

GENERAL NOTES

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S / CONTRACTOR'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.

ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2023 EDITION AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL RULES, REGULATIONS AND ORDINANCES.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND SHALL COORDINATE WORK OR CONSTRUCTION BETWEEN TRADES.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION, SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

PROVIDE 3/2" BATT SOUND INSULATION AT INTERIOR WALLS - BATHROOMS, BEDROOMS, LAUNDRY ROOMS ETC. VERIFY W/ OWNER ON INTERIOR WALLS TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" SOUND BOARD - 440 HOMASOTE OR EQUAL.

THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, MECHANICAL, PLUMBING AND TELEPHONE SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION.

DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE 'CLEAR' OR 'HOLD' DIMENSIONS ARE INDICATED NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL SUBMIT TO OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER IS DEMANDED TO HAVE ESTIMATED, THEN THE MOST EXPENSIVE WAY OF PERFORMING THE WORK SHALL TAKE PRECEDENCE.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN). DO NOT SCALE THE DRAWINGS.

ALL AREA CALCULATIONS ARE APPROXIMATE.

FIELD VERIFY ALL DIMENSIONS.

ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER UNO.

THE CONTRACTOR SHALL PROVIDE THE OWNER/ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.

PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE. WATERPROOF ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO COMPLETE INSULATING BLANKET AROUND THE HEATED AREAS OF THE BUILDING. INSULATE ALL HEAT-BEARING PIPES, DUCTS, OR OTHER FIXTURES THAT PENETRATE THE INSULATED BLANKET. INSTALL ALL OTHER WATER PIPES IN A MANNER TO PREVENT FREEZING. (NOTE: ALL PIPES TO BE ANCHORED TO UNDERSIDE OF STRUCTURAL SLAB & HAVE CONT. SLEEVING / PROTECTION THROUGHOUT UNDERGROUND).

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED.

FLASHING, CRICKETS, DRIPS, ETC. TO BE ALUMINUM, OR SIMILAR MATERIAL TO ROOFING SYSTEM.

PROVIDE FIRE STOPPING AT ROOF WALLS, AND CEILING (CHANGING IN CEILING HEIGHTS - 8'-0" MAX. O.C. VERTICALLY) AS REQUIRED W/ NOMINAL 1 x 4 F.T. FIRE STOPPING HORIZONTAL AT CEILING & WALL INTERSECTIONS.

ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF CONCRETE SLABS. (+9'-0" N.A.V.D. FOR GROUND LEVEL).

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY CODE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. NOTE ALL CEILING PENETRATIONS - LIGHTS, VENTS, ETC. TO BE SEALED @ EDGES AS PER FLORIDA BUILDING CODE 2023 EDITION.

ALL CBS EXTERIOR BLOCK WALLS TO RECEIVE 'COREFILL 900' BY TAILORED FOAM OF FLORIDA & APPROVED R-10 (MIN) INSULATION, WOOD STUD, (METAL STUDS) WALLS TO RECEIVE R-11 BATT, R-19 FOR 6" AND 8" WALLS INSULATION (NOTE: ROOF TO BE 'CLOSED SYSTEM' USING BLOUN ON R-30 'ICYNENE' INSULATION BY 'GALE INSULATION' OR EQUAL TO THE UNDERSIDE OF ROOF DECK (TYP.). NOTE: ALL 'ICYNENE FOAM' TO BE PROTECTED WITH DC-315 COATING AS PER MANUFACTURER'S SPECIFICATIONS & THE FLORIDA BUILDING CODE 2023. THERMAL BARRIER - IF EQUIPMENT IS INSTALLED IN ATTIC SPACE.

INSTALL PVC FLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE FLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY NITTED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

HEPTACHLOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS. (ALL PRODUCTS TO BE NON-VOC).

DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE CLOSING DATE.

TRAFFIC, CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.

DISPOSAL, CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

THIS DRAWING IS NOT FOR CONSTRUCTION IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING.



APPLICABLE CODES
 2023 FLORIDA BUILDING CODE
 2023 FLORIDA PLUMBING CODE
 2023 FLORIDA ELECTRICAL CODE
 2023 FLORIDA MECHANICAL CODE

SCOPE OF WORK
 CONSTRUCT NEW TWO STORY HOUSE-STEM WALL FOUNDATION, CBS MASONRY WALLS, HOLLOW CORE PLANKS & WOOD ROOF TRUSSES.

SINGLE FAMILY RESIDENCE
 "HISTORIC MARINA DISTRICT"
 146 SE 7TH AVE
 DELRAY BEACH, FL
 PALM BEACH COUNTY, FL

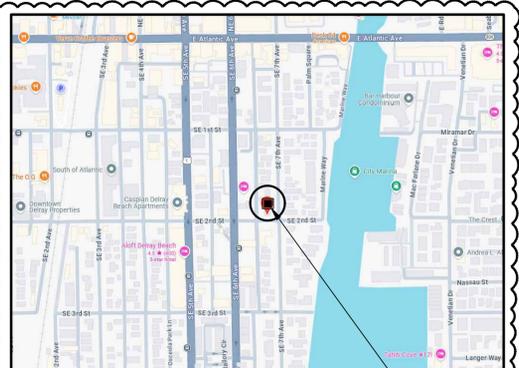
OCCUPANCY CLASSIFICATION
 GROUP R3 - SINGLE FAMILY

TYPE OF CONSTRUCTION
 TYPE VB UNPROTECTED / UNSPRINKLERED

ZONING
 R-1-A

FLOOD ZONE
 X & AE = 8'-0" N.A.V.D.

SHEET SCHEDULE			
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
	SURVEY SCALE: 1" = 10'-0"		CIVIL ENGINEERING
ARCHITECTURAL		1 OF 5	CIVIL SITE IMPROVEMENTS PLAN SCALE: 1/4" = 1'-0"
A1.00	EXISTING SITE PLAN (FOR REFERENCE ONLY) SCALE: 1/8" = 1'-0"	2 OF 5	PAVING AND DRAINAGE DETAILS NOT TO SCALE
A1.01	PROPOSED SITE PLAN SCALE: 1/8" = 1'-0"	3 OF 5	GENERAL NOTES NOT TO SCALE
A1.01C	PROPOSED SITE PLAN (COORDINATION) SCALE: 1/4" = 1'-0"	4 OF 5	WATER & WASTE PLAN SCALE: 1/4" = 1'-0"
A1.02	PROPOSED CONTEXT PLAN SCALE: 1/32" = 1'-0"	5 OF 5	POLLUTION PREVENTION PLAN SCALE: 1/4" = 1'-0"
A1.03	HARDSCAPE VS. FERVIUS PLAN/ SCALE OF BUILDING GRAPHIC SCALE: 1/8" = 1'-0"		
A2.00D	PROPOSED GROUND FLOOR PLAN (DIMENSION) SCALE: 3/16" = 1'-0"		
A2.00N	PROPOSED GROUND FLOOR PLAN (NOTED) SCALE: 3/16" = 1'-0"		
A2.01D	PROPOSED SECOND FLOOR PLAN (DIMENSION) SCALE: 3/16" = 1'-0"		
A2.01N	PROPOSED SECOND FLOOR PLAN (NOTED) SCALE: 3/16" = 1'-0"		
A2.02	PROPOSED ROOF PLAN SCALE: 3/16" = 1'-0"		
A3.00	PROPOSED ELEVATIONS SCALE: 3/16" = 1'-0"		
A3.01	PROPOSED ELEVATIONS SCALE: 3/16" = 1'-0"		
A3.02	BUILDING HEIGHT PLANE GRAPHIC SCALE: 3/16" = 1'-0"		
A9.00	PROPOSED WINDOW SCHEDULE SCALE: N.T.S.		
A9.01	PROPOSED DOOR SCHEDULE SCALE: N.T.S.		



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP

OWNER	SURVEYOR	CIVIL ENGINEER	LANDSCAPE ARCHITECT	ARCHITECTS
CARLA CESARIO AND BRIAN KASSAB 1301 Seafarer Circle #506 Jupiter, FL 33477 PH. (305) 389-8713	ENGLAND SURVEYING LLC 955 N.W. 17th Ave Suite K-1 Delray Beach, FL 33445 PH. (561) 276-4501 FAX (561) 276-2390	ENVIRODESIGN ASSOCIATES 1855 Dr. Andres Way, Unit 1 Delray Beach, FL 33445 PH. (561) 274-6500 FAX (561) 274-8558	AGTLAND Landscape Architect Carol Perez 132 N Swinton Avenue Delray Beach, FL 33444 PH. (561) 276-5050	ge architecture, inc. 1045 e. atlantic ave. delray beach, fl. 33483 fl. lic. AA-26002044 PH. (561) 276-6011 FAX (561) 276-6129

REVISED 02-04-25 AS PER HISTORIC COMMENTS.

1. ADDED VICINITY MAP/FILE NUMBER
2. ADDED OWNER INFO

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHIN ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1" THICK FIBERGLASS PIPE INSULATION.

CONTRACTOR TO PROVIDE DRAWINGS TO TRUSS MANUFACTURER, MECHANICAL SUBCONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL TRUSSES, & GIRDERS SHALL BE ANCHORED TO BEARING PARTITIONS, WALLS, AND/OR TIE BEAMS WITH APPROVED ANCHORS. - SEE STRUCTURAL DUGS.

ALL INTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNER COLORS ON PLANS FOR PRICING PURPOSES ONLY. (NOTE: ALL PRODUCTS TO BE 'NON-VOC').

NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATING OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVCO, DUPONT, & PORTER ARE CONSIDERED EQUAL. ALL FINISH APPLICATIONS TO BE FREE OF ALL IMPERFECTIONS, UNLESS OTHERWISE STATED IN THE SPECIFICATIONS. ALL PAINTED SURFACES ARE TO RECEIVE ONE COAT PRIME ('KILTZ ALKYD') - APPLIED AT 4 MILS WET AND DRY FILM THICKNESS OF 12 MILS (ALL PRODUCTS TO BE 'NON-VOC') - A MIN. OF TWO FINISH COATS - THE NUMBER OF COATS SPECIFIED IS THE MINIMUM NUMBER REQUIRED. APPLY ADDITIONAL WHEN UNDERCOAT, STAINS, OR OTHER CONDITIONS SHOW THROUGH THE FINAL COAT OF PAINT UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR, AND APPEARANCE.

CAULK WHERE NECESSARY, THE PERIMETER EXTERIOR SIDE OF EXTERIOR DOORS AND WINDOWS WITH SILICONIZED CAULKING - (SIKAFLEX OR EQUAL). GYPSUM WALLBOARD SYSTEM (SEMI GLOSS FINISH) SHALL BE GIVEN ONE COAT INTERIOR LATEX WALL PRIMER APPLIED AT 4 MILS WET AND DRY FILM THICKNESS OF 12 MILS. TOP COAT WITH TWO (2) INTERIOR LATEX FLAT WALL PAINT APPLIED AT 4 MILS WET AND DRY FILM THICKNESS OF 12 MILS.

CAULK INTERIOR BASE TRIM (N/A), DOOR JAMBES & WINDOWS WITH ACRYLIC SILICONIZED CAULKING ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

ALL INTERIOR FINISHES SHALL BE CLASS 'A' OR CLASS 'B' (TYP. THROUGHOUT HOUSE) RATING FOR FLAME SPREAD AND SMOKE. ALL INTERIOR PAINT SHALL BE WATER-BASED. NO OIL BASED PAINT OR COMBUSTIBLE THINNING AGENTS ALLOWED.

ALL SURFACES TO BE CLEANED & PRIMED TO RECEIVE PAINT AS PER 'BENJAMIN MOORE' (NOTE: ALL PRODUCTS TO BE 'NON-VOC').

ALL COLORS TO INTERIOR FINISHES ARE TO BE 'LINEN WHITE' (SEMI GLOSS ON WALLS) & 'DOVE WHITE' (HIGH GLOSS ON ALL MOLDINGS)-THIS IS FOR PRICING PURPOSES ONLY.-VERIFY COLORS W/ OWNER.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ALL DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL. - NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL ABANDON UNDER GROUND UTILITIES, PIPES, WIRES, TREE ROOTS, SEPTIC TANK ETC. PRIOR TO CONTACTING SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.

THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.

ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB -CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER /ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:

- MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
- PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
- TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
- COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
- REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER /AGENT. REMOVE ALL TRASH FROM PREMISES.
- ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.

ALL WORK SHALL BE LAID OUT TRUE SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER/ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO). FIRST QUALITY FREE AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.

CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECTS APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

ALL DOOR FRAMES TO BE LOCATED 3' TO 6' FROM ADJACENT PARTITIONS, UNO. ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, BANDED, PRIMED AND PAINTED W/ LEVEL V FINISH.

CONCEAL ALL FASTENERS AND ATTACHMENTS FROM VIEW.

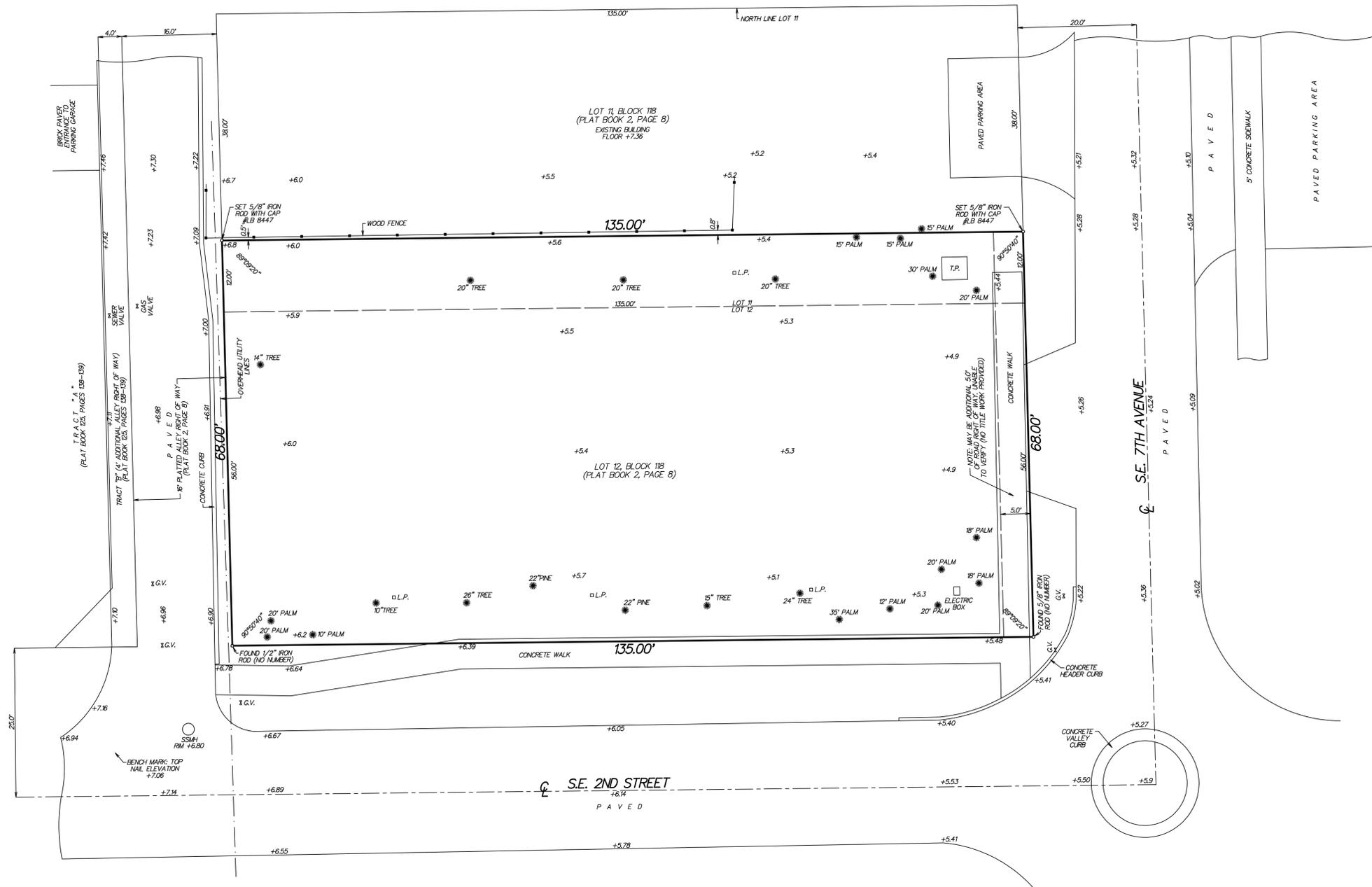
ALL DOORS & WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING REQUIREMENTS ('WINDOW' OR EQUAL).

ALL INTERIOR WALLS THAT RECEIVE TILE /MARBLE - TO BE BACKED W/ 5/8" 'DENS-SHIELD' OR EQUAL.

ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE. (MIN. 2% - SEE CIVIL DRAWINGS.) ALL GROUND FLOOR SHOWERS TO HAVE MIN. 4" DEPRESSIONED SLAB. SECOND FLOOR SHOWERS TO HAVE MIN. 2" DEPRESSIONED SLAB. ALL SECOND FLOOR SHOWERS.

OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION. OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

FILE NUMBER



LEGEND:

- CL = CENTERLINE
- W.M. = WATER METER
- L.P. = LIGHT POLE
- G.V. = GATE VALVE
- SSMH = SANTARY SEWER MANHOLE

+7.06 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: X & AE (EL. 6)
COMMUNITY PANEL NO. 125102
MAP NO. 12099C0979F
EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

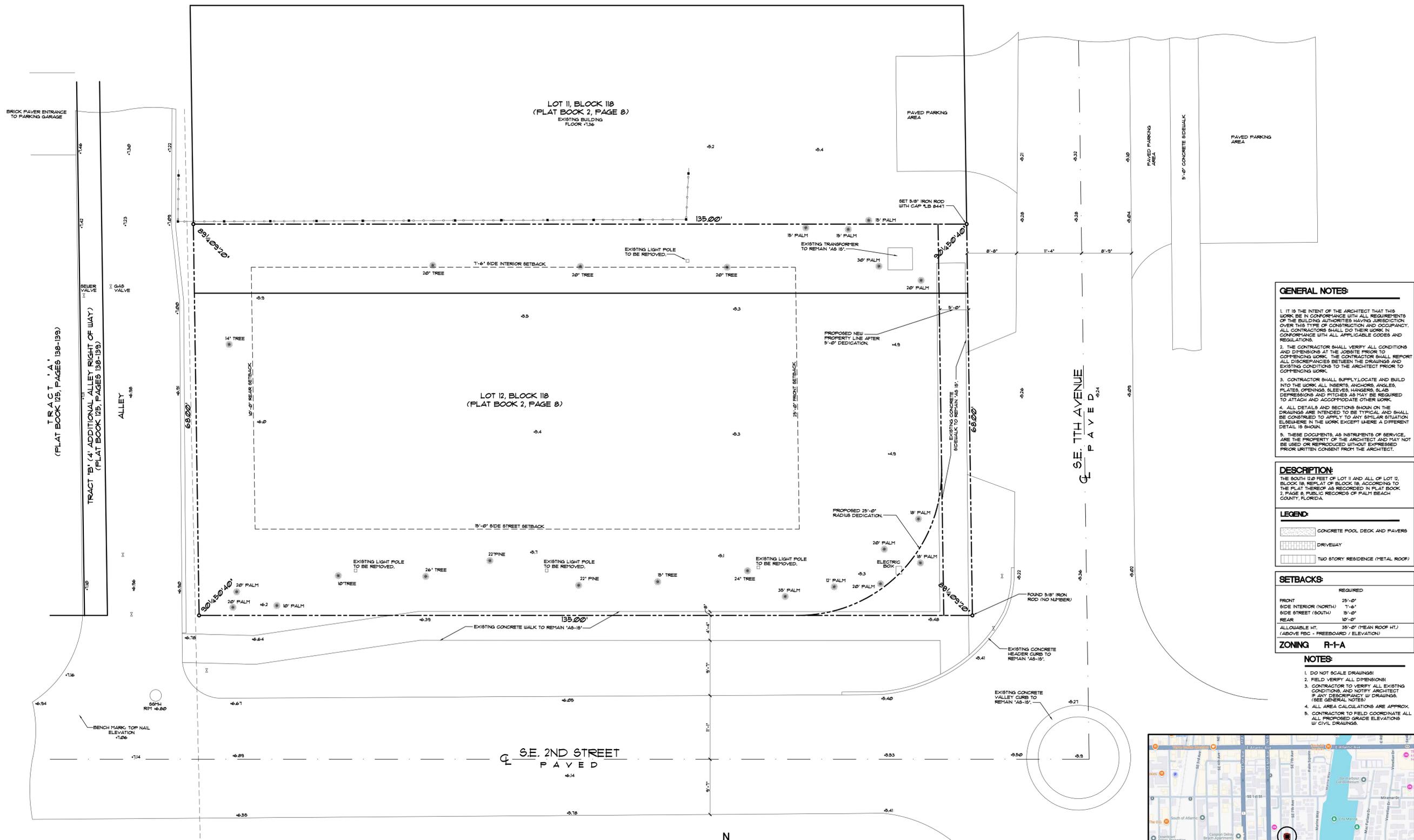
THE SOUTH 12.0 FEET OF LOT 11 AND ALL OF LOT 12, BLOCK 118, REPLAT OF BLOCK 118, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY
SITE ADDRESS: 146 SE. 7TH AVENUE
DELRAY BEACH, FLORIDA 33483
PARCEL I.D. NO.: 12-43-46-16-01-118-0111

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

ENGLE LAND SURVEYING LLC LAND SURVEYORS		
CERTIFICATE OF AUTHORIZATION #LB8447		
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445 (561) 276-4501 732-3279 FAX 276-2390		
DATE OF SURVEY MAY 16, 2024	REVISED: 03/03/24 - ADDED ADDITIONAL ALLEY RIGHT OF WAY (WEST SIDE OF ALLEY)	SCALE: 1" = 10'
FIELD BOOK ELS D-3	PAGE NO. 17	ORDER NO. ELS 21-20db



GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DIMENSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

DESCRIPTION:
THE SOUTH 120 FEET OF LOT 11 AND ALL OF LOT 12, BLOCK 118, REPLAT OF BLOCK 118, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LEGEND:

- CONCRETE POOL DECK AND PAVERS
- DRIVEWAY
- TWO STORY RESIDENCE (METAL ROOF)

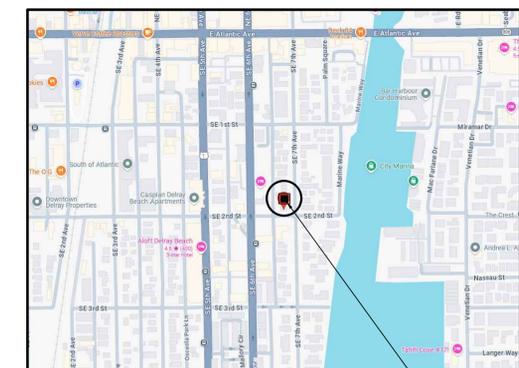
SETBACKS:

	REQUIRED
FRONT	25'-0"
SIDE INTERIOR (NORTH)	1'-6"
SIDE STREET (SOUTH)	15'-0"
REAR	15'-0"
ALLOWABLE HT.	35'-0" (MEAN ROOF HT.) (ABOVE FBC - FREEBOARD / ELEVATION)

ZONING R-1-A

NOTES:

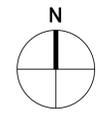
- DO NOT SCALE DRAWINGS!
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- ALL AREA CALCULATIONS ARE APPROX.
- CONTRACTOR TO FIELD CORRELATE ALL ALL PROPOSED GRADE ELEVATIONS W/ CIVIL DRAWINGS.



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP

1 EXISTING SITE PLAN
A100 SCALE: 1/8" = 1'-0" (FOR REFERENCE ONLY)



architect, planner and designer
1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR HISTORIC BOARD REVIEW
BIDS
PERMIT 103124
CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS

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FILE NUMBER **703A100**

DRAWING TITLE
EXISTING SITE PLAN (FOR REFERENCE ONLY)

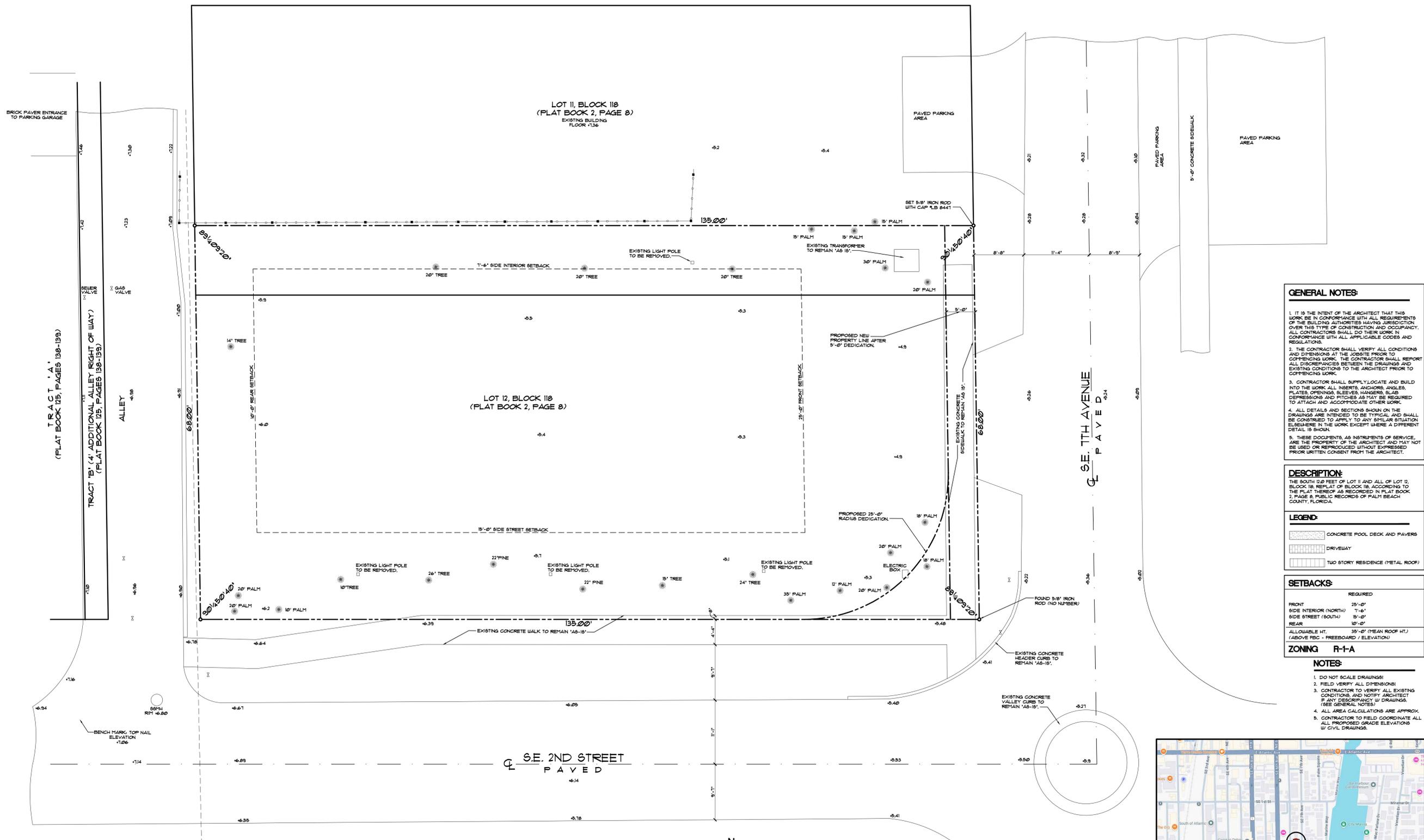
DATE **10/17/24** DRAWN BY **GE/JH/MJ**

JOB NUMBER **20240703**

DRAWING NUMBER

A1.00

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GENERAL NOTES:

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- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

DESCRIPTION:
THE SOUTH 120 FEET OF LOT 11 AND ALL OF LOT 12, BLOCK 118, REPLAT OF BLOCK 118, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LEGEND:

- CONCRETE POOL DECK AND PAVERS
- DRIVEWAY
- TWO STORY RESIDENCE (METAL ROOF)

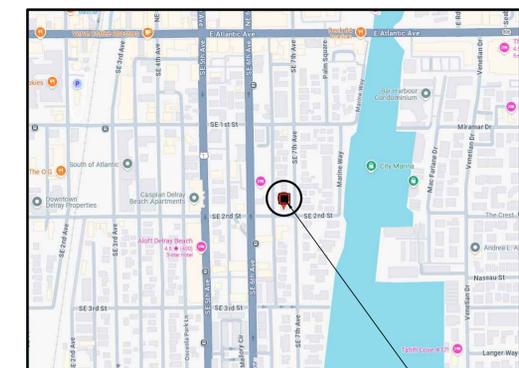
SETBACKS:

	REQUIRED
FRONT	25'-0"
SIDE INTERIOR (NORTH)	1'-6"
SIDE STREET (SOUTH)	15'-0"
REAR	15'-0"
ALLOWABLE HT.	35'-0" (MEAN ROOF HT.) (ABOVE FBC - FREEBOARD / ELEVATION)

ZONING R-1-A

NOTES:

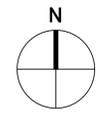
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VICINITY MAP

1 EXISTING SITE PLAN
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CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS

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FILE NUMBER **703A100**

DRAWING TITLE
EXISTING SITE PLAN (FOR REFERENCE ONLY)

DATE **10/17/24** DRAWN BY **GE/JH/MJ**

JOB NUMBER **20240703**

DRAWING NUMBER

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PERMIT 103124
CONSTRUCTION

PROJECT TITLE

PROPOSED SINGLE FAMILY RESIDENCE

146 SE 7TH AVE
DELRAY BEACH, FL

REVISIONS

- 1. REVISED 02-04-25 AS PER HISTORIC COMMENTS
- 2. UPDATE ZONING AND SITE DATA TABLE
- 3. ADDED SIDEWALK AND EQUIPMENT
- 4. ADDED DRIVEWAYS OF ADJACENT PROPERTIES
- 5. ADDED SITE DATA TABLE
- 6. ADDED NOTE FOR STEP AND PLATFORM
- 7. ADDED SIDE STREET AND FRONT FENCING
- 8. ADDED SQUARE FOOTAGE TO PROPOSED STRUCTURE

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FILE NUMBER 703A101

DRAWING TITLE

PROPOSED SITE PLAN

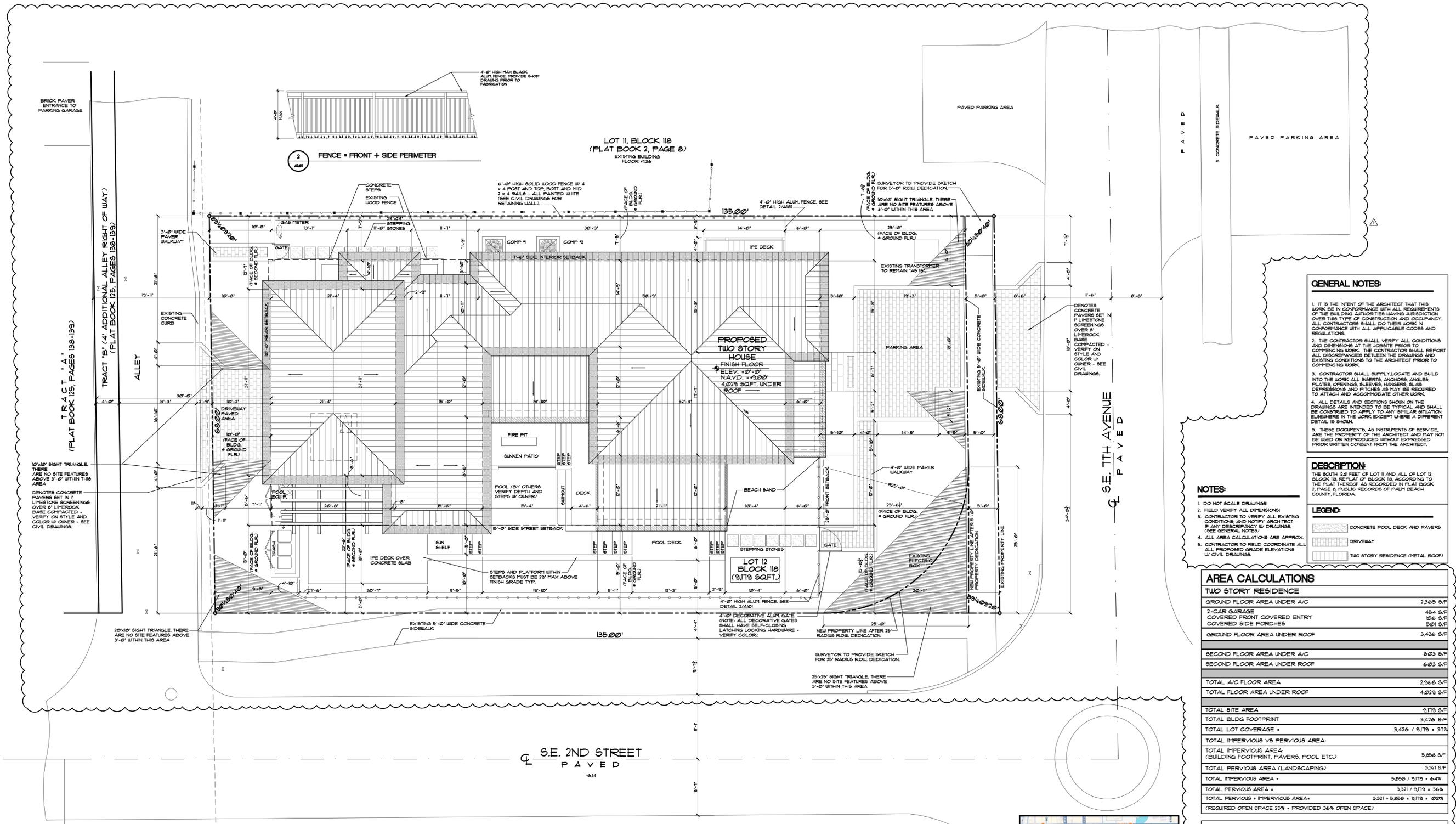
DATE 10/17/24

JOB NUMBER 20240703

DRAWING NUMBER

A1.01

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- DESCRIPTION:**
- THE SOUTH 120 FEET OF LOT 11 AND ALL OF LOT 12, BLOCK 118, REPLAT OF BLOCK 118, ACCORDING TO THE PLAT THEREOF AS RECORDED IN FLAT BOOK 2, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
- LEGEND:**
- CONCRETE POOL DECK AND PAVERS
 - DRIVEWAY
 - TWO STORY RESIDENCE (METAL ROOF)

- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.
 - CONTRACTOR TO FIELD COORDINATE ALL ALL PROPOSED GRADE ELEVATIONS W/ CIVIL DRAWINGS.

AREA CALCULATIONS

TWO STORY RESIDENCE	
GROUND FLOOR AREA UNDER A/C	2,365 S/F
2-CAR GARAGE COVERED FRONT COVERED ENTRY COVERED SIDE PORCHES	454 S/F 106 S/F 501 S/F
GROUND FLOOR AREA UNDER ROOF	3,426 S/F
SECOND FLOOR AREA UNDER A/C	603 S/F
SECOND FLOOR AREA UNDER ROOF	603 S/F
TOTAL A/C FLOOR AREA	2,968 S/F
TOTAL FLOOR AREA UNDER ROOF	4,029 S/F
TOTAL SITE AREA	9,179 S/F
TOTAL BLDG FOOTPRINT	3,426 S/F
TOTAL LOT COVERAGE *	3,426 / 9,179 = 37%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA: (BUILDING FOOTPRINT, PAVERS, POOL ETC.)	5,858 S/F
TOTAL PERVIOUS AREA (LANDSCAPING)	3,321 S/F
TOTAL IMPERVIOUS AREA *	5,858 / 9,179 = 64%
TOTAL PERVIOUS AREA *	3,321 / 9,179 = 36%
TOTAL IMPERVIOUS + IMPERVIOUS AREA *	3,321 + 5,858 = 9,179 = 100%

(REQUIRED OPEN SPACE 25% - PROVIDED 36% OPEN SPACE)

FAR CALCULATIONS

TOTAL FLOOR AREA	4,029 S/F
TOTAL LOT AREA	9,179 S/F
FLOOR AREA RATIO *	4,029 / 9,179 = 0.44

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	25'-0"	50'-2"
SIDE INTERIOR (NORTH)	1'-6"	1'-9"	12'-1"
SIDE STREET (SOUTH)	15'-0"	15'-0"	23'-6"
REAR	10'-0"	10'-0"	10'-0"

ALLOWABLE HT. 35'-0" (MEAN ROOF HT.) 24'-10" (MEAN ROOF HT.) (ABOVE FFC - FREEBOARD / ELEVATION)

ZONING R-1-A



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP



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BIDS
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CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS
REVISED 02-04-25 AS PER HISTORIC COMMENTS

- 1. UPDATE ZONING AND SITE DATA TABLE
- 2. LABELED SIDEWALK AND EQUIPMENT
- 3. ADDED DRIVEWAYS OF ADJACENT PROPERTIES
- 4. ANCHORED SITE DATA TABLE
- 5. ADDED NOTE FOR STEP AND PLATFORM
- 6. UPDATED SIDE STREET AND FRONT FENCING
- 7. ADDED SQUARE FOOTAGE TO PROPOSED STRUCTURE

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FILE NUMBER **703A101**

DRAWING TITLE **PROPOSED SITE PLAN**

DATE **10/17/24** | DRAWN BY **GE/JH/MJ**

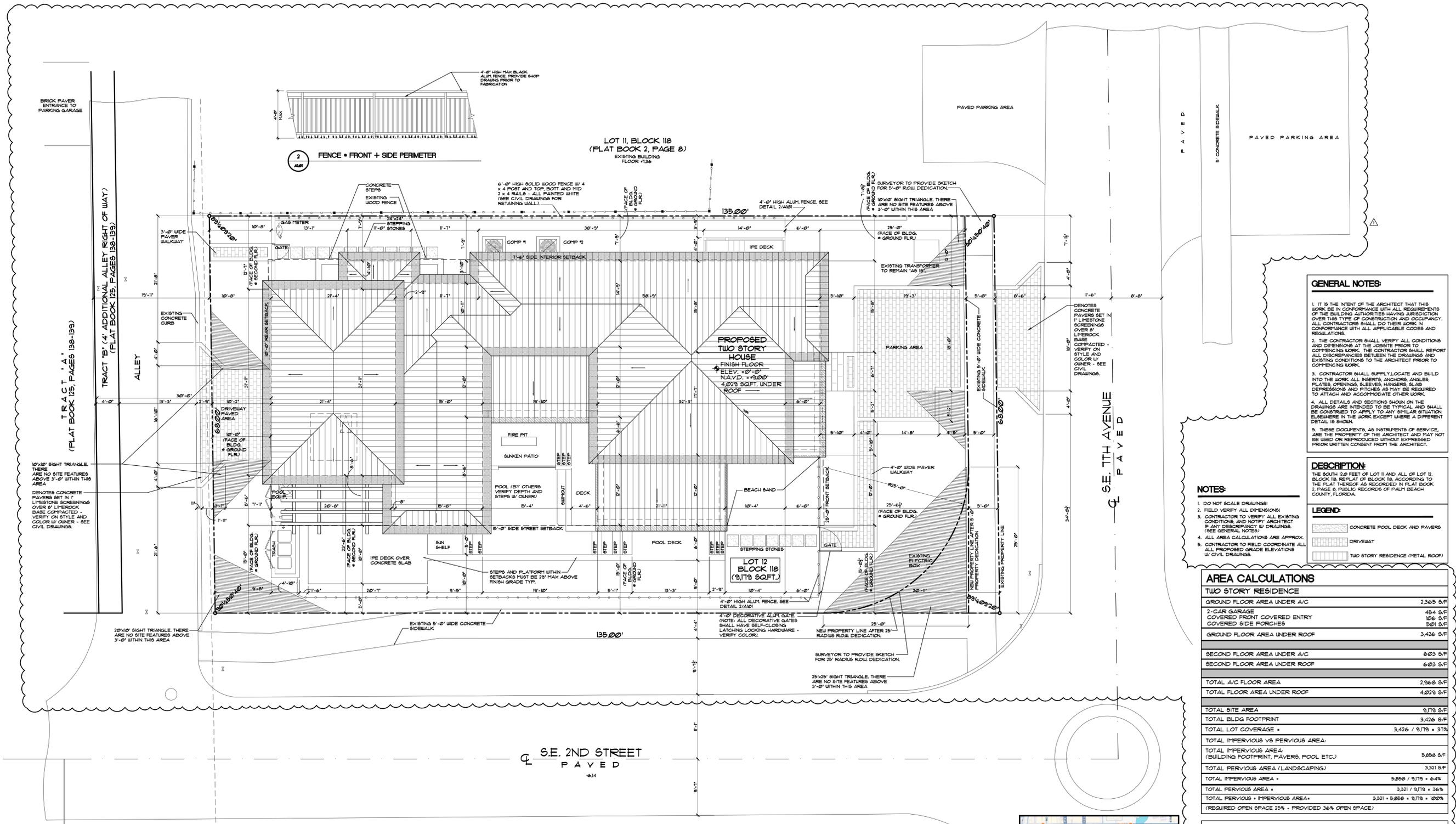
JOB NUMBER **20240703**

DRAWING NUMBER **A1.01**

ZONING **R-1-A**

A1.01

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- DESCRIPTION:**
- LEGEND:**
- CONCRETE POOL DECK AND PAVERS
 - DRIVEWAY
 - TWO STORY RESIDENCE (METAL ROOF)

- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.
 - CONTRACTOR TO FIELD COORDINATE ALL ALL PROPOSED GRADE ELEVATIONS W/ CIVIL DRAWINGS.

AREA CALCULATIONS

TWO STORY RESIDENCE	
GROUND FLOOR AREA UNDER A/C	2,365 S/F
2-CAR GARAGE COVERED FRONT COVERED ENTRY COVERED SIDE PORCHES	454 S/F 106 S/F 501 S/F
GROUND FLOOR AREA UNDER ROOF	3,426 S/F
SECOND FLOOR AREA UNDER A/C	603 S/F
SECOND FLOOR AREA UNDER ROOF	603 S/F
TOTAL A/C FLOOR AREA	2,968 S/F
TOTAL FLOOR AREA UNDER ROOF	4,029 S/F
TOTAL SITE AREA	9,179 S/F
TOTAL BLDG FOOTPRINT	3,426 S/F
TOTAL LOT COVERAGE *	3,426 / 9,179 = 37%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA: (BUILDING FOOTPRINT, PAVERS, POOL ETC.)	5,858 S/F
TOTAL PERVIOUS AREA (LANDSCAPING)	3,321 S/F
TOTAL IMPERVIOUS AREA *	5,858 / 9,179 = 64%
TOTAL PERVIOUS AREA *	3,321 / 9,179 = 36%
TOTAL IMPERVIOUS + IMPERVIOUS AREA *	3,321 + 5,858 = 9,179 = 100%

(REQUIRED OPEN SPACE 25% - PROVIDED 36% OPEN SPACE)

FAR CALCULATIONS

TOTAL FLOOR AREA	4,029 S/F
TOTAL LOT AREA	9,179 S/F
FLOOR AREA RATIO *	4,029 / 9,179 = 0.44

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	25'-0"	50'-2"
SIDE INTERIOR (NORTH)	1'-6"	1'-9"	12'-1"
SIDE STREET (SOUTH)	15'-0"	15'-0"	23'-6"
REAR	10'-0"	10'-0"	10'-0"

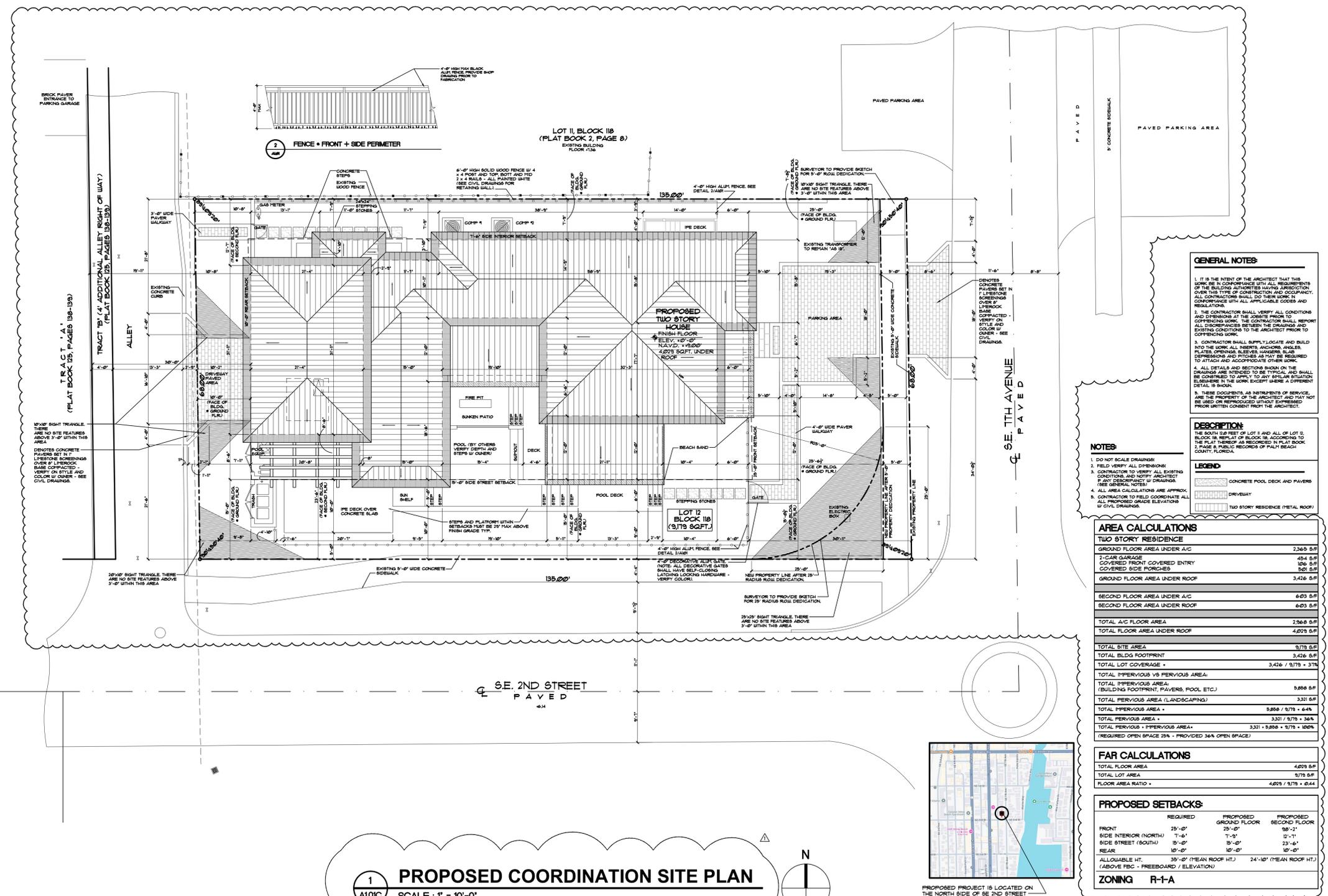
ALLOWABLE HT. 35'-0" (MEAN ROOF HT.) 24'-10" (MEAN ROOF HT.) (ABOVE FFC - FREEBOARD / ELEVATION)



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP

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DESCRIPTION
THE SOUTH 50 FEET OF LOT 1 AND ALL OF LOT 2, BLOCK 18, REPLAT OF BLOCK 18, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK COUNTY 18, BEACH COUNTY, FLORIDA.

LEGEND

- CONCRETE POOL DECK AND PAVERS
- DRIVEWAY
- TWO STORY RESIDENCE (METAL ROOF)

AREA CALCULATIONS

TWO STORY RESIDENCE	
GROUND FLOOR AREA UNDER A/C	2,369 S.F.
2-CAR GARAGE	484 S.F.
COVERED FRONT COVERED ENTRY	190 S.F.
COVERED SIDE PORCHES	520 S.F.
GROUND FLOOR AREA UNDER ROOF	3,426 S.F.
SECOND FLOOR AREA UNDER A/C	623 S.F.
SECOND FLOOR AREA UNDER ROOF	623 S.F.
TOTAL A/C FLOOR AREA	2,992 S.F.
TOTAL FLOOR AREA UNDER ROOF	4,029 S.F.
TOTAL SITE AREA	9,178 S.F.
TOTAL BLDG FOOTPRINT	3,426 S.F.
TOTAL LOT COVERAGE *	3,426 / 9,178 = 37%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA: (BUILDING FOOTPRINT, PAVERS, POOL, ETC.)	9,898 S.F.
TOTAL PERVIOUS AREA (LANDSCAPING)	3,321 S.F.
TOTAL IMPERVIOUS AREA *	9,898 / 9,178 = 64%
TOTAL PERVIOUS AREA *	3,321 / 9,178 = 36%
TOTAL IMPERVIOUS + IMPERVIOUS AREA *	3,321 + 9,898 = 9,178 = 100%
(REQUIRED OPEN SPACE 28% - PROVIDED 36% OPEN SPACE)	

FAR CALCULATIONS

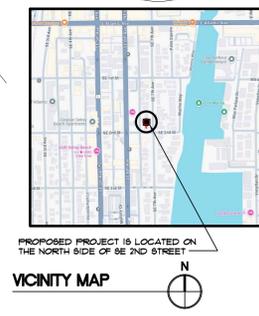
TOTAL FLOOR AREA	4,029 S.F.
TOTAL LOT AREA	9,178 S.F.
FLOOR AREA RATIO *	4,029 / 9,178 = 44%

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	25'-0"	98'-2"
SIDE INTERIOR (NORTH)	1'-6"	1'-6"	0'-1"
SIDE STREET (SOUTH)	3'-0"	3'-0"	23'-0"
REAR	10'-0"	10'-0"	30'-0"
ALLOWABLE HT. (ABOVE FBC - FREEBOARD / ELEVATION)	35'-0" (MEAN ROOF HT.)	24'-10" (MEAN ROOF HT.)	

ZONING R-1-A

1 PROPOSED COORDINATION SITE PLAN
SCALE: 1" = 10'-0"





145 SE 6TH AVENUE

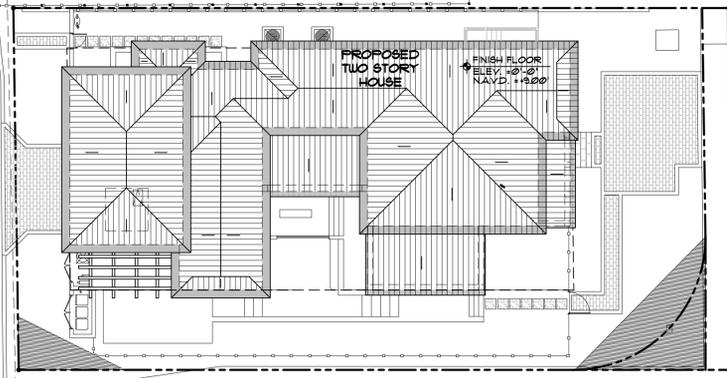


134 SE 11TH AVENUE



138 SE 11TH AVENUE

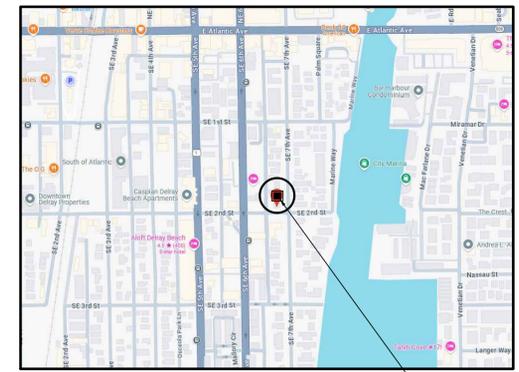
LOT 11, BLOCK 118
(PLAT BOOK 2, PAGE 8)
EXISTING BUILDING
FLOOR +1.36



111 SE 2ND ST



200 SE 11TH AVENUE



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP



NOTES

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BIDS

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CONSTRUCTION

PROJECT TITLE

PROPOSED SINGLE FAMILY RESIDENCE

146 SE 7TH AVE
DELRAY BEACH, FL

REVISIONS

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FILE NUMBER 703A102

DRAWING TITLE

PROPOSED CONTEXT PLAN

DATE 10/17/24 DRAWN BY GE/JH/MJ

JOB NUMBER 20240703

DRAWING NUMBER

A1.02

1 ARCHITECTURAL CONTEXT PLAN

A102 SCALE: 1/32" = 1'-0"



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145 SE 6TH AVENUE

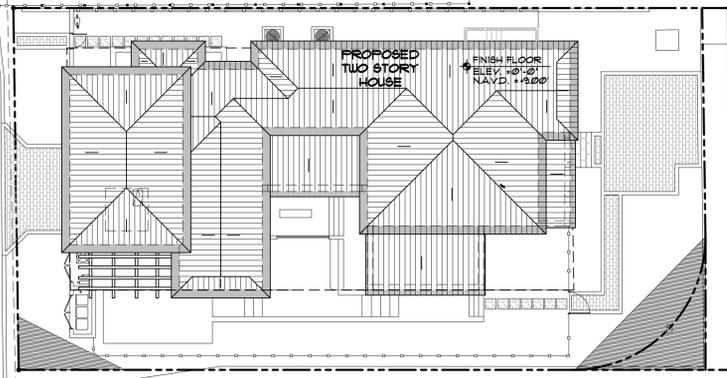


134 SE 11TH AVENUE



138 SE 11TH AVENUE

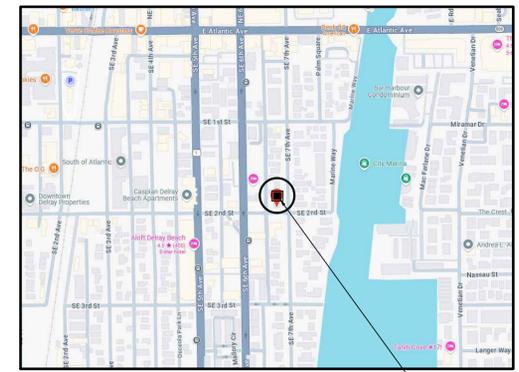
LOT 11, BLOCK 118
(PLAT BOOK 2, PAGE 8)
EXISTING BUILDING
FLOOR +1.36



111 SE 2ND ST



200 SE 11TH AVENUE



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET

VICINITY MAP



NOTES

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2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. CONTRACTOR TO FIELD COORDINATE ALL ALL PROPOSED GRADE ELEVATIONS WITH CIVIL DRAWINGS.



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FILE NUMBER 703A102

DRAWING TITLE

PROPOSED CONTEXT PLAN

DATE 10/17/24 DRAWN BY GE/JH/MJ

JOB NUMBER 20240703

DRAWING NUMBER

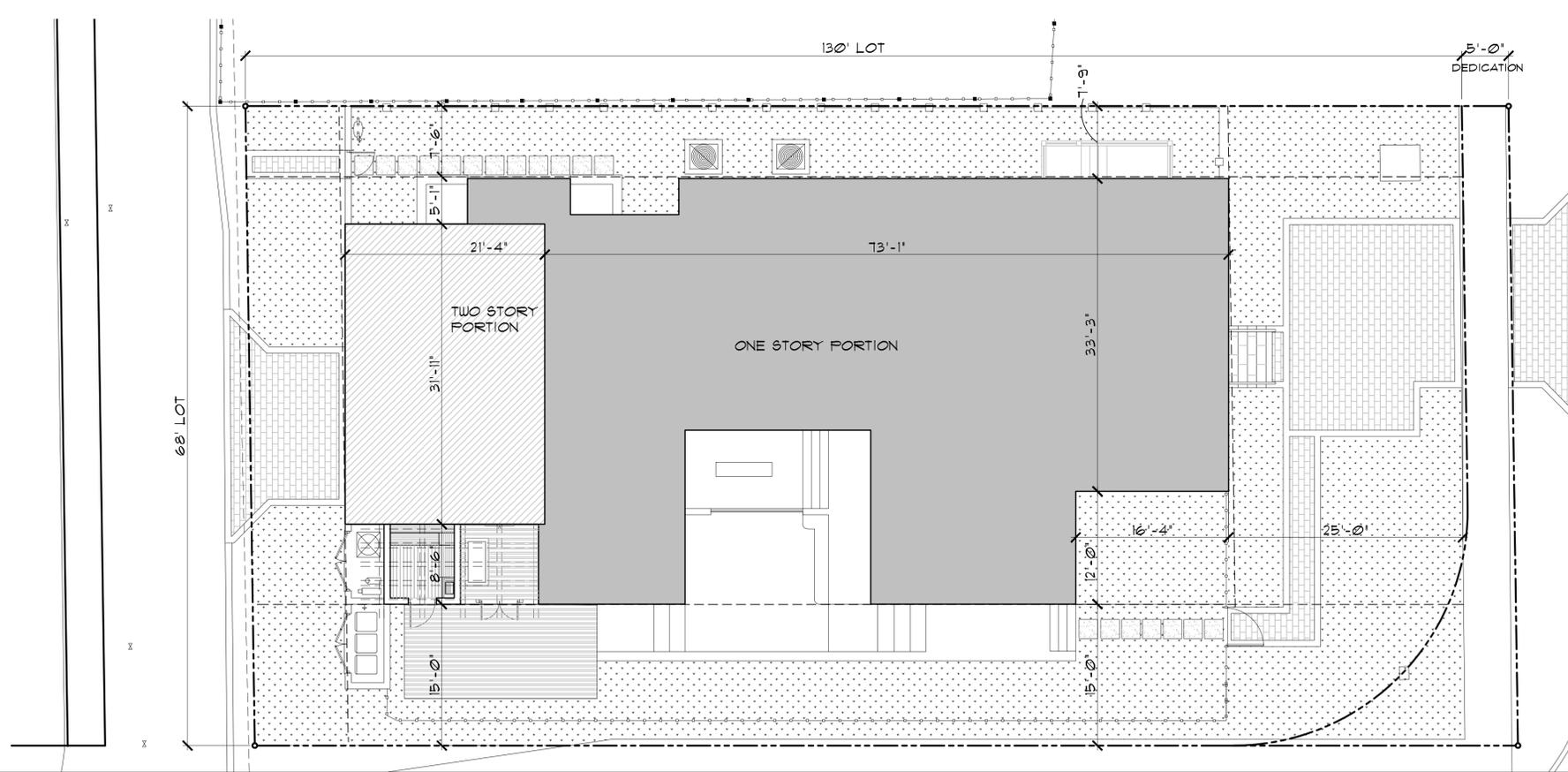
A1.02

1 ARCHITECTURAL CONTEXT PLAN

A102 SCALE: 1/32" = 1'-0"



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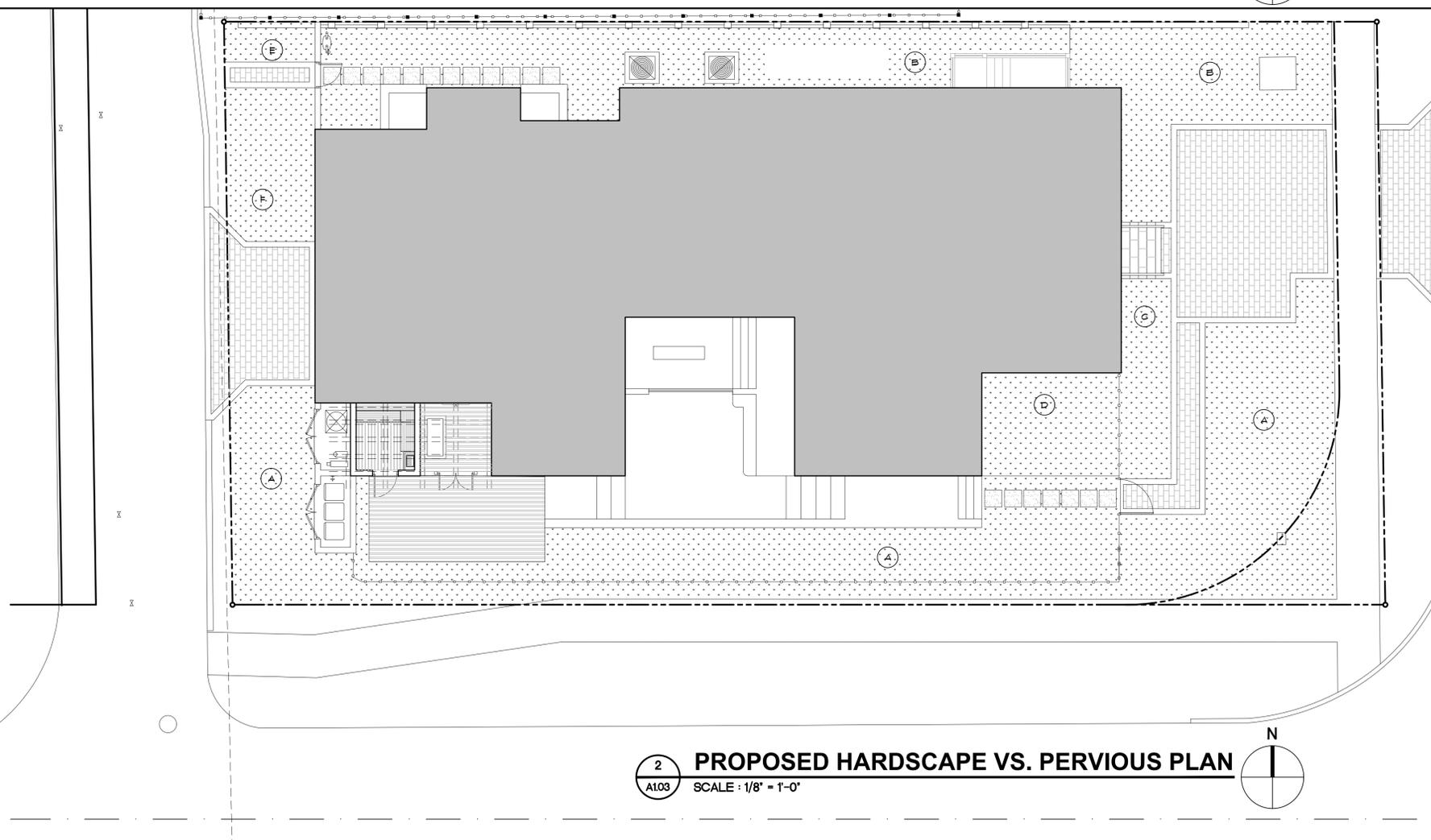
BUILDINGS WIDER THAN 60% OF LOT WIDTH

LOT DEPTH = 68'-0" X 40% = 27.2'
 27.2' - 7'-6" SIDE SETBACK - 15' SIDE STREET SETBACK = 4.1'

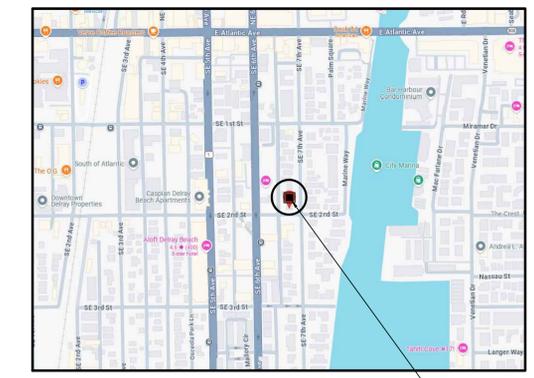
BUILDINGS DEEPER THAN 50% OF LOT DEPTH

LOT DEPTH = 130'-0" (MINUS 5'-0" DEDICATION) X 50% = 65'
 65' - 25' FRONT SETBACK - 10' REAR SETBACK = 30'-0"

1 SCALE OF BUILDING GRAPHIC
 SCALE: 1/8" = 1'-0"



2 PROPOSED HARDSCAPE VS. PERVIOUS PLAN
 SCALE: 1/8" = 1'-0"



PROPOSED PROJECT IS LOCATED ON THE NORTH SIDE OF SE 2ND STREET
VICINITY MAP

LEGEND:		PERVIOUS AREA	
	LANDSCAPE AREA	(A)	1,674 SQ. FT.
	CONCRETE DECK & PAVERS	(B)	1,084 SQ. FT.
	DRIVEWAY/ENTRY WALKWAY	(C)	136 SQ. FT.
	TWO STORY RESIDENCE	(D)	193 SQ. FT.
		(E)	50 SQ. FT.
		(F)	184 SQ. FT.
		TOTAL:	3,321 SQ. FT.

- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.

TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL SITE AREA:	9,179 S/F
TOTAL BUILDING FOOTPRINT:	3,426 S/F
IMPERVIOUS AREA: (DRIVEWAY, PAVERS, POOL, ETC.)	2,432 S/F
TOTAL PERVIOUS AREA (LANDSCAPING)	3,321 S/F
TOTAL IMPERVIOUS AREA +	5,858 / 9,179 = 64%
TOTAL PERVIOUS AREA +	3,321 / 9,179 = 36%
TOTAL PERVIOUS + IMPERVIOUS AREA +	3,321 + 5,858 = 9,179 = 100%
(REQUIRED OPEN SPACE 25% - PROVIDED 36% OPEN SPACE)	



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ISSUED FOR HISTORIC BOARD REVIEW
 BIDS
 PERMIT 103124
 CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

146 SE 7TH AVE DELRAY BEACH, FL

REVISIONS
 REVISED 02-04-25 AS PER HISTORIC COMMENTS
 1. ADDED HARDSCAPE PLAN TO SET
 2. ADDED SCALE OF BUILDING GRAPHIC

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FILE NUMBER
703A103HP

DRAWING TITLE
HARDSCAPE VS. PERVIOUS PLAN/ SCALE OF BLDG.

DATE
1/08/25
 DRAWN BY
GE/JH
 JOB NUMBER
20240703

DRAWING NUMBER
A1.03HP

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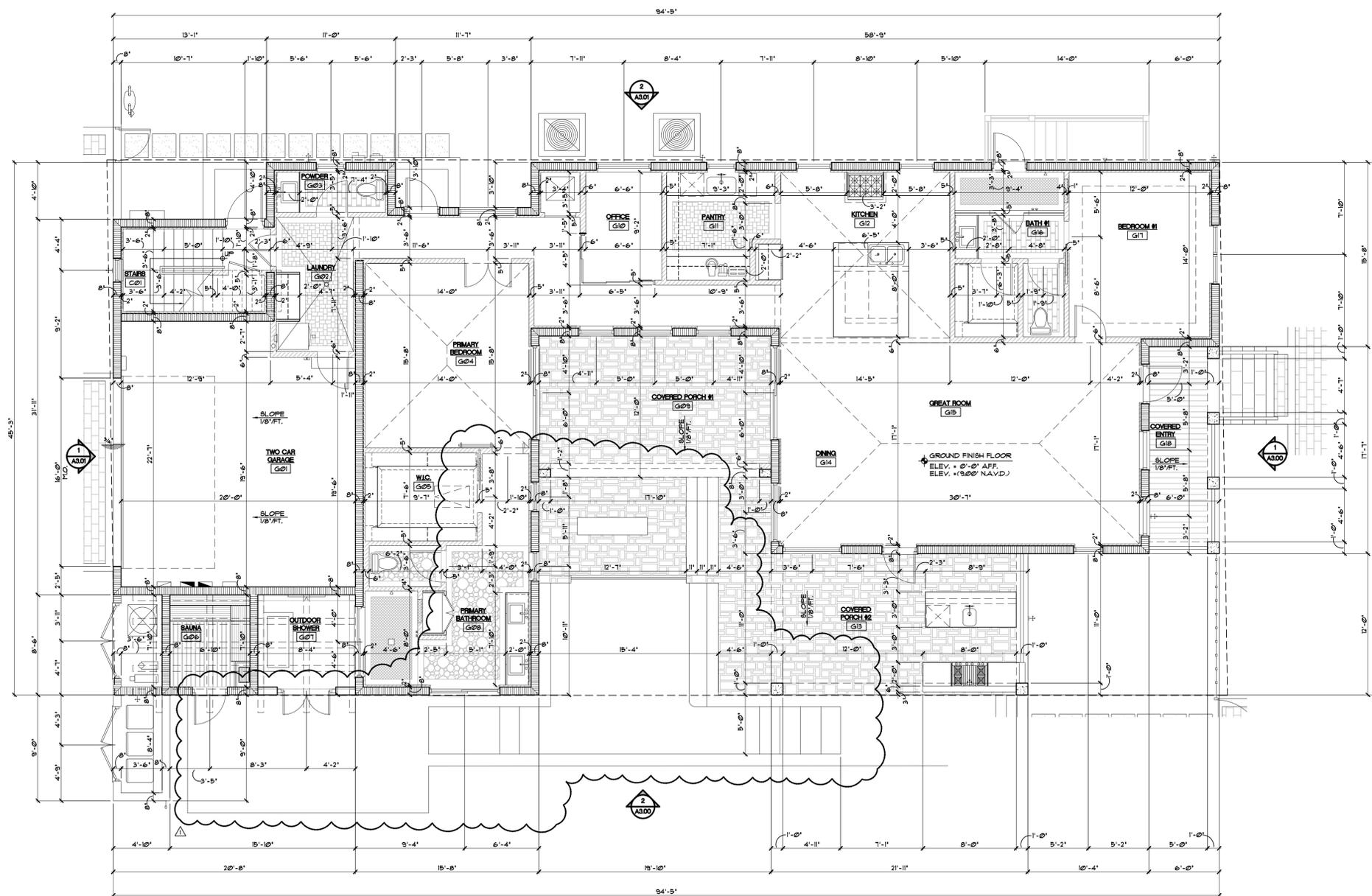
- DO NOT SCALE DRAWINGS!
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- ALL AREA CALCULATIONS ARE APPROX.

AREA CALCULATIONS

GROUND FLOOR A/C	2369 S.F.
2-CAR GARAGE	454 S.F.
COVERED FRONT ENTRY	106 S.F.
COVERED SIDE PORCHES	521 S.F.
GROUND FLOOR AREA UNDER ROOF	3426 S.F.
<hr/>	
SECOND FLOOR AREA UNDER A/C	603 S.F.
SECOND FLOOR AREA UNDER ROOF	603 S.F.
TOTAL A/C FLOOR AREA	2969 S.F.
TOTAL FLOOR AREA UNDER ROOF	4029 S.F.

WALL LEGEND

- 1-1/2" 2-COAT SMOOTH STUCCO FINISH ON EXTERIOR W/ INTERIOR TO RECEIVE 1/2" TYPE 'X' G.W.B. W/ LEVEL V PAINTED FINISH OVER 1/2" METAL FURRIG # 24" O.C. W/ R10 FI-FOIL INSUL. BETW FURRIG 4 G.W.B. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. G.W.B. AT ALL BATHRMS, KITCHENS & GARAGE WALLS. NOTE: "DENS-SHIELD" * ALL TILED WALLS. (ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.)
 - 2-3-COAT SMOOTH STUCCO FINISH W/ 6" LAPSING PATTERN FOR EXTERIOR W/ INTERIOR TO RECEIVE 1/2" TYPE 'X' G.W.B. W/ LEVEL V PAINTED FINISH OVER 1/2" METAL FURRIG # 24" O.C. W/ R10 FI-FOIL INSUL. BETW FURRIG 4 G.W.B. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. G.W.B. AT ALL BATHRMS, KITCHENS & GARAGE WALLS. NOTE: "DENS-SHIELD" * ALL TILED WALLS. (ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.)
 - 3-6" OR 12" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' G.W.B. W/ SMOOTH LEVEL V FINISH - PAINTED ON EA. SIDE OF 4" (400982-54) 1/2 GA. HTL. STUDS # 16" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (MR. DRYWALL * BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE.) (NOTE: CONTRACTOR TO PROVIDE ALTERNATE IN LIEU OF 4" METAL STUDS, RT. 2 x 6 x 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS.)
 - 4-8" CONCRETE BLOCK LOW WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. -(SEE STRUCT.)
 - 1 HR RATED GARAGE OR SHAFT WALL PARTITION. G.A. FILE NO. WP-1072 W/ R-11 BATT INSUL. (TYP.)
 - POOL WALL TO RECEIVE - STONE PANELS (BRICK - LATIGO OR EQUAL BY "ELDORADO STONE" ON WALL AS PER MANUF. SPECIFICATIONS (OVER SCRATCH COAT "POLYMODIFIED" MORTAR OVER WATERPROOFED CONCRETE BLOCK - NOTE: CONTRACTOR TO CONFIRM WATERPROOF STRENGTH FOR PROPOSED STONE VENEER) - VERIFY W/ OWNER.
 - C1 STRUCTURAL STEEL COLUMN
 - C2 12" x 12" CONCRETE COLUMNS W/ 2-1/2" COATS SMOOTH STUCCO PAINTED FINISH.
 - C3 8" x 12" CONCRETE COLUMNS W/ 2-1/2" COATS SMOOTH STUCCO PAINTED FINISH.
 - WINDOW LETTER - SEE SHEET A2.00 FOR SIZES. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
 - DOOR NUMBER - SEE SHEET A2.01 FOR SIZES. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- NOTES:
- ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING.
 - ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.)
 - ALL TILED WALLS TO RECEIVE 5/16" "DUROCK" BACKING OR EQUAL.
 - ALL INTERIOR DRYWALL TO HAVE LEVEL V - FINISH.
 - ALL EXTERIOR WALL TO BE FILLED W/ "CORE-FILL" 900# OR EQUAL (NOTE: TO BE INSTALLED AFTER EXTERIOR OF BUILDING IS SEALED).
 - VERIFY W/ OWNER ON INTERIOR WALLS TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" 440 SOUND BARRIER "ROKASOTE" OR EQUAL.



1 PROPOSED GROUND FLOOR DIMENSIONED PLAN
 A2.00D SCALE: 3/16" = 1'-0"



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146 SE 7TH AVE DELRAY BEACH, FL

REVISIONS
 REVISION 02-04-25 AS PER HISTORIC COMMENTS
 UPDATE POOL LAYOUT

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FILE NUMBER
703A200D

DRAWING TITLE
PROPOSED GROUND FLOOR DIMENSIONED PLAN

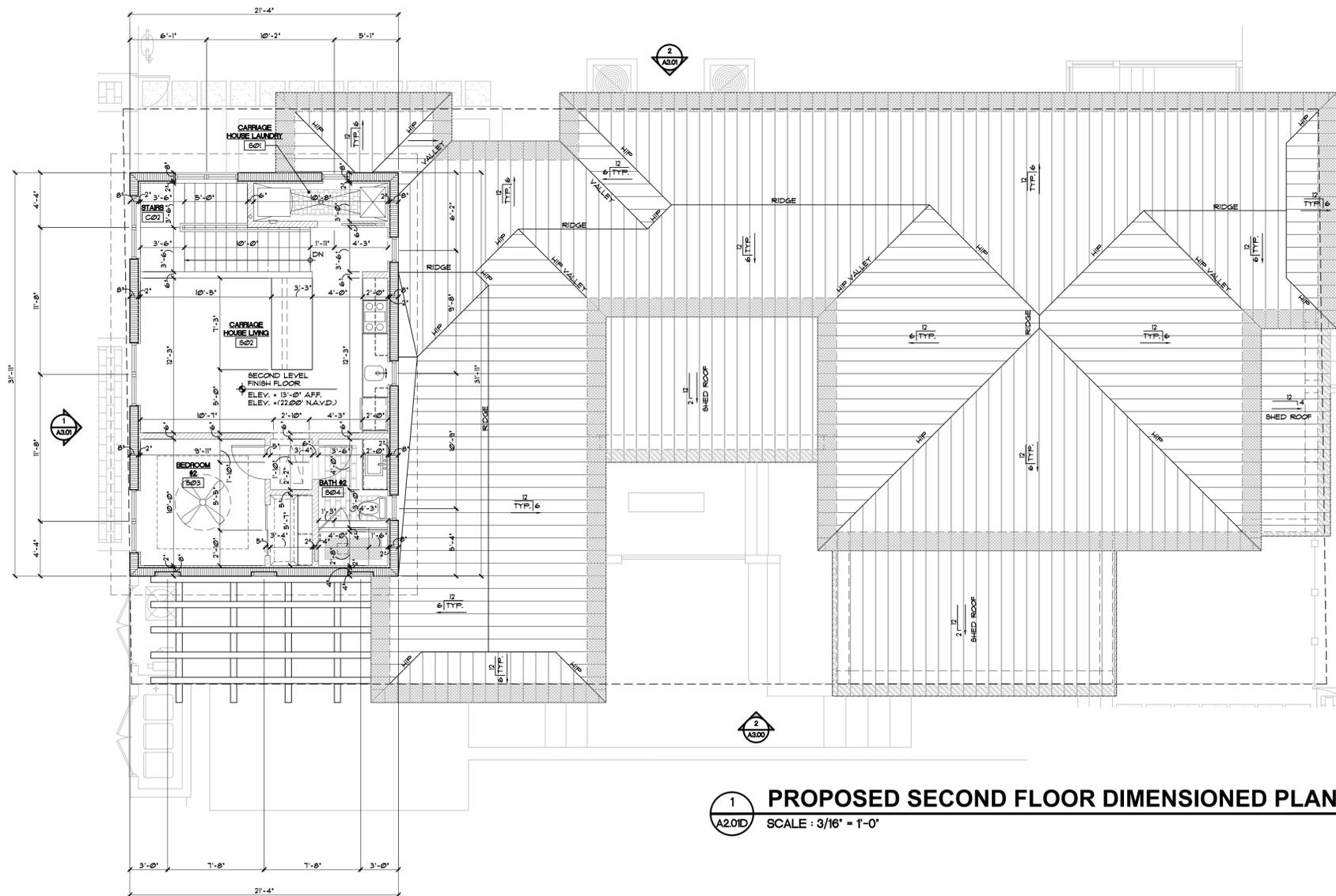
DATE
10/17/24 | DRAWN BY
GE/JH/MJ

JOB NUMBER
20240703

DRAWING NUMBER

A2.00D

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1
A2.01D **PROPOSED SECOND FLOOR DIMENSIONED PLAN**
SCALE: 3/16" = 1'-0"



NOTES:

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3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

AREA CALCULATIONS

GROUND FLOOR A/C	2,365 S.F.
7-CAR GARAGE	454 S.F.
COVERED FRONT ENTRY	106 S.F.
COVERED SIDE PORCHES	520 S.F.
GROUND FLOOR AREA UNDER ROOF	3,426 S.F.
SECOND FLOOR AREA UNDER A/C	603 S.F.
SECOND FLOOR AREA UNDER ROOF	603 S.F.
TOTAL A/C FLOOR AREA	2,968 S.F.
TOTAL FLOOR AREA UNDER ROOF	4,029 S.F.

WALL LEGEND

- 1. 1/2" INTERIOR PARTITION 3/8" 20 GA METAL STUDS W/ 1/2" GYPSUM WALL BOARD BOTH SIDES (LEVEL V FIN.) (MR. DRYWALL # BATHROOMS AND KITCHEN. VERIFY W/ DIMENSIONS VARIES THROUGHOUT HOUSE. PLUMBING WALLS TO BE 1 1/2").
 - 2. 3/4" 2-COAT SMOOTH STUCCO FINISH ON EXTERIOR W/ INTERIOR TO RECEIVE 1/2" TYPE 'X' G.W.B. W/ LEVEL V PAINTED FINISH OVER 1/2" METAL FURRIG # 24" O.C. W/ R10 FI-FOIL INSUL. BETW FURRIG 4 G.W.B. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. G.W.B. AT ALL BATHRMS. KITCHENS 4 GARAGE WALLS. NOTE: 1/2" DENS-SHIELD* # ALL TILED WALLS. (ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.
 - 3. 3-COAT SMOOTH STUCCO FINISH W/ 6" LAPSING PATTERN FOR EXTERIOR W/ INTERIOR TO RECEIVE 1/2" TYPE 'X' G.W.B. W/ LEVEL V PAINTED FINISH OVER 1/2" METAL FURRIG # 24" O.C. W/ R10 FI-FOIL INSUL. BETW FURRIG 4 G.W.B. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. G.W.B. AT ALL BATHRMS. KITCHENS 4 GARAGE WALLS. NOTE: 1/2" DENS-SHIELD* # ALL TILED WALLS. (ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.
 - 4. 6" OR 12" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' G.W.B. W/ SMOOTH LEVEL V FINISH - PAINTED ON EA. SIDE OF 4" (4029S2-S4) 1/2 GA. HTL. STUDS # 16" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (MR. DRYWALL # BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE). (NOTE: CONTRACTOR TO PROVIDE ALTERNATE IN LIEU OF 4" METAL STUDS, FT. 2 x 6" # 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS).
 - 5. 8" CONCRETE BLOCK LOW WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. (SEE STRUCT.).
 - 6. 1 HR RATED GARAGE OR SHAFT WALL PARTITION, G.A. FILE NO. WP-1012 W/ R-11 BATT INSUL. (TYP.).
 - 7. POOL WALL TO RECEIVE - STONE PANELS 'BRICK - LATIGO' OR EQUAL BY 'TELDORADO STONE' ON WALL AS PER MANUF. SPECIFICATIONS (OVER SCRATCH COAT 'POLYMODIFIED' MORTAR OVER WATERPROOFED CONCRETE BLOCK - NOTE: CONTRACTOR TO CONFIRM WATERPROOF STRENGTH FOR PROPOSED STONE VENEER) - VERIFY W/ OWNER.
- NOTES:**
- 1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING.
 - 2. ALL BEDROOM, BATHROOM, LAUNDRY 4 KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
 - 3. ALL TILED WALLS TO RECEIVE 5/16" 'DUROCK' BACKING OR EQUAL.
 - 4. ALL INTERIOR DRYWALL TO HAVE LEVEL V - FINISH.
 - 5. ALL EXTERIOR WALL TO BE FILLED W/ 'CORE-FILL' 900# OR EQUAL (NOTE: TO BE INSTALLED AFTER EXTERIOR OF BUILDING IS SEALED).
 - 6. VERIFY W/ OWNER ON INTERIOR WALLS TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" 440 SOUND BARRIER 'MOMABOTE' OR EQUAL.



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146 SE 7TH AVE
DELRAY BEACH, FL

REVISIONS

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FILE NUMBER
703A201D

DRAWING TITLE
PROPOSED SECOND FLOOR DIMENSIONED PLAN

DATE
10/17/24 | DRAWN BY
GE/JH/MJ

JOB NUMBER
20240703

DRAWING NUMBER

A2.01D

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FLOOR PLAN NOTES

- 01 1 x 12 CEDAR SHELVING AND ROD AT 68" AFF. COORDINATE WITH OWNER. (CONTRACTOR TO PROVIDE PRICE FOR BUILT-IN'S. "CLOSET WIZARD" OR EQUAL.)
- 02 PANTRY: PROVIDE 3/4" PAINTED WOOD W/ TRIM 29", 42", 55", AND 68" AFF.
- 03 LINEN W/ 5 EQUALLY SPACED 3/4" PAINTED SHELVES W/ TRIM. CONTRACTOR TO PROVIDE BACKING # ALL WALLS W/ SHELVING # CABINETS (TYP.).
- 04 24" x 36" HINGED - PULL DOWN ATTIC ACCESS. SEE ROOF FRAMING PLAN. IF MECH EQUIP. IS LOCATED INSIDE THE ATTIC, IT SHALL BE INSTALLED AS PER F.B.C. - R 2023.
- 05 22" x 84" ATTIC ACCESS W/ PULL DOWN LADDER BY RAINBOW ATTIC ACCESS - "F-SERIES" OR EQUAL. SEE ROOF FRAMING PLAN. (FIELD COORDINATE EXACT LOCATION FOR PROPER CLEARANCES.)
- 06 SOUND INSULATION BATTS. (TYP. AT ALL BEDROOMS & BATHROOMS). NOTE - VERIFY W/ OWNER IF BATHROOM WALLS ARE TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" HIGH-DENSITY 440 SOUND BARRIER BOARD. - VERIFY ALL LOCATIONS W/ OWNER.
- 07 SHELL-CONTRACTOR TO VERIFY W/ OWNER ALL REQUIRED HTS & BACKING FOR ALL PLASMA-FLAT SCREEN TV LOCATIONS (TYP.).
- 08 STORAGE SHELVING. SEE PANTRY NOTE NO. 2.
- 09 TANKLESS WATER HEATER. CAPACITY AS DETERMINED BY PLUMBING ENGINEER. SEE PLUMBING DRAWINGS.
- 10 AIR HANDLING UNIT. CAPACITY AS DETERMINED BY MECHANICAL ENGINEER. SEE HVAC PLAN. ALL UNITS TO BE EQUIPPED W/ BOTH "FREE HALO" SUPPLY & UV LIGHT (APFC-SINGLE BULB) AT COIL & DRAIN PAN. (MECH. EQUIPMENT ACCESS AS PER F.B.C. - R 2023).
- 11 A/C COMPRESSOR ON CONCRETE SLAB. CAPACITY AS DETERMINED BY MECH. ENGINEER. SEE HVAC PLAN. (NOTE: ALL EXTERIOR EQUIP. TO BE A MIN. 10" N.A.V.D. & INSTALLED ON ISOLATION PADS).
- 12 MAIN DISCONNECT.
- 13 ELECTRICAL SERVICE PANEL # 60" ABOVE FLOOR.
- 14 ELECTRICAL METER.
- 15 GAS METER - SEE M.E.P. DRAWINGS FOR EXACT LOCATION & SPEC.
- 16 POOL HEATER BY OTHERS. VERIFY W/ OWNER.
- 17 GOLF-CART CHARGER - VERIFY W/ OWNER ON SPEC. - SEE ELECTRICAL DRAWINGS.
- 18 PROVIDE 250V ELECTRIC CAR CHARGING STATION IN GARAGE - VERIFY W/ OWNER ON BRAND & TYPE - SEE ELECTRICAL DRUGS.
- 19 IRRIGATION PUMP - SEE SITE PLAN & LANDSCAPE PLANS FOR SPEC.
- 20 POOL PUMP (BY OTHERS) - SITE PLAN FOR EXACT LOCATION.
- 21 GAS GRILL CONNECTION. SEE PLUMBING PLANS.
- 22 PROVIDE HOSE BIB. SEE DETAIL ON PLUMBING SHT. - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER.
- 23 SECURITY ALARM ("ADT" OR EQUAL). TELEPHONE & CABLE PANEL # 60" AFF.
- 24 DOOR BELL ("RING" OR EQUAL) - VERIFY W/ OWNER ON LOCATIONS OF CHIME BOXES) - COORDINATION W/ LOW-VOLTAGE.
- 25 ALL EQUIP. LOCATED WITHIN THE GARAGE SHALL BE RAISED TO MATCH FINISH FLOOR LEVEL OR TYP. 80" N.A.V.D.
- 26 FRONT LOAD WASHER/ELECTRIC DRYER STACKED (STYLE AND FINISH TO BE SELECTED BY OWNER).
- 27 3" DIA FLOOR DRAIN # LAUNDRY ROOM - SEE PLUMBING PLAN FOR CONNECTION - TYP. AT BOTH FLOORS.
- 28 PREFAB LAUNDRY CONNECTION BOX FOR WASHER AND DRYER.
- 29 GALV. METAL DRYER VENT THRU FRONT WALL. DRYER VENT SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION AND/ OR 25' L. PROVIDE RECESSED WALL MOUNTED DRYER VENT HOSE DECECTICAL DRYER BOX #480 "N-O-VATE TECHNOLOGIES" OR EQUAL (TYPICAL AT BOTH FLOORS).
- 30 WASHER (COLOR WHITE) (VERIFY W/ OWNER).
- 31 GAS DRYER (COLOR WHITE) (VERIFY W/ OWNER).
- 32 LAUNDRY UTILITY SINK (TO BE SELECTED BY OWNER).
- 33 36" GAS RANGE - 6 BURNERS W/ 40" PRO WALL HOOD (21" DEPTH) OR EQUAL. - VERIFY W/ OWNER ON STYLE.
- 34 STAINLESS STEEL DBL SINK W/ DISP. & UNDERMOUNT - VERIFY STYLE & COLOR W/ OWNER.
- 35 24" DISHWASHER BY BOSCH OR EQUAL (VERIFY W/ OWNER).
- 36 36" SUBZERO REFRIGERATOR (CONTRACTOR TO COORDINATE PROPER CLEARANCE W/ CABINET MANUF. FOR DOORS).
- 37 36" DROP DOWN DOOR MICROVAPE (VERIFY W/ OWNER) (CONTRACTOR TO COORDINATE PROPER CLEARANCE W/ CABINET MANUF. FOR DOORS).
- 38 36" SINGLE ELECTRIC WALL OVEN OR EQUAL - (VERIFY W/ OWNER) (CONTRACTOR TO COORDINATE PROPER CLEARANCE W/ CABINET MANUF. FOR DOORS).
- 39 CONTRACTOR TO VERIFY W/ OWNER ON ALL UNDERCOUNTER APPLIANCES # SPEC'S WITHIN KITCHEN ISLAND.
- 40 GRANITE KITCHEN COUNTERTOPS W/ 3 CM STRAIGHT EDGE & BACK SPLASH TO UNDERSIDE OF UPPER CABINETS W/ WATER FALL SIDES (VERIFY COLOR, THICKNESS AND EDGE W/ OWNER).
- 41 UPPER AND LOWER WOOD RAISED PANEL CABINETS W/ CROWN MOLDING. CONTRACTOR TO PROVIDE SHOP DRAWINGS (CABINETS TO PROVIDE LIP FOR HIDDEN OPTIONAL LOW VOLTAGE LIGHTING - TOE KICKS).
- 42 ALL INTERIOR 3-PANEL 8'-0" H. DOORS W/ TRUSTILE™ OR EQUAL. PROFILE & FINISH TO MATCH TRUSTILE 3-PANEL RECESSED DOOR (TRUSTILE™ ONE STEP STICKING PROJECT) - NOTE: VERIFY WITH MECH ENGINEER / DRAWINGS ON LOUVERED FLVR3000 DOORS AT ALL A/C CLOSETS).
- 43 STAIRS TO HAVE STAINED LANDINGS AND TREADS. ALL RISERS & BALUSTRADES TO BE PAINT GRADE POPLAR (BALUSTRADES TO CONNECT DIRECTLY TO TREADS. SEE DETAIL).
- 44 5 x 5 NEEL POST W/ 1/2" MIN. HT. GUARDRAIL - SEE SHEET A400 FOR DETAILS. (NOTE: TOP OF HANDRAILS TO BE 36" ABOVE TREAD - SUBMIT SHOP DRAWINGS FOR APPROVAL).
- 45 CONT 1 1/4" HT. X 4" COPPER DRIP EDGE # ALL PORCHES.
- 46 ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN "SKAFLEX PRO" OR EQUAL & CONC. THRESHOLD/ CONC. SILL.
- 47 ALL EXTERIOR DOORS & WINDOWS TO HAVE "SKAFLEX 150" OR EQUAL GASKETING # BUCK/CH/ALUM. FRAME CONDITIONS (TYP.).
- 48 ALL WINDOWS TO HAVE 1 x 1 FT. WD. BUCKS ANCHORED TO CONC AS PER PROJECT APPROVAL.
- 49 ALL DOOR / WINDOW CORNERS, HDRS. & JAMBS TO BE UNPAINTED W/ "SIKA TOP SEAL 101" OR EQ. THEN - APPLY "SIKA-FLEX 102 EVER-BUSH MEMBRANE" OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 12" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPEC'S BY "SIKA" OR EQ. - NOTE: CONTRACTOR TO REQUEST "ADHESION TEST" BY SIKA AND OR MANUF.
- 50 FRONT DOOR TO BE "ELD UN DESIGN PRO FIBERGLASS" (1) VIEW & LIGHT PANEL DOOR W/ PAINTED FINISH (OR EQUAL) (2) W/ GLASS OR EQUAL. (NOTE: PROVIDE CERTIFICATE OF COMPLIANCE W/ WINDOW # IMPACT RESISTS TO BE APPROVED BY OWNER).
- 51 FRONT SERIES ALUM. FRENCH DOORS (COLOR WHITE) W/ "GRAY TINTED" GLASS OR EQUAL. TO BE IMPACT RESISTANT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR BLACK (VERIFY W/ OWNER).
- 52 "HST" HURRICANE IMPACT FIXED WINDOW W/ GRAY TINT - NOTE: PAUX WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK.
- 53 EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 30" SQ. FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN FLOOR.
- 54 OVER HEAD GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT RESISTANT TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERT. OF COMPLIANCE. OR SET DOORS FOR DECORATIVE "BORAL" APPLIED PANELS OR EQUAL. (TO BE SELECTED BY OWNER - SEE EXTERIOR ELEVATIONS).
- 55 1" RAISED CONCRETE RAIN WATER EDGE (TYP. AT GARAGE DOORS) NOTE: CONCRETE THRESHOLD TO BE RECESSED TO RECEIVE PAVERS TO THE BACK SIDE OF THE GARAGE DOORS (TYP.).
- 56 LOW VOLTAGE PANEL (LOCATED UNDER STAIRS) - VERIFY W/ OWNER).
- 57 ATTACH GARAGE DOOR TRACK THRU CONT. 2" x 6" FT. WOOD BUCK INTO FILLED CELLS W/ 3/8" DIA. ANCHOR BOLTS AS PER MANUF. SPECIFIC INSTRUCTIONS & SEE STRUCTURAL DRAWINGS (TYP.).
- 58 AUTOMATIC GARAGE DOOR OPENER W/ LIGHTS (SEE ELECT. DRAWINGS).
- 59 AUTOMATIC GARAGE DOOR SWITCH

NOTES:

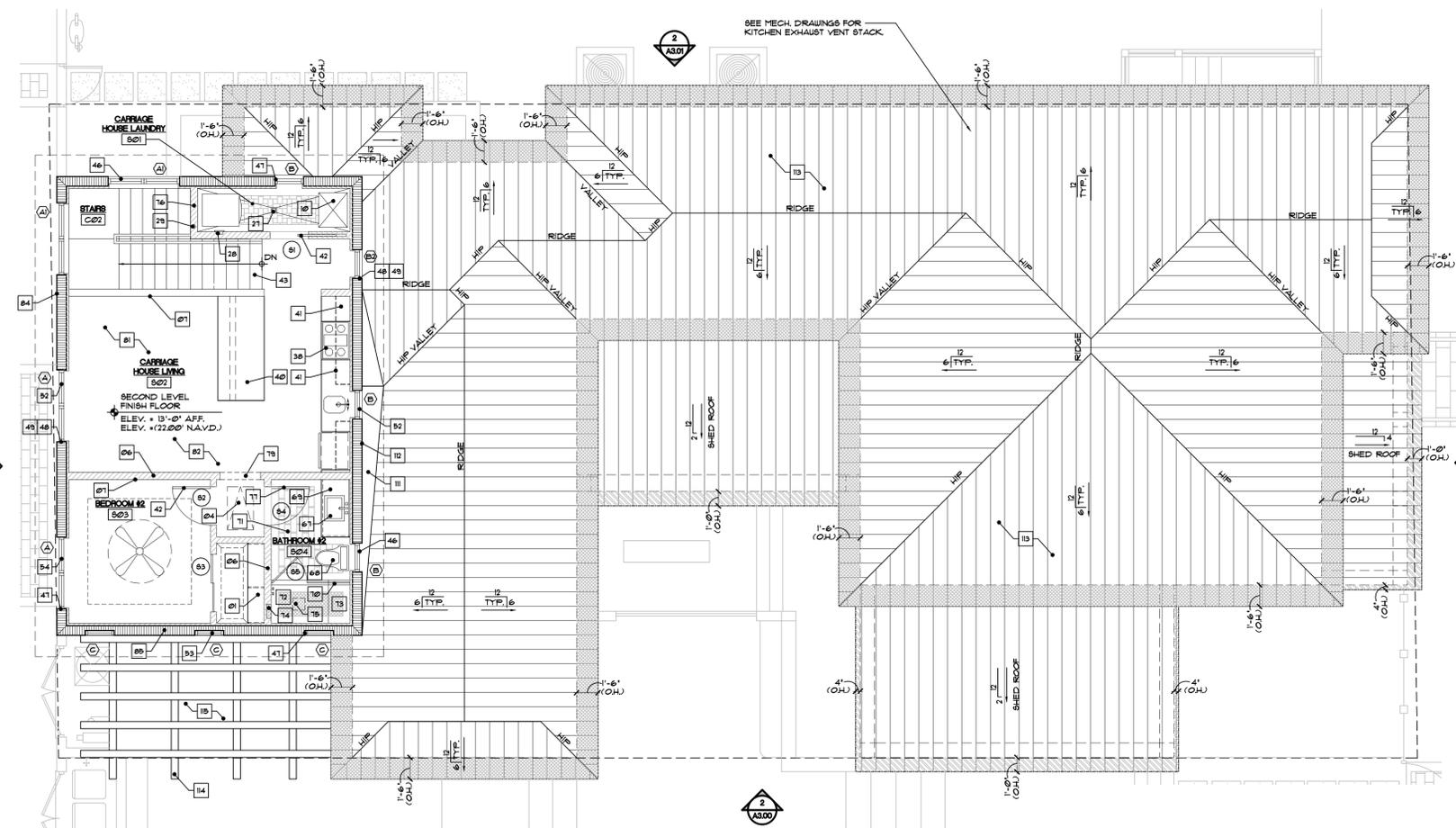
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
4. ALL AREA CALCULATIONS ARE APPROX.

AREA CALCULATIONS

GROUND FLOOR A/C	2,365 S.F.
7-CAR GARAGE	454 S.F.
COVERED FRONT ENTRY	106 S.F.
COVERED SIDE PORCHES	501 S.F.
GROUND FLOOR AREA UNDER ROOF	3,426 S.F.
SECOND FLOOR AREA UNDER A/C	603 S.F.
SECOND FLOOR AREA UNDER ROOF	603 S.F.
TOTAL A/C FLOOR AREA	2,968 S.F.
TOTAL FLOOR AREA UNDER ROOF	4,029 S.F.

WALL LEGEND

- 1 1/2" x 12" INTERIOR PARTITION 3/8" 20 GA METAL STUDS W/ 1/2" GYPSUM WALL BOARD BOTH SIDES (LEVEL V FIN.) (MR. DRYWALL # BATHROOMS AND KITCHEN. VERIFY W/ DIMENSIONS VARIES THROUGHOUT HOUSE - PLUMBING WALLS TO BE 1 1/2").
 - 1/2" 2-COAT SMOOTH STUCCO FINISH ON EXTERIOR W/ PAINTED FINISH OVER 1/2" TYPE 'X' GWSB W/ LEVEL V FIN. (FOIL INSUL. BETW/ FURRS) & GWSB. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. GWSB. AT ALL BATHROOMS & KITCHENS. (NOTE: "DENS-SHIELD" # ALL TILED WALLS). ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.
 - 3/4" 3-COAT SMOOTH STUCCO FINISH W/ 6" LAPSIDING PATTERN FOR EXTERIOR W/ INTERIOR TO RECEIVE 1/2" TYPE 'X' GWSB W/ LEVEL V FIN. (PAINTED FINISH OVER 1/2" METAL FURR # 24" O.C. W/ R10 FOIL INSUL. BETW/ FURRS) & GWSB. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. GWSB. AT ALL BATHROOMS & KITCHENS. (NOTE: "DENS-SHIELD" # ALL TILED WALLS). ALL MOISTURE RESISTANT GYPSUM BOARD INSTALLATION AND LIMITATIONS AS PER F.B.C.-R 2023.
 - 6" OR 12" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' GWSB W/ SMOOTH LEVEL V FINISH - PAINTED ON EA. SIDE OF 4" (402892-54) 1/2" GA. HTL. STUDS # 16" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (MR. DRYWALL # BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE) (NOTE: CONTRACTOR TO PROVIDE ALTERNATE IN LIEU OF 4" METAL STUDS. FT. 2 x 6" # 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS).
 - 8" CONCRETE BLOCK LOW WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. -(SEE STRUCT.).
 - 1 HR RATED GARAGE OR SHAFT WALL PARTITION. G.A. FILE NO. WP-1072 W/ R-11 BATT INSUL. (TYP.).
 - POOL WALL TO RECEIVE - STONE PANELS "BRICK - LATIGO" OR EQUAL BY "TELDORADO STONE" ON WALL AS PER MANUF. SPECIFICATIONS (OVER SCRATCH COAT "POLYMODIFIED" MORTAR OVER WATERPROOFED CONCRETE BLOCK - NOTE: CONTRACTOR TO COVER WATERPROOF STRENGTH FOR PROPOSED STONE VENEER) - VERIFY W/ OWNER.
- C1 STRUCTURAL STEEL COLUMN
C2 12" x 12" CONCRETE COLUMNS W/ 2-1/2" COATS SMOOTH STUCCO PAINTED FINISH.
C3 8" x 12" CONCRETE COLUMNS W/ 2-1/2" COATS SMOOTH STUCCO PAINTED FINISH.
B WINDOW LETTER - SEE SHEET A200 FOR SIZES. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
2 DOOR NUMBER - SEE SHEET A201 FOR SIZES. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- NOTES:
1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PL-WOOD OR WOOD BLOCKING.
 2. ALL BEDROOM BATHROOM LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
 3. ALL TILED WALLS TO RECEIVE 5/8" "DUROCK" BACKING OR EQUAL.
 4. ALL INTERIOR DRYWALL TO HAVE LEVEL V - FINISH.
 5. ALL EXTERIOR WALL TO BE FILLED W/ "COREFILL 900" OR EQUAL (NOTE: TO BE INSTALLED AFTER EXTERIOR OF BUILDING IS SEALED).
 6. VERIFY W/ OWNER ON EXTERIOR WALLS TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" 440 SOUND BARRIER "MORASOTE" OR EQUAL.



PROPOSED SECOND FLOOR NOTED PLAN

SCALE: 3/16" = 1'-0"

- 61 INTERIOR GARAGE DOOR TO BE 20 MIN. FIRE RATED DOOR W/ CLOSURE HINGES.
- 62 16" x 8" STAINLESS STEEL INSULATED FLOOD VENT BY "SMART VENT" MODEL # 1840-510 AT PERIMETER WALL - E.S.P. POWDER COAT FINISH (COLOR WHITE) (INSTALL AS PER MANUF. SPEC'S) - TYP. OF 3 ONE AT SOUTH GARAGE WALL AND TWO AT THE WEST GARAGE WALL. (NOTE: A MIN. OF 3 OPENINGS HAVING A TOTAL AREA NOT LESS THAN ONE (1) INCH PER ONE (1) SQUARE FOOT ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS).
- 63 RECESSED ELECTRICAL OUTLETS AND SWITCH BOXES IN ONE HOUR FIRE RATED PARTITION SHALL BE METALLIC WITH A SURFACE NOT TO EXCEED 1/8" SQ IN. AND THE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQ IN. PER 100 SQ FT. OF WALL SURFACE. BOXES LOCATED ON THE OPPOSITE SIDE OF THE PARTITION SHALL BE SPACED 24" APART.
- 64 GARAGE FLOOR TO BE CLEANED AND PREP FOR EPOXY FLOOR SYSTEM BY "EPOXY-COAT". GRAY WITH BLUE BLEND OR EQUAL. - VERIFY WITH OWNER.
- 65 "BP BARCO PRODUCTS" OR EQUAL - RECYCLED PLASTIC - PREMIUM GRAY WHEEL STOPS - TYP. # GARAGE.
- 66 ALL DRIVEWAY PAVERS TO BE ON 1" LIMESTONE SCREENINGS W/ 8" LIME ROCK BASE COMPACTED TO A MIN 98% DENSITY - SEE CIVIL DRAWINGS AND VERIFY W/ CITY OF DELRAY BEACH.
- 67 LAV. (STYLE AND COLOR TO BE SELECTED BY OWNER).
- 68 WATER CLOSET VERIFY W/ OWNER RE ELECTRIC REQUIRED -(STYLE AND COLOR TO BE SELECTED BY OWNER).
- 69 CONTRACTOR TO USE 2 CM STRAIGHT EDGE "QUARTZ" COUNTERTOPS FOR ALL BATHROOMS AND LAUNDRY ROOM - VERIFY W/ OWNER FOR SPEC'S.
- 70 "TEMPERED FRAMELESS GLASS SHOWER ENCLOSURE 4 DOOR 1/2" MIN. THICKNESS W/ BRUSHED CHROME GLIPS. (NOTE: TUB TO HAVE SINGLE SLIDING GLASS DOOR BY "ORIGINAL FRAMELESS SHOWER DOORS" OR EQUAL).
- 71 ALL TILE FLRG TO BE NON-SLIP. ALL SHOWER FLRS TO BE RECESSED 4" BELOW FINISH FLOOR & SLOPE TO DRAIN SET IN SHOWER PAN - TOPPING AT SECOND FLOOR TO BE ELIMINATED AT ALL SHOWER.
- 72 2" x 2" NON-SLIP MARBLE SHOWER FLR. TO SLOPE TO DRAIN SET IN SHOWER PAN. ALL MARBLE TO BE PLACED ON 3/4" "DUROCK" (TYP.) SUBFLOORING # AREAS TO RECEIVE TILE OR MARBLE).
- 73 20" x 20" TILED BENCH W/ 5/16" "DUROCK" OVER 3-5/8" 20 GA. METAL STUDS # 20" O.C.
- 74 BUILT-IN SHOWER SHELF (MIN. - 10" x 6" x 1/2") (VERIFY ALL LOCATIONS AND SIZES W/ OWNER).
- 75 CEILING MOUNTED OVERHEAD RAIN SHOWER W/ WALL MOUNTED HANDHELD SHOWER NOZZLE (TYP. IN ALL BATHROOMS) - STYLE & FINISH TO BE SELECTED BY OWNER.
- 76 FURNED OUT DRY WALL 10" TO 8" FOR PLUMBING STACK - NOTE: WALLS TO BE A MIN. OF 1 1/2".
- 77 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- 78 VAULTED CEILING (SEE REFLECTED CEILING PLAN FOR HT. AND MATERIALS).
- 79 8'-0" FLAT OPENING (SEE BUILDING SECTIONS FOR ELEVATIONS).
- 80 SHELL-CONTRACTOR TO PROVIDE ADDITIONAL BLOCKING IN WOOD TRUSSES FOR ALL ELECTRICAL FIXTURES - TYPICAL AT ALL VAULTED CEILING (VERIFY W/ OWNER INTERIOR DESIGNER ON ALL INTERIOR CEILING FIXTURES AND HEIGHT).
- 81 SEE REFLECTIVE CEILING FANS AND WALL SECTIONS ON ALL WALLS, CEILING & FLOOR COVERINGS - VERIFY W/ OWNER ON ALL SELECTIONS.
- 82 FOR ANY 4" ALL FLOOR OUTLETS ON EITHER FLOOR, CONTRACTOR TO VERIFY STYLE AND EXACT LOCATION W/ OWNER.
- 83 4"IN CONCRETE SLAB (5"IN. # GARAGE) OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OR NEIL COMPACTED FILL. TERMITTE TREATED. (SOIL PREPARATION - "DUREAN-10" 1/2" - 5 GALL PER 10 SF. OF SLAB AREA 5 GALL. OR 10" 20" LINEAR FT. OF FOOTING) ALL FINIS SLABS # COVERED PORCHES TO HAVE 10 MIL. POLYETHYLENE VAPOR BARRIER - VERIFY W/ STRUCTURAL DRAWINGS.
- 84 SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPEC'S. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER FIRST TO PURCHASE).
- 85 1/2" TYPE 'X' GWSB W/ LEVEL V PAINTED FINISH ON 1-5/8" METAL FURR # 24" O.C. W/ R10 FOIL INSUL. BETW/ FURRS & GWSB. 4 8" CONC. BLOCK AT EXT WALLS. PROVIDE 1/2" MR. GWSB. AT ALL BATHROOMS, KITCHENS & GARAGE WALLS. NOTE: 1/2" "DENS-SHIELD" # ALL TILED WALLS). (ALL MOISTURE RESISTANCE GYPSUM BOARD INSTALLATION AND LIMITATION AS PER F.B.C.-R 2023. NOTE: CONTRACTOR TO PROVIDE PRICE FOR (1) ADDITIONAL LAYER OF 1/2" 440 SOUND BARRIER "MORASOTE" OR EQUAL FOR ALL BEDROOMS, BATHROOMS & LAUNDRY ROOMS ETC).
- 86 3-1/2" x 3-1/2" STEEL COLUMN. (SEE STRUCTURAL DUGS FOR SPEC'S. & APPROVAL).
- 87 STAINLESS STEEL SINK W/ DISP. (VERIFY W/ OWNER).
- 88 UNDER COUNTER ICE MACHINE (VERIFY W/ OWNER).
- 89 UNDER COUNTER REFRIGERATOR (VERIFY W/ OWNER).
- 90 26" ALFRESCO - LUXURY DELUXE GRILL - BUILT-IN OUTDOOR BARBECUE GRILL - OR EQUAL - VERIFY W/ OWNER.
- 91 OUTDOOR KITCHEN BY "NATURECAST" OR EQUAL - STAINLESS SOFT CLOSURES W/ INSET SHAKER STYLE DOORS / CHARCOAL GRAY & GRANITE COUNTERTOPS - CONTRACTOR TO PROVIDE SHOP DUGS FOR APPROVAL.
- 92 SEE MECHANICAL DRAWINGS FOR KITCHEN EXHAUST VENT STACK.
- 93 OUTDOOR COVERED PATIO TO HAVE "PHANTOM EXECUTIVE SCREEN MOTORIZED" SYSTEM & HURRICANE SCREEN BY "AMERICAN SCREEN SOLUTIONS" OR EQUAL - INSTALLED AS PER MANUF. SPECIFICATIONS - OR EQUAL (CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).
- 94 VERIFY W/ OWNER / FRONT COVERED ENTRY PORCH - FLOOR COVERING W/ "BRAZILIAN IPE" WOOD FLOORING ON 2" WOOD SLEEPERS OVER WATERPROOFED CONCRETE SLAB. (NOTE: SLOPED 1/4" FT. FOR POSITIVE DRAINAGE).
- 95 36" DECORATIVE ALUM. RAILING # EXTERIOR PORCH STEPS - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY "JC ORNAMENTAL IRON WORKS" OR EQUAL.
- 96 PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
- 97 SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE -(NOTE ALL CRICKETS TO HAVE MIN. 2 LAYERS SMOOTH MODIFIED PLUS A CLASS "A" MODIFIED CAP SHEET - TYP.).
- 98 BLOCK WALLS ALONG 2ND FLOOR 4 ROOF CRICKETS TO BE PROTECTED W/ "SIKA ROOFPRO" BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.
- 99 STANDING BEAM ROOFING SYSTEM "DREXEL METALS" - DIM'S W/ 1 3/4" HIGH 1804 BEAM W/ 404 ALUM. ALLOY 5008-H4 PANELS W/ "SLATE GRAY" KYMAR 500 FIN. BY "ARTICO ROOFING" OR EQUAL. (VERIFY COLOR W/ OWNER). OVER (1) LAYER OF 1/2" "MESHIELD" - "HIGH TEMP-FEEL-N-STICK" (1) LAYER #8 FELT T.T. TO 3/4" APA EXT. GRADE FLYWOOD SHEATHING (TYP.).
- 100 6 x 8 ALUMINUM TRELLIS JOIST 4 6 x 8 ALUMINUM TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL W/ 2 x 2 ALUMINUM SLEEPERS # 12" O.C. (PAINTED WHITE) - SEE STRUCT. DUGS FOR ALL HIDDEN CONNECTIONS.
- 101 UNDERSIDE OF TRELLIS TO HAVE FLAT DECK ROOF TO RECEIVE: (1) F.LINLASTIC 84 3 PLY. ROOFING SYSTEM BY "CERTANTEED" OR EQUAL FLY - AS PER MANUFACTURER SPECIFICATIONS - SLOPED 1/4" FT FOR POSITIVE DRAINAGE (ROOFED OVER SAUNA).
- 102 EXTERIOR PORCELAIN TUB WITH JETS (SEE ELECTRICAL DRAWINGS) - VERIFY ON STYLE AND COLOR WITH OWNER.
- 103 OFF OF BEDROOM # / OUTDOOR SHOWER W/ RAISED WOOD DECKING "BRAZILIAN WALNUT- IPE" OR EQUAL ON 2" x 10" FT. WOOD JOIST AT 12" O.C. - SEE STRUCTURAL DRAWINGS.
- 104 DECORATIVE ALUMINUM TRELLIS / ARBOR - TO BE PAINTED WHITE. CONTRACTOR TO SUBMIT SHOP DRAWING FOR OWNER APPROVAL.
- 105 "SPARKS" LP - OUTDOOR BURNER SYSTEM BY FIREBIRD OR EQUAL (GAS FIRE-FOY).
- 106 DECORATIVE ALUM. GATE BY "JC ORNAMENTAL IRON WORK INC" OR EQ. (COLOR BLACK - E.S.P. POWDER COAT FINISH) - NOTE: GATES TO BE SELF-CLOSING, SELF LATCHING, LOCKING GATE (MIN. 48" HT.) W/ LATCH LOCATED A MIN. OF 54" HT. ABOVE BOT. OF GATE) OPEN IN THE OUTWARD DIRECTION - PROVIDE SHOP DRAWINGS FOR APPROVAL.
- 107 8'-0" HIGH 8" CONCRETE BLOCK WEST SIDE ENTRANCE WALL W/ SMOOTH STUCCO FINISH AND 2" STUCCO CAP ON WALL - PAINTED - PROVIDE SHOP DRAWINGS SEE STRUCTURAL DRUGS.
- 108 8'-0" HIGH 8" CONCRETE BLOCK EQUIPMENT AND 4'-0" HIGH GARAGE BIN ENCLOSURE WALLS W/ SMOOTH STUCCO FINISH AND 2" O.C. CAP ON WALL - PAINTED - PROVIDE SHOP DRAWINGS SEE STRUCTURAL DRUGS.
- 109 CONTRACTOR TO PROVIDE PRICE FOR ENTIRE HOUSE TO RECEIVE 6' HALF ROUND ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS - WITH DECORATIVE GUTTER HANGERS / BRACKETS) - 4" ROUND DOWNSPOUTS - RAINSAVER GUTTER SYSTEM INC. OR EQUAL.



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ISSUED FOR HISTORIC BOARD REVIEW
 BIDS
 PERMIT 103124
 CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

146 SE 7TH AVE
 DELRAY BEACH, FL

REVISIONS

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FILE NUMBER
703A201N

DRAWING TITLE
PROPOSED SECOND FLOOR NOTED PLAN

DATE
 10/17/24
 DRAWN BY
 GE/JHM/JJ

JOB NUMBER
20240703

DRAWING NUMBER
A2.01N

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LEGEND:

INDICATES 1'-6" ROOF OVERHANG

INDICATES 12' ROOF OVERHANG AT SHED ROOF

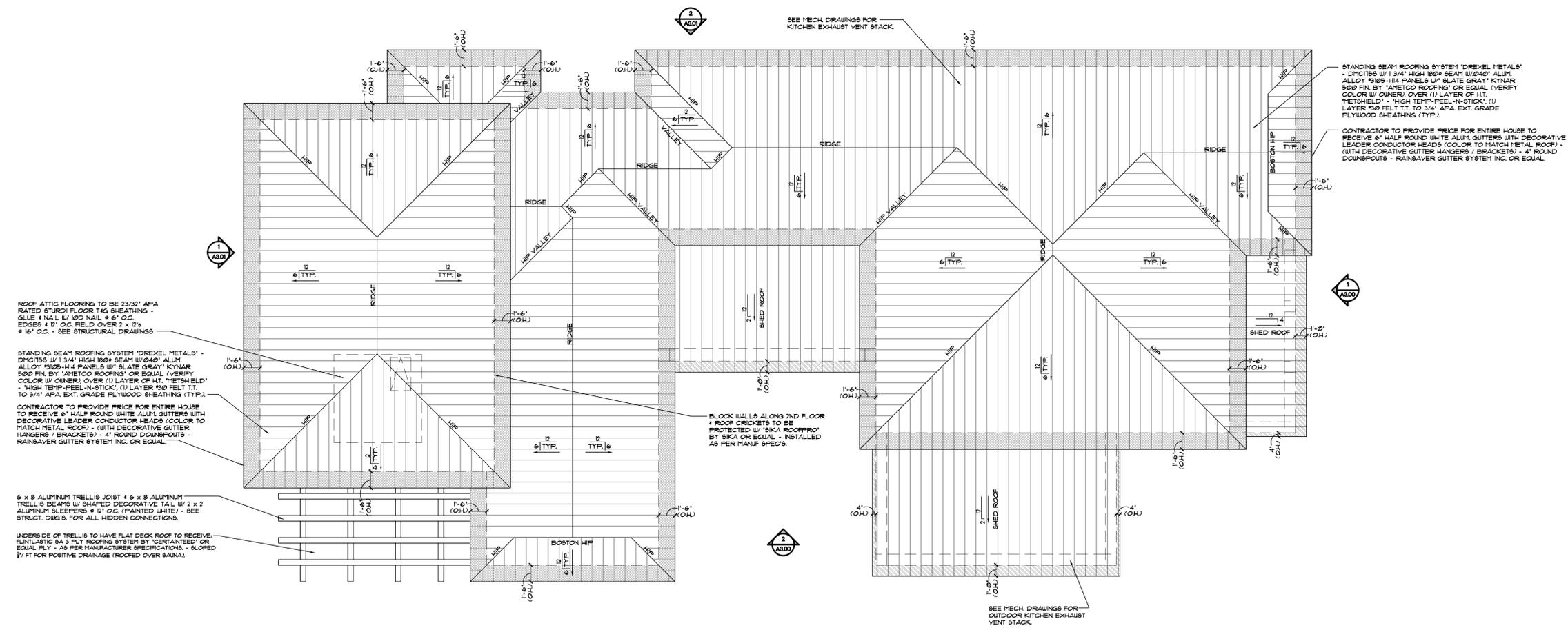
HOUSE TO HAVE 6:12 ROOF SLOPE

NOTE: CONTRACTOR TO PROVIDE MECHANICAL AND TRUSS FABRICATOR WITH ALL THE APPROPRIATE DRAWINGS FOR COORDINATION OF DUCT WORK PENETRATIONS THROUGHOUT THE STRUCTURE. (TYPICAL).

NOTE: ROOF ATTIC SHALL COMPLY W/ FBC - 2023 ED - ATTIC SPACE.

NOTE: ROOF TO BE 'CLOSED SYSTEM' USING BLOW ON R-20 'ICYNENE' INSULATION BY 'GALE INSULATION' OR EQUAL TO THE UNDERSIDE OF THE ROOF SHEATHING (TYP.).

(NOTE: ALL 'ICYNENE FOAM' TO BE PROTECTED WITH DC-318 COATINGS AS PER MANUFACTURER'S SPECIFICATIONS & THE FLORIDA BUILDING CODE 2023 - MECHANICAL EQUIP. IS INSTALLED IN ROOF ATTIC.)



ROOF ATTIC FLOORING TO BE 23/32" APA RATED STUNDI FLOOR T&G SHEATHING - GLUE & NAIL W/ 12D NAIL @ 6" O.C. EDGES & 12" O.C. FIELD OVER 2' x 12" @ 16" O.C. - SEE STRUCTURAL DRAWINGS

STANDING SEAM ROOFING SYSTEM 'DREXEL METALS' - DMC1755 W/ 1 3/4" HIGH 180° BEAM W/ 242° ALUM. ALLOY 9305-H14 PANELS W/ 'SLATE GRAY' KYNAR 3000 FIN. BY 'METECC ROOFING' OR EQUAL (VERIFY COLOR W/ OWNER) OVER (1) LAYER OF HT. 'METSHIELD' - HIGH TEMP-FEEL-N-STICK, (1) LAYER 150 F.E.L.T. T.I. TO 3/4" APA EXT. GRADE PLYWOOD SHEATHING (TYP.).

CONTRACTOR TO PROVIDE PRICE FOR ENTIRE HOUSE TO RECEIVE 6" HALF ROUND WHITE ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS (COLOR TO MATCH METAL ROOF) - (WITH DECORATIVE GUTTER HANGERS / BRACKETS) - 4" ROUND DOWNSPOUTS - RAINSAVER GUTTER SYSTEM INC. OR EQUAL.

6" x 8" ALUMINUM TRELLIS JOIST 4 6" x 8" ALUMINUM TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL W/ 2 x 2 ALUMINUM SLEEPERS @ 12" O.C. (PAINTED WHITE) - SEE STRUCT. DUG'S. FOR ALL HIDDEN CONNECTIONS.

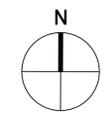
UNDERSIDE OF TRELLIS TO HAVE FLAT DECK ROOF TO RECEIVE PLASTIC 3/4" PLY ROOFING SYSTEM BY 'CERTANTEED' OR EQUAL PLY - AS PER MANUFACTURER SPECIFICATIONS, & SLOPED 1/2" FT FOR POSITIVE DRAINAGE (ROOFED OVER SAUNA).

BLOCK WALLS ALONG 2ND FLOOR & ROOF CRICKETS TO BE PROTECTED W/ 'SIKA ROOFPRO' BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.

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1 PROPOSED ROOF PLAN
A2.02 SCALE: 3/16" = 1'-0"



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FILE NUMBER
703A202

DRAWING TITLE
PROPOSED ROOF PLAN

DATE
10/17/24

DRAWN BY
GE/JH/MJ

JOB NUMBER
20240703

DRAWING NUMBER

A2.02

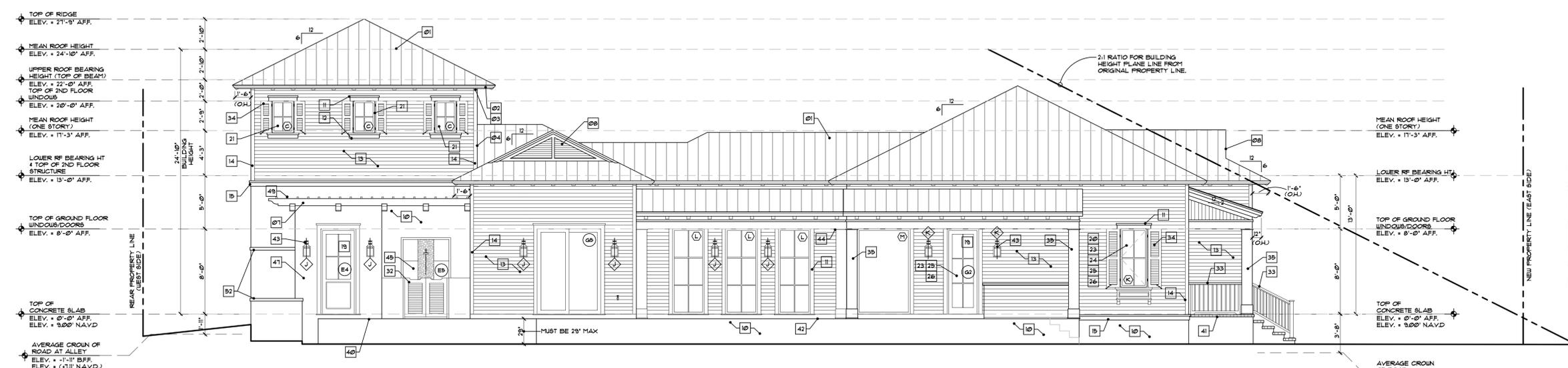
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1 PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"
 A3.00



2 PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"
 A3.00

ELEVATION NOTES

- 01 STANDING SEAM ROOFING SYSTEM 'DIREXEL METALS' - DMC1756 W/ 1 3/4" HIGH 18" WIDE BEAM W/ 1/2" ALUM. ALLOY 'FINISH-HK' PANELS W/ 'SLATE GRAY' KYNAR 500 FIN BY 'METCO ROOFING' OR EQUAL (VERIFY COLOR W/ OWNER). OVER (1) LAYER OF HT 'METAWELD' - HIGH TEMP-FEEL-N-STCK' (1) LAYER 90 FELL T3 TO 3/4" AREA EXT. GRADE FL. WOOD SHEATHING (TYP.).
- 02 CONT. ALUM. DRIP EDGE ON CONT. P.T. 1 x 2 ON CONT. 2 x 4 SMOOTH CLEAR CYPRESS FASCIA - PAINTED.
- 03 20" x 3 1/2" x 4" DECORATIVE OUTRIGGERS W/ 'CELLFOAM' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ 'DOU ENERFOAM' FOAM SEALANT - (UNDERSIDE OF SORT TO BE TYP. 3-COATS SMOOTH STUCCO FINISH W/ 6" TAG PATTERN - PAINTED - SEE REFLECTED CEILING PLAN FOR LAYOUT) - TYP.
- 04 PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
- 05 SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE ALL CRICKETS TO HAVE MIN. 2 LAYERS SMOOTH MODIFIED PLUS A CLASS 'A' MODIFIED GAP SHEET - TYP.).
- 06 BLOCK WALLS ALONG 2ND FLOOR 4 ROOF CRICKETS TO BE PROTECTED W/ 'SIKA ROOFPRO' BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPECS.
- 07 UNDERSIDE OF FUELS TO HAVE FLAT DECK ROOF TO RECEIVE FLUENT/ASTIC 5/8 3 PLY ROOFING SYSTEM BY 'CERTAINTED' OR EQUAL FLY - AS PER MANUFACTURER SPECIFICATIONS - SLOPED 1/4" FT FOR POSITIVE DRAINAGE (ROOFED OVER BALNA).
- 08 ALL 'BOSTON HIP' END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACING TO MEET WIND CYCLING REQUIREMENTS - SEE STRUCTURAL DRAWING. EXTENSIVE FACE OF BOSTON HIP ROOF TO HAVE DECORATIVE LOWERED VENT W/ 'CELLFOAM' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE VENT W/ 'DOU ENERFOAM' FOAM SEALANT.
- 09 CONTRACTOR TO PROVIDE PRICE FOR ENTIRE HOUSE TO RECEIVE 6" HALF ROUND CORNER (PROVIDE ALL) PRICE FOR ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS-WITH DECORATIVE GUTTER HANGERS W/ BRACKETS - 4" ROUND DOWNSPUTS - RAIN-SAVER GUTTER SYSTEM INC. OR EQUAL.
- 10 2-COAT 5/8" SMOOTH STUCCO FINISH PAINTED TYP.
- 11 CONT. 4" DECORATIVE RAISED SMOOTH STUCCO BANDING SURROUND, TYPICAL AT ALL DOORS AND WINDOWS-SLOPED FOR POSITIVE DRAINAGE - CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 12 (2) LAYER STEP BILL BANDING 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - LOWER BAND 4" HT. W/ 3/4" PROJECTION - STUCCO - PAINTED (TYP. - WINDOWS SLOPED FOR POSITIVE DRAINAGE).
- 13 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING F.V.C. TRIM) - F.V.C. TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP.).
- 14 2" x 4" SMOOTH STUCCO - PAINTED (TYP. - ALL CORNER AT STUCCO LAP SIDING).
- 15 (2) LAYER STEP STUCCO BANDING 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - LOWER BAND 4" HT. W/ 3/4" PROJECTION - STUCCO - PAINTED (TYP. WHERE SMOOTH STUCCO MEETS LAP SIDING SLOPED FOR POSITIVE DRAINAGE. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL).
- 16 CONT. 1-1/4" RAISED SMOOTH STUCCO BASE, WATER-TABLE.
- 17 EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
- 18 FRONT DOOR TO BE 'JELD-WEN DESIGN PRO FIBERGLASS' - 1/2 VIEW - 4 - LIGHT PANEL DOOR W/ PAINTED FINISH (OR EQUAL) BY 'COASTAL SUPPLY' OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND 4 IMPACT RESISTS (TO BE APPROVED BY OWNER).
- 19 'T601' SERIES ALUM. FRENCH DOORS (COLOR WHITE) W/ 'GRAY TINTED' GLASS OR EQUAL TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - SEE DOOR SCHEDULE.
- 20 'T601' FIXED 4 CASSETT (SEE MEANS OF EGRESS) ALUM. WINDOW TO BE IMPACT RESISTANT. 'GRAY TINTED' GLASS (SEE ENERGY CALCULATIONS) AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR BLACK (VERIFY W/ OWNER).
- 21 'T601' HURRICANE IMPACT FIXED WINDOW W/ GRAY TINT - NOTE: PAUX WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK.
- 22 EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ HEIGHT AND 1/4" TO 1/2" AREA AT THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 1/4" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 3/4" FROM THE FIN. FLOOR.
- 23 ALL ALUM. EXT. DOOR THRESHOLDS 4 WINDOW SILLS TO BE SET IN 'SIKAFLEX PRO' OR EQUAL 4 CONC. THRESHOLD/CONC. INCH.
- 24 ALL WINDOWS TO HAVE 1 x 1 P.T. UD BUCKS ANCHORED TO CONC AS PER PRODUCT APPROVAL.
- 25 ALL EXTERIOR DOORS 4 WINDOWS TO HAVE 'SIKAFLEX 150' OR EQUAL CALKING 4 'BUCK-OVALUM' FRAME CONDITIONS (TYP. - CONTRACTOR TO VERIFY W/ GARAGE DOOR SEAL 1/2" OR EQ. THEN - APPLY 'SIKAFLEX 100 EVERLAST HETBERANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 1" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPECS BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SIKA AND OR TRAK.
- 26 ALL DOOR 4 WINDOW CORNERS, SIDES 4 JAMBES TO BE UNRAINED W/ 'SIKA TOP SEAL 1/2" OR EQ. THEN - APPLY 'SIKAFLEX 100 EVERLAST HETBERANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 1" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPECS BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SIKA AND OR TRAK.
- 27 ALL OVERHEAD GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE BY 'SEAL' OR EQUAL (TYPICAL) - CONTRACTOR TO VERIFY W/ GARAGE DOOR MANUF. PROPER CLEARANCE REQUIRED FOR APPLIED STRIP DOWN 5/8" W/ BORAL COMPOSITE TRIM (OR EQUAL) FOR DECORATIVE HORIZONTAL PANELS ON EXT. SIDE. (NOTE: ALL HORIZONTAL CUTS TO BE MADE 45 DEGREE DOWNWARD ANGLE).
- 28 1" RAISED CONCRETE RAIN WATER EDGE (TYP. AT GARAGE DOORS) NOTE - CONCRETE THRESHOLD TO BE RECESSED TO RECEIVE PAVERS TO THE BACK SIDE OF THE GARAGE DOORS (TYP.).
- 29 16" x 8" STAINLESS STEEL INSULATED FLOOD VENT BY 'SMART VENT' MODEL # 340-80 AT PERIMETER WALL - E.S.P. POWDER COAT FINISH (COLOR WHITE) (INSTALL AS PER MANUF. SPECS.) - TYP. OF 3, ONE AT SOUTH GARAGE WALL AND TWO AT THE WEST GARAGE WALL. (NOTE: A MIN. OF 3 OPENINGS HAVING A TOTAL AREA NOT LESS THAN ONE (1) SQ. FT. PER 100 SQ. FT. OF FLOOR AREA. (NOTE: ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE 4 BELOW THE BASE FLOOD ELEVATIONS).
- 30 ALL DRIVEWAY PAVERS TO BE ON 1" LIMESTONE SCREENINGS W/ 8" LIME ROCK BASE CONTRACTED TO A MIN. 5% DENSITY - SEE CIVIL DRAWINGS AND VERIFY W/ CITY OF DELRAY BEACH.
- 31 POOL WALL TO RECEIVE - STONE PANELS 'BRICK' - LATIO' OR EQUAL BY 'ELORDADO STONE' ON WALL AS PER MANUF. SPECIFICATIONS OVER SCRATCH COAT 'TWO-MODIFIED' PORTLAND WATERPROOFED CONCRETE BLOCK - NOTE: CONTRACTOR TO CONFIRM WATERPROOF STRENGTH FOR PROPOSED STONE VENEER - VERIFY W/ OWNER.
- 32 DECORATIVE ALUM. GATE BY 'JC ORNAMENTAL IRON WORK INC.' OR EQ. (COLOR BLACK) - NOTE: GATES TO BE SELF-CLOSING SELF LATCHING LOCKING GATE (MIN. 40" HT.) W/ LATCH LOCATED A MIN. OF 34" HT. ABOVE BOTT. OF GATE OPEN IN THE OUTWARD DIRECTION - PROVIDE SHOP DRAWINGS FOR APPROVAL.
- 33 36" ALUMINUM DECORATIVE RAILINGS W/ 1" PICKETS W/ E.S.P. POWDER COAT FINISH (COLOR BLACK) - TOP OF RAIL MIN. 3'-6" WITH PICKETS SPACED TO BLOCK PARALLEL OR 4" SPACES (BOTTOM MAX. 2'-4" - TYP.) - PROVIDE SHOP DRAWINGS (STYLE, SIZES AND DESIGN SAFETY / SAMPLE) BY 'JC ORNAMENTAL IRON WORK INC.' OR EQUAL.
- 34 DECOR. ALUMINUM WINDOW SHUTTERS (W/ E.S.P. POWDER COAT FINISH - COLOR BLACK) W/ ALL CONCEALED CONNECTION AND 2" SPACERS AT BACK OF SHUTTER FOR PROTECTION FROM BUILDING OR EQUAL BY 'JC IRON ORNAMENTAL WORKS' OR EQUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL. NOTE: ALL TO BE PROVIDED WITH BLACK SHUTTER DOGS.
- 35 12" x 12" CONCRETE COLUMNS W/ 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH 4 RAISED STUCCO BANDING AT TOP AND BOTTOM OR EQUAL - SEE TYPICAL DETAILS FOR PROFILES 4 STRUCTURAL DRAWINGS.
- 36 OUTDOOR KITCHEN BY 'NATURECAST' OR EQUAL - STAINLESS SFT CLOSURES W/ INSET SHAKER STYLE DOORS 4 CHARCOAL GRAY 4 GRANITE COUNTERTOPS - CONTRACTOR TO PROVIDE SHOP DUGS. FOR APPROVAL.
- 37 36" ALFRESCO - NATURAL - LUXURY DELUXE GRILL - BUILT-IN OUTDOOR BARBECUE GRILL - OR EQUAL - VERIFY W/ OWNER.
- 38 SEE MECHANICAL DRAWINGS FOR INDOOR 4 OUTDOOR KITCHEN EXHAUST VENT STACK.
- 39 COVERED PORCHES TO RECEIVE 'STONE PAVERS' MUDSET BY 'ARTISTIC PAVERS' OR EQUAL NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE DECK TO BE MUDSET OVER 25' LIQUID WATERPROOFING ON CONC. DECK. 'STAGSIC 160'18' OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL). CONTRACTOR TO USE A POLYMER MODIFIED, NON EFFLORESCENCE MUDSET OR TRIMM GROUT.
- 40 PRIMARY OUTDOOR DECK / PORCH TO HAVE 'BRAZILIAN WALNUT-1PIE' WOOD FLOORING ON P.T. WOOD SLEEPERS OVER WATERPROOFED CONCRETE SLAB (NOTE: SLOPED 1/4" FT. FOR POSITIVE DRAINAGE) - IF DROPP EXCEEDS 36" THEN CONTRACTOR TO INSTALL 36" DECORATIVE ALUM. RAILING. NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY 'JC ORNAMENTAL IRON WORKS' OR EQUAL.
- 41 VERIFY W/ OWNER / FRONT COVERED ENTRY PORCH - FLOOR COVERING W/ 'BRAZILIAN 1PIE' WOOD FLOORING ON P.T. WOOD SLEEPERS OVER WATERPROOFED CONCRETE SLAB (NOTE: SLOPED 1/8" FT. FOR POSITIVE DRAINAGE).
- 42 CONT. 1 1/4" HT. x 4" COPPER DRIP EDGE 4 ALL PORCHES.
- 43 SEE ELECTRICAL 4 GAS DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES 4 SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER / INTERIOR DESIGNER PRIOR TO PURCHASE).
- 44 OUTDOOR COVERED PORCH 4 HAVE 'PHANTOM EXECUTIVE SCREEN MOTORIZED SYSTEM' LIGHT GAUGE WIRE SCREEN (COLOR BLACK) AMERICAN SCREEN SOLUTIONS (OR EQUAL) INSTALLED AS PER MANUF. SPECIFICATIONS - OR EQUAL (CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).
- 45 OUTDOOR SHOWER W/ DECORATIVE WALL W/ 4" x 4" DOMINICAN COQUINA ACCENT BAND 1" X 1" AND 6" x 6" DECORATIVE CERAMIC TILE BASKIN WALL W/ SHOWER HEAD, FOOT WASH 4 ACCESSORIES - ALL MATERIALS TO BE APPROVED AND INSTALLED AS PER MANUFACTURER SPECS. - FOR PRICING ONLY - VERIFY W/ OWNER / INTERIOR DESIGNER.
- 46 OFF OF BEDROOM 1 / OUTDOOR SHOWER / RAISED WOOD DECKING - 'BRAZILIAN WALNUT-1PIE' OR EQUAL ON 2" x 10" P.T. WOOD JOIST AT 2' OC. - SEE STRUCTURAL DRAWINGS.
- 47 BALNA TO BE INSTALLED AS PER FLORIDA HOT TUB 4 SAUNA - PREMIUM CEDAR CUSTOM CUT 5/8"18" OR EQUAL.
- 48 EXTERIOR PORCELAIN TUB WITH JETS (SEE ELECTRICAL DRAWINGS) - VERIFY ON STYLE AND COLOR WITH OWNER.
- 49 6 x 8 ALUMINUM TRILLIS JOIST 4 6 x 8 ALUMINUM TRILLIS BEAMS W/ SHAPED DECORATIVE TAIL W/ 2 x 2 ALUMINUM SLEEPERS 4 2" OC. (PAINTED WHITE) - SEE STRUCT. DUGS FOR ALL HIDDEN CONNECTIONS.
- 50 PROVIDE HOSE BIB SEE DETAIL ON PUMPSING SHT. - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER.
- 51 8'-0" HIGH 8" CONCRETE BLOCK NEAR ALLEY WALL W/ SMOOTH STUCCO FINISH AND 2" STUCCO CAP ON WALL - PAINTED - SEE STRUCTURAL DRESS.
- 52 8'-0" HIGH 8" CONCRETE BLOCK EQUIPMENT AND 4" HIGH GARAGE BIN ENCLOSEURE WALLS W/ SMOOTH STUCCO FINISH AND 2" STUCCO CAP ON WALL - PAINTED - PROVIDE SHOP DRAWINGS FOR GATES (SEE STRUCTURAL DRESS).
- 53 DECORATIVE ALUMINUM TRILLIS 4 BRACK - TO BE PAINTED WHITE. CONTRACTOR TO SUBMIT SHOP DRAWING FOR OWNER APPROVAL.
- 54 'SPARKS' LP - OUTDOOR BURNER SYSTEM BY FIREBIRD OR EQUAL (GAS FIRE-PIE).

LIGHT FIXTURES (BY BEVOLO LIGHTING OR EQUAL)

- 01 BEVOLO LIGHTING 'GOVERNOR' CARRIAGE ORIGINAL BRACKET' OUTDOOR WALL SCONES. TYP. ECLECTIC FIXTURE: 17 1/4" x 8 25/32" W.
- 02 BEVOLO LIGHTING 'GOVERNOR' CARRIAGE ORIGINAL BRACKET' OUTDOOR WALL SCONES. TYP. GAS FIXTURE: 17 1/4" x 8 25/32" W.

- ALL LIGHT FIXTURES TO BE APPROVED BY OWNER / DESIGNER / ARCHITECT
 - ALL EXTERIOR LUMINAIRES TO BE SHIELDED 80 AS NOT TO BE FULLY EXPOSED 4 SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND

- P-1 ALL SURFACES TO BE CLEANED 4 PRIMED AS PER BENJAMIN MOORE SLAYER WITH 4-48 (MIN BODY OF HOSE)
- P-2 BLACK - DECORATIVE SHUTTERS, RAILINGS, GATES, DOORS AND WINDOWS.
- P-3 STANDING SEAM ROOFING SYSTEM 'DIREXEL METALS' - DMC1756 W/ 1 3/4" HIGH 18" BEAM W/ 1/2" ALUM. ALLOY 'FINISH-HK' PANELS W/ 'SLATE GRAY' KYNAR 500 FIN. BY 'METCO ROOFING' OR EQUAL.
- P-4 STONE-OWNER SELECTED
- P-5 BRILLIANT WHITE

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.

EXTERIOR STUCCO:

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE. FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY) APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
5. THREE (3) COAT WORK (ON LATH) APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
8. ALL SHAPE BOARD SHALL BE CELLFOAM SHAPE FORMS WITH CELLFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLFOAM EPS INSULATION ASTM-1138.
9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT. ENERGY EFFICIENT AIR-LOCK. BOND EFFICIENTLY TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
10. APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061, FOR A TOUGH WEATHER RESISTANT. ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.



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ISSUED FOR HISTORIC BOARD REVIEW
 BIDS
 PERMIT 102324
 CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

146 SE 7TH AVE
 DELRAY BEACH, FL

REVISIONS
 01 REVISION 07-04-25 AS PER HISTORIC GOVT.
 1. UPDATED GROUND FLOOR BEAM HT.
 2. PROVIDED TOP OF BEAM MEASUREMENT AT SECOND FLOOR
 3. PROVIDED MEAN ROOF HT. FOR ONE STORY
 4. UPDATED LIGHT FIXTURES
 5. UPDATED SHUTTERS
 6. INCREASE WINDOW SIZE ON SOUTH ELEVATION

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER
703A300
 DRAWING TITLE
PROPOSED ELEVATIONS
 DATE
 10/17/24
 GE/JH/MJ
 JOB NUMBER
 20240703
 DRAWING NUMBER

A3.00

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- NOTES:**
1. DO NOT SCALE DRAWINGS!
 2. FIELD VERIFY ALL DIMENSIONS!
 3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
 4. ALL AREA CALCULATIONS ARE APPROX.



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ISSUED FOR HISTORIC REVIEW

BIDS
PERMIT 103124
CONSTRUCTION

PROJECT TITLE
**PROPOSED
SINGLE
FAMILY
RESIDENCE**

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS
1. UPDATED GROUND FLOOR BEAM HT.
2. PROVIDED TOP OF BEAM MEASUREMENT
AT SECOND FLOOR
3. PROVIDED MEAN ROOF HT. FOR ONE
STORY
4. UPDATED LIGHT FIXTURES
5. UPDATED SHUTTERS

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FILE NUMBER
703A301

DRAWING TITLE
**PROPOSED
ELEVATIONS**

DATE
10/17/24
JOB NUMBER
20240703
DRAWN BY
GE/JH/MJ
DRAWING NUMBER

A3.01

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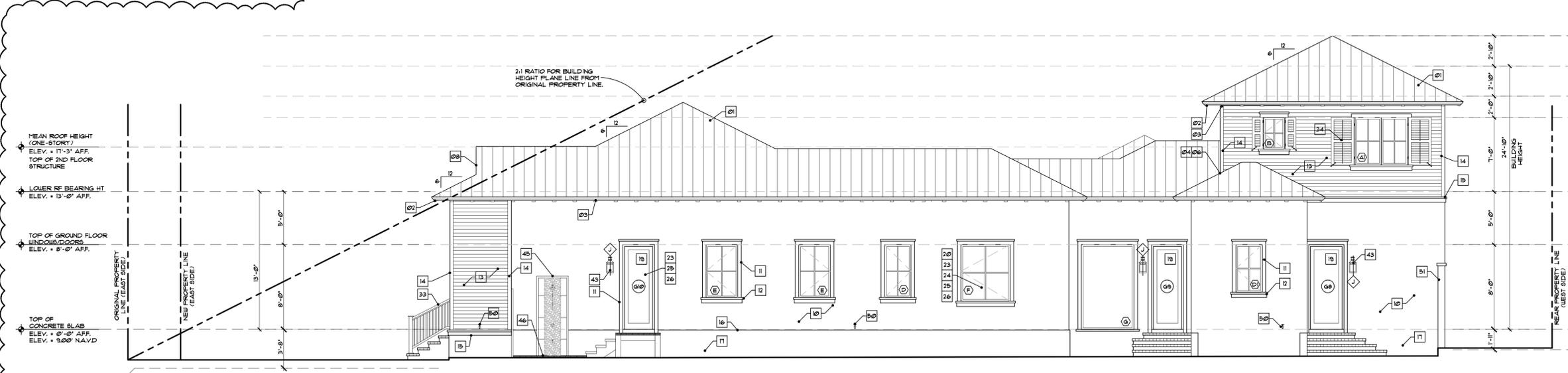
- LIGHT FIXTURES
(BY BEVOLO LIGHTING OR EQUAL)**
- BEVOLO LIGHTING 'GOVERNOR' CARRIAGE ORIGINAL BRACKET' OUTDOOR WALL SCONCES. TYP. ECLECTIC FIXTURE: 17 1/4 x 8 3/8".
 - BEVOLO LIGHTING 'GOVERNOR' CARRIAGE ORIGINAL BRACKET' OUTDOOR WALL SCONCES. TYP. GAS FIXTURE: 17 1/4 x 8 3/8".
- ALL LIGHT FIXTURES TO BE APPROVED BY OWNER / DESIGNER / ARCHITECT
- ALL EXTERIOR LUMINAIRES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

- PAINT LEGEND**
- P-1 SLICKER WHITE #2-48 (MAIN BODY OF HOUSE)
 - P-2 BLACK - DECORATIVE SHUTTERS, RAILINGS, GATES, DOORS AND WINDOWS.
 - P-3 STANDING BEAM ROOFING SYSTEM 'ORIBEL METALS' - DMC188 W/ 1 3/4" HIGH BEAM W/ 5/8" ALUM. ALLOY 'KYNAR 500' FIN. BY 'METCO ROOFING' OR EQUAL.
 - P-4 STONE-OWNER SELECTED
 - P-5 BRILLIANT WHITE
- NOTES:
ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.

- EXTERIOR STUCCO:**
- METAL LATH APPLICATION:
- APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
 - APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
 - DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE FINISHED AS APPROVED BY OWNER.
 - TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 - THREE (3) COAT WORK (ON LATH) APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (3) INCH THICK. AREAS: TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
 - RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
 - ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
 - ALL SHAPE BOARD SHALL BE CELLOPHAN SHAPE FORMS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOPHAN EPS INSULATION ASTM C1303.
 - APPLY ENERGY-STAR PROFESSIONAL FOAM SEALANT TO FORM A DURABLE AIRTIGHT WATER RESISTANT BARRIER AGAINST AIR INLEAKS. APPLY EFFICIENTLY TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
 - APPLY SPRAYABLE URETHANE ELASTOMER COATING (EPC-3000) FOR A TIGHT MEMBRANE IS REQUIRED. APPLY FOR HOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.



1 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION NOTES

- STANDING BEAM ROOFING SYSTEM 'ORIBEL METALS' - DMC188 W/ 1 3/4" HIGH 8" WIDE BEAM W/ 5/8" ALUM. ALLOY 'KYNAR 500' FIN. BY 'METCO ROOFING' OR EQUAL (VERIFY COLOR W/ OWNER) OVER (1) LAYER OF 1/2" GYP BOARD - HIGH TEMP-PEEL-N-STICK; (2) LAYER 5/8" FELT T1, TO 3/4" APA; EXT. GRADE PLUMBING SHEATHING (TYP.)
- CONT. ALUM. DRIP EDGE ON CONT. FT. 1, 2 ON CONT. 2 x 4 SMOOTH CLEAR CYPRRESS FASCIA - PAINTED.
- 2" x 1/2" x 4" DECORATIVE OUTRIGGERS W/ 'CELLOPHAN' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN 'NTC-506' URETHANE ELASTOMER COATING OR EQUAL - PAINTED. - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ 'DOU ENERFOAM' FOAM SEALANT. - UNDERSIDE OF SOFFIT TO BE 1/8" 3-COATS SMOOTH STUCCO FINISH W/ 1/8" x 1/8" 1/4" PATTERN - PAINTED - (SEE REFLECTED CEILING PLAN FOR LAYOUT) - TYP.
- PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
- SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE ALL CRICKETS TO HAVE MIN. 2 LAYERS SMOOTH MODIFIED PLUS A CLASS 'A' MODIFIED GAR SHEET - TYP.)
- BLOCK WALLS ALONG 2ND FLOOR 4 ROOF CRICKETS TO BE PROTECTED W/ 'SICA ROOFPRO' BY SICA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.
- UNDERSIDE OF TRELLIS TO HAVE FLAT DECK ROOF TO RECEIVE FLINT-ASTIC 84.3 FLY ROOFING SYSTEM BY 'CERTANTIDE' OR EQUAL FLY - AS PER MANUFACTURER SPECIFICATIONS - SLOPED 1/2" FT FOR POSITIVE DRAINAGE (PROOFED OVER SAWN).
- ALL 'BOSTON HIPP' END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACING TO MEET WIND CYCLING REQUIREMENTS. - (SEE STRUCTURAL DUGS. NOTE: EXTERIOR FACE OF BOTTOM HIP ROOF TO HAVE DECORATIVE LOWERED VENT W/ 'CELLOPHAN' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN 'NTC-506' URETHANE ELASTOMER COATING OR EQUAL - PAINTED. - CONTRACTOR TO ATTACHED DECORATIVE VENT W/ 'DOU ENERFOAM' FOAM SEALANT.
- CONTRACTOR TO PROVIDE PRICE FOR ENTIRE HOUSE TO RECEIVE 6" HALF ROUND COPPER - PROVIDE ALT. PRICE FOR ALUM. GUTTERS WITH DECORATIVE LEADER CONDUIT FOR HEADS WITH DECORATIVE GUTTER HANGERS / BRACKETS - 4" ROUND DOWNPOUTS - RAINWATER GUTTER SYSTEM INC. OR EQUAL.
- 2-COAT 5/8" SMOOTH STUCCO FINISH PAINTED TYP.
- CONT. 4" DECORATIVE RAISED SMOOTH STUCCO BANDING BURNED, TYPICAL AT ALL DOOR AND WINDOW HEADS FOR POSITIVE DRAINAGE - CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- (2) LAYER STEP BILL BANDING 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" HT. W/ 3/4" PROJECTION & STUCCO) - PAINTED (TYP. & UNDOUB) SLOPED FOR POSITIVE DRAINAGE.
- 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP.)
- 2" x 4" SMOOTH STUCCO - PAINTED (TYP. - ALL CORNER AT STUCCO LAP SIDING).
- (2) LAYER STEP STUCCO BANDING 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" HT. W/ 3/4" PROJECTION & STUCCO) - PAINTED (TYP. WHERE SMOOTH STUCCO MEETS LAP SIDING) SLOPED FOR POSITIVE DRAINAGE. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- CONT. 1-1/4" RAISED SMOOTH STUCCO BIASE 'WATER-TABLE'.
- EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
- FRONT DOOR TO BE 'LED GEN DESIGN PRO FISERGLASS' - 1/2 VIEW - 4" LIGHT PANEL DOOR W/ PAINTED FINISH OR EQUAL BY 'COASTAL SUPPLY' OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT RESISTANT TO BE APPROVED BY OWNER.
- 'FRST' SERIES ALUM. FRENCH DOORS (COLOR WHITE) - W/ 'GRAY TINTED' GLASS OR EQUAL. TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADES COUNTY 'IMPACT' AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - SEE DOOR SCHEDULE.
- 'FRST' FIXED & CASHEMENT (SEE MEANS OF EGRESS) ALUM. WINDOWS TO BE IMPACT RESISTANT 'GRAY TINTED' GLASS (SEE ENERGY CALCULATIONS) AND COMPLY W/ ALL DADES COUNTY 'IMPACT' AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR BLACK (VERIFY W/ OWNER).
- 'FRST' HURRICANE IMPACT FIXED WINDOW W/ GRAY TINT - NOTE: PAIX WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK.
- EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 8" 1/2" FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 34" FROM THE FIN. FLOOR.
- ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN 'SICALFIX PRO' OR EQUAL & CONC. THRESHOLD CONC. SILL.
- ALL WINDOWS TO HAVE 1" P.T. UD. BLOCKS ANCHORED TO CONC AS PER APPROVAL.
- ALL EXTERIOR DOORS & WINDOWS TO HAVE 'SICALFIX 950' OR EQUAL CAULKING - (LOWER BAND 4" HT. W/ 3/4" PROJECTION & STUCCO) - PAINTED (TYP. & UNDOUB) SLOPED FOR POSITIVE DRAINAGE.
- ALL DOOR & WINDOW CORNERS, HORN'S & JAMB'S TO BE UNWRAPPED W/ 'SICA TOP SEAL 101' OR EQ. THEN - APPLY 'SICALFIX 100' EVERLASTING PERMANENT OR EQ. OVER ALL WOOD BLOCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 12" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPEC'S BY 'SICA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SICA AND OR MANUF.
- ALL OVERHEAD GARAGE DOORS ARE TO MEET DADES COUNTY WIND CYCLING AND 'IMPACT' TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE BY 'SICA' OR EQUAL (TYPICAL) - CONTRACTOR TO VERIFY W/ GARAGE DOOR MANUF. PROPER CLEARANCE REQUIRED FOR APPLIED STRIP DOWN 5/8" W/ 'BORAL' COMPOSITE TRIM (OR EQUAL) FOR DECORATIVE HORIZONTAL PANELS ON EXT. SIDE (NOTE: ALL HORIZONTAL CUTS TO BE MADE < 45 DEGREE DOWNWARD ANGLE).
- 1" RAISED CONCRETE RAIN WATER EDGE (TYP. AT GARAGE DOORS) NOTE - CONCRETE THRESHOLD TO BE RECESSED TO RECEIVE PAVERS TO THE BACK SIDE OF THE GARAGE DOORS (TYP.).
- 6" x 8" STAINLESS STEEL INSULATED FLOOD VENT BY 'SMART VENT' MODEL 'B40-SIP' AT PERIMETER WALL - ESP. POWDER COAT FINISH (COLOR WHITE) (INSTALL AS PER MANUF. SPEC'S) - TYP. OF 3, ONE AT BOTH GARAGE WALL AND TWO AT THE WEST GARAGE WALL (NOTE: A MIN. OF 2 OPENINGS HAVING A TOTAL AREA NOT LESS THAN ONE (1) INCH PER ONE (1) SQUARE FOOT ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATION).
- ALL DRIVEWAY PAVERS TO BE ON 1" LIMESTONE SCREENINGS W/ 8" LIMEPOCK BASE. COMPACTED TO A MIN 98% DENSITY - SEE CIVIL DRAWINGS AND VERIFY W/ CITY OF DELRAY BEACH.
- POOL WALL TO RECEIVE - STONE PANELS 'BROCK - LATIGO' OR EQUAL (COLOR BLACK) - NOTE: GATES TO BE SELF-CLOSING, SELF LATCHING TO BLOCK PASSAGE OF 4" SPHERES. (BOTTOM RAIL MAX. 3" AFF. - TYP.) - PROVIDE SHOP DRAWINGS (9" L X 6" X 6" DESIGN GATE) / SAMPLE. BY 'JC ORNAMENTAL IRON WORK INC.' OR EQUAL.
- DECORATIVE ALUM. GATE BY 'JC ORNAMENTAL IRON WORK INC.' OR EQ. (COLOR BLACK) - NOTE: GATES TO BE SELF-CLOSING, SELF LATCHING TO BLOCK PASSAGE OF 4" SPHERES. (BOTTOM RAIL MAX. 3" AFF. - TYP.) - PROVIDE SHOP DRAWINGS (9" L X 6" X 6" DESIGN GATE) / SAMPLE. BY 'JC ORNAMENTAL IRON WORK INC.' OR EQUAL.
- DECOR. ALUMINUM WINDOW SHUTTERS (W/ ESP. POWDER COAT FINISH - COLOR BLACK) W/ ALL CONCEALED CONNECTION AND 2 X SPACERS AT BACK OF SHUTTER FOR PROTECTION FROM BUILDING OR EQUAL. BY 'JC IRON ORNAMENTAL WORKS' OR EQUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL. NOTE: ALL TO BE PROVIDED WITH BLACK SHUTTER DOGS.
- 12" x 12" CONCRETE COLUMNS W/ 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH & RAISED STUCCO BANDING AT TOP AND BOTTOM OR EQUAL - (SEE TYPICAL DETAILS FOR PROFILES & STRUCTURAL DRAWINGS).
- OUTDOOR KITCHEN BY 'NATURECAST' OR EQUAL - STAINLESS SOFT CLOSURES W/ 'NET SHAKER STYLE' DOORS - CHARCOAL GRAY & GRANITE COUNTERTOPS - CONTRACTOR TO PROVIDE SHOP DUGS FOR APPROVAL.
- 36" ALFRESCO - NATURAL - LUXURY DELUXE GRILL - BUILT-IN OUTDOOR BARBECUE GRILL - OR EQUAL - VERIFY W/ OWNER.
- SEE MECHANICAL DRAWINGS FOR INDOOR & OUTDOOR KITCHEN EXHAUST VENT STACK.
- COVERED PORCHES TO RECEIVE 'STONE PAVERS' MUDSET BY 'ARTISTIC PAVERS' OR EQUAL. NON-BURN W/ SQUARE EDGE AT THE OUTER EDGE. DECK TO BE MUDSET OVER 2" LIQUID WATERPROOFING ON CONC. DECK. 'SICALASTIC 101/10' OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL). CONTRACTOR TO USE A POLYMER MODIFIED, NON EPLOXSCIENCE MUDSET OR TRINET GROUT.
- PRIMARY OUTDOOR DECK / PORCH TO HAVE 'BRAZILIAN WALNUT-IRE' WOOD FLOORING ON P.T. WOOD BLEEDERS OVER WATERPROOFED CONCRETE SLAB (NOTE: SLOPED 1/8" / FT FOR POSITIVE DRAINAGE) - SEE CIVIL DRAWINGS - IF DROP EXCEEDS 30", THEN CONTRACTOR TO INSTALL 3/4" DECORATIVE ALUM. RAILING. NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY 'JC ORNAMENTAL IRON WORKS' OR EQUAL.
- VERIFY W/ OWNER FRONT COVERED ENTRY PORCH - FLOOR COVERING W/ ALUM. RAILING. NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY 'JC ORNAMENTAL IRON WORKS' OR EQUAL.
- OUTDOOR COVERED PORCH & HANGING EXECUTIVE SCREEN MOTORIZED SYSTEM LIGHT GAUGE USE SCREEN (COLOR BLACK) AMERICAN SCREEN SOLUTIONS (OR EQUAL) INSTALLED AS PER MANUF. SPECIFICATIONS - OR EQUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- CONTR. 1 1/4" HT. x 4" COPPER DRIP EDGE & ALL PORCHES.
- SEE ELECTRICAL & GAS DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPEC'S. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER / INTERIOR DESIGNER PRIOR TO PURCHASE).
- OUTDOOR COVERED PORCH & HANGING EXECUTIVE SCREEN MOTORIZED SYSTEM LIGHT GAUGE USE SCREEN (COLOR BLACK) AMERICAN SCREEN SOLUTIONS (OR EQUAL) INSTALLED AS PER MANUF. SPECIFICATIONS - OR EQUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- OUTDOOR SHOWER W/ DECORATIVE WALL W/ 4" x 4" DOMINICAN COQUINA ACCENT BAND, 1" x 1" AND 6" x 6" DECORATIVE CERAMIC TILE SHOWER WALL W/ SHOWER HEAD FOOT WASH AND ACCESSORIES - ALL MATERIALS TO BE APPROVED AND INSTALLED AS PER MANUFACTURER SPEC'S. FOR PRICING ONLY - VERIFY W/ OWNER / INTERIOR DESIGNER.
- OFF OF BEDROOM 1 / OUTDOOR SHOWER W/ RAISED WOOD DECKING - 'BRAZILIAN WALNUT-IRE' OR EQUAL ON 2" x 10" P.T. WOOD JOIST AT 12" OC. - SEE STRUCTURAL DRAWINGS.
- SAWA TO BE INSTALLED AS PER FLORIDA HOT TUB & SAUNA - PREMIUM CEDAR CUSTOM CUT 5/8" 18" OR EQUAL.
- EXTERIOR PORCELAIN TILE WITH JETS (SEE ELECTRICAL DRAWINGS) - VERIFY ON STYLE AND COLOR W/ OWNER.
- 6" x 8" ALUMINUM TRELLIS JOIST & 6" x 8" ALUMINUM TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL W/ 2 x 2 ALUMINUM SLEEPERS & 12" OC. (PAINTED WHITE) - SEE STRUCT. DUGS. FOR ALL HIDDEN CONNECTIONS.
- PROVIDE MORE BID SEE DETAIL ON PLUMBING SHIT - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER.
- 8"-0" HIGH 8" CONCRETE BLOCK NEAR ALLEY WALL W/ SMOOTH STUCCO FINISH AND 2" STUCCO CAP ON WALL - PAINTED - SEE STRUCTURAL DRAWINGS.
- 8"-0" HIGH 8" CONCRETE BLOCK EQUIPMENT AND 4" HIGH GARAGE BIN ENCLOSURE WALLS W/ SMOOTH STUCCO FINISH AND 2" STUCCO CAP ON WALL - PAINTED - PROVIDE SHOP DRAWINGS (FOR GATES) SEE STRUCTURAL DUGS.
- DECORATIVE ALUMINUM TRELLIS / ARBOR - TO BE PAINTED WHITE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER APPROVAL.
- 'SPARKY' LP - OUTDOOR BURNER SYSTEM BY FIRESIDE OR EQUAL. (GAS FIRE-PIV).

- NOTES:**
- DO NOT SCALE DIMENSIONS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.



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ISSUED FOR HISTORIC BOARD REVIEW

BIDS
PERMIT 183124
CONSTRUCTION

PROJECT TITLE
**PROPOSED
SINGLE
FAMILY
RESIDENCE**

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS
▲ REVISED 02-04-25 AS PER HISTORIC
COMMENTS
1. CREATING BUILDING HEIGHT PLAN
GRAPHIC SHEET

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ONLY.

FILE NUMBER
703A302

DRAWING TITLE
**BUILDING HEIGHT
PLAN GRAPHIC**

DATE
02/06/25 | DRAWN BY
GE/JH/MJ

JOB NUMBER
20240703

DRAWING NUMBER

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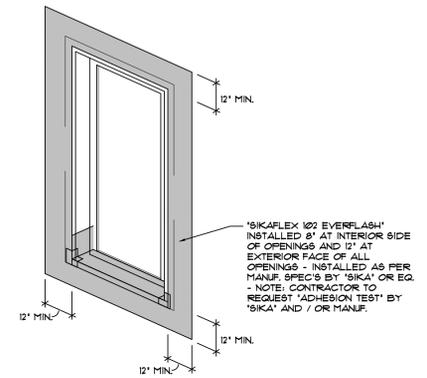


- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.

WINDOW SCHEDULE

NOTE:
ALL WINDOWS TO BE "PGT" CASEMENT/FIXED W/ BLACK FINISH OR EQUAL. (CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).

WINDOW	SIZE (WxH)	QTY	CONFIGURATION	SERIES	WALL TYPE	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	(PAIR) 2'-6" x 4'-6"	2	XX	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	(PAIR) CASEMENT W/ 4-LITE AND SCREEN
A1	(PAIR) 2'-6" x 4'-6"	2	OO	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	(PAIR) FIXED W/ 4-LITE
B	2'-0" x 3'-0"	3	O	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
B1	2'-0" x 3'-0"	1	O	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
B2	2'-0" x 2'-0"	1	O	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
C	2'-0" x 3'-0" (BLACK OUT)	3	O	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	FIXED (FAUX) W/ 4-LITE (BACK SIDE PAINTED BLACK)
D	2'-6" x 5'-0"	2	X	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
E	3'-0" x 5'-0"	2	X	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
F	4'-4" x 5'-4"	1	X	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
G	5'-0" x 8'-0"	1	O	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	FIXED
H	(PR.) 2'-6" x 5'-6" W/ (2) 2'-6" x 1'-6" TRANSOMS	1	TRANS. XX	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	PAIR OF 4-LITE CASEMENT W/ 2-LITE TRANSOM & SCREEN - MULLED TOGETHER.
J	3'-4" x 8'-0"	2	O	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	FIXED W/ 6-LITE
K	2'-6" x 5'-0"	3	X	CA740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	CASEMENT W/ 4-LITE AND SCREEN
L	3'-0" x 8'-0"	3	O	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	FIXED W/ 6-LITE
M	5'-0" x 8'-0"	2	O	PW740	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT/LAM	BLACK	FIXED

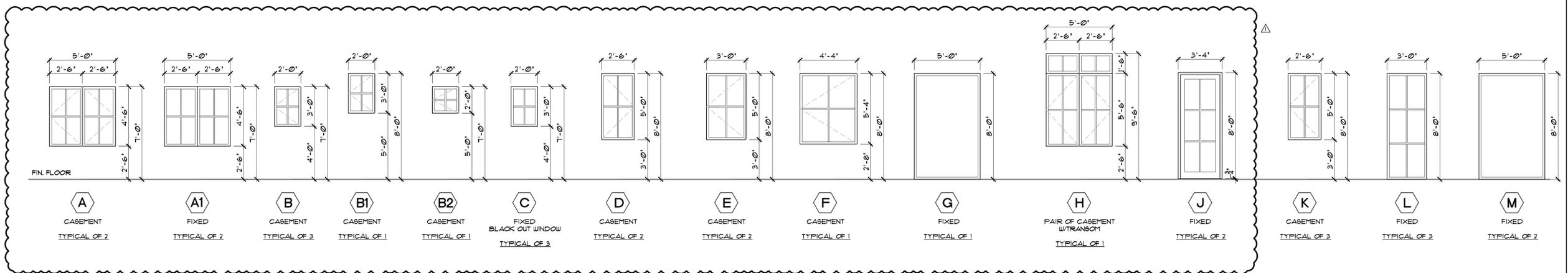


NOTE:
VERIFY ALL INTERIOR DOORS & INTERIOR WINDOW TRIMS/CASING/TREATMENTS W/ OWNER / DESIGNER.

NOTE:
WATER TEST TO BE CONDUCTED AT RANDOMLY SELECTED EXTERIOR WINDOW AND DOOR ASSEMBLIES AT INITIAL CONSTRUCTION PHASE TO CONFIRM WATER INFILTRATION ISSUES. IF WINDOWS OR DOORS FAIL, CONTRACTOR WILL BE RESPONSIBLE FOR COST OF TESTS & CORRECTIONS TO DOORS & WINDOWS.

NOTE:
- ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY IMPACT AND WIND LOADING CODES. (PGT OR EQUAL)
- ALL GLAZING BELOW 18' AFF. TO BE TEMPERED SAFETY GLASS. CONTRACTOR TO PROVIDE DATED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION.
- VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES.
- ALL W/ BLACK FINISH OR EQUAL - VERIFY W/ OWNER / DESIGNER.
- MEP'S ENERGY CALCULATIONS TO CALL OUT FOR GRAY TINT GLASS (NON-REFLECTIVE).

WINDOW ELEVATIONS



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BIDS
PERMIT 103124
CONSTRUCTION

PROJECT TITLE
PROPOSED SINGLE FAMILY RESIDENCE

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS
△ REVISED 02-04-25 AS PER HISTORIC COMMENTS.
1. UPDATE WINDOWS

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FILE NUMBER
703A900

DRAWING TITLE
PROPOSED WINDOW SCHEDULE

DATE
10.17.24 | DRAWN BY
GE/AC

JOB NUMBER
20240703

DRAWING NUMBER

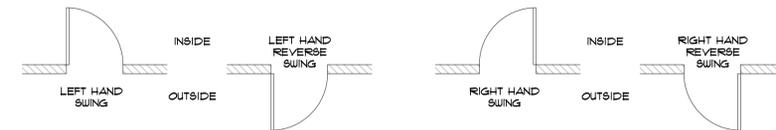
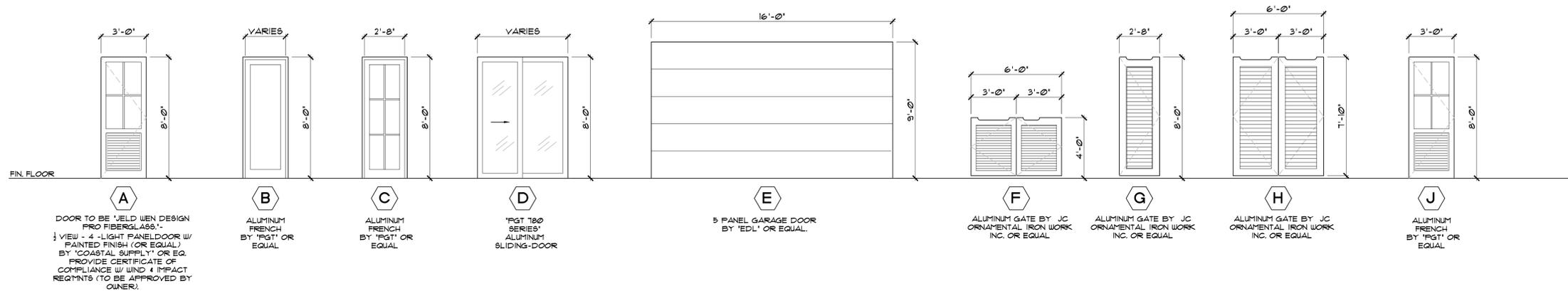
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EXTERIOR DOOR SCHEDULE

NOTE: ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY WIND LOADING & IMPACT CODES. ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS. NOTE: ALL EXTERIOR ALUMINUM DOORS/SLIDERS TO BE "PGT" OR EQUAL.

DOOR	LOCATION	TYPE	ELEV.	SIZE (W x H x D)	ACTION	LABEL	WIND LOAD PRESSURE	THRES.	COMMENTS/HARDWARE
G1	ENTRY	MAHOGANY W/ LITE PANELS	A	3'-0" x 8'-0" x 1 3/4"	SWING	---		ALUM.	"JELD WEN DESIGN PRO FIBERGLASS" - (PAINTED FINISH) - INSTALLATION BY "COASTAL SUPPLY" OR EQ. (NOTE: PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REQUIREMENTS.)
G2	GREAT ROOM	ALUM. FRENCH	C	2'-8" x 8'-0" x 1 3/4"	RHR	---		ALUM.	6-LITE "PGT" BLACK ALUM. FRENCH DOOR OR EQUAL /W ALUM. THRESHOLD W/ "EMTEK" - SATIN NICKEL OR EQUAL - "TRITON LEVER" - THUMB TURN DEAD BOLT.
G3	GREAT ROOM	ALUM. SLIDER	D	(2-PANEL) 8'-0" x 8'-0" x 1 3/4"	SLIDER	---		ALUM.	1-LITE "PGT 780 SERIES" SLIDER OR EQUAL / ALUM. THRESHOLD / "EMTEK" PULL HANDLE / ROTATION LATCH LOCK - "SATIN NICKEL".
G4	PRIMARY BEDROOM	ALUM. SLIDER	D	(2-PANEL) 8'-0" x 8'-0" x 1 3/4"	SLIDER	---		ALUM.	1-LITE "PGT 780 SERIES" SLIDER OR EQUAL / ALUM. THRESHOLD / "EMTEK" PULL HANDLE / ROTATION LATCH LOCK - "SATIN NICKEL".
G5	PRIMARY BATHROOM	ALUM. SLIDER	D	(2-PANEL) 6'-0" x 8'-0" x 1 3/4"	SLIDER	---		ALUM.	1-LITE "PGT 780 SERIES" SLIDER OR EQUAL / ALUM. THRESHOLD / "EMTEK" PULL HANDLE / ROTATION LATCH LOCK - "SATIN NICKEL".
G6	PRIMARY BATHROOM	ALUM. SLIDER	D	(2-PANEL) 6'-0" x 8'-0" x 1 3/4"	SLIDER	---		ALUM.	1-LITE "PGT 780 SERIES" SLIDER OR EQUAL / ALUM. THRESHOLD / "EMTEK" PULL HANDLE / ROTATION LATCH LOCK - "SATIN NICKEL".
G7	TWO CAR GARAGE	H.M. PANEL (BY "EDL")	E	9'-0" x 16'-0" x 2 1/4"	OVERHEAD	---		---	5 PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK". TO BE PAINTED, SEE EXTERIOR ELEVATIONS FOR COLOR)
G8	STAIRS	ALUM. FRENCH	B	3'-0" x 8'-0" x 1 3/4"	LHR	---		ALUM.	1-LITE "PGT" BLACK ALUM. FRENCH DOOR OR EQUAL /W ALUM. THRESHOLD W/ "EMTEK" - SATIN NICKEL OR EQUAL - "TRITON LEVER" - THUMB TURN DEAD BOLT.
G9	HALLWAY	ALUM. FRENCH	B	2'-8" x 8'-0" x 1 3/4"	RHR	---		ALUM.	1-LITE "PGT" BLACK ALUM. FRENCH DOOR OR EQUAL /W ALUM. THRESHOLD W/ "EMTEK" - SATIN NICKEL OR EQUAL - "TRITON LEVER" - THUMB TURN DEAD BOLT.
G10	BATHROOM #1	ALUM. FRENCH	B	2'-8" x 8'-0" x 1 3/4"	RHR	---		ALUM.	1-LITE "PGT" BLACK ALUM. FRENCH DOOR OR EQUAL /W ALUM. THRESHOLD W/ "EMTEK" - SATIN NICKEL OR EQUAL - "TRITON LEVER" - THUMB TURN DEAD BOLT.



SCHEDULE NOTES:

- ALL INTERIOR DOORS TO HAVE EMTEK HINGES "BALL BEARING HINGE" OR EQUAL W/ CHROME FINISH OR EQUAL.
- ALL DOORS TO HAVE FLOOR MOUNTED DOOR BUMPERS (EMTEK OR EQUAL). FINISH TO MATCH DOOR HARDWARE - VERIFY W/ OWNER.
- ALL INTERIOR NON-RATED DOORS AND FRAMES TO BE MODEL NO. TS1000 AS MANUFACTURED BY "TRU-STILE DOOR, INC."
- INTERIOR DOORS TO BE UNDERCUT FOR A/C WHERE REQUIRED - SEE MECHANICAL DRAWINGS.
- ALL DOOR HARDWARE TO BE "LEVER-TYPE" - EMTEK HELIOS LEVER W/ "CHROME" FINISH AS MANUFACTURED BY "EMTEK" OR EQUAL (VERIFY W/ OWNER).
- ALL INTERIOR DOOR FINISHES ARE TO HAVE A CLASS-"A", "B" OR "C" RATING FOR FLAMESPREAD AND SMOKE. ALL INTERIOR PAINT SHALL BE WATER-BASED. NO OIL BASED PAINT OR COMBUSTIBLE THINNING AGENTS ARE ALLOWED.
- ALL INTERIOR SHOWER DOORS ARE TO BE MINIMUM 1/2" TEMPERED GLASS. VERIFY EXACT SIZE OF DOOR AND PANEL IN FIELD.
- ALL INTERIOR SHOWER DOOR SIDE PANELS TO BE 1/2" TEMPERED GLASS (W/ "STAY CLEAN GLASS COATING"). FIELD VERIFY SIZE PRIOR TO MANUFACTURING AND INSTALLATION.
- ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.
- VERIFY ALL INTERIOR WALL THICKNESS & OPENING BEFORE MANUFACTURING JAMBS & FRAMES.
- INTERIOR DOUBLE DOORS: ONE LEAF TO RECEIVE PRIVACY CATCH AND DUMMY HANDLE. OPERABLE LEAF TO RECEIVE PRIVACY LOCKSET.
- ALL BEDROOM & BATHROOM DOORS TO RECEIVE PRIVACY LOCKSETS. LOCKSETS TO HAVE EMERGENCY RELEASE OPERABLE FROM EXTERIOR OF ROOM.
- ALL CLOSET & UTILITY ROOM DOORS TO RECEIVE PASSAGE LOCKSETS.
- ALL INTERIOR DOORS TO BE PAINTED (VERIFY COLOR WITH OWNER).
- ALL INTERIOR BI-PASS DOOR TO RECEIVE FLUSH PULL HANDLE - "CHROME" FINISH.
- ALL POCKET DOORS TO RECEIVE PRIVACY POCKET DOOR LOCK - "CHROME".
- INTERIOR DBL. PKT. DOORS, ONE LEAF TO RECEIVE PRIVACY CATCH W/ FLUSH PULL AND OPERABLE LEAF TO RECEIVE PRIVACY PKT. DOOR LOCK HARDWARE.
- INTERIOR DOUBLE DOORS: ONE LEAF TO RECEIVE CATCH AND DUMMY HANDLE. OPERABLE LEAF TO RECEIVE PASSAGE LOCKSET.
- INTERIOR GARAGE DOOR TO RECEIVE KEYED ENTRY WITH DEADBOLT LOCKSET.
- ALL POOL GATES TO BE SELF CLOSING AND LATCHING WITH LATCH TO BE A MIN. 54" ABOVE TOP OF FINISHED PAVERS (NOTE: DOORS OPEN IN THE OUTWARD DIRECTION).



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ISSUED FOR HISTORIC BOARD REVIEW

BIDS

PERMIT 103124

CONSTRUCTION

PROJECT TITLE

**PROPOSED
SINGLE
FAMILY
RESIDENCE**

**146 SE 7TH AVE
DELRAY BEACH, FL**

REVISIONS

REVISION 02-04-20 AS PER HISTORIC COMMENTS
1. UPDATE DOORS TAGS

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FILE NUMBER **703A901**

DRAWING TITLE

**PROPOSED
DOOR
SCHEDULE**

DATE

10.17.24 | DRAWN BY **GE/AC**

JOB NUMBER **20240703**

DRAWING NUMBER

A9.01

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