

DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH FL

A TOWNHOUSE PROJECT
FOR JEWEL CONSTRUCTION

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LOCATOR MAP



CODE INFORMATION

BUILDING CODE	FLORIDA BUILDING CODE 7TH EDITION (2020)	FEMA FLOOD ZONE	ZONE X
BUILDING DESIGNED AS	ENCLOSED	CONSTRUCTION TYPE	TYPE V UNSPRINKLERED
TYPE OF OCCUPANCY	MULTI FAMILY RESIDENTIAL	WIND SPEED DESIGN	170 MPH ULTIMATE WIND SPEED
ZONING DISTRICT	CITY OF DELRAY BEACH - CBD (CENTRAL BUSINESS DISTRICT) 30 DU/AC MAX	EXPOSURE CONDITION	CATEGORY
		ROOF HEIGHT LIMIT	54'-0" TO TOP OF ROOF

BUILDER

JEWEL CONSTRUCTION CORPORATION	42 N. SWINTON AVENUE, SUITE 2 DELRAY BEACH, FL 33444 561.330.4657 RICHARD@JEWELCONSTRUCTION.COM
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STRUCTURAL ENGINEER

ENGINEERING PLUS TAYLAN KALKAN, P.E. REG. #67349 C.A. #26538	19528 SEDGEFIELD TERRACE BOCA RATON, FLORIDA 33498 561.756.4106 ENGPLUS@CS.COM
--	---

MEP ENGINEER

INTERNATIONAL CONSULTING ENGINEERS + DESIGN, LLC JOE SPASOVSKI, P.E. REG. #PE76217	4310 WEST BROWARD BOULEVARD PLANTATION, FLORIDA 33317 561.707.6795 JOE@CEDENGINEERING.COM
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CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES INC. JOE PIKE, P.E. REG. #PE6506	298 PINEAPPLE GROVE WAY DELRAY BEACH, FLORIDA 33444 561.274.6500 ENVDESIGN.COM
--	---

LANDSCAPE ARCHITECT

CHRIS CABEZAS LANDSCAPE ARCHITECTURE, INC CHRIS CABEZAS CHRISCABEZASLANDSCAPE.COM LIC. #LA6667347	80 NE 5TH AVENUE DELRAY BEACH, FLORIDA 33483 561.596.6771 CHRISCABEZAS@GMAIL.COM
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NO.	REVISIONS	DATE
1.	PLANNING & ZONING COMMENTS	05.25.23
2.		
3.		
4.		
5.		
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GREGORY A. JONES

A R C H I T E C T U R E

GREGORY A. JONES ARCHITECTURE INC. #AB0014684
650 E. ATLANTIC AVENUE, SUITE 200, DELRAY BEACH, FLORIDA 33483
TEL. 561.757.2406 E-MAIL: greg@architectureinc.com

SEAL

COVER SHEET

DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

DATE: 02-08-23

DRAWN BY: GSJ

DESIGN BY: GSJ

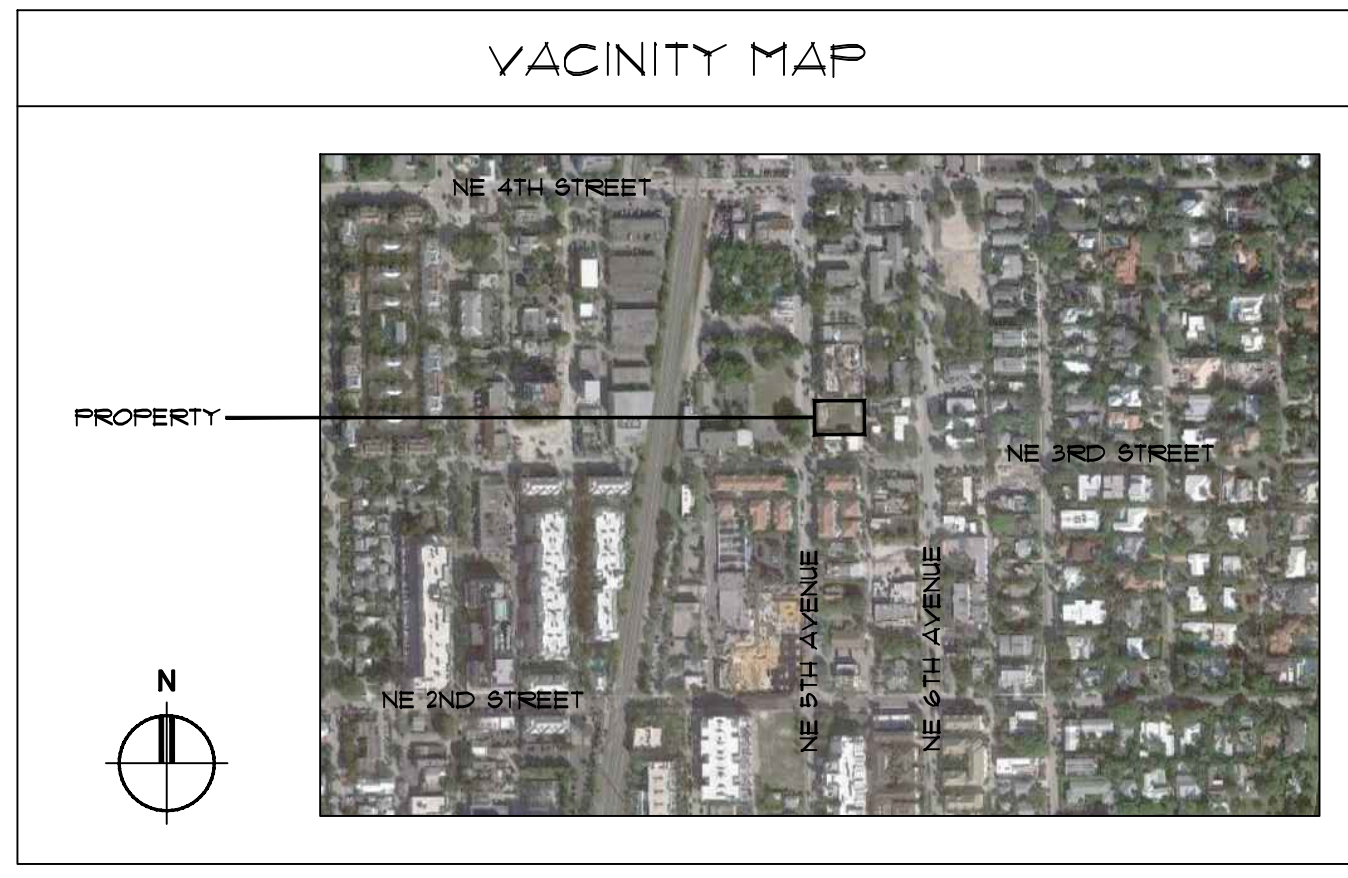
REVIEWED BY: G.J.

G.J.

PROJECT #: 21486

SHEET

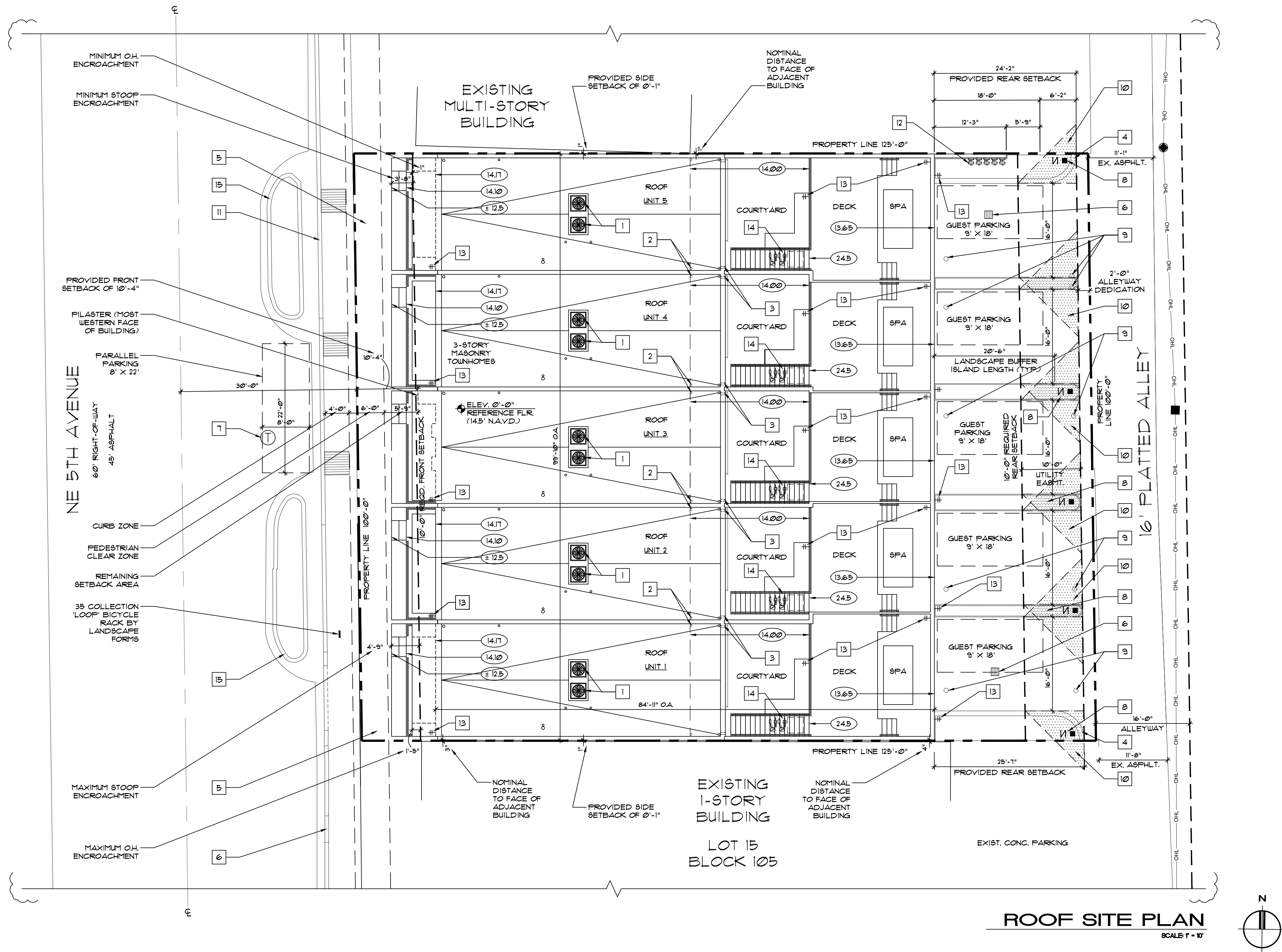
CVR



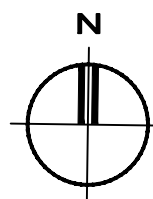
BUILDING AREA UNITS 2 & 4		BUILDING AREA UNIT 3		BUILDING AREA UNITS 1 & 5		BUILDING AREA: 5 UNITS TOTAL	
FIRST FLOOR A/C	856 S.F.	FIRST FLOOR A/C	856 S.F.	FIRST FLOOR A/C	870 S.F.		
SECOND FLOOR A/C	925 S.F.	SECOND FLOOR A/C	925 S.F.	SECOND FLOOR A/C	941 S.F.		
THIRD FLOOR A/C	925 S.F.	THIRD FLOOR A/C	925 S.F.	THIRD FLOOR A/C	941 S.F.		
TOTAL A/C	2,706 S.F.	TOTAL A/C	2,706 S.F.	TOTAL A/C	2,752 S.F.	TOTAL A/C ALL UNITS	13,622 S.F.
COVERED COURTYARD	119 S.F.	COVERED COURTYARD	119 S.F.	COVERED COURTYARD	121 S.F.		
OPEN COURTYARD	283 S.F.	OPEN COURTYARD	283 S.F.	OPEN COURTYARD	287 S.F.		
GARAGE	402 S.F.	GARAGE	402 S.F.	GARAGE	462 S.F.		
SPA DECK	402 S.F.	SPA DECK	402 S.F.	SPA DECK	462 S.F.		
COVERED FRONT ENTRY	71 S.F.	COVERED FRONT ENTRY	75 S.F.	COVERED FRONT ENTRY	80 S.F.		
TOTAL GROSS AREA	3,383 S.F.	TOTAL GROSS AREA	3,387 S.F.	TOTAL GROSS AREA	4,164 S.F.	TOTAL GROSS ALL UNITS	20,281 S.F.

SITE KEY NOTES	
1	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD TOP OF UNIT 4'-0"
2	LOCATION OF ROOF DRAIN (CONNECT TO STORM DRAIN - REFER TO CIVIL DRAWINGS)
3	OVERFLOW SCUPPER FLUSH WITH STUCCO (REFER TO DETAIL SHEET)
4	PROPOSED CONCRETE CURB
5	PROPOSED CONCRETE SIDEWALK TO MATCH EXISTING
6	CATCH BASIN
7	MAN-HOLE COVER
8	PROPOSED WTR. METER W/ ADJACENT BACKFLOW PREVENTER (REFER TO CIVIL DWGS.)
9	PROPOSED SANITARY CLEANOUT (REFER TO CIVIL DRAWINGS)
10	PROPOSED SITE VISIBILITY TRIANGLE
11	EDGE OF PROPOSED GUTTER CURB (REFER TO CIVIL DRAWINGS)
12	(5) ELECTRIC METER W/ MAIN DISCONNECT (ALL (5) TOWN HOUSE UNITS GANGED IN SINGLE LOCATION) G.C. TO VERIFY LOCATION w/ FPL PRIOR TO INSTALLATION (OCCURS ONLY AT UNIT 301 - REFER TO M.E.P. DRAWINGS)
13	HOSE B/B (REFER TO MEP ENGINEER DRAWINGS)
14	ELEC. POOL HEATER W/ ELECTRIC PUMP & ELEC. IRRIGATION PUMP UNDER OPEN STAIR
15	EXISTING CONCRETE CURB

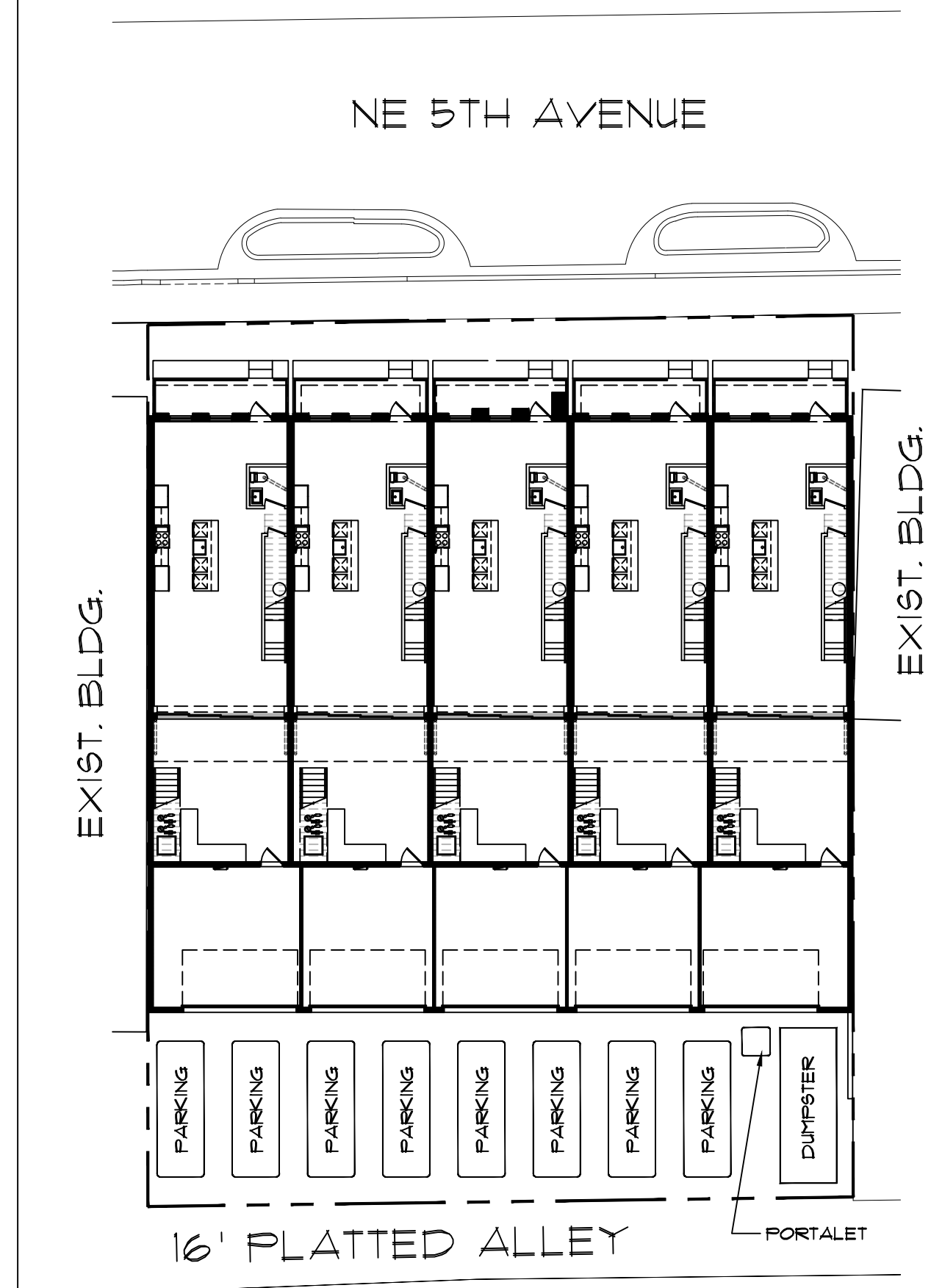
SITE INFORMATION		
ADDRESS: 301 NE 5TH AVE, DELRAY BEACH, FL		
LEGAL DESCRIPTION: LOTS 16 & 17 LESS THE WEST 10 FEET FOR ROAD RIGHT-OF-WAY, BLOCK 105 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 2, PAGE 19, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.		
PROJECT DESCRIPTION: NEW MULTI-FAMILY RESIDENTIAL (FEE-SIMPLE TOWNHOUSES)		
CURRENT PROPERTY USE: MULTI-FAMILY RESIDENTIAL		
ZONING DISTRICT: CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX		
SETBACKS SIDE (NORTH) REAR (EAST-ALLY) SIDE (SOUTH) FRONT (WEST-NE 5TH AVE.)	REQUIRED  0'-0" 10'-0" 0'-0" 10'-0" MIN. 15'-0" MAX.	PROVIDED  0'-1" 24'-2" / 25'-1" 0'-1" 15'-6"
REDUCTION OF URBAN HEAT ISLAND		
TOTAL INTERVIEWS PARKING 996 SF. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE		
PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
(5) 3 BEDROOM UNITS	1.15 PER UNIT=9	10 IN GARAGE
GUEST SPACES	0.5 PER UNIT=3	5 IN DRIVEWAY
TOWNHOUSES SHALL BE FEE SIMPLE.		
DWELLING UNITS	30 DU/ACRE MAX	5/029 = 17.24 DU/AC
BUILDING HEIGHT:		
TOP OF ROOF	54'-0" MAX	 38'-0" AFF.
SITE AREA CALCULATION		
TOTAL SITE AREA		12,000 SF.
BUILDING FOOTPRINT		6,353 SF. (52%)
BUILDING AREA: 5 UNITS TOTAL		
TOTAL A/C ALL UNITS		13,622 SF.
TOTAL GROSS ALL UNITS		20,281 SF.



ROOF SITE PLAN
SCALE 1" = 10'



SITE KEY NOTES	
1	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD TOP OF UNIT +4'-0"
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13	HOSE BIB (REFER TO MEP ENGINEER DRAWINGS)
14	ELEC. POOL HEATER W/ ELECTRIC PUMP & ELEC. IRRIGATION PUMP UNDER OPEN STAIR
15	EXISTING CONCRETE CURB



CONSTRUCTION PARKING PLAN
N.T.S.



REVISIONS		DATE
NO.	1.	05.25.23
2.	07.07.23	
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GREGORY A. JONES
ARCHITECTURE

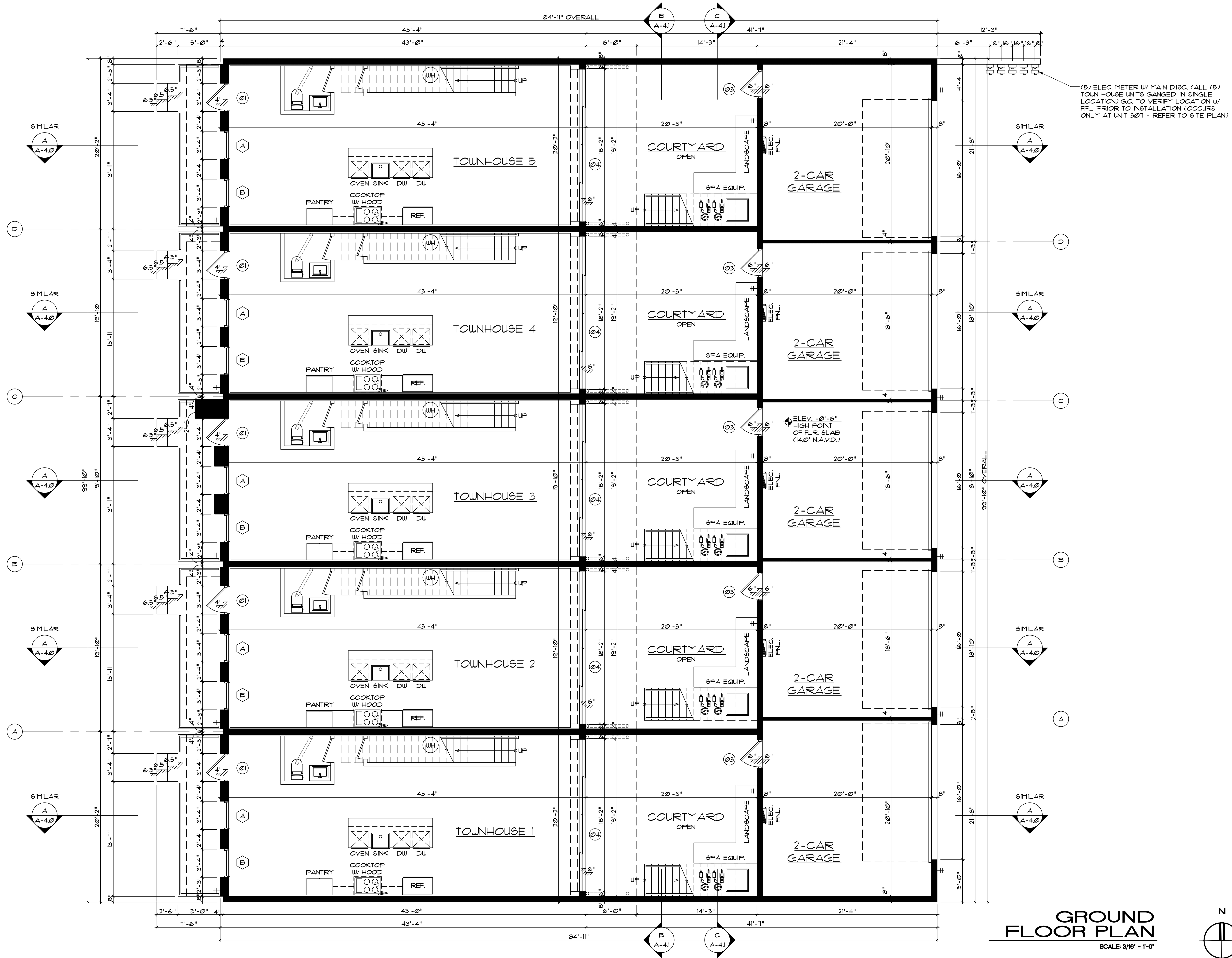
GREGORY A. JONES ARCHITECTURE INC. #A0014684
658 E. ATLANTIC AVENUE, SUITE 209, DELRAY BEACH, FLORIDA 33483
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DATE: 02-08-23	DRAWN BY: GSJ	DESIGN BY: G.J.	REVIEWED BY: G.J.	SEAL
ROOF SITE PLAN				
DELRAY TOWN VILLAS				
307 NE 5TH AVENUE				
DELRAY BEACH, FLORIDA 33483				

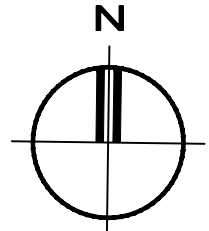
PROJECT #: 21486

SHEET

A-1.1



GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"



REVISIONS	
NO.	PLANNING & ZONING COMMENTS
1.	PLANNING & ZONING COMMENTS
2.	
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DATE	REVISIONS	DATE
02-08-23 <td></td> <td>05-25-23</td>		05-25-23

GREGORY A. JONES
ARCHITECTURE

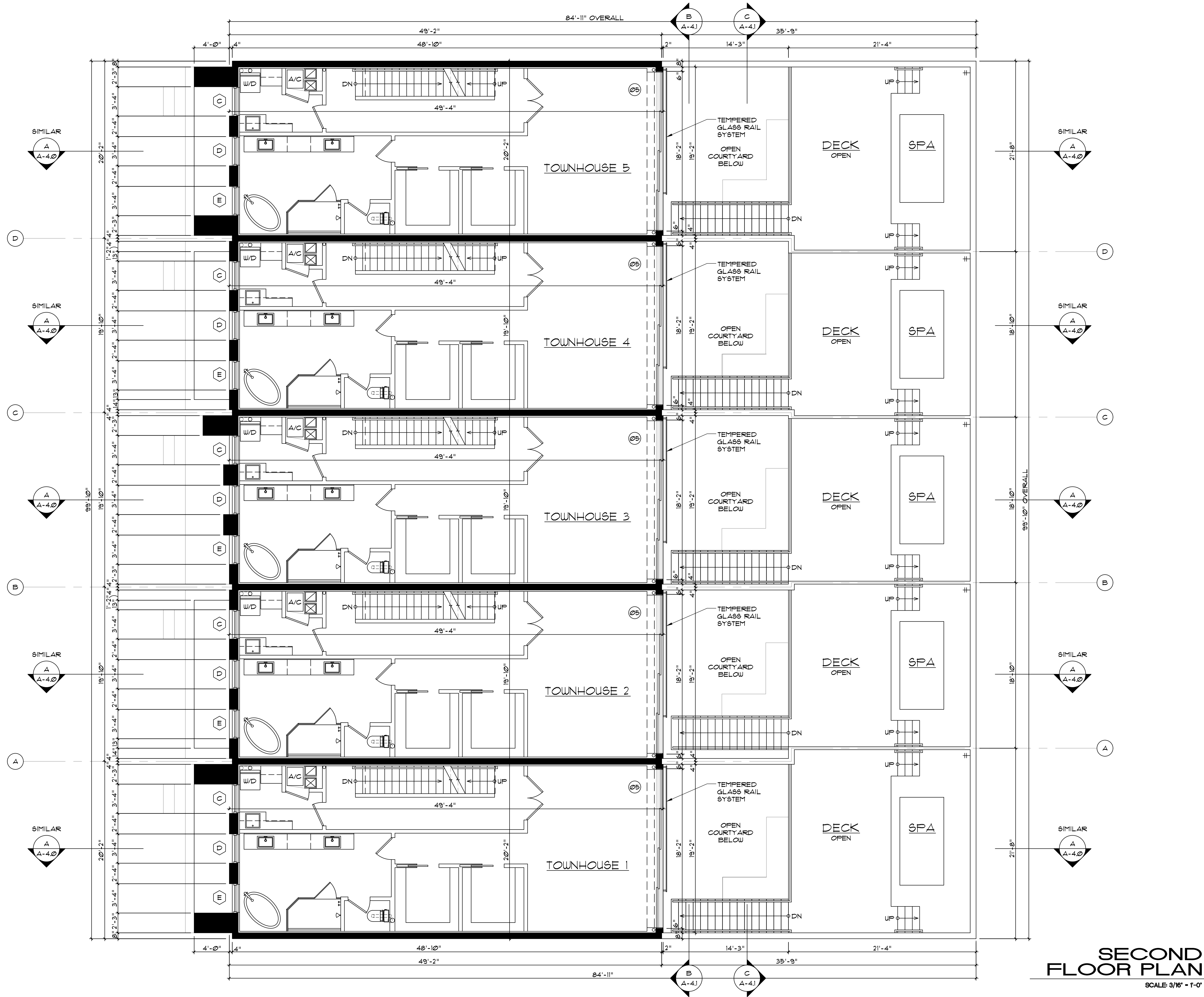
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GROUND FLOOR PLAN

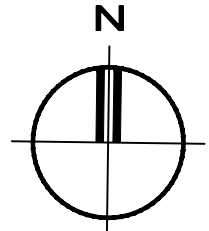
DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

SHEET
A-1.2



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

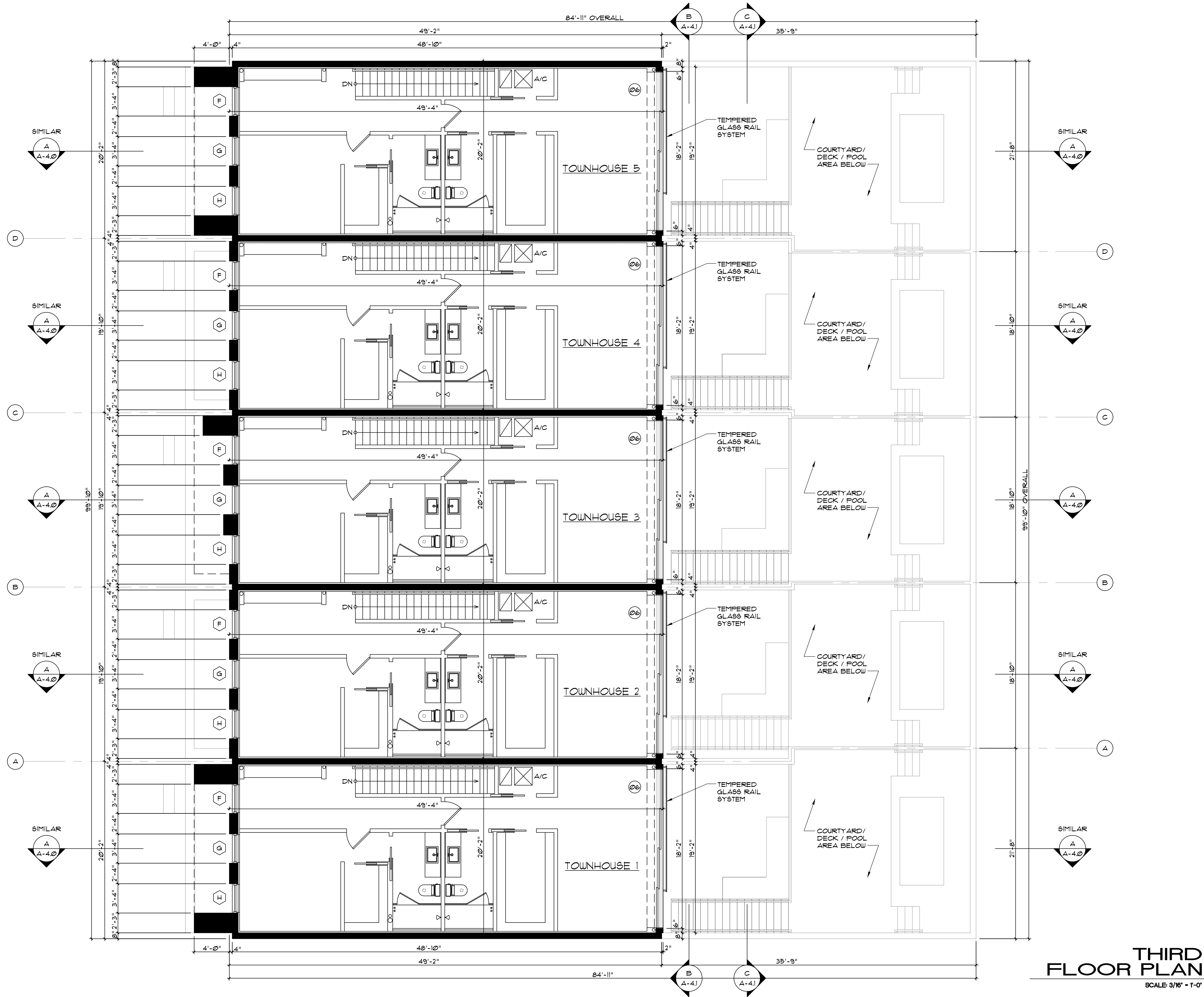


DATE: 02-06-23		DESIGN BY: GSJ	DRAWN BY: GSJ	REVIEWED BY: G.J.	SEAL
PROJECT #: 21486		SECOND FLOOR PLAN			
SHEET		DELAY TOWN VILLAS 307 NE 5TH AVENUE DELAY BEACH, FLORIDA 33483			
A-1.3					

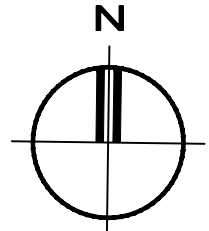
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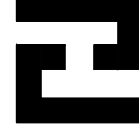
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THIRD
FLOOR PLAN
SCALE: 3/16" = 1'-0"



REVISIONS		DATE
NO.	PLANNING & ZONING COMMENTS	05.25.23
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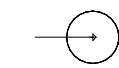
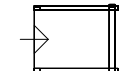
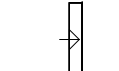
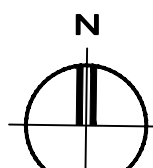
**GREGORY A. JONES**
ARCHITECTURE

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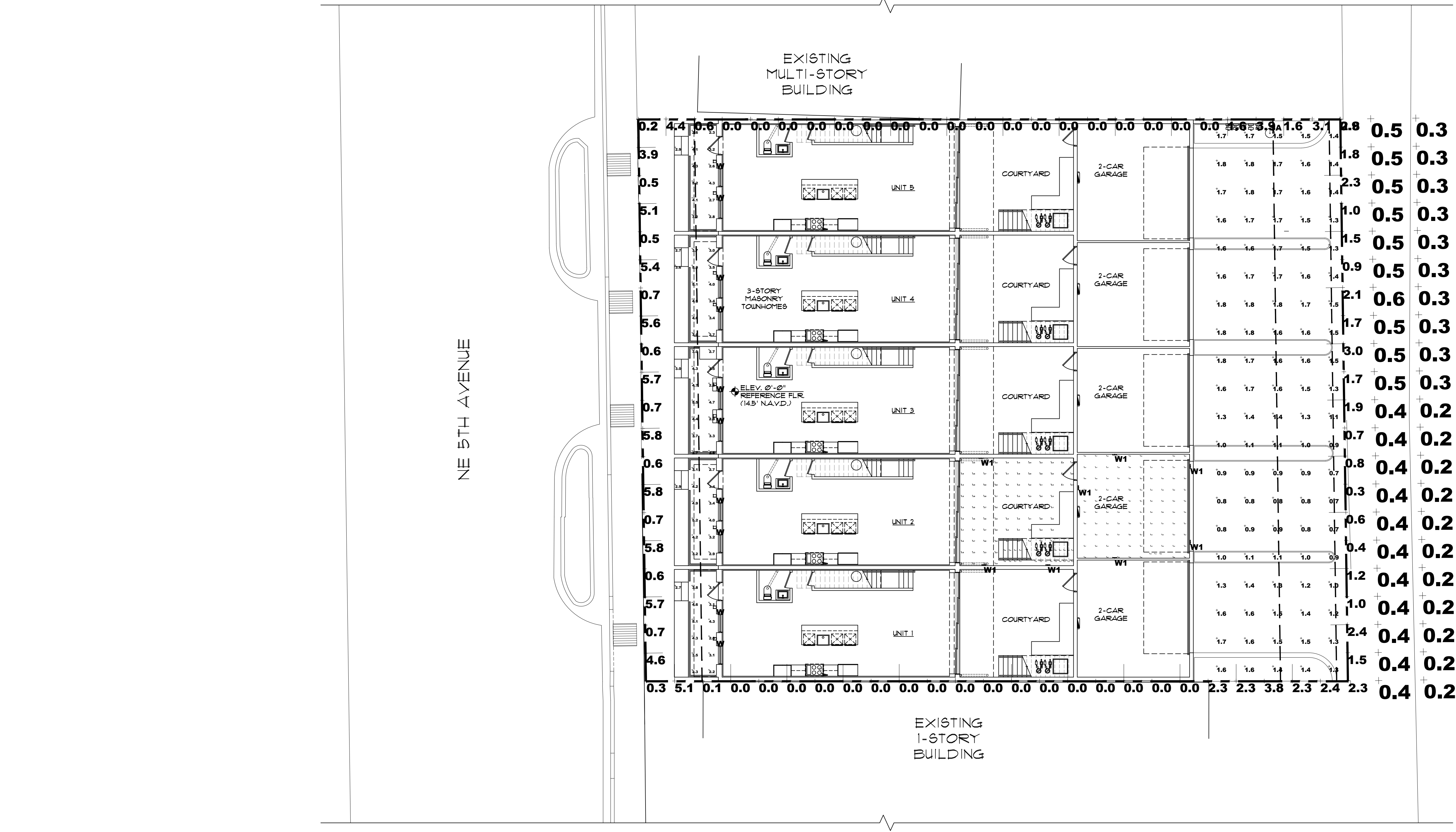
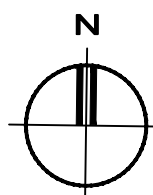
THIRD FLOOR PLAN
DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

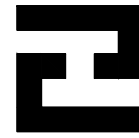
SHEET
A-1.4

CALCULATION SUMMARY									LUMINAIRE SCHEDULE											
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	LV RATIO	SYMBOL	Qty	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	BUG RATING
ALLEY Illum	Illuminance	Fc	0.60	1.0	0.3	2.00	3.33	N.A.		3	SA	Single	Lithonia Lighting	RAD1 LED P1 30K SYM	POLE MOUNTED: 15' A.F.G.	N/A	0.900	3379	25.4134	B2-U0-G1
ALLEY Luminance	Luminance	Cd/Sq.m	0.35	0.6	0.2	1.75	3.00	N.A.		10	W	Single	BEGA-US	24 506 K3	WALL MOUNTED: 5'-6" A.F.F.	N/A	0.900	1814	22	B1-U4-G2
ALLEY Veil Lum	Veiling Luminance	Cd/Sq.m	0.00	0.0	0.0	N.A.	N.A.	0.00		8	W1	Single	BEGA-US	24 070 K3	WALL MOUNTED: 7' A.F.F.	N/A	0.900	1011	15	B0-U3-G2
PARKING	Illuminance	Fc	1.38	1.8	0.7	1.97	2.57	N.A.												
SPILL - HORIZONTAL - 6' AFG	Illuminance	Fc	0.73	3.9	0.0	N.A.	N.A.	N.A.												
SPILL - VERTICAL - 6' AFG	Illuminance	Fc	2.01	5.8	0.0	N.A.	N.A.	N.A.												
1ST FLOOR	Illuminance	Fc	3.00	4.0	1.1	2.73	3.64													
2ND FLOOR	Illuminance	Fc	2.68	3.7	1.1	2.44	3.36													
BUILDING ENTRANCES	Illuminance	Fc	3.56	5.5	2.2	1.62	2.50													
STAIR	Illuminance	Fc	1.74	2.8	1.1	1.58	2.55													
PHOTOMETRIC PLAN SCALE 1" = 10' 																				

PHOTOMETRIC PLAN
SCALE 1" = 10'



REVISIONS		DATE
NO.	PLANNING & ZONING COMMENTS	
1.		05.25.23
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SEAL

PHOTOMETRIC PLAN

DELAY TOWN VILLAS

307 NE 5TH AVENUE,
DELRAY BEACH, FLORIDA 33483

DATE: 02-08-23

DRAWN BY: GSJ

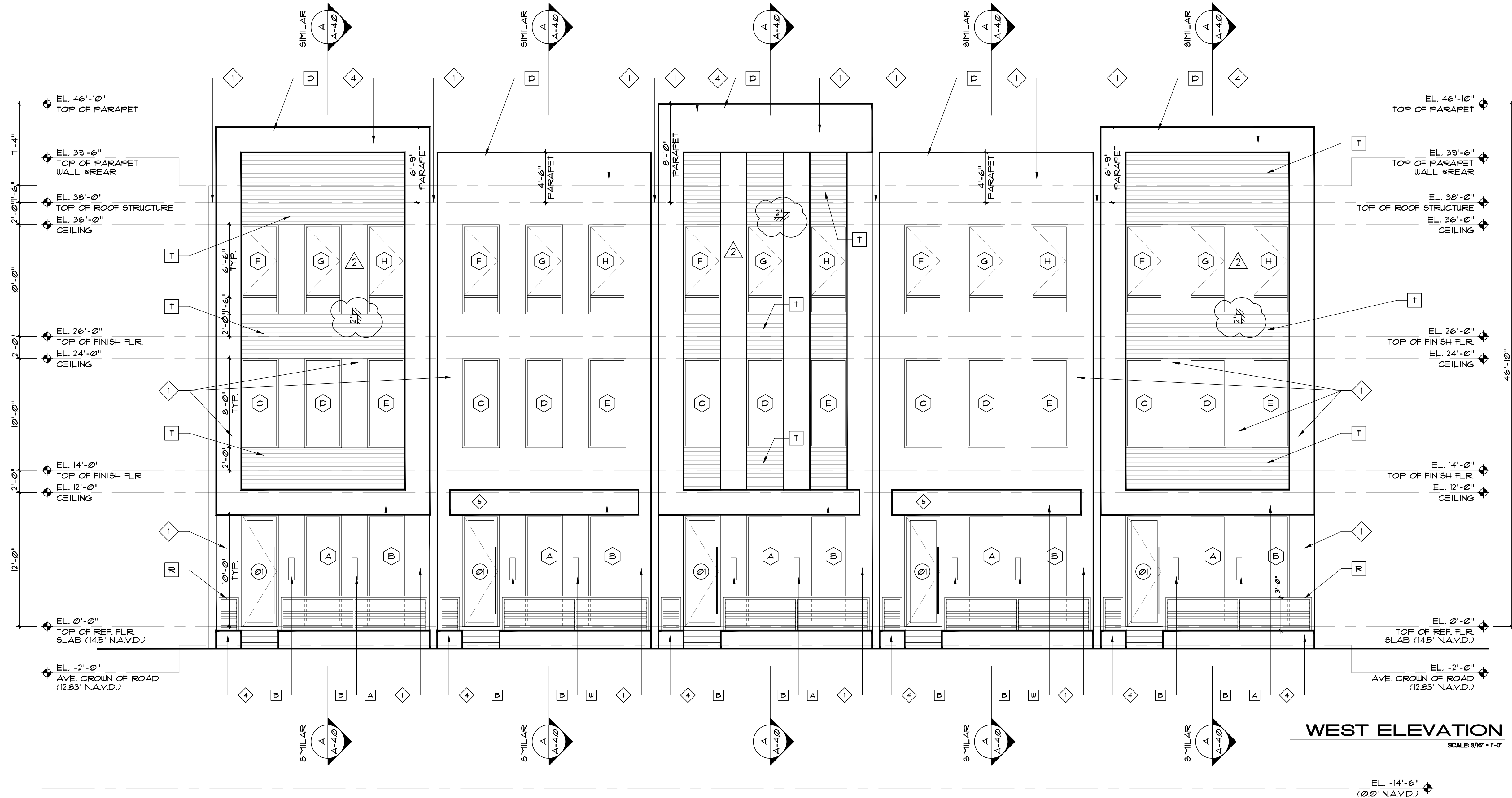
DESIGN BY: G.J.

REVIEWED BY: G.J.

PROJECT #: 21486

SHEET

A-1.5



WEST ELEVATION
SCALE 3/16" = 1'-0"

ELEVATION NOTES

A	CANTILEVERED EYEBROW (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
B	LIGHTING SCONCE (TO BE SELECTED BY OWNER / INTERIOR DESIGNER).
C	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
D	MASONRY PARAPET WALL (REFER TO STRUCTURAL DRAWINGS) G.C. TO PROVIDE ADEQUATE FLASHING / COUNTER FLASHING AT ROOF SYSTEM JOINT WITH WALL.
E	TAPER-LOC@SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L218 and 9BL21 BASE SHOES BY CR LAURENCE COMPANY 1-800-421-6144 - BASE FINISHED WITH BREAK METAL (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
F	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH PRE-FINISHED SPLIT FACE BLOCK BY ECHELON MASONRY MESASTONE - COLOR MIDWEST WHITE (MIDWEST GROUP C).
G	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH PRE-FINISHED SMOOTH FINISH BLOCK BY ECHELON MASONRY MESASTONE - COLOR MIDWEST WHITE (MIDWEST GROUP C).
H	DECK WATER PROOFING SYSTEM - SLOPE MINIMUM 1/8" PER FOOT AWAY FROM BUILDING (INSTALL PER MANUFACTURER'S SPECIFICATIONS).
J	IMPACT RESISTANT METAL OVERHEAD GARAGE DOOR - REFER TO DOOR SCHEDULE SHEET (G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
K	MASONRY KNEE WALL (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
L	IMPACT RESISTANT ALUMINUM DOORS & WINDOWS. ALL GLAZING MUST HAVE A LIGHT TRANSMISSION REDUCTION OF NOT MORE THAN 20% FOR TRANSPARENT WINDOWS PER DELRAY BEACH ARCHITECTURAL DESIGN STANDARDS (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
M	DASHED LINE INDICATES NOMINAL INTERIOR STAIR RISER LOCATION.
N	NOT USED
P	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" ALUMINUM FRAME.
Q	ELECTRIC POOL HEATER W/ ELECTRIC PUMP & ELECTRIC IRRIGATION PUMP (BEHIND LANDSCAPING / SHRUBBERY).
R	METAL PIPE RAILING @36" AFF. (BY OTHERS - PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
T	APPLIED DECORATIVE PLANKING - TILE & CO. LF071-8X48B AWANUI RECTIFIED POLISHED WOOD LOOK PORCELAIN TILE OFFSET 2" FROM FACE OF ADJACENT SMOOTH STUCCO (PROVIDE SAMPLE FOR ARCHITECT'S REVIEW AND APPROVAL).
U	DECORATIVE METAL ROD (BY OTHERS - PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
V	NOT USED
W	CANTILEVERED EYEBROW (REFER TO STRUCTURAL DRAWINGS) WITH POWDER COATED "JET BLACK" ALUMINUM FINISH

NOTE:
ALL EXTERIOR LIGHT FIXTURES TO
BE CUT-OFF LUMINARIES (WILL NOT
PROJECT LIGHT VERTICALLY)

EXTERIOR COLORS

1	BENJAMIN MOORE: OC-65 CHANTILLY LACE
2	TILE & CO. FORC. PLANK: LF071-8X48B AWANUI (DRIFTWOOD GRAY)
3	ECHELON MASONRY MESASTONE SPLIT FACE STONE: MIDWEST WHITE
4	BENJAMIN MOORE: 1461 STERLING SILVER
5	BENJAMIN MOORE: 2120-10 JET BLACK
6	ECHELON MASONRY MESASTONE SMOOTH FACE STONE: MIDWEST WHITE

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658 E. ATLANTIC AVENUE, SUITE 209, DELRAY BEACH, FLORIDA 33483
TEL. 561.757.2406 E-MAIL: greg@ga-jones.com

SEAL

REVIEWED BY: G.J.

DESIGN BY: G.J.

DRAWN BY: GSJ

DATE: 02-08-23

FRONT ELEVATION

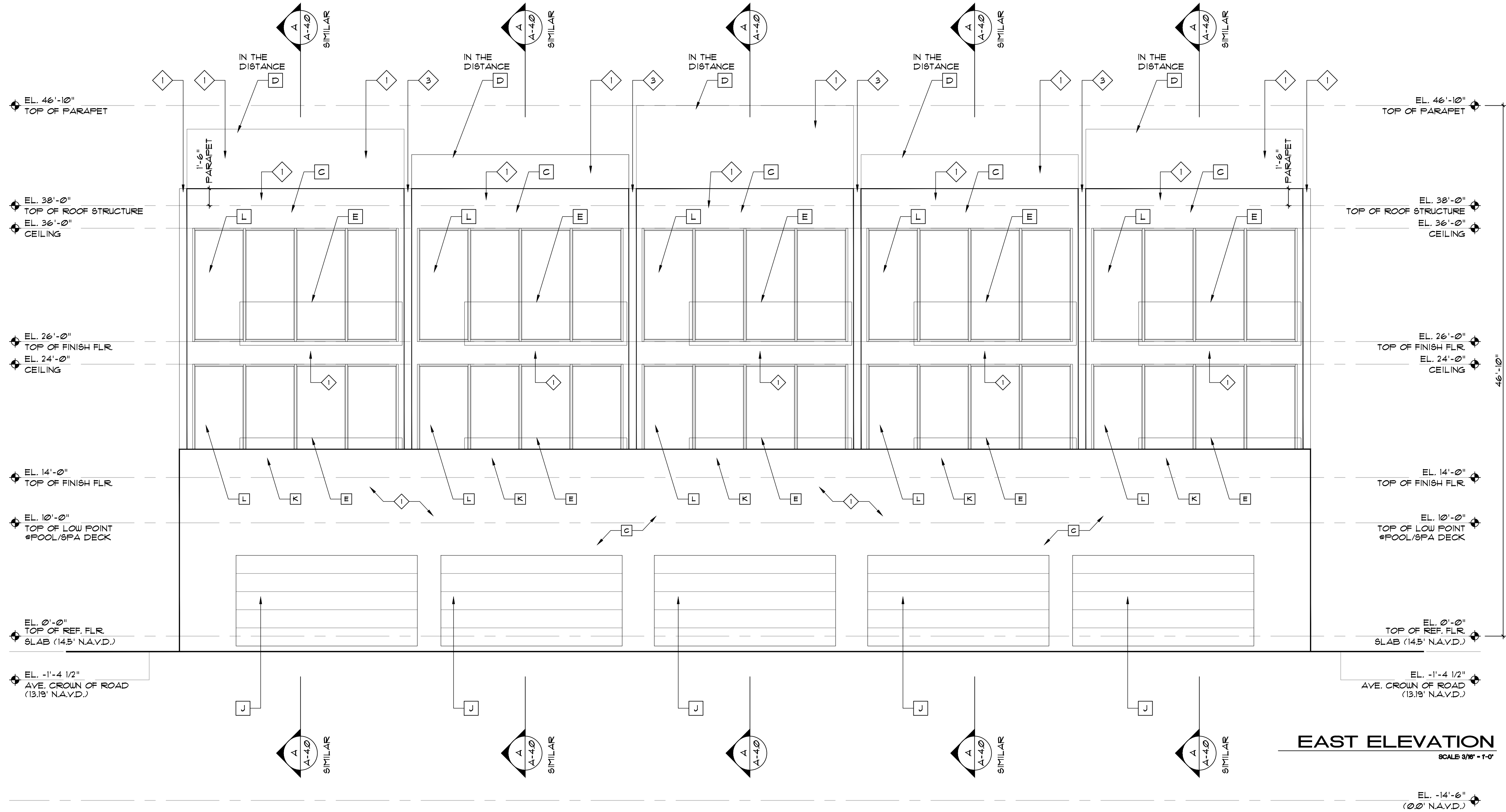
PROJECT #: 21486

SHEET

DELRAY TOWN VILLAS

307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

A-3.0



ELEVATION NOTES

A	CANTILEVERED EYEBROW (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
B	LIGHTING SCONCE (TO BE SELECTED BY OWNER / INTERIOR DESIGNER).
C	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
D	MASONRY PARAPET WALL (REFER TO STRUCTURAL DRAWINGS) G.C. TO PROVIDE ADEQUATE FLASHING / COUNTER FLASHING AT ROOF SYSTEM JOINT WITH WALL.
E	TAPER-LOC@SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L218 and 9BL21 BASE SHOES BY CR LAURENCE COMPANY 1-800-421-6144 - BASE FINISHED WITH BREAK METAL (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
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M	DASHED LINE INDICATES NOMINAL INTERIOR STAIR RISER LOCATION.
N	NOT USED
P	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"X2-1/4" ALUMINUM FRAME.
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NOTE:
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NO.	REVISIONS	DATE
1.	PLANNING & ZONING COMMENTS	05.25.23
2.		
3.		
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6.		

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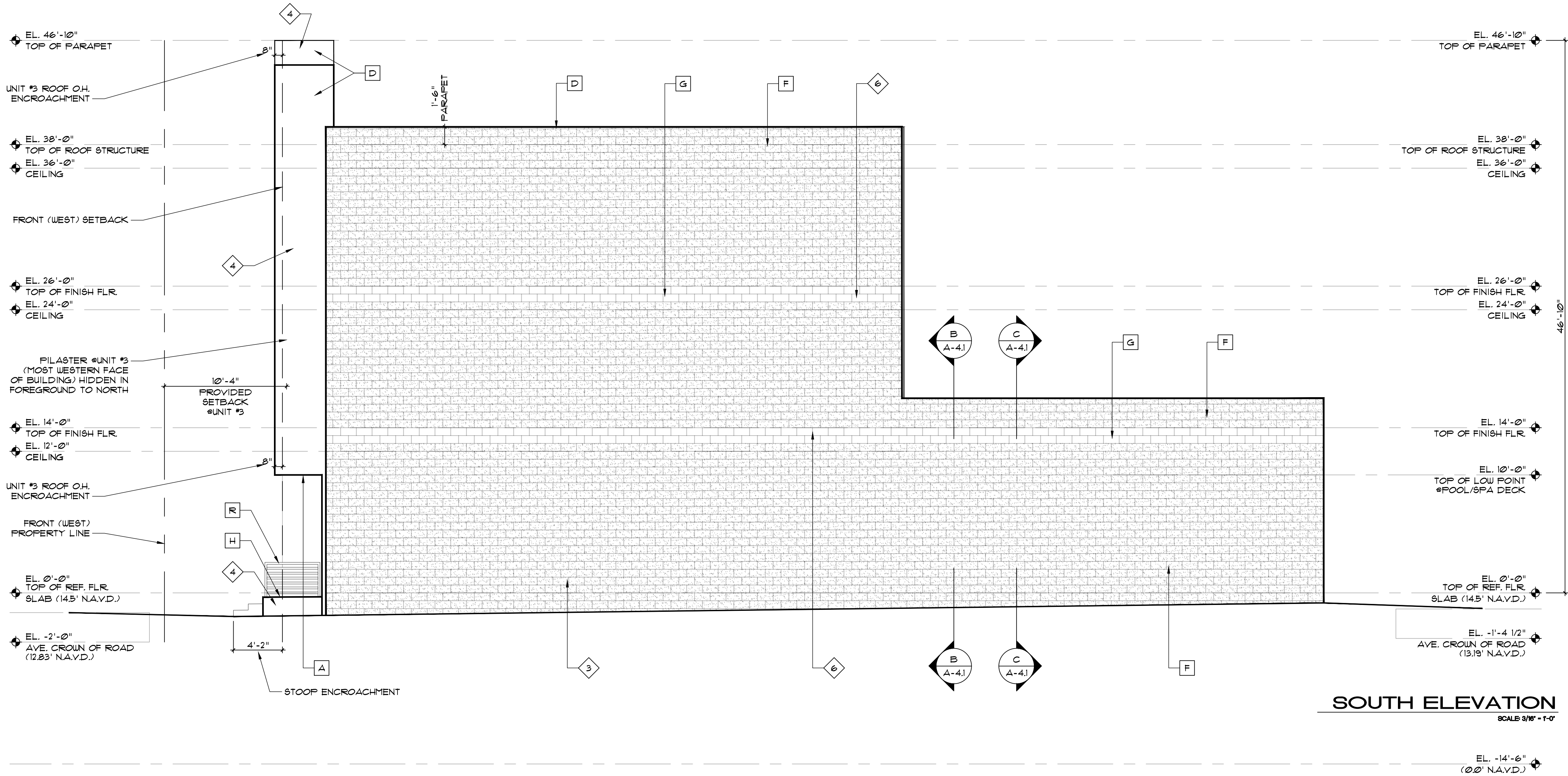
DATE: 02-08-23

PROJECT #: 21486

SHEET

REAR ELEVATION
DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

A-3.1



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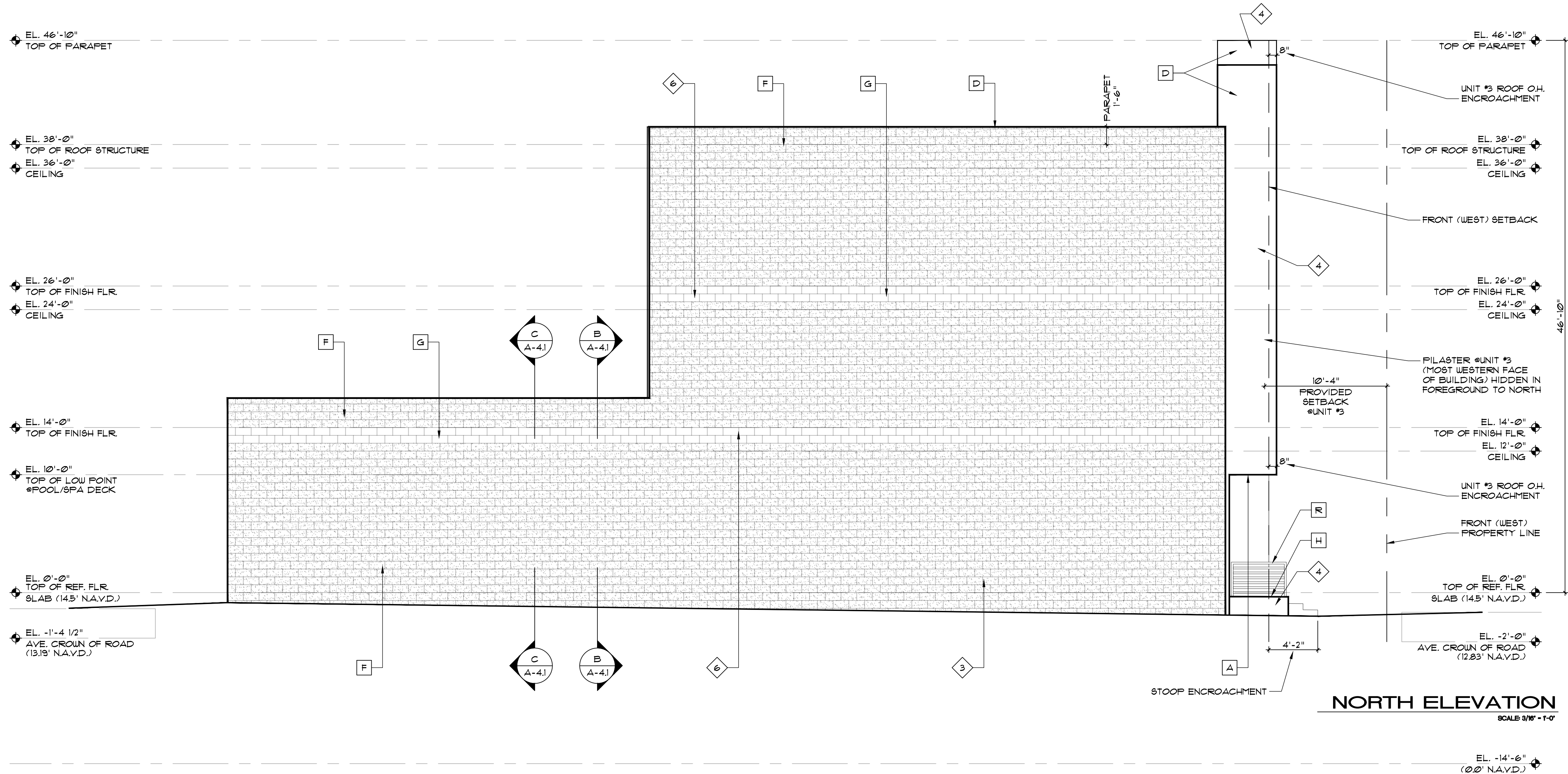
DATE: 02-08-23

PROJECT #: 21486

SHEET

A-3.2

SIDE ELEVATION
DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483



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NO.	REVISIONS	DATE
1.	PLANNING & ZONING COMMENTS	05.25.23
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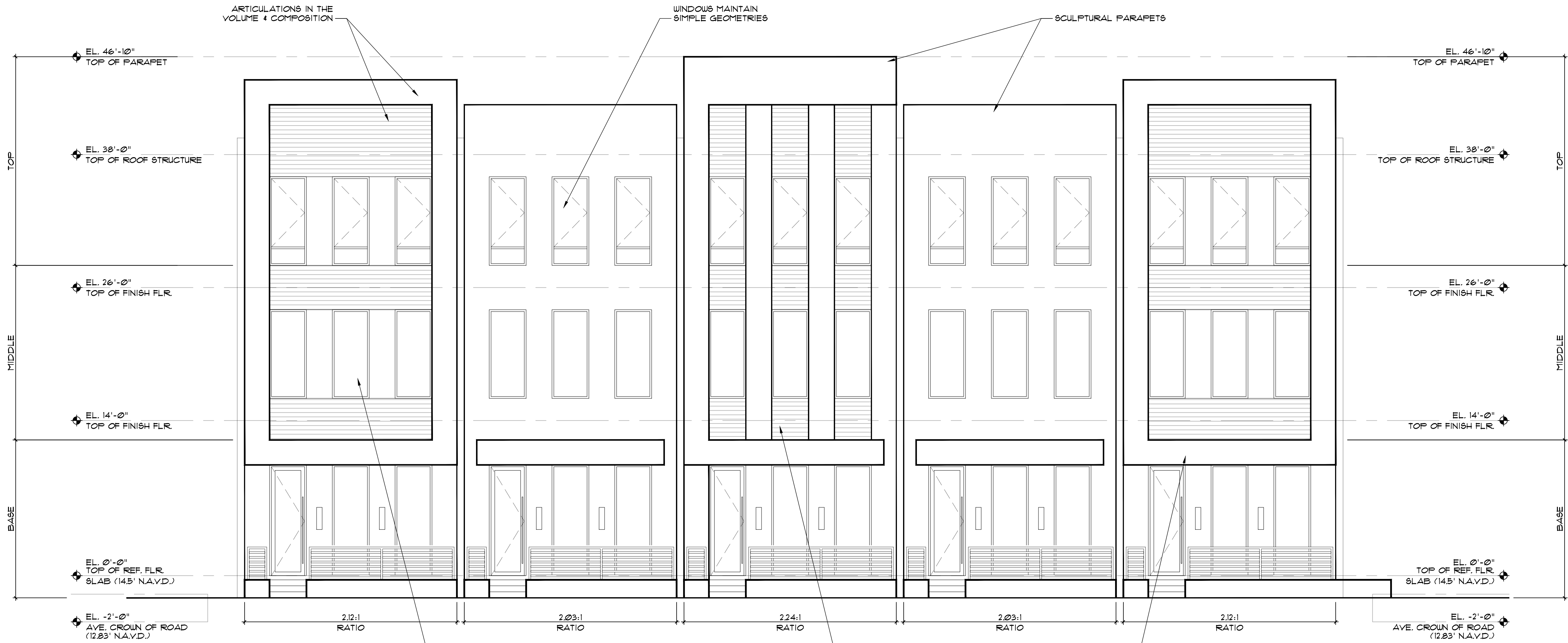
DATE: 02-08-23

PROJECT #: 21486

SHEET

A-3.3

SIDE ELEVATION
DELRAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483



FACADE COMPOSITION

SCALE: 3/16" = 1'-0"

MASONRY MODERN
AN EXAMPLE IN THE STYLE

YES
THE UPPER PART OF BUILDING IS MASKED WITH SPECIAL FEATURES SUCH AS
ROOFTOP TERRACED ROOFS OR SCULPTURAL PARAPETS.

YES
PARAPET WALL EXTENDS TO ENCLOSE POTENTIAL ROOF TERRACES.

YES
WINDOW PROPORTION IS VERTICAL, WHEN AGGREGATED, THE MASONRY OPENING
CAN BE SQUARE OR HORIZONTAL. DIVIDED LITES CAN CREATE VERTICAL
PROPORTIONS.

YES
COMPOSITION OF BUILDING REFLECTS SOLIDITY OF STRUCTURAL SYSTEM, USES
SIMPLE GEOMETRIES & INCLUDES SPACES CARVED FROM THE MASS, CREATING
ENTRIES OR TERRACES.

YES
SMOOTH STUCCO, PRECAST AND STONE ARE APPROPRIATE EXTERIOR MATERIALS.

YES
RAILINGS ARE METAL, WOOD, OR EXTENSIONS OF SOLID WALLS.

YES
EYEBROWS, TERRACES, ARCADES OR DEEP ROOF OVERHANGS PROVIDE SHADE.

YES
ENTRANCE TO BUILDING IS CLEARLY IDENTIFIABLE.

YES
LIKE MORE CLASSICALLY INSPIRED BUILDINGS, THE MODERN MASONRY BUILDING
HAS AN ARTICULATED BASE, MIDDLE & TOP.

MASONRY MODERN
DEFINING CHARACTERISTICS

PROVIDED
RATIONALLY COMPOSED STYLE OF ARCHITECTURE WITH THE STRUCTURAL SYSTEM
CLEARLY EXPRESSED IN THE BUILDING'S EXTERIOR.

PROVIDED
MASONRY MODERN ARCHITECTURE EMPHASIZES THE SOLIDITY OF THE MASS, THE
GEOMETRY OF THE BUILDING APPEARS TO BE CARVED FROM A SOLID VOLUME.

PROVIDED
ROOFS OF THE PRIMARY STRUCTURE ARE FLAT OR BASED ON PURE GEOMETRY.

PROVIDED
THE TRIPARTITE COMPOSITION (LOWER, MIDDLE & UPPER) CHARACTERISTIC OF
OTHER STYLES IS PRESENT IN MODERN MASONRY LANGUAGE.

PROVIDED
EXTERIOR SPACES ARE INCORPORATED INTO THE FACADE, CREATING
ARTICULATIONS IN THE VOLUME & COMPOSITION OF THE BUILDING.

PROVIDED
WALLS ARE EXTENDED AS COLUMNS OR RAILINGS & SIMPLE METAL PIPE RAILINGS.

PROVIDED
SHADING DEVICES INCLUDING LOUVERS, CANTILEVERED EYEBROWS AND VERTICAL
SUNSHADES ARE ELEMENTS OF THE ARCHITECTURE.

PROVIDED
EXTERIOR FINISH IS ALMOST EXCLUSIVELY STUCCO & STONE OR WOOD ACCENTS
ARE COMMON.

PROVIDED
WINDOWS ARE TYPICALLY CASEMENT OR FIXED-PANE & RECESSED BACK FROM
THE EXTERIOR FACE OF THE BUILDING, REVEALING THE THICKNESS OF THE WALL.

PROVIDED
WINDOWS MAINTAIN SIMPLE GEOMETRIES, WITH FEWER DIVIDING LITES FOUND IN
OTHER ARCHITECTURAL STYLES.

PROVIDED
THE RATIO OF GLASS TO WALL EMPHASIZES THE SOLIDITY OF THE STRUCTURE.

NO.	REVISIONS	DATE
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SEAL

DATE: 02-06-23

DESIGN BY: G.J.

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REVIEWED BY: G.J.

FACADE COMPOSITION

DELRAY TOWN VILLAS

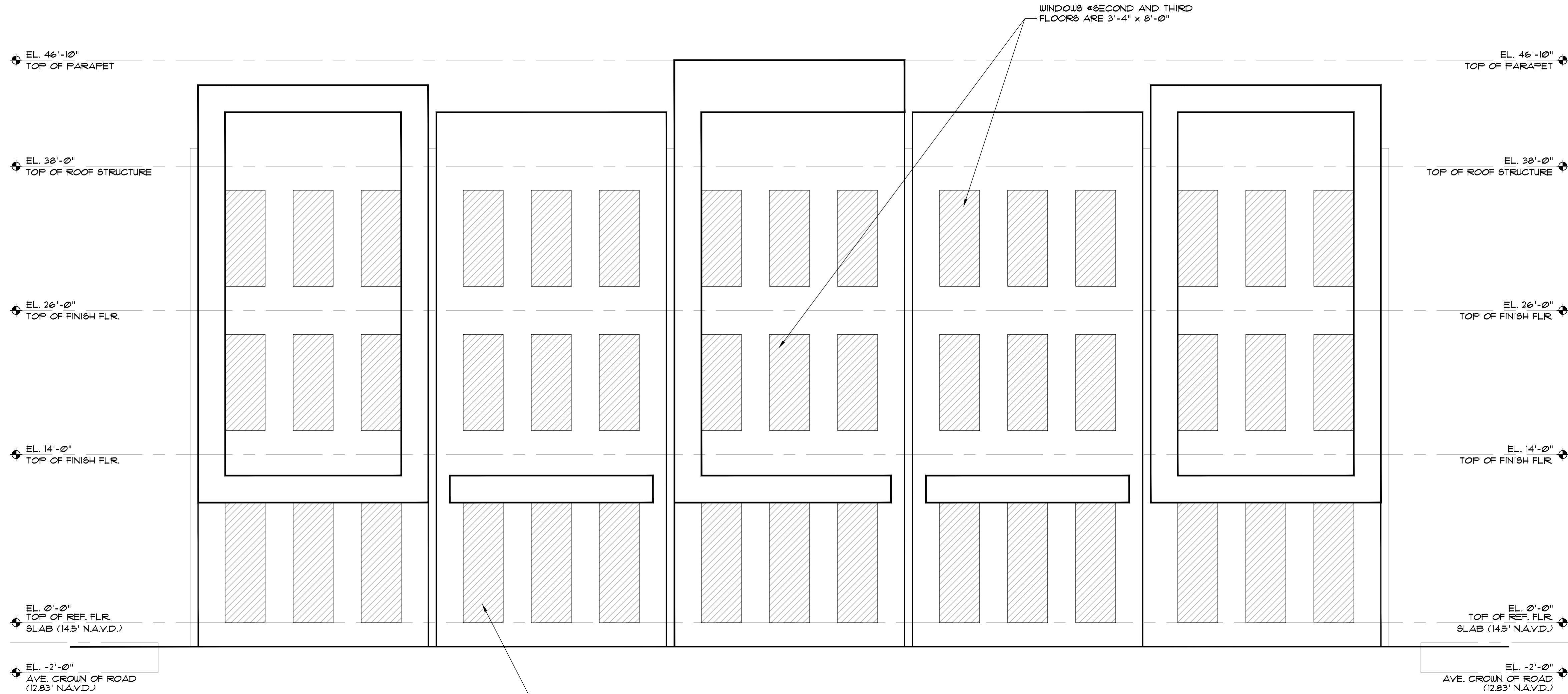
307 NE 5TH AVENUE

DELRAY BEACH, FLORIDA 33483

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SHEET

A-3.4



WEST ELEVATION
SCALE: 3/16" = 1'-0"

WINDOW COVERING CALCULATIONS			
WINDOW COVERING SHALL BE BETWEEN 20% - 75% OF WALL AREA			
FLOOR	WALL AREA	GLASS AREA	PERCENTAGE
GROUND	1,391 S.F.	499 S.F.	35.1%
SECOND	1,198 S.F.	399 S.F.	33.3%
THIRD	1,198 S.F.	399 S.F.	33.3%

LEGEND	
DESCRIPTION	
	GLASS
	WALL

REVISIONS		DATE
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1.		05.25.23
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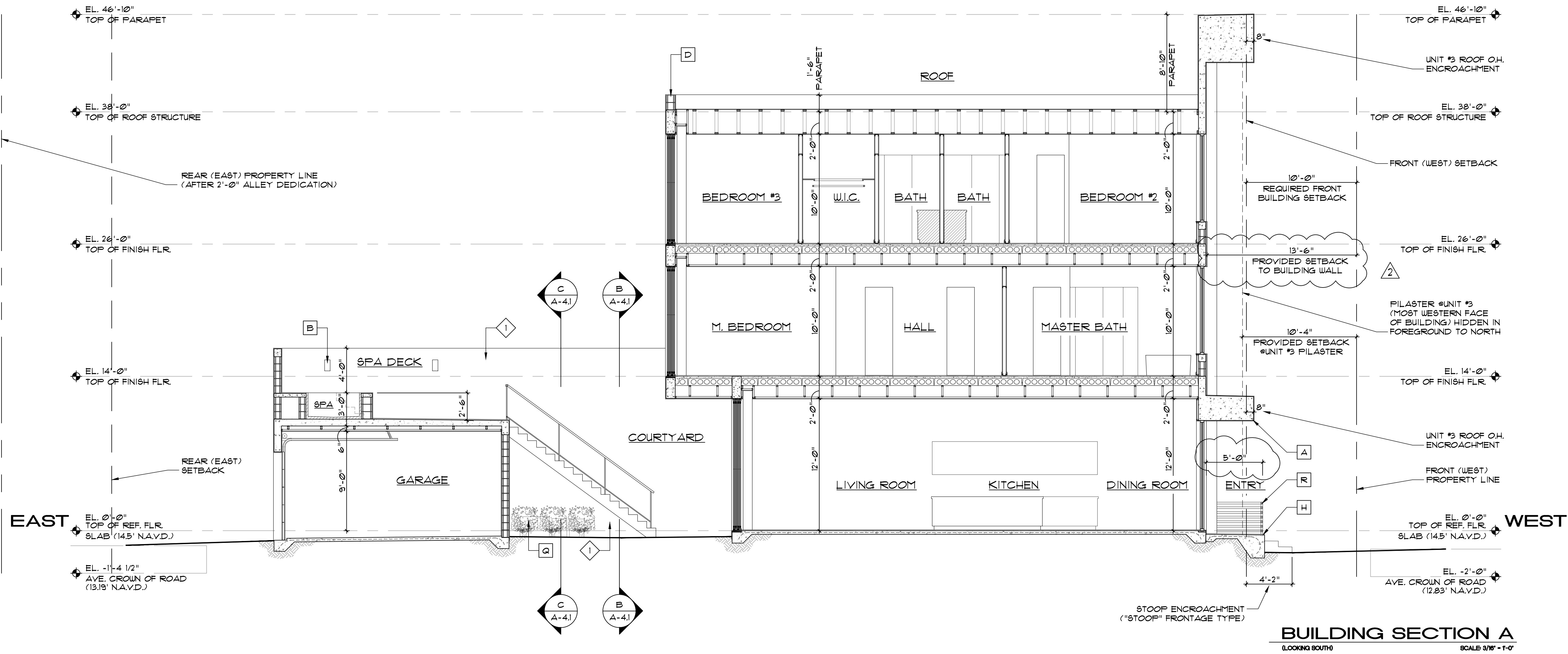
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WINDOW COVERING DIAGRAM

DELAY TOWN VILLAS
307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

SHEET
A-3.5



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DRAWN BY: GSJ

DATE: 02-08-23

BUILDING SECTION

DELRAY TOWN VILLAS

307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

SHEET

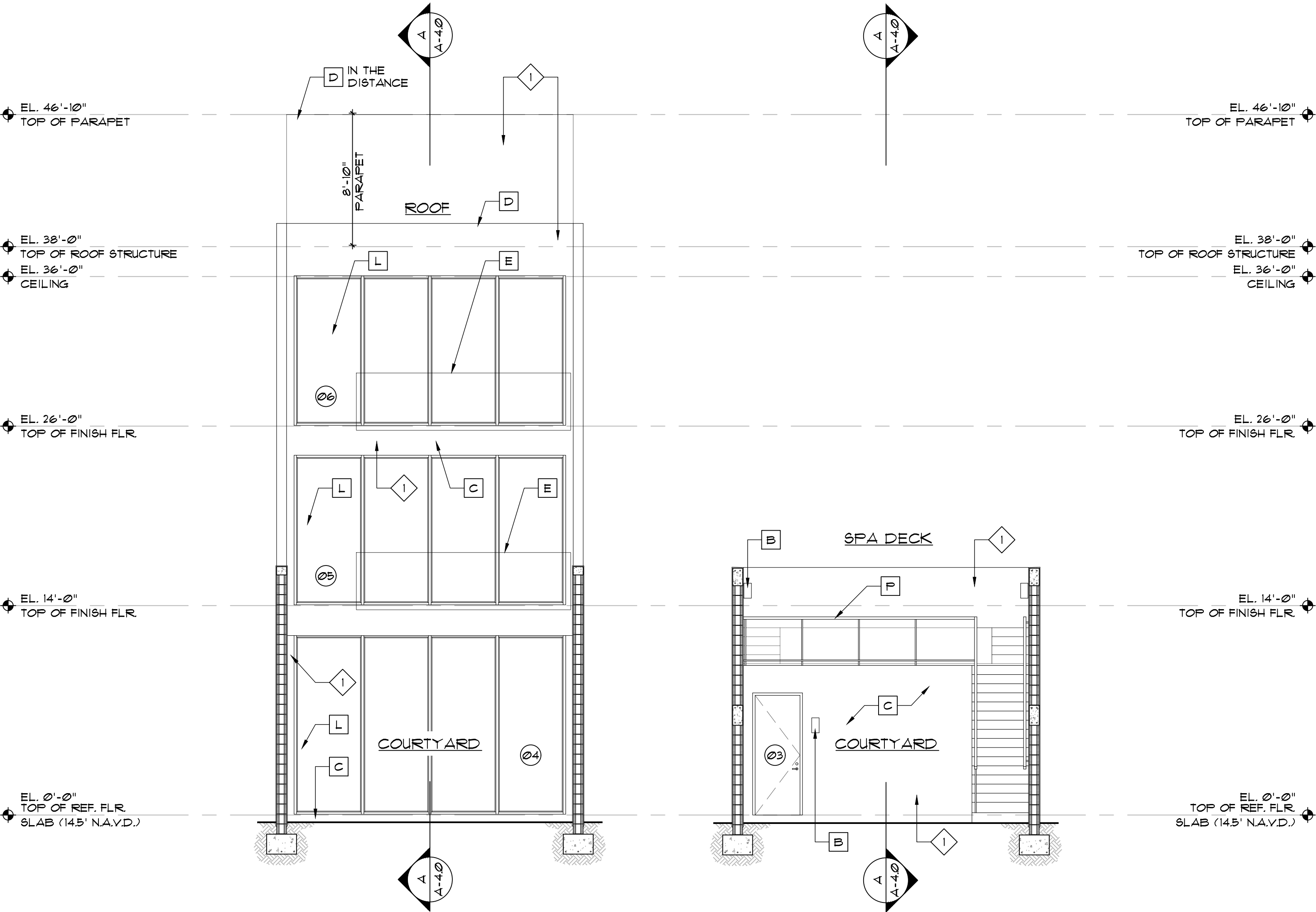
A-4.0

WINDOW SCHEDULE							
ALL GLAZING: CLEAR LAMINATED IMPACT GLASS - SOLARBAN 60							
MARK	ROOM	WIDTH	HEIGHT	TYPE	FRAME	GLASS	REMARKS
A	DINING ROOM	3'-4"	10'-0"	F.G.	MTL.	IMPACT	SILL +24" ABOVE FINISH FLOOR
B	DINING ROOM	3'-4"	10'-0"	F.G.	MTL.	IMPACT	SILL +24" ABOVE FINISH FLOOR
C	LAUNDRY	3'-4"	8'-0"	F.G.	MTL.	IMPACT	SILL +24" ABOVE FINISH FLOOR
D	MASTER BATHROOM	3'-4"	8'-0"	F.G.	MTL.	IMPACT	SILL +24" ABOVE FINISH FLOOR
E	MASTER BATHROOM	3'-4"	8'-0"	F.G.	MTL.	IMPACT	SILL +24" ABOVE FINISH FLOOR
F	DEN	3'-4"	8'-0"	CASE/F.G.	MTL.	IMPACT	SILL +24" AFF. - SINGLE ASSEMBLY W/ LOWER F.G. & UPPER 6'-6" H. CASEMENT (EGRESS)
G	BEDROOM #2	3'-4"	8'-0"	CASE/F.G.	MTL.	IMPACT	SILL +24" AFF. - SINGLE ASSEMBLY W/ LOWER F.G. & UPPER 6'-6" H. CASEMENT (EGRESS)
H	BEDROOM #2	3'-4"	8'-0"	CASE/F.G.	MTL.	IMPACT	SILL +24" AFF. - SINGLE ASSEMBLY W/ LOWER F.G. & UPPER 6'-6" H. CASEMENT (EGRESS)

DOOR SCHEDULE							
ALL GLAZING: CLEAR LAMINATED IMPACT GLASS - SOLARBAN 60							
NUMBER	ROOM	WIDTH	HEIGHT	THICK	TYPE	FRAME	REMARKS
01	ENTRY	3'-4"	10'-0"	1 3/4"	MTL/GL	MTL.	SWING DOOR
02	GARAGE	16'-0"	8'-0"	N/A	O.H.D.	N/A	AMARR BRAND HERITAGE 3000 STAINED WOOD PANEL 3 LAYER INSULATED GARAGE DOOR TO MEET MIAMI DADE NOA
03	GARAGE	3'-0"	8'-0"	2 3/8"	FIB. GL.	MTL.	FIBERGLASS EXTERIOR IMPACT - PAINTED
04	LIVING ROOM	10'-0"	12'-0"	1 3/4"	MTL/GL	MTL.	(4) EQUAL PANEL 4-TRACK (XXXX) S.G.D. W/ IMPACT GLS.
05	MASTER BEDROOM	10'-0"	12'-0"	1 3/4"	MTL/GL	MTL.	(4) EQUAL PANEL 4-TRACK (XXXX) S.G.D. W/ IMPACT GLS.
06	BEDROOM #3	10'-0"	12'-0"	1 3/4"	MTL/GL	MTL.	(4) EQUAL PANEL 4-TRACK (XXXX) S.G.D. W/ IMPACT GLS.

NOTE:

01. ALL EXTERIOR GLAZING UNITS SHALL BE IMPACT RESISTANT WITH FLORIDA PRODUCT APPROVAL (SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS) ALL GLAZING MUST HAVE A LIGHT TRANSMISSION REDUCTION OF NOT MORE THAN 20% FOR TRANSPARENT WINDOWS PER DELRAY BEACH ARCHITECTURAL DESIGN STANDARDS.
02. PROVIDE SHOP DRAWINGS OF ALL WINDOWS AND DOORS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO FABRICATION.
03. COORDINATE ALL ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURERS - ALL DIMENSIONS ARE NOMINAL (CONCRETE OR ROUGH OPENING). PROVIDE ENGINEERED SHOP DWGS. & METRO-DADE PRODUCT APPROVAL NOTICES FOR ALL WINDOWS & DOORS.
04. ALL WINDOWS & DOORS TO COMPLY W/ FBC IMPACT & WIND LOAD REQ. (SUBMIT MANUF. CUT SHEET PRODUCT APPROVALS).
05. GENERAL CONTRACTOR TO FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION.
06. ALL WINDOW NOTED AS EGRESS WINDOWS SHALL COMPLY WITH FBC. SILL HT. SHALL NOT EXCEED 44" ABOVE FIN. FLR. MIN. OPG. HT. SHALL BE 24" AND MINIMUM OPENING WIDTH SHALL BE 20". MINIMUM CLEAR OPEN AREA SHALL BE 5.7 SF. (5.0 SF. @1ST FLR.).
07. APPLY SHERWIN WILLIAMS SHER-CRETE FLEXIBLE CONCRETE WATER PROOF (TEXTURED AS SERIES) AT EXTERIOR PERIMETER OF ALL MASONRY OPENINGS TO A DISTANCE OF 12" FROM EDGE OF OPENING UNLESS OTHERWISE NOTED.
08. WIDTHS LISTED ARE EXCLUSIVE OF WOOD BUCKS.



BLDG. SECTION B
SCALE: 3/16" = 1'-0"

BLDG. SECTION C
SCALE: 3/16" = 1'-0"

ELEVATION NOTES

A	CANTILEVERED EYEBROW (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
B	LIGHTING SCONCE (TO BE SELECTED BY OWNER / INTERIOR DESIGNER).
C	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
D	MASONRY PARAPET WALL (REFER TO STRUCTURAL DRAWINGS) G.C. TO PROVIDE ADEQUATE FLASHING / COUNTER FLASHING AT ROOF SYSTEM JOINT WITH WALL.
E	TAPER-LOC@SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L215 and 9BL21 BASE SHOES BY CR LAURENCE COMPANY 1-800-421-6144 - BASE FINISHED WITH BREAK METAL (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
F	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH PRE-FINISHED SPLIT FACE BLOCK BY ECHELON MASONRY MESASTONE - COLOR MIDWEST WHITE (MIDWEST GROUP C).
G	MASONRY WALL (REFER TO STRUCTURAL DRAWINGS) WITH PRE-FINISHED SMOOTH FINISH BLOCK BY ECHELON MASONRY MESASTONE - COLOR MIDWEST WHITE (MIDWEST GROUP C).
H	DECK WATER PROOFING SYSTEM - SLOPE MINIMUM 1/8" PER FOOT AWAY FROM BUILDING (INSTALL PER MANUFACTURER'S SPECIFICATIONS).
J	IMPACT RESISTANT METAL OVERHEAD GARAGE DOOR - REFER TO DOOR SCHEDULE SHEET (G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
K	MASONRY KNEE WALL (REFER TO STRUCTURAL DRAWINGS) WITH 5/8" SMOOTH FINISH STUCCO.
L	IMPACT RESISTANT ALUMINUM DOORS & WINDOWS. ALL GLAZING MUST HAVE A LIGHT TRANSMISSION REDUCTION OF NOT MORE THAN 20% FOR TRANSPARENT WINDOWS PER DELRAY BEACH ARCHITECTURAL DESIGN STANDARDS (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
M	DASHED LINE INDICATES NOMINAL INTERIOR STAIR RISER LOCATION.
N	NOT USED
P	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" ALUMINUM FRAME.
Q	ELECTRIC POOL HEATER W/ ELECTRIC PUMP & ELECTRIC IRRIGATION PUMP (BEHIND LANDSCAPING / SHRUBBERY).
R	METAL PIPE RAILING +36" AFF. (BY OTHERS - PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
T	APPLIED DECORATIVE PLANKING - TILE & CO. LF071-8X48B AWANUI RECTIFIED POLISHED WOOD LOOK PORCELAIN TILE OFFSET 2" FROM FACE OF ADJACENT SMOOTH STUCCO (PROVIDE SAMPLE FOR ARCHITECT'S REVIEW AND APPROVAL).
U	DECORATIVE METAL ROD (BY OTHERS - PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL).
V	NOT USED
W	CANTILEVERED EYEBROW (REFER TO STRUCTURAL DRAWINGS) WITH POWDER COATED "JET BLACK" ALUMINUM FINISH

NOTE:
ALL EXTERIOR LIGHT FIXTURES TO BE CUT-OFF LUMINARIES (WILL NOT PROJECT LIGHT VERTICALLY)

EXTERIOR COLORS	
1	BENJAMIN MOORE: OC-65 CHANTILLY LACE
2	TILE & CO. PORC. PLANK: LF071-8X48B AWANUI (DRIFTWOOD GRAY)
3	ECHELON MASONRY MESASTONE SPLIT FACE STONE: MIDWEST WHITE
4	BENJAMIN MOORE: 1461 STERLING SILVER
5	BENJAMIN MOORE: 2120-10 JET BLACK
6	ECHELON MASONRY MESASTONE SMOOTH FACE STONE: MIDWEST WHITE

REVISIONS		DATE
NO.	PLANNING & ZONING COMMENTS	05.25.23
1.		
2.		
3.		
4.		
5.		
6.		

GREGORY A. JONES
ARCHITECTURE

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SEAL

REVIEWED BY: G.J.

DESIGN BY: G.J.

DRAWN BY: GSJ

DATE: 02-08-23

BUILDING SECTIONS & SCHEDULES

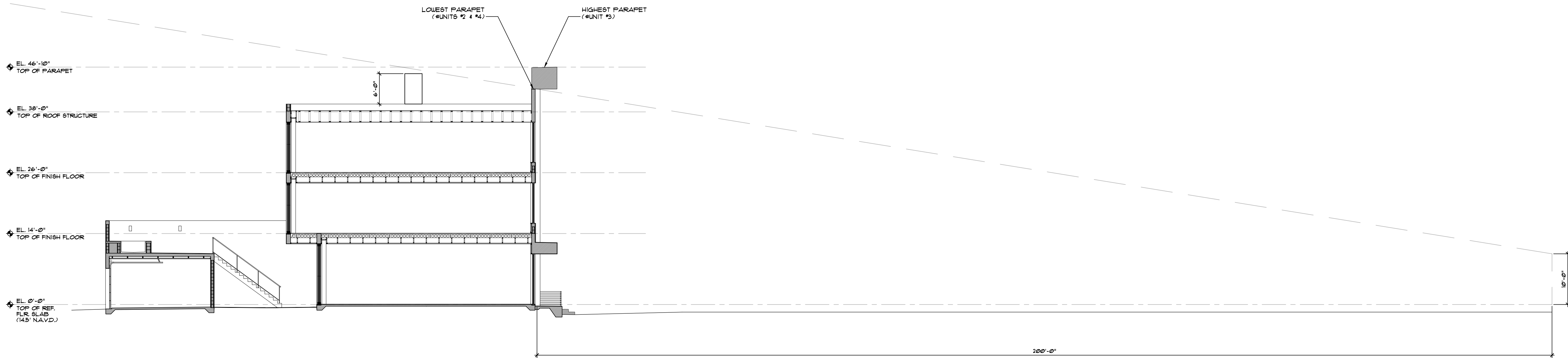
DELRAY TOWN VILLAS

307 NE 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

SHEET

A-4.1



SITE LINE STUDY
SCALE 1" = 10'

NO.	REVISIONS	DATE
1.	PLANNING & ZONING COMMENTS	05.25.23
2.		
3.		
4.		
5.		
6.		

GREGORY A. JONES

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SEAL

DATE: 02-06-23

DRAWN BY: GSJ

DESIGN BY: G.J.

REVIEWED BY: G.J.

SITE LINE STUDY

DELRAY TOWN VILLAS

307 NE 5TH AVENUE

DELRAY BEACH, FLORIDA 33483

PROJECT #: 21486

SHEET

A-4.2