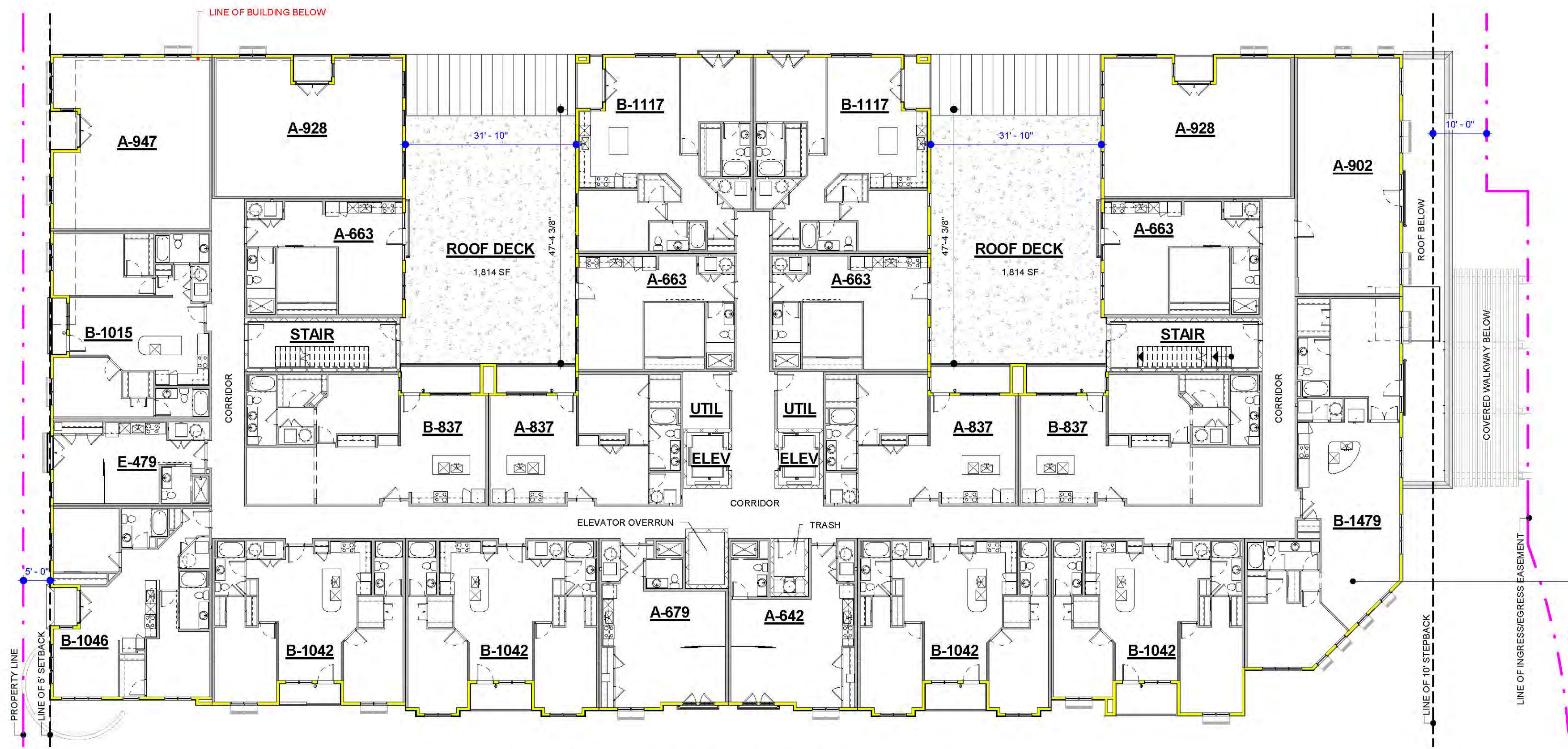
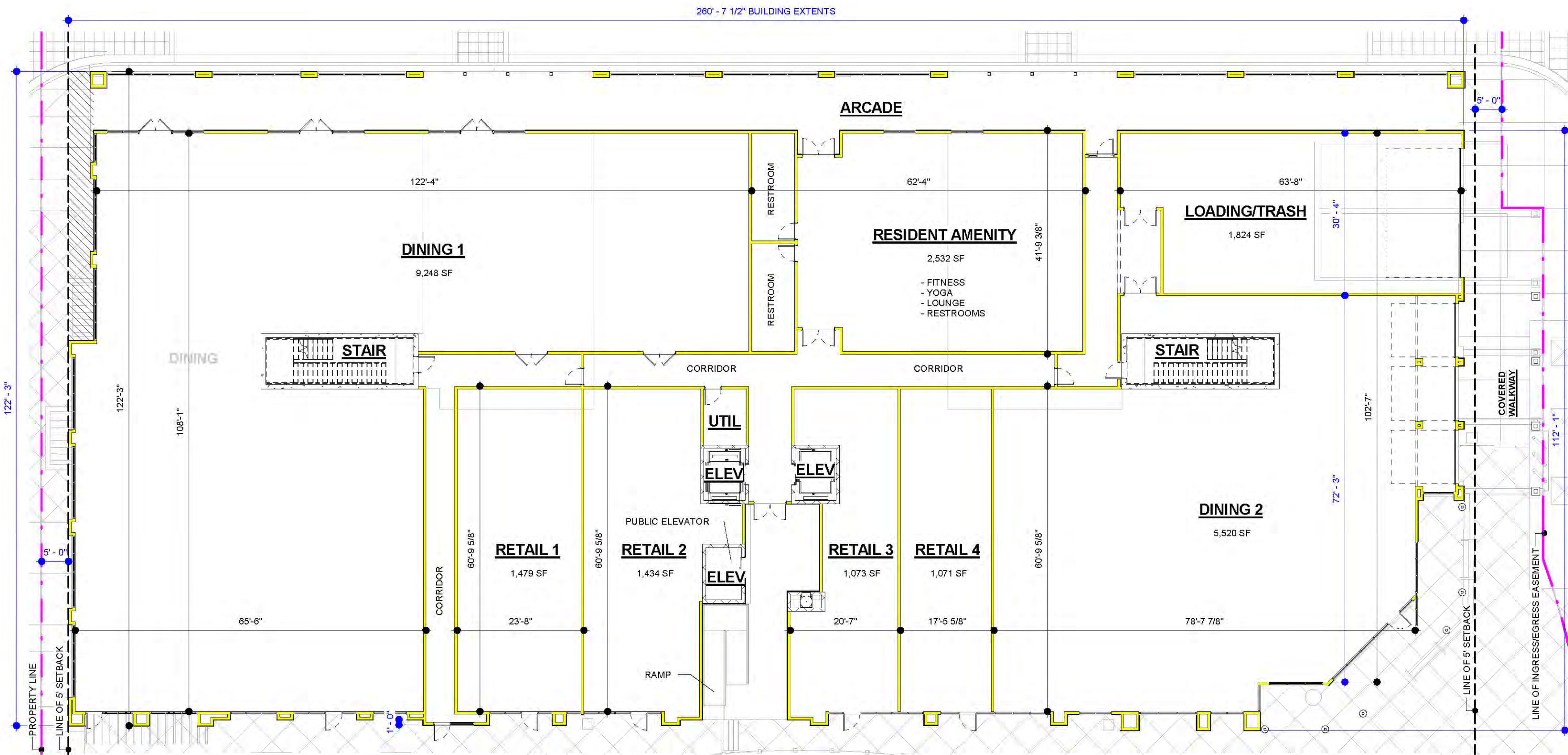




BLDG III - SECOND FLOOR PLAN

- RESPONSE TO 2.12.14 STAFF COMMENTS**
- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE.
  - ADJUSTED EASEMENT LINE ON WEST SIDE OF N.E. 7TH AVE
  - FLOOR PLANS REFLECT RESIDENTIAL UNIT COUNTS.
- RESPONSE TO 2.6.15 STAFF COMMENTS**
- REFORMATTED UNIT MATRIX
- SETTLEMENT MODIFICATION 4.21.2017**
- ADD ARCADE TO THE NORTH AND REDUCED SQUARE FOOTAGES ACCORDINGLY
  - DELETED CANTILEVER ON NORTH AT SECOND FLOOR

| BUILDING III - SECOND FLOOR UNIT MIX |    |
|--------------------------------------|----|
| STUDIO                               | 1  |
| 1-BEDROOM                            | 12 |
| 2-BEDROOM                            | 11 |
| 3-BEDROOM                            | 0  |
| TOTAL - 2ND FLOOR III                | 24 |



BLDG III - FIRST FLOOR PLAN

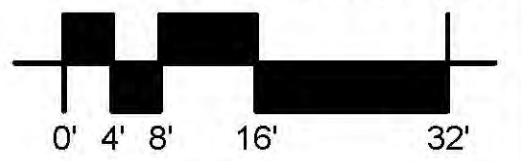
| BUILDING III - NON UNIT RETAIL AREA     |           |
|-----------------------------------------|-----------|
| BUILDING III - 1ST FLR - DINING I       | 9,248 SF  |
| BUILDING III - 1ST FLR - DINING II      | 5,519 SF  |
| BUILDING III - 1ST FLR - RESIDENT AMEND | 2,532 SF  |
| BUILDING III - 1ST FLR - RETAIL NO. 1   | 1,479 SF  |
| BUILDING III - 1ST FLR - RETAIL NO. 2   | 1,434 SF  |
| BUILDING III - 1ST FLR - RETAIL NO. 3   | 1,073 SF  |
| BUILDING III - 1ST FLR - RETAIL NO. 4   | 1,071 SF  |
| BUILDING III - 1ST FLR - TRASH          | 1,824 SF  |
| BUILDING III - 1ST FLR - UTIL           | 99 SF     |
| BUILDING III - 1ST FLR - CORRIDOR       | 2,494 SF  |
| Grand total                             | 28,775 SF |

| UNIT NAME   | UNIT TYPE    | UNIT LEASABLE AREA | QTY | GROSS LEASABLE AREA | MIX % |
|-------------|--------------|--------------------|-----|---------------------|-------|
| A-642 E.1   | 1 Bed/1 Bath | 677 SF             | 3   | 2,031 SF            | 3%    |
| A-642 E.2   | 1 Bed/1 Bath | 664 SF             | 1   | 664 SF              | 1%    |
| A-663 E.1   | 1 Bed/1 Bath | 663 SF             | 12  | 7,956 SF            | 13%   |
| A-679       | 1 Bed/1 Bath | 679 SF             | 1   | 679 SF              | 1%    |
| A-702       | 1 Bed/1 Bath | 702 SF             | 2   | 1,404 SF            | 2%    |
| A-717 E.1   | 1 Bed/1 Bath | 754 SF             | 2   | 1,508 SF            | 2%    |
| A-717 E.2   | 1 Bed/1 Bath | 741 SF             | 1   | 741 SF              | 1%    |
| A-837 E.1   | 1 Bed/1 Bath | 837 SF             | 8   | 6,696 SF            | 9%    |
| A-837 E.3   | 1 Bed/1 Bath | 1,066 SF           | 8   | 8,528 SF            | 9%    |
| B-893 E.1   | 2 Bed/2 Bath | 963 SF             | 4   | 3,852 SF            | 4%    |
| B-1015 E.1  | 2 Bed/2 Bath | 1,015 SF           | 2   | 2,030 SF            | 2%    |
| B-1042 E.1  | 2 Bed/2 Bath | 1,042 SF           | 4   | 4,168 SF            | 4%    |
| B-1042 E.2  | 2 Bed/2 Bath | 1,082 SF           | 2   | 2,164 SF            | 2%    |
| B-1042 E.3  | 2 Bed/2 Bath | 1,042 SF           | 2   | 2,084 SF            | 2%    |
| B-1042 E.4  | 2 Bed/2 Bath | 1,110 SF           | 4   | 4,440 SF            | 4%    |
| B-1042 E.5  | 2 Bed/2 Bath | 1,060 SF           | 4   | 4,242 SF            | 4%    |
| B-1049 E.1  | 2 Bed/2 Bath | 1,046 SF           | 12  | 12,552 SF           | 13%   |
| B-1117 E.2  | 2 Bed/2 Bath | 1,150 SF           | 6   | 6,900 SF            | 7%    |
| B-1117 E.4  | 2 Bed/2 Bath | 1,136 SF           | 2   | 2,272 SF            | 2%    |
| B-1479      | 2 Bed/2 Bath | 1,479 SF           | 3   | 4,437 SF            | 3%    |
| E-479 E.1   | Efficiency   | 479 SF             | 2   | 958 SF              | 2%    |
| E-663 E.1   | Efficiency   | 663 SF             | 4   | 2,652 SF            | 4%    |
| Grand total | 89           |                    | 89  | 82,992 SF           | 100%  |

Note: Per Florida Fire Prevention Code 2010 - Florida Specific NFPA 1, Fire Code, 2009 Edition and Florida Specific NFPA 101, Life Safety Code, 2009 Edition.

BLDG III FIRST & SECOND FLOOR PLAN

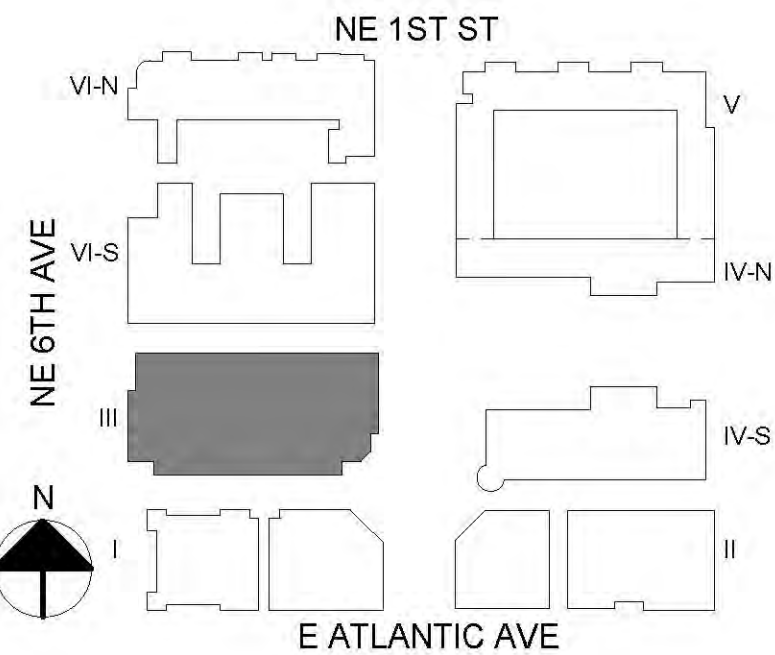
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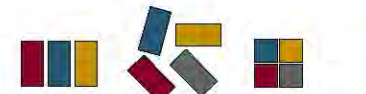
SCALE: 1/16" = 1'-0"

SHEET NUMBER

A3.1



| DATE:      | ISSUE / REVISIONS:                 |
|------------|------------------------------------|
| 06.18.2013 | Site Plan Submittal                |
| 09.17.2013 | Response to Staff Comments         |
| 10.29.2013 | 10/18 Staff Response               |
| 11.14.2014 | Response to 2.12.14 Staff Comments |
| 02.10.2015 | Per Certification Comments         |
| 04.21.2017 | Settlement Modification            |



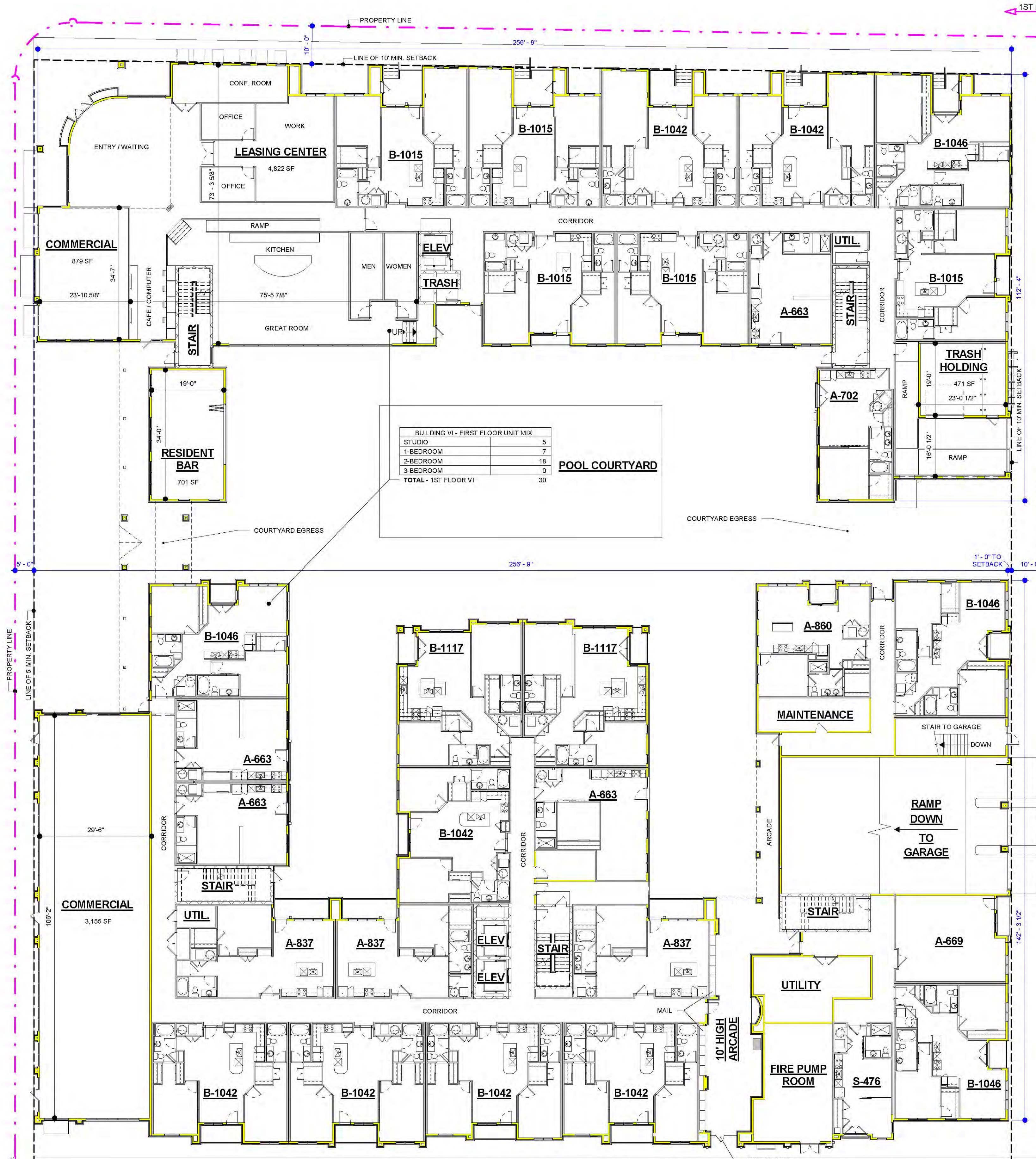
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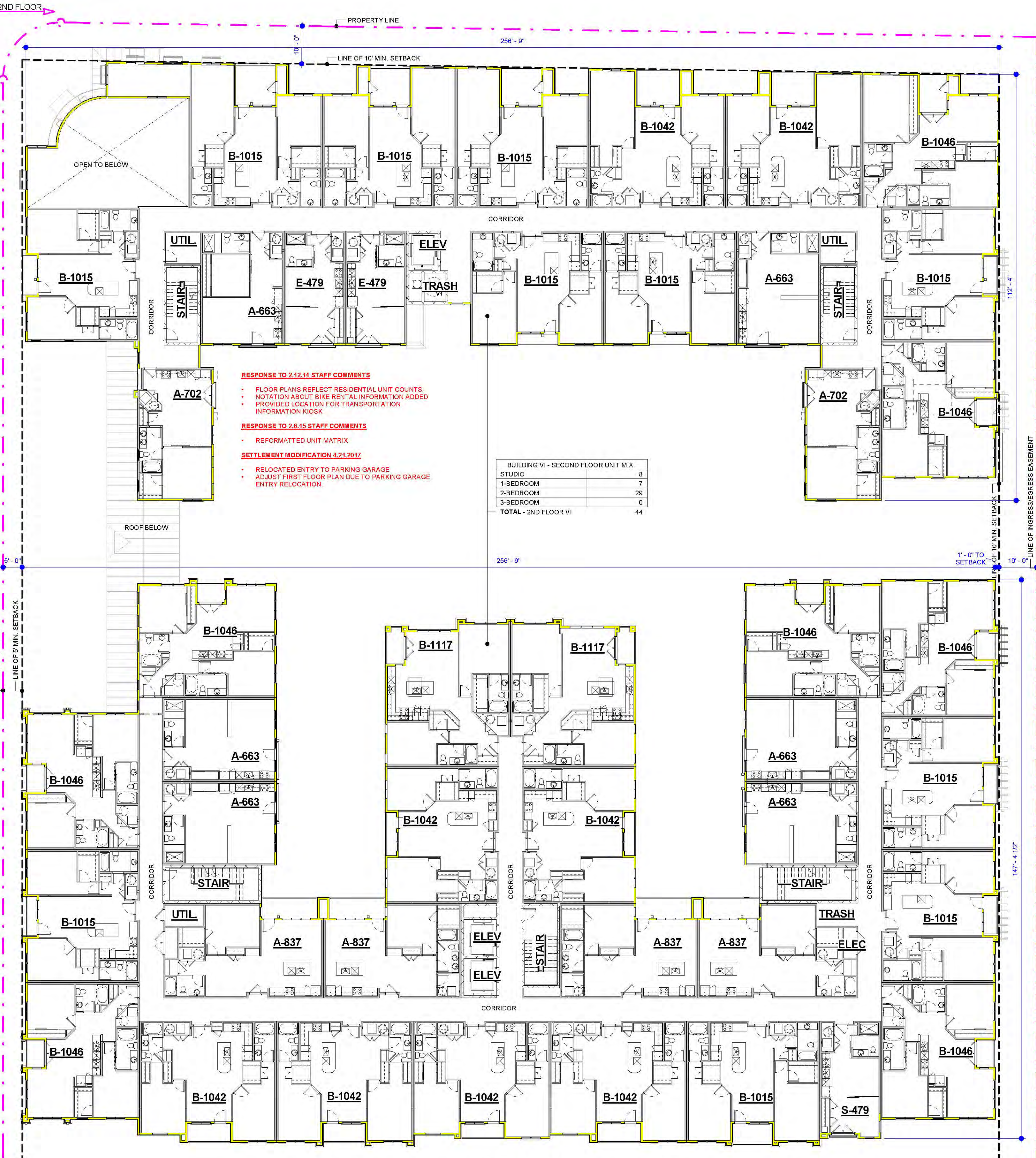
Atlantic Crossing

Project Number: 212006

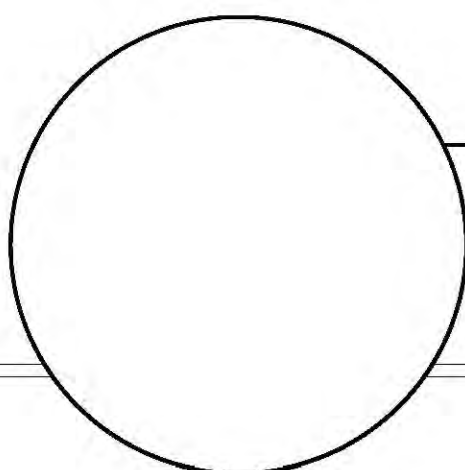
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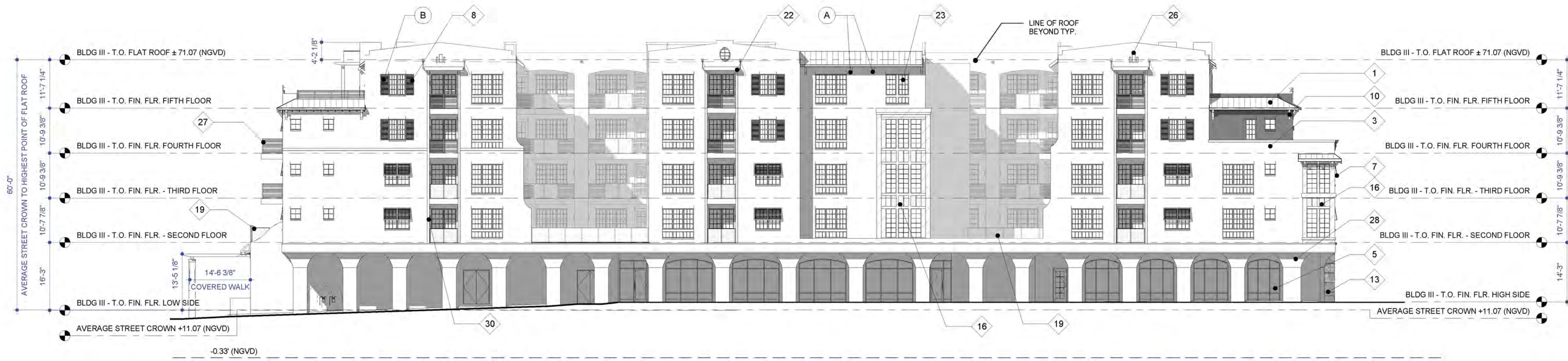
**BUILDING VI - FIRST FLOOR PLAN**



**BUILDING VI - SECOND FLOOR PLAN**



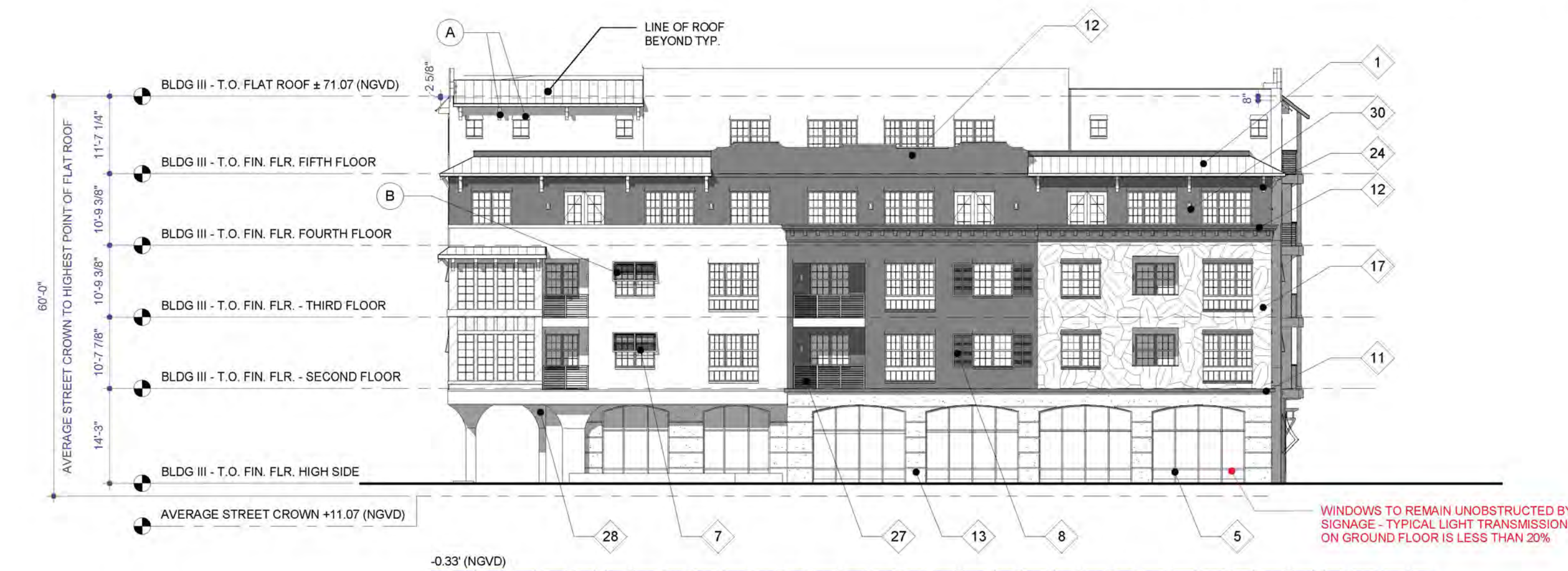
| DATE:      | ISSUE / REVISIONS:                 |
|------------|------------------------------------|
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| 10.29.2013 | 10/18 Staff Response               |
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| 02.10.2015 | Per Certification Comments         |
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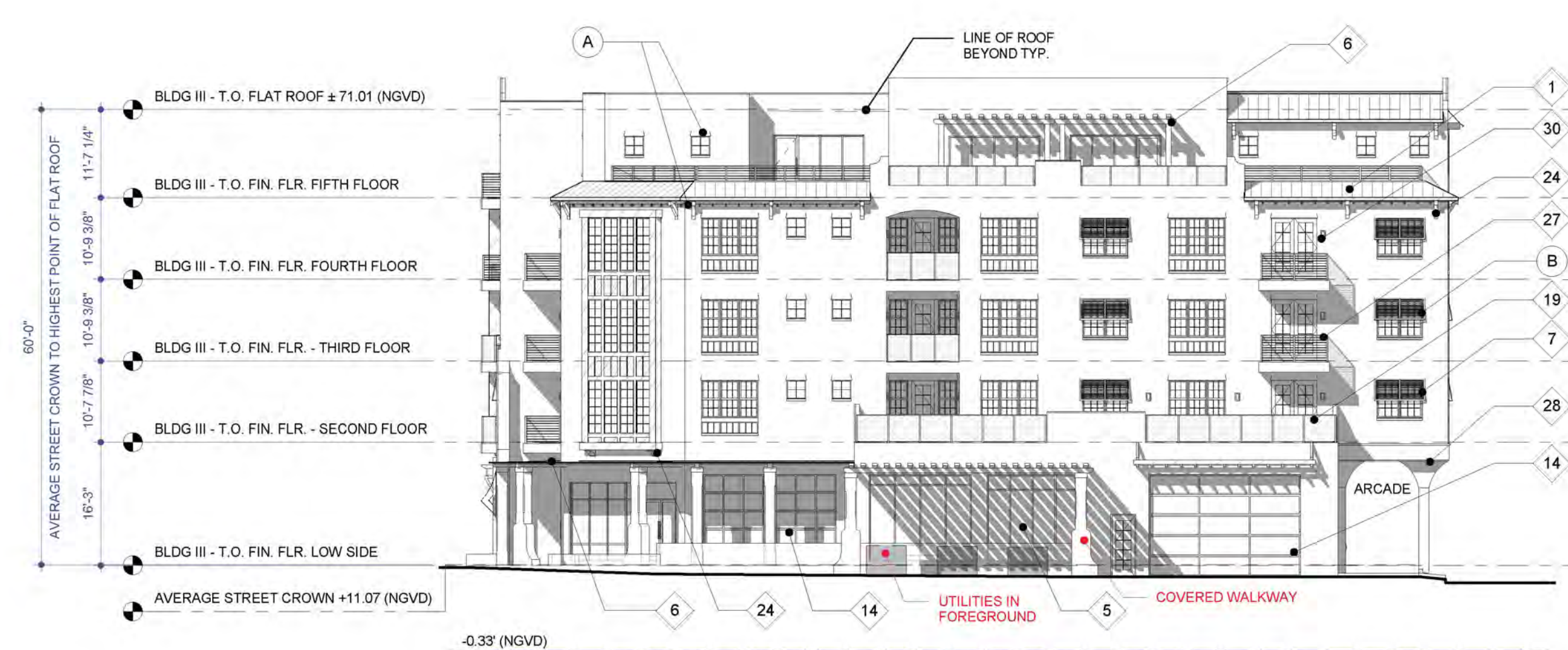
BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

BUILDING III MATERIAL LEGEND

|  |                                                      |           |
|--|------------------------------------------------------|-----------|
|  | STUCCO - CLOUD WHITE                                 | BM-967    |
|  | STUCCO - STONINGTON GRAY                             | BM-HC-170 |
|  | WOOD - KENDALL CHARCOAL                              | BM-HC-166 |
|  | LIVING WALL                                          |           |
|  | STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD |           |
|  | SHUTTERS - KENDALL CHARCOAL                          | BM-HC-166 |

RESPONSE TO 2.12.14 STAFF COMMENTS  
• BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE  
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE  
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%  
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES  
• GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENDOURCH INTO SETBACK ALONG FEDERAL HIGHWAY  
• ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

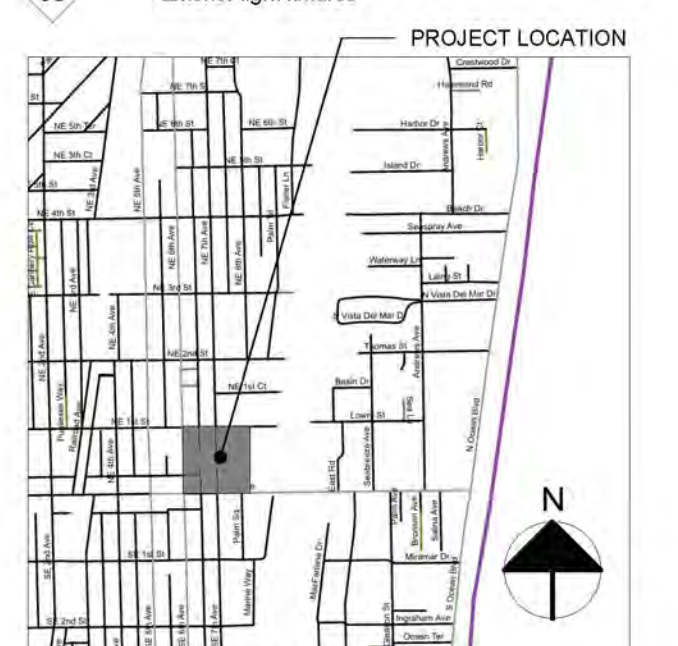
SETTLEMENT MODIFICATION 4.21.2017  
• ADD ARCADE ALONG THE NORTH ELEVATION  
• ADJUST POSITION OF LOADING AREA  
• ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018  
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:  
• SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING  
• RE-SCALE WINDOWS AT CORNERS  
• WOOD DETAILING AS ACCENT AT VERTICAL FORMS  
• ENTRANCE DETAIL AT BUILDING CAP  
• RE-DETAIL ARCADE AND LOW ROOF FORMS

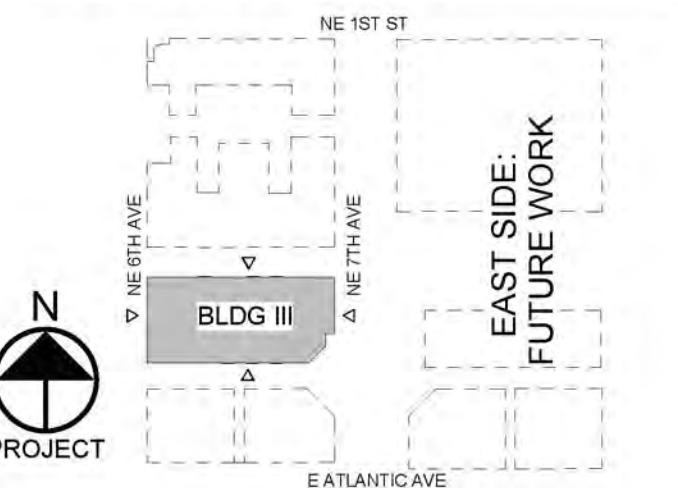
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof; galvalume
- 2 Ornamental iron railing; powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters; fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0 high max. from top of roof deck)
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched lower panel; powder coated
- 16 Wood boxed out detail
- 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- 18 Perforated metal panel railing
- 19 Wood panel railing
- 20 Paneled wood accent
- 21 Louvered panels; powder coated
- 22 Steel Trellis
- 23 Vinyl windows
- 24 Decorative wood brackets
- 25 2" Reveal
- 26 Decorative stucco inset
- 27 Steel Cable Railing
- 28 Fluted column cap; stucco
- 29 Ornamental iron gates and screen; powder coated
- 30 Exterior light fixtures



VICINITY MAP

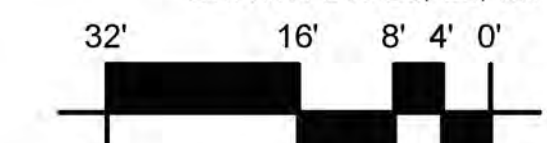


KEY PLAN

| DATE:      | ISSUE / REVISIONS:           |
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| 09.17.2013 | Response to Staff Comments   |
| 10.29.2013 | 10/18 Staff Response         |
| 11.14.2014 | Resp. 2.12.14 Staff Comments |
| 2.10.15    | Per Certification Comments   |
| 04.21.2017 | Settlement Modification      |
| 07.19.2018 | Arch. Elevation Revisions    |
| 10.10.2018 | Submitted for Certification  |

BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



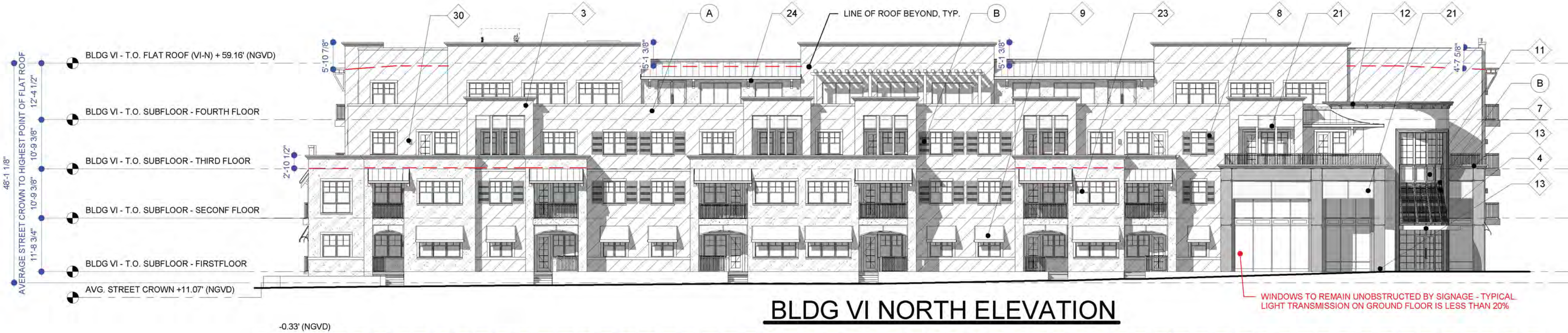
As indicated

SHEET NUMBER

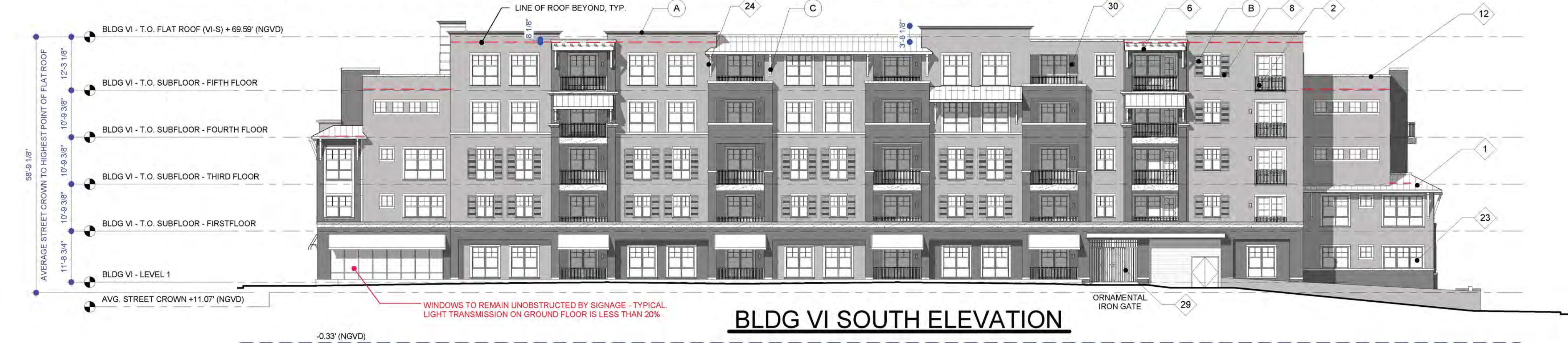
VOLUME 2

**A3.4**

DATE: 06.27.2018



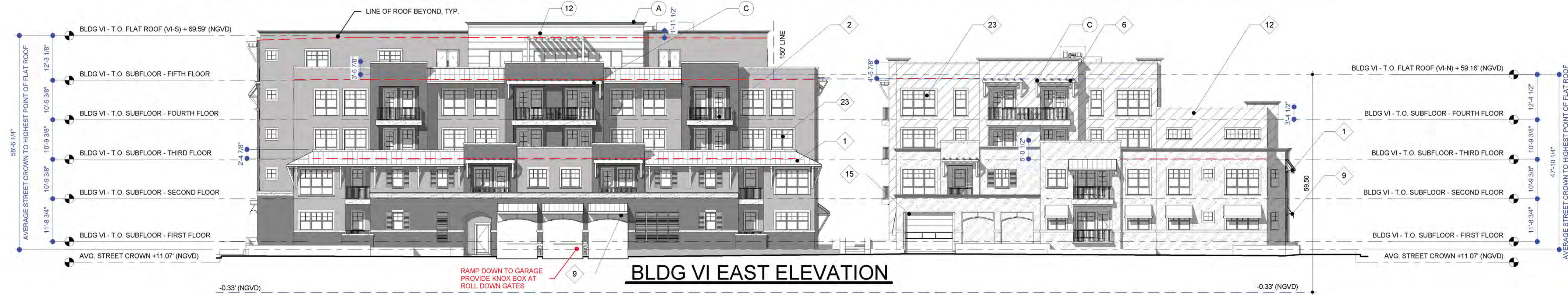
BLDG VI NORTH ELEVATION



BLDG VI SOUTH ELEVATION



BLDG VI WEST ELEVATION



BLDG VI EAST ELEVATION

BUILDING VI MATERIALS LEGEND

|  |                                                      |                                   |
|--|------------------------------------------------------|-----------------------------------|
|  | STUCCO - VALE MIST                                   | BM-HC-1494                        |
|  | STUCCO - MORNING DEW                                 | BM-HC-1493                        |
|  | STUCCO - HAWTHORNE YELLOW                            | BM-HC-4                           |
|  | STUCCO - MANCHESTER TAN                              | BM-HC-81                          |
|  | STUCCO - CLOUD WHITE W/ 2\"/>                        | BM-967                            |
|  | SIMULATED STONE - FLORIDA CORAL (KEYSTONE)           | BEIGE                             |
|  | SIDING - FAIRVIEW TAUPE                              | BM-HC-85                          |
|  | TILE WALL                                            | ANN SACKS TIEMPO \"LA SPIEZA #6\" |
|  | STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD |                                   |
|  | SHUTTERS - KENDALL CHARCOAL                          | BM-HC-166                         |
|  | BRACKETS AND PERGOLAS - CLOUD WHITE                  | BM-967                            |

RESPONSE TO 2.12.14 STAFF COMMENTS  
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE  
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%  
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES  
• ADJUSTED METAL AWNINGS AND ADDED MORE SHUTTERS  
SETTLEMENT MODIFICATION 4.21.2017  
• RELOCATED ENTRY TO PARKING GARAGE  
• ADJUST EAST AND SOUTH DUE TO PARKING GARAGE ENTRY RELOCATION

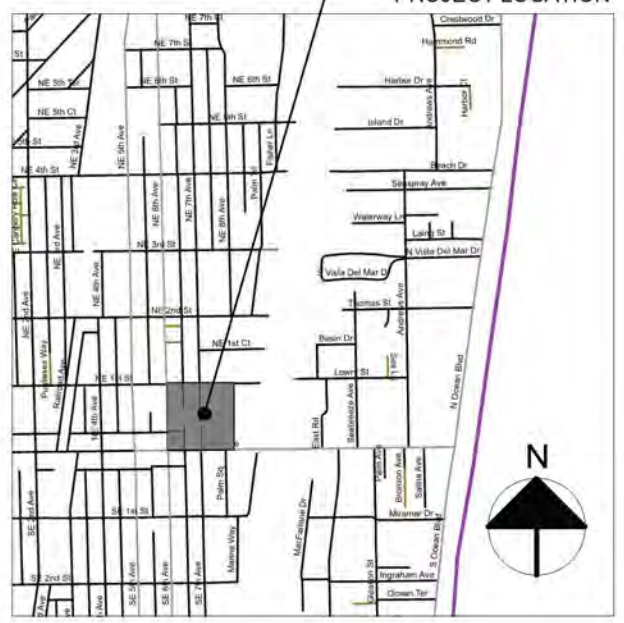
ARCHITECTURAL ELEVATION REVISIONS 7.19.2018  
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:

- STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTH-WEST CORNER)
- ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS
- ENHANCE DETAILING AT BUILDING CORNERS

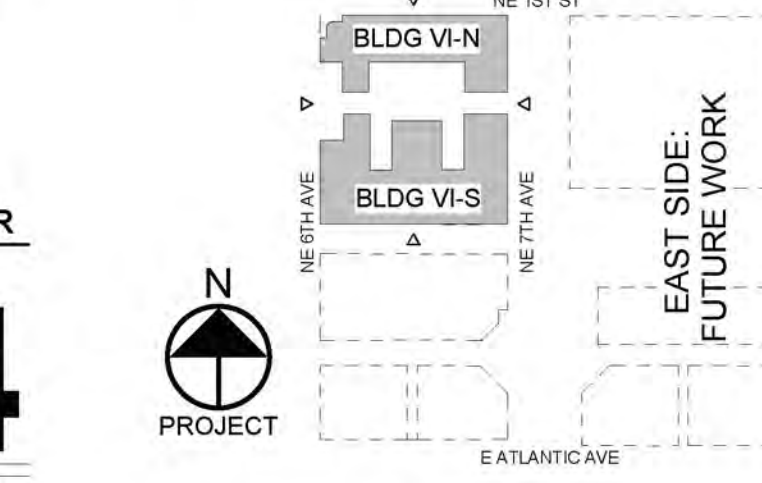
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof, galvalume
- 2 Ornamental iron railing, powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters, fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0\"/>
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched louver panel, powder coated
- 16 Wood boxed out detail
- 17 \"Living wall\" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- 18 Perforated metal panel railing
- 19 Wood panel railing
- 20 Paneled wood accent
- 21 Louvered panels, powder coated
- 22 Steel Trellis
- 23 Vinyl windows
- 24 Decorative wood brackets
- 25 2\"/>
- 26 Decorative stucco inset
- 27 Steel Cable Railing
- 28 Fluted column cap; stucco
- 29 Ornamental iron gates and screen; powder coated
- 30 Exterior light fixtures



VICINITY MAP

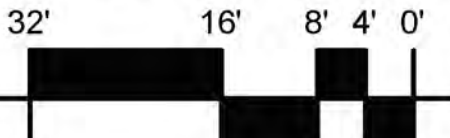


KEY PLAN

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| 04.21.2017 | Settlement Modification     |
| 07.19.2018 | Arch. Elevation Revisions   |
| 10.10.2018 | Submitted for Certification |

BLDG VI ELEVATIONS

DRAWN BY: CS, BB, KK



As indicated

SHEET NUMBER

A6.4

VOLUME 2

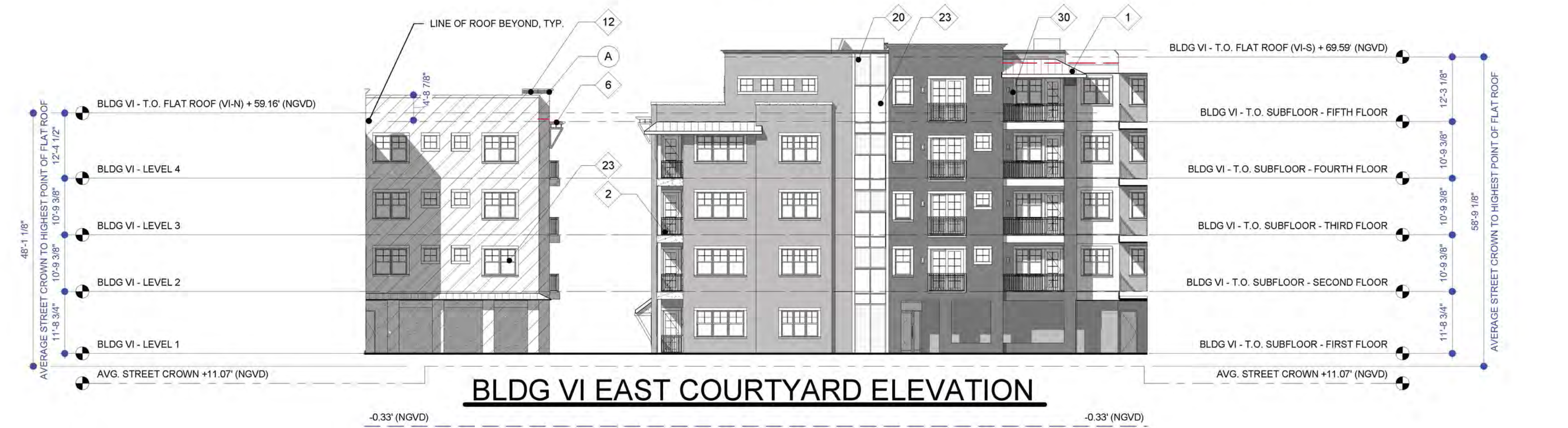
DATE: 06.27.2018



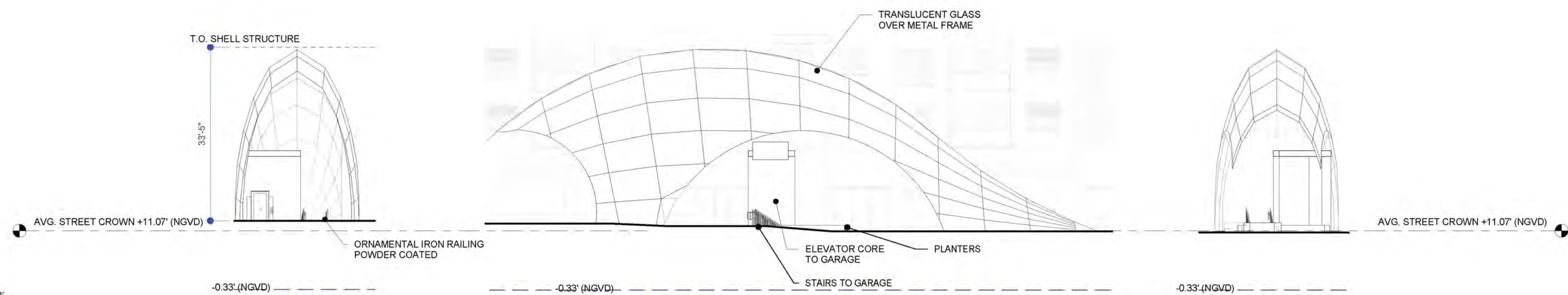
BLDG VI NORTH COURTYARD ELEVATION



BLDG VI SOUTH COURTYARD ELEVATION



BLDG VI EAST COURTYARD ELEVATION



GARAGE CANOPY ELEVATIONS

1/16" = 1'-0"

BUILDING VI MATERIALS LEGEND

|  |                                                      |                                 |
|--|------------------------------------------------------|---------------------------------|
|  | STUCCO - VALE MIST                                   | BM-HC-1494                      |
|  | STUCCO - MORNING DEW                                 | BM-HC-1493                      |
|  | STUCCO - HAWTHORNE YELLOW                            | BM-HC-4                         |
|  | STUCCO - MANCHESTER TAN                              | BM-HC-81                        |
|  | STUCCO - CLOUD WHITE w/ 2" REVEAL PER ELEV.          | BM-967                          |
|  | SIMULATED STONE - FLORIDA CORAL (KEystone)           | BEIGE                           |
|  | SIDING - FAIRVIEW TAUPE                              | BM-HC-85                        |
|  | TILE WALL                                            | ANN SACKS TIEMPO "LA SPIEZA #6" |
|  | STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD |                                 |
|  | SHUTTERS - KENDALL CHARCOAL                          | BM-HC-166                       |
|  | BRACKETS AND PERGOLAS - CLOUD WHITE                  | BM-967                          |

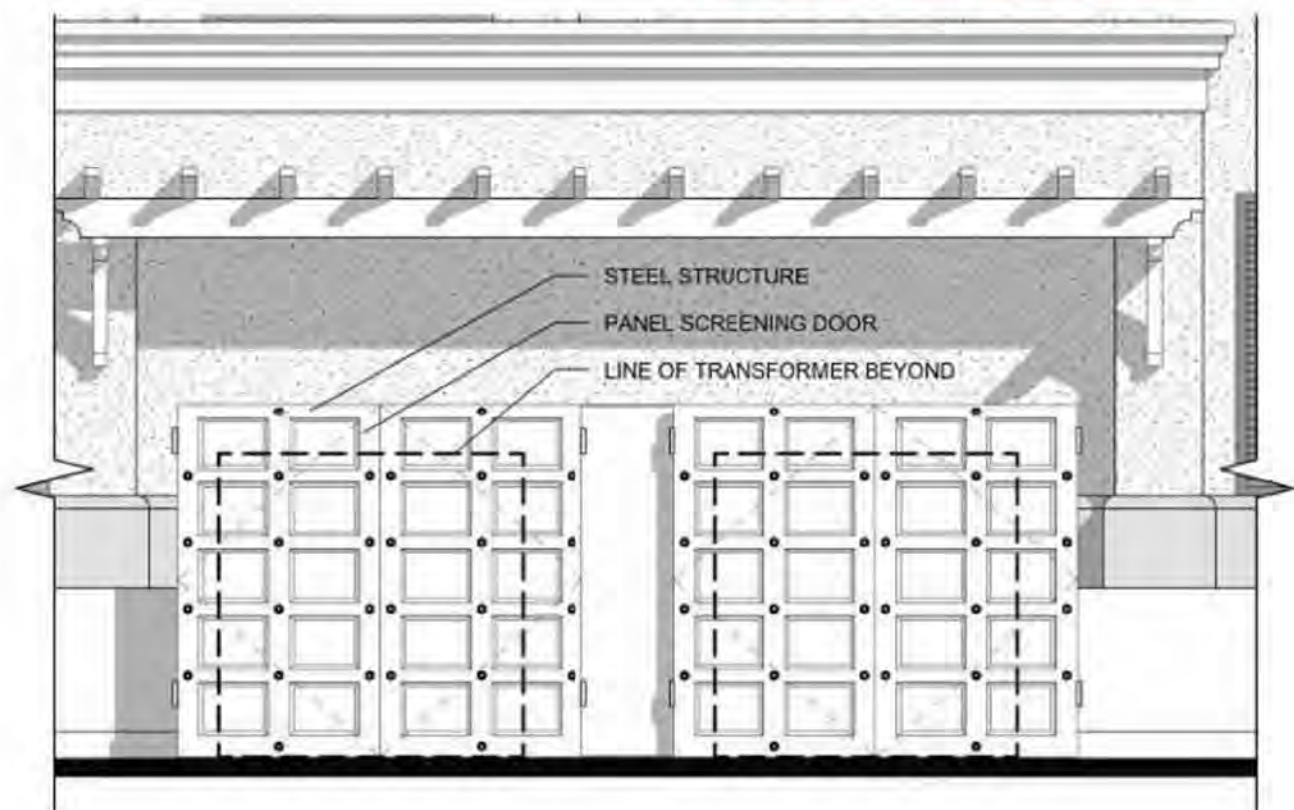
RESPONSE TO 2.12.14 STAFF COMMENTS  
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%  
• PROVIDED ELEVATIONS OF THE SCREENING DOORS AT TRANSFORMER ENCLOSURES

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018  
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:  
• STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTHWEST CORNER)  
• ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS  
• ENHANCE DETAILING AT BUILDING CAP  
• ENHANCE DETAILING AT BUILDING CORNERS

ELEVATION NOTES

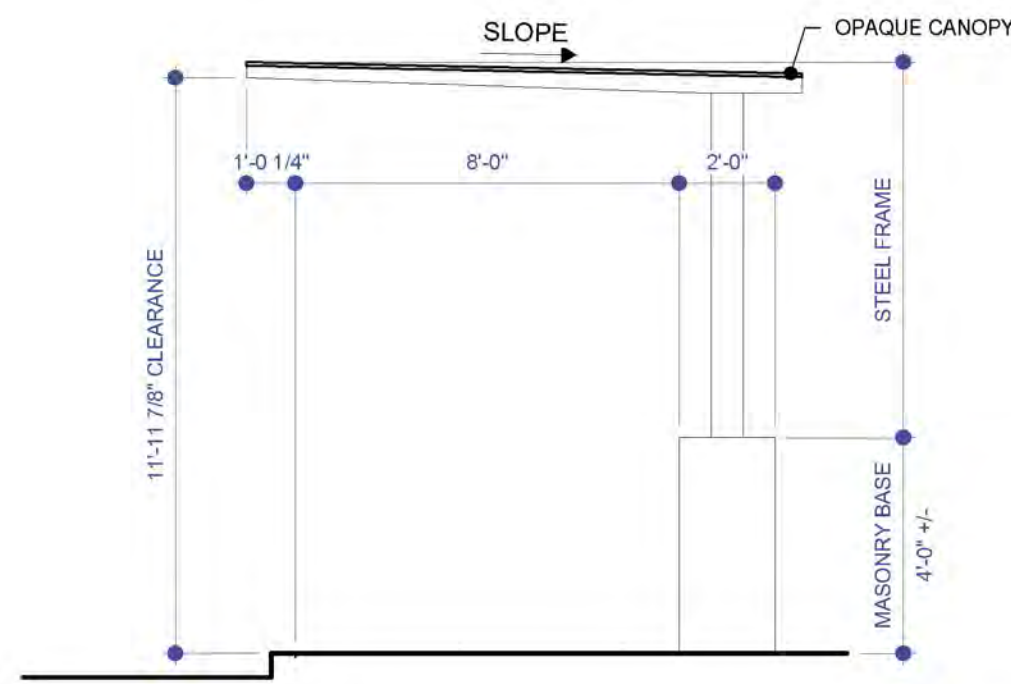
NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof, galvalume
- 2 Ornamental iron railing, powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters, fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0" high max. from top of roof deck)
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched louver panel; powder coated
- 16 Wood boxed out detail
- 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
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- 30 Exterior light fixtures

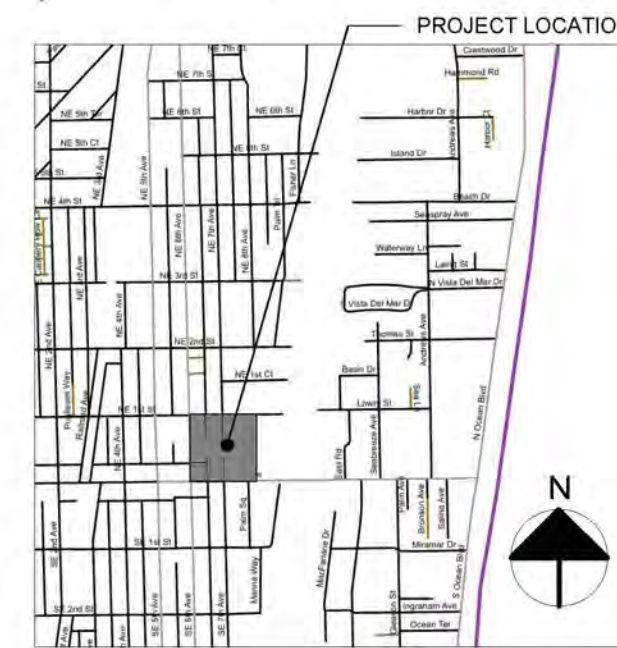


UTILITY SCREENING DOORS

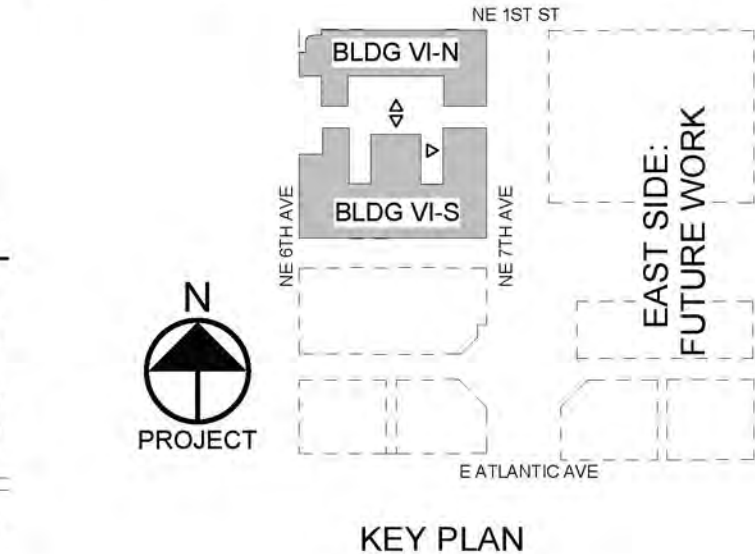
N.T.S.



COVERED WALKWAY AT VALET



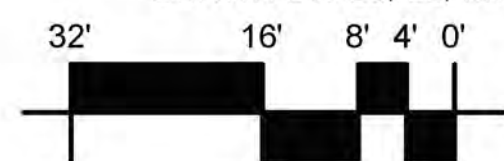
VICINITY MAP



KEY PLAN

BLDG VI COURTYARD ELEVATIONS

DRAWN BY: CS, BB, KK



As indicated

SHEET NUMBER

A6.5

DATE: 06.27.2018

VOLUME 2

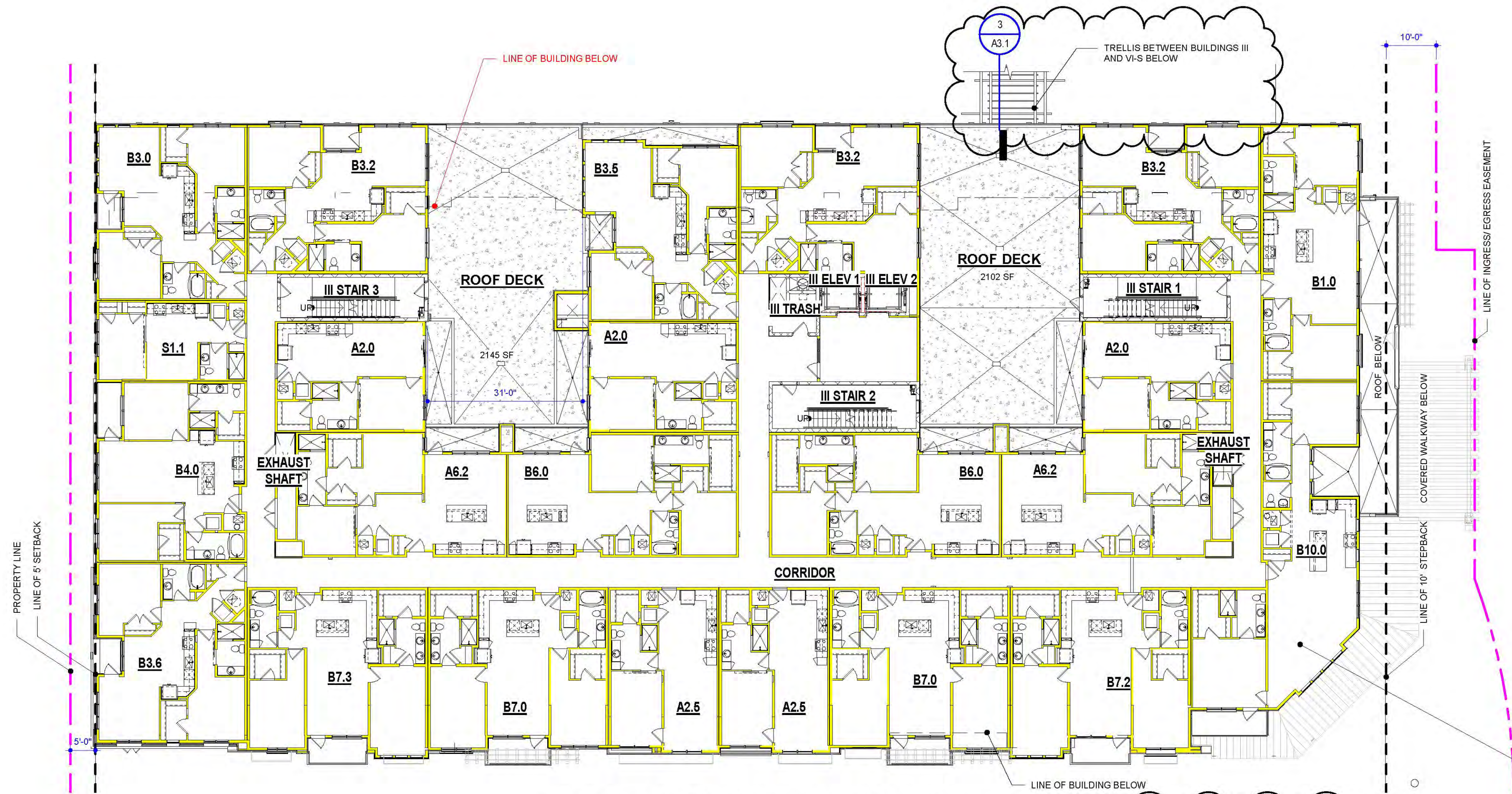
ATLANTIC CROSSING

Project Number: 217093

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| DATE:      | ISSUE / REVISIONS:          |
|------------|-----------------------------|
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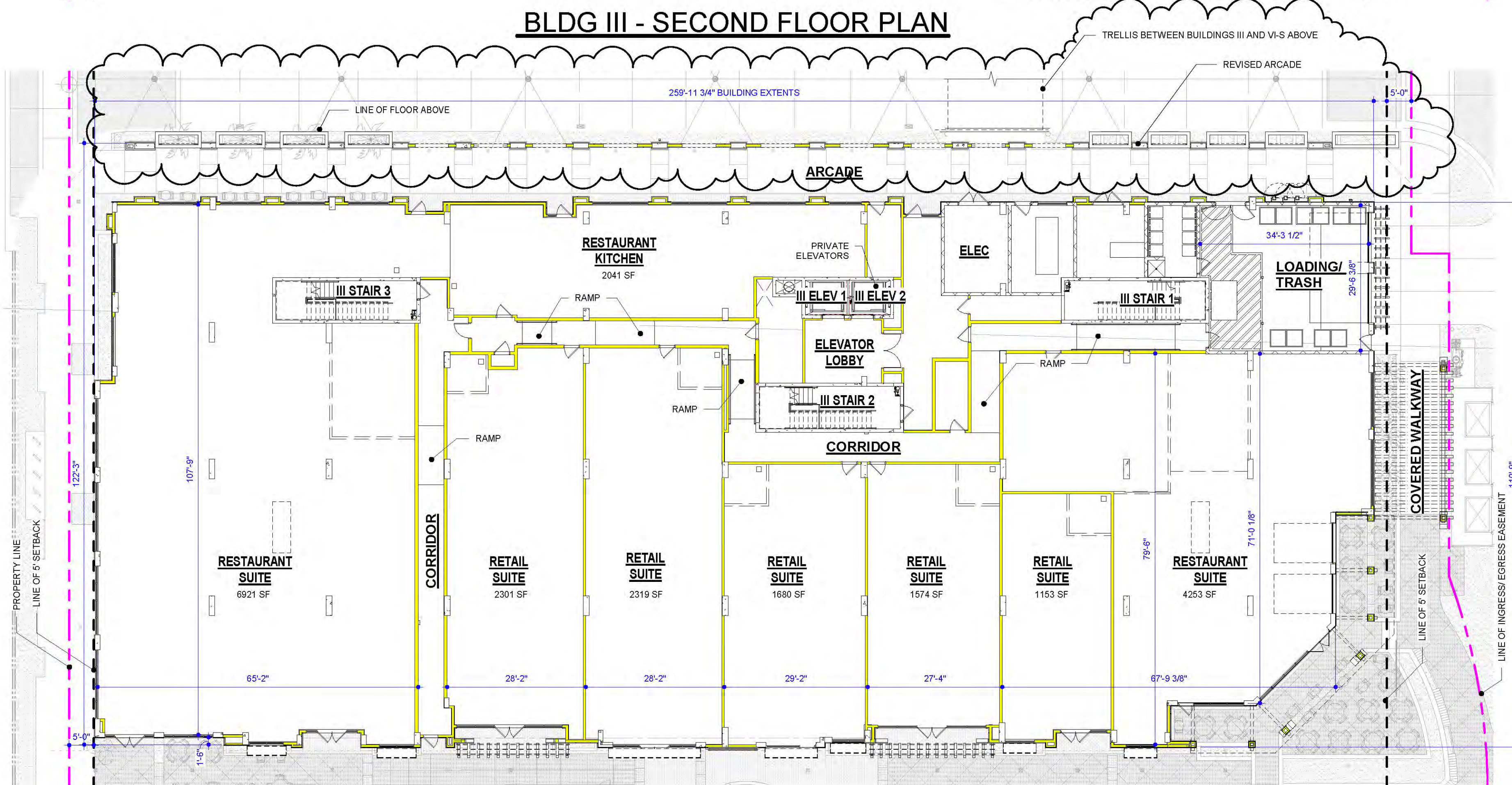
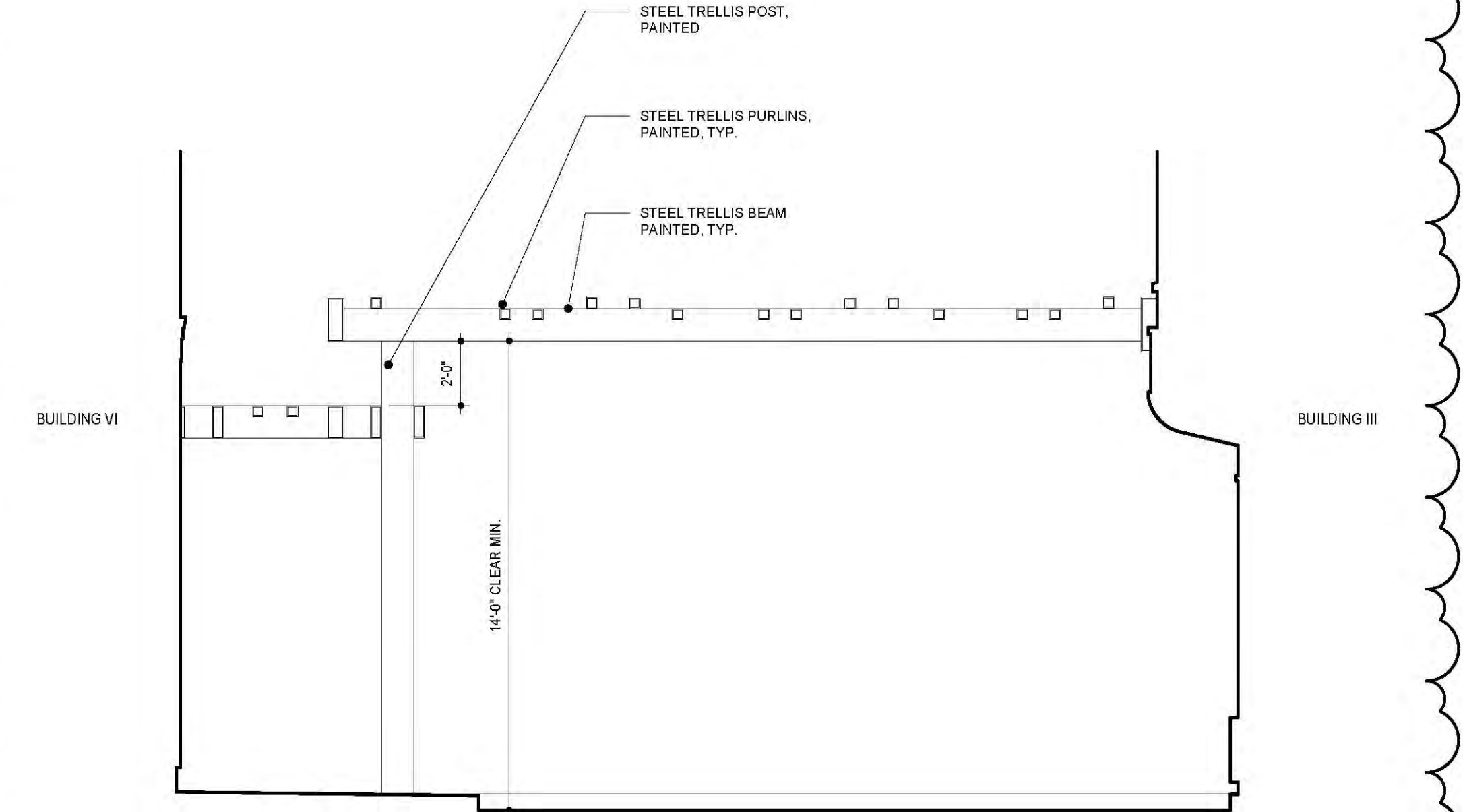


BLDG III - SECOND FLOOR PLAN

| BLDG III SECOND FLOOR UNIT MIX |    |
|--------------------------------|----|
| STUDIO                         | 1  |
| 1 BED                          | 7  |
| 2 BED                          | 23 |

### 3 DECORATIVE CONNECTOR SECTION

1/4" = 1'-0"



BLDG III - FIRST FLOOR PLAN

| BUILDING III - NON UNIT RETAIL AREA |              |
|-------------------------------------|--------------|
| ELEC                                | 274.12 SF    |
| CORRIDOR                            | 126.16 SF    |
| SERVICE CORRIDOR                    | 1,643.28 SF  |
| SUITE 100                           | 3,303.88 SF  |
| SUITE 200                           | 6,947.11 SF  |
| SUITE 203                           | 2,270.43 SF  |
| SUITE 205                           | 2,320.16 SF  |
| SUITE 207                           | 1,680.43 SF  |
| SUITE 209                           | 1,569.02 SF  |
| SUITE 211 & 211B                    | 5,372.17 SF  |
| SUITE 211B                          | 0 SF         |
| SUITE 213                           | 0 SF         |
| TRASH LOADING                       | 1,736.75 SF  |
|                                     | 29,243.53 SF |

| PROJECT BREAKDOWN - UNIT INFO - PLANNING |               |                    |     |                     |      |
|------------------------------------------|---------------|--------------------|-----|---------------------|------|
| UNIT NAME                                | UNIT TYPE     | UNIT LEASABLE AREA | QTY | GROSS LEASABLE AREA | MIX  |
| S1.1                                     | STUDIO/1 BATH | 483 SF             | 2   | 966 SF              | 2%   |
| A2.0                                     | 1 BED/1 BATH  | 663 SF             | 12  | 7,956 SF            | 14%  |
| A2.4                                     | 1 BED/1 BATH  | 707 SF             | 2   | 1,414 SF            | 2%   |
| A2.5                                     | 1 BED/1 BATH  | 718 SF             | 3   | 2,154 SF            | 4%   |
| A2.6                                     | 1 BED/1 BATH  | 718 SF             | 3   | 2,154 SF            | 4%   |
| A4.0                                     | 1 BED/1 BATH  | 722 SF             | 1   | 722 SF              | 1%   |
| A4.2                                     | 1 BED/1 BATH  | 722 SF             | 1   | 722 SF              | 1%   |
| A6.2                                     | 1 BED/1 BATH  | 978 SF             | 8   | 7,824 SF            | 9%   |
| B1.0                                     | 2 BED/2 BATH  | 1,008 SF           | 3   | 3,024 SF            | 4%   |
| B1.1                                     | 2 BED/2 BATH  | 1,025 SF           | 1   | 1,025 SF            | 1%   |
| B3.0                                     | 2 BED/2 BATH  | 1,016 SF           | 2   | 2,032 SF            | 2%   |
| B3.1                                     | 2 BED/2 BATH  | 1,016 SF           | 1   | 1,016 SF            | 1%   |
| B3.2                                     | 2 BED/2 BATH  | 1,034 SF           | 6   | 6,204 SF            | 7%   |
| B3.3                                     | 2 BED/2 BATH  | 1,034 SF           | 2   | 2,068 SF            | 2%   |
| B3.4                                     | 2 BED/2 BATH  | 1,034 SF           | 4   | 4,136 SF            | 5%   |
| B3.5                                     | 2 BED/2 BATH  | 1,047 SF           | 3   | 3,141 SF            | 4%   |
| B3.6                                     | 2 BED/2 BATH  | 1,047 SF           | 2   | 2,094 SF            | 2%   |
| B4.0                                     | 2 BED/2 BATH  | 1,020 SF           | 2   | 2,040 SF            | 2%   |
| B6.0                                     | 2 BED/2 BATH  | 1,087 SF           | 8   | 8,696 SF            | 9%   |
| B7.0                                     | 2 BED/2 BATH  | 1,131 SF           | 8   | 9,048 SF            | 9%   |
| B7.1                                     | 2 BED/2 BATH  | 1,137 SF           | 1   | 1,137 SF            | 1%   |
| B7.2                                     | 2 BED/2 BATH  | 1,153 SF           | 3   | 3,459 SF            | 4%   |
| B7.3                                     | 2 BED/2 BATH  | 1,153 SF           | 3   | 3,459 SF            | 4%   |
| B10.0                                    | 2 BED/2 BATH  | 1,416 SF           | 3   | 4,248 SF            | 4%   |
| C1.0                                     | 3 BED/NA      | 1,544 SF           | 1   | 1,544 SF            | 1%   |
|                                          |               |                    | 85  | 82,293 SF           | 100% |

#### RESPONSE TO 2.12.14 STAFF COMMENTS

- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 8TH AVENUE
- ADJUSTED EASEMENT LINE ON WEST SIDE OF N.E. 7TH AVE.
- FLOOR PLANS REFLECT RESIDENTIAL UNIT COUNTS.

#### RESPONSE TO 2.6.15 STAFF COMMENTS

- REFORMATTED UNIT MATRIX
- SETTLEMENT MODIFICATION 4.21.2017
- ADD ARCADE TO THE NORTH AND REDUCED SQUARE FOOTAGE ACCORDINGLY
- DELETED CANTILEVER ON NORTH AT SECOND FLOOR

#### CLASS II MODIFICATION 2019 - 8.2.2019

- REVISE DETAIL AT ARCADE
- ADD TRELLIS BETWEEN III & VI-S

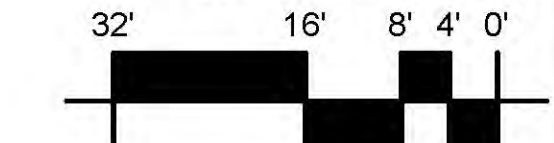
#### CLASS II MODIFICATION SUPPLEMENT 10.25.2019

- CLARIFY GRAPHICS

Note: Per Florida Fire Prevention Code 2010 - Florida Specific NFPA, Fire Code, 2009 Edition and Florida Specific NFPA 101, Life Safety Code, 2009 Edition.

### BLDG III FIRST & SECOND FLOOR PLANS

DRAWN BY: CS, BB, KK



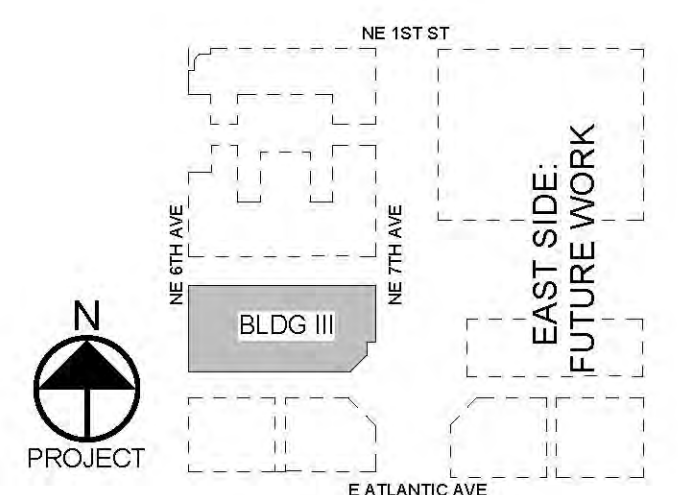
As indicated

SHEET NUMBER

VOLUME 2

# A3.1

DATE: 08.06.2019



KEY PLAN

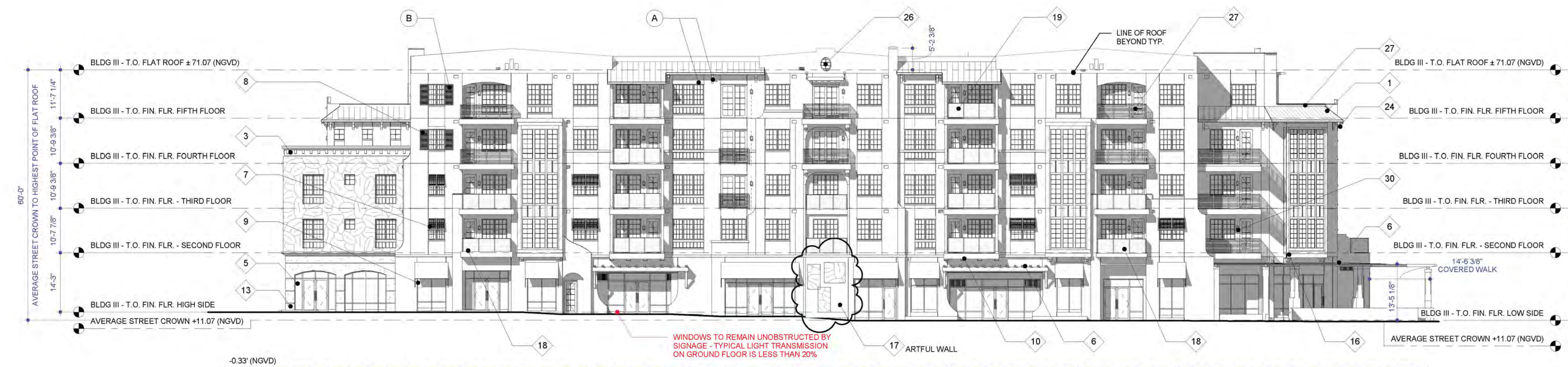
# ATLANTIC CROSSING

Project Number: 217093

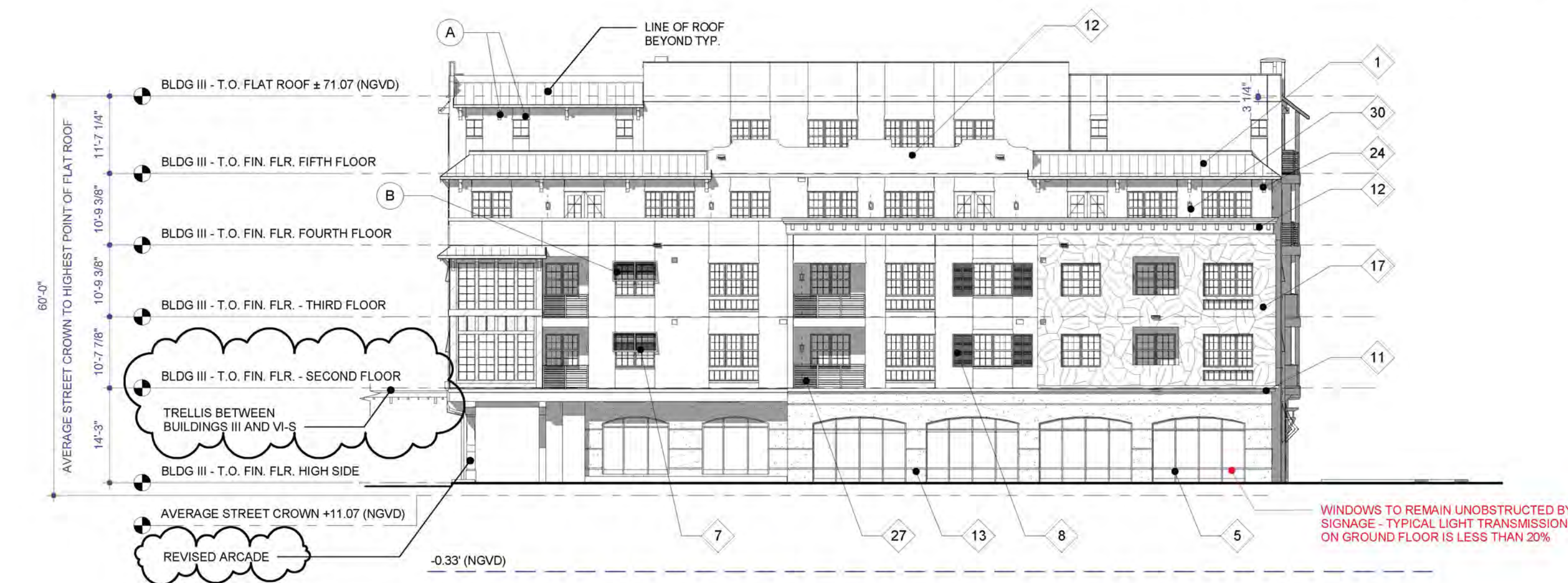
| DATE:      | ISSUE / REVISIONS:              |
|------------|---------------------------------|
| 06.18.2013 | Site Plan Submittal             |
| 09.17.2013 | Response to Staff Comments      |
| 10.29.2013 | 10/18 Staff Response            |
| 11.14.2014 | Resp. 2.12.14 Staff Comments    |
| 2.10.15    | Per Certification Comments      |
| 04.21.2017 | Settlement Modification         |
| 08.06.2019 | Class II Modification 2019      |
| 10.25.2019 | Class II Mod. 2019 - Supplement |



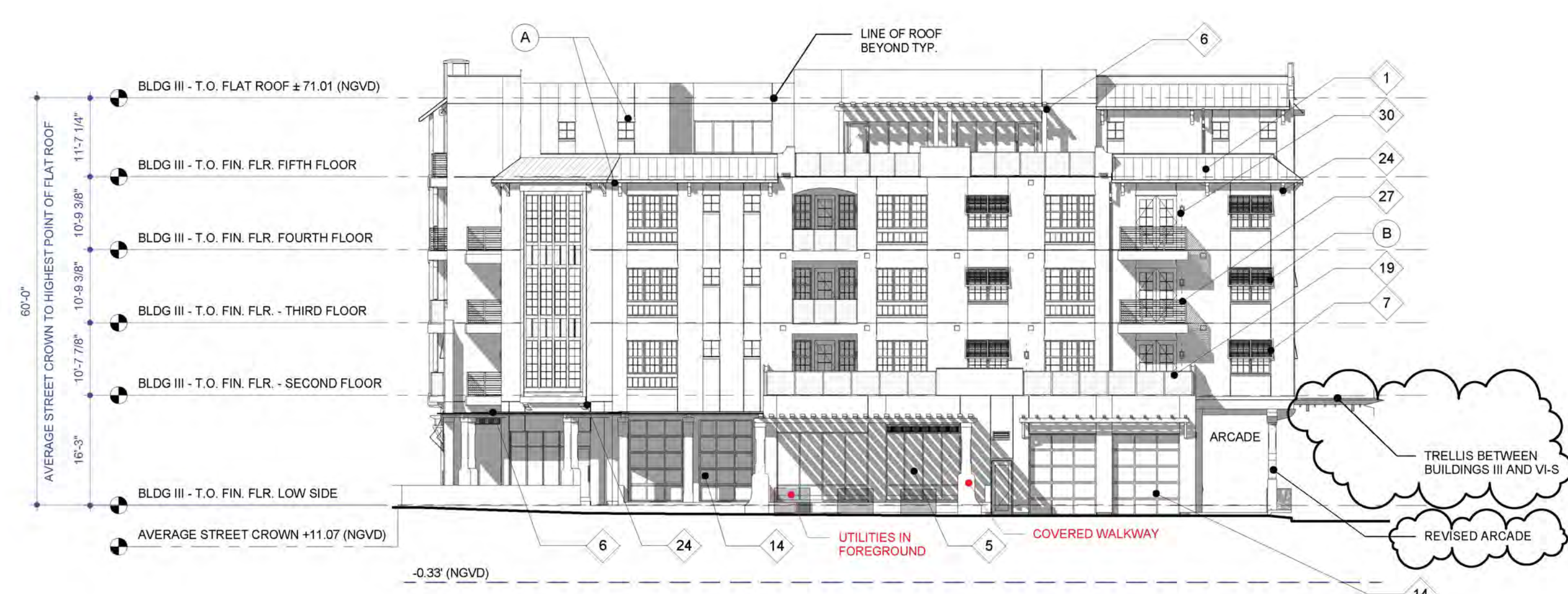
BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

# BUILDING III MATERIAL LEGEND

|  |                                                      |           |
|--|------------------------------------------------------|-----------|
|  | STUCCO - CLOUD WHITE                                 | BM-967    |
|  | STUCCO - PHILADELPHIA CREAM                          | BM-HC-30  |
|  | WOOD - KENDALL CHARCOAL                              | BM-HC-166 |
|  | LIVING WALL                                          |           |
|  | STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD |           |
|  | SHUTTERS - KENDALL CHARCOAL                          | BM-HC-166 |

**RESPONSE TO 2.12.14 STAFF COMMENTS**

- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE
- WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
- LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
- KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
- GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENDOACH INTO SETBACK ALONG FEDERAL HIGHWAY
- ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

**SETTLEMENT MODIFICATION 4.21.2017**

- ADD ARCADE ALONG THE NORTH ELEVATION
- ADJUST POSITION OF LOADING AREA
- ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE

**ARCHITECTURAL ELEVATION REVISIONS 7.19.2018**

GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:

- SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING
- RE-SCALE WINDOWS AT CORNERS
- WOOD DETAILING AS ACCENT AT VERTICAL FORMS
- ENTRANCE DETAIL AT BUILDING CAP
- RE-DETAIL ARCADE AND LOW ROOF FORMS

**CLASS II MODIFICATION 2019 8.2.2019**

- REVISE DETAIL AT ARCADE
- ADD TRELLIS BETWEEN III & VI-S

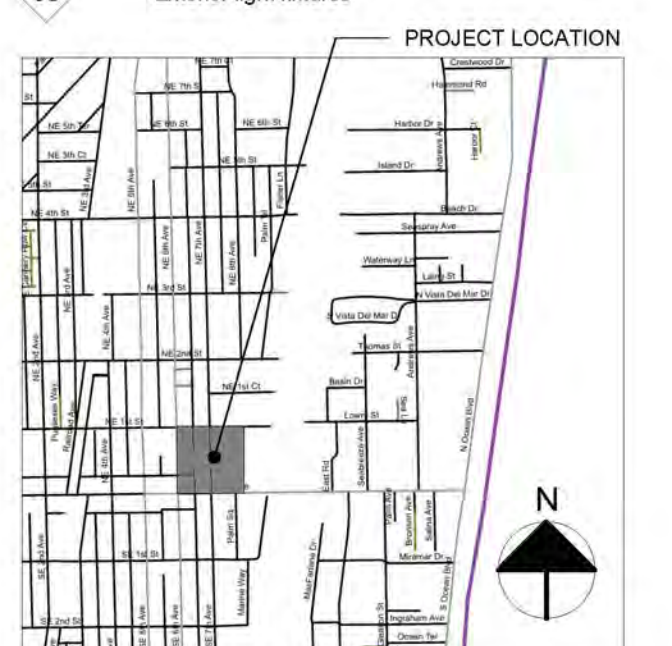
**CLASS II MODIFICATION SUPPLEMENT 10.25.2019**

- CLARIFY GRAPHICS

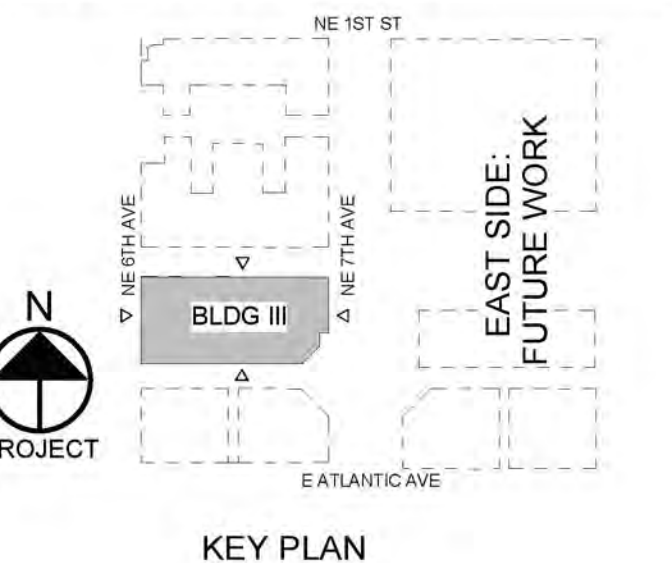
# ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- Standing seam metal roof; galvalume
- Ornamental iron railing; powder coated
- Built-up parapet cap; stucco
- Embossed wood texture storefront system
- Storefront system
- Wood pergola & trellis
- Painted composite Bermuda shutters
- Painted composite shutters; fixed
- Fabric awning system
- Decorative corbel
- Built-up stucco sill
- Stucco parapet (6'-0 high max. from top of roof deck)
- Stucco with simulated stone texture base
- Overhead garage door - Glass
- Decorative arched lower panel; powder coated
- Wood boxed out detail
- "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- Perforated metal panel railing
- Wood panel railing
- Paneled wood accent
- Louvered panels; powder coated
- Steel Trellis
- Vinyl windows
- Decorative wood brackets
- 2" Reveal
- Decorative stucco inset
- Steel Cable Railing
- Fluted column cap; stucco
- Ornamental iron gates and screen; powder coated
- Exterior light fixtures



VICINITY MAP

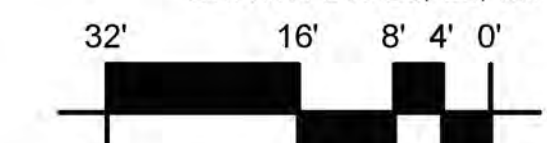


KEY PLAN

| DATE:      | ISSUE / REVISIONS:             |
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| 2.10.15    | Per Certification Comments     |
| 04.21.2017 | Settlement Modification        |
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| 10.10.2018 | Submitted for Certification    |
| 08.06.2019 | Class II Modification 2019     |
| 10.25.2019 | Class II Mod. 2019- Supplement |

# BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



As indicated

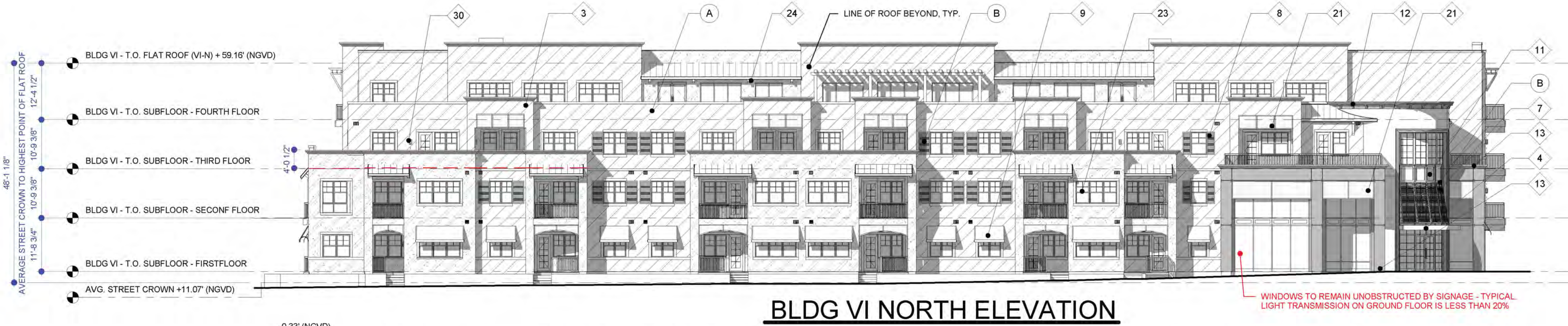
# SHEET NUMBER

VOLUME 2

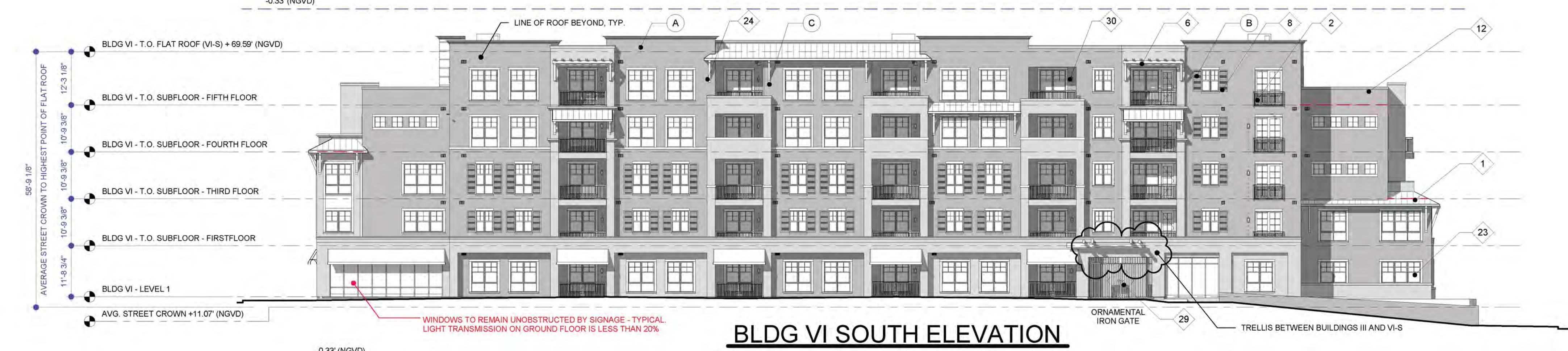
**A3.4**

DATE: 08.06.2019

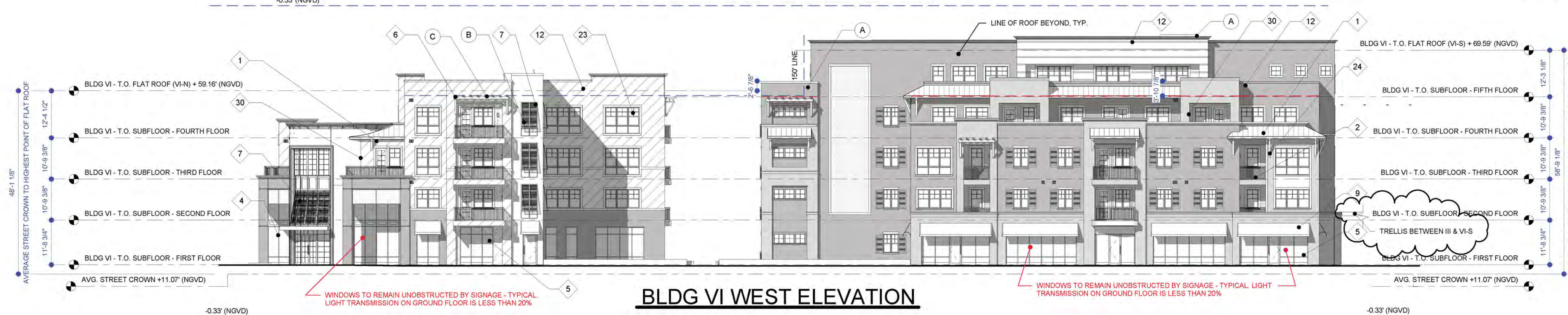




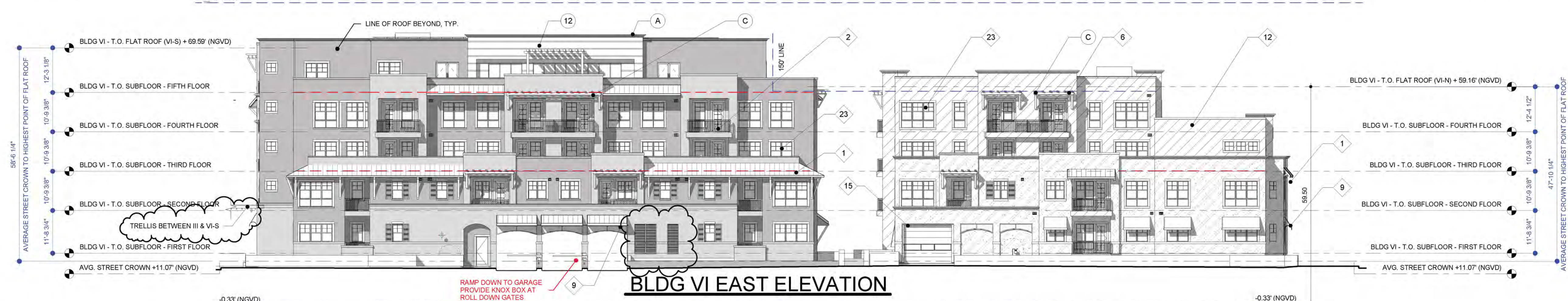
BLDG VI NORTH ELEVATION



BLDG VI SOUTH ELEVATION



BLDG VI WEST ELEVATION



BLDG VI EAST ELEVATION

BUILDING VI MATERIALS LEGEND

|  |                                            |                                 |
|--|--------------------------------------------|---------------------------------|
|  | STUCCO - VALE MIST                         | BM-HC-1494                      |
|  | STUCCO - MORNING DEW                       | BM-HC-1493                      |
|  | STUCCO - HAWTHORNE YELLOW                  | BM-HC-4                         |
|  | STUCCO - MANCHESTER TAN                    | BM-HC-81                        |
|  | STUCCO - CLOUD WHITE                       | BM-967                          |
|  | SIMULATED STONE - FLORIDA CORAL (KEYSTONE) | BEIGE                           |
|  | SIDING - FAIRVIEW TAUPE                    | BM-HC-85                        |
|  | TILE WALL                                  | ANN SACKS TIEMPO "LA SPIEZA #6" |
|  | STUCCO TRIMS - VARIES                      | COLORS TO MATCH ADJACENT FIELD  |
|  | SHUTTERS - KENDALL CHARCOAL                | BM-HC-166                       |
|  | BRACKETS AND PERGOLAS - CLOUD WHITE        | BM-967                          |

RESPONSE TO 2.12.14 STAFF COMMENTS  
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE  
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%  
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES  
• ADJUSTED METAL AWNINGS AND ADDED MORE SHUTTERS

SETTLEMENT MODIFICATION 4.21.2017  
• RELOCATED ENTRY TO PARKING GARAGE  
• ADJUST EAST AND SOUTH DUE TO PARKING GARAGE ENTRY RELOCATION

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018  
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:

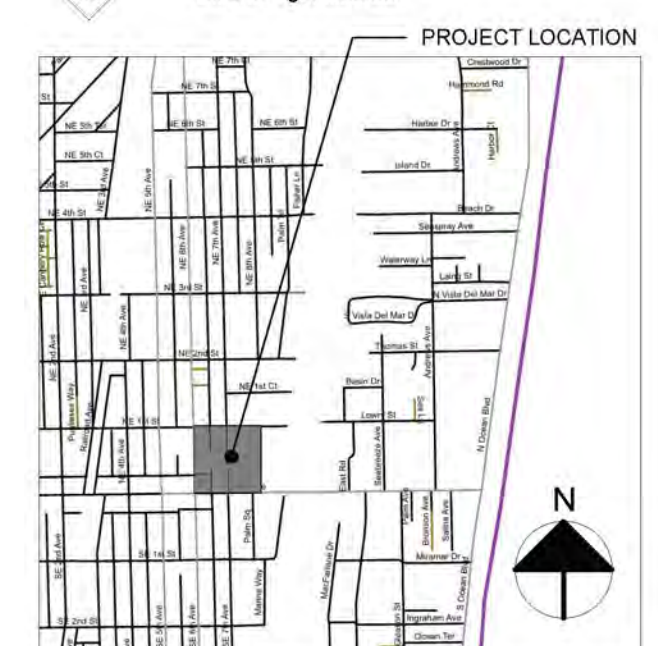
- STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTH-WEST CORNER)
- ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS
- ENHANCE DETAILING AT BUILDING CAP
- ENHANCE DETAILING AT BUILDING CORNERS

CLASS II MODIFICATION 8.2.2019  
• ADD TRELLIS BETWEEN III & VI-S

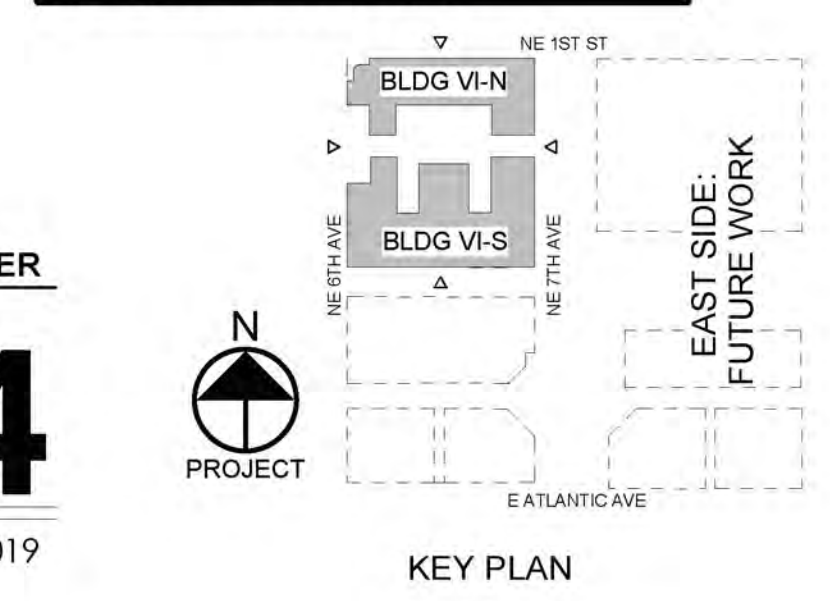
CLASS II MODIFICATION SUPPLEMENT 10.25.2019  
• CLARIFY GRAPHICS

ELEVATION NOTES

- NOTE: All wall cladding shall be stucco unless otherwise noted.
- 1 Standing seam metal roof, galvalume
  - 2 Ornamental iron railing, powder coated
  - 3 Built-up parapet cap; stucco
  - 4 Embossed wood texture storefront system
  - 5 Storefront system
  - 6 Wood pergola & trellis
  - 7 Painted composite Bermuda shutters
  - 8 Painted composite shutters, fixed
  - 9 Fabric awning system
  - 10 Decorative corbel
  - 11 Built-up stucco sill
  - 12 Stucco parapet (6'-0" high max. from top of roof deck)
  - 13 Stucco with simulated stone texture base
  - 14 Overhead garage door - Glass
  - 15 Decorative arched louver panel; powder coated
  - 16 Wood boxed out detail
  - 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
  - 18 Perforated metal panel railing
  - 19 Wood panel railing
  - 20 Paneled wood accent
  - 21 Louvered panels; powder coated
  - 22 Steel Trellis
  - 23 Vinyl windows
  - 24 Decorative wood brackets
  - 25 2" Reveal
  - 26 Decorative stucco inset
  - 27 Steel Cable Railing
  - 28 Fluted column cap; stucco
  - 29 Ornamental iron gates and screen; powder coated
  - 30 Exterior light fixtures



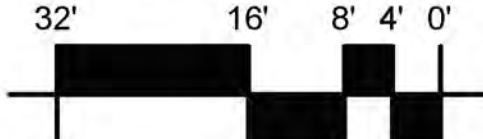
VICINITY MAP



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| 10.25.2019 | Class II Mod. 2019 - Supplement |

BLDG VI ELEVATIONS

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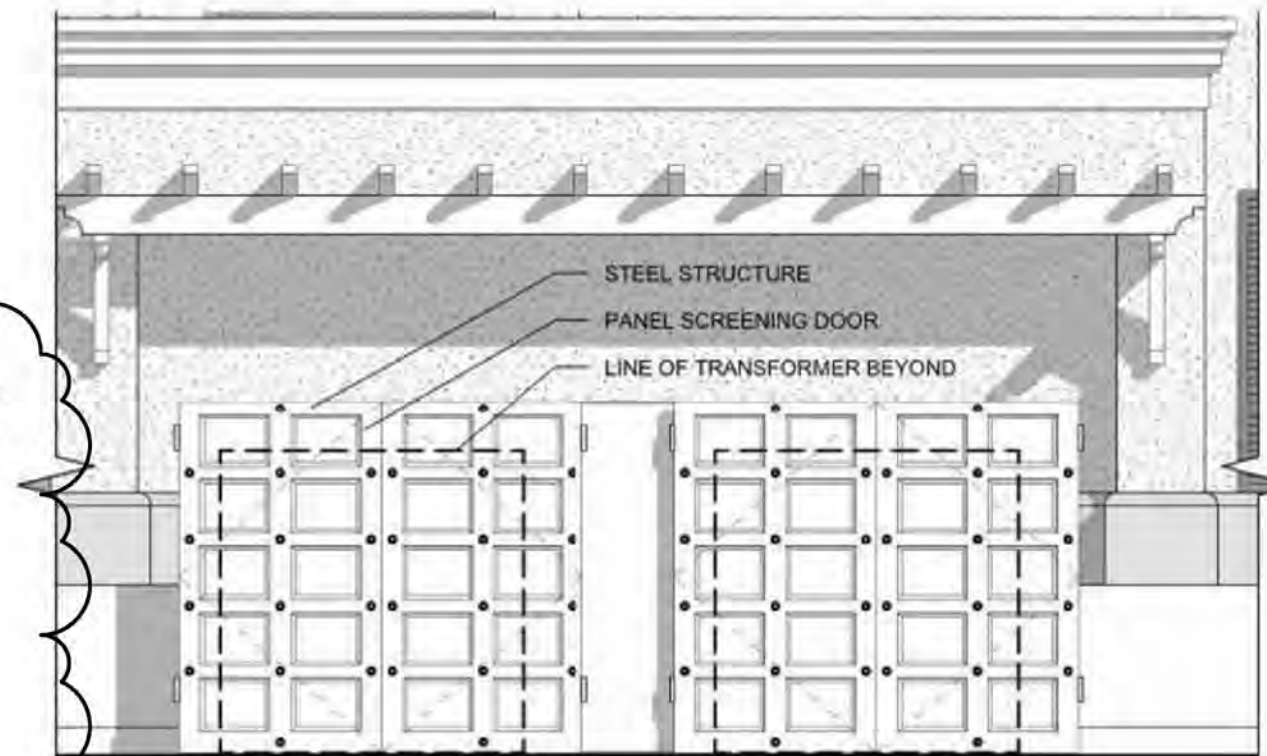
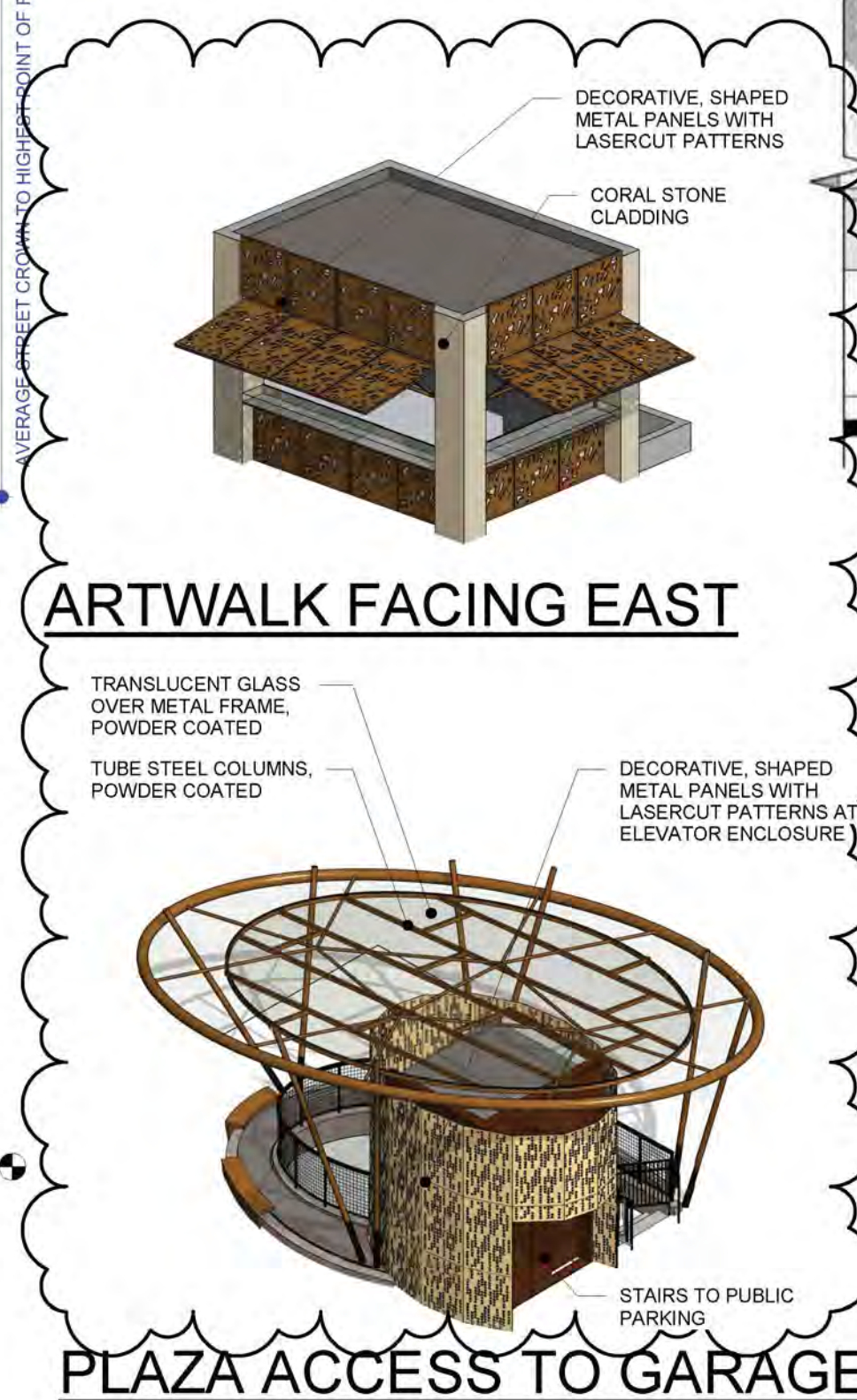
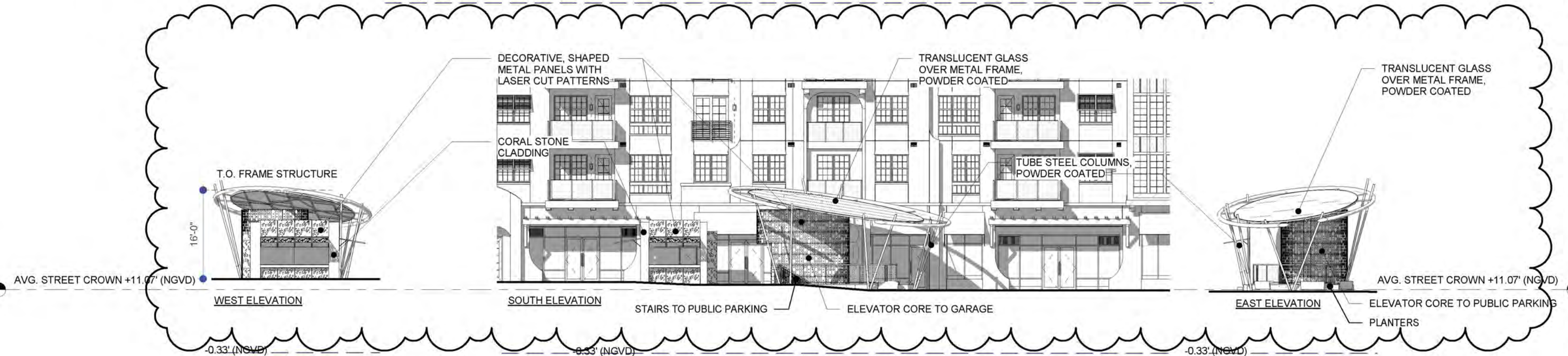
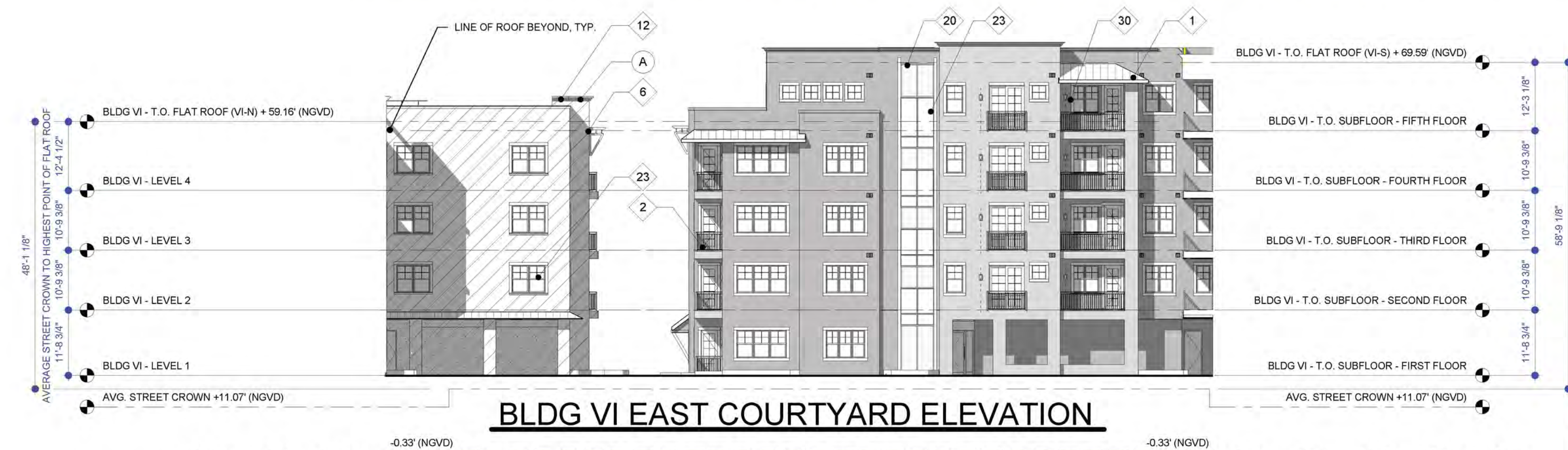
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SHEET NUMBER

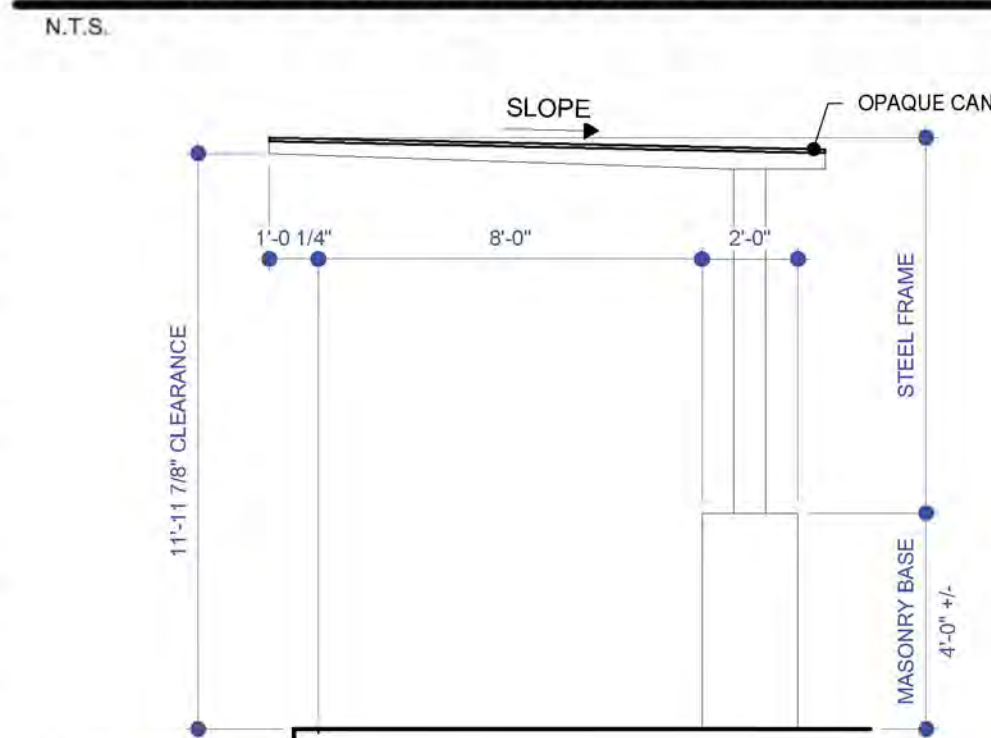
VOLUME 2

**A6.4**

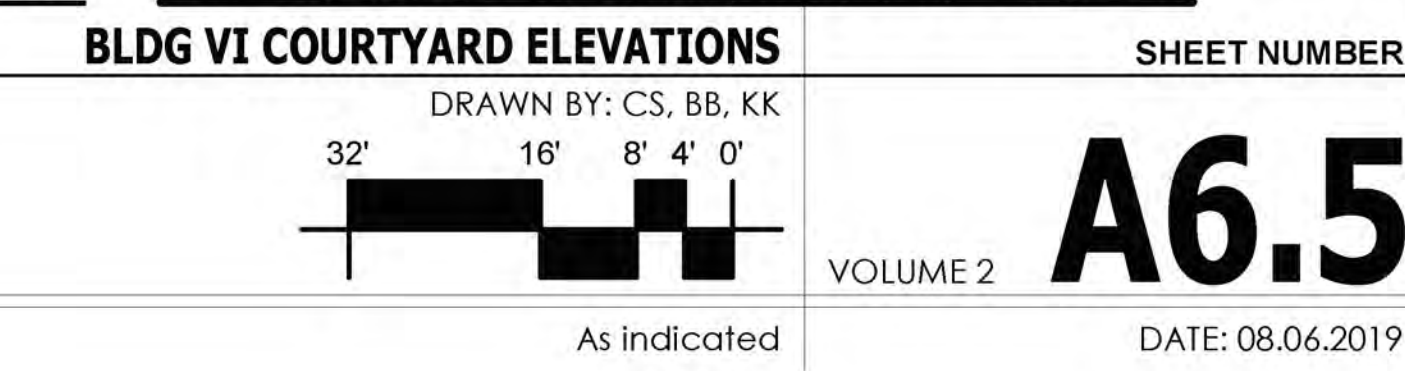
DATE: 08.06.2019



UTILITY SCREENING DOORS



COVERED WALKWAY AT VALET

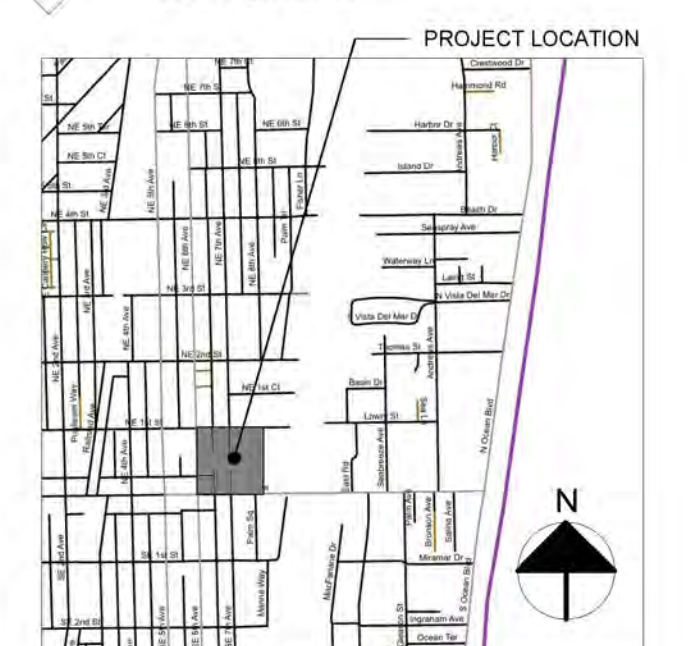


BUILDING VI MATERIALS LEGEND

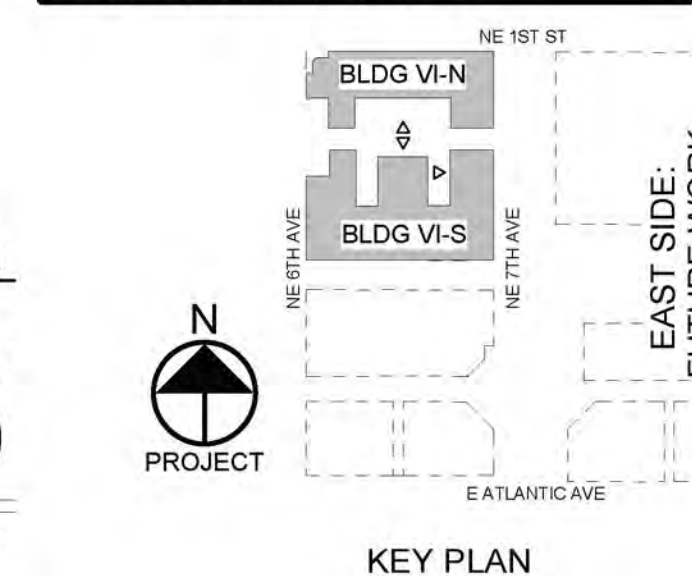
|                                                      |                                 |
|------------------------------------------------------|---------------------------------|
| STUCCO - VALE MIST                                   | BM-HC-1494                      |
| STUCCO - MORNING DEW                                 | BM-HC-1493                      |
| STUCCO - HAWTHORNE YELLOW                            | BM-HC-4                         |
| STUCCO - MANCHESTER TAN                              | BM-HC-81                        |
| STUCCO - CLOUD WHITE W/ 2" REVEAL PER ELEV.          | BM-967                          |
| SIMULATED STONE - FLORIDA CORAL (KEYSTONE)           | BEIGE                           |
| SIDING - FAIRVIEW TAUPE                              | BM-HC-85                        |
| TILE WALL                                            | ANN SACKS TIEMPO "LA SPIEZA #6" |
| STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD |                                 |
| SHUTTERS - KENDALL CHARCOAL                          | BM-HC-166                       |
| BRACKETS AND PERGOLAS - CLOUD WHITE                  | BM-967                          |

ELEVATION NOTES

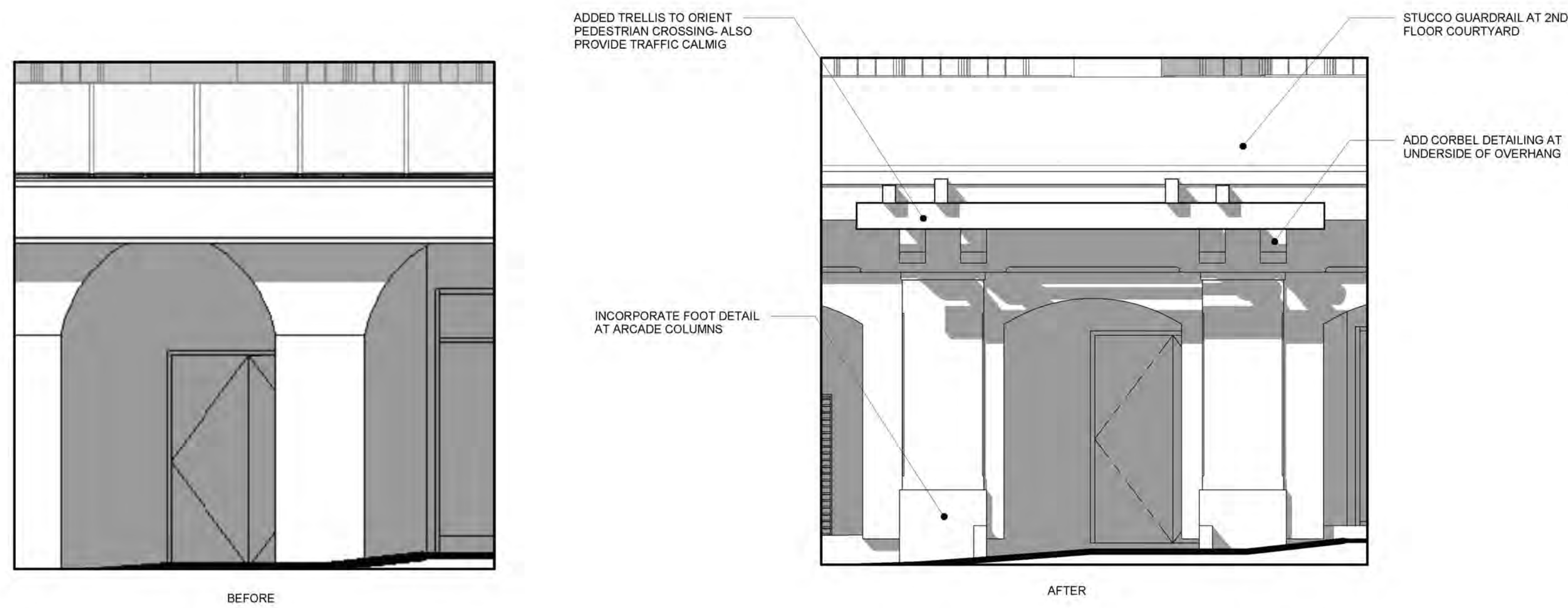
- NOTE: All wall cladding shall be stucco unless otherwise noted.
- Standing seam metal roof, galvalume
  - Ornamental iron railing, powder coated
  - Built-up parapet cap; stucco
  - Embossed wood texture storefront system
  - Storefront system
  - Wood pergola & trellis
  - Painted composite Bermuda shutters
  - Painted composite shutters, fixed
  - Fabric awning system
  - Decorative corbel
  - Built-up stucco sill
  - Stucco parapet (6'-0" high max. from top of roof deck)
  - Stucco with simulated stone texture base
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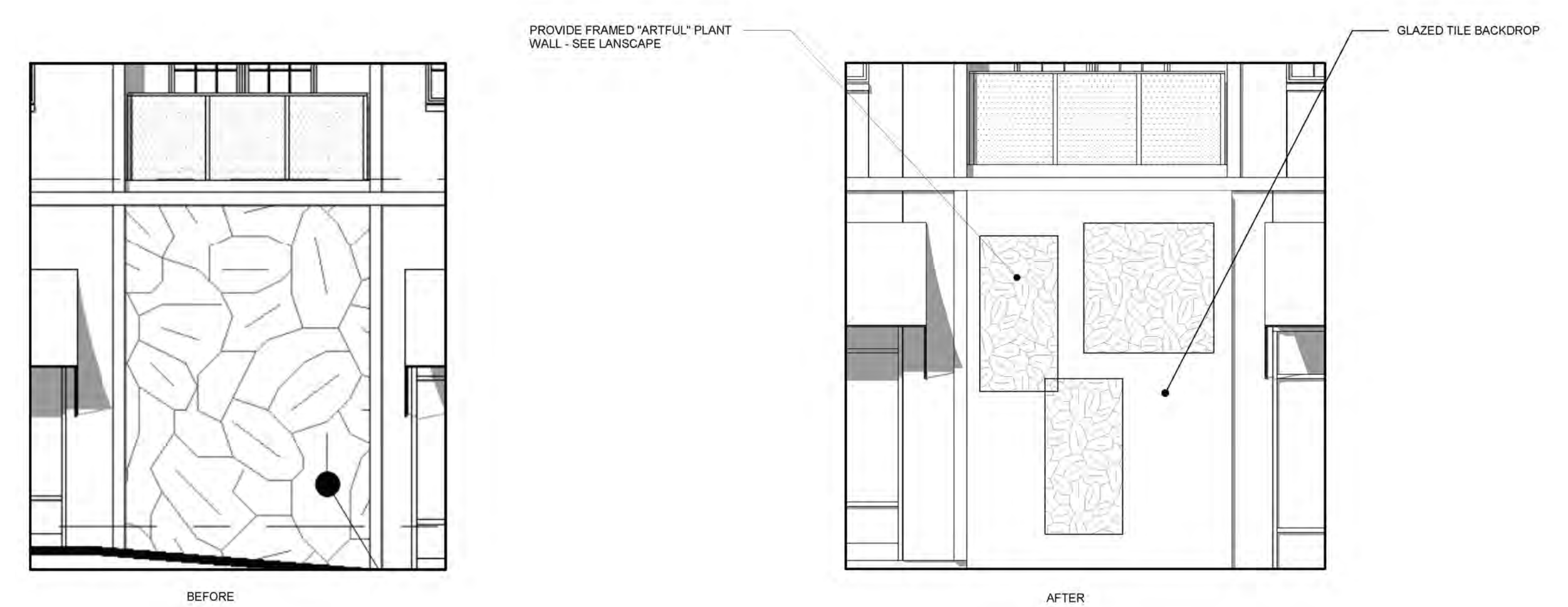
VICINITY MAP



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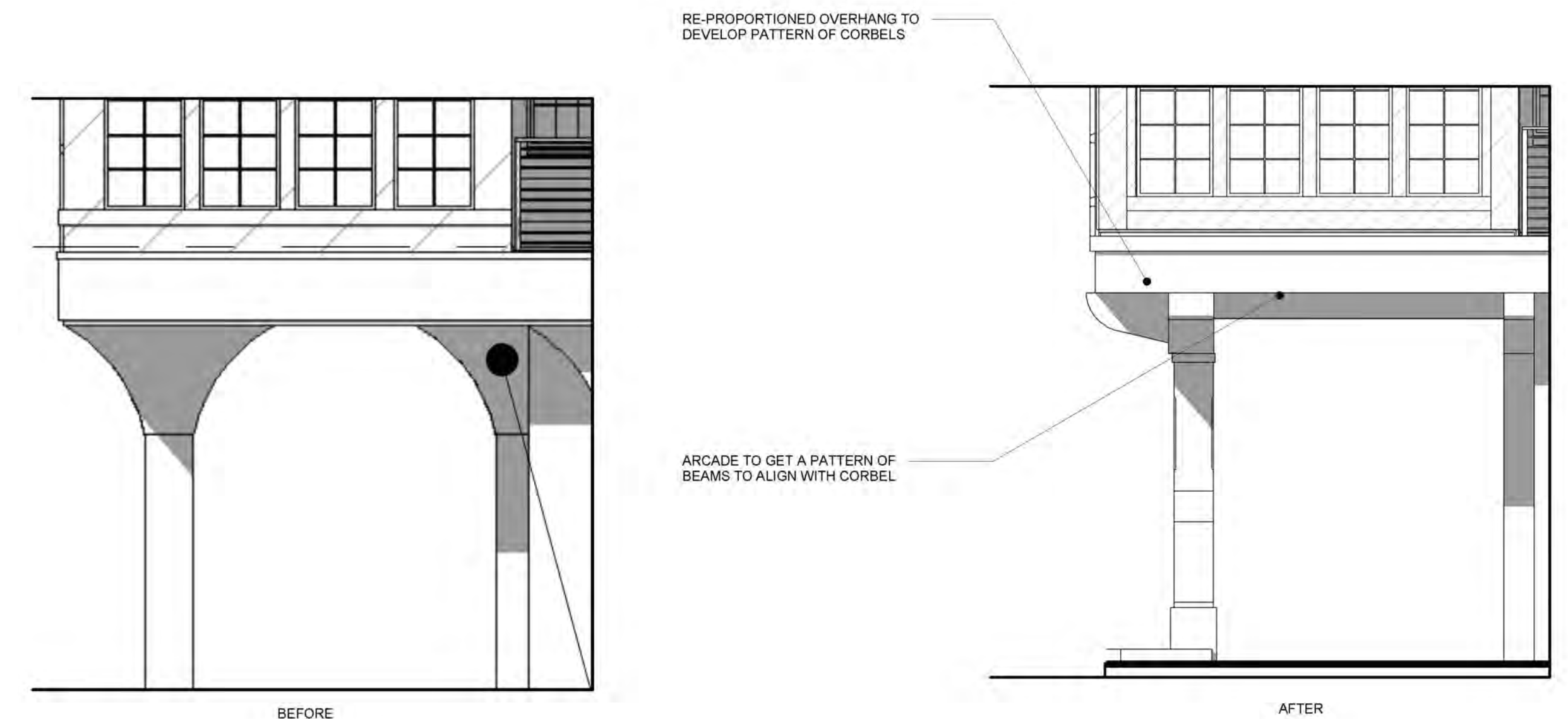
1 BUILDING III TYPICAL ARCADE AT TRELLIS  
1/4" = 1'-0"



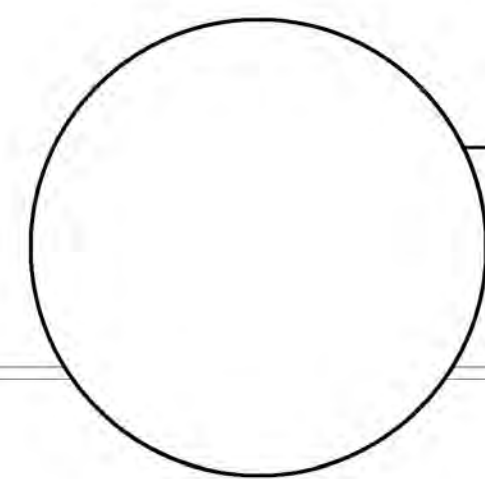
2 BUILDING III GREENWALL AT SOUTH ELEVATION  
1/4" = 1'-0"

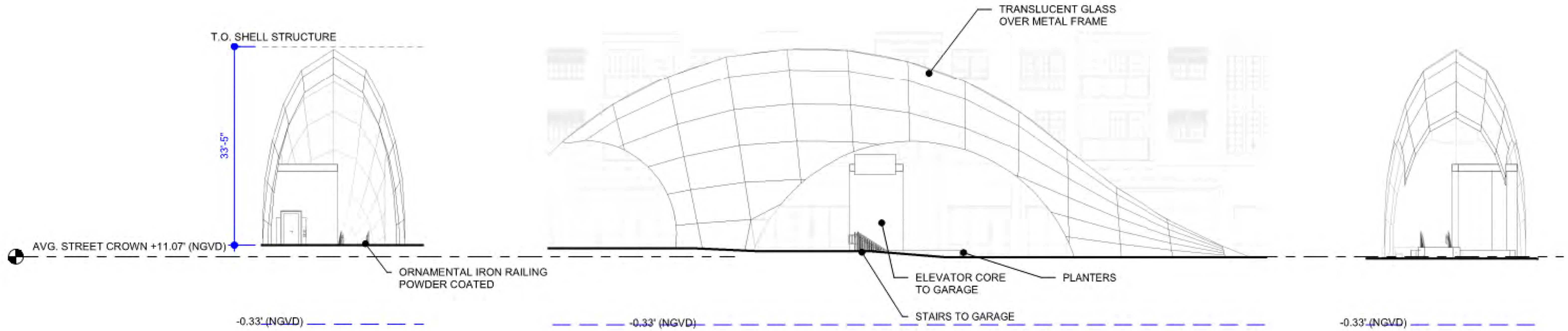


3 BUILDING III ARCADE EDGE AT WEST END  
1/4" = 1'-0"

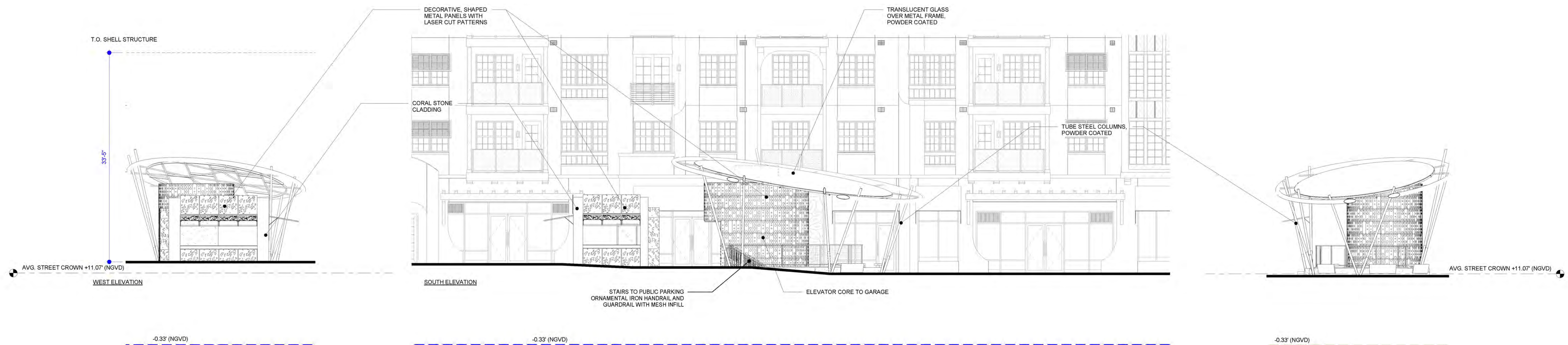


4 BUILDING III ARCADE END DETAIL (WEST END)  
1/4" = 1'-0"





2 PLAZA ACCESS TO GARAGE - SHELL CONCEPT BEFORE  
1/8" = 1'-0"



1 PLAZA ACCESS TO GARAGE - AFTER  
1/8" = 1'-0"

10/25/2019 3:42:34 PM C:\Users\jwheeler\OneDrive\Documents\Atlantic Crossing\Atlantic Crossing.dwg

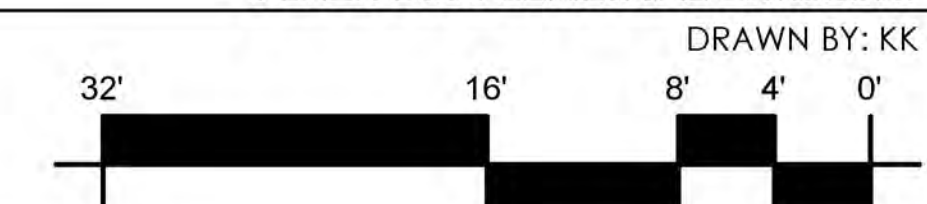


# ATLANTIC CROSSING

Project Number: 217093

DATE: 10.25.2019  
ISSUE / REVISIONS: CLASS II MOD. 2019 - SUPPLEMENT

PLAZA SUPPLEMENTAL EXHIBITS



DRAWN BY: KK

1/8" = 1'-0"

SHEET NUMBER

X2



BEFORE

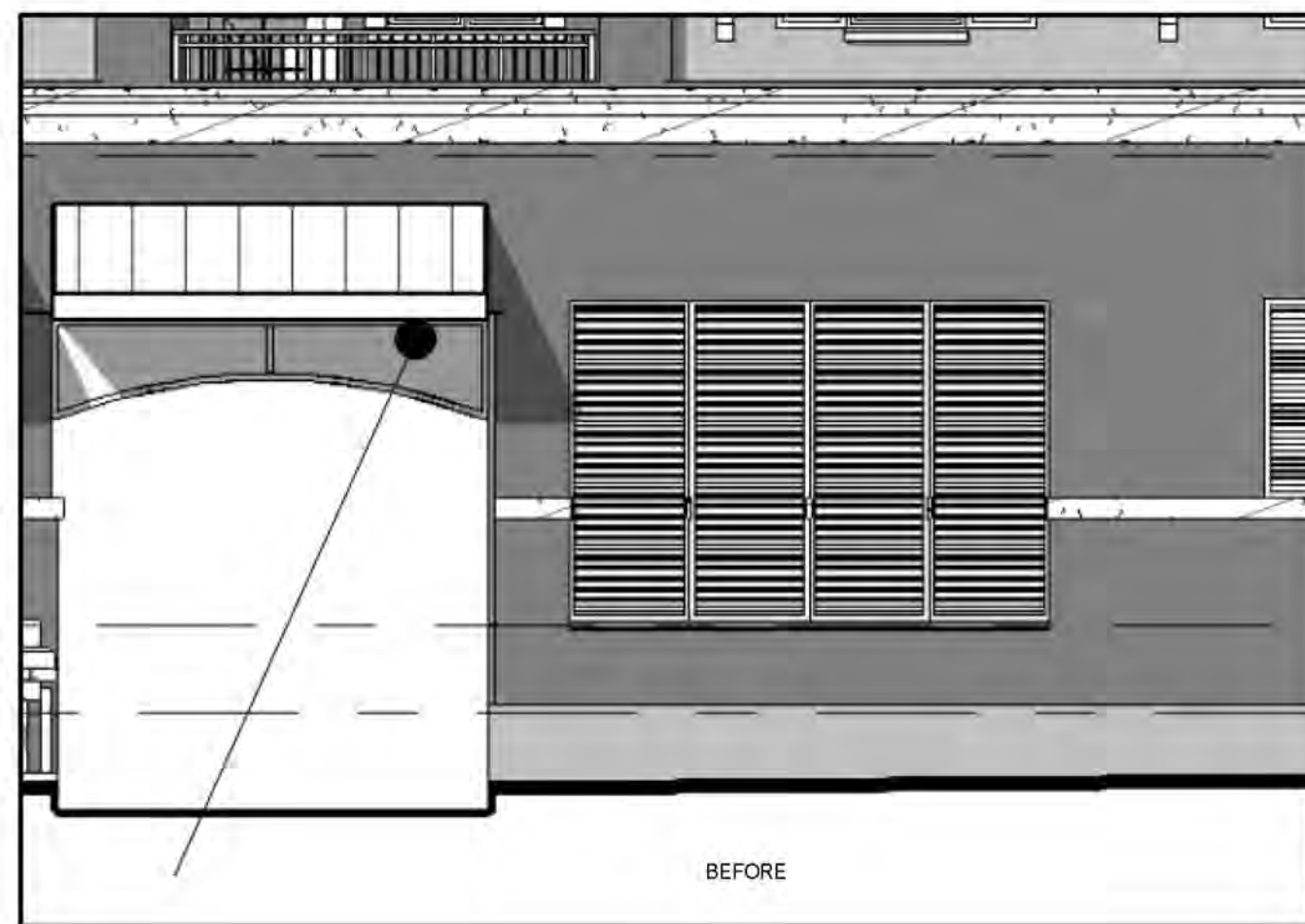
1 BUILDING VI-S MAILROOM ENTRY - BEFORE  
1/4" = 1'-0"

ADDED TRELLIS TO ORIENT  
PEDESTRIAN CROSSING. ALSO  
PROVIDE TRAFFIC CALMING



AFTER

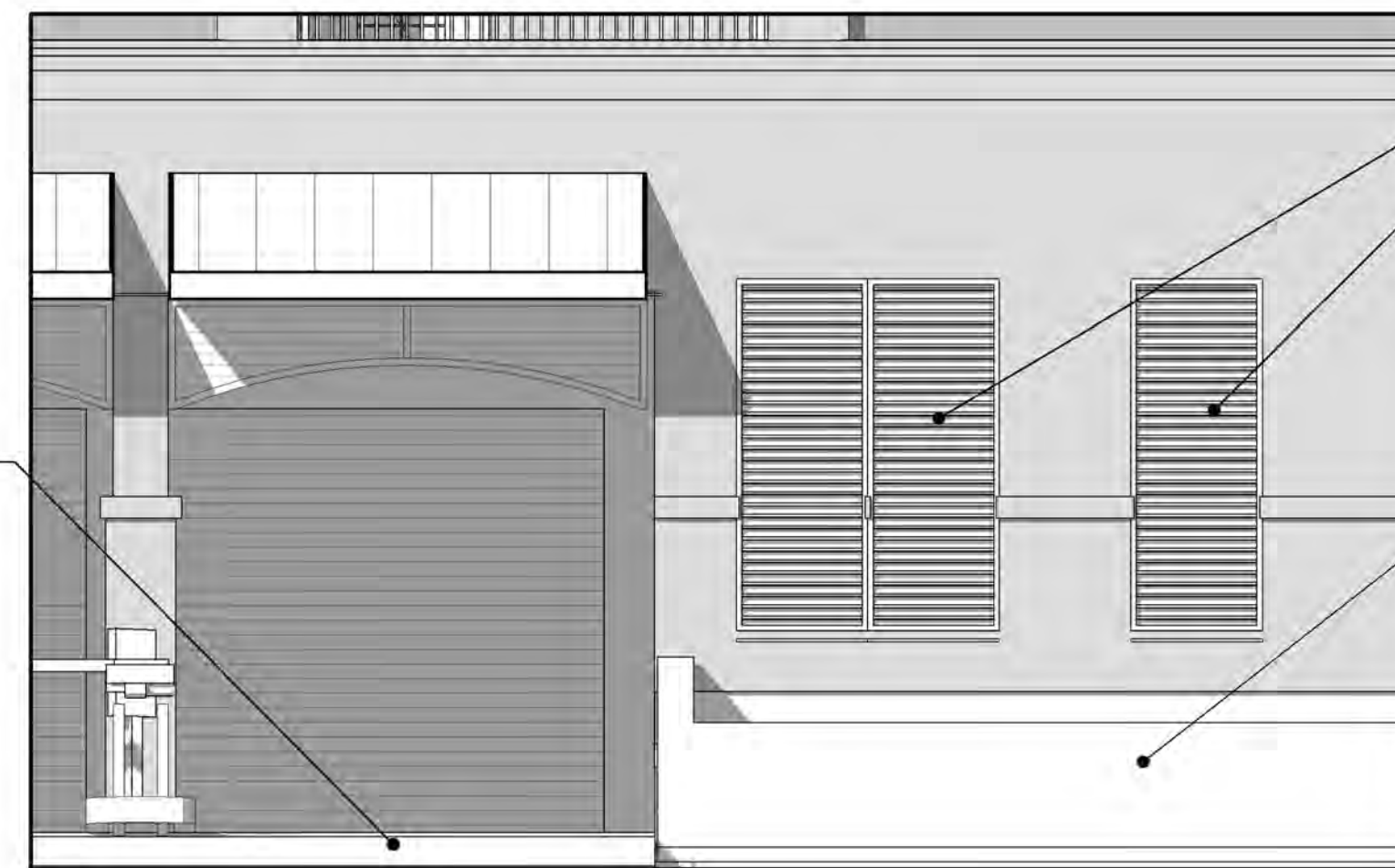
ADDED WINDOWS (RELOCATED  
FIRE PUMP ROOM TO BUILDING III)



BEFORE

2 BUILDING VI-S LOUVERS AT WALL ADJACENT TO GARAGE RAMP  
1/4" = 1'-0"

CORRECTED LEVEL OF  
ENTRY AT GARAGE RAMP



AFTER

MODIFIED COMPOSITION OF LOUVERS

DETAILED TALLER PLANTER WALL

