

# SITE PLAN REVIEW AND APPEARANCE BOARD

## CITY OF DELRAY BEACH

### ---STAFF REPORT---

MEETING DATE: January 27, 2016

ITEM: Class III Site Plan Modification for **Wood and Fire Restaurant** associated with interior and exterior renovations, parking lot and landscaping improvements for the existing "Fisherman's Grill" outparcel located on the north side of West Atlantic Avenue in the Marketplace of Delray shopping center.

#### GENERAL DATA:

Owner..... RLV MARKETPLACE LP  
(Ramco-Gershenson Properties LP)

Applicant..... KGMA Restaurant Group

Agent..... Anthony Cosentino

Address..... 5199 West Atlantic Avenue

Location..... On the north side of West Atlantic Avenue, west of Military Trail

Parcel Size..... 31,799 sq. ft. (0.73 acres)

Building Size..... 4,455 Sq. ft. (Gross Floor Area)

Future Land Use Map..... General Commercial (GC)

Current Zoning..... Planned Commercial (PC)

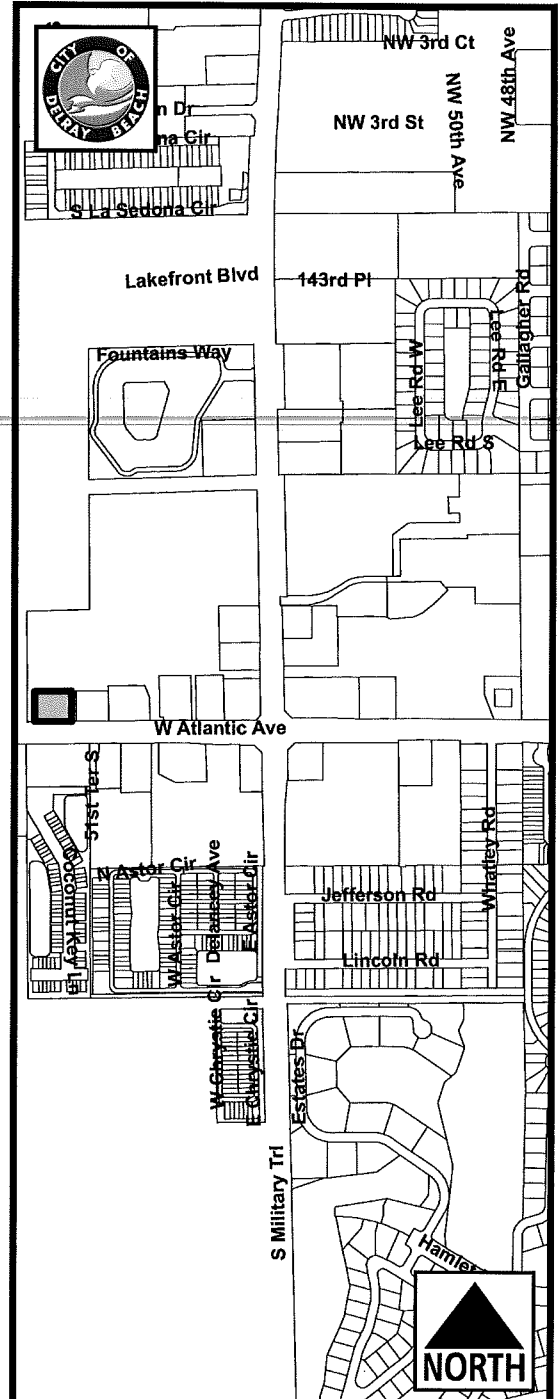
Adjacent Zoning.....North: Planned Commercial (PC)  
East: Planned Commercial (PC)  
South: Planned Office Center (POC)  
West: Unincorporated Palm Beach County (PBC)

Existing Land Use..... Fisherman's Grill Restaurant

Proposed Land Use..... Wood and Fire Restaurant

Water Service..... Existing on-site

Sewer Service..... Existing on-site



## ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class III Site Plan modification request for **Wood and Fire Restaurant**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(c):

- Site Plan;
- Landscape Plan; and,
- Architectural Elevations

The subject property is an outparcel on the north side of West Atlantic Avenue, west of Military Trail in the Marketplace of Delray Shopping Center.

## BACKGROUND

The northwest corner at West Atlantic Avenue and Military Trail consists of multiple parcels associated with the 30.3 acre Marketplace of Delray Shopping Center. The subject parcel is one of eight (8) outparcels located within the shopping center. It consists of 0.73 acres and contains an existing 4,455 sq. ft. one-story building which was constructed in 1986 as a restaurant. It was most recently the home of the "Fisherman's Grill" restaurant. Prior to 2014, it was occupied by "Greenfield's Seafood" restaurant. The existing building is currently vacant. ~~Other uses within the shopping plaza include, but are not limited to, a Winn-Dixie grocery store, retail stores, a gas station and convenience store, several banks and additional restaurants. In 2007, the Four Corners Overlay District was created which included the entire site.~~

The overall site was developed in unincorporated Palm Beach County and annexed into the City on December 14, 2010. At that time, the City Commission also approved a Future Land Use Map designation of GC (General Commercial) and zoning map designation of PC (Planned Commercial).

On July 16, 2012, the Planning and Zoning Board approved a Master Development Plan for the Marketplace of Delray Shopping Center associated with demolition of an existing gas station and construction of a Pollo Tropical fast food restaurant on an existing outparcel on the north side of West Atlantic Avenue, west of Military Trail.

On January 9, 2013 the Site Plan Review and Appearance Board (SPRAB) approved a Class II site plan modification for McDonald's Restaurant associated with construction of dual drive-thru lanes for the existing restaurant located on the west side of Military Trail, north of West Atlantic Avenue in the Marketplace of Delray Shopping Center.

On August 28, 2013 the Site Plan Review and Appearance Board (SPRAB) approved a Class III site plan modification for Atlantic Dental Care associated with interior and exterior renovations, parking lot and landscaping improvements to accommodate a dental office on the north side of West Atlantic Avenue, west of Military Trail, in the Marketplace of Delray Shopping Center.

Now before the Board for consideration is a Class III Site Plan modification for interior and exterior renovations, parking lot and landscaping improvements to accommodate the Wood and Fire Restaurant.

**PROJECT DESCRIPTION**

The development proposal consists of the following:

- Interior and exterior building renovations
- Exterior modifications to the parking lot
- Creation of a rear outdoor dining area
- Creation of a front outdoor dining area
- Associated landscaping upgrades

**SITE PLAN ANALYSIS**

**COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

**LDR Section 4.3.4(K) Development Standards Matrix – Non-residential Zoning Districts:**

The following table indicates that the development proposal complies with the applicable development standards of LDR Section 4.3.4(K) and 4.4.12 as they pertain to the Planned Commercial (PC) zoning district, with the exception of the minimum floor area which is an existing nonconformity:

<b>PC (Planned Commercial)</b>	<b>Required</b>	<b>Provided</b>
Min. Lot Size (sq. ft.)	10,000	29,835
Min. Lot Width (ft.)	50	195
Min. Lot Depth (ft.)	100	153
Min. Lot Frontage (ft.)	50	195
Min. Open Space (%)	25	34.19
Min. Front Setback (ft.)	10 (South)	49.71
Min. Side Interior Setback (ft.)	0 (West)	90.75
Min. Side Interior Setback (ft.)	0 (East)	5.54
Min. Rear Setback (ft.)	10 (North)	36.21
Max. Building Height (ft.)	48	16.5

**Minimum Open Space:**

Pursuant to LDR Section 4.4.9(G)(3)(e)(1)(a), twenty-five percent (25%) open space is required. The current proposal indicates 34.19% open space is on-site, thus it complies with this standard.

**LDR Section 4.4.9(F)(3)-(Four Corners Overlay District - Development Regulations):**

This section establishes minimum standards for development within the Four Corners Overlay District. Waivers and internal adjustments to these standards may be approved by the Planning and Zoning Board concurrent and as a part of the approval of a Master Development Plan (MDP). When considering a Master Development Plan (MDP) located within the Four Corners Overlay District, the Planning and Zoning Board may attach suitable conditions, safeguards, and stipulations to address the specific characteristics of the site and potential impacts of the proposed development.

The following table demonstrates whether or not the development proposal complies with the applicable development standards of LDR Sections 4.4.9(F)(3) and (G)(3) as they pertain to the Four Corners Overlay District:

<b>Four Corners Overlay District</b>	<b>Required</b>	<b>Provided</b>
Min. Front Building Setback (ft.)	30	49.71
Min. Non-Residential Floor Area (sq.ft.)	4,000	4,455
Max. Bldg. Height (ft.)	60	16.5

The Wood and Fire Restaurant outparcel complies with all applicable standards. However, it is noted that the overall master site plan for the Marketplace of Delray shopping center has existing nonconformities pertaining to the maximum lot coverage, minimum landscape buffers, interior parcel building setbacks and minimum floor area which are not applicable to this development proposal. The proposed improvements do not increase the existing nonconformities, thus, they may continue.

**Minimum Parking Requirements:**

Pursuant to LDR Section 4.6.9(C)(3)(d), restaurant parking is at a rate of 12 spaces per 1,000 sq. ft. of gross floor area for all designated use areas. Accordingly, for the existing 4,455 sq. ft. restaurant with an additional proposed 2,707 sq. ft. of outdoor use area, 86 parking spaces are required and 20 parking spaces are provided within the outparcel boundaries. Thus, there is a 66 parking space shortage on-site. Since the new tenant is leasing the outparcel from the shopping center owner, a cross access easement is required to assure that sufficient parking is available should the ownership of the outparcel change in the future. As, such consideration has been given to allow for cross access pursuant to the existing parking surplus for the overall shopping center as indicated below:

According to LDR Section 4.6.9(C)(3)(e), shopping centers are required 4 spaces per 1,000 sq. ft. of gross leaseable floor area, irrespective of uses, for up to 400,000 sq. ft. The

Marketplace of Delray shopping center has a total of 240,789 sq. ft. of leaseable floor area, thus 963 spaces are required and 1,284 spaces have been provided. Therefore, this standard will be met, provided that the cross access easement is provided and recorded with Palm Beach County. This is a condition of site plan approval.

**LDR Article 4.6 – Supplemental District Regulations:**

**Rooftop Screening:**

LDR Section 4.3.4(J)(3)(c) states that flat roofs shall be screened from adjacent properties and streets. The maximum height of the screening shall be six feet (6') in height or sufficient height to screen all roof mounted equipment, whichever is greater, measured from the top of the roof deck to the top of the screen wall. The applicant has indicated the location of rooftop mechanical equipment on the architectural drawings. These units will be adequately screened by the existing fencing, thus this standard has been met.

**Lighting:**

Pursuant to LDR 4.6.8 (Lighting), pole and wall mounted site lighting must be provided. The applicant is required to identify the source of lighting in all outdoor use areas and provide the point calculations. These have been omitted for the trash enclosure entrance and use area. Provision of point calculations in this area which meet the minimum and maximum standards is a condition of approval. Similarly, the underlying site plan layout for the photometric plan is inconsistent with the balance of the plan set. This shall be corrected for consistency, prior to site plan certification. This is a staff recommended condition of approval.

**Site Plan Technical Items: Items indicated below remain outstanding and will need to be addressed prior to site plan certification.**

1. Summarize the parking requirement consistent with the staff report and update the site data chart on the site plan. Include a subtotal (2,707 sq. ft.) for proposed new outdoor use areas.
2. Illuminate the outdoor use areas for compliance with LDR Section 4.6.8(A)(3).
3. Revise the underlying site plan layout for the photometric plan to be consistent with the plans set.
4. All submitted plans must be oriented the same way on a 24" x 36" sheet. Make all plans consistent.
5. All plans shall be at the same engineering scale per LDR Section 2.4.3(B)(1). Redraw the landscape plan to match the balance of the plan set at 1"=10'. It is currently drawn at 1"=30'.

6. Pursuant to LDR Section 4.6.9(E)(5), for the outparcel to sustain its current parking requirement, a cross access easement agreement is required to be recorded with Palm Beach County.
7. There are still some discrepancies in the curbing provided separating the landscape, hardscape and parking areas. Modify all plans to reflect intentions and update all plans accordingly for consistency.
8. All plans must graphically depict double line curbing along the raised sidewalk in front of the parking row facing the building, unless wheel stops are proposed.
9. All plans must clearly show that the landscape island terminating the southern end of the parking row in front of the building is being removed and replaced with "Type D" curbing.
10. All parking spaces on all plans must be depicted as double-striped pursuant to the detail in LDR Section 4.6.9(D)(6)(e).

#### **LANDSCAPE PLAN ANALYSIS**

Pursuant to LDR section 4.6.16 (C) (1) (a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C). A proposed landscape plan has been submitted and evaluated by the City Landscaping Department. The proposed development can be found in compliance with applicable requirements of LDR section 4.6.16.

#### **ARCHITECTURAL ELEVATIONS ANALYSIS**

Pursuant to LDR Section 4.4.12(F)(2), the outbuilding must be architecturally compatible with other structures in the shopping center. Architectural compatibility shall be determined pursuant to Section 4.6.18.

#### **Outbuildings and Shopping Centers:**

Pursuant to LDR Section 4.6.18(B)(13) (Outbuildings and Shopping Centers) outbuildings within a shopping center shall be compatible in terms of color, material, and architectural style and that the Site Plan Review and Appearance Board shall make a finding of such compatibility prior to approval of outbuilding elevations. If the Board determines that there is not compatibility with respect to any of the items, then it shall deny the elevations. However, if the Board feels, despite the incompatibility, the elevations should be approved they shall forward the elevations to the City Commission with a recommendation of approval and the City Commission shall take final action.

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed building is a contemporary architectural interpretation that exhibits a strong corporate influence. While the proposed restaurant is indicative of a corporate design, this corporate image is common in the western communities and will assimilate easily into this environment. Specifically, a new detached canopy will be installed 30'10" from the south property boundary along Atlantic Avenue to allow covered outdoor dining with an exterior/interior bar counter as the feature point. It will be a Crimson Red color with a matte finish. A matching "Crimson Red" entrance awning will replace the existing green awning on the east elevation. There will be matching corner drapery to hide the four steel support columns. An existing wood fence in the rear will be replaced with a Sherwyn Williams Hawthorne Traditional fence and will be the same height as the existing 6' fence which encloses the refuse area. The new front and rear outdoor patios will consist of Belgard Paver "Appian Grande" with a Napoli color. New service doors will be installed on the north side and will be painted "China White". All existing windows and doors will be replaced with new impact resistant tinted glass and aluminum trim with a "Dark Bronze" finish for frames. The existing flat roof will remain. However, a new parapet will be extended above the existing roofline. The façade will be painted "Landcaster Whitewash" with flat finish.

The existing shopping center contains various architectural interpretations consisting of contemporary commercial shopping center architecture (primary plaza) and corporate identity architecture of the outparcel buildings. The bank at the northwest corner of Military Trail and Atlantic Avenue contains a barrel tile roof. The existing plaza and outparcel buildings contain virtually no thought to architectural consistency. In this manner, the proposed corporate identity architecture of the restaurant is consistent in its inconsistency.

The proposed new elevations will create visual interest and be an aesthetic improvement to the existing elevations. The architectural elevations will be compatible and harmonious with the balance of the Marketplace of Delray shopping center. No negative effects are anticipated on the surrounding properties. The proposed elevation changes will provide a

much needed enhancement to the area. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

## **REQUIRED FINDINGS**

**Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:**

### **Section 3.1.1 (A) - Future Land Use Map:**

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

### **Section 3.1.1 (B) - Concurrency:**

As described in "Appendix A", a positive finding of concurrency can be made as it relates to traffic, water, sewer, drainage, parks and recreation, solid waste, and schools.

### **Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions and Specific Areas):**

As described in "Appendix B", a positive finding of consistency can be made as it relates to development standards for site plan actions, upon Board approval of the requested conditions of approval.

### **Section 3.1.1 (D) - Compliance With the Land Development Regulations:**

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, when all outstanding items attached as conditions of approval are addressed.

### **Section 2.4.5(F)(5) - Required Findings:**

**Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.**



The following table indicates the zoning and land use of the properties surrounding the subject property:

	<b>Adjacent Zoning</b>	<b>Adjacent Land Use</b>
<i>North</i>	Planned Commercial (PC)	Winn-Dixie Grocery Store
<i>East</i>	Planned Commercial (PC)	Atlantic Dental Care
<i>South</i>	Planned Office Center (POC)	Suntrust Bank
<i>West</i>	Unincorporated Palm Beach County (PBC)	Carnival Flea Market

The proposed Wood and Fire Restaurant is consistent with the PC Zoning district uses which allows all uses permitted with the General Commercial (GC) zoning district. To the north is Winn-Dixie grocery store. Across Atlantic Avenue to the south is Suntrust Bank. To the east is Atlantic Dental Care. To the west is Carnival Flea Market. Whereas, the existing Marketplace of Delray shopping plaza has coexisted adjacent to the existing properties, no adverse effects are anticipated. The subject site contains an existing shopping center, thus, the proposed redevelopment of the shopping center will be a continuation of the current use of the site. Thus, there will not be any adverse effects on the surround properties.

Based upon the above, a positive finding can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

**Comprehensive Plan Policies:**

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

**Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.**

The property is proposed to be developed consistent with the surroundings. No incompatibility issues with respect to soil, topographic, intensity of use and other applicable physical consideration is anticipated.

**REVIEW BY OTHERS**

The development proposal is not within a geographical area requiring review by the Community Redevelopment Agency (CRA), Downtown Development Authority (DDA) or Pineapple Grove Main Street (PGMS).

**Courtesy Notices:**

Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- Delray Citizens Coalition
- Sherwood Forest HOA
- Highland Park Co. Inc.
- Sunset Pines

**Public Notices:**

For site plan modifications located within the Four Corners Overlay District, formal public notices are not required. Letters of objection and/or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

**ASSESSMENT AND CONCLUSION**

The redevelopment of the "Fisherman's Grill" restaurant as "Wood and Fire" restaurant is compatible with existing uses in the Marketplace at Delray shopping center. All proposed site improvements and architectural changes are compatible in size, scale and design with the surrounding area. Once the cross access easement agreement is recorded with Palm Beach Count, this outparcel will be deemed compliant with parking requirements for restaurant uses. The site plan will be consistent with the policies of the Comprehensive Plan and the Land Development Regulations, as well as, the Four Corners Overlay District requirements, upon addressing the staff recommended conditions of approval, as identified in the staff report.

**ALTERNATIVE ACTIONS**

- A. Continue with direction.
- B. Approve the Class III Site Plan Modification for **Wood and Fire Restaurant**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(B)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development regulations, subject to conditions.
- C. Deny the Class III Site Plan Modification or **Wood and Fire Restaurant**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(B)(5)(Required Findings), and Chapter 3 (Performance Standards) of the Land Development regulations.

## STAFF RECOMMENDATION

By separate actions:

### Site Plan:

Approve the Class III Site Plan Modification for **Wood and Fire Restaurant**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(c), Section 2.4.5(B)(5)(Required Findings) and Chapter 3 (Performance Standards) of the Land Development regulations, subject to the following conditions:

1. Address all site plan technical items identified in the staff report and submit four copies of revised plans for site plan certification.
2. Revise the underlying site plan layout for the photometric plan to be consistent with the plan set.
3. Pursuant to LDR Section 4.6.9(E)(5), for the outparcel to sustain its current parking requirement, a cross access easement agreement is required to be recorded with Palm Beach County.

### Landscape Plan:

Approve the Landscape Plan for **Wood and Fire Restaurant**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16.

### Architectural Elevations:

Approve the Architectural Elevations or **Wood and Fire Restaurant**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development regulations.

**APPENDIX A  
CONCURRENCY FINDINGS**

**Pursuant to Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:**

**Water and Sewer:**

Water and sewer services are existing on-site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

**Streets and Traffic:**

A traffic study has been submitted that indicates that the proposed development will generate 14 PM peak hour trips, 16 AM peak hour trips and 184 new daily trips. A finding of concurrency has been issued from the Palm Beach County Traffic Division and is valid through build-out on December 31, 2017.

**Parks and Recreation Facilities:**

Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

**Solid Waste:**

The prior restaurant use (4,455 sq. ft.) generated 55.46 tons of solid waste per year. The proposed 7,162 sq. ft. restaurant use will generate 89.16 tons of solid waste per year. Thus, the development proposal will result in a 33.7 ton increase in solid waste generated annually. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

**School Concurrency:**

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have any impacts with respect to this standard.

**Drainage:**

Drainage will be accommodated on site. There are no problems anticipated to bring the site into compliance with South Florida Water Management District (SFWMD) requirements in efforts to obtain a surface water permit.

**A P P E N D I X   B**  
**STANDARDS FOR SITE PLAN ACTIONS**

**A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent                      X    
Does not meet intent \_\_\_\_\_

**B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent                      X    
Does not meet intent \_\_\_\_\_

**C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable \_\_\_\_\_  
Meets intent                      X    
Does not meet intent \_\_\_\_\_

**D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable \_\_\_\_\_  
Meets intent                      X    
Does not meet intent \_\_\_\_\_

**E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable       X   \_\_\_\_\_  
Meets intent                    \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

**F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent     X      
Does not meet intent \_\_\_\_\_

**G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable     X      
Meets intent \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

**H. ~~The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.~~**

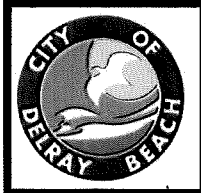
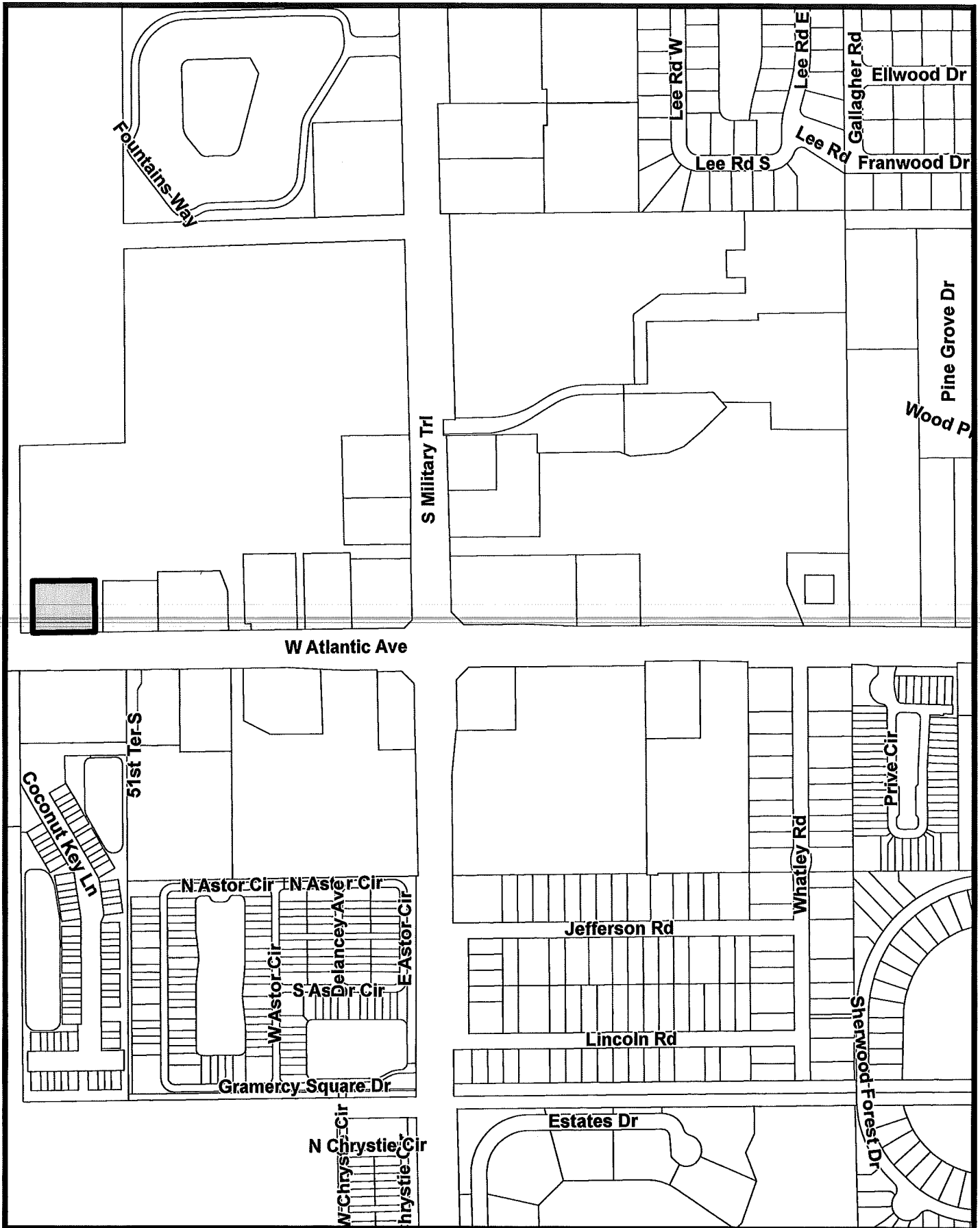
Not applicable \_\_\_\_\_  
Meets intent     X      
Does not meet intent \_\_\_\_\_

**I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

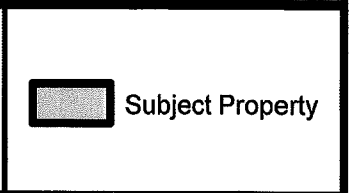
Not applicable \_\_\_\_\_  
Meets intent     X      
Does not meet intent \_\_\_\_\_

**J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

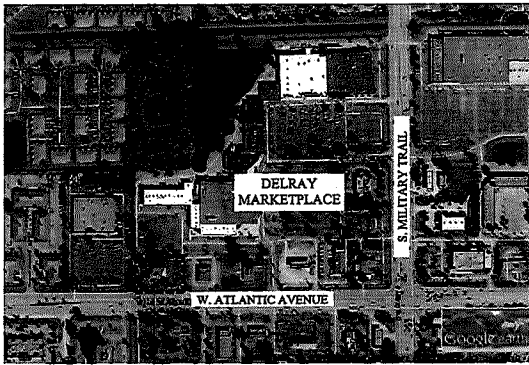
Not applicable     X      
Meets intent \_\_\_\_\_  
Does not meet intent \_\_\_\_\_



**WOOD AND FIRE  
RESTAURANT  
LOCATION MAP**



**SITE LOCATION MAP**



PROJECT LOCATION



**CONSTRUCTION NOTES, SPECIFICATIONS, AND GENERAL REQUIREMENTS**

**ACKNOWLEDGEMENTS**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**PERMITS**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**WORK NECESSARY TO COMPLETE CONSTRUCTION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**CLEAN UP / REPAIRS**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**FOUNDATION**

1. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**CONCRETE**

1. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**REINFORCING STEEL**

1. ALL REINFORCING STEEL SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**FINISHES**

1. ALL FINISHES SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**CONCRETE CURING**

1. ALL CONCRETE SHALL BE CURIED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**STRUCTURAL STEEL**

1. ALL STRUCTURAL STEEL SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**GENERAL CONSTRUCTION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**WORK PROTECTION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**SECTION 05 - FINISHES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**TERMS**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**DOORS AND WINDOWS**

1. ALL DOORS AND WINDOWS SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**THERMAL BARRIER PROTECTION**

1. ALL THERMAL BARRIER PROTECTION SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**ZONING DATA**

CURRENT ZONING: PER CITY OF DELRAY BEACH, FLORIDA ZONING MAP: PC- PLANNED COMMERCIAL 4-CORNERS OVERLAY DISTRICT

**FIRE RESISTANCE RATING FOR BUILDING ELEMENTS**

CONSTRUCTION TYPE	TYPE I	TYPE II
MAJOR STRUCTURAL ISSUE	1	2
WALLS	1	2
FLOORS	1	2
ROOFING	1	2
MECHANICAL ROOMS & PARTITIONS	1	2
STAIRS	1	2
INTERIOR	1	2
ROOF OVER EXISTING 1-2 STORY BUILDINGS	1	2
ROOF OVER EXISTING 3-4 STORY BUILDINGS	1	2

**OCCUPANCY LOAD DATA**

WOOD & FIRE RESTAURANT PIZZA RESTAURANT	PER FBC 2010, CHAPTER 8, SECTION 803.1.1
Occupancy	100
Area	1000
Load	100

**INTERIOR FLAME SPREAD CLASSIFICATION**

CLASSIFICATION	FLAME SPREAD	SMOKE-DEVELOPED
CLASS A	0-25	0-50
CLASS B	26-75	60-120
CLASS C	76-200	130-300

**ALTERATION LEVEL NOTES**

THE SCOPE OF WORK FOR THIS PROJECT UNDER THE 2010 FLORIDA BUILDING CODE-EXISTING BUILDING IS AN ALTERATION LEVEL 3 AS DEFINED IN CHAPTER 2 AS OUTLINED IN CHAPTER 4, SECTION 405.1 AND MUST BE AT TOTAL COMPLIANCE OUTLINED BELOW.

ALL WORK SHALL CONFORM TO THE 2010 EDITION OF THE FLORIDA BUILDING CODE AND CONFORM TO 'EXISTING BUILDINGS' CHAPTER 3, (B) SECTION 302; ADDITIONS, (B) SECTION 303; CONSTRUCTION, (B) SECTION 304; REPAIRS, (B) SECTION 305.

ALL WORK SHALL CONFORM TO THE PROVISIONS IN CHAPTER 4, 'CLASSIFICATION OF WORK' SECTION 405; ALTERATION LEVEL 3, CHAPTER 6; ALTERATION LEVEL 1, A, CHAPTER 7; ALTERATION LEVEL 2, AS WELL AS ANY AND ALL APPLICABLE FEDERAL AND LOCAL BUILDING CODES.

**BUILDING CODE DATA**

1. CONSTRUCTION TYPE: TYPE I/A 1 FACTORY 4,000 S.F./STORY 40' MAX. HEIGHT (FBC2010, CHAPTER 5, TABLE 601) 2. USE GROUP CLASSIFICATION: A2-ASSEMBLY (FBC2010, CHAPTER 3, SECTION 309) 3. TOTAL GROSS SQUARE FOOTAGE OF TENANT SPACE: 14,450 TOTAL S.F. (DOES NOT INCLUDE COVERED & UNCOVERED OUTDOOR SEATING) 4. NET SQUARE FOOTAGE (FOR DETERMINING OCCUPANT LOAD): 7,225 S.F. (INCLUDES COVERED & UNCOVERED OUTDOOR SEATING AREAS) 5. OCCUPANCY LOAD: 201 OCCUPANTS BASED ON 7,225 NET S.F. (SEE OCCUPANCY LOAD CALCULATION CHART) 6. FIRE PROTECTION SYSTEMS: (FBC2010, CHAPTER 9, SECTION 902.1.2) a) SUPPRESSION SYSTEM: SPACE WILL BE SPRINKLED b) NOTIFICATION/ALARMS: EXISTING TO REMAIN c) DETECTION: EXISTING TO REMAIN 7. CODES TO WHICH THIS PROJECT WAS DESIGNED: 2010 FLORIDA BUILDING CODE 2010 FLORIDA BUILDING CODE / FUEL GAS 2010 FLORIDA BUILDING CODE / MECHANICAL 2008 NATIONAL ELECTRIC CODE 2010 FLORIDA BUILDING CODE / PLUMBING 2010 FLORIDA BUILDING CODE / AMERICANS W/ DISABILITIES FLORIDA FIRE PREVENTION CODE, 5TH EDITION NFPA 1, FIRE CODE, 2012 EDITION NFPA 101, LIFE SAFETY CODE, 2012 EDITION 8. FIRE RATING SEPARATION: NOT APPLICABLE (FBC2010, CHAPTER 8, SECTION 803.4)

**PLUMBING FIXTURE DATA**

WOOD & FIRE RESTAURANT PIZZA RESTAURANT	PER FBC 2010, CHAPTER 10, SECTION 1028.7
Water Closets	1 per 25 occupants
Urinals	See Table 102
Convens	1 per 200 occupants
Water Closets	1 per 25 occupants
Urinals	See Table 102
Convens	1 per 200 occupants
Drinking Fountain	1 per 200 occupants
Men	1
Women	1

**INTERIOR WALL & CEILING FINISH REQUIREMENTS**

CEILING	WALL	DOOR	WINDOW	ROOF
CLASS A	CLASS A	CLASS A	CLASS A	CLASS A
CLASS B	CLASS B	CLASS B	CLASS B	CLASS B
CLASS C	CLASS C	CLASS C	CLASS C	CLASS C

**GENERAL NOTES**

1. DO NOT SCALE THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS AND VERIFY THE FIELD CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. 2. FOR ARCHITECTURAL REFERENCE, ELEVATIONS SHOWN HEREFTER ARE BASED ON "EL. 0'-0" BUILDING FIRST FL. FINISH FLOOR SLAB. 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL FLOOR, WALL AND ROOF PENETRATIONS. 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN HEREON. 5. ALL TRADES SHALL BE RESPONSIBLE TO READ ALL DETAILS, SPECIFICATIONS AND PLANS - ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, LANDSCAPE ARCHITECTURE FOR PROPER COORDINATION. IF ANY CONFLICTS EXIST, THE TRADE SHALL NOTIFY THE CONTRACTOR OF THE SAME, PRIOR TO CONSTRUCTION. 6. CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION, AND CONTRACTOR SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION. 7. ALL WINDOWS AND DOOR CONDITIONS SHALL BE PROVIDED BY RESPECTIVE MANUFACTURER. 8. ALL WOOD IN DIRECT CONTACT W/ MASONRY OR CONCRETE TO BE PRESURE TREATED TYP.

**SCOPE OF WORK**

THE EXISTING EXTERIOR & INTERIOR SPACE WILL BE RENOVATED AS INDICATED IN THESE PLANS. INTERIOR EXTERIOR STRUCTURAL ELEMENTS TO REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE IN THESE PLANS. ALL FIRE PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO SPRINKLER SYSTEM, FIRE HORNS, FIRE STROGES, PULL STATIONS, FIRE EXTINGUISHERS ARE TO REMAIN & RELOCATED TO SUIT NEW FLOOR PLAN LAYOUT, UNLESS NOTED OTHERWISE. ALL EXISTING MECHANICAL, INCLUDING BUT NOT LIMITED TO SUPPLY, RETURN, & EXHAUST FANS ARE TO REMAIN & RELOCATED TO SUIT NEW FLOOR PLAN LAYOUT, UNLESS NOTED OTHERWISE. NEW MECHANICAL ELEMENTS AS NOTED IN THE MECHANICAL DRAWINGS BY OTHERS. ALL EXISTING ELECTRICAL TO BE RELOCATED TO SUIT NEW FLOOR PLAN LAYOUT, UNLESS NOTED OTHERWISE. AS NOTED IN THE ELECTRICAL DRAWINGS BY OTHERS. EXISTING WINDOWS & DOORS TO BE REMAIN OR REPLACED WITH NEW AS INDICATED IN THESE PLANS. ALL EXISTING METAL JOIST & METAL ROOF DECK TO REMAIN UNDISTURBED. ALL EXISTING ROOF TOP EQUIPMENT TO REMAIN OR REPLACED AS INDICATED IN PLANS BY OTHERS.

**COMPLIANCE INFORMATION**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE CURRENT APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE 2010 FLORIDA BUILDING CODE, CHAPTER 1, ADMINISTRATION, SECTION 108.2.4.4 AND FLORIDA STATUTES, CHAPTER 88, FIRE PREVENTION AND CONTROL.

**117815 SPRAB SUBMITTAL #3**

**COSENTINO ARCHITECTURE, INC.**  
1800 SW 18TH WAY  
BOCA RATON, FL 33466  
VAP#: 561-922-0484  
FIRM#: AA26002153  
www.casentinoarch.com

REVISIONS	BY	DATE
SPRAB SUBMITTAL #2	AC	10.25.15
SPRAB SUBMITTAL #3	AC	10.26.15
SPRAB SUBMITTAL #1	AC	11.18.15

**WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT BUILDOUT MARKETPLACE AT DELRAY 5199 W. ATLANTIC AVENUE Delray Beach, FL**

117815 SPRAB SUBMITTAL #3

ANTHONY COSENTINO  
561-922-0484

**BD**

PAGE

1200 N. FEDERAL HIGHWAY SUITE 200 BOCA RATON, FL 33486 VAP#: 561-922-0484







**PROPOSED SITE PLAN  
KEY NOTE LEGEND**

- 101 IMPROVED LANDSCAPE BEYOND THE LANDSCAPE SWIM.
- 102 IMPROVED GRASS AREA. SEE LANDSCAPE SWIM.
- 103 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 104 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 105 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 106 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 107 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 108 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 109 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 110 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 111 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 112 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 113 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 114 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 115 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 116 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 117 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 118 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 119 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.
- 120 NEW IMPROVED ASPHALT PLAZA AREA. TOP OF FINISH FLOOR FINISH TO BE FINISH OF INTERIOR FLOOR FINISH AND LANDSCAPE SWIM.

**PERVIOUS & IMPERVIOUS CALCULATIONS**

**EXISTING PERVIOUS AREA REMOVED:**

AREA #1 = 1,270 S.F.
AREA #2 = 930 S.F.
<b>TOTAL = 2,200 S.F.</b>

**PERVIOUS AREA ADDED:**

AREA #3 = 2,200 S.F.
<b>TOTAL = 2,200 S.F.</b>

**PERVIOUS AREA NET LOSS/ GAIN = 0 S.F.**

**SUBJECT PARCEL PARKING CALCULATIONS**

USE	AREA	CONVERSION FOR FEET	REQD.
INTERIOR DINING (EXISTING)	5,138 sf	12 sq ft 1,000 sf	14.8
SUPPORT AREAS (EXISTING)	3,288 sf	12 sq ft 1,000 sf	40.8
<b>TOTAL EXISTING REQUIRED</b>	<b>8,426 sf</b>		<b>55.6</b>
COVERED OUTDOOR DINING #1 (PROPOSED)	812 sf	12 sq ft 1,000 sf	13.0
UNCOVERED OUTDOOR DINING #1 (PROPOSED)	877 sf	12 sq ft 1,000 sf	7.2
UNCOVERED OUTDOOR DINING #2 (PROPOSED)	1,317 sf	12 sq ft 1,000 sf	18.0
<b>TOTAL REQUIRED</b>	<b>7,822 sf</b>		<b>87.9</b>

TOTAL PARKING PROVIDED IN FRONT OF BUILDING: 35 SPACES (2 HANDICAP, 17 STANDARD)  
 HANDICAP PARKING REQUIRED: 2 SPACES (2 PROVIDED IN FRONT)  
 BALANCE OF PARKING SPACES: 3047 = 87 SPACES\*  
 PROVIDED - REQD = BALANCE

**OVERALL PARCEL PARKING CALCULATIONS**

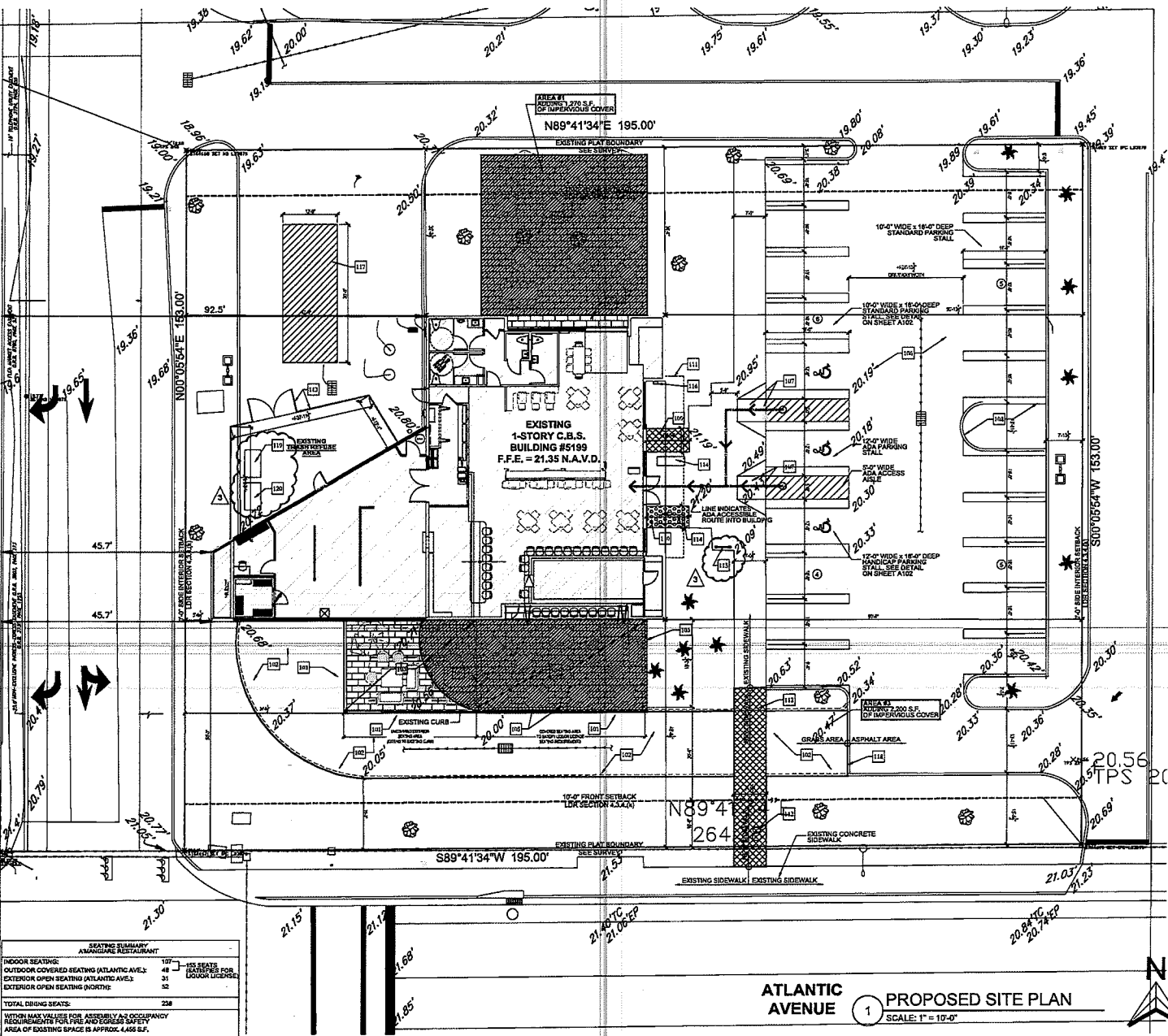
	REQUIRED	PROVIDED
STANDARD PARKING SPACES	643	1,239
HANDICAP PARKING SPACES	20	49
<b>TOTAL PARKING SPACES</b>	<b>663</b>	<b>1,288</b>

FROM THE PERVIOUSLY APPROVED SITE PLAN, THE AMOUNT OF AVAILABLE PARKING SPACES AVAILABLE FOR THE ENTIRE SURROUNDING COUNTRY AROUND THE BUILDING IS 1,288 SPACES. THE BALANCE OF 625 SPACES IS REQUIRED TO MEET THE CALCULATED PARKING REQUIREMENTS FOR THE WORK AREA. THE HANDICAP PARKING SPACES ARE PROVIDED AS NEARLY AS FEASIBLE TO THE EXISTING SURFACE PARKING. THE SURPLUS OF AVAILABLE PARKING IS REDUCED BY SPACES, FROM 121 TO 124 PARKING SPACES.

NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10 FEET FROM ANY PROPOSED WATER, SEWER, OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

ALL NEW PROPOSED AVENUES TO BE UNDER SEPARATE PERMIT. SEE NOTES 104 & 111, THIS SHEET.



**SEATING SUMMARY  
AMANTIAN RESTAURANT**

INDOOR SEATING:	107	107 SEATS
OUTDOOR COVERED SEATING (ATLANTIC AVE):	48	48 SEATS
EXTERIOR OPEN SEATING (ATLANTIC AVE):	31	31 SEATS
EXTERIOR OPEN SEATING (NORTH):	52	52 SEATS
<b>TOTAL DINING SEATS:</b>	<b>238</b>	

WITHIN MAX VALUES FOR ASSEMBLY AS OCCUPANCY REQUIREMENTS FOR FIRE AND EGRESS SAFETY  
 AREA OF EXISTING SPACE IS APPROX. 1,466 S.F.

**ATLANTIC AVENUE** **PROPOSED SITE PLAN**  
 SCALE: 1" = 10'-0"

**11/18/15 SPRAB SUBMITTAL #3**

**COSENTINO ARCHITECTURE, INC.**  
 1000 S.W. 1ST WAY  
 BOCA RATON, FL 33486  
 VAPC: 561-922-0484  
 FIRM#: AA26002153  
 www.cosentinoarchitecture.com

REVISIONS	BY	DATE
SPRAB SUBMITTAL #1	AC	10.12.15
SPRAB SUBMITTAL #2	AC	10.06.15
SPRAB SUBMITTAL #3	AC	11.18.15

**WOOD & FIRE NEAPOLITAN  
 PIZZA RESTAURANT BUILDOUT  
 MARKETPLACE AT DELRAY  
 5199 W. ATLANTIC AVENUE  
 Delray Beach, FL**

**ANTHONY COSENTINO**  
 551-922-0484

**A101**  
 PAGE

1200 N. FEDERAL HIGHWAY SUITE 200 BOCA RATON, FL 33486 (VAPC: 561-922-0484)



WALL LEGEND	
EXISTING EXTERIOR CMU WALL TO REMAIN	[Symbol]
EXISTING INTERIOR WALL TO REMAIN	[Symbol]
EXISTING EXTERIOR CMU WALL TO BE REMOVED	[Symbol]
EXISTING INTERIOR WALL TO BE REMOVED	[Symbol]
NEW INTERIOR WALL	[Symbol]
NEW EXTERIOR INFILL WALL	[Symbol]

WINDOW SCHEDULE									
Number	Size	Sill Height	Head Height	Frame Material	Manufacturer	Model	Color	Notes	
101	22'-0" x 6'-4"	3'-4" A.F.F.	10'-2" A.F.F.	ALUMINUM	ALUMINUM	T.A.D.	T.A.D.	T.A.D.	SPANEL, IMPARTING STACKING HORIZONTAL SLURR, SILL RECESSED IN RAIL TOP

WIND PRESSURE ON OPENINGS (PSF)	
MARK	PRESSURE
(A)	+35.1 PSF      -38.0 PSF
(B)	+31.1 PSF      -34.2 PSF
(C)	31.0 PSF        -33.3 PSF

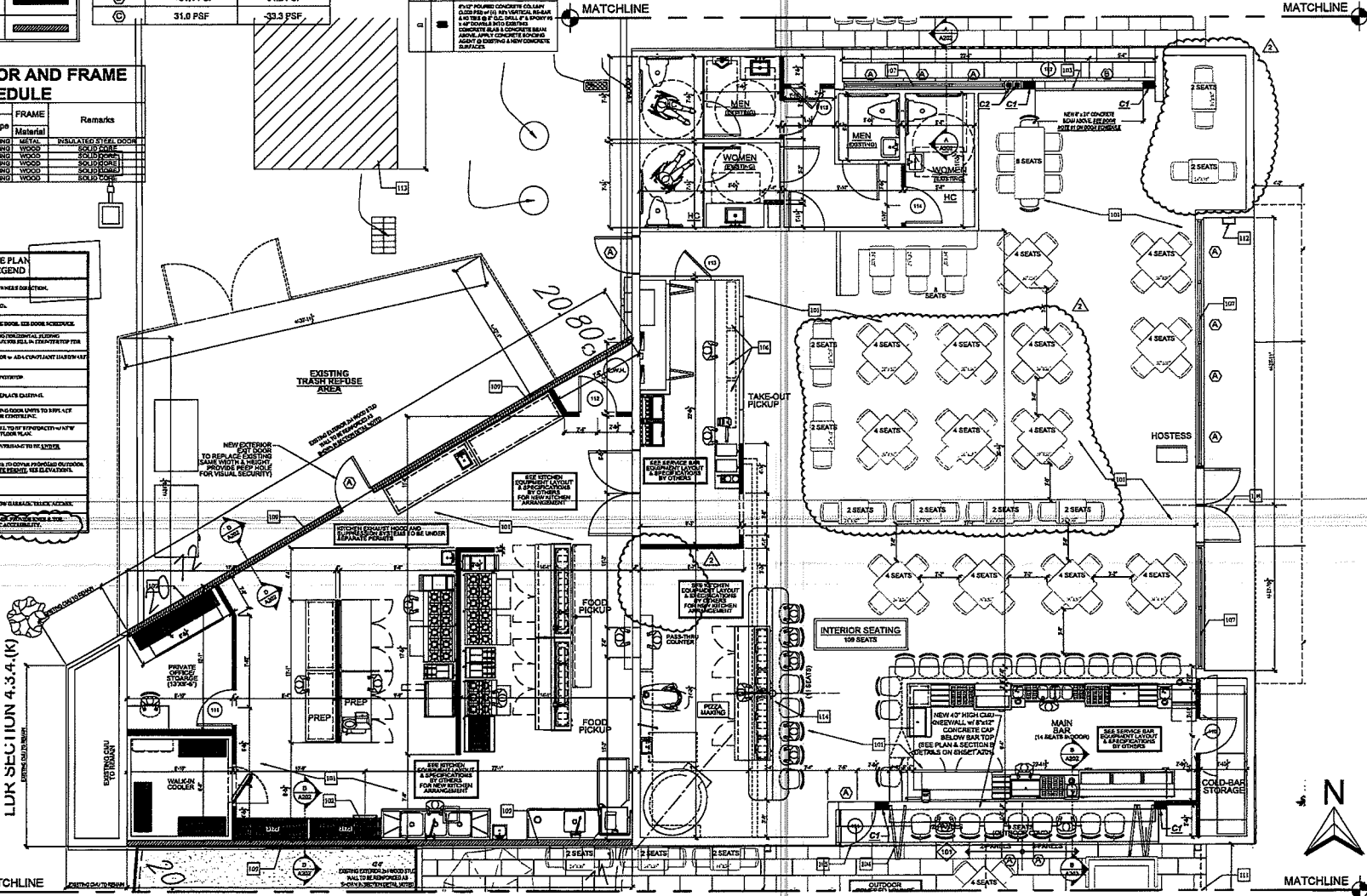
COLUMN SCHEDULE	
C1	1.0' DIA. PRECAST CONCRETE COLUMN WITH POLYURETHANE INSULATION. 4# VERTICAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR.
C2	1.0' DIA. PRECAST CONCRETE COLUMN WITH POLYURETHANE INSULATION. 4# VERTICAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR. 1" DIA. HORIZONTAL REBAR.

EXTERIOR DOOR SCHEDULE									
Number	Door Size - PR WxH	DOOR		FRAME		Manufacturer	Model	Color	Notes
		Interior	Exterior	Interior	Exterior				
101	2'-0" x 8'-0"	ALUMINUM GLASS	ALUMINUM GLASS	ALUMINUM	ALUMINUM	T.A.D.	T.A.D.	T.A.D.	ASA COMPLIANT FRENCH DOOR
102	8'-0" x 8'-0"	STEEL REINFORCED	STEEL REINFORCED	WOOD	WOOD	T.A.D.	T.A.D.	T.A.D.	INSULATED GARAGE DOOR. SEE DOOR NOTE #1 BELOW.

SEATING SUMMARY FOR WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT		
INDOOR SEATING:	157	158 SEATS
OUTDOOR COVERED SEATING (ATLANTIC AVE.):	42	42 SEATS FOR LEISURE USE ONLY
EXTERIOR OPEN SEATING (ATLANTIC AVE.):	31	31 SEATS FOR LEISURE USE ONLY
EXTERIOR OPEN SEATING (PORTH.):	62	62 SEATS FOR LEISURE USE ONLY
<b>TOTAL DINING SEATS:</b>	<b>292</b>	
WITH 10% BUFFER FOR ASSEMBLY AND OCCUPANCY REQUIREMENTS FOR FIRE AND HEIGHTS TABLE. AREA OF EXISTING SPACE IS APPROX. 4,455 SF.		

INTERIOR DOOR AND FRAME SCHEDULE					
Number	Door Size - PR WxH	Type	FRAME Material	Remarks	
110	2'-0" x 8'-0"	SWING	METAL	INSULATED STEEL DOOR	
111	2'-0" x 8'-0"	SWING	WOOD	SOLID CORE	
112	2'-0" x 8'-0"	SWING	WOOD	SOLID CORE	
113	2'-0" x 8'-0"	SWING	WOOD	SOLID CORE	
114	2'-0" x 8'-0"	SWING	WOOD	SOLID CORE	
115	2'-0" x 8'-0"	SWING	WOOD	SOLID CORE	

- PROPOSED SITE PLAN KEY NOTE LEGEND**
- 101. IMPROVE EXISTING PAVING CONDITIONS ON WHEEL DRIVE SIDE.
  - 102. NEW SERVICE FLOOR ELEV. 10.000 (FIN).
  - 103. IMPROVE EXISTING OVERHEAD GARAGE DOOR. SEE DOOR SCHEDULE.
  - 104. NEW IMPACT RATED 2-PANEL, 8-1/2" ALUMINUM GLASS DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 105. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 106. NEW EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 107. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 108. NEW EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 109. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 110. NEW EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 111. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 112. NEW EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 113. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 114. NEW EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.
  - 115. IMPROVE EXISTING EXTERIOR ENTRY DOOR. 10'-0" HIGH. 8'-0" WIDE. 10'-0" HIGH. 8'-0" WIDE.



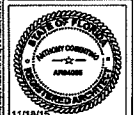
1 PROPOSED INTERIOR FLOOR PLAN  
SCALE: 1/4" = 1'-0"

11/18/15 SPRAB SUBMITTAL #3

**COSENTINO ARCHITECTURE, INC.**  
1000 S.W. 1ST WAY  
BOCA RATON, FL 33486  
V.P.C. 951-922-0484  
FIRM#: AA26002153  
Anthony@cosentinoarchitect.com  
www.cosentinoarchitect.com

REVISIONS	BY	DATE
SPRAB SUBMITTAL #1	AC	06.12.15
SPRAB SUBMITTAL #2	AC	10.08.15
SPRAB SUBMITTAL #3	AC	11.18.15

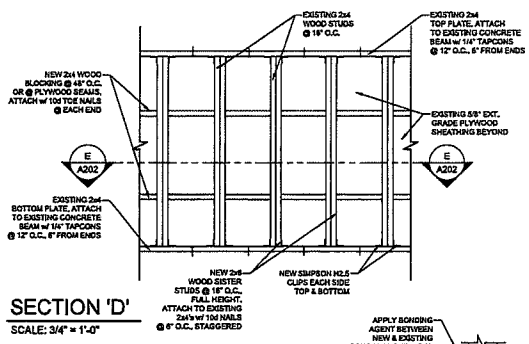
**WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT BUILDOUT MARKETPLACE AT DELRAY 5199 W. ATLANTIC AVENUE Delray Beach, Fl.**



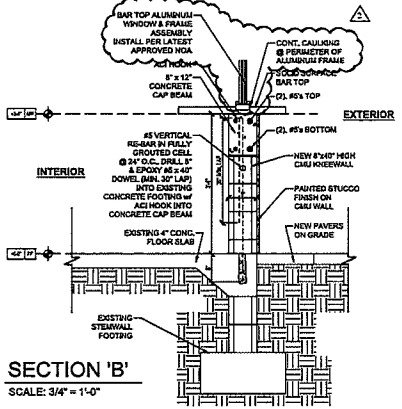
11/18/15  
5:50 A.M.  
ANTHONY COSENTINO  
951-922-0484

**A201**  
PAGE

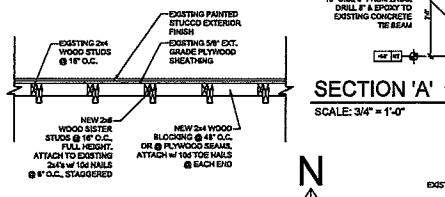
1200 N. FEDERAL HIGHWAY SUITE 200 BOCA RATON, FL 33486 V.P.C. 951-922-0484



**SECTION 'D'**  
SCALE: 3/4" = 1'-0"

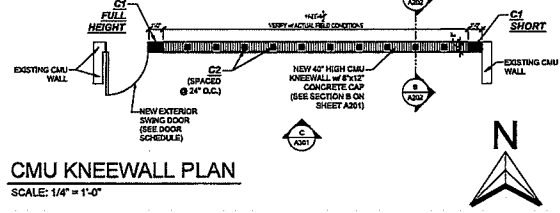


**SECTION 'B'**  
SCALE: 3/4" = 1'-0"

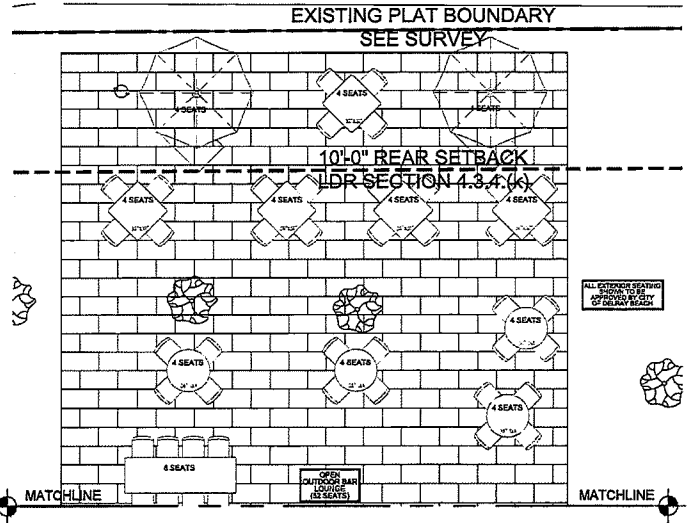


**SECTION 'A'**  
SCALE: 3/4" = 1'-0"

**PARTIAL EXTERIOR STUD WALL PLAN**  
SCALE: 3/4" = 1'-0"



**CMU KNEEWALL PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED NON-COVERED OUTDOOR FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

MARK	WIND PRESSURE ON EXPOSURE (PSF)	WIND PRESSURE
(1)	+35.1 PSF	-38.0 PSF
(2)	+31.1 PSF	-34.2 PSF
(3)	31.0 PSF	-33.3 PSF

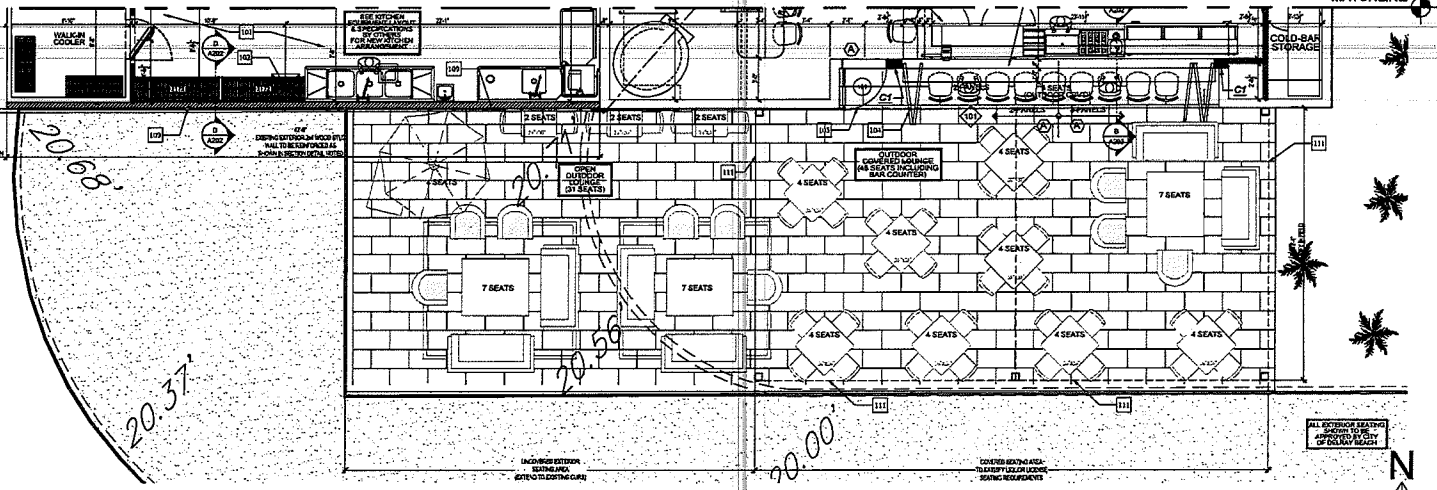
**WALL LEGEND**

EXISTING EXTERIOR CMU WALL TO REMAIN	[Symbol]
EXISTING INTERIOR WALL TO REMAIN	[Symbol]
EXISTING EXTERIOR CMU WALL TO BE REMOVED	[Symbol]
EXISTING INTERIOR WALL TO BE REMOVED	[Symbol]
NEW INTERIOR WALL	[Symbol]
NEW EXTERIOR INFILL WALL	[Symbol]

**SEATING SUMMARY FOR WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT**

INDOOR SEATING	107	155 SEATS
OUTDOOR COVERED SEATING (ATLANTIC AVE.)	48	100 SEATS FOR LIQUOR LICENSE
OUTDOOR OPEN SEATING (ATLANTIC AVE.)	31	
OUTDOOR OPEN SEATING (NORTH)	82	
<b>TOTAL DINING SEATS:</b>	<b>238</b>	

WITHIN MAX VALUES FOR ASSEMBLY & OCCUPANCY REQUIREMENTS FOR FIRE AND CODES SAFETY. AREA OF EXISTING SPACE IS APPROX. 4,455 S.F.



**PROPOSED COVD OUTDOOR FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

11/18/15 SPRAB SUBMITTAL #3



REVISIONS	BY	DATE
SPRAB SUBMITTAL #3	AC	08.12.15
SPRAB SUBMITTAL #2	AC	10.04.15
SPRAB SUBMITTAL #1	AC	11.16.15

**WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT BUILDOUT MARKETPLACE AT DELRAY**  
5199 W. ATLANTIC AVENUE  
DeLray Beach, FL



**A202**  
PAGE

1200 N. FEDERAL HIGHWAY SUITE 200 BOCA RATON, FL 33468 V&F: 561-922-0484



**STRUCTURAL NOTES**

**CODES AND STANDARDS**

Wind loads as per Florida Building Code.

ANSI/ACF 7-10

Wind Speed=170 MPH (3 Second Gust)

Structure Type I

Exposure = C

Km 0.85

Internal Pressure Coefficient = +/- 0.18

Components & Cladding Design Wind Pressures:

Walls: Zone 1 = +30 PSF, -41 PSF

Zone 2 = +30 PSF, -57 PSF

Zone 3 = +30 PSF, -57 PSF

Roof: Zone 1 = +20 PSF, -34 PSF

Zone 2 = +20 PSF, -57 PSF

Zone 3 = +20 PSF, -57 PSF

All openings below 60"-0" to be protected from impact of windborne debris.

The project was designed in accordance with the building code requirements for reinforced concrete (ACI 318-08 Edition), (American Institute of Steel Construction) ASD ASD 9th Edition, Building Code Requirements and Specifications for Masonry Structures (ACI 530-08/ASCE 5-08/TMS 402-08), Building Code Requirements and National Design Specifications for Wood Construction (ANSI/NFPA NDS-2005).

**SECTION AND DETAILS**

All details, sections and notes shown on the drawings are intended to be typical and shall apply to similar situations elsewhere unless otherwise noted.

**FOUNDATION**

Bottom of footings to bear on soil capable of safely supporting 2,500 psf. (FIELD VESUP)

**CONCRETE**

Concrete shall be ready mix and have a minimum compressive strength of 3,000 PSI for footings and slabs on grade and 3,000 PSI for beams, columns at 28 days. All concrete work shall comply with the requirements of the ACI Building Code (ACI 318-08 Edition), the ACI Detailing Manual (ACI 315/Latest Edition), and the specifications for structural concrete for buildings (ACI 301/Latest Edition). Concrete cover for reinforcing steel shall be as required by the latest ACI specifications. Welded wire fabric shall comply with ASTM A-185, unless otherwise specified. Place fabric 2" clear from top of the slab in side on grade. Lap all WFB a minimum of 6 inches unless otherwise noted. All reinforcing steel shall be manufactured from high strength billet steel conforming to ASTM Designation A-615 Grade 60. Lap all bars minimum 48 diameters unless otherwise noted on drawings. All hooks shown in reinforcement shall be ACI recommended hooks unless otherwise noted.

**TIMBER**

Structural timber to be Southern Pine #2 (minimum) stress grade lumber or approved equal. The minimum dimension properties are as follows:

Fb = 1,150 PSI Fv = 90 PSI E = 1,600,000 PSI

and pressure treated for use against concrete and masonry.

All timber and timber construction shall comply with specifications and codes as specified below:

American Institute of Timber Construction, Timber Construction Manual; National Forest Products Association, National Design Specification for Wood Construction; American Plywood Association, Plywood Design Specification; American Wood Preservers Association Standards; National Lumber Manufacturers Association, National Design Specification for Stress Grade Lumber and its Products.

All timber connections are to be made using prefabricated connectors. Toe nailing will not be permitted. Submit manufacturer's data for approval. Fasteners to be as manufactured by USP or Simpson.

**WOOD TRUSSES**

Wood roof trusses are to be designed for the wood fabricator by a professional specialty engineer registered in the State of Florida. Truss fabricator to provide pre-fabricated hangers as required.

Design, fabrication, and installation of wood trusses and sheet metal connectors shall be in accordance with the following standards:

Design specifications for metal plate connected wood trusses (raft) (TP1 63); Design specifications for metal plate connected partial chord roof trusses (raft) (TP1 60); Bracing wood trusses: Commentary and Recommendations (BWT 78); Handling and erecting wood trusses: Commentary and Recommendations (HT-11).

**STRUCTURAL STEEL**

All structural steel shall be fabricated and erected in accordance with the latest AISC code. Structural steel shall conform to ASTM Specification A500 (Fy=46KSI). All steel luting shall conform to ASTM Specification A-500 Grade B (Fy=46KSI). All steel to have a shop coat of rust inhibitive paint. All shop and field welding shall be performed by welders qualified, as described in "American Welding Society's Standard Qualification Procedure" (AWS D1.1), to perform the type of work required. All steel welding rods shall be E70XX electrodes.

**MASONRY**

This project is designed as engineered unit masonry. Structural design shall be in accordance with ACI 530-08/ASCE 5-08/TMS 402-08 building code requirements for masonry structures and the commentary on building code requirements for masonry structures.

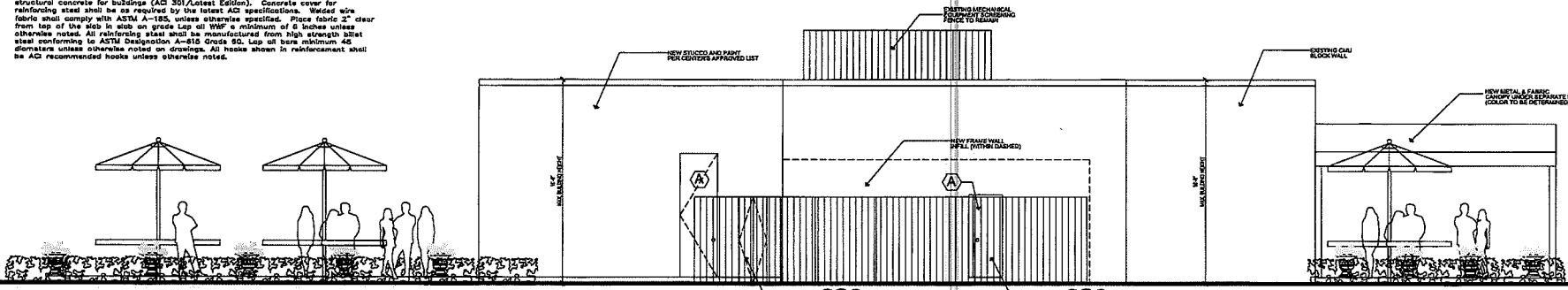
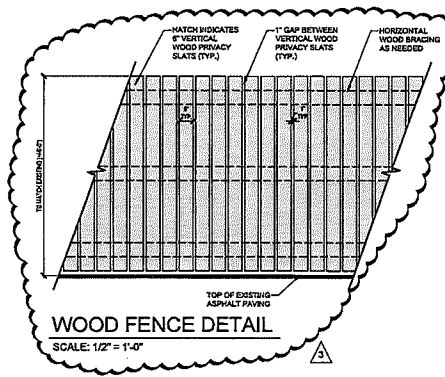
Masonry units shall be ASTM C-90 Type II with minimum compressive strength of 1500 psi on flat faces of individual units. All CMU shall be laid in a full bed of mortar in running bond U.G.M. All reinforcing steel shall be manufactured from high strength billet steel conforming to ASTM Designation A-615 Grade 60.

All mortar shall be Type S in accordance with ASTM Specification C-270 with a minimum compressive strength of 1800 PSI at 28 days. No testing for mortar strength is required for this project.

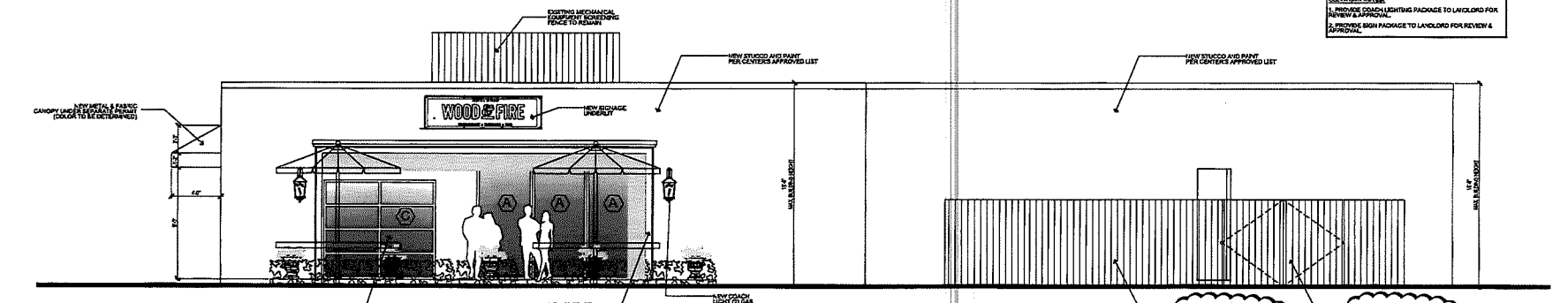
Grout shall be a high slump mix (8"-11") in accordance with ASTM Specification C-476 having a minimum compressive strength of 3,000 PSI. No testing for grout strength is required for this project.

Provide 9 gauge horizontal joint reinforcement (adder type only) at every second course for all exterior walls.

All concrete masonry bearing and shear walls shall be inspected by a qualified engineer, but not earlier than the foundation set and pour. See Program. Construction shall be in accordance with the Specification for the Design and Construction of Load Bearing Concrete Masonry published by National Concrete Masonry Association.



WIND PRESSURE ON OPENINGS (PSF)	
MARK	PRESSURE
(A)	+35.1 PSF -38.0 PSF
(B)	+31.1 PSF -34.2 PSF



**ELEVATION NOTE:**  
1. PROVIDE GRADE LIGHTING PACKAGE TO LANDLORD FOR REVIEW & APPROVAL.  
2. PROVIDE SIGN PACKAGE TO LANDLORD FOR REVIEW & APPROVAL.

**11/18/15 SPRAB SUBMITAL #3**

COSENTINO ARCHITECTURE, INC.  
1000 S.W. 1ST WAY  
BOCA RATON, FL 33486  
VFX#: 561-922-0484  
FIRM#: AA26002153  
http://www.ccsouthfloridarchitect.com

REVISIONS	BY	DATE
SPRAB SUBMITAL #2	AC	08.12.15
SPRAB SUBMITAL #1	AC	10.08.15
SPRAB SUBMITAL #3	AC	11.18.15

**WOOD & FIRE NEAPOLITAN PIZZA RESTAURANT BUILDOUT MARKET PLACE AT DELRAY 5199 W. ATLANTIC AVENUE Delray Beach, FL.**

11/18/15  
3:00 AM  
ANTHONY COSENTINO  
561-922-0484

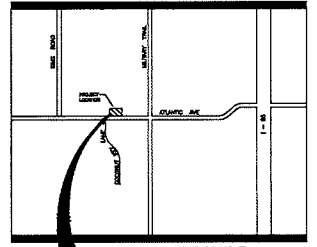
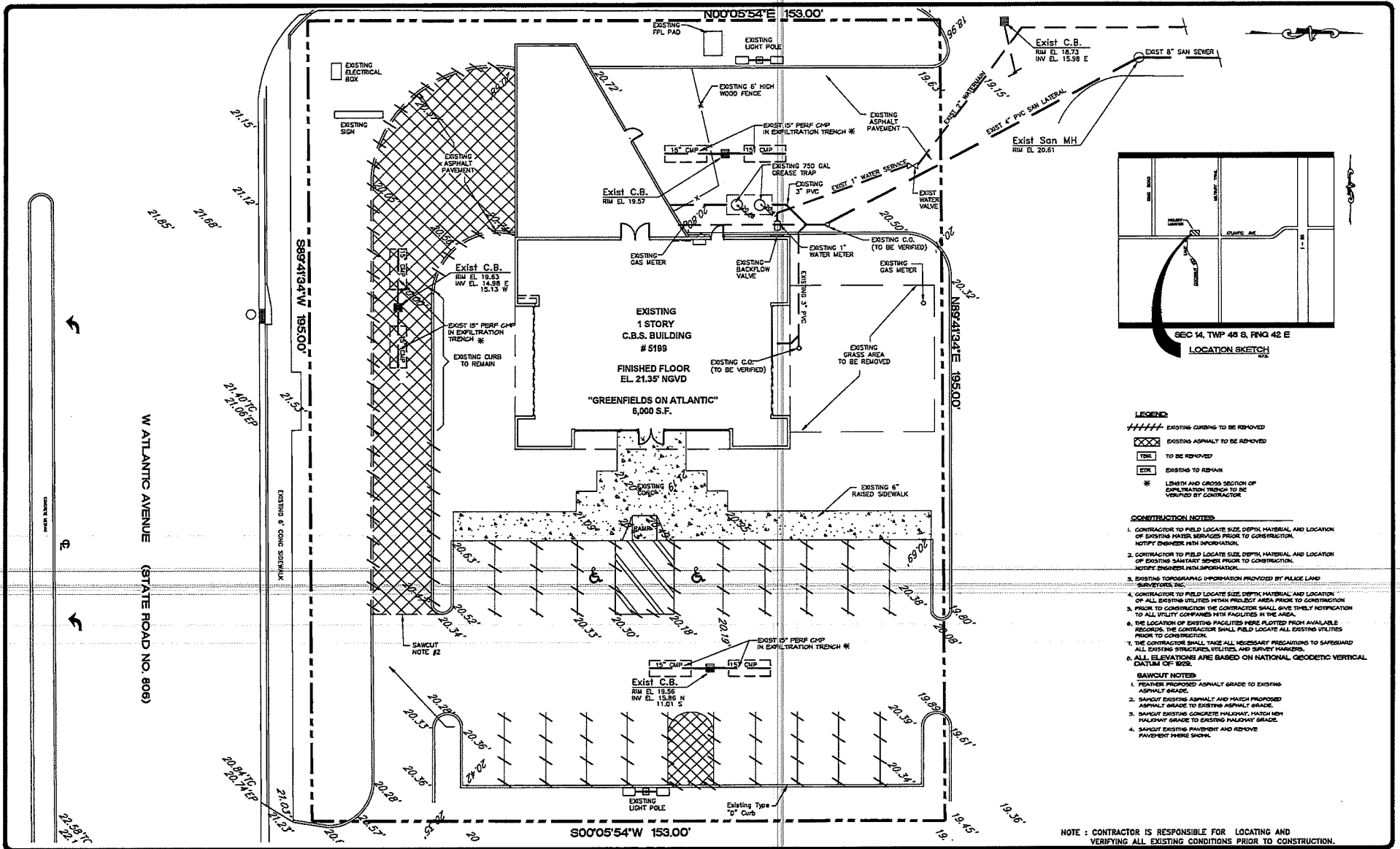
**A302**

PAGE

1200 N. FEDERAL HIGHWAY SUITE 200 BOCA RATON, FL 33486 VFX#: 561-922-0484







- LEGEND:**
- ////// EXISTING CURBING TO BE REMOVED
  - XXXX EXISTING ASPHALT TO BE REMOVED
  - TKL TO BE REMOVED
  - ERK EXISTING TO REBARK
  - \* LENGTH AND CROSS SECTION OF EXFILTRATION TRENCH TO BE VERIFIED BY CONTRACTOR
- CONSTRUCTION NOTES:**
1. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF EXISTING WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
  2. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF EXISTING SANITARY SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
  3. EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY POLICE LAND SURVEYORS.
  4. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF ALL EXISTING UTILITIES WITHIN PROJECT AREA PRIOR TO CONSTRUCTION.
  5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
  6. THE LOCATION OF EXISTING FACILITIES HERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  7. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
  8. ALL ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1985.
- SAWCUT NOTES:**
1. FEATHER PROPOSED ASPHALT GRADE TO EXISTING ASPHALT GRADE.
  2. SAWCUT EXISTING ASPHALT AND MATCH PROPOSED ASPHALT GRADE TO EXISTING ASPHALT GRADE.
  3. SAWCUT EXISTING CONCRETE HALFWAY MATCH HIGH HALFWAY GRADE TO EXISTING HALFWAY GRADE.
  4. SAWCUT EXISTING PAVEMENT AND REMOVE PAVEMENT WHERE SHOWN.

NOTE: CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

Designed <u>J.J.H.</u>				
Drawn <u>E.L.H.</u>				
Checked <u>J.J.H.</u>				
NO.	DATE	REVISION	BY	

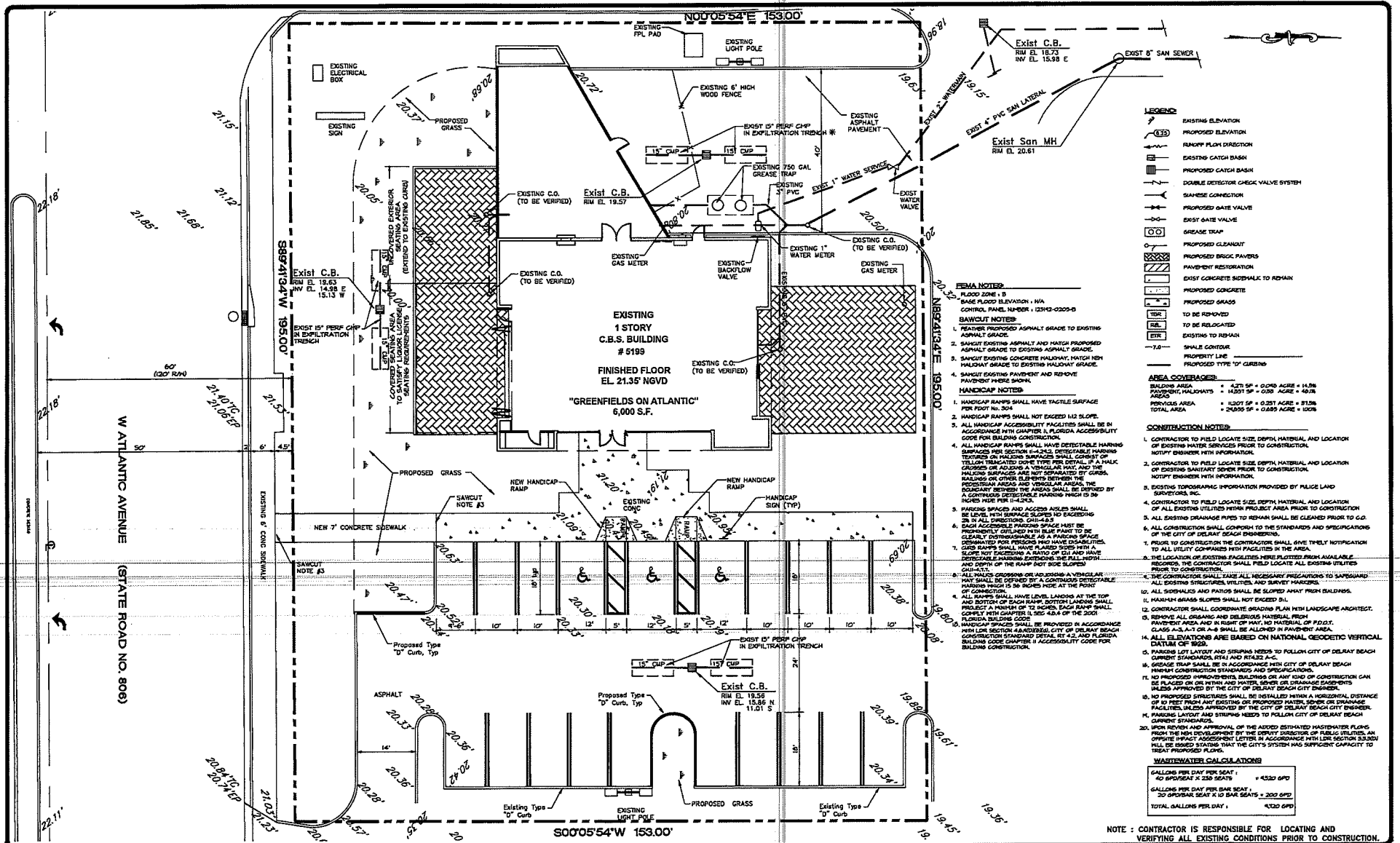
**HALEY ENGINEERING, INC.**  
 CIVIL ENGINEERING SERVICES.  
 1680 SE 4th Street - Deerfield Beach, Fla. 33441  
 Phone: (954) 260-6194  
 Email: johnhaley@comcast.net  
 F.B.P.E. Authorization No. 9463

**WOOD AND FIRE NEAPOLITAN  
 PIZZA RESTAURANT**  
 5199 WEST ATLANTIC AVENUE  
 DELRAY BEACH, FLORIDA

**EXISTING CONDITIONS  
 AND DEMOLITION PLAN**

APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 JOHN J. HALEY, P.E.  
 REGISTERED ENGINEER NO. 40023  
 STATE OF FLORIDA

SCALE	PROJECT NUMBER	1 / 4
1" = 10'	15-2040	



- LEGEND:**
- EXISTING ELEVATION
  - PROPOSED ELEVATION
  - RUNOFF FLOW DIRECTION
  - EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - DOUBLE DETECTOR CHECK VALVE SYSTEM
  - MANHOLE CONNECTION
  - PROPOSED GATE VALVE
  - EXIST GATE VALVE
  - GREASE TRAP
  - PROPOSED CLEANOUT
  - PROPOSED BRICK PAVERS
  - PAVEMENT RESTORATION
  - EXIST CONCRETE SIDEWALK TO REMAIN
  - PROPOSED CONCRETE
  - PROPOSED GRASS
  - TO BE REMOVED
  - TO BE RELOCATED
  - EXISTING TO REMAIN
  - PROPERTY LINE
  - PROPOSED TYPE 'D' CURBING
- AREA COVERAGES:**
- BUILDING AREA = 4,271 SF = 0.098 ACRE ± 14.5%
  - PAVEMENT, HANDICAPTS = 14,027 SF = 0.318 ACRE ± 48.3%
  - PROPOSED GRASS = 1,407 SF = 0.032 ACRE ± 3.15%
  - TOTAL AREA = 24,705 SF = 0.568 ACRE ± 100%
- CONSTRUCTION NOTES:**
1. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF EXISTING WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
  2. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF EXISTING SANITARY SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INFORMATION.
  3. EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY PALM LAND SURVEYORS, INC.
  4. CONTRACTOR TO FIELD LOCATE SIZE, DEPTH, MATERIAL, AND LOCATION OF ALL EXISTING UTILITIES WITHIN PROJECT AREA PRIOR TO CONSTRUCTION.
  5. ALL EXISTING DRAINAGE PIPES TO REMAIN SHALL BE CLEANED PRIOR TO C.O.
  6. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF DELRAY BEACH ENGINEERS.
  7. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL GIVE TWELVE (12) MONTHS NOTICE TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
  8. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
  10. ALL SIDEWALKS AND PATIORS SHALL BE SLOPED AWAY FROM BUILDINGS.
  11. WALKWAY GRASS SLOPES SHALL NOT EXCEED 3%.
  12. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
  13. REMOVE ALL OBSTACLES AND DEBRIS FROM PROJECT AREA PRIOR TO CONSTRUCTION.
  14. ALL ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988.
  15. PARKING LOT LAYOUT AND STRIPING NEEDS TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS, SPECIFICATIONS, AND REGULATIONS.
  16. GARAGE TRAP SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND SPECIFICATIONS.
  17. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN AND WATER, SEWER OR DRAINAGE FACILITIES UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
  18. PARKING LAYOUT AND STRIPING NEEDS TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS.
  19. FOR REVIEW AND APPROVAL OF THE ADDED ESTIMATED WASTEWATER FLOWS FROM THE HIGH DEVELOPMENT BY THE DEPUTY DIRECTOR OF PUBLIC UTILITIES, AN OFFICE IMPACT ASSESSMENT CERTIFICATE IN ACCORDANCE WITH LRS SECTION 5.3.10 MUST BE ISSUED STATING THAT THE CITY'S SYSTEM HAS SUFFICIENT CAPACITY TO TREAT PROPOSED FLOWS.
- WASTEWATER CALCULATIONS**
- GALLONS PER DAY PER SEAT = 4330 GPD  
 40 SP/DESK X 230 SEATS = 9320 GPD  
 GALLONS PER DAY PER GALE SEAT = 300 GPD  
 30 OFFICIAL SEAT X 10 GALE SEATS = 3000 GPD  
 TOTAL GALLONS PER DAY = 13320 GPD
- NOTE:** CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

Designed: J.J.H.				
Drawn: E.L.H.				
Checked: J.J.H.				
NO.	DATE	REVISION	BY	

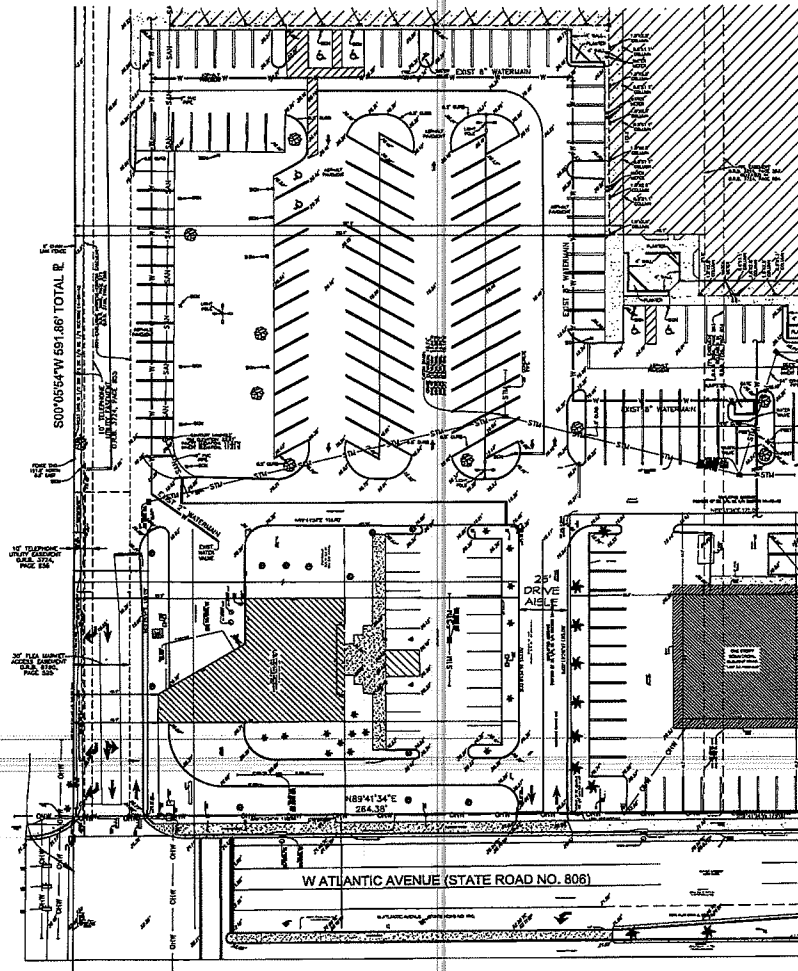
**HALEY ENGINEERING, INC.**  
 CIVIL ENGINEERING SERVICES  
 1680 SE 4th Street - Deerfield Beach, Fl. 33441  
 Phone: (561) 265-6184  
 Email: john@haleyco.com  
 F.B.P.E. Authorization No. 9463

**WOOD AND FIRE NEAPOLITAN**  
 PIZZA RESTAURANT  
 5199 WEST ATLANTIC AVENUE  
 DELRAY BEACH, FLORIDA

**PROPOSED PAVING**  
**AND DRAINAGE PLAN**

**APPROVED:** \_\_\_\_\_ DATE: \_\_\_\_\_  
 JOHN J. HALEY, P.E.  
 REGISTERED ENGINEER NO. 40023  
 STATE OF FLORIDA

SCALE	PROJECT NUMBER	2
1" = 10'	15-2040	4



Designed J.J.H.  
 Drawn E.L.M.  
 Checked J.J.H.

NO.	DATE	REVISION	BY

**HALEY ENGINEERING, INC.**  
 CIVIL ENGINEERING SERVICES.  
 1850 SE 4th Street - Deerfield Beach, Fla. 33441  
 Phone: (954) 260-6194  
 Email: johnjhaley@comcast.net  
 F.B.P.E. Authorization No. 9463

**WOOD AND FIRE NEAPOLITAN  
 PIZZA RESTAURANT  
 5199 WEST ATLANTIC AVENUE  
 DELRAY BEACH, FLORIDA**

**OVERALL SHOPPING  
 CENTER TRAFFIC CIRCULATION  
 AND WATERMAIN EXTENSION  
 PLAN**

**APPROVED:** \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 JOHN J. HALEY, P.E.  
 REGISTERED ENGINEER NO. 40023  
 STATE OF FLORIDA

SCALE

PROJECT  
 NUMBER

2A  
 4



**GENERAL NOTES**

**A. APPROVAL CODES**  
 1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY AND STATE.

**B. CONSTRUCTION SAFETY** - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. OPERATIONS OF THE ROAD AND SIDEWALKS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**C. CONSTRUCTION SAFETY** - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER. OPERATIONS OF THE ROAD AND SIDEWALKS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**D. NO CONSTRUCTION** MAY BE DONE UNLESS THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE AND FEDERAL AGENCIES.

**E. PRE-CONSTRUCTION RESPONSIBILITIES**  
 1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL SUBMIT A PRE-CONSTRUCTION CONFERENCE TO BE HELD WITH THE CITY ENGINEER, COUNTY ENGINEER AND ALL AFFECTED UTILITY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**F. APPROX TO BEHIND CONSTRUCTION** THE CONTRACTOR SHALL MAINTAIN THE EXISTING LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

**G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.**

**H. INSPECTIONS**  
 1. THE OWNER, ENGINEER, AND LOCAL AGENCIES MAY MAKE INSPECTIONS OF THE PROJECT AT ANY TIME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**I. SHOP DRAWINGS**  
 1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**J. MATERIALS**  
 1. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**K. TEMPORARY FACILITIES**  
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY FACILITIES TO MAINTAIN TRAFFIC FLOW AND PUBLIC SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**L. TRAFFIC REGULATION** - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY AND STATE SPECIFICATIONS.

**M. ALL OPEN TRENCHES** AND HOLES SHALL BE PROTECTED BY SAFETY BARRIERS AND LIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**N. PUBLIC SITE**  
 1. DURING CONSTRUCTION THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**O. THE CONTRACTOR SHALL MAINTAIN ACCESS AND CONVICTION RECORDS OF ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.**

**P. MAINTENANCE OF RECORDS**  
 1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**Q. APPROVAL RECORD DOCUMENTS**  
 1. THE CONTRACTOR SHALL SUBMIT APPROVAL RECORD DOCUMENTS TO THE CITY ENGINEER AND COUNTY ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**R. APPROX TO BEHIND CONSTRUCTION** THE CONTRACTOR SHALL MAINTAIN THE EXISTING LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

**S. ALL REQUIRED IDENTIFICATION** AND SIGNAGE SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING ANY MATERIAL.

**T. ALL "AS-BUILT" INFORMATION** SUBMITTED TO THE ENGINEER SHALL BE COMPLETELY ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**U. UPON COMPLETION OF CONSTRUCTION** THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD THE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**V. ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF FINISH GRADE, ROAD, AND SIDEWALK SHALL BE OBTAINED BY A REGISTERED LAND SURVEYOR.**

**2. IF IT IS THE INTENT** THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR ROADWAY CONSTRUCTION SHALL BE USED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**3. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**4. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**5. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**6. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**7. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**8. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**9. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**10. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**11. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**12. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**13. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**14. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**15. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**16. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**17. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**18. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**19. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**20. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

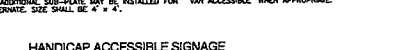
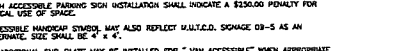
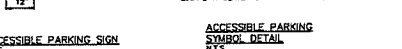
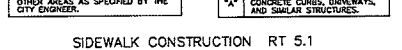
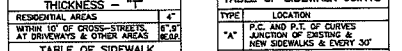
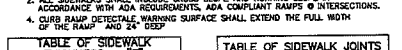
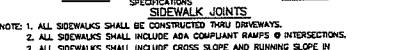
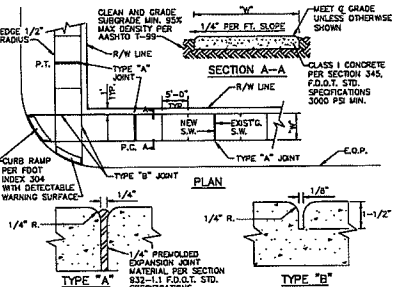
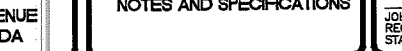
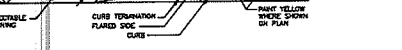
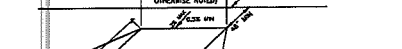
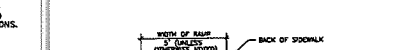
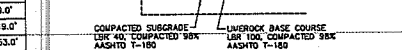
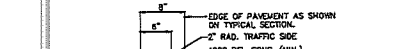
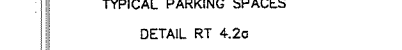
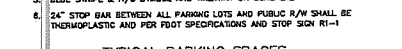
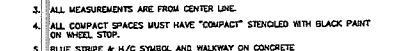
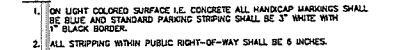
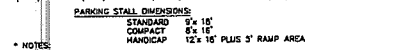
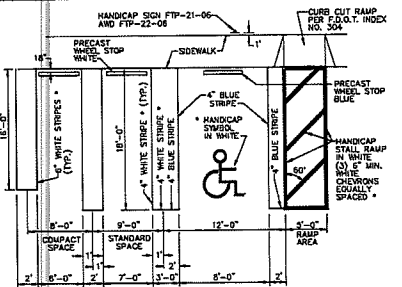
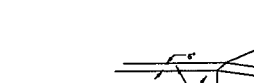
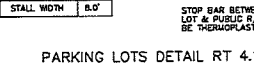
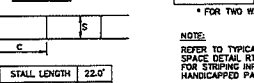
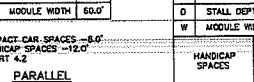
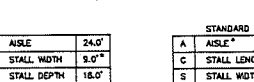
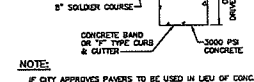
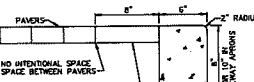
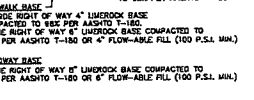
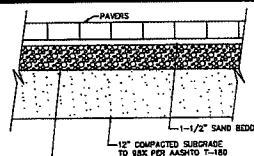
**21. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**22. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**23. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**24. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.

**25. ALL MATERIALS** SHALL BE OF THE BEST QUALITY AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE COUNTY ENGINEER.



Designed	J.H.H.			
Drawn	E.L.H.			
Checked	J.H.H.			
NO.	DATE	REVISION	BY	

**HALEY ENGINEERING, INC.**  
 CIVIL ENGINEERING SERVICES.  
 1680 SE 4th Street - Deerfield Beach, Fl. 33441  
 Phone: (954) 260-6194  
 Email: jhaley@comcast.net  
 F.P.E. Authorization No. 9463

**WOOD AND FIRE NEAPOLITAN PIZZA RESTAURANT**  
 5199 WEST ATLANTIC AVENUE  
 DELRAY BEACH, FLORIDA

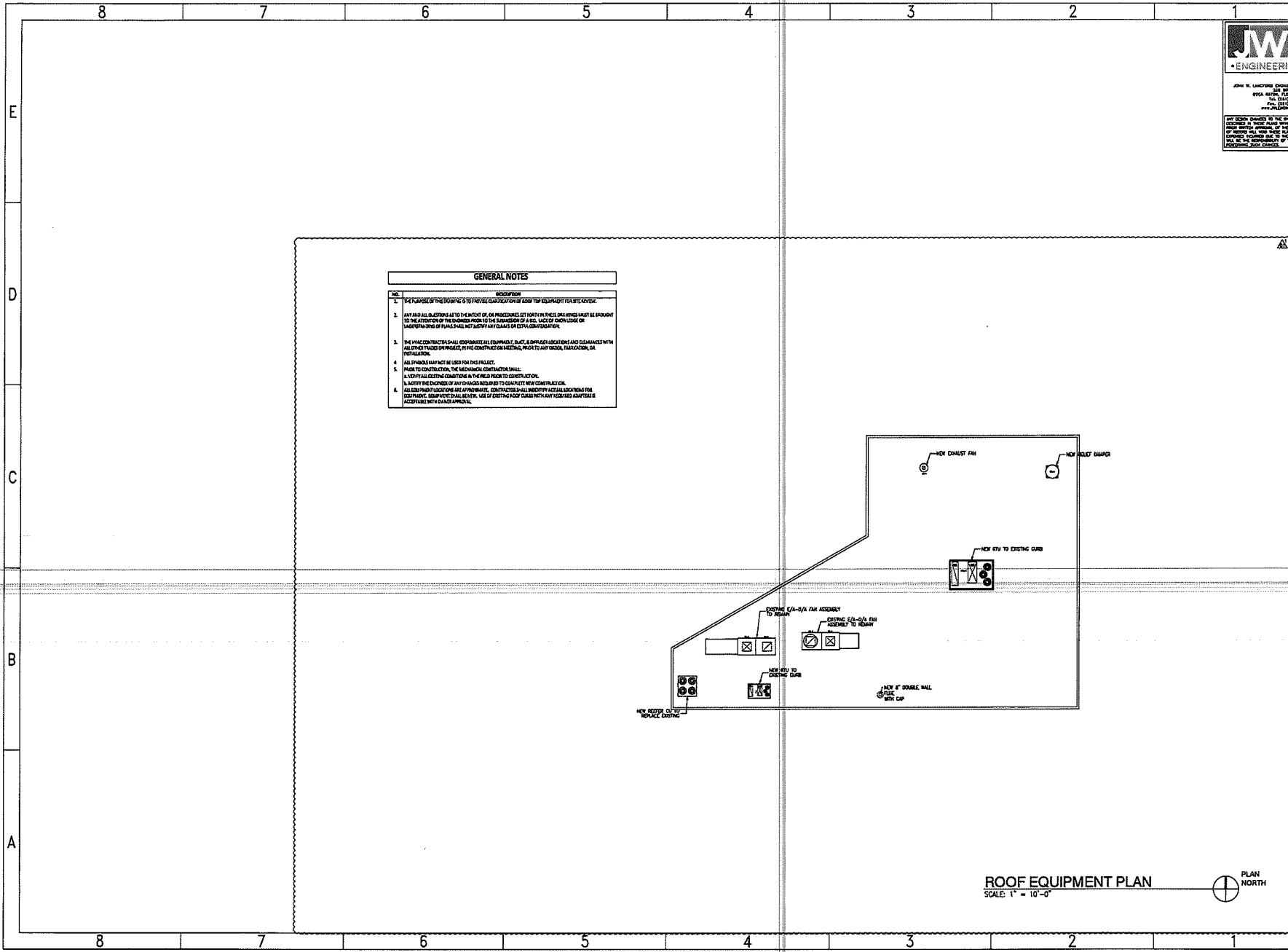
**NOTES AND SPECIFICATIONS**

APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 JOHN J. HALEY, P.E.  
 REGISTERED ENGINEER NO. 40023  
 STATE OF FLORIDA

SCALE	PROJECT NUMBER	4
N.T.S.	15-2040	4

FILE NAME: Z:\PROJECTS\1515151515\WOOD & FIRE PIZZA RESTAURANT\DWG\1515151515-DRW-500-200-00-01.DWG

PLOT DATE: 11/19/2015 3:08 PM SHEET SIZE: ARCH D; PLOT SCALE: 1:1



- | NO. | REVISION   |
|-----|--|
| 1.  | THE PURPOSE OF THE DRAWING IS TO PROVIDE GUIDANCE FOR THE EQUIPMENT FOR THIS ACTIVITY.   |
| 2.  | ANY AND ALL DEVIATIONS AS TO THE INTENT OF OR PROCEEDINGS SET FORTH IN THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE BEGINNING OF A JOB. LACK OF KNOWLEDGE OR MISINTERPRETATION OF PLANS SHALL NOT EXCUSE ANY CLAIM OF LEGAL CONSEQUENCE. |
| 3.  | THE ARCHITECT/OWNER SHALL COORDINATE ALL EQUIPMENT PLACEMENT, DISPLACE LOCATIONS AND DIMENSIONS WITH ALL OTHER TRADES PRIOR TO THE BEGINNING OF CONSTRUCTION. PRIOR TO ANY INSTALLATION, THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AS SHOWN ON THE PLANS.               |
| 4.  | ALL SPANNELS MUST BE USED FOR THE PANELS.  |
| 5.  | PLACE TO CONSTRUCTION, THE MECHANICAL CONTRACTOR SHALL:  |
| 6.  | VERIFY ALL EXISTING CONDITIONS AS SHOWN PRIOR TO CONSTRUCTION.   |
| 7.  | VERIFY THE DIMENSIONS OF ANY DEVIATIONS REQUIRED TO COMPLETE THE CONSTRUCTION.   |
| 8.  | ALL EQUIPMENT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS FOR ELECTRICAL EQUIPMENT SHALL BE THE USE OF EXISTING ROOF CURBS WITH ANY REQUIRED ADJUSTABLE ACCEPTABLE WITH OWNER APPROVAL.  |

**ROOF EQUIPMENT PLAN**  
SCALE: 1" = 10'-0"



**JW ENGINEERING**  
JOHN W. LAMPERTI, P.E.  
1000 W. PALM BEACH BLVD., SUITE 200  
PALM BEACH, FL 33480  
TEL: (561) 832-1111  
FAX: (561) 832-1112  
WWW.JWLENGINEERING.COM

**ANTHONY COSENTINO ARCHITECT, INC.**  
600 N. FEDERAL HIGHWAY  
SUITE 200  
BOCA RATON, FL 33432  
TEL: 561-992-3434  
FIRM#: AA2600215  
anthony@cosentinoarchitect.com  
www.cosentinoarchitect.com

NO.	REVISIONS	BY	DATE
1.	ISSUE FOR PERMITS	JL	10/27/15
2.	REVISED FOR COMMENTS	JL	11/16/15

**WOOD AND FIRE NEAPOLITAN PIZZA**  
5199 W. ATLANTIC AVENUE  
Delray Beach, FL

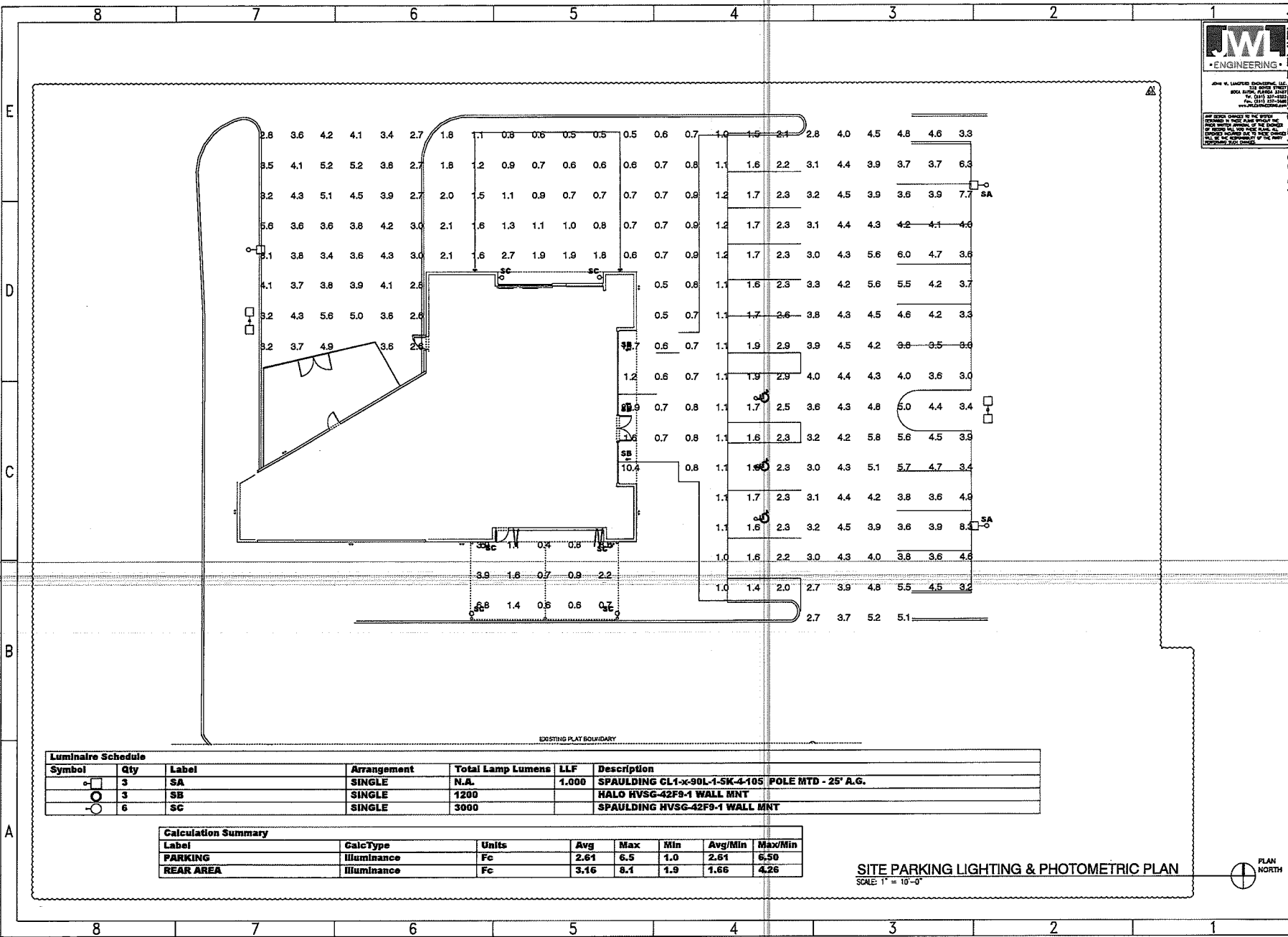
I HEREBY CERTIFY THAT THESE PLANS WERE MADE UNDER MY RESPONSIBLE CHARGE. THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO SECTION 4102.02 OF THE FLORIDA STATUTES AND 6105 OF THE FLORIDA ADMINISTRATIVE CODE.



HVAC PLAN NOTES, EQUIPMENT & DETAILS

**RP101**  
PAGE

FILE NAME: X:\PROJECTS\SL101\DRW-331-100-00-01.DWG  
 PLOT DATE: 11/19/2015 3:58 PM, SHEET: ARCH D, PLOT SCALE: 1:1



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
SA	3	SA	SINGLE	N.A.	1.000	SPAULDING CL1-x90L-1-SK-4-105 POLE MTD - 25' A.G.
SB	3	SB	SINGLE	1200		HALO HVSG-42F9-1 WALL MNT
SC	6	SC	SINGLE	3000		SPAULDING HVSG-42F9-1 WALL MNT

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING	Illuminance	Fc	2.61	6.5	1.0	2.61
REAR AREA	Illuminance	Fc	3.16	8.1	1.9	1.66

**SITE PARKING LIGHTING & PHOTOMETRIC PLAN**  
SCALE: 1" = 10'-0"

**JW ENGINEERING**  
JOHN W. LANGFORD ENGINEERING, LLC  
12200 W. BOCA RATON BLVD., SUITE 200  
BOCA RATON, FL 33486  
TEL: (561) 371-4444  
WWW.JWENGINEERING.COM

**COSENTINO ARCHITECTURE, INC.**  
10000 SW 81 WAY  
BOCA RATON, FL 33486  
V/F: 561-327-0484  
FIRM#: AA26022153  
WWW.COSENTINOARCHITECT.COM

**10-02-15 SITE REVIEW**

REVISIONS	BY	DATE
01 SITE REVIEW	JL	10/29/15
02 TAC CHTS	JL	11/03/15

**WOOD AND FIRE NEAPOLITAN PIZZA**  
5199 W. ATLANTIC AVENUE  
Delray Beach, FL

I HEREBY CERTIFY THAT THESE PLANS WERE MADE UNDER MY RESPONSIBLE CHARGE. THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO SECTION 4105 OF THE FLORIDA STATUTES AND 6108 OF THE FLORIDA ADMINISTRATIVE CODE.

JOHN LANGFORD, FL#66862

NOVEMBER 19, 2015

POWER PLAN NOTES, EQUIPMENT, SPECS. & CALCS.

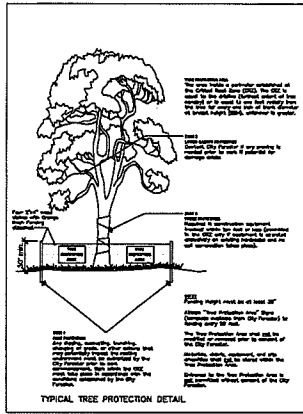
**SL101**  
PAGE



**EXISTING TREE LEGEND**

#	Name	Size	Description
1	Smt Swietenia mahogany/ Mahogany tree	24' 42x42'	To Remain
2	Smt Swietenia mahogany/ Mahogany tree	18' 30x42'	To Remain
3	Smt Swietenia mahogany/ Mahogany tree	18' 30x42'	To Remain
4	Sp Sabal Palm	14' 00'	To Be Relocated
5	Sp Sabal Palm	14' 00'	To Be Relocated
6	Sp Sabal Palm	14' 00'	To Be Relocated
7	Sp Sabal Palm	14' 00'	To Be Relocated
8	Sp Sabal Palm	14' 00'	To Be Relocated
9	Sp Sabal Palm	14' 00'	To Be Relocated
10	Sp Sabal Palm	14' 00'	To Be Relocated
11	Smt Swietenia mahogany/ Mahogany tree	27' 30x27'	To Remain
12	Qvt Quercus virginiana/ Live oak tree	18' 23x23'	To Remain
13	Qvt Quercus virginiana/ Live oak tree	18' 23x23'	To Remain
14	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
15	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
16	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
17	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
18	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
19	Fsp Woodyell bilurcaia/ fox tail palm	14' 00'	To Remain
20	Tst Tabebuia heterophylla/ Pink banyan tree	10-12'	To Remain
21	Smt Swietenia mahogany/ Mahogany tree	22' 30x30'	To Remain
22	Qvt Quercus virginiana/ Live oak tree	24' 30x30'	To Remain
23	Bursera Simaruba/ Gumbo limbo tree	15' 30x27'	To Be Relocated
24	Bursera Simaruba/ Gumbo limbo tree	18' 30x27'	To Be Relocated
25	Bursera Simaruba/ Gumbo limbo tree	18' 30x27'	To Be Relocated

Note: All Existing Material To Remain Unless Noted Otherwise On Plan



**RELOCATION NOTES:**

1. All canopy trees designated as relocated on the plans, are to be root-pruned for a minimum of 13 months prior to the relocation process.
2. The root ball for each tree of the individual tree to be relocated shall be:
  - a. The root ball shall be adequate to support & sustain the viability of the individual tree.
  - b. All root cuts shall be "clean cuts", and the root cut material shall be well drained planting soils or peat-approved equal. All root cuts, and undesirable fit materials shall be removed from root-prune branch.
  - c. Temporary irrigation shall be provided to all root-pruned trees during the root-pruning process, and after the trees have been relocated to their location for a minimum of 4 months, or as necessary to insure their survivability.
3. The canopies of all trees shall be reduced by a minimum of 20% of total root pruning.
4. All trees shall be relocated with machinery (i.e., crane, front-end loader, tree spade, or pulper) capable of handling the material without damaging any portion of the tree. The Landscape Architect will pre-approve all methods utilized for the relocation process.
5. All relocation work shall comply with the National Arboreal Standards.

**REMOVAL NOTES:**

1. All trees to be removed shall be completely removed from the site.
2. The root systems, if the removals, shall be removed in such a manner to facilitate the installation of new trees, or palms. Root system removal shall be a minimum of 24" depth, and a 4 foot diameter around the trees.
3. TREE REMOVAL PERMITS WILL BE REQUIRED BY THE GOVERNING MUNICIPALITY, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.

ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO COMMENCING ANY WORK ON THE SITE, PER FLORIDA LAW.

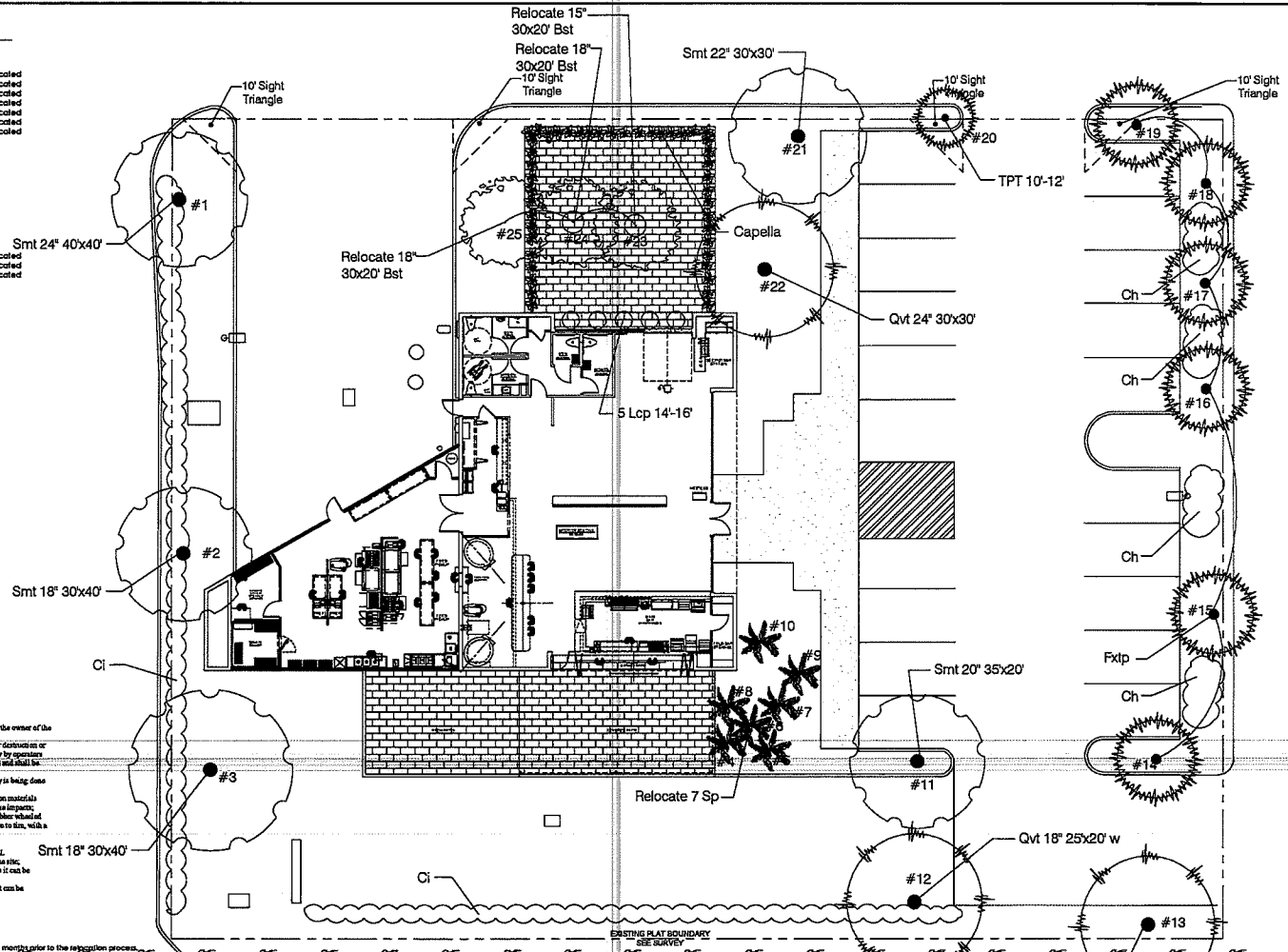
**PROJECT NOTE:**

ALL MATERIALS ON SITE NOT INDICATED TO BE REMOVED OR RELOCATED SHALL REMAIN.

**EXISTING MATERIAL RELOCATION SCHEDULE**

QTY.	KEY	DESCRIPTION
3	Bst	Bursera Simaruba/ Gumbo limbo tree
7	Sp-r	Sabal Palms

TOTAL NUMBER OF EXISTING MATERIALS TO BE RELOCATED = 10  
SEE PLANTING PLANS FOR RELOCATION



REVISIONS	BY
Revised 9-15-15 Per City Comments (LJ)	
Revised 11-17-15 Per Revised Site Plan	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th AVE. Delray Beach, FL 33483  
LA - 831  
561-272-9921

Landscape for:  
**WOOD & FIRE**  
5199 W Atlantic Ave. Delray Beach, Florida

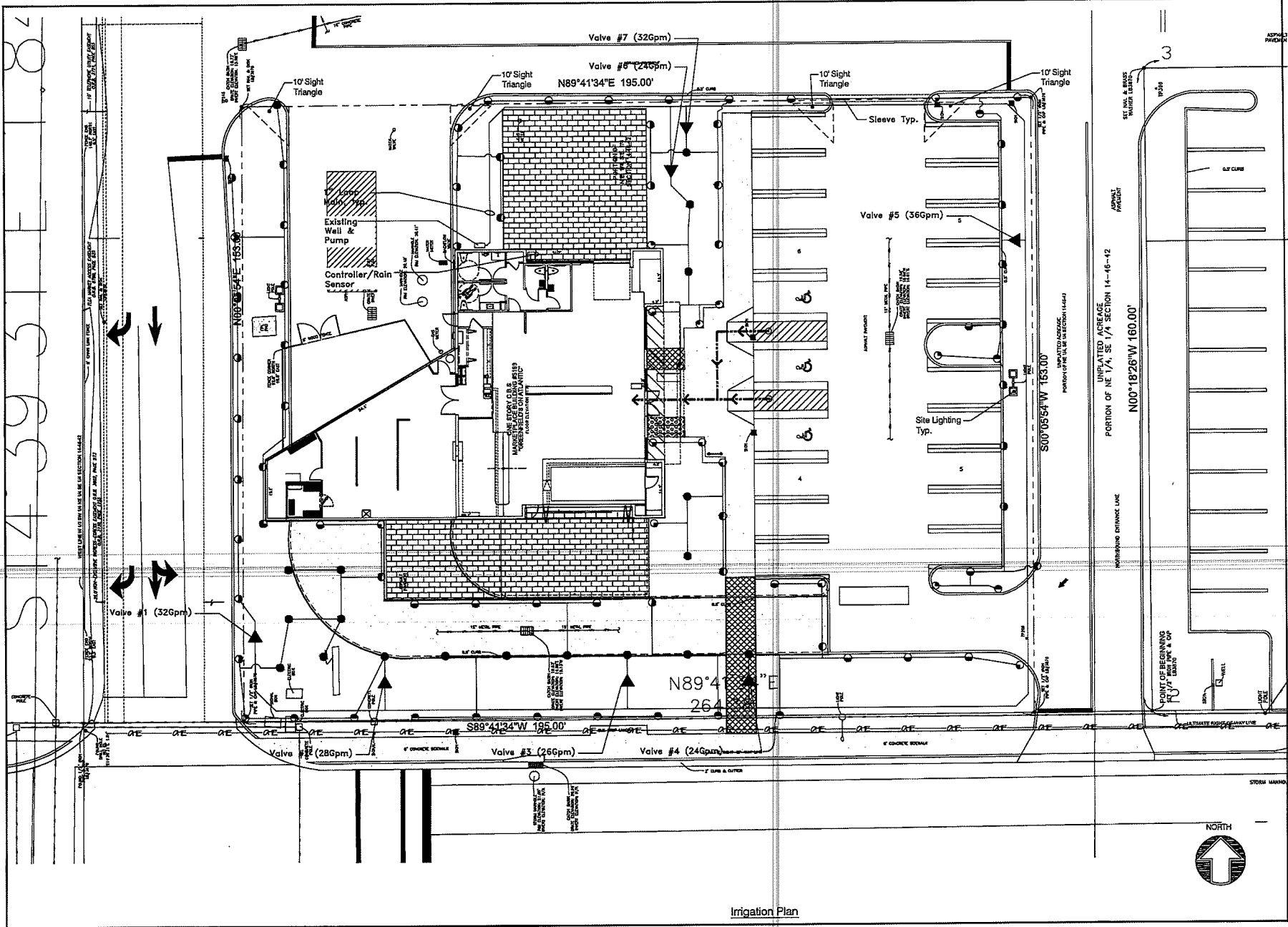
DRAWN	CHKD	DATE	SCALE
SNP	D.H.C.	04.2.15	1" = 30'

L-1  
OF 5 SHEETS

Existing Tree Plan







Irrigation Plan

REVISIONS	BY
Revised 9-15-15 Per City Comments (LJ)	
Revised 11-17-15 Per Revised Site Plan	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
 74 N.E. 8th Ave. Delray Beach, FL 33483  
 561-272-9421 LA. 831

Landscape for:  
**WOOD & FIRE**  
 5199 W Atlantic Ave. Delray Beach, Florida

DRAWN	SNP
CHECKED	D.H.C.
DATE	04.2.15
SCALE	1" = 30'
PROJECT	5.26.15
SHEET	L-4
TOTAL SHEETS	5



**IRRIGATION LEGEND**

- Rain bird 4 & 12 Pop-up 1800 Series w/PC Pattern as shown
- Rain bird Adjustable Rotary 3500 Series pattern as shown
- ▲ Rain Bird PVB Valve
- Rain Bird Controller ESP Series/ Mini Click Rain Sensor

Water Source: Well & Pump System  
 NOTE: Main Line (Typ.) & Valve locations are shown for graphic clarity only. All Main Line (Typ.) & Valves are to be located within landscape area's on-site. **IRRIGATION NOTES:**

**NOTES:**  
 Automatic Irrigation System  
 Water demand/ zone  
 Pressure required (refer to plans)

**SUBMITTAL:**  
 System shall be installed in accordance with a Federal, State, and local codes, Contract drawings and Contract Specifications. Irrigation design is based on "Planning Point" selected. Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant locations. The water source for this system shall be well & pump system (See Existing Equipment Note). The master shut-off valve shall be activated via the automatic controller, and shall be used to depressure the zone area when the system is not operational. Contractor shall adjust the irrigation, where noted on the plans for outdoor field conditions, and shall install the system in accordance with South Florida Irrigation Society standards and specifications.

To insure proper operation of this system, pump size, pressure required, pipe and wire size, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications. Irrigation system shall provide 100% coverage, with a 20% overlap minimum, utilizing "Turp-See" water source, if a well & pump system is to utilized, the contractor shall provide a "chemical injection system" to inhibit rust stains. If water sample testing indicates that there will be "rust" staining from the well water.

**PIPING:**  
 Pipe routing is schematic only, and shall be field adjusted for on-site conditions. All pipe shall be installed in accordance with local codes, and per manufacturer's recommendations. Pipe routed under power surfaces, and through planter walls shall be sleeved in SCH 40 PVC. Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Controller shall verify the location, depth & size of all existing sleeves, as required. Pipe installed above grade for the backflow preventer shall be SCH 40 Galvanized pipe. All other piping shall be PVC. The main line (Typ.) shall be SCH 40 PVC, installed dead from 1" to 2" shall be 1/2" Class 140, and laterals dead from 1" to 3/4" shall be 1/2" Class 200 PVC pipe.

Pipe shall be installed so the bottom depth are maintained of 18" for Main Line (Typ.) and all laterals routed beneath pavement, and at 12" for all other lines. The depths from 1" to 2" shall be 1/2" Class 140, and laterals dead from 1" to 3/4" shall be 1/2" Class 200 PVC pipe, one to be taken from buried ground. Embedment shall be suitable material, free of rocks, stones, or other details that could damage components of the irrigation system.

**SPRINKLERS:**  
 Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, hardscape elements, etc., to provide 100% coverage with a no overlap onto paved surfaces, or building footings. Pop-up spray heads shall be Toro series 27, and 12" type, which are to be installed on flexible swing joints of Toro thick-walled poly pipe with 1/2" nut elbows. THESE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THE PROJECT.

These heads shall be installed at a uniform height of 4" above the plantings, and one to be located within planting masses so as to be concealed from view. These type spray heads shall be Toro 570 series, and one to be installed on a 1/2" SCH 40 PVC riser. Riser(s) are to be installed on a SCH 40 PVC riser at the base of the plant material, or on a tree/walvesteading. All SCH 40 PVC riser are to be painted "Forest Green", or brown, to be less conspicuous.

Two 12" pop-up sprinklers shall be installed in ground-cover areas of the parking lot islands, and of other critical locations, as determined in the field by the Landscape Architect.

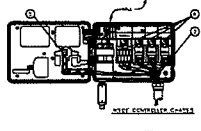
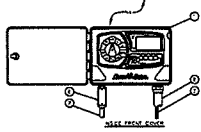
Sprinklers located adjacent to pavement, sidewalks, decks, patios, buildings, etc., shall be installed 6" from the edge. Unless otherwise noted on the plans, pop-up sprinklers shall be installed 6" from the edge, and trees sprinklers shall be installed 18" from the edge. Sharp edges are not to be finished at walk-way intersections, or where a 90° or 180° bend is required. Adjustment features of sprinklers specified shall be utilized to insure proper coverage, while maintaining unobstructed overhead. Contractor shall use precision in locating, and setting sprinkler heads in planting areas adjacent to parking spaces to minimize the damage to sprinklers by overhanging car bumpers.

Pop-up sprinklers with 20w or 18w" nozzle shall be installed around masses of lot plants, for low level watering. Contractor shall install sprinkler at optimum locations for the most effective coverage.

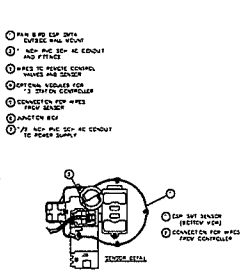
**CONTROL SYSTEM:**  
 Remote control system shall be installed, per manufacturer's recommendations, to activate in-line valves, and the master shut-off valve. Proper grounding equipment shall be installed for the controller. Controller location shall be approved by the Landscape Architect, and project supervisor. The irrigation contractor shall supply the controller, however the physical installation thereof, and the electrical hook-up shall be by others.

**VALVES:**  
 BRIBCO, or approved equal, electric valves shall be installed per manufacturer's recommendations, and as per details. All valves are to be installed in a 18" Amertex valve box, see detail.

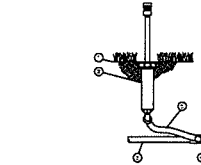
**RAIN SENSOR:**  
 Mini-click rain sensor shall be installed, per manufacturer's recommendations. Rain sensor location shall be approved by the Landscape Architect.



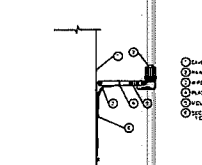
1. ESP-SMT SMART CONTROL SYSTEM



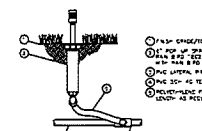
2. (OPTIONAL) ROTOR POP-UP SPRINKLER



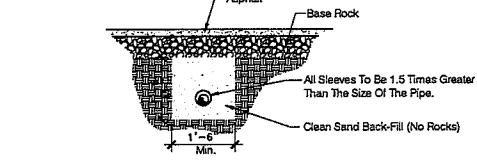
3. 12" POP-UP SPRAY FLEX ASSEMBLY



4. RAIN SENSOR- RSD-BER WALL BRACKET



5. 6" POP-UP SPRAY FLEX ASSEMBLY



6. TYPICAL SLEEVE DETAIL



REVISIONS	BY
Revised 9-15-15 Per City Comments (LJ)	
Revised 11-17-15 Per Revised Site Plan	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
 74 N.E. 5th Ave. Delray Beach, FL 33483  
 LA. 891  
 561-272-9621

Landscape for:  
**WOOD & FIRE**  
 5199 W Atlantic Ave. Delray Beach, Florida

DRAWN	ESP
CHECKED	D.H.C.
DATE	04.25.15
SCALE	1" = 30'
ADDTN.	5.25.15
DATE	

# CIMARRON LED

Cat.#	
Job	Type



Approvals

### SPECIFICATIONS

#### Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance
- Separate optical and electrical compartment for optimum component operation
- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating
- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions
- Stamped bezel provides mechanical compression to seal the optical assembly
- Complements the Hubbell Southwest series of outdoor fixtures
- Weight - 45.0 pounds, EPA - 1.3 ft<sup>2</sup>
- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

#### Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions
- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)
- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (67 CRI), and turtle friendly Amber LED options

CRI: 70

#### Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -40° C to 40° C
- Automatic thermal self-protection
- Drivers have greater than 90% power factor and less than 10% THD
- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- 1050 mA driver available with 90L configuration for increased lumen output
- LED electrical assembly, including PR devices, consumes no power in the 'off' state
- Surge protection - 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 4)

#### Controls:

- Drivers are 0-10V dimming standard. Photocell, occupancy sensor and wireless controls available for complete on/off and dimming control

#### Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

#### Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern

- Wall bracket, mast arm filter and pole accessories are also available allowing easy mounting for virtually any application

#### Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

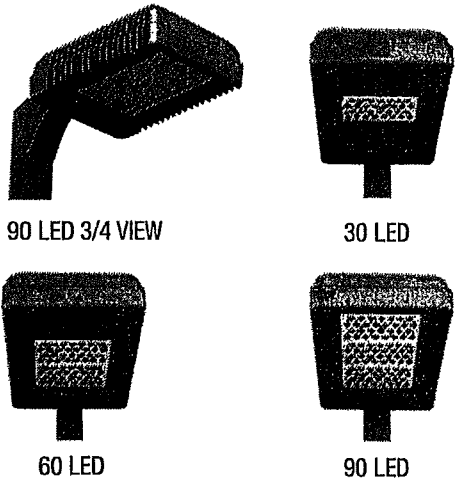
#### Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

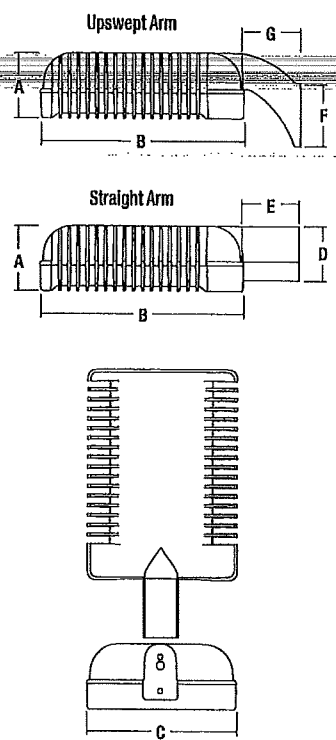
#### Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations
- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/GPL>
- IDA approved • IP65

### PRODUCT IMAGE(S)



### DIMENSIONS



A	B	C	D	E	F	G
6 3/4"	21 3/4"	16"	6 5/8"	6 5/16"	5 5/8"	6 1/8"
171mm	562mm	406mm	168mm	160mm	143mm	155mm

### CERTIFICATIONS/LISTINGS



### ORDERING INFORMATION SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
 © 2015 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: [www.spauldinglighting.com](http://www.spauldinglighting.com) • Printed in USA CL1LED-SPEC 6/15



**ORDERING INFORMATION** ORDERING EXAMPLE: CL1-A-90LU-5K-3-DB-RPA3

CL1	-	-	-	-	-	-	-	-	-	
SERIES	NO. OF LEDS	VOLTAGE	CCT	DRIVE CURRENT	OPTIONS					
CL1 Címarron LED	90L 90 High brightness LEDs 60L 60 High brightness LEDs 30L 30 High brightness LEDs	U <sup>9</sup> Universal 120V-277V, 50/60 Hz 1 120V 2 208V 3 240V 4 277V 5 480V, 60 Hz F 347V, 60 Hz E <sup>9</sup> 220V, 50 Hz	3K 3000K 4K 4000K 5K 5000K AM <sup>7</sup> Amber (590 nm available for "Turtle Friendly" applications (consult factory))	Leave blank for 700mA (standard) 035 350mA Amber CCT only 105 1050 mA (use with 90L only for higher lumen output)	BC <sup>8</sup> Backlight control BL <sup>1,2,5</sup> BÍ-level control CD <sup>2</sup> Continuous dimming WB Wall bracket RPA3 3" Round pole adapter RPA4 4" Round pole adapter RPA5 5" Round pole adapter RPA6 6" Round pole adapter F(X) <sup>3,4</sup> Fusing (replace X with voltage: 1-120V, 2-208V, 3-240V, 4-277V, 5-480V, F-347V) VG Vandal guard					
MOUNTING										
<b>A</b> Arm mount construction (6" straight rigid arm included & acceptable for 90° configurations) <b>AD</b> Decorative arm mount const. (6" decorative upswept arm incl. & acceptable for 90° configurations) <b>MAF</b> Mast arm fitter for mounting to standard 2 3/8" mast arm bracket, includes 6" straight rigid arm										
DISTRIBUTION										
2 Type II 3 Type III 4 Type IV 5M Type V Medium 5S Type V Short 5W Type V Wide 2L Type II Rotated 90° left 3L Type III Rotated 90° left 4L Type IV Rotated 90° left 2R Type II Rotated 90° right 3R Type III Rotated 90° right 4R Type IV Rotated 90° right 1A Auto Front Row Type I 1AR Auto Front Row Type I Rotated 90° right 1AL Auto Front Row Type I Rotated 90° left 2A Auto Front Row Type II 2AR Auto Front Row Type II Rotated 90° right 2AL Auto Front Row Type II Rotated 90° left										

- Notes: 1- For BL option 90L and 60L; N/A 347V & 480V  
 2 - BL & CD cannot be combined  
 3 - Fuse option not available with universal voltage  
 4 - Select F3 fusing option for 220V  
 5 - Photocell receptacle not available with BL option  
 6 - Recommended for Type III and IV distributions only  
 7 - Available in 350mA drive current only Type IV, 5M  
 8 - 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, must order minimum of one SCP-REMOTE control to program dimming settings (see accessories)  
 9- Must specify 120V, 208V, 240V or 277V; not available with PR option; consult factory for 347V and 480V application, not available with BL or CD options.

Controls Guide

SCPW<sup>8</sup>

Programmable motion control, designed for up to 40' mounting heights for widest coverage, factory default is 10% light level in unoccupied state (reference coverage area on page 3)

**ENERGY SAVING DATA**

ENERGY DATA		INPUT WATTS		LUMENS DELIVERED					DRIVERS	
Power Factor	>.9	120V-277V	347V-480V	TYPE 2	TYPE 3	TYPE 4	TYPE 5M	TYPE 5S	TYPE 5W	CURRENT
Total Harmonic Distortion	<10%									
30L-5K	70	87	6384	6164	6641	7108	6999	6619	2@700mA	
60L-5K	140	157	13300	12842	13125	13185	13675	12954	4@700mA	
90L-5K	210	227	19684	19006	19202	20592	19610	18973	6@700mA	
90L-5K-105	336	363	26974	25351	26548	25793	27445	25195	6@1050mA	
30L-4K	70	87	6089	6109	6104	6417	6439	6046	2@700mA	
60L-4K	140	157	11583	11468	12036	12038	12581	11807	4@700mA	
90L-4K	210	227	17143	16973	17648	18521	20220	17394	6@700mA	
90L-4K-105	336	363	23896	23912	24199	24583	25357	23128	6@1050mA	
30L-3K	70	87	4606	4668	4686	4858	4902	4601	2@700mA	
60L-3K	140	157	9013	9175	9216	9409	9461	8844	4@700mA	
90L-3K	210	227	13360	13601	13575	13923	14004	13902	6@700mA	
90L-3K-105	336	363	17645	17612	17469	17950	18271	17330	6@1050mA	

**AUTOMOTIVE DEALERSHIP OPTICS**

For Automotive Dealership applications Spaulding Lighting has developed two optics designed for enhanced and proper lighting of the auto dealership merchandise and the front row 1A and interior rows 2A (See CL1 distribution information for details)

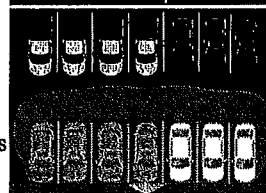
**Optic 1A**

- Maximum illumination on front row display
- Maximum pole spacing

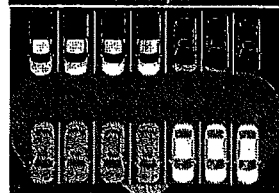
**Optic 2A**

- Excellent front row illumination and drive lane
- Optimal uniformity for drive lane and interior rows

1A - Front Row Auto Optic



2A - Drive Lane Auto Optic



ACCESSORIES SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2015 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL1LED-SPEC 6/15



HUBBELL Lighting

**ACCESSORIES/REPLACEMENT PARTS - Order Separately**

Catalog Number	Description
SCP-REMOTE <sup>2</sup>	Remote control for SCP option. Order at least one per project to program and control.
93052458	20KA surge protection with an end of life LED indicator

Catalog Number	Description
CR-RPA3-XX <sup>1</sup>	Round pole adapter for straight arm (3¼ - 3¾")
CR-RPA4-XX <sup>1</sup>	Round pole adapter for straight arm (3¾ - 4½")
CR-RPA5-XX <sup>1</sup>	Round pole adapter for straight arm (5")
CR-RPA6-XX <sup>1</sup>	Round pole adapter for straight arm (6")
CRD-RPA2-XX <sup>1</sup>	Round pole adapter for upswept arm (2¾ - 3½")
CRD-RPA3-XX <sup>1</sup>	Round pole adapter for upswept arm (3¾ - 3¾")
CRD-RPA4-XX <sup>1</sup>	Round pole adapter for upswept arm (3¾ - 4½")
CRD-RPA5-XX <sup>1</sup>	Round pole adapter for upswept arm (5")
CRD-RPA6-XX <sup>1</sup>	Round pole adapter for upswept arm (6")
WB-CR-XX <sup>1</sup>	Wall bracket
TPLB-XX <sup>1</sup>	Twin parallel luminaire bracket
MAF-CL-XX <sup>1</sup>	Horizontal mast arm fitter for 2 3/8" OD arm. Mounts to standard 6" arm (ordered with fixture)

1 - Replace XX with color choice, eg.: DB for Dark Bronze 2 -When ordering poles, specify Pole Drill Pattern #2 3 - Fixture must include standard 6" arm

**MOUNTING ACCESSORIES**

Catalog Number	Description
ARM-CL-K-TA-XX <sup>1</sup>	Adjustable mounting arm for single fixture (2-3/8 tenon) - 5 lbs. 2.3 kgs.
ARM-CL-TK-TA-XX <sup>1</sup>	Adjustable mounting arm for two fixtures at 180° (2-3/8 tenon) - 7 lbs. 3.2 kgs.
ARM-CL-K-S-XX <sup>1</sup>	10" adjustable arm - .5 lbs. .05 kgs. - 5.75 lbs. 2.6 kgs.

1 Replace XX with color choice, eg.: DB for Dark Bronze  
2 Fixture must include standard 6" straight arm



**TENON TOP POLE BRACKET ACCESSORIES**

(2 3/8" OD tenon) (RSS version requires 4" round pole adapter)

Catalog Number	Description
SETA-XX <sup>1</sup>	Square pole tenon adapter (4 at 90 degrees)
RETA-XX <sup>1</sup>	Round pole tenon adapter (4 at 90 degrees)
TETA-XX <sup>1</sup>	Hexagonal pole-tenon adapter (3 at 120 degrees)

1 Replace XX with color choice, eg.: DB for Dark Bronze

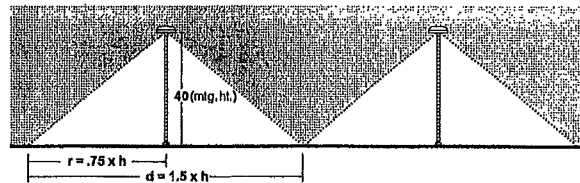
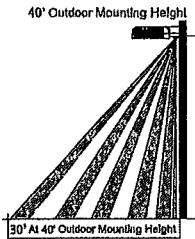
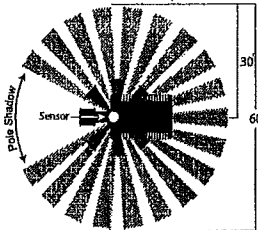
**PHOTOCONTROL EQUIPMENT**

Catalog Number	Description
PTL-1	Photocontrol - twist-lock cell (120V)
PTL-8	Photocontrol - twist-lock cell (120-277V)
PTL-5	Photocontrol - twist-lock cell (480V)
PTL-6	Photocontrol - twist-lock cell (347V)
PSC	Shorting cap - twist-lock

**CONTROLS - SCP and SCPW**

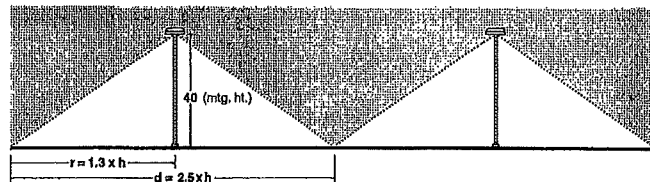
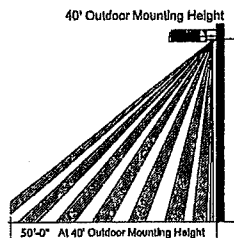
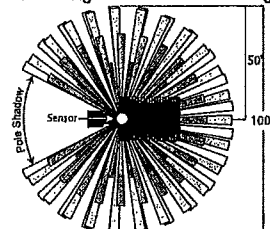
- Start up delay from initial motion detection to fixture illumination is approximately 1-2 seconds
- Vehicle detection is possible however less reliable than human detection; Vehicle detection is dependent upon the following: rate of speed, mounting height of luminaire and vehicle temperature

**SCP - Designed for intermediate coverage area**

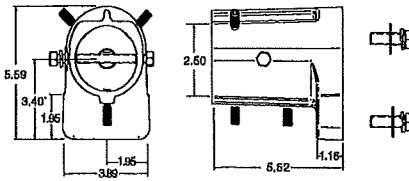


Note: Extreme heat or cold temperatures may limit detection.

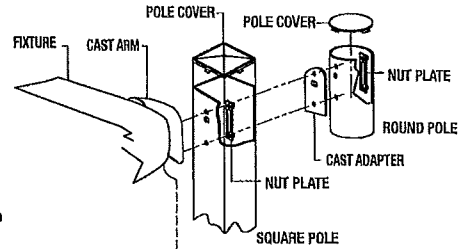
**SCPW - Designed for widest coverage area**



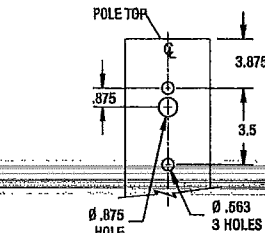
Note: Extreme heat or cold temperatures may limit detection.



MAF - HORIZONTAL MAST ARM FITTER



UPSWEPT ARM MOUNT SQUARE & ROUND POLES



#2 DRILL PATTERN FOR POLES



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
© 2015 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA DL1LED-SPEC 6/15





## **SURGE PROTECTION**

- Field replaceable surge protection device (SPD) provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3
- The SPD is designed with a clamping voltage of 1600V at 20KA using industry standard 8/20 $\mu$ s waveform
- Max surge current = 20,000 Amps (see table)
- LED indicator – Green LED is unlit at end of life

Pulse Rating (8 x 20 $\mu$ Sec)		$I_n$	cRU $\mu$ s	CE
Strikes	Surge	10KA	10KA	5KA
1	20,000 A			
2	15,000 A			
15	10,000 A			
120	3,000 A			



**WALL OR  
CEILING MOUNT**  
HVS HERCULES® SERIES

Cat.#	
Job	Type



Approvals

**APPLICATIONS**

- For unsupervised locations where vandal resistance is a priority. HVS provides proper perspective for mounting heights from 6 to 10 feet. For either wall or ceiling mounting locations. See larger HVL series for higher wattages

**SPECIFICATIONS**

- Opal polycarbonate lens retained with cast aluminum door/trim frame and gasketed to housing. Allan-head tamper-resistant screws standard
- Cast aluminum housing with lag mount for durability. Cast trims provide styling and added protection
- Opal lens provides a soft uniform Type V distribution. Wattage/Source selections allow the designer to select the desired footcandle level
- Sources include HPS, fluorescent and incandescent. Lamps must be ordered as an option if desired (incandescent lamps by others)
- Powder paint finishes accent building trim and protect your investment. Standard colors include dark bronze, black, white and platinum

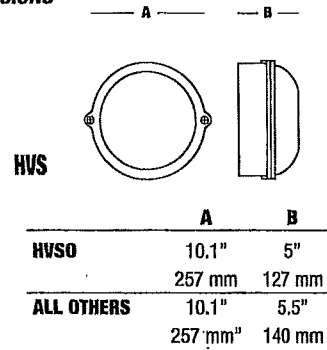
**LISTINGS**

- Listed to UL1598 for use in wet locations

**PRODUCT IMAGE(S)**



**DIMENSIONS**



**CERTIFICATIONS/LISTINGS**



**ORDERING INFORMATION**

Catalog Number	Style	Wattage	Source	Voltage	Finish
HVSO-6LU-5K-1	Opal Lens	15w	LED	120-277V	Bronze
HVSO-28F1-1	Opal Lens	28w	CFL	120V	Bronze
HVSO-42F9-1	Opal Lens	42w/32w/26w	CFL	120-277V	Bronze
HVSO-50S1-1	Opal Lens	50w	HPS	120V	Bronze
HVSO-60I1-1	Opal Lens	60w	INC	120V	Bronze
HVSG-6LU-5K-1	Guard	15w	LED	120-277V	Bronze
HVSG-28F1-1	Guard	28w	CFL	120V	Bronze
HVSG-42F9-1	Guard	42w/32w/26w	CFL	120-277V	Bronze
HVSG-50S1-1	Guard	50w	HPS	120V	Bronze
HVSG-60I1-1	Guard	60w	INC	120V	Bronze
HVSH-6LU-5K-1	Hood	15w	LED	120-277V	Bronze
HVSH-28F1-1	Hood	28w	CFL	120V	Bronze
HVSH-42F9-1	Hood	42w/32w/26w	CFL	120-277V	Bronze
HVSH-50S1-1	Hood	50w	HPS	120V	Bronze
HVSH-60I1-1	Hood	60w	INC	120V	Bronze

Note: Above catalog numbers are finished in dark bronze; For optional finishes, change 1 to 2-black, 4-white, 5-platinum

Note: HID and incandescent sockets are medium base

**OPTIONS - Add Suffix**

Catalog Number	Description
-LP	Lamp Included

**REPLACEMENT PART**

Catalog Number	Description
264-0400-9903	Replacement lens only for HVS units



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
 © 2015 SPALDING LIGHTING, All Rights Reserved • For more information visit our website: [www.spauldinglighting.com](http://www.spauldinglighting.com) • Printed in USA HVS-SPEC 6/15



## Description

The Halo ML56 LED Downlighting System is a series of modular LED Light Modules for use with designated 5" or 6" ML56 LED trims in new construction, remodel and retrofit installation. Compatible with Halo 5" H550 and 6" H750, H2750 Series LED housings. And in retrofit of existing housings the ML56 Series fits 5" or 6" Halo, All-Pro, and others. ML56 system offers shallow trims for installation in Halo, All-Pro and others shallow housings. ML56 Light Modules are offered in 600 Series, 900 Series, and 1200 Series, 80CRI or 90CRI, and four color temperatures 2700K, 3000K, 3500K, 4000K. ML56 Light Modules are universal voltage 120V - 277V and dimmable at 120V. The ML56 lens provides uniform diffuse illumination standard. ML56 - 1200 Series offers narrow flood (NFL) beam forming reflector as an optional accessory. Wet location listed with reflector and baffle trims (directional eyeball trims are damp listed). Halo ML56 Series offers high performance LED downlighting in a flexible modular selection.

## Specification Features

### Mechanical

#### Light Module

- Module includes LED package, LED driver, heat sink, and lens
- Durable die-cast aluminum construction.
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, including insulated ceiling environments

#### Optics

- Diffuse lens is standard on all 1200 Series LED light modules
  - Impact-resistant polycarbonate
  - Convex form for lamp-like appearance
  - High lumen transmission
- Optional beam forming optic replaces diffuse lens and provide narrow flood (NFL) 25° nominal distribution. Beam forming optic is field installed. Order separately (accessories).

#### Mounting

- Light Modules attach to reflector and baffle trims via locking tabs, and attach to eyeballs via keyed twist-to-lock mating bosses
- The complete light module and trim assembly installs into housings with precision formed torsion springs located on the trim
- Use the retrofit adapter band (ML7RAB) accessory when housing does not have receivers for torsion springs.

#### Housing Compatibility

A complete ML56 system includes a LED Light Module, LED trim, and a compatible housing (new construction, remodel, or existing retrofit). Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing - Trim Section in this document.

#### LED

- 1200 Series = 1200 design lumens typical. Delivered lumens vary upon 5" or 6" trim, color temperature, and trim finish.
- Color Temperature options: 2700K, 3000K, 3500K, 4000K
- CRI: 90
- L70 at 50,000 hours, projected in accordance with IES TM-21

- LED is a chip on board design consisting of a multiple LED package with proximity phosphor coating to create one virtual white light source for a productive "cone of light"

#### Color Specification & Quality Standards

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED color uniformity of 3 SDCM, exceeds ENERGY STAR® color standards per ANSI C78.377-2008.
- High color performance with 90CRI minimum, and R9 greater than 50.
- Every Halo LED Light Module is quality tested and performance measured, and then serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement process ensures color and lumen consistency on a per unit basis, and validates long-term product consistency over time
- Halo ML56 LED Light Modules include lumen, CRI, and CCT designations in the model number
- Example: **ML5612930**  
 56 = 5" / 6" aperture series  
 12 = 1200 lumen series  
 9 = >90 CRI  
 30 = 3000K nominal CCT

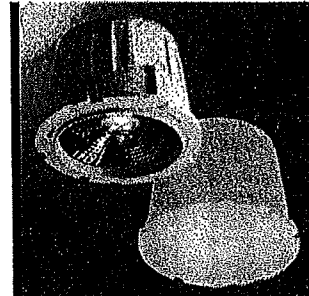
#### Electrical Power Connections

- LED connector is a non-screw base luminaire disconnect offering easy installation in Halo 5" H550 series and 6" H750 and 2750 series housings (per LED trim 5" or 6").
- LED Connector meets high-efficacy luminaire requirements for a non-screw base, and where required.
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Section).

#### Ground Connection

- Separate grounding cable included on the module for attachment to the housing during installation.

Catalog #		Type
Project		
Comments		Date
Prepared by		



## ML56 LED System

**1200 Series with Beam Forming Reflector Option**  
**90 CRI**

**ML5612927**

**ML5612930**

**ML5612935**

**ML5612940**

**5-Inch and 6-Inch 1200 Lumen LED Light Module for New Construction, Remodel and Retrofit**

**For use with 59x and 69x Series 5" and 6" Trims**

**FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS**

**HIGH EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE**

#### Energy Data

**ML56 1200/90 Series**

(Values at non-dimming line voltage)

Minimum Starting Temp: -30°C (-22°F)

EM/RFI: FCC Title 47 CFR, Part 15, (Consumer)

Sound Rating: Class A

Input Voltage: UNV 120V-277V

Power Factor: >0.95 @ 120V and >0.9 @ 277V

Input Frequency: 50/60Hz

THD: <20%

Input Power: 17.5W

Input Current at 120V: 0.14A

Input Current at 277V: 0.07A

Driver Compliance: UL8750, Class II rated

Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)

Maximum Non-IC Ambient Continuous Operating Temperature: 40°C (104°F)



**ML5612927**  
5" or 6" LED 1200 Series



**ML5612930**  
5" or 6" LED 1200 Series



**ML5612935**  
5" or 6" LED 1200 Series



**ML5612940**  
5" or 6" LED 1200 Series

**Compliance**

- cULus listed 1598 Luminaire (Halo and All-Pro housings)
- UL Classified when used in retrofit (refer to housing section)
- cULus listed for damp locations
- cULus Wet location listed with baffle and reflector trims only
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- IP56 ingress protection rated with baffle and reflector trims only
- RoHS compliant
- May be used in IC (insulated ceiling) housings in direct contact with insulation\* and combustible material
- Can be used for California Title 24 compliance / Title 20 certified
- Can be used for International Energy Conservation Code (IECC) high efficiency luminaire compliance.
- Can be used for Washington State Energy Code compliance
- ENERGY STAR® certified luminaire - consult ENERGY STAR® certified product list
- EMI/RFI per FCC 47CFR Part 15 Class B Consumer limits (commercial and residential compliant)
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21
- CE Mark - "Conformité Européene" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with Halo H550, H750, and H2750 Series LED housings only

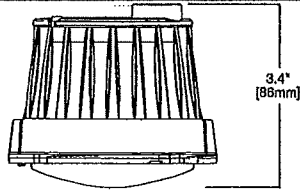
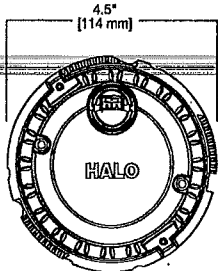
\* Not for use with housings in direct contact with spray foam insulation.



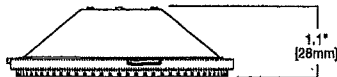
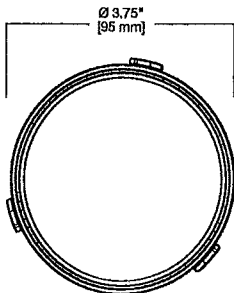
Refer to ENERGY STAR® Certified Products List.  
 Can be used to comply with California Title 24 High Efficacy requirements.  
 Certified to California Title 20 Appliance Efficiency Database.

**Dimensions**

**ML56 LED Module**



**Beam Forming Optic (Accessories)**



**Ordering Information**

Sample Number: **ML5612930 593WB**

Order LED Module and trim separately.

A complete system also includes a compatible housing (new construction, remodel, or existing retrofit). Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing Section in this document.

**ML56 LED Light Modules  
1200 Series / 90 CRI**

**ML5612927**= 5"/8" LED light module, 1200 lumen, 90CRI, 2700K  
**ML5612930**= 5"/8" LED light module, 1200 lumen, 90CRI, 3000K  
**ML5612935**= 5"/8" LED light module, 1200 lumen, 90CRI, 3500K  
**ML5612940**= 5"/8" LED light module, 1200 lumen, 90CRI, 4000K

**ML56 LED 5" and 6" Trims**

**590 Series - 5" LED Trims**

**592SC**=5" LED trim, specular reflector & white flange  
**592H**=5" LED trim, haze reflector & white flange  
**592W**=5" LED trim, white reflector & flange  
**593WB**=5" LED trim, white micro-step baffle & flange  
**593BB**=5" LED trim, black micro-step baffle & white flange  
**594WB**=5" LED directional trim, white eyeball, baffle & flange – shallow and standard housings  
**595WW**=5" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange  
**596WB**=5" LED trim, white shallow baffle & flange – shallow and standard housings

**690 Series - 6" LED Trims**

**692SC**=6" LED trim, specular reflector & white flange  
**692H**=6" LED trim, haze reflector & white flange  
**692W**=6" LED trim, white reflector & flange  
**693WB**=6" LED trim, white micro-step baffle & flange  
**693BB**=6" LED trim, black micro-step baffle & white flange  
**693TBZB**=6" LED trim, tuscan bronze micro-step baffle & flange  
**693SNB**=6" LED trim, satin nickel micro-step baffle & satin nickel flange  
**694WB**=6" LED directional trim, white eyeball, baffle & flange – shallow and standard housings  
**694TBZB**=6" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings  
**694SNB**=6" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings  
**695WW**=6" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange  
**696WB**=6" LED trim, white shallow baffle & flange – for use with shallow and standard housings

**ML56 Beam Forming Optic / Media  
1200 Series Accessories**

**BFR56NFL**=Beam forming reflector kit, narrow flood, 25° nominal  
**BFR56MH**=Media holder, accepts one 3.45" lens. (Requires BFR56NFL & L345SF, order separately.)  
**L345SF**=3.45" diameter soft focus lens. Requires (BFR56NFL and BFR56MH, order separately.)

**ML56 System Accessories**

**ML7RAB**=Retrofit adapter band for housings without torsion spring receivers. The ML7RAB kit supplies parts to retrofit four housings; the kit includes:  
 4 – Retrofit adapter bands with screws and locking wire nuts  
**WW595SC**=5" Wall wash insert - kick reflector for 595WW (1-included with trim) double or corner wall wash\*\*  
**WW695SC**=6" Wall wash insert - kick reflector for 695WW (1-included with trim) double or corner wall wash\*\*  
**TRM590WH**=5" LED oversize trim ring for use with 59" series trims, white 6.3" I.D., 7.5" O.D. Ring slips over LED trim. Inset design allows 5" trim to fit into oversize ring for an even trim surface  
**TRM690WH**=6" LED oversize trim ring for use with 69" series trims, white 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface

\*\*Wall Wash Trims 595WW and 695WW Feature an exclusive Repositionable Kick Reflector for fine-tuning adjustment of the wall wash effect. The **WW595SC** and **WW695SC** are Repositionable Kick Reflectors sold separately for addition to the Wall Wash Trim when a double or corner wall wash is needed, or for replacement of original kick reflector included with the trim.

**Lighting Facts**

ML5612927

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	<b>1141</b>
Watts	<b>17.5</b>
Lumens Per Watt (Efficacy)	<b>65.2</b>
Color Accuracy (CRI)	<b>94</b>
Light Color (CCT) Correlated Color Temperature (CCT)	<b>2700K</b>
<small>MODEL# ML5612927 ADV141600JL</small>	

ML5612930

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	<b>1180</b>
Watts	<b>17.5</b>
Lumens Per Watt (Efficacy)	<b>67.4</b>
Color Accuracy (CRI)	<b>94</b>
Light Color (CCT) Correlated Color Temperature (CCT)	<b>3000K</b>
<small>MODEL# ML5612930 ADV141600JL</small>	

ML5612935

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	<b>1241</b>
Watts	<b>17.5</b>
Lumens Per Watt (Efficacy)	<b>70.9</b>
Color Accuracy (CRI)	<b>94</b>
Light Color (CCT) Correlated Color Temperature (CCT)	<b>3500K</b>
<small>MODEL# ML5612935 ADV141600JL</small>	

ML5612940

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	<b>1374</b>
Watts	<b>17</b>
Lumens Per Watt (Efficacy)	<b>78.5</b>
Color Accuracy (CRI)	<b>93</b>
Light Color (CCT) Correlated Color Temperature (CCT)	<b>4000K</b>
<small>MODEL# ML5612940 ADV141600JL</small>	

### Housing – Trim Compatibility

Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to ML56 TRIMS in this document. (Note "X" in the trim model number denotes finish code.)

### Housing – Compatibility

The ML56 LED light module - trim combination is cULus Listed or UL Classified for use with any 5" or 6" diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 115 in<sup>3</sup> in addition to those noted below.

### Housing and All-Pro UL Listed Compatibility

6" Trims: 692X, 693X, 694X, 695X, 696X  
(Note shallow housings for use with 694X trims only)

### HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H750ICAT	6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H750RICAT	6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
		H750T	6" LED, Non-IC, Air-Tite, New Construction Housing
		H750TCP	6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
		H750RINTDD10	6" LED, Non-IC, Air-Tite, Remodel Housing (International CE Mark and UL/cUL Listed)
Halo	Shallow Housings	H2750ICAT	6" LED, Shallow, Insulated Ceiling, Air-Tite, New Constr. (use with 694X trims only)

### HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description		
Halo	Standard Housings	H7ICAT	6" Insulated Ceiling, Air-Tite New Construction Housing		
		H7RICAT	6" Insulated Ceiling, Air-Tite Remodel Housing		
		H7ICT	6" Insulated Ceiling, New Construction Housing		
		H7RICT	6" Insulated Ceiling, Remodel Housing		
		H7ICATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket		
		H7ICTNB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket		
		H7T	6" Non-IC, New Construction Housing		
		H7RT	6" Non-IC, Remodel Housing		
		H7TNB	6" Non-IC, New Construction Housing, No Socket Bracket		
		H7TCP	6" Non-IC, Chicago Plenum, New Construction/Remodel Housing		
		H7UICAT	6" Insulated Ceiling, Universal New Construction Housing (use with 694X and 696X trims only)		
		H7UICAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing (use with 694X and 696X trims only)		
		All-Pro	Standard Housings	E1700AT	6" Insulated Ceiling, Air-Tite New Construction Housing
				E1700RAT	6" Insulated Ceiling, Air-Tite Remodel Housing
				E1700	6" Insulated Ceiling, New Construction Housing
E1700R	6" Insulated Ceiling, Remodel Housing				
E1700ATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket				
E1700NB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket				
E1700U	6" Insulated Ceiling, Universal New Construction Housing				
E1700UAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing				
E1700	6" Non-IC, New Construction Housing				
E1700R	6" Non-IC, Remodel Housing				
Halo	Shallow Housings	H27ICAT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 694X trims only)		
		H27RICAT	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 694X trims only)		
		H27ICT	6" Shallow, Insulated Ceiling, New Construction Housing (use with 694X trims only)		
		H27RICT	6" Shallow, Insulated Ceiling, Remodel Housing (use with 694X trims only)		
		H27T	6" Shallow, Non-IC, New Construction Housing (use with 694X trims only)		
		H27RT	6" Shallow, Non-IC, Remodel Housing (use with 694X trims only)		
All-Pro	Shallow Housings	E12700AT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 694X trims only)		
		E12700	6" Shallow, Insulated Ceiling, New Construction Housing (use with 694X trims only)		
		E12700R	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 694X trims only)		
		ET2700	6" Shallow, Non-IC, New Construction Housing (use with 694X trims only)		
		ET2700R	6" Shallow, Non-IC, Remodel Housing (use with 694X trims only)		

### Halo LED Retrofit Enclosures

Brand	Type	Catalog Number	Description
Halo	Retrofit	ML7BXRFK	6" Retrofit Enclosure, Non-IC, BX Whip
		ML7E26RFK	6" Retrofit Enclosure, Non-IC, E26 Screw base Interface

**Housing – Compatibility Continued**

5" Trims: 592X, 593X, 594X, 595X, 596X (ML56 1200 Series not for use with 593TBZB, 593SNB, 594TBZB, 594SNB models.)  
(Note shallow housings for use with 594X trims only)

**HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant**

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H50ICAT	5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H50RICAT	5" LED, Insulated Ceiling, Air-Tite, Remodel Housing

**HALO and All-Pro - Incandescent E26 Screwbase Housings**

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H5ICAT	5" Insulated Ceiling, Air-Tite New Construction Housing
		H5RICAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		H5T	5" Non-IC, New Construction Housing
		H5RT	5" Non-IC, Remodel Housing
		H5TM	5" Non-IC, New Construction Housing (Canada)
All-Pro	Standard Housings	E1500AT	5" Insulated Ceiling, Air-Tite New Construction Housing
		E1500RAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		ET500	5" Non-IC, New Construction Housing
		ET500R	5" Non-IC, Remodel Housing
Halo	Shallow Housings	H25ICAT	5" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 594X trims only)

**Housings – UL Classified for Retrofit Compatibility**

6" Trims: 692X, 693X, 694X, 695X, 696X

Juno	IC22, IC22R, IC22W, IC22S, IC23, IC23W, TC2, TC2R, IC2
Capri	CR1, PR1, QL1
Elco	HL7ICA (EL7ICA)
Lithonia	LC6, L7X
Thomas	PS1
Commercial Electric	C7ICA, H3
Progress	P87-AT †
Lightolier	1104ICx †, 1104IC †

† Requires ML7RAB retrofit adapter band (ordered separately); for use in housings without torsion springs.

Juno®, Capri®, Lightolier®, Lithonia Lighting®, Thomas® Lighting, Elco Lighting®, Progress® Lighting and Commercial Electric™ and their product brand names, where identified above, are tradenames or trademarks of each respective company and Cooper makes no representations on these trademarks.

**ML56 1200 Series Compliance Table**

90 CRI LED Modules with ML56 Trims

	ML5612927	ML5612930	ML5612935	ML5612940
593BB	WSEC, IECC	WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
693BB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
593TBZB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
693TBZB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
593SNB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
693SNB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
592H	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
592WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
592SC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
592W	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
595WWW	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
695WWW	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
692H	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
692W	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
692SC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
693WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
596WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
694TBZB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
696WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
594TBZB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
694SNB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
594SNB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
694WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
594WB	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
594WB-30	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC
694WB-30	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC	ES, T24, WSEC, IECC

**Code Descriptions:**

ES = ENERGY STAR® Certified Luminaire

T24NR = May be used for California Title 24 Non-Residential LED Luminaire

IECC = International Energy Conservation Code "High Efficacy"

WSEC = Washington State Energy Code - "High Efficacy" Luminaire

**ML56 1200 Series Lumen Table**

90 CRI LED Modules with ML56 trims

0° Tilt Angle	Trim Catalog #	ML5612927		ML5612930		ML5612935		ML5612940	
		Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW
	593BB	747.0	42.7	772.5	44.1	812.5	46.4	899.5	51.4
	693BB	836.0	47.8	864.6	49.4	909.3	52.0	1006.7	57.5
	593TBZB	844.0	48.2	872.8	49.9	918.0	52.5	1016.4	58.1
	693TBZB	869.0	49.7	898.7	51.4	945.2	54.0	1046.5	59.8
	593SNB	925.0	52.9	956.6	54.7	1006.1	57.5	1113.9	63.7
	693SNB	964.0	55.1	997.0	57.0	1048.5	59.9	1160.9	66.3
	592H	1066.0	60.9	1102.4	63.0	1159.4	66.3	1283.7	73.4
	593WB	1087.0	62.1	1124.2	64.2	1182.3	67.6	1309.0	74.8
	592SC	1101.0	62.9	1138.6	65.1	1197.5	68.4	1325.8	75.8
	592W	1104.0	63.1	1141.7	65.2	1200.8	68.6	1329.4	76.0
	595WW	1108.0	63.3	1145.9	65.5	1205.1	68.9	1334.3	76.2
	695WW	1109.0	63.4	1146.9	65.5	1206.2	68.9	1335.5	76.3
	692H	1113.0	63.6	1151.0	65.8	1210.5	69.2	1340.3	76.6
	692W	1131.0	64.6	1169.7	66.8	1230.1	70.3	1362.0	77.8
	692SC	1135.0	64.9	1173.8	67.1	1234.5	70.5	1366.8	78.1
	693WB	1141.0	65.2	1180.0	67.4	1241.0	70.9	1374.0	78.5
	596WB	1145.0	65.4	1184.1	67.7	1245.4	71.2	1378.8	78.8
	694TBZB	1149.0	65.7	1188.3	67.9	1249.7	71.4	1383.6	79.1
	696WB	1170.0	66.9	1210.0	69.1	1272.5	72.7	1408.9	80.5
	594TBZB	1171.0	66.9	1211.0	69.2	1273.6	72.8	1410.1	80.6
	694SNB	1182.0	67.5	1222.4	69.9	1285.6	73.5	1423.4	81.3
	594SNB	1200.0	68.6	1241.0	70.9	1305.2	74.6	1445.0	82.6
	694WB	1218.0	69.6	1259.6	72.0	1324.7	75.7	1466.7	83.8
	594WB	1225.0	70.0	1266.9	72.4	1332.4	76.1	1475.2	84.3
30° Tilt Angle	594WB-30	1158.0	66.2	1197.6	68.4	1259.5	72.0	1394.5	79.7
	694WB-30	1140.0	65.1	1179.0	67.4	1239.9	70.9	1372.8	78.4

**Photometry 5" Trims • 1200 Series • 90 CRI**

**Multiplier Table**

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.967	1.000	1.052	1.164

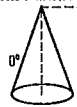
Table based upon testing with 3000°K color temperature, 90CRI.  
Multipliers may be used to determine relative lumen values with other color temperatures.

**ML5612930-592SC**

Test Number	P129768
Light Module	1200 Series, 90CRI
Trim	5" Aperture, Specular Clear Trim
Lumens	1139
Efficacy	65.8 Lm/W
SC	0.88



**Cone of Light**

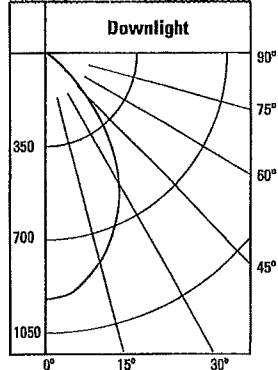


D	FC	L	W
5.5'	30.5	5.2	5.2
7'	18.8	6.8	6.8
8'	14.4	7.8	7.8
9'	11.4	8.8	8.8
10'	9.2	9.8	9.8
12'	6.4	11.8	11.8

**Zonal Lumen Summary**

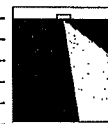
Zone	Lumens	%Fixture
0-30	613	53.9
0-40	896	78.6
0-60	1125	98.8
0-90	1139	100
90-180	0	0
0-180	1139	100

**Candlepower Distribution**

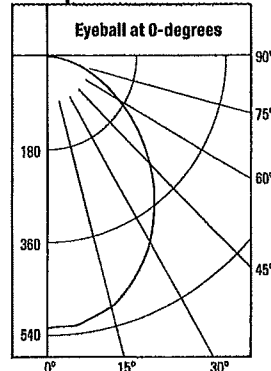


**ML5612930-594WB**

Test Number	P129824
Light Module	1200 Series, 90CRI
Trim	5" Aperture, Directional Eyeball
Lumens	1267
Efficacy	73.2 Lm/W
SC	1.18



**Candlepower Distribution**



**Zonal Lumen Summary**

Zone	Lumens	%Fixture
0-30	397	31.3
0-40	632	49.9
0-60	1044	82.4
0-90	1267	100
90-180	0	0
0-180	1267	100

**Horizontal Plane**

D	FC	L	W	CB
5.5'	15.1	6.3	6.4	3.2
7'	9.3	8.1	8.2	4
8'	7.1	9.3	9.4	4.6
9'	5.6	10.5	10.6	5.2
10'	4.6	11.6	11.8	5.8
12'	3.2	14	14.2	6.9

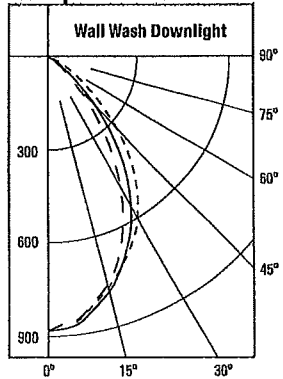
**Vertical Plane**

D	FC	L	W	CB
1'	280.4	1.1	1.2	1.7
2'	70.1	2.2	2.6	3.5
3'	31.2	3.5	3.8	5.2
4'	17.5	4.6	5.2	6.9
5'	11.2	5.7	6.4	8.7
6'	7.8	6.9	7.8	10.4



Photometry 5" Trims • 1200 Series • 90 CRI

Candlepower Distribution

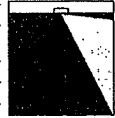


Legend

- 0-deg: --- Wall
- 90-deg: --- Side
- 180-deg: --- Room

ML5612930-595WW

Test Number	P129848
Light Module	1200 Series, 90CRI
Trim	5" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	1198
Efficacy	69.8 Ln/W
SC	0.83



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	590	51.5
0-40	868	75.7
0-60	1119	97.7
0-90	1148	100
90-180	0	0
0-180	1148	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	1'	2'	3'	4'	5'	6'
1'	3.9	2.6	1	0.3	0.1	0
2'	14.9	10.6	4.5	1.4	0.4	0.1
3'	18.2	14.8	7.8	3.1	1.2	0.4
4'	18.6	11.9	8.2	4.3	1.9	0.8
5'	9.3	8.4	6.6	4.3	2.4	1.2
6'	6.3	5.9	4.9	3.6	2.4	1.4
7'	4.4	4.2	3.6	2.9	2.1	1.4
8'	3.2	3	2.7	2.3	1.8	1.3
9'	2.4	2.3	2.1	1.8	1.5	1.2
10'	1.8	1.7	1.6	1.4	1.2	1

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--	--4'--
1'	4.2	3.4
2'	16.3	14.4
3'	21.4	22.4
4'	17.9	20.1
5'	13.5	15.1
6'	9.9	10.8
7'	7.3	7.8
8'	5.4	5.7
9'	4.1	4.3
10'	3.2	3.3

Photometry 5" Trims • 1200 Series • 90 CRI • NFL Lens

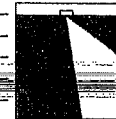
Multiplier Table

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.967	1.000	1.052	1.164

Table based upon testing with 3000°K color temperature, 90CRI.  
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5612930-BFR56NFL-594WB

Test Number	P130448
Light Module	1200 Series, 90CRI, NFL optic
Trim	5" Aperture, Directional Eyeball
Lumens	1294
Efficacy	74.8 Ln/W
SC	0.4



ML5612930-BFR56NFL-592H

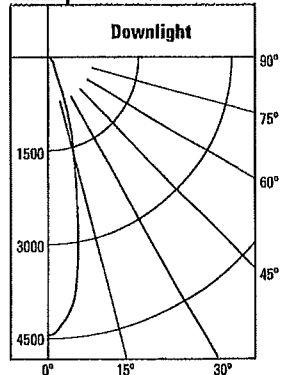
Test Number	P130382
Light Module	1200 Series, 90CRI, NFL optic
Trim	5" Aperture, Haze Trim
Lumens	1126
Efficacy	65.1 Ln/W
SC	0.41



Cone of Light

D	FC	L	W
5.5'	147.1	2.2	2.2
7'	90.8	2.8	2.8
8'	69.5	3.2	3.2
9'	54.9	3.6	3.6
10'	44.5	4	4
12'	30.9	4.8	4.8

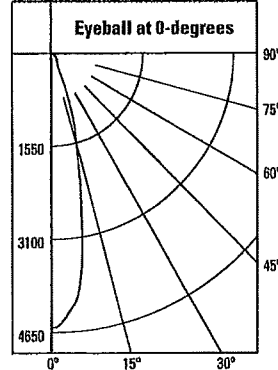
Candlepower Distribution



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	982	87.2
0-40	1088	98.6
0-60	1124	99.8
0-90	1126	100
90-180	0	0
0-180	1126	100

Candlepower Distribution



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	984	76.1
0-40	1088	84.1
0-60	1248	96.5
0-90	1294	100
90-180	0	0
0-180	1294	100

30° Horizontal Plane

D	FC	L	W	CB
5.5'	103.5	2.8	2.4	3.2
7'	63.9	3.6	3	4
8'	48.9	4.1	3.6	4.6
9'	38.6	4.6	4	5.2
10'	31.3	5.1	4.4	5.8
12'	21.7	6.1	5.4	6.9

30° Vertical Plane

D	FC	L	W	CB
1'	839.5	1	0.6	1.7
2'	209.1	2.1	1.2	3.5
3'	92.9	3.2	1.8	5.2
4'	52.3	4.3	2.6	6.9
5'	33.5	5.4	3.2	8.7
6'	23.2	6.5	3.8	10.4

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 6" Trims • 1200 Series • 90 CRI

Multiplier Table

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.9669	1.0000	1.0517	1.1644

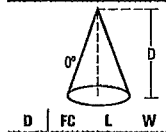
Table based upon testing with 3000°K color temperature, 90CRI.  
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5612930-692SC

Test Number	P129884
Light Module	1200 Series, 90CRI
Trim	6" Aperture, Specular Clear Trim
Lumens	1174
Efficacy	67.8 Lm/W
SC	0.74

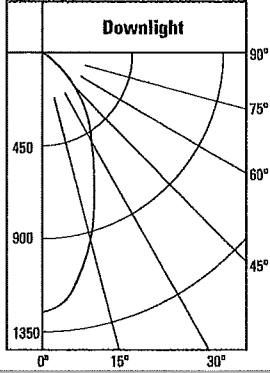


Cone of Light



D	FC	L	W
5.5'	41.5	4	4
7'	25.6	5	5
8'	19.6	5.8	5.8
9'	15.5	6.6	6.6
10'	12.6	7.2	7.2
12'	8.7	8.8	8.8

Candlepower Distribution

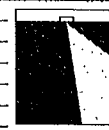


Zonal Lumen Summary

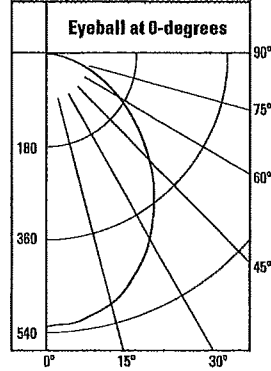
Zone	Lumens	%Fixture
0-30	655	55.8
0-40	910	77.5
0-60	1159	98.7
0-90	1174	100
90-180	0	0
0-180	1174	100

ML5612930-694WB

Test Number	P129920
Light Module	1200 Series, 90CRI
Trim	6" Aperture, Directional Eyeball
Lumens	1260
Efficacy	72.8 Lm/W
SC	1.17



Candlepower Distribution



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	397	31.5
0-40	631	50.1
0-60	1041	82.6
0-90	1260	100
90-180	0	0
0-180	1260	100

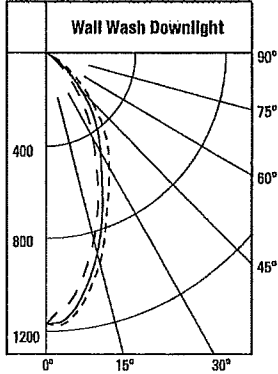
30° Horizontal Plane

D	FC	L	W	CB
5.5'	15.1	6.3	6.4	3.2
7'	9.3	8.1	8.2	4
8'	7.1	9.2	9.4	4.6
9'	5.6	10.5	10.6	5.2
10'	4.6	11.6	11.8	5.8
12'	3.2	13.9	14.2	6.9

30° Vertical Plane

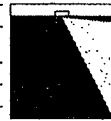
D	FC	L	W	CB
1'	279.6	1.1	1.2	1.7
2'	69.9	2.2	2.6	3.5
3'	31.1	3.5	3.8	5.2
4'	17.5	4.7	5.2	6.9
5'	11.2	5.7	6.4	8.7
6'	7.8	6.9	7.8	10.4

Candlepower Distribution



ML5612930-695WW

Test Number	P129944
Light Module	1200 Series, 90CRI
Trim	6" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	1147
Efficacy	66.3 Lm/W
SC	0.76



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	625	54.5
0-40	873	76.2
0-60	1122	97.9
0-90	1147	100
90-180	0	0
0-180	1147	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	1'	2'	3'	4'	5'	6'
1'	3.2	1.9	0.7	0.2	0.1	0
2'	14	9.9	4.3	1.3	0.3	0.1
3'	16.5	13	7.2	3.1	1.2	0.4
4'	12.6	10.8	7.3	4	1.9	0.8
5'	9	8	5.9	3.9	2.3	1.2
6'	6.5	5.9	4.6	3.3	2.2	1.3
7'	4.9	4.4	3.6	2.7	1.9	1.3
8'	3.7	3.4	2.8	2.2	1.6	1.2
9'	2.8	2.6	2.2	1.8	1.4	1
10'	2.2	2.1	1.8	1.5	1.2	0.9

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	-3'-		-4'-	
1'	3.4	2.4	3.4	3.3
2'	15.3	13.5	15.3	14.3
3'	19.6	20	19.6	17.6
4'	16.7	18.1	16.7	14.6
5'	12.9	13.9	12.9	11.3
6'	9.8	10.5	9.8	8.7
7'	7.5	8	7.5	6.8
8'	5.8	6.2	5.8	5.3
9'	4.6	4.9	4.6	4.2
10'	3.7	3.9	3.7	3.3

Legend

0-deg:	--- --- ---	Wall
90-deg:	-----	Side
180-deg:	-----	Room

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 6" Trims • 1200 Series • 90 CRI • NFL Lens

Multiplier Table

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.957	1.000	1.052	1.164

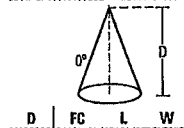
Table based upon testing with 3000°K color temperature, 90CRI.  
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5612930-BFR56NFL-692H

Test Number	P130478
Light Module	1200 Series, 90CRI, NFL optic
Trim	6" Aperture, Haze Trim
Lumens	1175
Efficacy	67.9 Lm/W
SC	0.41

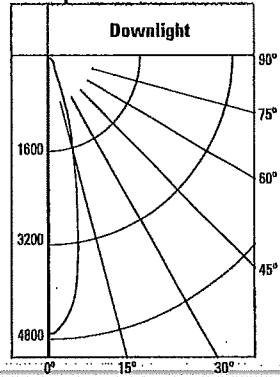


Cone of Light



D	FC	L	W
5.5'	155.7	2.2	2.2
7'	98.1	2.8	2.8
8'	73.6	3.2	3.2
9'	68.2	3.6	3.6
10'	47.1	4	4
12'	32.7	4.8	4.8

Candlepower Distribution

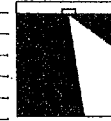


Zonal Lumen Summary

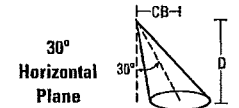
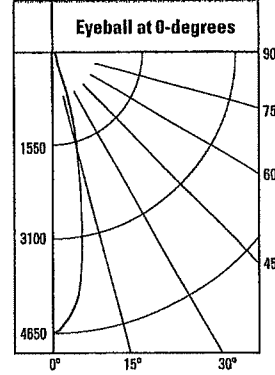
Zone	Lumens	%Fixture
0-30	1005	85.5
0-40	1110	94.4
0-60	1174	99.9
0-90	1175	100
90-180	0	0
0-180	1175	100

ML5612930-BFR56NFL-694WB

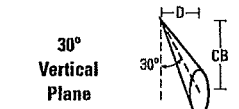
Test Number	P130542
Light Module	1200 Series, 90CRI, NFL optic
Trim	6" Aperture, Directional Eyeball
Lumens	1266
Efficacy	74.3 Lm/W
SC	0.41



Candlepower Distribution



D	FC	L	W	CB
5.5'	105.2	2.8	2.4	3.2
7'	64.9	3.6	3.2	4
8'	49.7	4.1	3.8	4.6
9'	39.3	4.7	4	5.2
10'	31.8	5.2	4.6	5.8
12'	22.1	6.2	5.4	6.9



D	FC	L	W	CB
1'	653.3	1	0.6	1.7
2'	213.3	2	1.2	3.5
3'	94.8	3.1	2	5.2
4'	53.3	4.2	2.6	6.9
5'	34.1	5.3	3.2	8.7
6'	23.7	6.3	4	10.4

Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	1092	77.9
0-40	1109	86.2
0-60	1265	98.4
0-90	1266	100
90-180	0	0
0-180	1266	100

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.