

NOTES:
BASE INFORMATION FROM PLAT PROVIDED BY CAULFIELD AND WHEELER ON 08-24-2020.
S.W.E. = SIDEWALK EASEMENT
G.U.E. = GENERAL UTILITY EASEMENT
L.A. = LANDSCAPE ARCHITECT
S.B. = SETBACK



Barwick Road Street Scene

(STREETSCAPE ARCHITECTURE IS CONCEPTUAL AND PROVIDED FOR GRAPHIC PURPOSES TO ILLUSTRATE MASSING)

Scale: 1"=40'



Barwick Road Enlarged Partial Street Scene

(STREETSCAPE ARCHITECTURE IS CONCEPTUAL AND PROVIDED FOR GRAPHIC PURPOSES TO ILLUSTRATE MASSING)

Scale: 1"=10'

THE FOLLOWING FIRE CODES ARE FOLLOWED:
FLORIDA FIRE PREVENTION CODE 6TH EDITION, FLORIDA SPECIFIC NFPA 1 FIRE CODE, 2015 ED., FLORIDA NFPA 101 LIFE SAFETY CODE, 2015 ED.

WAIVER REQUESTS:
1) PURSUANT TO LDR SECTION 4.3.4(H)(3)(a), ZERO LOT LINE SETBACKS REQUIRED TO BE 15'-0" THROUGHOUT THE DEVELOPMENT. REQUEST FOR 10'-0" SIDE SETBACKS THROUGHOUT THE DEVELOPMENT.
2) PURSUANT TO LDR SECTION 3.4.3(K) TABLE 601, DEVELOPMENT STANDARDS MATRIX FOR CORNER LOTS REQUIRED TO BE 60'-0" WIDE THROUGHOUT THE DEVELOPMENT. REQUEST FOR ONLY (2) CORNER LOTS TO BE 40'-0" WIDE THROUGHOUT THE DEVELOPMENT.
3) PURSUANT TO LDR SECTION 6.1.3(B)(1)(b), SIDEWALK WIDTH REQUIRED TO BE MINIMUM 5'-0" WIDE THROUGHOUT DEVELOPMENT. REQUEST FOR 4'-0" SIDEWALK THROUGHOUT THE DEVELOPMENT.

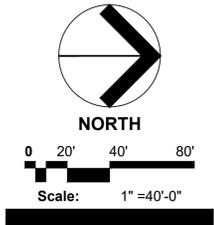
SITE CALCULATIONS		
	Square Feet	Percentage
Total Site Area =	290,981	100.0%
Impervious Area =	195,584	67.2%
Pervious Area =	95,396	32.8%
Site Coverage =	76,230	26.2%
Percentage Open Space = (Minimum 25% Non-Vehicular Open Space Required)	95,396	32.8%
Impervious Right of Way =	47,068	16.2%
Pervious Right of Way =	7,083	2.4%
Total Right of Way =	54,151	18.6%

BUILDING SETBACKS		
	Required	Provided
Front Setback	20'-0"	20'-0"
Rear Setback	10'-0"	10'-0"
Side Setback - Zero Side	0'-0"	0'-0"
Side Setback - Non Zero Side	15'-0"	10'-0" (Waiver Request)

BUILDING LOT REQUIREMENTS		
Lot Size =	4,500 SQ. FT.	MIN. 4,516 SF (REFER TO LOT)
Lot Width =	40.00'	40.00'
Lot Depth =	80.00'	112'-0" - MIN. (REFER TO LOT)
Lot Frontage =	40.00'	40.00'
Building Height =	35'-0"	35'-0" MAX (FROM C. OF R.)

PARKING BREAKDOWN		
PARKING REQUIRED: SINGLE FAMILY RESIDENCE: CALCULATED @ 2 SPACE PER UNIT = 40 x 2 = 80 SPACES		
PARKING PROVIDED:		
2-STORY HOMES:	= 2 PER HOUSE	
ON STREET PARKING:	= 12 TOTAL	
TOTAL PROVIDED:	= 92 SPACES	

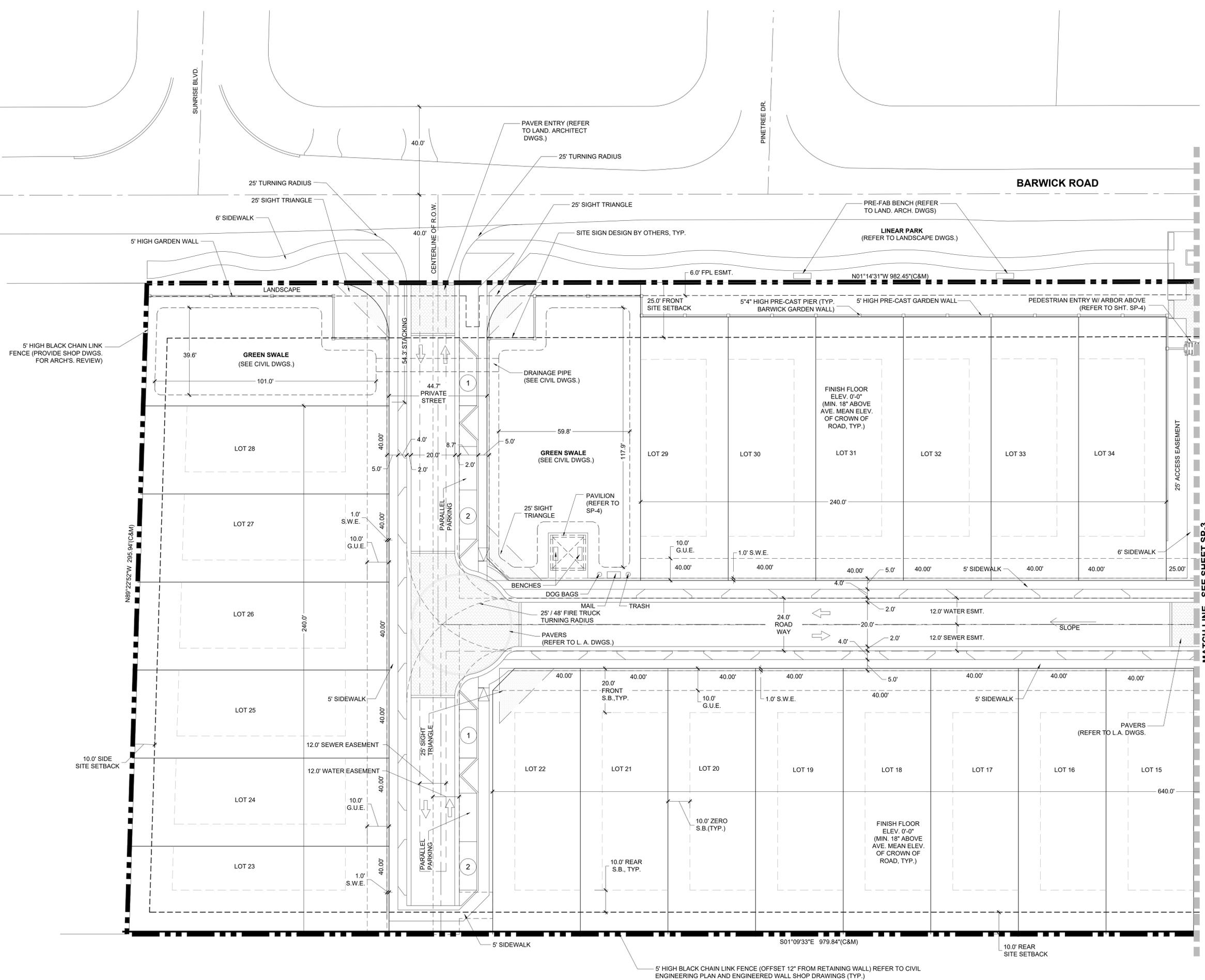
Banyan Court
Barwick Road
City of Delray Beach, Florida
Overall Site Plan



Date: 08-25-2020
Project No.: 20-103.000
Designed By:
Drawn By: WJT
Checked By: BDM

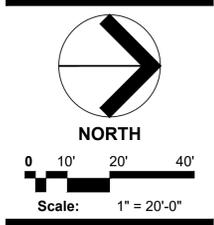
Revision Dates:	
08-26-2020	RESUBMITTAL
09-25-2020	RESUBMITTAL

SP-1
of 5



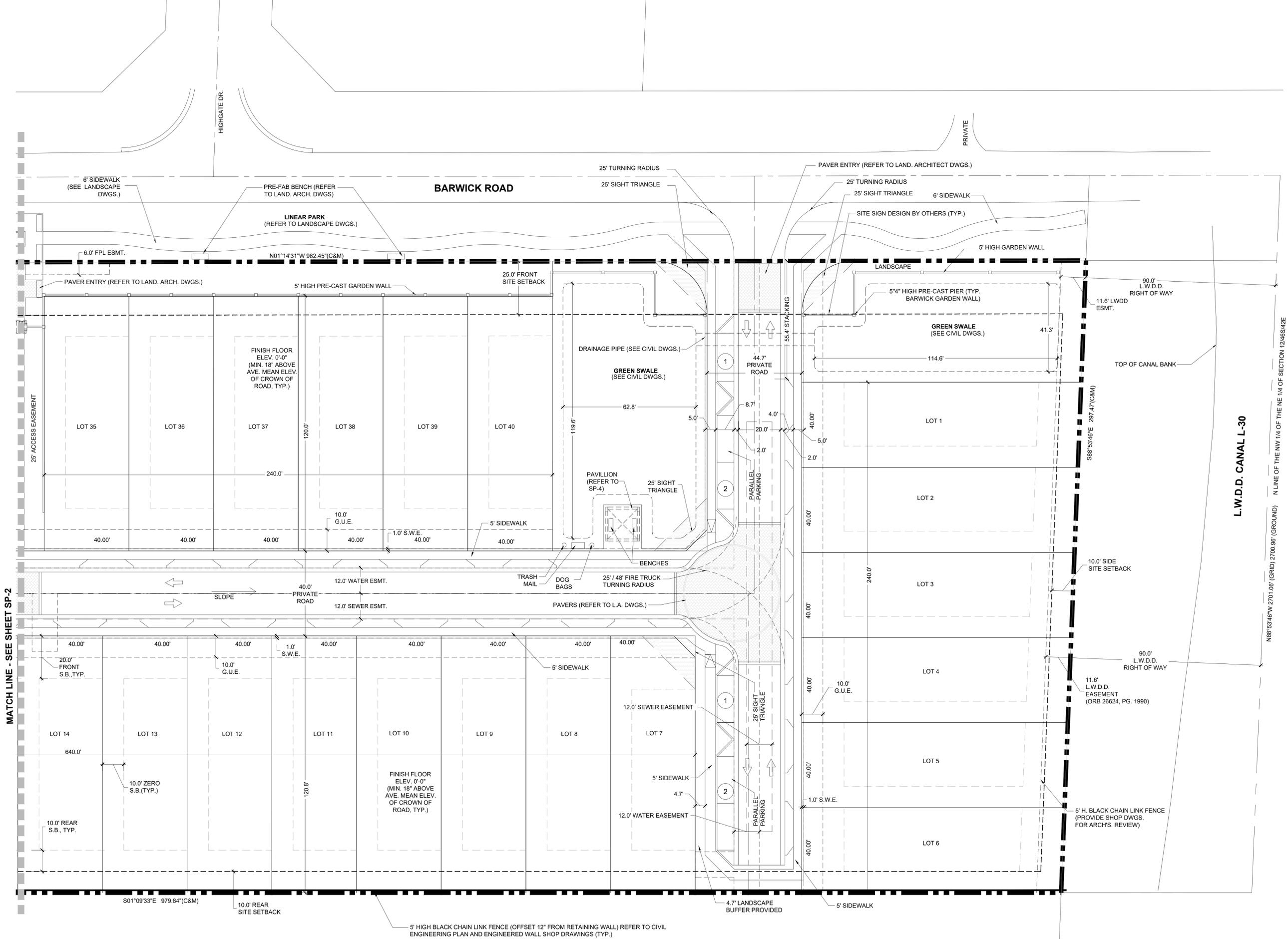
Banyan Court Barwick Road

City of Delray Beach, Florida
Site Plan Enlargement - South

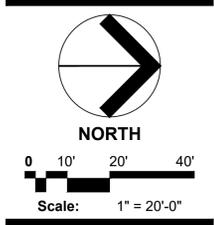


Date: 08-25-2020
Project No.: 20-103.000
Designed By:
Drawn By: WJT
Checked By: BDM

Revision Dates:
08-26-2020 RESUBMITTAL



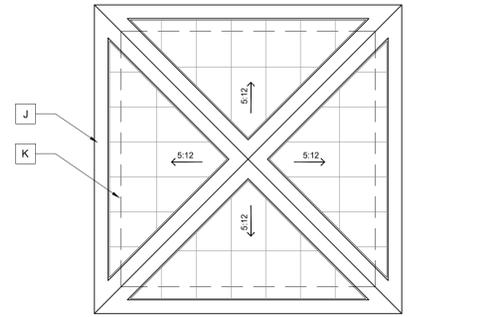
Banyan Court Barwick Road City of Delray Beach, Florida Site Plan Enlargement - North



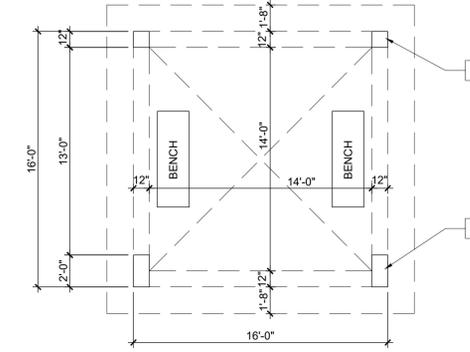
Date: 08-25-2020
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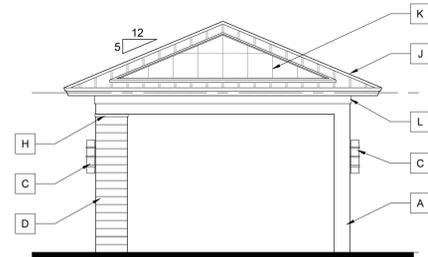
KEY NOTES	
A	SMOOTH STUCCO FINISH
B	4" SMOOTH STUCCO FINISH BANDING
C	LIGHT FIXTURE
D	WOOD LOOK PORCELAIN TILE
E	6"x6" ALUMINUM ARBOR
F	PRE-CAST WALL PANEL TOP +5'-0" ABV. FIN. GRADE (SEE SITE PLAN)
G	PRE-CAST PIER TOP +5'-4" ABOVE FINISH GRADE (SEE SITE PLAN)
H	2" SMOOTH STUCCO FINISH BANDING
J	METAL ROOF
K	SOLAR PANEL FOR CELL PHONE CHARGING STATION ONLY
L	6" SMOOTH STUCCO FRIEZE BOARD



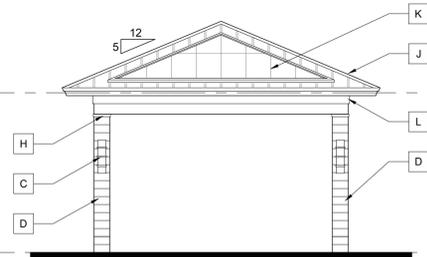
Roof Plan
Scale: 3/16"=1'-0"



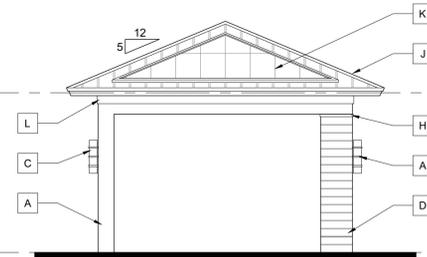
Floor Plan
Scale: 3/16"=1'-0"



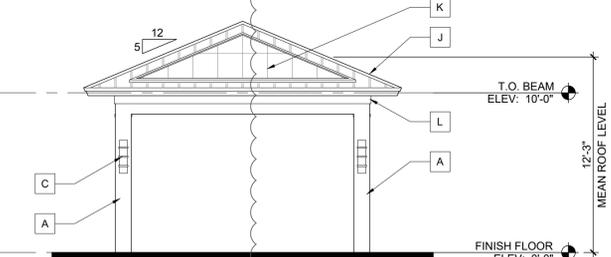
South (Side) Elevation
Scale: 3/16"=1'-0"



West (Rear) Elevation
Scale: 3/16"=1'-0"



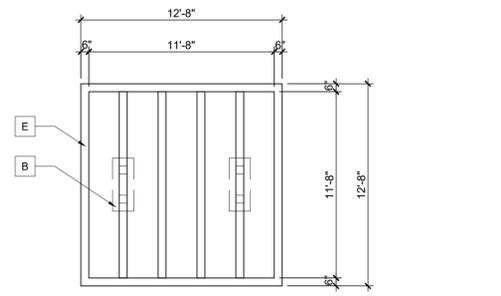
North (Side) Elevation
Scale: 3/16"=1'-0"



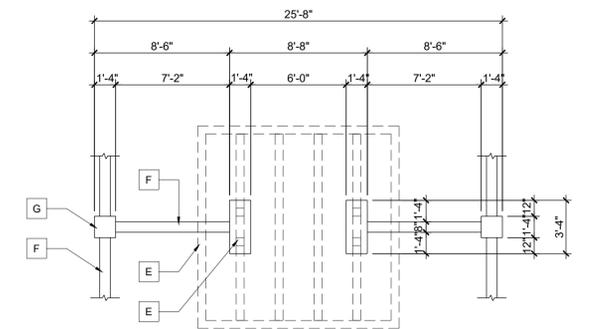
East (Front) Elevation
Scale: 3/16"=1'-0"

PAVILLION W/ SOLAR PANEL ROOF

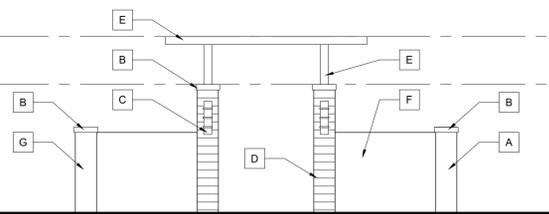
KEY NOTES	
A	SMOOTH STUCCO FINISH
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C	LIGHT FIXTURE
D	WOOD LOOK PORCELAIN TILE
E	6"x6" ALUMINUM ARBOR
F	PRE-CAST WALL PANEL TOP +5'-0" ABV. FIN. GRADE (SEE SITE PLAN)
G	PRE-CAST PIER TOP +5'-4" ABOVE FINISH GRADE (SEE SITE PLAN)
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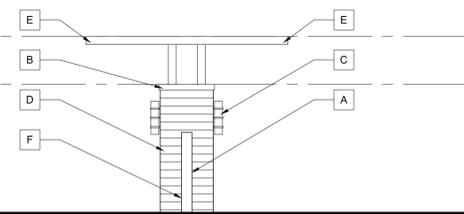
Roof Plan
Scale: 3/16"=1'-0"



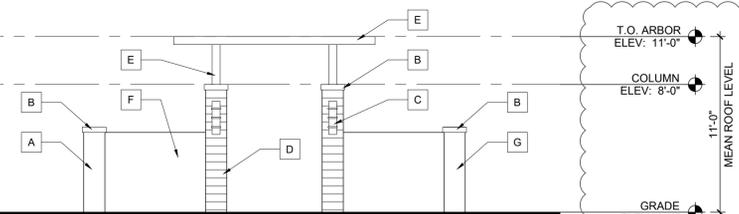
Floor Plan
Scale: 3/16"=1'-0"



East (Rear) Elevation
Scale: 3/16"=1'-0"

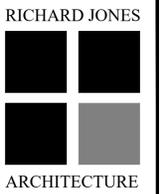


North (Side) Elevation
Scale: 3/16"=1'-0"



West (Front) Elevation
Scale: 3/16"=1'-0"

PEDESTRIAN ENTRY W/ ARBOR



RICHARD JONES
ARCHITECTURE

WWW.RJARCHITECTURE.COM

BANYAN COURT
BARWICK ROAD
DELRAY BEACH, FLORIDA
STELLAR COMMUNITIES
2700 WEST CYPRESS CREEK ROAD, SUITE D-118
FORT LAUDERDALE, FL 33309

FLORIDA LICENSURE

AA26001617 | IB26001056
COMMISSION # 18-059
DESIGNER: RJ
DRAWN BY: GJ
PLAN REVIEW: RJ

SUBMITTALS:
ISSUED TO ZONING 05.03.19
#1 ZONING COMMENTS 07.15.19
#2 ZONING COMMENTS 08.23.19
#3 ZONING COMMENTS 10.28.19
#4 ZONING COMMENTS 07.06.20

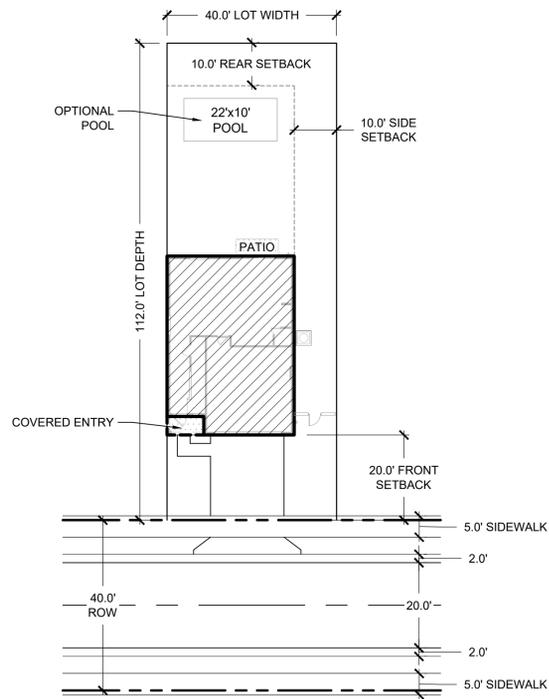
REVISIONS:

SITE
STRUCTURE
PLAN

SP-4

RICHARD JONES ARCHITECTURE

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ATLANTA MODEL
ZERO LOT LINE, 40' x 112'

FRONT SETBACK: 20'
SIDE SETBACK: 0' / 10'
REAR SETBACK: 10'
MAX. LOT COVERAGE: 55%, 2,460 SF
NUMBER OF STORIES: 2

BREAKDOWN
ELEVATION "C"
1ST FLOOR LIVING: 780 SF
2ND FLOOR LIVING: 1,089 SF

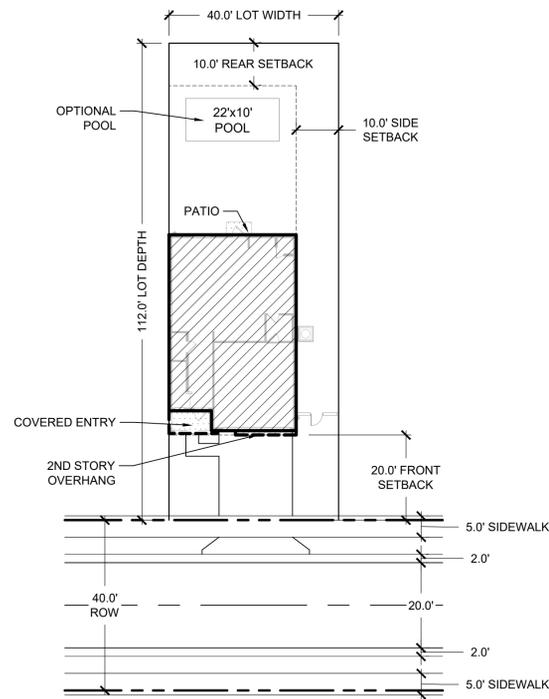
COVER ENTRY: 38 SF
2 CAR GARAGE: 443 SF
PATIO: 40 SF

LOT COVERAGE: 1,301 SF (29.0%)
(FIRST FLOOR, ENTRY, GARAGE, PATIO)

ELEVATION "S"
1ST FLOOR LIVING: 780 SF
2ND FLOOR LIVING: 1,093 SF

COVER ENTRY: 38 SF
2 CAR GARAGE: 443 SF
PATIO: 40 SF

LOT COVERAGE: 1,301 SF (29.0%)
(FIRST FLOOR, ENTRY, GARAGE, PATIO)



BOSTON MODEL
ZERO LOT LINE, 40' x 112'

FRONT SETBACK: 20'
SIDE SETBACK: 0' / 10'
REAR SETBACK: 10'
MAX. LOT COVERAGE: 55%, 2,460 SF
NUMBER OF STORIES: 2

BREAKDOWN
ELEVATION "C"
1ST FLOOR LIVING: 931 SF
2ND FLOOR LIVING: 1,287 SF

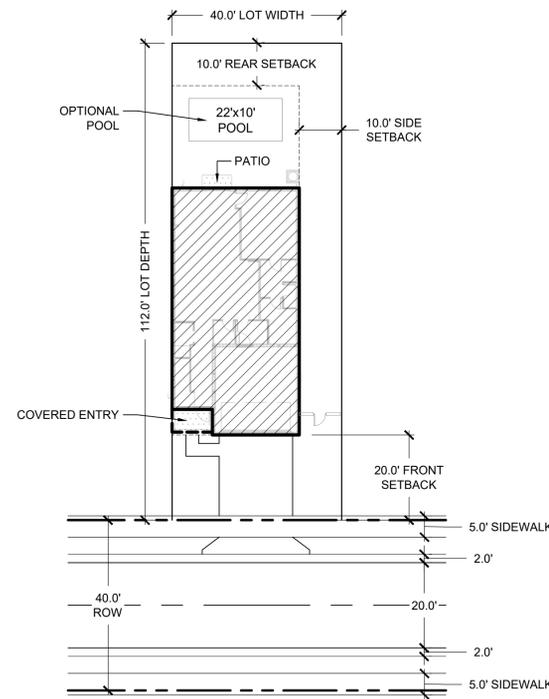
COVER ENTRY: 54 SF
2 CAR GARAGE: 403 SF
PATIO: 18 SF

LOT COVERAGE: 1,406 SF (31.8%)
(FIRST FLOOR, ENTRY, GARAGE, PATIO)

ELEVATION "S"
1ST FLOOR LIVING: 931 SF
2ND FLOOR LIVING: 1,287 SF

COVER ENTRY: 26 SF
2 CAR GARAGE: 403 SF
PATIO: 18 SF

LOT COVERAGE: 1,378SF (30.8%)
(FIRST FLOOR, ENTRY, GARAGE, PATIO)



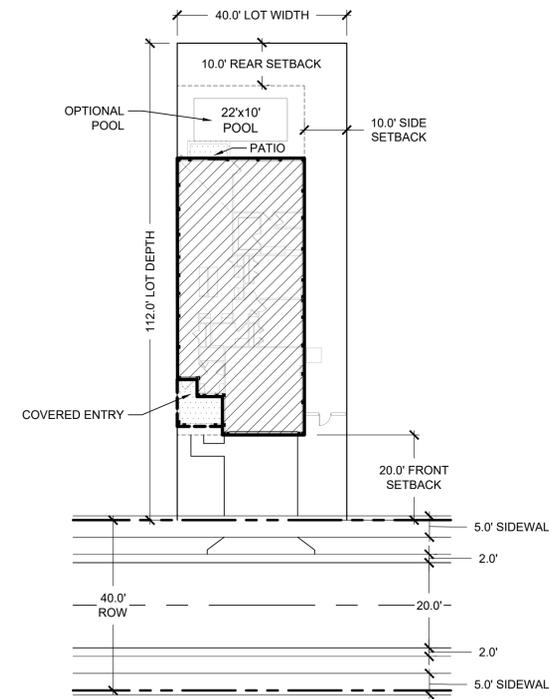
COLUMBIA MODEL
ZERO LOT LINE, 40' x 112'

FRONT SETBACK: 20'
SIDE SETBACK: 0' / 10'
REAR SETBACK: 10'
MAX. LOT COVERAGE: 55%, 2,460 SF
NUMBER OF STORIES: 2

BREAKDOWN
ELEVATION "C" & "S"
1ST FLOOR LIVING: 1,269 SF
2ND FLOOR LIVING: 1,140 SF

COVER ENTRY: 51 SF
2 CAR GARAGE: 414 SF
PATIO: 21 SF

LOT COVERAGE: 1,755 SF (39.2%)
(FIRST FLOOR, ENTRY, GARAGE, PATIO)



ANNAPOLIS MODEL
ZERO LOT LINE, 40' x 112'

FRONT SETBACK: 20'
SIDE SETBACK: 0' / 10'
REAR SETBACK: 10'
MAX. LOT COVERAGE: 55%, 2,460 SF
NUMBER OF STORIES: 1

BREAKDOWN
ELEVATION "S"
1ST FLOOR LIVING: 1,437SF

COVER ENTRY: 19 SF
2 CAR GARAGE: 398 SF

LOT COVERAGE: 1,854 SF (41.4%)
(FIRST FLOOR, ENTRY, GARAGE)

ELEVATION "C"
1ST FLOOR LIVING: 1,437SF

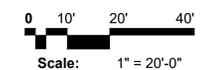
COVER ENTRY: 93 SF
2 CAR GARAGE: 398 SF

LOT COVERAGE: 1,928 SF (43.0%)
(FIRST FLOOR, ENTRY, GARAGE)

Banyan Court Barwick Road

City of Delray Beach, Florida

Site Plan - Typical Lot Layout Details



Date: 08-25-2020
Project No.: 20-103.000
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