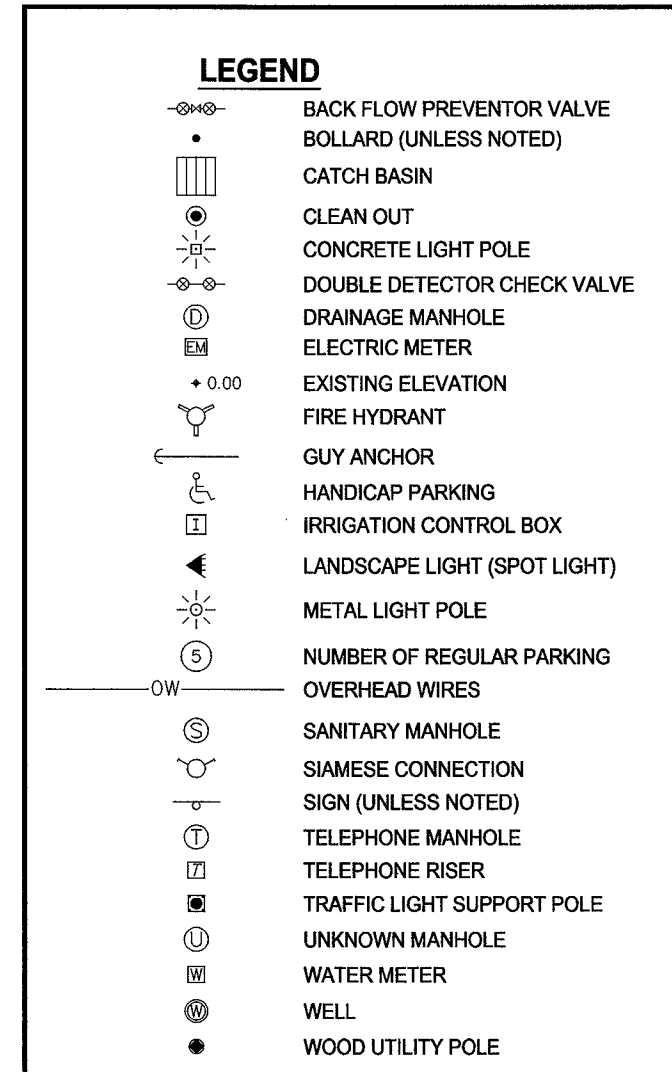
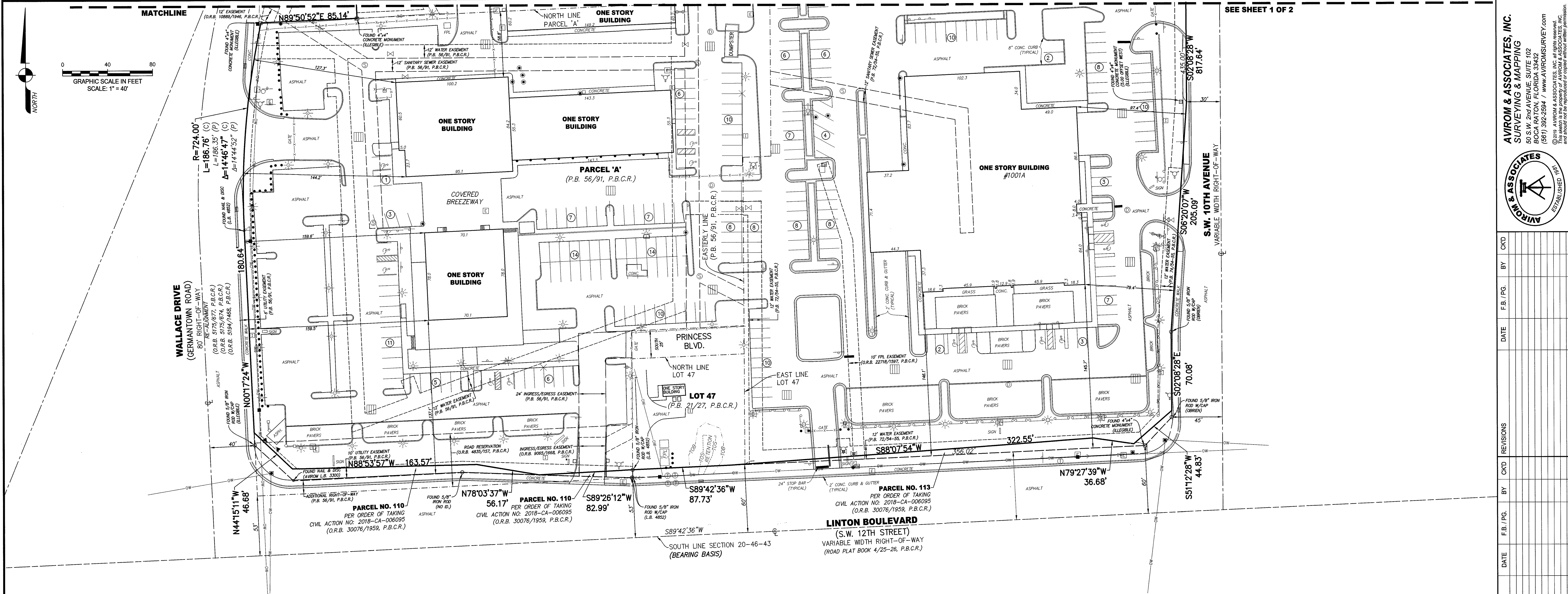




SEE SHEET 2 OF 2

[illegible]



LEGEND	
	BACK FLOW PREVENTOR VALVE
	BOLLARD (UNLESS NOTED)
	CATCH BASIN
	CLEAN OUT
	CONCRETE LIGHT POLE
	DOUBLE DETECTOR CHECK VALVE
	DRAINAGE MANHOLE
	ELECTRIC METER
	EXISTING ELEVATION
	FIRE HYDRANT
	GUY ANCHOR
	HANDICAP PARKING
	IRRIGATION CONTROL BOX
	LANDSCAPE LIGHT (SPOT LIGHT)
	METAL LIGHT POLE
	NUMBER OF REGULAR PARKING
	OVERHEAD WIRES
	SANITARY MANHOLE
	SIAMESE CONNECTION
	SIGN (UNLESS NOTED)
	TELEPHONE MANHOLE
	TELEPHONE RISER
	TRAFFIC LIGHT SUPPORT POLE
	UNKNOWN MANHOLE
	WATER METER
	WELL
	WOOD UTILITY POLE

SUMMARY TABLE FOR:
SCHEDULE B, SECTION 2 EXCEPTIONS
TITLE COMMITMENT NO. 1002-269665-RTT (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 9 P.B. 56/91	Yes	As Shown
No. 10 O.R.B. 5354/1917	Yes	Not Plottable
No. 10 P.B. 60/74	No	
No. 11 O.R.B. 9937/1470	No	
No. 11 P.B. 124/51	No	
No. 12 D.B. 6805/77	Yes	Not Plottable
O.R.B. 11384/10	Yes	Not Plottable
O.R.B. 4835/157	Yes	Not Plottable
No. 13 O.R.B. 2727/1032	Yes	Not Plottable
No. 14 O.R.B. 3033/816	Yes	Not Plottable
No. 15 O.R.B. 5090/105	Yes	As Shown
No. 16 O.R.B. 5397/1198	Yes	As Shown
No. 17 O.R.B. 9930/138	Yes	As Shown
No. 18 O.R.B. 6643/1204	Yes	As Shown
No. 19 O.R.B. 8173/658	Yes	Abandonment
O.R.B. 8171/683	Yes	Abandonment
No. 20 O.R.B. 8522/184	Yes	Unity of Title
No. 21 O.R.B. 9065/1668	Yes	As Shown
No. 22 O.R.B. 9937/1474	No	As Shown
No. 23 O.R.B. 2920/1973	No	

SUMMARY TABLE FOR:
SCHEDULE B, SECTION 2 EXCEPTIONS
TITLE COMMITMENT NO. 1002-269664-RTT (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 9 P.B. 21/27	Yes	As Shown
No. 10 P.B. 72/54	Yes	As Shown
No. 11 P.B. 74/9	Yes	As Shown
No. 12 D.B. 6805/77	Yes	Not Plottable
O.R.B. 11384/10	Yes	Not Plottable
O.R.B. 4835/157	Yes	Not Plottable
No. 13 O.R.B. 3033/816	Yes	Not Plottable
No. 14 O.R.B. 5140/1276	Yes	Abandonment
No. 15 O.R.B. 5748/1180	Yes	Not Plottable
No. 16 O.R.B. 6643/1204	Yes	Not Plottable
No. 17 O.R.B. 8173/658	Yes	Abandonment
No. 18 O.R.B. 8522/184	Yes	Unity of Title
No. 19 O.R.B. 9065/1672	Yes	Not Plottable
No. 20 O.R.B. 10880/1946	Yes	As Shown
No. 21 O.R.B. 16805/1227	Yes	As Shown
No. 22 O.R.B. 1734/188	Yes	As Shown
No. 23 O.R.B. 22939/1889	Yes	As Shown
No. 24 O.R.B. 22382/365	Yes	As Shown
No. 25 O.R.B. 22586/1195	Yes	As Shown
No. 26 O.R.B. 22718/1594	Yes	As Shown
No. 27 O.R.B. 22718/1597	Yes	As Shown

SURVEYOR'S REPORT:

- Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment issued by First American Title Insurance Company, Title Commitment No. 1002-269665-RTT, commitment date January 22, 2019 8:00 AM, and Title Commitment issued by First American Title Insurance Company, Title Commitment No. 1002-269664-RTT, commitment date January 18, 2019 8:00 AM. Where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Aviom & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
- The land description shown hereon is in accord with the Title Commitment.
- No underground improvements were located.
- Bearings, distances and/or angles shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are based on the south line of Section 20-46-43 having a bearing of S89°42'36"W.
- The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, Community Panel No. 125102 0979 F, dated 10/05/2017.
- Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
- This map is intended to be displayed at a scale of 1:480' (1" = 40').
- Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
- Abbreviation Legend: A/C = Air conditioner; Δ = Central Angle; C = Calculated; CL = Centerline; CONC. = Concrete; D.B. = Deed Book; F.B. = Field Book; F.D.O.T. = Florida Department of Transportation; F.P.L. = Florida Power & Light Company; ID. = Identification; L = Arc Length; L.B. = Licensed Business; O.R.B. = Official Records Book; OW = Overhead Wires; P = Per Plat; P.B. = Plat Book; P.B.C.R. = Palm Beach County Records; PG. = Page; P.L.S. = Professional Land Surveyor; P.R.M. = Permanent Reference Monument; R = Radius; TOB = Top of Bank; TOS = Toe of Slope; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

Parcel A, BILL WALLACE NISSAN, according to the map or plat thereof as recorded in Plat Book 56, Page 91, Public Records of Palm Beach County, Florida, less and except that part condemned by the State of Florida Department of Transportation, described in Order of Taking, recorded August 22, 2018 in Official Records Book 30076, page 1959, of the Public Records of Palm Beach County, Florida.

AND

TRACT C of WALLACE DODGE, according to the map plat thereof as recorded in Plat Book 72, Page 54 of the Public Records of Palm Beach County, Florida.

AND

WALLACE DODGE REPLAT, according to the map or plat thereof as recorded in Plat Book 74, Pages 9 and 10 of the Public Records of Palm Beach County, Florida.

AND

Lot 47, SANDS O'SEA, according to the Plat thereof, as recorded in Plat Book 21, Page 27 of the Public Records of Palm Beach County, Florida. Subject to the right-of-way of Linton Boulevard over the South 30 feet thereof.

TOGETHER WITH:

The South 25 feet of Princess Boulevard, as same is shown on SANDS O'SEA, Plat Book 21, Page 27, Public Record of Palm Beach County, Florida, bounded on the West by the East line of the Plat of Bill Wallace Nissan, Plat Book 56, Page 91, Public Records of Palm Beach County, Florida, and bounded on the East by the northerly prolongation of the East line of said Lot 47.

LESS AND EXCEPT that part condemned by the State of Florida Department of Transportation, described in Order of Taking, recorded August 22, 2018 in Official Records Book 30076, Page 1959, of the Public Records of Palm Beach County, Florida.

Said lands lying in the City of Delray Beach, Palm Beach County, Florida and containing 889,015 square feet (20.4090 acres) more or less.

CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 6/10/2019

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIOM & ASSOCIATES, INC.
L.B. No. 3300

AVIOM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2584 / WWW.AVIOMSURVEY.COM
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SCALE:	1" = 40'
DATE:	06/10/2019
BY:	W.R.E.
CHECKED:	J.T.D.
F.B.:	1930 PG. 13-14
SHEET:	2 OF 2

BOUNDARY SURVEY
BILL WALLACE NISSAN, TRACT C WALLACE
DODGE, WALLACE DODGE REPLAT & LOT 47, SANDS O'SEA
(P.B. 56, PG. 91, P.B.C.R.) & (P.B. 72, PG. 54, P.B.C.R.)
(P.B. 74, PGS. 9-10, P.B.C.R.) & (P.B. 21, PG. 27, P.B.C.R.)
CITY OF DELRAY BEACH
PALM BEACH COUNTY, FLORIDA

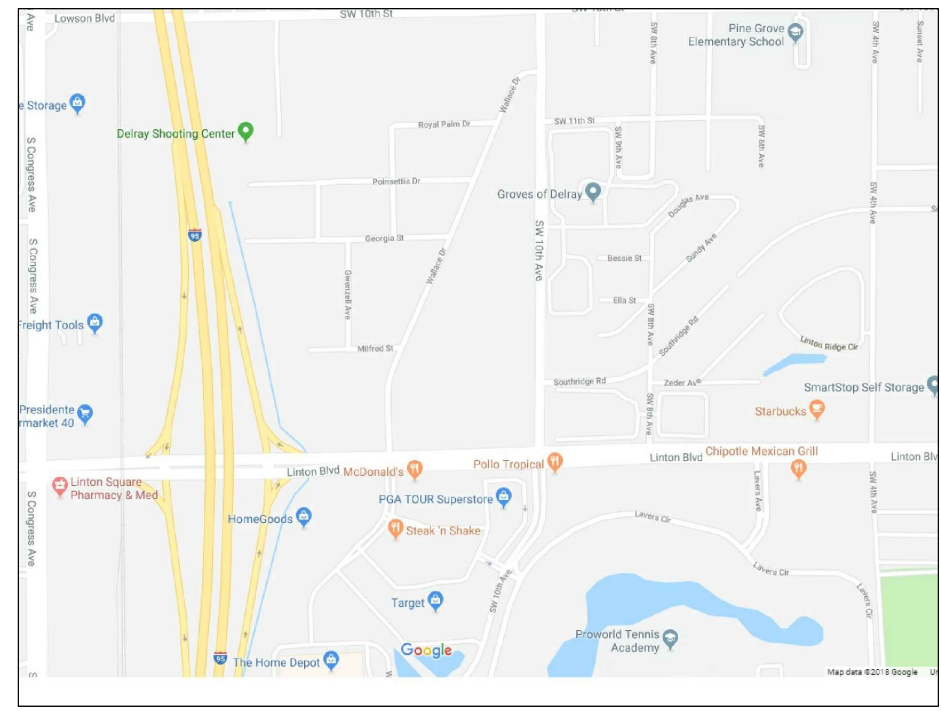
REVISIONS	DATE	F.B./PG.	BY	CKD	REVISIONS	DATE	F.B./PG.	BY	CKD

JOE B.

10655

PARKING SPACE LEGEND

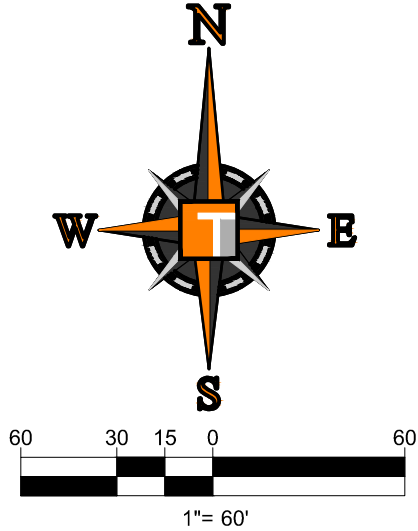
E = EMPLOYEES
I = INVENTORY
C = CUSTOMER
D = DISPLAY
S = SERVICE



LOCATION MAP
NOT TO SCALE



1/2 MILE RADIUS MAP
NOT TO SCALE



SITE DATA (LAND ROVER / JAGUAR)			ZONING DISTRICT: AC	
NET SITE AREA			319,620 SF	7.34 ACRES
SITE AREA CALCULATIONS			SF	% OF NET LAND AREA
PERVIOUS AREA (LANDSCAPED + OPEN SPACE)			82,380 SF	25.8
IMPERVIOUS AREA (PAVEMENT + BLDG. FOOTPRINT / SIDEWALKS)			237,240 SF	74.2
BUILDING AREA	PROPOSED SHOWROOM & SERVICE BLDG. (GROUND FLOOR + MEZZANINE)		59,214 SF	-
	TOTAL		59,214 SF	-
LANDSCAPE OPEN SPACE	REQUIRED = 25% OF SITE AREA (319,620)		79,905 SF	25.0
	PROVIDED	INTERIOR	34,686 SF	10.9
		PERIMETER BUFFER	47,694 SF	14.9
	TOTAL		82,380 SF	25.8
	BULLPEN LANDSCAPE REQUIRED; 10% OF BULLPEN PAVED AREA (75,852 SF) TRANSFERRED TO PERIMETER BUFFER		0 SF	0.0
GROUND COVERAGE	BUILDING	PROPOSED SHOWROOM & SERVICE	46,468 SF	14.5
		TOTAL BUILDING COVERAGE	46,468 SF	14.5
	LANDSCAPE		82,380 SF	25.8
	PAVEMENT		190,772 SF	59.7
	TOTAL		319,620 SF	100.0

	REQUIREMENT	EXISTING MERCEDES	PROPOSED LAND ROVER/ JAGUAR
FRONTAGE (MINIMUM)	125'	361'	455.74'
WIDTH (MINIMUM)	125'	361'	455.74'
DEPTH (MINIMUM)	200'	1,272.93'	818.13'
AREA (MINIMUM)	1.5 ACRES	13.044 ACRES (568,198)	7,367 ACRES (319,620)
LOT COVERAGE	NONE	11.7% (66,380 S.F)	14.6% (46,551 SF)
OPEN SPACE (MINIMUM)	25%	25.8%	29.5%
HEIGHT (MAXIMUM)	48'	25'-0"	26' -0"
SETBACK (MAXIMUM):			
FRONT	15'	136.83'	93.42'
SIDE STREET	15'	79.40'	77.43'
REAR	10'	319.83'	465.57'
SIDE INTERIOR	15'	117.93'	126.68'

SITE DATA (MERCEDES)		ZONING DISTRICT: AC		
NET SITE AREA		568,198 SF	13.04 ACRES	
SITE AREA CALCULATIONS		SF	% OF NET LAND AREA	
PERVIOUS AREA (LANDSCAPED + OPEN SPACE)		167,788 SF	29.5	
IMPERVIOUS AREA (PAVEMENT + BLDG. FOOTPRINT / SIDEWALKS)		400,410 SF	70.5	
BUILDING AREA	EXISTING BUILDINGS TO REMAIN (GROUND FLOOR + MEZZANINE)	72,318 SF	-	
	TOTAL	72,318 SF	-	
LANDSCAPE OPEN SPACE	REQUIRED = 25% OF SITE AREA (567,991)	142,050 SF	25.0	
	PROVIDED	INTERIOR	147,601 SF	25.9
		PERIMETER BUFFER	20,187 SF	3.6
	TOTAL	167,788 SF	29.5	
	BULLPEN LANDSCAPE REQUIRED; 10% OF BULLPEN PAVED AREA (143,970 S.F) TRANSFERRED TO PERIMETER BUFFER		0 SF	0.0
GROUND COVERAGE	BUILDING	EXISTING BLDG. TO REMAIN	66,380 SF	11.7
		TOTAL BUILDING COVERAGE	66,380 SF	11.7
	LANDSCAPE	167,788 SF	29.5	
	PAVEMENT	334,358 SF	58.8	
	TOTAL	568,198 SF	100.0	

LAND ROVER JAGUAR REQUIRED PARKING (59,214 SF GROSS FLOOR AREA)						
	SQUARE FEET	BAYS	CALCULATION	REQUIRED	PROVIDED	SYMBOL
TOTAL PARKING: GROSS FLOOR AREA (LESS 7,050 SF OF INDOOR DISPLAY)	52,164	-----	4 SPACES / 1,000 SF	209	525	
REQUIRED PARKING DESIGNATION FOR EMPLOYEE, CUSTOMER AND/OR SERVICE USE						
GROSS FLOOR AREA (LESS 7,050 SF OF INDOOR DISPLAY)	52,164	-----	2 SPACES / 1,000 SF	104	70* 34*	C E
SERVICE BAYS (INCLUDES DETAILING)	-----	28	1.5 SPACES / SERVICE BAY	42	42	S
REMAINING (MAY BE USED FOR DISPLAY/INVENTORY)	-----	-----		63 316	63 316	D I

LAND ROVER JAGUAR REQUIRED PARKING (72,318 SF GROSS FLOOR AREA)						
	SQUARE FEET	BAYS	CALCULATION	REQUIRED	PROVIDED	SYMBOL
TOTAL PARKING: GROSS FLOOR AREA (LESS 8,649 SF OF INDOOR DISPLAY)	63,669	-----	4 SPACES / 1,000 SF	255	862	
REQUIRED PARKING DESIGNATION FOR EMPLOYEE, CUSTOMER AND/OR SERVICE USE						
GROSS FLOOR AREA (LESS 8,649 SF OF INDOOR DISPLAY)	63,669	-----	2 SPACES / 1,000 SF	127	85*	C
					42*	E
SERVICE BAYS (INCLUDES DETAILING)	-----	51	1.5 SPACES / SERVICE BAY	77	77	S
REMAINING (MAY BE USED FOR DISPLAY/INVENTORY)	-----	-----		51	64	D
					594	I

HOMAS
ENGINEERING GROUP

ILL. ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

3030 NW 31ST AVENUE SUITE 206
TAMPA, FL 33609
P. 813/574-1369
F. 813/574-1360

125 MIDTOWN TOWER
SUITE 2100
JUPITER, FL 33458
P. 561/240-7503
F. 561/240-7503

10000 W. CENTRAL EXP. SUITE 100
FORT WORTH, TEXAS 76155
P. 817/342-1111
F. 817/342-1111

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SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-SITE PLAN OVERALL

PROJECT:

**LAND ROVER/ JAGUAR
OF DELRAY BEACH
1111 W. LINTON BLVD.
DELRAY BEACH**

— FOR —
AUTONATION

DELRAY BEACH
FLORIDA



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
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MICHAEL A. TROXELL

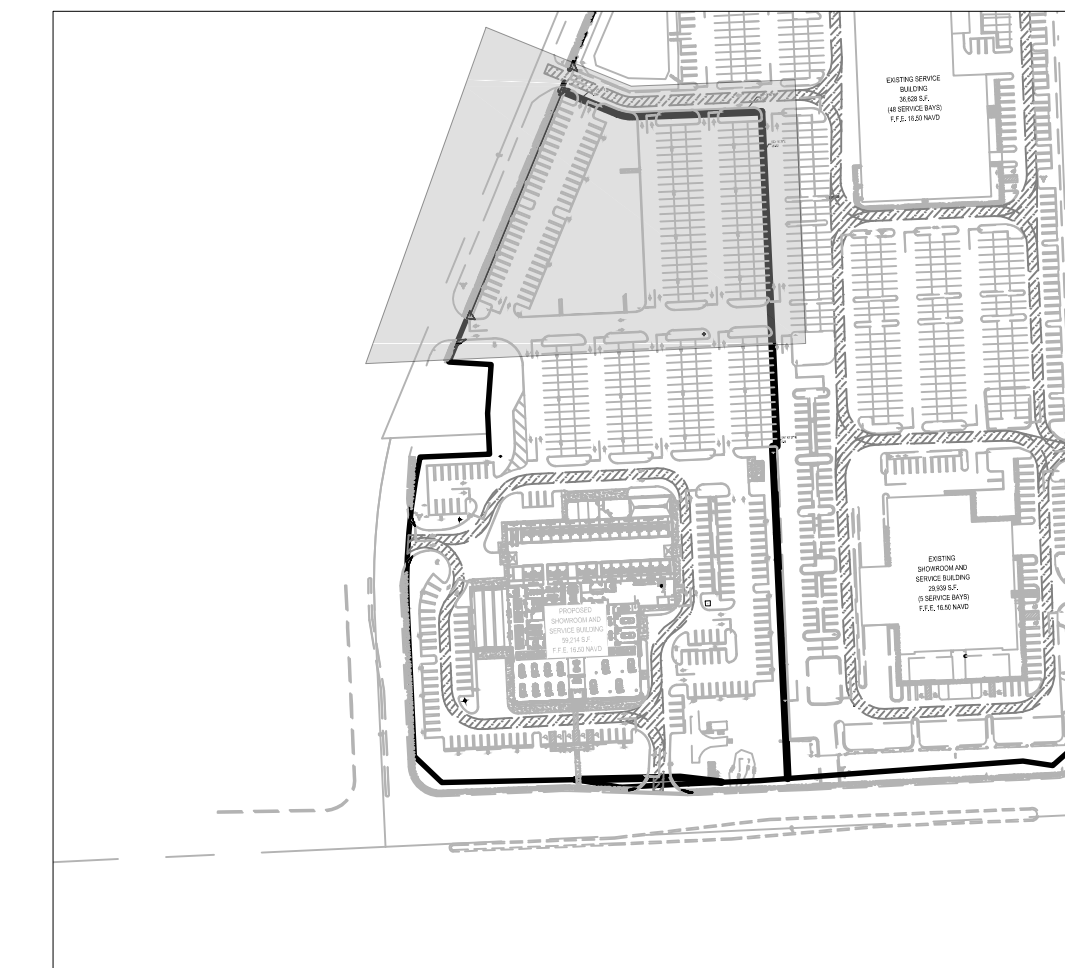
PROFESSIONAL ENGINEER
August 16, 2019
FLORIDA LICENSE No. 50572
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER

SP-01



PROP. LIGHT
POLE

◁◻◻◻ ▷◻◻◻

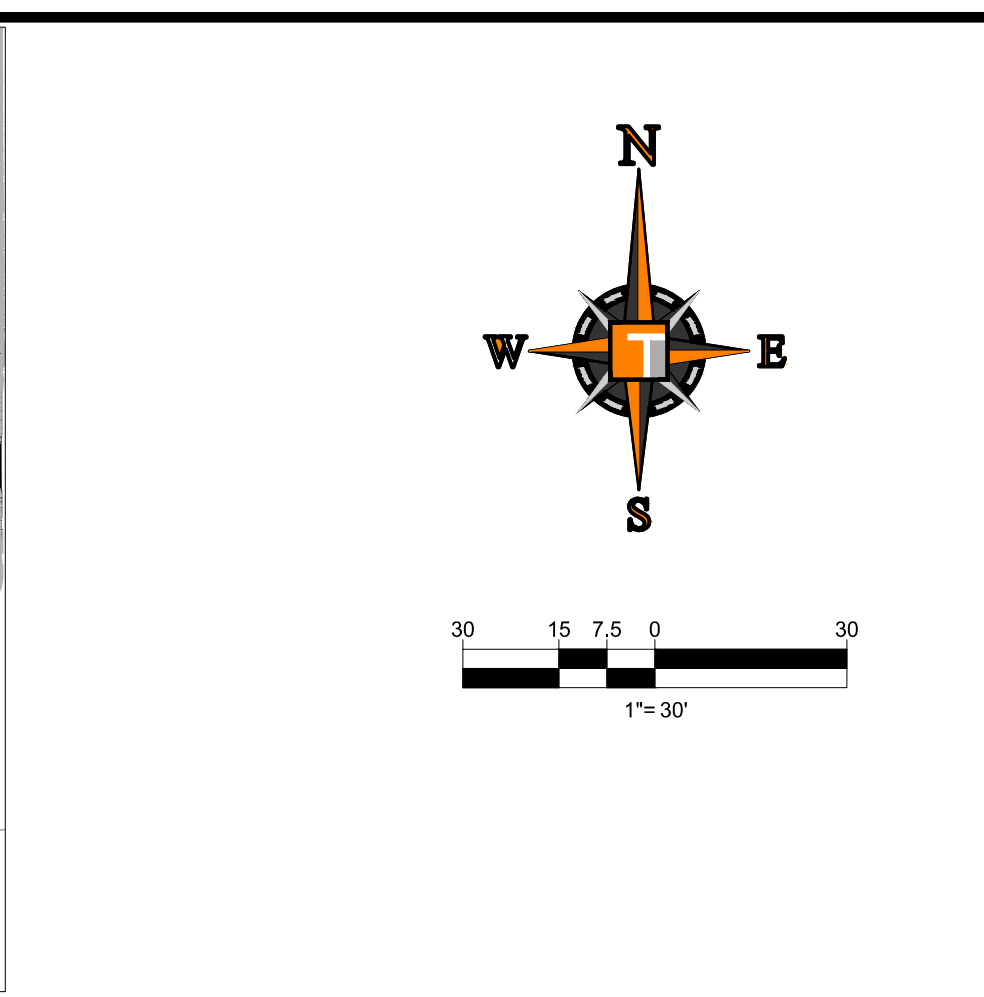
E = EMPLOYEES
I = INVENTORY
C = CUSTOMER / EMPLOYEE SPACE
D = DISPLAY
S = SERVICE

SHEET TITLE:

**LANDROVER JAGUAR
SITE PLAN**

SHEET NUMBER:

SP-03

DEMOLITION NOTES:

1. THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
3. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
 - B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. LOCATE/CAIP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITIES LOCATION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES
 - H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK, INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
4. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
5. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
6. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
7. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
8. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
9. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
10. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER AND/OR APPROPRIATE GOVERNMENT AGENCY.
11. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL REGULATIONS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
12. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
13. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
14. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
15. ALL WATER MAINS TO BE ABANDONED IN PLACE WILL BE REMOVED WATER AND SEWER SERVICE LINES TO BE ABANDONED WILL NEED TO BE REMOVED BACK TO WATER MAIN. IN ACCORDANCE WITH APPLICABLE UTILITY STANDARDS.
16. CONTRACTOR TO REMOVE/DISCONNECT ALL UTILITIES SERVING BUILDINGS PRIOR TO DEMOLITION.
17. ANY EXISTING SITE IMPROVEMENTS NOT SHOWN TO REMAIN ON THE PROPOSED PLANS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

[illegible]

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SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-DEMO PLAN

PROJECT:

**LAND ROVER/ JAGUAR
OF DELRAY BEACH
1111 W. LINTON BLVD.
DELRAY BEACH**

AUTONATION

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MICHAEL A. TROXELL

PROFESSIONAL ENGINEER
August 16, 2019
FLORIDA LICENSE No. 50572
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

CS-01

NOTE:
CONTRACTOR TO USE CAUTION WHILE REMOVING CURB
AND GUTTER SECTION NOT TO DAMAGE EXISTING
ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING
AND RESURFACING OF THE AFFECTED LANE WILL BE
REQUIRED.

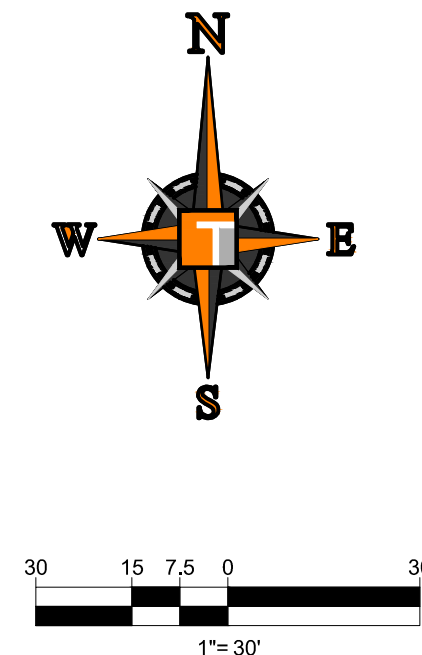
ELEVATIONS ARE BASED ON
NORTH AMERICAN VERTICAL
DATUM (NAVD) OF 1988.

HATCH LEGEND

	EXISTING PAVEMENT (TO BE REMOVED)		EXISTING CONCRETE (TO REMAIN)
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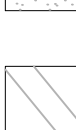
NOTE:

1. CONTRACTOR TO USE CAUTION WHILE REMOVING CURB AND GUTTER SECTION NOT TO DAMAGE EXISTING ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING AND RESURFACING OF THE AFFECTED LANE WILL BE REQUIRED.
2. ALL WATER MAINS TO BE ABANDONED IN PLACE WILL BE REMOVED SERVICE LINES WILL NEED TO BE REMOVED BACK TO THE MAIN.
3. ALL EXISTING WATER METERS NEED TO BE DISCONNECTED AT THE MAIN AND CORPORATION STOP.



DEMOLITION LEGEND		
EXISTING	TYPICAL NOTE TEXT	DEMOLITION
	UNDERGROUND CONDUIT LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND GAS LINE	
	SANITARY FORCE MAIN	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRES	
	WATER MAIN	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	SIGN	
	LIGHT	
	ELECTRICAL BOX	

HATCH LEGEND

	EXISTING PAVEMENT (TO BE REMOVED)
	EXISTING CONCRETE (TO REMAIN)
	EXISTING PAVEMENT (TO BE MILLED & RESURFACED)

NOTE:
CONTRACTOR TO USE CAUTION WHILE REMOVING CURB
AND GUTTER SECTION NOT TO DAMAGE EXISTING
ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING
AND RESURFACING OF THE AFFECTED LANE WILL BE
REQUIRED.

ELEVATIONS ARE BASED ON
NORTH AMERICAN VERTICAL
DATUM (NAVD) OF 1988.

- NOTE:**
1. CONTRACTOR TO USE CAUTION WHILE REMOVING CURB AND GUTTER SECTION NOT TO DAMAGE EXISTING ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING AND RESURFACING OF THE AFFECTED LANE WILL BE REQUIRED.
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 3. ALL EXISTING WATER METERS NEED TO BE DISCONNECTED AT THE MAIN AND CORPORATION STOP.

[illegible]

SPRAB SUBMITTAL

PROJECT No.:	F170121
DRAWN BY:	CAD
CHECKED BY:	MAT
DATE:	08-16-19
CAD I.D.:	F170121-DEMO PLAN

PROJECT:

**LAND ROVER/ JAGUAR
OF DELRAY BEACH
1111 W. LINTON BLVD.
DELRAY BEACH**

— FOR —

AUTONATION

THOMAS
ENGINEERING GROUP

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MICHAEL A. TROXELL

PROFESSIONAL ENGINEER
August 16, 2019
FLORIDA LICENSE No. 50572
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

CS-02