



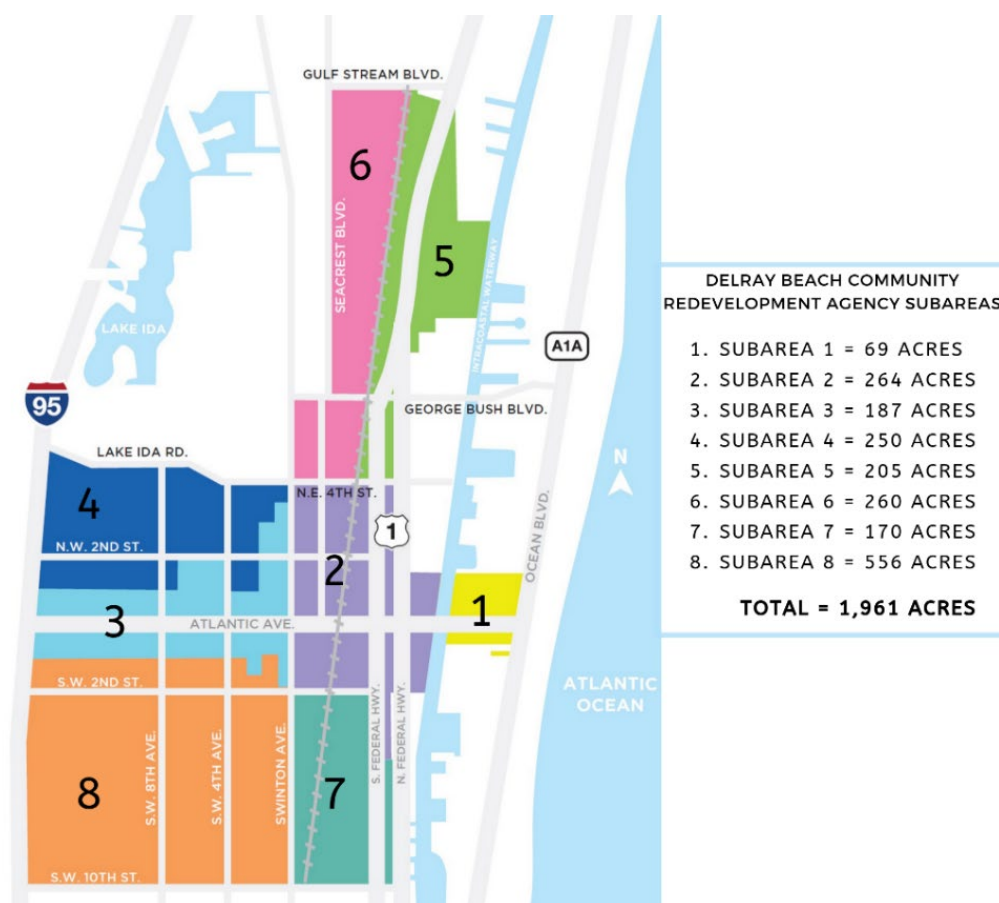
## Delray Beach Community Redevelopment Agency

### June & July 2025 Monthly Work Plan Report

#### OVERVIEW

On September 24, 2024, the CRA Board of Commissioners adopted the Work Plan and Budget for Fiscal Year 2024-25. The Work Plan and Budget include projects and programs that emphasize the elimination of slum and blight through street beautification, improved mobility, preservation and development of affordable housing, commercial development, planning initiatives, historic preservation, and economic development initiatives within the CRA District which is divided into 8 Sub-Areas.

This report provides an overview of the status of the projects and programs in the Work Plan and other CRA activities within the CRA District Sub-Areas.



## Overview of Projects by CRA Sub-Area

<u>Sub-Area 1</u> N/A	<u>Sub-Area 5</u> N/A
<u>Sub-Area 2</u> <ul style="list-style-type: none"> <li>Artist Alley – East of NE 3rd Avenue, between NE 3rd Street and NE 4th Street (CIP)</li> <li>Old School Square Master Plan - Implementation</li> <li>Arts Warehouse Maintenance</li> </ul>	<u>Sub-Area 6</u> N/A
<u>Sub-Area 3</u> <ul style="list-style-type: none"> <li>NW 600 Block Redevelopment</li> <li>NW 800 Block Redevelopment</li> <li>98 NW 5th Avenue Signage</li> <li>95 SW 5th Avenue Development</li> <li>102 NW 5th Avenue Maintenance</li> <li>20 N Swinton Avenue Maintenance</li> <li>Demolition               <ul style="list-style-type: none"> <li>700 West Atlantic Avenue</li> <li>23 NW 7th Avenue</li> </ul> </li> </ul>	<u>Sub-Area 7</u> <ul style="list-style-type: none"> <li>Currie Commons Restrooms</li> </ul>
<u>Sub-Area 4</u> <ul style="list-style-type: none"> <li>Pompey Park (CIP)</li> <li>NW Neighborhood Improvements (CIP)</li> </ul>	<u>Sub-Area 8</u> <ul style="list-style-type: none"> <li>SW Neighborhood Alleys (CIP)</li> <li>Carver Square Park</li> <li>Merrit Park</li> </ul>
<u>Projects in Multiple Sub-Areas</u>	
<u>Sub-Areas 1-8</u> <ul style="list-style-type: none"> <li>Wayfinding Signage (CIP)</li> </ul>	

# Redevelopment and Capital Improvements Projects

## CRA Managed

Project Name	Phase	CRA Sub-Area	Update
95 SW 5 <sup>th</sup> Avenue Design <u>CRA GL #: 6214</u>	Construction	3	<p><u>Waiver Request</u>: SPRAB: Approved 4-28-21.  <u>City Commission (Waiver)</u>: Approved: 5-18-21.  <u>Class V (Site Plan)</u>: SPRAB: Approved 8-25-21.  <u>Easements &amp; Agreements</u>: Approved and Recorded.  <u>Site Plan Certification</u>: Approved.  <u>Building Permit Submittal</u>: 1-10-22. In review.  <u>Contract with Ahrens Companies (GC) Approved</u>: 1-24-23.  A groundbreaking ceremony on 7-12-23 was well attended.  Construction is ongoing.</p>
NW 600 Block Redevelopment <u>CRA GL #: 5120</u>	Conceptual Design	3	<p>FLUM and Rezoning Approved.  <u>CRA Conceptual Design</u>: CRA Board: Selected Site Plan Option A.  <u>Architectural and Design Services</u>: RFQ: Published: 3-8-21. RFQ awarded at the 8-31-21 CRA Board meeting.  CRA Board approved agreement between Synalovski, Romanik and Saye Architects and CRA at the 11-26-23 CRA Board Meeting.  Consultant is working on development options, and meetings with City staff are scheduled to discuss preliminary concerns and questions.  An update on the designs was provided at the CRA Workshop on 10-29-24.  A CRA social event held on 12-5-24 was well attended in which the community provided input about this project.  Consultant is working on updated designs and having meetings with City staff regarding the site plan application.</p> <p><u>Hatcher Construction Project</u>: Conditional Use: Approved 1-5-2021. Site Plan Approved: 2-10-21. Easements, right of way deed and landscape maintenance agreement approved: 4-6-21. At the 7-15-21 CRA Board Meeting, CRA Staff presented a purchase and sale agreement (PSA) to the Board. Hatcher and CRA staff are finalizing details of the PSA. Building Permit Application approved in October.  At the 10-20-21 CRA Board Meeting, CRA Board approved a Loan Commitment Letter to provide Hatcher a \$1.4 million loan from the CRA to bridge their private financing gap. Construction commenced. The Groundbreaking ceremony on 12-9-21 was well attended. A ribbon cutting ceremony on 12-6-23 was well attended.  Hatcher moved to the new offices and the first tenant moved in June, 2024.</p>
NW 800 Block of West Atlantic Avenue <u>CRA GL #: 5124</u>	Conceptual Design	3	<p><u>805 W. Atlantic Ave. Site</u>: Consultant is working on delineating the plume. A remediation process will follow. Pending State/County determination of median remediation.</p>

			<p><u>Conceptual Design:</u> CRA Board approved the proposed next steps at 1-25-22 CRA Board Meeting. CRA staff and consultant are working on the next tasks.</p> <p>CRA Board approved the final conceptual design presented at the 9-29-22 CRA Board Meeting.</p> <p>CRA staff issued a Request for Qualifications (RFQ) with the following dates:</p> <p>RFQ Issued: October 4, 2024.</p> <p>A voluntary pre-proposal meeting was scheduled on October 18, 2024.</p> <p>Questions submittal deadline on November 13, 2024.</p> <p>Submission Deadline: December 18, 2024.</p> <p>3 proposals were received. CRA Board approved the cancellation of the received proposals and directed staff to reissue the RFQ.</p> <p>RFQ Issued: January 30, 2025.</p> <p>A voluntary pre-proposal meeting was scheduled for February 12, 2025.</p> <p>Questions submittal deadline: February 21, 2025.</p> <p>Submission Deadline: March 18, 2025.</p> <p>Selection committee meeting: June 12, 2025</p> <p>An agenda item will be discussed in the July CRA Board meeting.</p>
CRA Redevelopment Plan Amendment <u>CRA GL #: 8409</u>	Planning – 50%	1-8	<p>CRA Board approved the resuming of the project at 1-25-22 CRA Board Meeting. Interviews are completed.</p> <p>An agenda item was presented at the CRA Board meeting on 8-29-24 to request Board input on the draft report.</p> <p>CRA staff and consultant are working on a final draft report.</p> <p><a href="https://www.surveymonkey.com/r/CRAPlanSurvey">https://www.surveymonkey.com/r/CRAPlanSurvey</a></p>
Set Transformation Plan Update <u>CRA GL #: TBD</u>	Planning	3, 4, 8	<p>An update on the Set Transformation Plan was presented at the CRA Workshop on 10-29-24.</p> <p>A CRA social event held on 12-5-24 was well attended in which the community provided input on the Set Transformation Plan update.</p> <p>CRA staff and community members have had several meetings to discuss the plan update.</p> <p>CRA engaged with a consultant.</p> <p>A public outreach meeting was well attended on May 28, 2025, in which the community provided input on the Plan.</p> <p>CRA staff and consultants are scheduling two more public outreach meetings to receive public input on the plan.</p>

## Projects Completed

Historic Wellbrock House Relocation <u>CRA GL#: 8405</u>	Corey Jones Isle Replat (Lot 1 and Lot 2) <u>CRA GL#: 6621</u>
Historic Wellbrock House Local Historic Designation <u>CRA GL#: 8405</u>	NW 600 Block Future Land Use Map Amendment and Rezoning <u>CRA GL#: 5120</u>

Historic Wellbrock House Certified Site Plan Approval <u>CRA GL#: 8405</u>	<u>Rev. J.W.H. Thomas Jr. Park – Landscaping Upgrades SWA Grant</u>
Corey Jones Isle Workforce Housing <u>CRA GL#:6621</u>	98 NW 5 <sup>th</sup> Avenue Renovation – Certified Site Plan Approval <u>CRA GL #: 6208</u>
95 SW 5 <sup>th</sup> Avenue Design – Certified Site Plan Approval <u>CRA GL #: 6214</u>	34 NW 6 <sup>th</sup> Avenue – Property Demolition <u>CRA GL #: 6214</u>
Historic Wellbrock House - Historic Preservation <u>CRA GL #: 8405</u>	Historic Wellbrock House - Historic Preservation Project <u>CRA GL #: 8405</u>
<u>Rev. J.W.H. Thomas Jr. Park - SWA Grant</u> <u>CRA GL #: 5366</u>	606 W. Atlantic Avenue (Schuler's) – Property Demolition <u>SWA Grant</u> <u>CRA GL #: 5123</u>
Carver Square <u>CRA GL #: 6621</u>	250 NW 8 <sup>th</sup> Avenue -Property Demolition <u>CRA GL #: TBD</u>
324 & 325 NE 3 <sup>rd</sup> Ave/Water Main Infrastructure Improvement Grant <u>CRA GL #: 5251</u>	Fixed-Route Transportation Services <u>CRA GL #: 5320</u>
Point-to-Point Transportation Services (Transferred) <u>CRA GL #: 5320</u>	98 NW 5 <sup>th</sup> Avenue Renovation <u>CRA GL #: 6208</u>
700 W. Atlantic Avenue – Property Demolition <u>CRA GL #: TBD</u>	27 NW 7 <sup>th</sup> Ave – Parking Demolition <u>CRA GL #: TBD</u>

## City Managed

Project Name	Phase	CRA Sub-Area	Percentage Complete	Update
NW Neighborhood Improvements <u>City Project #: 17-020</u> <u>CRA GL #: 5622</u>	Design	4	60%	<u>Design Services:</u> NTP for the design: 11-15-21. First Public Outreach: 1-27-22 at 6 p.m. Pompey Park. Public outreach the residents want the city to on Traffic Calming, Neighborhood Identification Signs, and alleyways. The city started the Charettes on April 6 <sup>th</sup> . and ended on May 5 <sup>th</sup> . Consultant is working on the following: - Specific Utilities design maps to provide to the utilities department for Phase I, II, and III. - Public outreach meetings were planned for Fall 2024, one meeting for each of the 3 phases. - Legal descriptions for the private R/W needed for the construction of sidewalks and utility installations. - Design work is ongoing for all 3 phases.

				<p>- A Public Outreach meeting was scheduled for November 13<sup>th</sup> at the Edmonds Baine Building, 98 NW 5th Avenue (second floor, suite 201).</p> <p><u>Construction</u></p> <p>City issued CMAR RFQ Solicitation advertised December 18, 2024.</p> <p>A Pre-Bid Conference was held on January 10, 2025, at 10:00am. Questions and Answers ends January 24, 2025, at 5:00pm.</p> <p>Solicitation closed February 5, 2025, at 2:00pm.</p> <p>Selection</p> <p>The committee scoring meeting was held on Friday May 30<sup>th</sup>. Procurement is reviewing the selected proposal. Negotiations pending.</p> <p><u>Owner's representative</u></p> <p>Owner's Representative RFQ was posted on 11/2/24 and closed on 12/11/24.</p> <p>Selection Committee scoring meeting occurred on 3/14/25. Negotiations are ongoing with the highest-ranking proposer.</p> <p>Additional information is available on the website: <a href="http://nwneighborhoodproject.com/">http://nwneighborhoodproject.com/</a></p>
<p>Osceola Park Neighborhood Imp.</p> <p><u>City Project #: 16-095</u></p> <p><u>CRA GL #: 5510</u></p>	Construction	7	<p>Phase II Construction – 100%</p> <p>Closing project –90%</p> <p>SE (1<sup>st</sup> Avenue)</p>	<p>Baxter Woodman was awarded an agreement for construction, engineering, and inspection services (CEI) for \$495,953.00.</p> <p>Ric-Man was awarded an agreement for general contractor construction services (GC) for \$4,056,327.</p> <p>- City and Contractor are working on closing the project</p> <p>Construction completed as 2/28/15. Waiting for as-builts.</p> <p>Closing project on 4/14/2025. Contractor is working on completing the final as-built drawings.</p>
<p>Wayfinding Signage</p> <p><u>CRA GL #: 5236</u></p>	Design & Implementation	1-3	N/A	<p>On 4-27-21 the CRA Board Meeting approved an interlocal agreement between the City and CRA. The city staff is engaging a consultant to continue working on the project. The city is negotiating with SA with the consultant for permits submittal to FDOT and construction services. Negotiating SA with the consultant at this time. City processing PO with KH for the permit with FDOT. Kick-off meeting with KH 11-1-21. KH is processing a permit with FDOT.</p> <p>Permit # 2021-M-496-00001 - CAF (Community Aesthetic Feature) Gateway Signs</p> <p>-FDOT approved the CAF concept on 11-4-21</p> <p>-Kimley-Horn submitted the full CAF application on 11-5-21</p> <p>-Kimley-Horn received a completeness review approval on 12-1-21 for the CAF application</p> <p>-FDOT requested additional information on 12-1-21 – to start the process of filling out the CAF forms and coordinate resolution language</p> <p>Permit # 2021-N-496-00003 - Guide Signs Permit</p> <p>Post Mount Signs</p>



				<p>-Kimley-Horn will submit the post-mount "Guide Signs" application on 11-2-21</p> <p>-Kimley-Horn received a completeness review approval on 11-18-21 for the Guide Sign application – technical review started this date.</p> <p>-Kimley-Horn received technical permit review comments on 12-6-21</p> <p>-On 11-7-21, FDOT notified us by email that the Guide Signs (post-mounted signs) will only require a permit and that an MMOA will not be required. Pending issuance of construction bid in the first half of 2022.</p> <p>FDOT requested additional information on 12-1-21 – to start the process of filling out the CAF forms and coordinate resolution language. Kimley-Horn to prepare draft CAF Agreement, provide draft resolution for City to review. On 1-3-22 PM sent the Draft for review and approval to City Attorney. City Attorney approves the contract with FDOT. The permit is at FDOT central office for final approval before goes to commission.</p> <p>The CAFA and the MMOA (MMOA will be required) are different documents, tied to separate approvals. Considering that the Guide Signs seem to be closer to being approved than the CAFA, they will likely go to commission separately.</p> <p>The project was awarded at the City Commission meeting on 9-18-23.</p> <p>Preconstruction Meeting with consultant on 10/17/23. Notice to Proceed (NTP) effective October 23, 2023. Contractor.</p> <p>Contractor is working on fabricating the signs and submitting the electrical permit to FDOT for the monumental signs. Fabrication of the signs began in July. All signs along Atlantic Ave are being expedited, and installation should begin October 2024. City is creating an informative map with major points of interest/landmarks to be shown on the new downtown signs, front and back.</p> <p>- 17 Signs have been installed.</p> <p>The backer panels for GM3/ all Phase 1 vehicular signs have been fabricated and will be installed on the week of January 20<sup>th</sup>. Fabrication for GM2 (US1) sign to be completed for March installation.</p> <p>Contractor started Phase 2: Fabrication and installation of signs.</p> <p>Contractor finalizing installation of Phase 2 Signs and fabricating a mockup for "The Village by the Sea" Logo to install on the back of the Signs as an option.</p> <p>Substantial construction completion walkthrough scheduled for end of July.</p>
Pompey Park Master Plan City Project #: 16-102 <u>CRA GL #: 5661</u>	Design	4	N/A	On April 25, 2024, the City advertised Request for Qualifications (RFQ) No. 2024-031 for Pompey Park

				<p>Recreation Center Construction Manager at Risk. On June 20, 2024, the City received eight (8) responses to the solicitation. On October 15, 2024, the recommendation to enter into negotiations with the highest-ranked qualified firm for award was presented to the City Commission for consideration. The City Commission determined that it was in the best interest of the City to have the top two ranked firms make presentations to the City Commission at a special meeting. The Special Meeting was on 11/4/2024 at 3:00PM. The project was awarded to CORE Constructions Services of Florida. Public Works is expecting to bring a Phase I (pre-construction services) contract to CC in February 2025. Phase 1 will include development of the Guaranteed Maximum Price (GMP) for Phase 2 (construction services). The Construction Manager at Risk (CMAR) Agreement (Phase 1) is currently in Legal Review.</p> <p>The contract for Pre-Construction services is expected to be on City Commission agenda for approval on May 20th 2025. Pre-construction services (GMP development) are anticipated to begin between June 2025 and October 2025. Construction is anticipated to begin around November 2025. Phase 1 Pre-construction services (GMP development) are anticipated between June 2025 and October 2025. Construction is anticipated to begin late 2025/early 2026.</p>
<p>Carver Square Park  <u>City Project #: TBD</u>  <u>CRA GL #: 5364</u></p>	Design & Implementation	8	N/A	<p>The vendor is estimating a mid-April start time for the installation. The Parks Department is preparing the site by trimming trees and removing the current playground. Beginning on 4/18/25, the park will be closed for approximately 2-3 weeks for playground removal and renovations. The current playground has been removed from the site. Three (3) palm tree stumps to be removed from the new play equipment area next week.</p> <p>The design of the new playground needs to be modified to include only one ADA swing in a bay. The changes will be submitted to permitting.</p> <p>The three (3) palm tree stumps have been removed.</p> <p>The permit has been accepted for preliminary review. Equipment is expected to ship by mid-July.</p>
<p>Currie Commons Restrooms  <u>City Project #: TBD</u>  <u>CRA GL #: 5525</u></p>	Construction	7	50%	<p>Construction is ongoing at approximately 50% completion.</p> <p>Roof system and new water service completed. Plumber is finalizing plumbing rough. Next, the contractor will commence with the interior and exterior cement stucco work. After that, painting, plumbing and electrical fixtures, toilet accessories and epoxy flooring.</p> <p>A budget amendment will be reviewed by City Commission on April 22nd to cover additional costs for civil engineering and construction relating to inconsistencies with the existing concrete slab elevations.</p>



				<p>The budget amendment has been approved, and the related Change Orders have been processed.</p> <p>The contractor is currently installing the tongue and groove ceiling for the gable overhangs. All interior and exterior cement stucco work will be completed by the end of May. The contractor intends to complete the project in its entirety by mid-June. The installation of the plumbing and electrical fixtures is underway. The existing concrete sidewalk plaza that surrounds the new building will be replaced next week. Epoxy flooring and landscape right after.</p> <p>The project will be completed by mid-July.</p>
Palm Tree Replacement <u>CRA GL #: 7335</u>		1-8	N/A	<p>Solicitation opened: April 2, 2025, at 2:00pm for two (2) weeks. Solicitation closes on April 16, 2025, at 2:00pm. Solicitation to be re-opened, Purchase Department is currently drafting the ITB.</p> <ul style="list-style-type: none"> <li>•Solicitation was put out for advertisement on June 4, 2025.</li> <li>•The Pre-Proposal Conference/Site Visit was scheduled for June 17, 2025, at 10:00 a.m.</li> <li>•Solicitation deadline is on June 30, 2025, at 2:00 p.m.</li> </ul>

## Projects Completed

SW 3 <sup>rd</sup> Court, SW 4 <sup>th</sup> Street, SW 6 <sup>th</sup> Street, and SW 7th Avenue <u>City Project #: 17-108</u> <u>CRA GL #: 5351</u>	NE 3rd Street Improvements <u>City Project #: 11-024</u> <u>CRA GL #: 5251</u>
Osceola Park Neighborhood Imp. Phase I <u>City Project #: 16-095</u> <u>CRA GL #: 5510</u>	Artists Alley Drainage Improvement <u>City Project #: TBD</u> <u>CRA GL #: 5625</u>
SW Neighborhood Alleys – 3 Alleys <u>City Project #: 17-103</u> <u>CRA GL #: 5361</u>	