



Planning & Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Banyan Restaurant
Project Location: 189 NE 2nd Avenue
Request: Architectural Elevation changes

Board: Site Plan Review and Appearance Board
Meeting Date: March 23, 2016

Board Action:

Approved 4-2.

Project Description-noting staff concerns:

The property is 0.30 acres, zoned Central Business District (CBD), and is located south of the southeast corner of Pineapple Grove Way and NE 2nd Street, within the Pineapple Grove Main Street Redevelopment Area.

The proposed architectural elevation changes involve the replacement of storefront windows with a new, folding glass window. Existing entrance door will also be removed and replaced with enlarged, new folding glass Nano Doors.

Board comments:

The Board approved the proposal with no conditions.

Public input – noting comments and concerns:

No public input

Associated Actions: No actions

Next Action: The SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

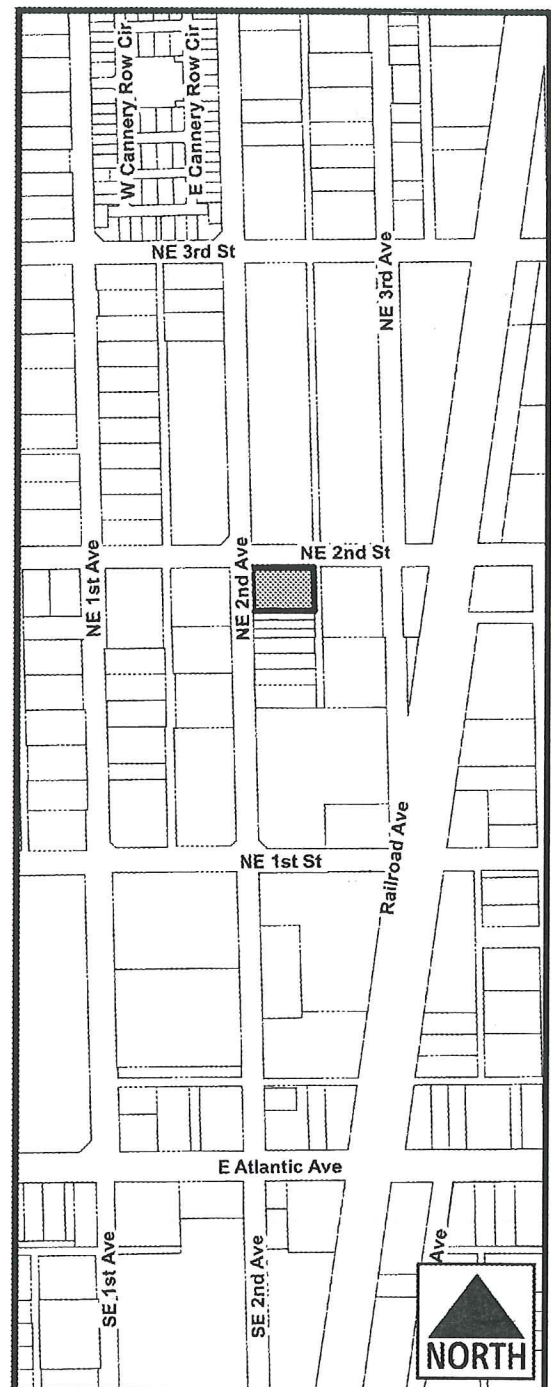
RECOMMENDATION: APPROVAL
MEETING March 23, 2016

DATE:

ITEM: Banyan Restaurant (210 NE 2nd St.): Class I Site Plan Modification associated with architectural elevation changes to the subject property.

GENERAL DATA:

Agent..... New World Restaurant Group
Location..... Southeast corner on NE 2nd Ave.
and NE 2nd St..
Property Size..... 0.29 acres
Existing FLUM..... GC (General Commercial)
Current Zoning..... Central Business District (CBD)
Adjacent Zoning..... North: CBD (Central Business District)
East: CBD (Central Business District)
South: CBD (Central Business District)
West: CBD (Central Business District)
Existing Land Use..... Restaurant





SITE PLAN REVIEW AND APPEARANCE BOARD MEMORANDUM STAFF REPORT



Applicant: New World Restaurant Group

Project Name: Banyan Restaurant

Project Location: 189 NE 2nd Avenue

ITEM BEFORE THE BOARD

The action before the Board is consideration of a Class I Site Plan Modification request for **Banyan Restaurant**, located at **189 NE 2nd Avenue**, associated with architectural elevations changes, pursuant to LDR Section 2.4.5(F).

BACKGROUND

The subject property consists of Lot 1 and a portion of Lot 2, Block 83, Town of Delray, and is 0.30 acres. The property is zoned Central Business District (CBD), and is located south of the southeast corner of Pineapple Grove Way and NE 2nd Street, within the Pineapple Grove Main Street Redevelopment Area. The most recent land use action that relates to the proposal is as follows:

At its meeting of January 23, 2002, the Site Plan Review and Appearance Board (SPRAB) approved a site plan modification associated with the conversion of the existing 1,060 square foot retail bay at the center of the complex to a restaurant and the establishment of a 365 square foot outdoor dining area along the west side (front) of the subject bay, adjacent to Pineapple Grove Way for the previous tenant Café Veri Amici.

A Class I Site Plan Modification has been submitted for architectural elevation changes to the storefront, and is now before the Board for action.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Replace storefront window with folding window.
- Replace entrance door with Nano doors.

ARCHITECTURAL ELEVATION ANALYSIS

LDR Section 4.6.18(E) Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes involve the replacement of storefront windows with new, folding glass window. Existing entrance door will also be removed and replaced with enlarged, new folding glass Nano Doors. The proposed door will have a width of 15' 6" and new proposed folding window will have a width of 9' 4". The proposed storefront changes will extend up to the face of eyebrow with a height of 7' 8". The existing windows and door height does not meet the minimum LDR requirement (Section 4.4.13(l) of 8 feet. Due to the composition of the existing structure, the proposed changes will maintain the existing door and window height, in an effort to maintain the legally non-conforming status. The introduction of the architectural changes will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the request for a Class I site plan modification for elevation changes for **Banyan Restaurant** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.
- C. Move denial of the request for a Class I site plan modification, for elevation changes for **Banyan Restaurant** by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

RECOMMENDATION

Move approval of the request for a Class I site plan modification for elevation changes for **Banyan Restaurant** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Prepared by: Michael Vinci, Planner
Attachments: Site Plan, Architectural Elevations

LEVEL II ALTERATION BANYAN RESTAURANT

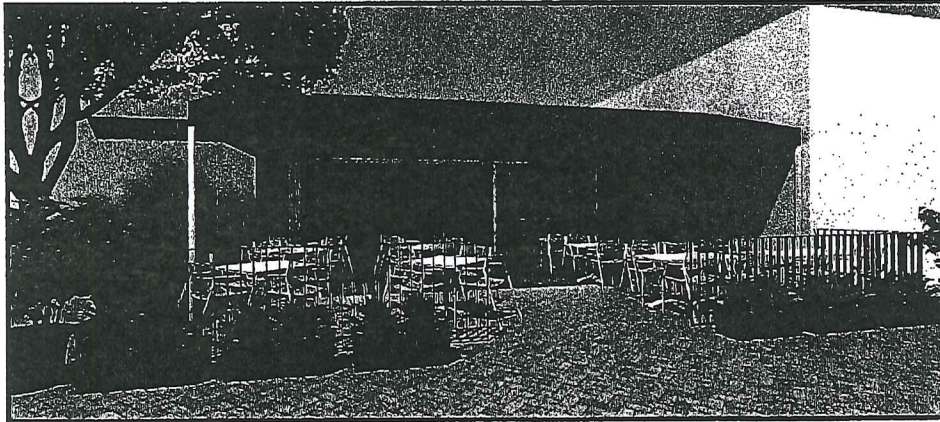
189 N.E. 2nd Avenue Delray Beach, FL

RECEIVED BY

MAR 02 2016

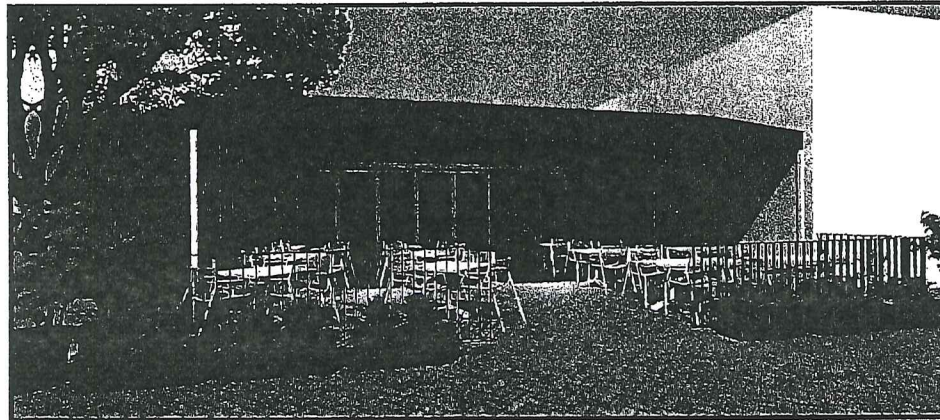
City of Delray Beach
Planning & Zoning

RECEIVED BY
RICK BRAUTIGAN
1000 N.E. 2nd Ave.
Delray Beach, FL 33444
305.226.0000
305.226.0000
305.226.0000



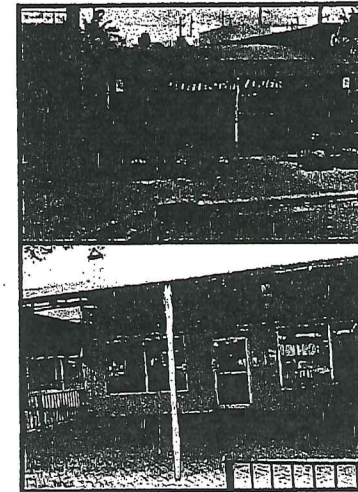
Proposed Alteration

NTS



Proposed Alteration

NTS



Existing Building

NTS

Level II Alteration
Banyan
Restaurant
189 N.E. 2nd Ave.
Delray Beach,
Florida
RAW-1471510

- Issued Date:
 12-21-15 Permit Set
 12-21-15 Review Set
 12-21-15 Occupancy
 12-21-15 Seating
 12-21-15 Windows & Doors

Before/After

NTS



189 N.E. 2nd Avenue
Delray Beach, FL

A-1.	Existing Floor Plan/Project Data	12-21-15
A-2.	Existing Floor Plan/Demo Plan	12-21-15
A-3.	Proposed Floor Plan/Seating Plan	12-21-15
A-4.	Proposed Equipment Plan/E Safety Plan	12-21-15
P-1.	Proposed Plumbing Plan	12-21-15
E-1.	Proposed Power Plan	12-21-15
E-2.	Proposed Lighting Plan	12-21-15

1. Florida Building Code 2014 (5th Edition)
2. Florida Fire Prevention Code 5th Edition 2012
3. NFPA 1 & 101 Life Safety Code Florida specific editions
4. Chapter 11 Florida Accessibility Code for Building Construction in Florida Building Code 2014 Edition.

TYPE OF CONSTRUCTION: **II B**
NO. OF STORIES: 1
Non-Sprinkled

Kitchen	375.0
Indoor dining	188.0
Bar	231.0
Restroom/Gen.	288.0
Gross Area	1,082
Outdoor dining	576.0

1. Basic Wind Speed	170
2. Wind Importance Factor	3 sea gust
3. Category	1.0
4. Wind Exposure	2
5. Internal Pressure Coefficient	C
6. Building design	See Elevation Enclosed +/- 0.18

LEVEL 1L ALTERATION TO EXISTING RESTAURANT, CONSIST OF NEW ADA RESTROOMS, NEW BAR (BEER/WINE) NEW FOLDING GLASS DOORS.



1. There is no additional square footage added.
2. All interior finishes by owner.
3. Equipment/supply/install by others.

Toilet Room Calculations:

Required Plumbing Fixtures for Use under FBC Plumbing Table 400.1

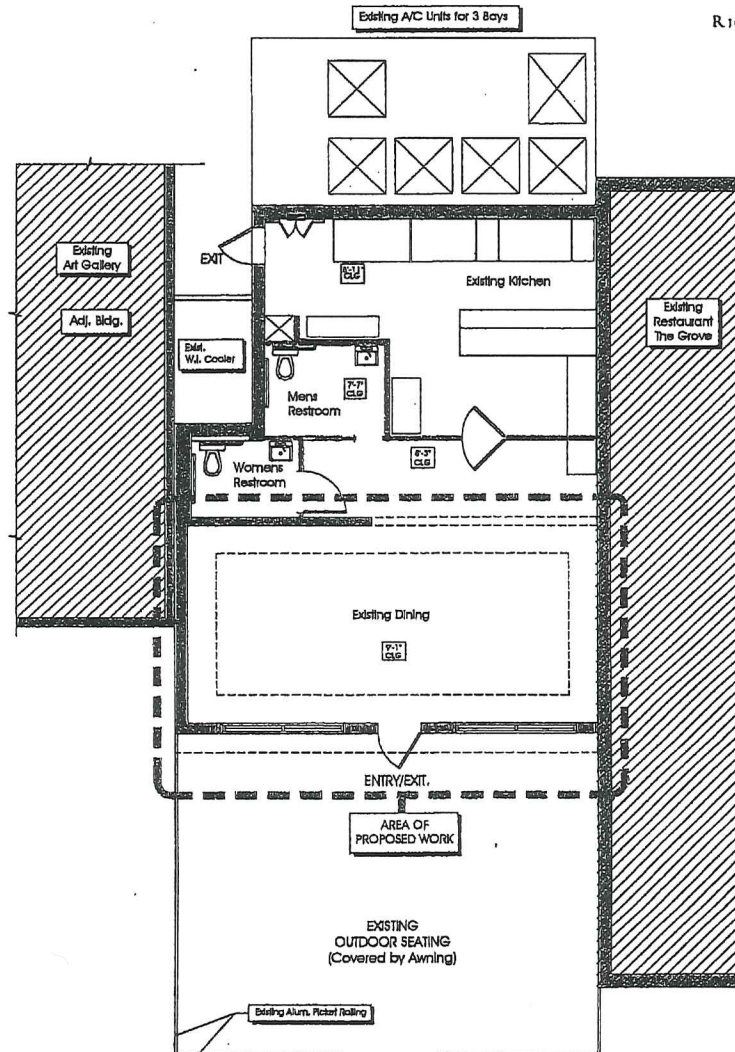
1 Water closet/
1 Lavatory
Provide:
Separate Men's and Women's Restroom with 1 WC & 1 Lav. each

ADA Access Note:
Provide level transition at entrances to building in compliance with ADA. Verify all slopes leading up to entry comply.

NFPA Interior A-2 Finish schedule per section 101.13.3.3.6

	(Assembly A-2)
Floors;	No Requirements: (B) Class
Walls;	Required: Class A, B, or C compliance
	Provided: Class A Drywall
Ceiling;	Required: Class A, B, or C compliance
	Provided: Class A Gypsum Board/ Class A Susp. Tile Ctg.

Use	S.F.	S.F./OCC.	Load
Indoor Seating	168 S.F.	15/Occ.	13
Outdoor Seating	675 S.F.	15/Occ.	39
Bar Seating	2 1/8ocal	24 1/2'	12
Kitchen/Bar	606 S.F.	200/Occ.	3
Total Occupant Load			67



Debra

Layer II Alteration
 Banyan
 Restaurant
 189 N.E. 2nd Ave.
 Delray Beach
 Florida
 408-441-1475

☐ 12-21-16 Permit Set
☐ CAG-Plan Set
☐ Review Set
☒ 1-26-16 APRAR Set
 Revision
☐ 1-16-16 Occupancy
 Issuance
☒ 1-26-16 Windows &
 door

Project Name _____
 Existing Floor Plan _____

Commercial General Notes:

1. The architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and he will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents. The architect will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents, or any of their agents or employees, or any other person performing any of the work.
2. All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing, fire codes. Contractor shall verify all code requirements and the construction documents.
3. Errors and omissions which may occur in contract documents shall be brought to the attention of the architect in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors, discrepancies, or omissions which the contractor failed to notify the architect of before construction and for fabrication of the work.
4. Contractor and subcontractors are to verify all dimensions and job conditions of the job site sufficiently in advance of work to be performed to assure the orderly progress of work. Do not scale drawings. Architect shall be notified in writing, prior to commencing any work, of any error or discrepancies in drawings or between prepared drawings and field conditions.
5. It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
6. The contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.
7. All work is to be done under the supervision of the general contractor, in accordance with the owner-contractor agreement.
8. All wood in contact with concrete or masonry or below finished floor is to be pressure treated.
9. All materials and products used for and in construction are required to have applicable products control code approval.
10. Contractor shall carry all necessary insurance as required by law and hold harmless the owner or architect from any loss, liability, claim or demand for damages arising out of or relating to the performance of the work as described by these drawings.
11. The owner shall effect and maintain fire, extended coverage and vandalism insurance for 100% of the insurable value of all construction on the site.
12. The general contractor shall guarantee all work specified and/or described by these drawings free from any defects or malfunctions for a period of one year commencing from the substantial completion date or from the time of occupancy, whichever occurs first. The general contractor is responsible for all work executed by subcontractors or other trades, plumbing equipment.
13. The contractor shall acquire all permits and licenses and pay all fees necessary for the execution of the work.

NOTES:

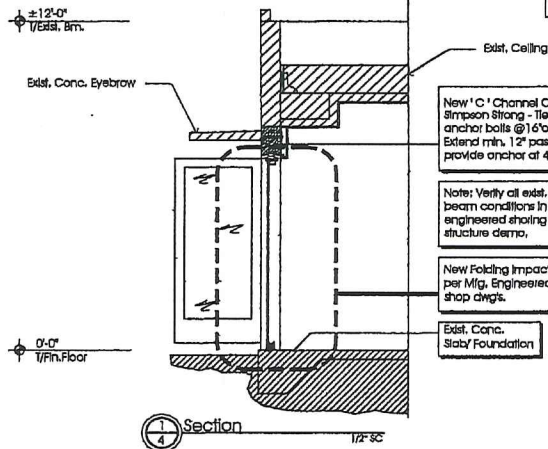
1. THERE IS NO ADDITIONAL SQUARE FOOTAGE ADDED.
2. ALL INTERIOR FINISHES BY OWNER.

Fire Extinguishers:

F.E.

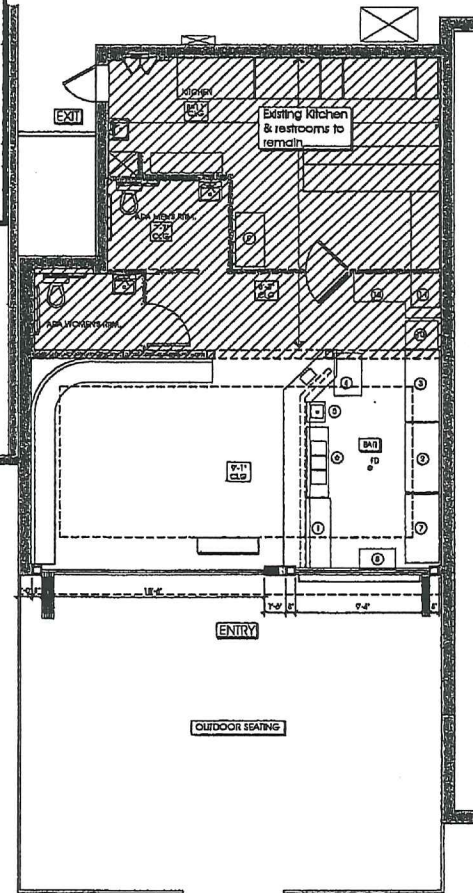
Provide fire extinguishers with a minimum rating of 5-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum travel distance of 50' between. The extinguishers are to be on the side of the location shown from exit of construction. Construction personnel shall be instructed in the use of the equipment.
Provide 2-A, 10 BC fire extinguishers of locations determined by the fire marshal for light (low) hazard occupancy. Each building location shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall identified as "extinguisher per code and requirements of the marshal."

Stucco Repair Note:
Patch and Match Exst. Stucco
Min. of 1/4" (2) Coat

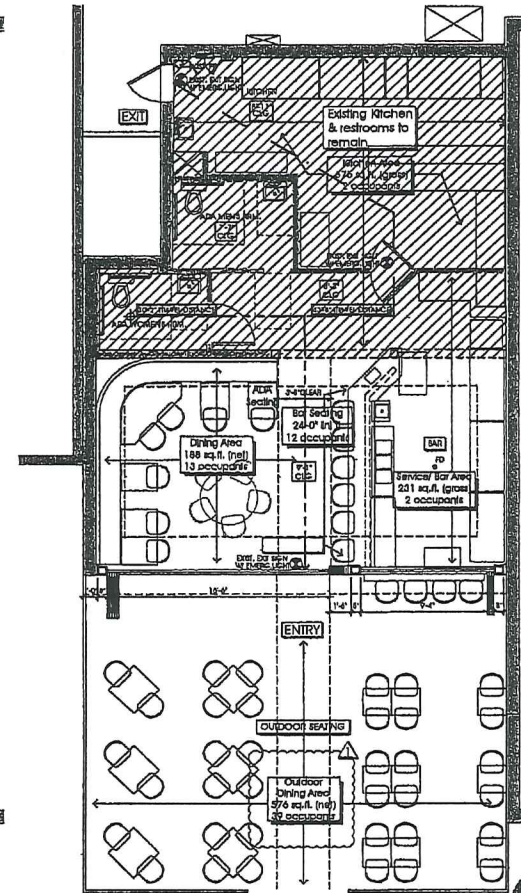


Bar Equipment Schedule:

1. 87.2" x 20.2" x 23.125" refrigerator
2. 50-1/2" x 28-1/2" x 36-3/4" draft beer cooler
3. 50-1/2" x 28-1/2" x 36-1/4" draft beer cooler
4. 24" x 24" long stainless steel bar
5. 17" wide x 16.8" deep hand sink
6. 50-1/2" x 28-1/2" x 36-3/4" 3-compartment sink
7. 50-1/2" x 28-1/2" x 36-1/4" draft beer cooler
8. 14" x 10" x 20" ice bin
9. 14" x 10" x 20" ice bin
10. 14" x 10" x 20" ice bin
11. 14" x 10" x 20" ice bin
12. 14" x 10" x 20" ice bin
13. 14" x 10" x 20" ice bin
14. 14" x 10" x 20" ice bin
15. 14" x 10" x 20" ice bin
16. 14" x 10" x 20" ice bin
17. 14" x 10" x 20" ice bin
18. 14" x 10" x 20" ice bin
19. 14" x 10" x 20" ice bin
20. 14" x 10" x 20" ice bin
21. 14" x 10" x 20" ice bin
22. 14" x 10" x 20" ice bin
23. 14" x 10" x 20" ice bin
24. 14" x 10" x 20" ice bin
25. 14" x 10" x 20" ice bin
26. 14" x 10" x 20" ice bin
27. 14" x 10" x 20" ice bin
28. 14" x 10" x 20" ice bin
29. 14" x 10" x 20" ice bin
30. 14" x 10" x 20" ice bin
31. 14" x 10" x 20" ice bin
32. 14" x 10" x 20" ice bin
33. 14" x 10" x 20" ice bin
34. 14" x 10" x 20" ice bin
35. 14" x 10" x 20" ice bin
36. 14" x 10" x 20" ice bin
37. 14" x 10" x 20" ice bin
38. 14" x 10" x 20" ice bin
39. 14" x 10" x 20" ice bin
40. 14" x 10" x 20" ice bin
41. 14" x 10" x 20" ice bin
42. 14" x 10" x 20" ice bin
43. 14" x 10" x 20" ice bin
44. 14" x 10" x 20" ice bin
45. 14" x 10" x 20" ice bin
46. 14" x 10" x 20" ice bin
47. 14" x 10" x 20" ice bin
48. 14" x 10" x 20" ice bin
49. 14" x 10" x 20" ice bin
50. 14" x 10" x 20" ice bin
51. 14" x 10" x 20" ice bin
52. 14" x 10" x 20" ice bin
53. 14" x 10" x 20" ice bin
54. 14" x 10" x 20" ice bin
55. 14" x 10" x 20" ice bin
56. 14" x 10" x 20" ice bin
57. 14" x 10" x 20" ice bin
58. 14" x 10" x 20" ice bin
59. 14" x 10" x 20" ice bin
60. 14" x 10" x 20" ice bin
61. 14" x 10" x 20" ice bin
62. 14" x 10" x 20" ice bin
63. 14" x 10" x 20" ice bin
64. 14" x 10" x 20" ice bin
65. 14" x 10" x 20" ice bin
66. 14" x 10" x 20" ice bin
67. 14" x 10" x 20" ice bin
68. 14" x 10" x 20" ice bin
69. 14" x 10" x 20" ice bin
70. 14" x 10" x 20" ice bin
71. 14" x 10" x 20" ice bin
72. 14" x 10" x 20" ice bin
73. 14" x 10" x 20" ice bin
74. 14" x 10" x 20" ice bin
75. 14" x 10" x 20" ice bin
76. 14" x 10" x 20" ice bin
77. 14" x 10" x 20" ice bin
78. 14" x 10" x 20" ice bin
79. 14" x 10" x 20" ice bin
80. 14" x 10" x 20" ice bin
81. 14" x 10" x 20" ice bin
82. 14" x 10" x 20" ice bin
83. 14" x 10" x 20" ice bin
84. 14" x 10" x 20" ice bin
85. 14" x 10" x 20" ice bin
86. 14" x 10" x 20" ice bin
87. 14" x 10" x 20" ice bin
88. 14" x 10" x 20" ice bin
89. 14" x 10" x 20" ice bin
90. 14" x 10" x 20" ice bin
91. 14" x 10" x 20" ice bin
92. 14" x 10" x 20" ice bin
93. 14" x 10" x 20" ice bin
94. 14" x 10" x 20" ice bin
95. 14" x 10" x 20" ice bin
96. 14" x 10" x 20" ice bin
97. 14" x 10" x 20" ice bin
98. 14" x 10" x 20" ice bin
99. 14" x 10" x 20" ice bin
100. 14" x 10" x 20" ice bin



Occupant Load			
Use	S.F.	S.F./OCC.	Load
Indoor Seating	188 S.F.	16/Occ.	13
Outdoor Seating	576 S.F.	15/Occ.	39
Bar Seating	2 1/2 S.F.	24 1/2'	12
Kitchen/Bar	606 S.F.	200/Occ.	3
Total Occupant Load			67



RICK BAUTIGAN

10433 13TH AVE. N.E.
BELLINGHAM, WA 98225
PH: 360-735-1234
FAX: 360-735-1234
E-MAIL: rick@rickbautigan.com

Level: Atlantic
Baby's
Restroom
182nd 2nd Ave
Delaware Beach
Flt
RAW-10-14751

NOTES:
1. 1/4\"/>

2. 1/4\"/>

3. 1/4\"/>

4. 1/4\"/>

5. 1/4\"/>

6. 1/4\"/>

7. 1/4\"/>

8. 1/4\"/>

9. 1/4\"/>

