR. ELEVATOR LOBBY (TIE-IN WITH 2ND FLR. HOTEL EXPANSION)	= 227 SQ. FT.	
PROPOSED 3RD FLR. ELEVATOR LOBBY (TIE-IN WITH FUTURE 2ND FLR. HOTEL EXPANSION)	= 672 SQ. FT.	
EAST RAISED POOL DECK / DRIVEWAY TUNNEL PHASE VI		
PROPOSED RAISED POOL DECK	= 3,993 SF.	1.9 %
WESTSIDE EXPANSION (4 STORY COMMERCIAL/HOTEL GUEST SUITES)		
PROPOSED TOTAL GROUND FLOOR (RETAIL SPACES)	= 4,116 SF.	2.0 %
PROPOSED TOTAL MEZZANINE LEVEL (HOTEL SUITES)	= 3,851 SF.	
PROPOSED SECOND FLOOR (HOTEL SUITES)	= 3,630 SF.	
PROPOSED THIRD FLOOR (HOTEL SUITES)	= 3,703 SF.	
TOTAL BLDG. AREA	= 15,360 SF.	
TOTAL BUILDING FOOTPRINT	= 73,561 SF.	36.3 %
IMPERVIOUS	= 100,967 SF.	50.0 %
LANDSCAPE (PERV.)	= 22,806 SF.	11 %
LANDSCAPE (FUTURE PHASE IV RETAIL)	= 5,339 SF.	2.7 %
SETBACKS:		
SIDE INT.	0'-0"	N.A. EXISTING
FRONT	5'-0"/10'-0"	2'-5"/5'-0"/10'-0" (ALONG ATLANTIC AVE.)
REAR	10'-0"	N.A. EXISTING
SIDE STREET	5'-0"/10'-0"	8'-0" (ALONG ANDREWS AVE.)
ALLOWABLE HT.	48'-0"	

LEGAL DESCRIPTION

PARCEL 3, SEACREST HOTEL PROPERTY - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 84, PAGE 35 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LEGEND:

EXISTING & PHASE I & II COMPLETED	
PHASE V & VI (FUTURE PHASE) AREAS TO REMAIN "AS IS" OR CONVERTED TO OPEN SPACE - SEE LANDSCAPE PLAN	
PAVERS AS PER EXISTING CITY SPECIFICATIONS	
REMAINDER OF DRIVEWAYS TO BE ASPHALT - SEE CIVIL DWS.	

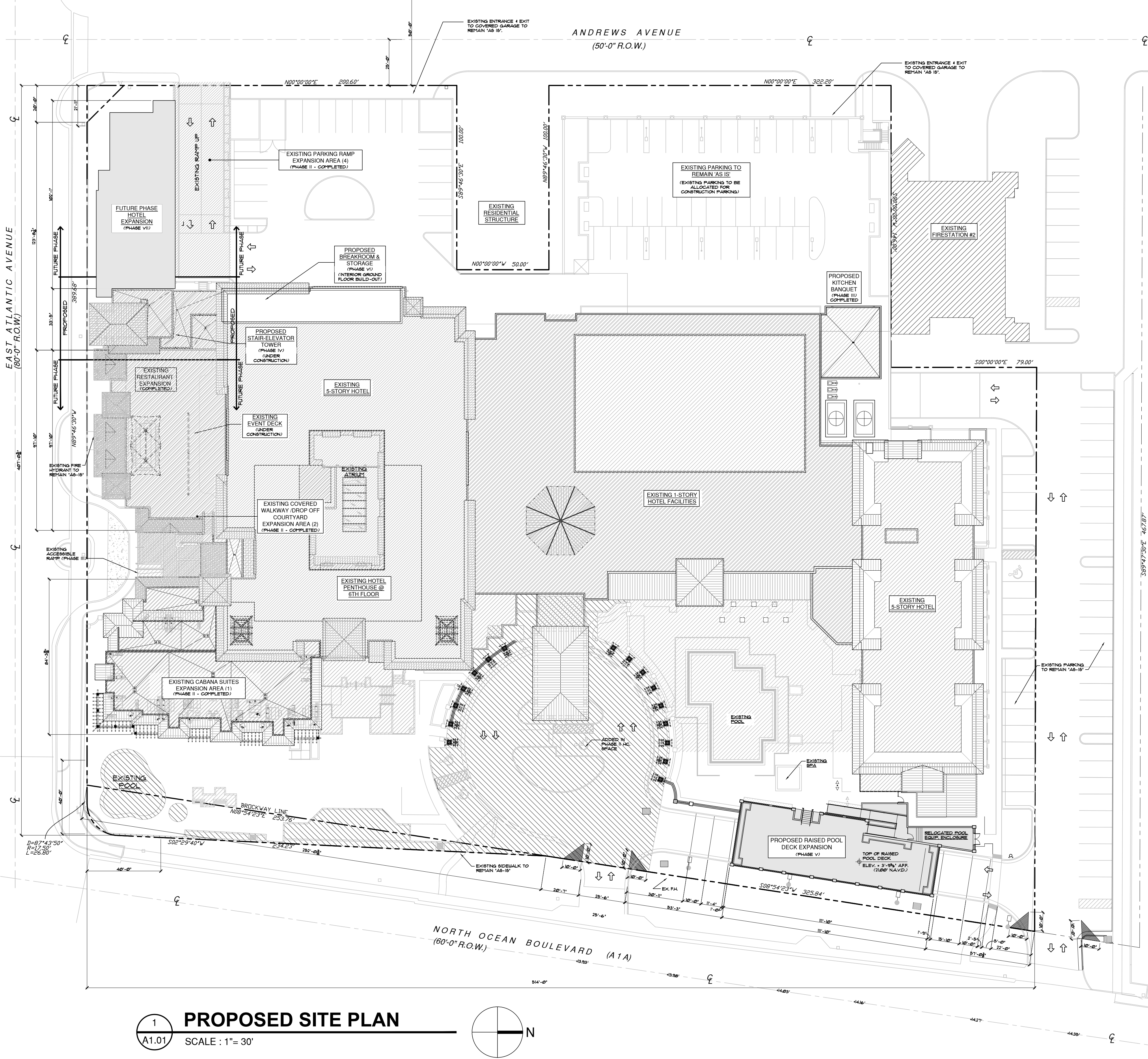
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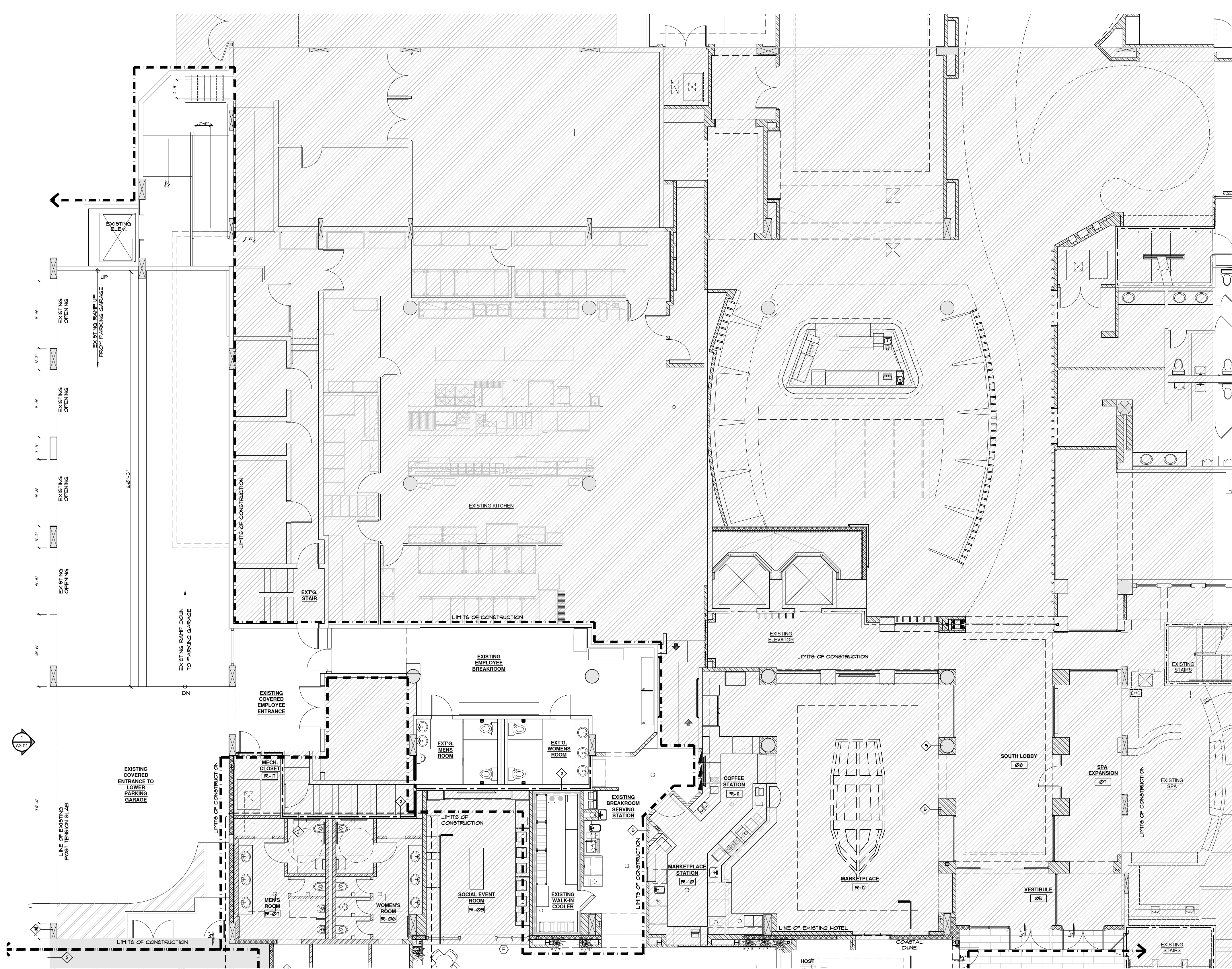
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. VERIFY ALL SLOPES OF PROPOSED SIDEWALKS W/ CIVIL DRAWINGS.

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)				
ROAD / BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)
ATLANTIC AVENUE (LOWER LEVEL)	FINISHED GRADE TO 37'-0" 391' LOT FRONTAGE	70% / 90%	10'-0" MAX.	278' / 351'
ATLANTIC AVENUE (UPPER LEVEL)	37'-0" TO 48'-0" 391' LOT FRONTAGE	70% / 90%	10'-0" MIN.	40' / 119'
		10% / 30%	5'-0" MIN.	391'-0"
		10% / 30%	5'-0" MIN.	40'-0" (10%)
ALLOWABLE MIN. BUILDING LENGTH				
278'-0" • 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
ALLOWABLE MAX. BUILDING LENGTH				
351'-0" • 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK				
283'-6" • 71.4%				
PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK				
49'-0" • 13.3 %				
REQUIRED: MIN. 25'-0"/48'-0" REQUIRED: 10 %				
PROVIDED: 42'-11" (ROOF DECK ABOVE AVG. CROWN OF RD.) PROVIDED: 11.3 %				
OPEN SPACE				

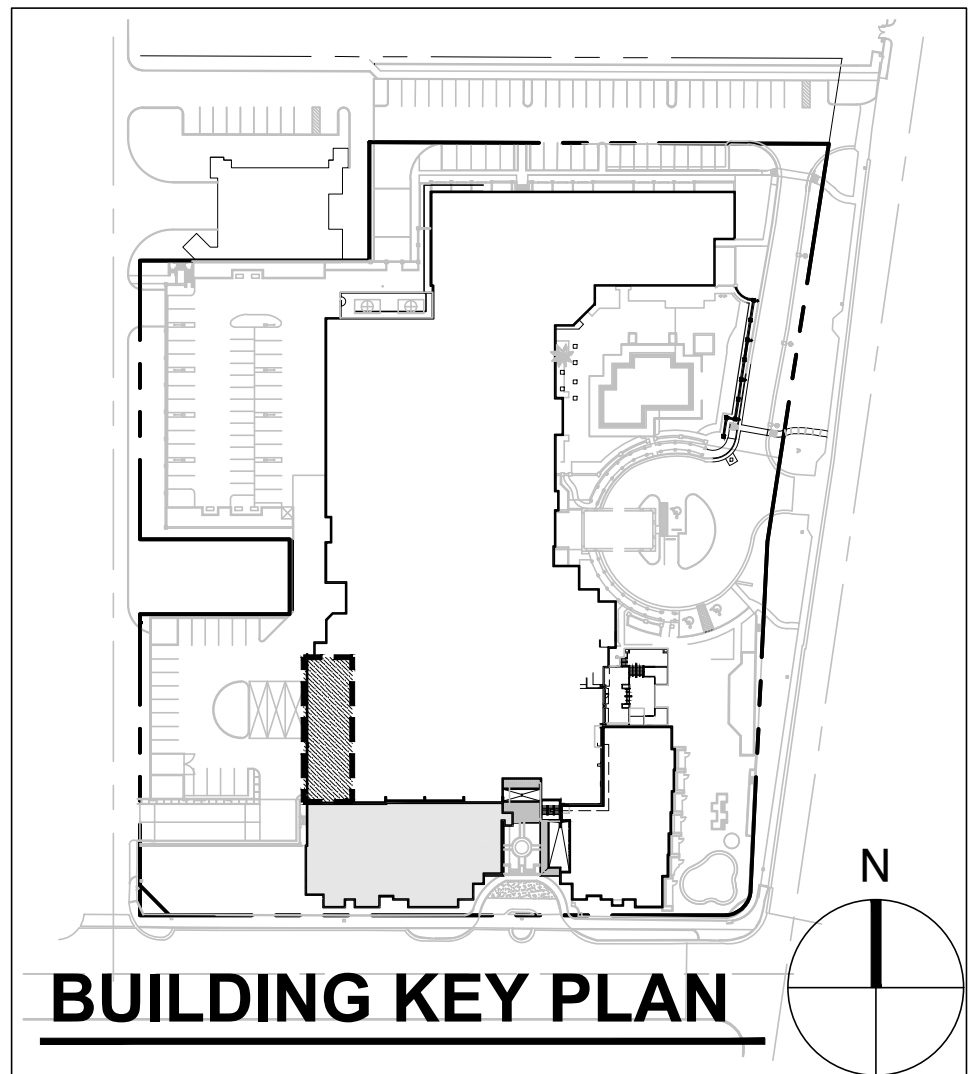
BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)				
ROAD / BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)
ANDREWS AVENUE	FINISHED GRADE TO 42'-11" 11'-4 7/8" LOT FRONTAGE	70% / 90%	10'-0" MAX.	54' / 10'
		10% / 30%	15'-0" MIN.	23' / 1'
		10% / 30%	23' / 1'	26'-6"
ALLOWABLE MIN. BUILDING LENGTH				
54'-0" • 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
ALLOWABLE MAX. BUILDING LENGTH				
10'-0" • 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK				
12'-0" • 15.6%				
PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK				
26'-6" • 34.4 %				
REQUIRED: MIN. 25'-0"/48'-0" REQUIRED: 10 %				
PROVIDED: 42'-11" (ROOF DECK ABOVE AVG. CROWN OF RD.) PROVIDED: 11.3 %				
OPEN SPACE				

BUILDING FRONTAGE HEIGHT SETBACK (AS PER TABLE 4.3.4(K) L.D.R.)				
ROAD / BUILDING SIDE	BUILDING HEIGHT (FEET)	% BUILDING FRONTAGE (MIN. / MAX.)	REQUIRED SETBACK (FEET)	REQUIRED BUILDING FRONTAGE AT SETBACK (FEET)
NORTH OCEAN BLVD.	FINISHED GRADE TO 37'-0" 391' LOT FRONTAGE	70% / 90%	10'-0" MAX.	353' / 454'
		10% / 30%	15'-0" MIN.	15' / 50'
		10% / 30%	15'-0" MIN.	478'-0"
ALLOWABLE MIN. BUILDING LENGTH				
353'-0" • 70% MIN. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
ALLOWABLE MAX. BUILDING LENGTH				
454'-0" • 90% MAX. BUILDING FRONTAGE SHALL BE CONSTRUCTED WITHIN THE ALLOWABLE 5'-0" & 10'-0" SETBACKS.				
PROPOSED BUILDING LENGTH WITHIN THE ALLOWABLE 5'-0" & 10'-0" FRONT SETBACK				
0'-0" • 0%				
PROPOSED BUILDING LENGTH A MIN. OF 15'-0" FRONT SETBACK				
478'-0" • 100 %				
REQUIRED: MIN. 25'-0"/48'-0" REQUIRED: 10 %				
PROVIDED: (TOP OF CABANA SUITES) PROVIDED: 11.3 %				
OPEN SPACE				





1 EXISTING GROUND FLOOR PLAN
A2.01E SCALE : 1/8"=1'-0" (FOR REFERENCE ONLY)



WALL LEGEND

- EXISTING WALLS, WINDOWS & DOORS TO BE RETAINED
- EXISTING RATED TEMPORARY CONSTRUCTION PARTITION WALLS & DOORS TO BE REMOVED
- EXISTING 4" TO 6" INTERIOR DRYWALL PARTITION TO REMAIN "AS IS"
- EXISTING 6" TO 8" F.I.P. CONC. WALL TO REMAIN (FIELD VERIFY IF WALL IS FURRED OUT TO ACCOMMODATE REQ. INTERIOR DIMENSIONS)
- 3/4" 2-COAT STUCCO FIN. PAINTED ON 6"-8" CONCRETE BLOCK W/ 1" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1.5" MTL. Furring @ 24" O.C. W/ R4.1 FI FOIL BACKED INSULATION BETWEEN FURRING CHANNELS & DRYWALL-TYP. @ EXTERIOR WALL
- 4" TO 6" INTERIOR (NON-LOAD BEARING PARTITION) W/ 3/4" 25 GA. MTL. STUDS @ 24" O.C. (SEE DIM. P.L.R. PLANS FOR ACTUAL WALL THICKNESS) (M.R. DRYWALL @ JUICE BAR 5/8" DENS-SHIELD BEHIND TILE). (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING M.R. DRYWALL CEILINGS, TYP.) - LEVEL IV (M.R. RATED NON-LOADING PARTITIONS TO BE UL-419S OR EQUAL)
- 3/4" 2-COAT STUCCO FIN. PAINTED ON 6"-8" CONCRETE BLOCK BOTH SIDES TYP. @ DROP-OFF AREA ENTRY WALL
- 6"-8" CONCRETE BLOCK W/ EXTERIOR FACE TO RECEIVE CULTURED STONE VENEER. INTERIOR TO BE EXPOSED BLOCK - TYP. @ DROP-OFF CANOPY COLUMNS
- TEMPORARY 4" INTERIOR CONSTRUCTION WALL (NON-LOAD BEARING PARTITION) W/ 3/4" 25 GA. MTL. STUDS @ 24" O.C. TO RECEIVE 1" S.W.S. AT HOTEL LOBBY SIDE LEVEL IV (NON-LOADING PARTITIONS)
- EXISTING STRUCTURAL COLUMN TO REMAIN "AS IS"
- 1" GWB TYPE 'X' - PAINTED ON 600S162-54 STRUCTURAL STUDS @ 16" O.C. W/ 3/4" MONOKOTE MK-67 FIRE PROOFING BY WR GRACE OR EQUAL - 3" ROCK WOOL INSULATION (NOTE: ADHESIVE SPRAY REQUIRED FOR MONOKOTE MK-67) - EXT. SIDE TO RECEIVE 7/8" 3-COATS TEXTURED STUCCO FINISH ON PAPER BACKED METAL LATH OVER TYVEK® (COMMERCIAL) STUCCO WRAP OVER 5/8" DENS SHIELD - TYPE 'X' BOARD

WINDOW NUMBER
DOOR NUMBER

LIMITS OF CONSTRUCTION

NOTE:
1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR P.T. WOOD BLOCKING.
2. ALL LOBBY AND BATHROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED WALLS TO RECEIVE 5/16" "DUROCK" BACKING OR EQUAL.
4. ALL EXTERIOR WALLS TO RECEIVE CORE FILL 90 INSULATION.
5. ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIER, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AS PER 2015 INTERNATIONAL BUILDING CODE.

EXISTING AREA THAT WILL BE AFFECTED BY BREAK ROOM EXPANSION

- EXISTING DRIVEWAY RAMP 1360 S.F.
- EXISTING COVERED RAMP/ SERVICE ENTRY 980 S.F.
- EXISTING BREAKROOM 424 S.F.
- TOTAL EXISTING AREA UNDER DEVELOPMENT 2342 S.F.



architecture, planning and design

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ISSUED FOR	PERMIT
BIDS	
PERMIT	3821
CONSTRUCTION	

PROJECT TITLE
**OPAL GRAND
EMPLOYEE
BREAKROOM &
STORAGE
(BUILD OUT)**

10 N. OCEAN BLVD.
DELRAY BEACH, FL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION,
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REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER
312A201_E

DRAWING TITLE

**EXISTING
GROUND FLOOR
PLAN (FOR REF.
ONLY)**

DATE
02.11.22

DRAWN BY
GE/JC

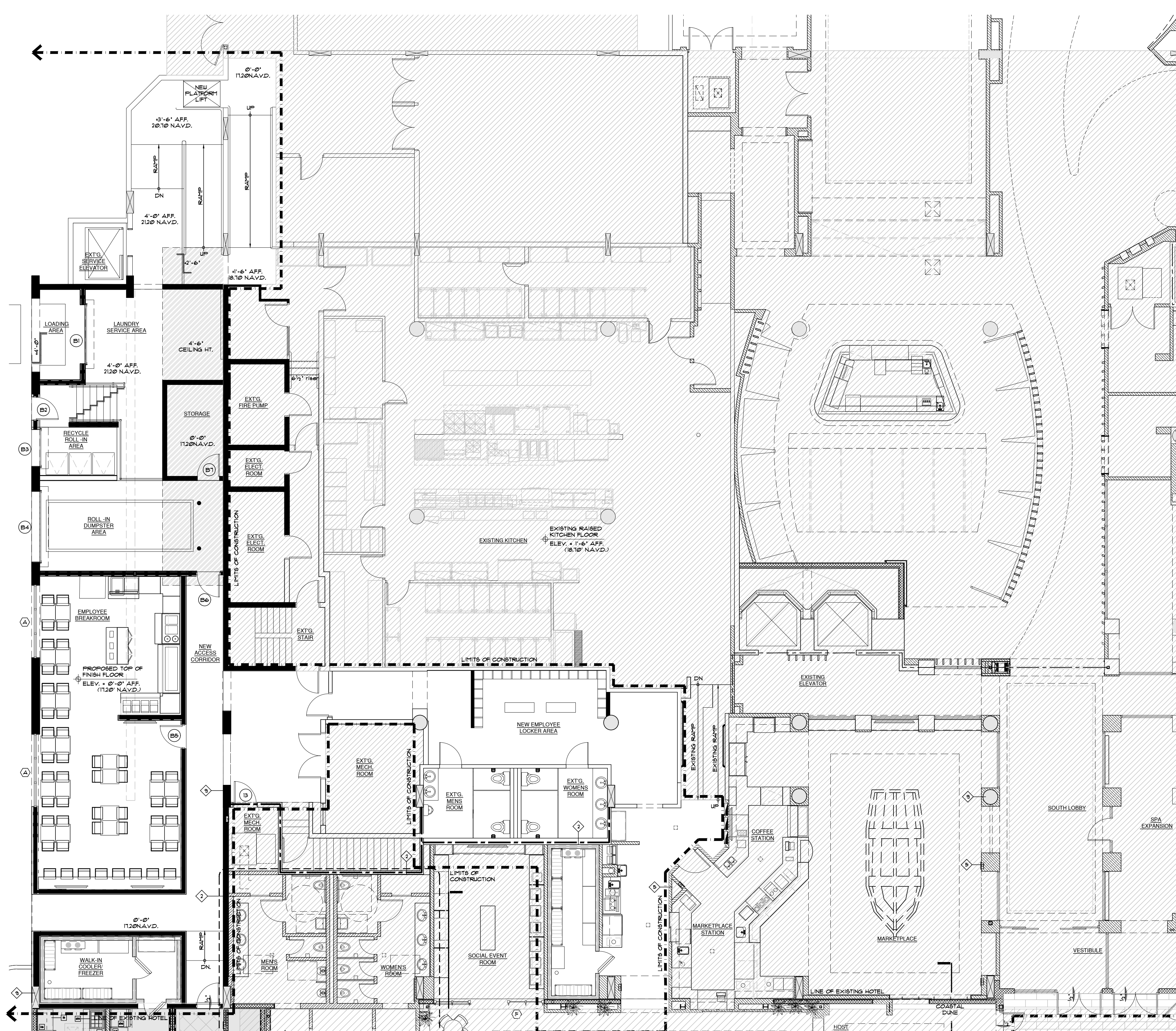
JOB NUMBER
20190312

DRAWING NUMBER

A2.01E

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WALL LEGEND

EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.

EXISTING RATED TEMPORARY CONSTRUCTION PARTITION WALLS & DOORS TO BE REMOVED.

EXISTING 4' TO 6' INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.

EXISTING 6' TO 8' P.I.P. CONC. WALL TO REMAIN. FIELD VERIFY IF WALL IS TURNED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS.

3/4" 2-COAT STUCCO FIN. PAINTED ON 6'-8" CONCRETE BLOCK w/ 3/4" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 1/8" HT/L FURRING # 24 O.C. w/ R41 FI POLY BACKED INSULATION BETWEEN FURRING CHANNELS & DRYWALL-TYP. # EXTERIOR WALL.

4' TO 6' INTERIOR (NON-LOAD BEARING PARTITION) w/ 3/4" 25 GA HT/L STUDS # 24' O.C. (SEE DIM. FLR PLANS FOR ACTUAL WALL THICKNESS) 1/2" DRYWALL # JUICE BAR 5/8" DENS-SHIELD BEHIND TILE (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING 1/2" DRYWALL. CEILING(S) TYP.) - LEVEL IV (HR RATED NON-LOADING PARTITIONS TO BE UL-K145 OR EQUAL).

3/4" 2-COAT STUCCO FIN. PAINTED ON 6'-8" CONCRETE BLOCK BOTH SIDES TYP. # DROP-OFF AREA ENTRY WALL.

6'-8" CONCRETE BLOCK w/ EXTERIOR FACE TO RECEIVE CULTURED STONE VENEER. INTERIOR TO BE EXPOSED BLOCK - TYP. # DROP-OFF CANOPY COLUMNS.

TEMPORARY 4' INTERIOR CONSTRUCTION WALL (NON-LOAD BEARING PARTITION) w/ 3/4" 25 GA HT/L STUDS # 24' O.C. TO RECEIVE 3/4" G.I.B. AT HOTEL LOBBY SIDE LEVEL IV (NON-LOADING PARTITIONS).

EXISTING STRUCTURAL COLUMN TO REMAIN 'AS IS'.

3/4" G.I.B. TYPE 'X' - PAINTED ON 6009162-04 STRUCTURAL STUDS # 16' O.C. w/ 3 1/4" MONOKOTE MK-6 FIRE PROOFING BY UR GRACE OR EQUAL - 3" ROCK WOOL INSULATION (NOTE: ADHESIVE SPRAY) REQUIRED FOR MONOKOTE MK-6' - EXT. SIDE TO RECEIVE 1 1/4" 3-COAT TEXTURED STUCCO FINISH ON PAPER BACKED METAL LATH OVER TYVEK (COMMERCIAL) STUCCO WRAP OVER 5/8" DENS SHIELD - TYPE 'X' BOARD.

EXISTING AREAS TO REMAIN 'AS IS'.

EXISTING UNDERSIDE OF MEZZANINE STORAGE.

B

WINDOW NUMBER

2

DOOR NUMBER

LIMITS OF CONSTRUCTION

NOTE:

1. ALL INTERIOR WALLS w/ CABINETS TO BE PROVIDED w/ 1/2" PLYWOOD OR P.T. WOOD BLOCKING.

2. ALL LOBBY AND BATHROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).

3. ALL TILED WALLS TO RECEIVE 5/8" DUROCK BACKING OR EQUAL.

4. ALL EXTERIOR WALLS TO RECEIVE CORE FILL 800 INSULATION.

5. ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SPOKE BARRIER, SPOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING "FIRE AND SPOKE BARRIER - PROTECT ALL OPENINGS" AS PER 2019 INTERNATIONAL BUILDING CODE.

EXISTING AREA THAT WILL AFFECTED BY BREAK ROOM EXPANSION

• EXISTING DRIVEWAY RAMP

• EXISTING COVERED RAMP/ SERVICE ENTRY

• EXISTING BREAKROOM

TOTAL EXISTING AREA UNDER DEVELOPMENT

• 1580 SF.

• 992 SF.

• 424 SF.

• 2,942 SF.

PROPOSED BREAK ROOM EXPANSION

PROPOSED NEW EMPLOYEE BREAK ROOM

PROPOSED NEW RECYCLE COLLECTION AREA

PROPOSED NEW DUMPSTER ENCLASURE

PROPOSED NEW STORAGE ROOM

PROPOSED NEW LAUNDRY LOADING

PROPOSED NEW LAUNDRY SERVICE AREA

PROPOSED NEW SERVICE CORRIDOR

PROPOSED NEW WALK-IN FREEZER

PROPOSED NEW EMPLOYEE LOCKER ROOM

TOTAL EXISTING AREA UNDER DEVELOPMENT

• 922 SF.

• 84 SF.

• 323 SF.

• 12 SF.

• 98 SF.

• 390 SF.

• 493 SF.

• 206 SF.

• 424 SF.

• 2,942 SF.

1

PROPOSED GROUND FLOOR NOTED PLAN

A2.02N

SCALE : 1/8"=1'-0"

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FILE NUMBER
312A202_N

DRAWING TITLE
PROPOSED
GROUND FLOOR
NOTED PLAN

DATE
02.11.22

DRAWN BY
GE/JC

JOB NUMBER
20190312

DRAWING NUMBER

A2.02_N

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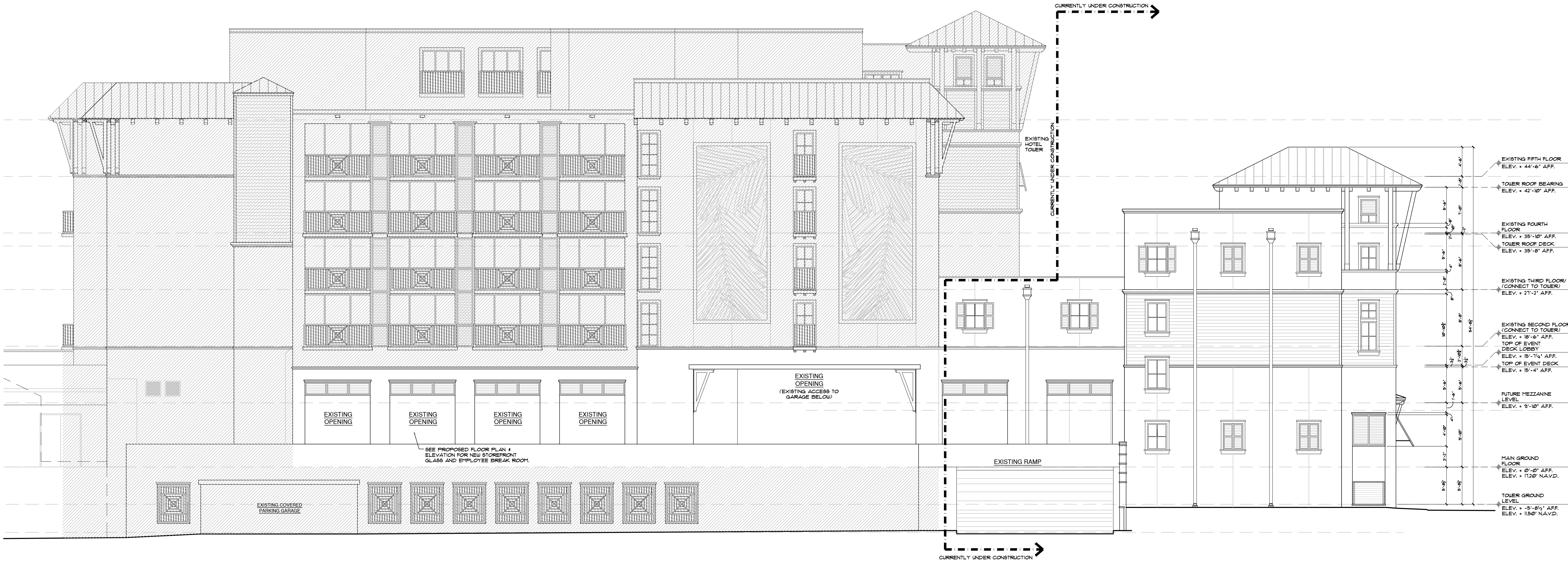
CONSTRUCTION

PROJECT TITLE
OPAL GRAND
EMPLOYEE
BREAKROOM &
STORAGE
(BUILD OUT)

10 N. OCEAN BLVD.
DELRAY BEACH, FL

REVISIONS

5/2/2022 11:53:43 AM



1
A3.00E EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0" (FOR REFERENCE ONLY)

ELEVATION NOTES

- 01 STANDING BEAM ROOFING SYSTEM (DREXEL METALS) - DMC155 W/ 3/4" HIGH 150# BEAM W/ 240# ALUM. ALLOY #505-H14 PANELS W/ SANDSTONE RSR 54" KYNAR 500 FIN. BY "METCO ROOFING" OR EQUAL, OVER (1) LAYER OF HT. "MESHIELD" - "HIGH THERM-PEEL-N-STICK", (1) LAYER #50 FELT T.T. TO 3/4" APA FIRE RATED EXT. GRADE PLYWOOD SHEATHING (TYP.).
- 02 5 1/2" EXPOSED FIRE-TREATED P.T. "PERFECTION" WOOD SHINGLE ROOF ON "CEDAR BREATHERS" SPACERS OVER "TU-PLUS" BELT ADHERING UNDERLAYMENT ON (1) LAYER #50 FELT T.T. TO 3/4" APA FIRE RATED EXT. GRADE PLYWOOD SHEATHING (TYP.).
- 03 CONT. DRIP EDGE ON CONT. P.T. 1 x 2 ON CONT. 2 x 6 SMOOTH CLEAR CEDAR FASCIA - PAINTED (NOTE: DRIP EDGE TO BE COMPATIBLE WITH ROOFING SYSTEM).
- 04 CONTINUOUS 3-STEP RAISED DECORATIVE STUCCO PARAPET BANDING WITH SMOOTH PAINTED FINISH. CONTRACTOR TO PROVIDE SAMPLES OF ALL BANDING FOR APPROVAL.
- 05 CONT. RAISED 2-STEP SMOOTH STUCCO BAND W/ 2 1/4" x 1" PROJ. TOP 4 2 1/4" x 1" PROJ. BOTTOM - PAINTED.
- 06 7/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH- PAINTED (NOTE: APPLY SCRATCH DIRECTLY TO BLOCK PRIOR TO LAPSIDING PVC TRIM) (TYP.). - SEE APPLICATION FOR FRAMED EXTERIOR WALLS.
- 07 2" x 4" SMOOTH STUCCO - PAINTED (TYP. # ALL CORNERS, DOORS AND WINDOW SURROUNDS).
- 08 2-COAT 5/8" LIGHT SMOOTH STUCCO FINISH. PAINTED TYP. (NOTE: ENTIRE BUILDING (NEW AND EXISTING) TO RECEIVE SMOOTH STUCCO FINISH).
- 09 3/4" SMOOTH STUCCO SCORE LINES - SEE ELEVATION FOR LOCATIONS & PATTERN - PAINTED.
- 10 9" EXTERIOR FRAMED WALL W/ 3/4" 3-COATS SMOOTH STUCCO FINISH ON PAPER BACKED METAL LATH OVER "TYVEK" (COMMERCIAL) STUCCO WRAP OVER 1/4" DENS GLASS - TYPE "X" BOARD ON 6006162-54 STRUCTURAL STUDS # 16" O.C. W/ 3 3/4" MONOKOTE MK-6" FIRE PROOFING BY UR GRACE OR EQUAL.
- 11 CUSTOM FABRICATED DECORATIVE BRACKET "CELLFOAM" HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING & LIMESTONE ACRYLIC POLYMER FINISH COAT BY "FINESTONE" OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ "DOU ENERFOAM" FOAM SEALANT.
- 12 ALL STUCCO HAIR LINE CRACKS TO BE FILLED PRIOR TO PAINTING. STUCCO CONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL FOR TEXTURE.
- 13 (2) LAYER STEP SILL BANDING 2" dp. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 6" dp. W/ 3/4" PROJECTION # STUCCO) - PAINTED (TYP. # WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- 14 (2) LAYER STEP STUCCO HEADER BANDING 2" dp. W/ 2" TOP PROJECTION & LOWER BAND 4" dp. W/ 1" BOTTOM PROJECTION - PAINTED (TYP. # DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- 15 CONT. 2" dp. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" dp. W/ 3/4" PROJECTION # STUCCO) TYP. AT EVENT DECK PARAPET & TOWER WINDOWS.
- 16 4" dp. W/ 2" PROJECTION SMOOTH STUCCO BANDING & (2) LAYERS OF LOWER BANDING EA. 2" dp. W/ 3/4" PROJECTION # STUCCO LAP SIDING & STUCCO).
- 17 CONT. 1" TH. x 4" HT. SMOOTH RAISED STUCCO BANDING AT WINDOW AND DOOR SURROUNDS. (NOT APPLICABLE)
- 18 RAISED 2-STEP SMOOTH STUCCO HEADER BAND W/ 2 1/4" x 1" PROJ. TOP 4 2 1/4" x 1" PROJ. BOTTOM - PAINTED.
- 19 CUSTOM FABRICATED DECORATIVE ALUM. LOUVERED PANEL SPANDREL BY "HARDIE BOYS" OR EQUAL - CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL (VERIFY COLOR W/ OWNER / HOTEL).
- 20 ALUMINUM GUARDRAIL W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN. 42" W/ CLEAR LEXAN PANEL (BOTTOM RAIL MAX. 2" AFF. - TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE BY "AMF BUILDING PRODUCTS" OR EQUAL. (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2012 EDITION) - SEE ELEVATIONS FOR VARIOUS STYLES.
- 21 NOT USED
- 22 NOT USED
- 23 NOT USED
- 24 CUSTOM FABRICATED ALUM. BRACKET W/ CORBEL BASE BY "AMF" OR EQUAL. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL. (NOT APPLICABLE)
- 25 6" x 6" x 20" DECORATIVE OUTRIGGERS (PROFILE RT4620-2) BY "HARDIE BOYS" OR EQUAL - PAINTED - ON 1" x 6" TAG OR V-GROOVE 1/4" (3) COAT SMOOTH STUCCO SOFFIT (PAINTED) - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 26 4" x 6" x 20" DECORATIVE OUTRIGGERS (PROFILE RT4620-2) BY "HARDIE BOYS" OR EQUAL - PAINTED - ON 1" x 6" TAG OR V-GROOVE 1/4" (3) COAT SMOOTH STUCCO SOFFIT (PAINTED) - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 27 6" x 6" x 44" DECORATIVE BRACKETS - PAINTED (TOP OF BRACKET PROFILE RT-4801) W/ 6" x 6" ANGLE SUPPORT W/ 2" x 6" x 42" BL. BACK PLATE 4 - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 28 ALL EXTERIOR STUCCO CEILINGS/SOFFITS TO BE COVERED W/ 3/8" THK. 3-COATS SMOOTH STUCCO FINISH ON 3/4 H-RIB GALV. METAL LATH PAINTED - (TYP.).
- 29 ALUMINUM DECORATIVE GUARDRAIL W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN. 42" W/ HORIZONTAL STAINLESS STEEL TRUSSES SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2" AFF. - TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE BY "AMF" OR EQUAL. (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2012 EDITION).
- 30 TOP CONCRETE ROOF DECK TO RECEIVE "SIKA ROOF PRO" #24 RESIN WATERPROOFING SYSTEM OR EQUAL. (ENTIRE ROOF DECK). CONTRACTOR TO PROVIDE 1 HR. PROTECTION AT UNDERSIDE OF STRUCTURAL STEEL DECK AND FRAMING W/ SPRAY ON FIRE PROTECTION AS REQ. PER UR GRACE - CONSTRUCTION PRODUCTS- "MONOKOTE" OR EQUAL.
- 31 ALL NON-SLIP CONC. PAVERS TO BE SELECTED AND APPROVED BY INTERIOR DESIGNER & HOTEL. & SHALL BE HIDESET OVER "SIKA ROOF PRO" #24 RESIN WATERPROOFING SYSTEM OR EQUAL. (ENTIRE CONCRETE DECK).
- 32 8" DECORATIVE LOUVERED SPANDREL BY "HARDIE BOYS" - PAINTED. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 33 DECOR. ALUM. WINDOW SHUTTERS TO HAVE 2" X SPACERS # REAR FOR PROTECTION FROM BUILDING. AS PER "AMF" OR EQUAL (COLOR BRONZE).
- 34 4" MIN. (45° ANGLE) FIBER CONT. CANT STRIP - (TYP. # PERIMETER WHERE ROOF ABUTS VERTICAL WALLS) - SEE ROOF PLAN AND SPECIFICATIONS.
- 35 SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER/HOTEL). ALL EXTERIOR FIXTURES TO BE FULLY SHIELDED TO MEET FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION STANDARDS W/ YELLOW LONG WAVELENGTH BUS TUBE BULBS OR LOW-PRESSURE SODIUM (LPS).
- 36 HOSE BIB W/ VACUUM BREAKER - SEE PLUMBING PLAN.
- 37 DECORATIVE FIXED ALUMINUM BAHAMA SHUTTERS SET IN A 45 DEGREE OPEN POSITION W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) BY "AMF" OR EQUAL.
- 38 "RG31" - "BRONZE" - ALUM. WINDOW ALUM. WINDOWS (COLOR BRONZE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS W/ REAR OF GLASS PAINTED BLACK SET IN RECESSED STRUCTURAL METAL STUD WALL.
- 39 "ALDORA" STOREFRONT ENTRY ASSEMBLY W/ TRANSBOM-IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE (ALL "RG31" STOREFRONT ENTRY TO BE PROVIDED W/ ADA COMPLIANT HARDWARE AND THRESHOLD W/ MAX. HT. NOT EXCEEDING 1/2").
- 40 RG1 - FIXED FAUX ALUM. WINDOW - COLOR BRONZE - TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS W/ REAR OF GLASS PAINTED BLACK - SET RECESSED WITHIN THE STRUCTURAL METAL STUD WALL.

LIGHT FIXTURES	
◆ "FRESCOLITE" 4" LED WALL MOUNT CYLINDER LUMINAIRE (COLOR BRONZE)	
-ALL EXTERIOR LUMINAIRES W/ ATTAGE TO BE BETWEEN 30 TO 50 WATTS (NOT TO EXCEED 50 WATTS)	
-ALL EXTERIOR LUMINAIRES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES	
ALL LIGHT FIXTURES TO BE "DEP COMPATIBLE" AND APPROVED BY HOTEL / ARCHITECT.	
PAINT LEGEND	
● ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE OR SHERWIN WILLIAMS SPECIFICATIONS.	
P-1	ACADIA WHITE #AC-41 (MAIN BUILDING SMOOTH STUCCO AREAS)
P-2	BERKSHIRE BEIGE #IC-2 (LAP SIDING)
P-3	BRIGHT WHITE WOOD TRIM, COLUMNS & BANDING
P-4	TUDOR BROWN #E-62 WOOD TRIM, COLUMNS, OUTLOOKERS, BRACKETS & GABLE ENDS.
P-5	"RG31" - "BRONZE" - KYNAR 500 (STANDING BEAM METAL ROOF)
P-6	"PERFECTION" WOOD CEDAR SHINGLE ROOF
P-7	STONINGTON GRAY #IC-110 (SCORE LINE BASE)
NOTE:	
1. ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO APPROVE SAMPLES FOR HOTEL APPROVAL.	
2. ALL STUCCO TO BE MIXED W/ "XTREME ADMIX 1000" OR EQUAL.	
3. ALL STUCCO HAIR LINE CRACKS TO BE FILLED PRIOR TO PAINTING. STUCCO CONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL FOR TEXTURE.	

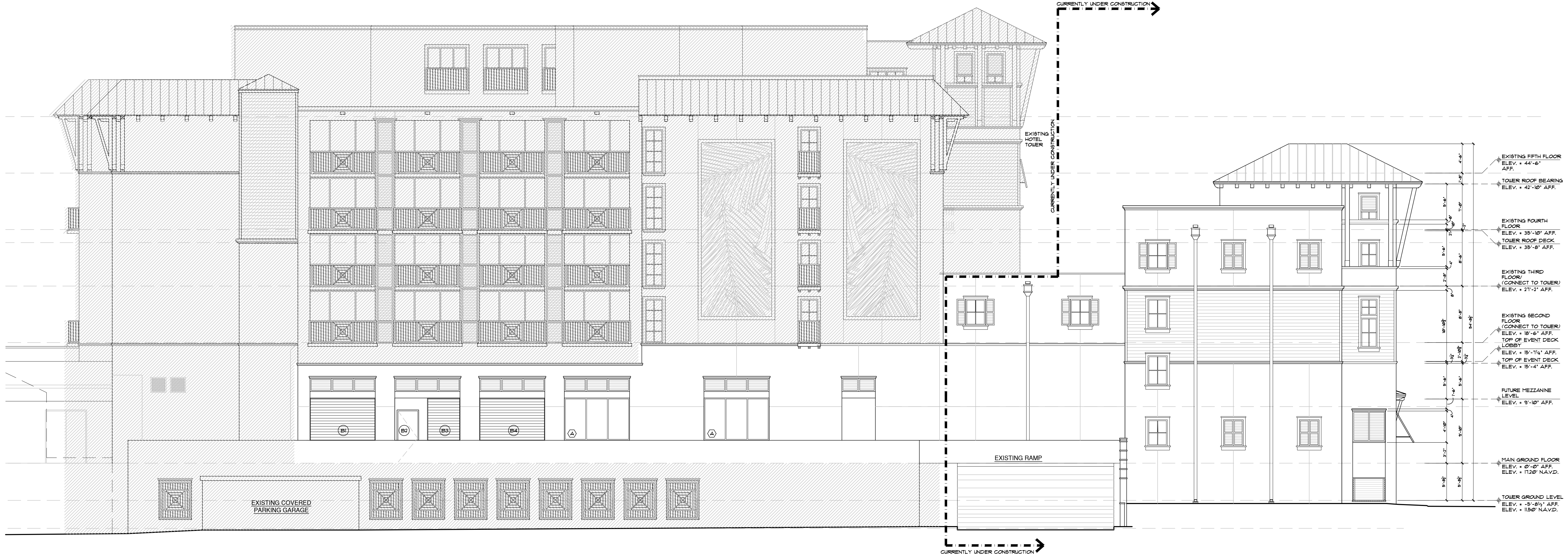
NOMINAL WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS				
EFFECTIVE AREA (ft) ²	ZONE 4		ZONE 5	
	(-) POSITIVE	(-) NEGATIVE	(-) POSITIVE	(-) NEGATIVE
1 TO 20	42.0	-45.5	42.0	-56.0
21 TO 50	39.8	-43.3	39.8	-52.1
51 TO 100	37.1	-41.2	37.1	-47.3
101 TO 500	35.8	-39.3	35.8	-43.6
51 TO 2500	34.1	-38.2	34.1	-42.1

ZONE 5 IS 6'-0" WITHIN ANY CORNER OF THE BLDG. ALL OTHER AREAS ARE ZONE 4

EXTERIOR STUCCO:

- METAL LATH APPLICATION:
1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPE AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
 2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
 3. DAPPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE. FINISHED AS APPROVED BY OWNER.
 4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
 7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
 8. ALL SHAPE BOARD SHALL BE CELLOFOAM SHAPE FORMS WITH CELLOFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFOAM EPS INSULATION ASTM-C678.
 9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT, BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS. ENERFOAM SEALANT ASTM-C203.
 10. APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061 - FOR A TOUGH MEMBRANE IS REQUIRED. APPLY FOR HOLD SPRAYING, HOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.

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NOT INCLUDED IN THIS PHASE.

1 PROPOSED WEST ELEVATION

A3.01 SCALE: 1/8"=1'-0"

ELEVATION NOTES

- STANDING BEAM ROOFING SYSTEM (DREXEL METALS) - DMC155 W/ 3/4" HIGH 1809 BEAM W/ 2401 ALUM. ALLOY #1025-H14. PANELS W/ SANDSTONE RSR 54' KYNAR 500 FIN. BY 'AMETCO ROOFING' OR EQUAL, OVER (1) LAYER OF HT. 'MESHIELD' - 'HIGH THERM-PEEL-N-STICK', (1) LAYER #50 FELT T.T. TO 3/4" APA FIRE RATED EXT. GRADE PLYWOOD SHEATHING (TYP.).
- 5 1/2" EXPOSED FIRE-TREATED P.T. 'PERFECTION' WOOD SHINGLE ROOF ON 'CEDAR BREATHERS' SPACERS OVER 'TU-PLUS' BELT ADHERING UNDERLAYMENT ON (1) LAYER #50 FELT T.T. TO 3/4" APA FIRE RATED EXT. GRADE PLYWOOD SHEATHING (TYP.).
- CONT. DRIP EDGE ON CONT. P.T. 1 x 2 ON CONT. 2 x 6 SMOOTH CLEAR CEDAR FASCIA - PAINTED (NOTE: DRIP EDGE TO BE COMPATIBLE WITH ROOFING SYSTEM).
- CONTINUOUS 3-STEP RAISED DECORATIVE STUCCO PARAPET BANDING WITH SMOOTH PAINTED FINISH. CONTRACTOR TO PROVIDE SAMPLES OF ALL BANDING FOR APPROVAL.
- CONT. RAISED 2-STEP SMOOTH STUCCO BAND W/ 2 1/4" x 1" PROJ. TOP 4 2 1/4" x 1" PROJ. BOTTOM - PAINTED.
- 7/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH - PAINTED (NOTE: APPLY SCRATCH COAT DIRECTLY TO BLOCK PRIOR TO LAPSIDING PVC TRIM) (TYP.). - SEE APPLICATION FOR FRAMED EXTERIOR WALLS.
- 2 1/4" x 4" SMOOTH STUCCO - PAINTED (TYP. - ALL CORNERS, DOORS AND WINDOW SURROUNDS).
- 2-COAT 5/8" LIGHT SMOOTH STUCCO FINISH. PAINTED TYP. (NOTE: ENTIRE BUILDING (NEW AND EXISTING) TO RECEIVE SMOOTH STUCCO FINISH).
- 3/4" SMOOTH STUCCO SCORE LINES - SEE APPLICATION FOR LOCATIONS & PATTERN - PAINTED.
- 9" EXTERIOR FRAMED WALL W/ 1/4" 3-COATS SMOOTH STUCCO FINISH ON PAPER BACKED METAL LATH OVER 'TYVEK' (COMMERCIAL) STUCCO WRAP OVER 1/4" DENS GLASS - TYPE 'X' BOARD ON 6006162-54 STRUCTURAL STUDS # 16' O.C. W/ 3 1/4" 'MONOKOTE MK-6' FIRE PROOFING BY UR GRACE OR EQUAL.
- CUSTOM FABRICATED DECORATIVE BRACKET 'CELLOFOAM' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING & LIMESTONE ACRYLIC POLYMER FINISH COAT BY 'FINESTONE' OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ 'DOU ENERFOAM' FOAM SEALANT.
- ALL STUCCO HAIR LINE CRACKS TO BE FILLED PRIOR TO PAINTING. STUCCO CONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL FOR TEXTURE.
- (2) LAYER STEP BILL BANDING 2" dp. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 6" dp. W/ 3/4" PROJECTION # STUCCO) - PAINTED (TYP. - WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- (2) LAYER STEP STUCCO HEADER BANDING 2" dp. W/ 2" TOP PROJECTION & LOWER BAND 4" dp. W/ 1" BOTTOM PROJECTION - PAINTED (TYP. - DOORS & WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- CONT. 2" dp. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" dp. W/ 3/4" PROJECTION # STUCCO) TYP. AT EVENT DECK PARAPET & TOWER WINDOWS.
- 4" dp. W/ 2" PROJECTION SMOOTH STUCCO BANDING & (2) LAYERS OF LOWER BANDING EA. 2" dp. W/ 3/4" PROJECTION # STUCCO LAP SIDING & STUCCO).
- CONT. 1" TH. x 4 1/4" SMOOTH RAISED STUCCO BANDING AT WINDOW AND DOOR SURROUNDS. (NOT APPLICABLE)
- RAISED 2-STEP SMOOTH STUCCO HEADER BAND W/ 2 1/4" x 1" PROJ. TOP 4 2 1/4" x 1" PROJ. BOTTOM - PAINTED.
- CUSTOM FABRICATED DECORATIVE ALUM. LOUVERED PANEL SPANDREL BY 'HARDIE BOYS' OR EQUAL - CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL. (VERIFY COLOR W/ OWNER / HOTEL).
- ALUMINUM GUARDRAIL W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN. 42" W/ HORIZONTAL STAINLESS STEEL TRUSSES # 24' O.C. - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE BY 'AMF' OR EQUAL. (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2012 EDITION).
- CONT. 1" TH. x 4 1/4" SMOOTH RAISED STUCCO BANDING AT WINDOW AND DOOR SURROUNDS. (NOT APPLICABLE)
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- CUSTOM FABRICATED ALUM. BRACKET W/ CORBEL BASE BY 'AMF' OR EQUAL. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL. (NOT APPLICABLE)
- 6" x 6" x 20' DECORATIVE OUTRIGGERS (PROFILE RT4620-2) BY 'V-GROOVE 1/4" (3) COAT SMOOTH STUCCO SMOOTH (PAINTED) - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 4" x 6" x 20' DECORATIVE OUTRIGGERS (PROFILE RT4620-2) BY 'HARDIE BOYS' OR EQUAL - PAINTED - ON 1" x 6" TAG OR V-GROOVE 1/4" (3) COAT SMOOTH STUCCO SMOOTH (PAINTED) - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 6" x 6" x 44' DECORATIVE BRACKETS - PAINTED (TOP OF BRACKET PROFILE RT-4801) W/ 6" x 6" ANGLE SUPPORT W/ 2 1/4" x 6" x 42" BL. BACK PLATE 4 - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- ALL EXTERIOR STUCCO CEILINGS/SOFTS TO BE COVERED W/ 3/8" THK. 3-COATS SMOOTH STUCCO FINISH ON 3/4" H-RIB GALV. METAL LATH PAINTED - (TYP.).
- ALUMINUM DECORATIVE GUARDRAIL W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN. 42" W/ HORIZONTAL STAINLESS STEEL TRUSSES # 24' O.C. - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE BY 'AMF' OR EQUAL. (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2012 EDITION).
- TOP CONCRETE ROOF DECK TO RECEIVE 'SIKA ROOF PRO' #24 RESIN WATERPROOFING SYSTEM OR EQUAL. (ENTIRE ROOF DECK). CONTRACTOR TO PROVIDE 1 HR. PROTECTION AT UNDERSIDE OF STRUCTURAL STEEL DECK AND FRAMING W/ SPRAY ON FIRE PROTECTION AS REQ. PER UR GRACE - CONSTRUCTION PRODUCTS- 'MONOKOTE' OR EQUAL.
- ALL NON-SLIP CONC. PAVERS TO BE SELECTED AND APPROVED BY INTERIOR DESIGNER & HOTEL. & SHALL BE HIDESET OVER 'SIKA ROOF PRO' #24 RESIN WATERPROOFING SYSTEM OR EQUAL. (ENTIRE CONCRETE DECK).
- DECORATIVE LOUVERED SPANDREL BY 'HARDIE BOYS' - PAINTED. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- DECOR. ALUM. WINDOW SHUTTERS TO HAVE 2" X SPACERS # REAR FOR PROTECTION FROM BUILDING. AS PER 'AMF' OR EQUAL (COLOR BRONZE).
- 4" MIN. (45° ANGLE) FIBER CONT. CANT STRIP - (TYP. - PERIMETER WHERE ROOF ABUTS VERTICAL WALLS) - SEE ROOF PLAN AND SPECIFICATIONS.
- SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER/HOTEL). ALL EXTERIOR FIXTURES TO BE FULLY SHIELDED TO MEET FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION STANDARDS W/ 'YELLOW LONG WAVELENGTH' BUS TIE BULBS OR LOW-PRESSURE SODIUM (LPS).
- HOSE BIB W/ VACUUM BREAKER - SEE PLUMBING PLAN.
- DECORATIVE FIXED ALUMINUM BAHAMA SHUTTERS SET IN A 45 DEGREE OPEN POSITION W/ E.S.P. POWDER COAT FINISH (COLOR BRONZE) BY 'AMF' OR EQUAL.
- 'RG31' - 'BRONZE' - ALUM. DECORATIVE OUTRIGGERS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS W/ REAR OF GLASS PAINTED BLACK SET IN RECESSED STRUCTURAL METAL STUD WALL.
- 'ALDORA' STOREFRONT ENTRY ASSEMBLY W/ TRANSBOM-IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE (ALL 'RG31' STOREFRONT ENTRY TO BE PROVIDED W/ ADA COMPLIANT HARDWARE AND THRESHOLD W/ MAX. HT. NOT EXCEEDING 1/2").
- RG1 - FIXED FAUX ALUM. WINDOW - COLOR BRONZE - TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS W/ REAR OF GLASS PAINTED BLACK - SET RECESSED WITHIN THE STRUCTURAL METAL STUD WALL.

- EVENT TOWER HIP ROOF STRUCTURE FRAME WITH FIRE-ENGINEERED 'METAL TRUSSES # 24' O.C. - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL - SEE STRUCTURAL DRAWINGS.
- OPTIONAL 6" HALF ROUND WHITE ALUMINUM GUTTERS BY 'RAINSAYER GUTTER SYSTEM INC.' OR EQUAL. (CONTRACTOR TO PROVIDE ALT. PRICE FOR GALVALUME GUTTER SYSTEM - COLOR BRONZE).
- ALL EXTERIOR DOORS & WINDOWS TO HAVE 'DYMONIC 100' CAULKING # BUCK / CMU / ALUM. FRAME OR HOLLOW METAL CONDITIONS - OR EQUAL (TYP.).
- CUSTOM FABRICATED 6" x 8" x 48" # 24' O.C. 'CELLOFOAM' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING & LIMESTONE ACRYLIC POLYMER FINISH COAT BY 'FINESTONE' OR EQUAL. ATTACHED W/ CONSTRUCTION ADHESIVE 'DOU ENERFOAM' FOAM SEALANT OR EQUAL - PAINTED. (6" x 8" x 10" # 12' OVERHANG).
- ALL PARAPET COPING TO BE SLOPED FOR POSITIVE DRAINAGE
- 4" x 12" EMERGENCY OVER FLOW SCUPPERS (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK). - SEE ROOF PLAN FOR ALL LOCATIONS.

LIGHT FIXTURES	
◆ 'FRESCOLITE' 4" LED WALL MOUNT CYLINDER 'LUX-840' (COLOR BRONZE)	
-ALL EXTERIOR LUMINAIRES WATTAGE TO BE BETWEEN 30 TO 50 WATTS. (NOT TO EXCEED 50 WATTS)	
-ALL EXTERIOR LUMINAIRES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES	
ALL LIGHT FIXTURES TO BE 'DEP COMPATIBLE' AND APPROVED BY HOTEL / ARCHITECT.	
PAINT LEGEND	
● ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE OR SHERWIN WILLIAMS SPECIFICATIONS.	
P-1	ACADIA WHITE #AC-41 (MAIN BUILDING SMOOTH STUCCO AREAS)
P-2	BERKSHIRE BEIGE #IC-2 (LAP SIDING)
P-3	BRIGHT WHITE WOOD TRIM, COLUMNS & BANDING
P-4	TUDOR BROWN #E-62 WOOD TRIM, COLUMNS, OUTLOOKERS, BRACKETS & GABLE ENDS
P-5	'RG31' - 'BRONZE' - KYNAR 500 (STANDING BEAM METAL ROOF)
P-6	SANDSTONE #RSI-E85 - 'PERFECTION' WOOD CEDAR SHINGLE ROOF
P-7	STONINGTON GRAY #IC-110 (SCORE LINE BASE)
NOTE:	
1. ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO APPROVE SAMPLES FOR HOTEL APPROVAL	
2. ALL STUCCO TO BE MIXED W/ 'XTREX ADMIX 1000' OR EQUAL	
3. ALL STUCCO HAIR LINE CRACKS TO BE FILLED PRIOR TO PAINTING. STUCCO CONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR HOTEL APPROVAL FOR TEXTURE.	

NOMINAL WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS				
EFFECTIVE AREA (ft) ²	ZONE 4		ZONE 5	
	(-) POSITIVE	(-) NEGATIVE	(-) POSITIVE	(-) NEGATIVE
1 TO 20	42.0	-45.5	42.0	-56.0
21 TO 50	39.8	-43.3	39.8	-52.1
51 TO 100	37.1	-41.2	37.1	-47.3
101 TO 500	35.8	-39.3	35.8	-43.6
51 TO 2500	34.1	-38.2	34.1	-41.2

ZONE 5 IS 6'-0" WITHIN ANY CORNER OF THE BLDG. ALL OTHER AREAS ARE ZONE 4

EXTERIOR STUCCO:

- METAL LATH APPLICATION:
- APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPE AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
 - APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRMLY AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
 - DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE. FINISHED AS APPROVED BY OWNER.
 - TWO (2) COAT WORK (ON MASONRY). APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 - THREE (3) COAT WORK (ON LATH). APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 - RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
 - ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
 - ALL SHAPE BOARD SHALL BE CELLOFOAM SHAPE FORMS WITH CELLOFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFOAM EPS INSULATION ASTM-C678.
 - APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS. ENERFOAM SEALANT ASTM-C203.
 - APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061 - FOR A TOUGH MEMBRANE IS REQUIRED. APPLY FOR HOLD SPRAYING, HOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.