

COMMERCIAL GENERAL NOTES

1. The architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and he will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents. The architect will not be responsible for or have control or charge over the acts or omissions of the contractor, subcontractors, or any of their agents or employees, or any other persons performing any of the work.

2. All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing, fire codes. Contractor shall verify all code requirements and the construction documents.

3. Errors and omissions which may occur in contract documents shall be brought to the attention of the architect in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors, discrepancies, or omissions which the contractor failed to notify the architect of before construction and /or fabrication of the work.

4. Contractor and subcontractors are to verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of work. Do not scale drawings. Architect shall be notified in writing, prior to commencing any work, of any errors or discrepancies in drawings or between prepared drawings and field conditions.

5. It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).

6. The contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. Shall be left clean and ready for occupancy upon completion of the project.

7. All work is to be done under the supervision of the general contractor, in accordance with the owner-contractor agreement.

8. All wood in contact with concrete or masonry or below finished floor is to be pressure treated.

9. Interior partitions shall be 25 gauge steel studs @ 16" o/c with 1/2" gypsum board unless noted otherwise.

10. All materials and products used for and in construction are required to have applicable products control code approval/NOA.

11. Contractor shall carry all necessary insurance as required by law and hold harmless the owner or architect from any loss, liability, claim or demand for damages arising out of or relating to the performance of the work as described by these drawings.

12. The owner shall effect and maintain fire, extended coverage and vandalism insurance for 100% of the insurable value of all construction on the site.

13. The general contractor shall guarantee all work specified and/or described by these drawings free from any defects or malfunctions for a period of one year commencing from the substantial completion date or from the time of occupancy, whichever occurs first. The general contractor is responsible for all work executed by subcontractors or other trades, plumbing equipment.

14. The contractor shall acquire all permits and licenses and pay all fees necessary for the execution of the work.

15. All structural metal items and fasteners and bolts shall be hot dipped galvanized.

16. Structural wood other than heavy timber shall have a minimum bending stress of; fb = 1200 p.s.i.

17. All ground under construction shall receive a termite poisoning treatment by approved exterminator who will furnish the owner with a 1 year bond.

18. It is the responsibility of the contractor to check and coordinate all dimensions of the foundation plan with the floor plan before beginning construction. Contact architect in the event of discrepancies.

19. The contractor shall furnish the architect or owner with a written certification of the finish floor height above mean sea level by a licensed surveyor.

20. The contractor shall report to the architect or owner any underground water, excessive organic material or any other undesirable condition encountered during excavations.

21. The Contractor is responsible to review and approve/disapprove all shop drawings or other submittals prior to the Architect's review. The Architect's review will be for consistency with the design and not constitute an authorization for ordering, fabrication or delivery. The Architect will not review any submittals until they have been reviewed and accepted by the General Contractor. NO EXCEPTIONS.

22. The Contractor shall secure site if a hurricane warning is issued, remove all dumpsters and scaffolding, and remove, or safely secure, all building materials, and equipment. Alert subs of their responsibilities to secure or remove their materials and equipment. Stop job processes that will likely become damaged by the hurricane, such as window installations, housewrap, or landscaping. Complete those construction tasks that will likely prevent damage, such as concrete work, closing in a house, or filling in foundation excavations. Clean up all construction debris.

CONTRACTOR NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ADJACENT STRUCTURES, STREETS, AND SIDEWALKS DURING EXCAVATION AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. SHOULD A DISCREPANCY BE FOUND STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT. WORK CANNOT PROCEED UNTIL ARCHITECT GIVES HIS/HERS WRITTEN AUTHORIZATION TO DO SO.
- CONTRACTOR SHALL SUBMIT 1 BLUELINE AND 1 REPRODUCIBLE SET OF SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE FABRICATION OR ERECTION OF ALL REINFORCING AND STRUCTURAL STEEL COMPONENTS
- CONTRACTOR SHALL TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION, AND REROUTE THE UTILITY, PHONE, & CABLE LINES TO ACCOMMODATE NEW CONSTRUCTION.
- CONTRACTOR SHALL WORK THE STRUCTURAL PLANS IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, NEW CONSTRUCTION.
- EXISTING STRUCTURE: CONTRACTOR SHALL REVIEW THE ORIGINAL CONSTRUCTION DRAWINGS OF THE EXISTING BUILDING PRIOR TO BIDDING AND DURING CONSTRUCTION TO VERIFY THE EXISTING MEMBERS AFFECTED BY THE ELECTRICAL, AND PLUMBING DRAWINGS.
- THE USE OF SCALE TO OBTAIN DIMENSIONS NOT SHOWN ON THESE PLANS IS STRICTLY FORBIDDEN. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS RESULTING FROM SUCH ACTION.
- IN CASE OF DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL PLANS, THE ARCHITECTURAL PLANS SHALL GOVERN UNLESS STRENGTH IS AFFECTED.
- ALL SPECIFIED MATERIALS AND CONNECTORS CAN BE SUBSTITUTED WITH EQUAL OR BETTER, WITH THE APPROVAL OF ENGINEER OF RECORD.
- CONTRACTOR SHALL VERIFY THAT STRUCTURE IS CONSTRUCTED WITHIN THE CONFINES OF BUILDING PAD

APPLICABLE CODES

- Florida Building Code 2023 8th Edition
- Existing Building Code 2023 8th Edition
- Plumbing Building Code 2023 8th Edition
- Florida Fire Prevention Code 2023 Edition
- NFPA 1 - Fire Code, Florida Edition
- NFPA 101 - Life Safety Code, 2021 Edition
- Florida Accessibility Code 2023 8th Edition.
- City of Delray Beach LDRs, Current Edition

PROJECT DATA

Existing Zoning Classification:	Central Business District (CBD)
Existing Site area:	5,663 s.f. (.13 acres)
Scope of Work:	Level 2 Interior Alteration of Existing 2-story Bldg.: Pinball Games Museum
Existing Floor Area:	Existing 1st Floor.....5,162 s.f. Existing 2nd Floor3,163 s.f. Added 2nd floor area... 874 s.f. Total Building Area.....9,199 s.f.
Existing Building Height:	31'-5"
Existing/Proposed Occupancy:	Assembly - A2
Existing Type of Construction :	III-B - FULLY SPRINKLERED
Fire Restrictive Rating For Building Elements Table 601 FBC	
Exterior Bearing Walls (Existing):	2-HRS
Interior Bearing Walls (Existing):	0-HRS
Interior Non-Bearing Walls Exist./New):	0-HRS
Floor/Roof Construction (Existing):	0-HRS

SEE LIFE SAFETY PLANS ON SHEET A2 FOR ADDITIONAL INFORMATION

DESCRIPTION OF WORK

This is an interior "LEVEL 2 ALTERATION" to include a 2nd floor expansion over the existing 1st floor, a new Women's ADA restroom on the 2nd floor, and enclosing the existing stair at the back of the building with a fire rated barrier and doors. Related Structural, Mechanical, Electrical & Plumbing Engineering plans will be provided at the time of permit submittal

Silverball Arcade Proposed Interior Alterations

	Existing 1st Floor	Existing 2nd Floor	2nd Floor Addition	Total
Bar/Food Service Areas *	535+419 = 954 sf	345+145=490 sf	N/A	1,444 sf
Arcade Area	4,208 sf	2,673 sf	874 sf	7,755 sf
Total	5,162 sf	3,163 sf	874 sf	9,199 sf

*Includes the kitchen and refrigeration area

PARKING CALCULATION

Per Table 4.4.13(L) of the Land Development Regulations: 6 spaces per 1,000 SF (1 space per 166.66 GSF) of gross floor area are required for restaurants and lounges not located in the Atlantic Avenue Parking District.

EXISTING PARKING BASED ON THE PREVIOUSLY APPROVED FOOD SERVICE AREA TOTAL (TO REMAIN):
Per previous approval, the Existing Food & Bar Service Area: 2,038 sf

PROPOSED ADDITION - PARKING CALCULATION:
Use of addition space: Pool table use and gathering spot area for venue guests, no food consumption.

2nd Floor Addition: 874 SF
10% of the addition will be applied for parking purposes: 87.4 SF, as requested by City

PARKING CALCULATION: 2,038 sf (Exist.) + 87.4 sf (Proposed) = 2,125 sf
Total parking calculation = 2,125 sf @6 per 1,000 SF = 12.75 spaces.

PARKING OBLIGATION

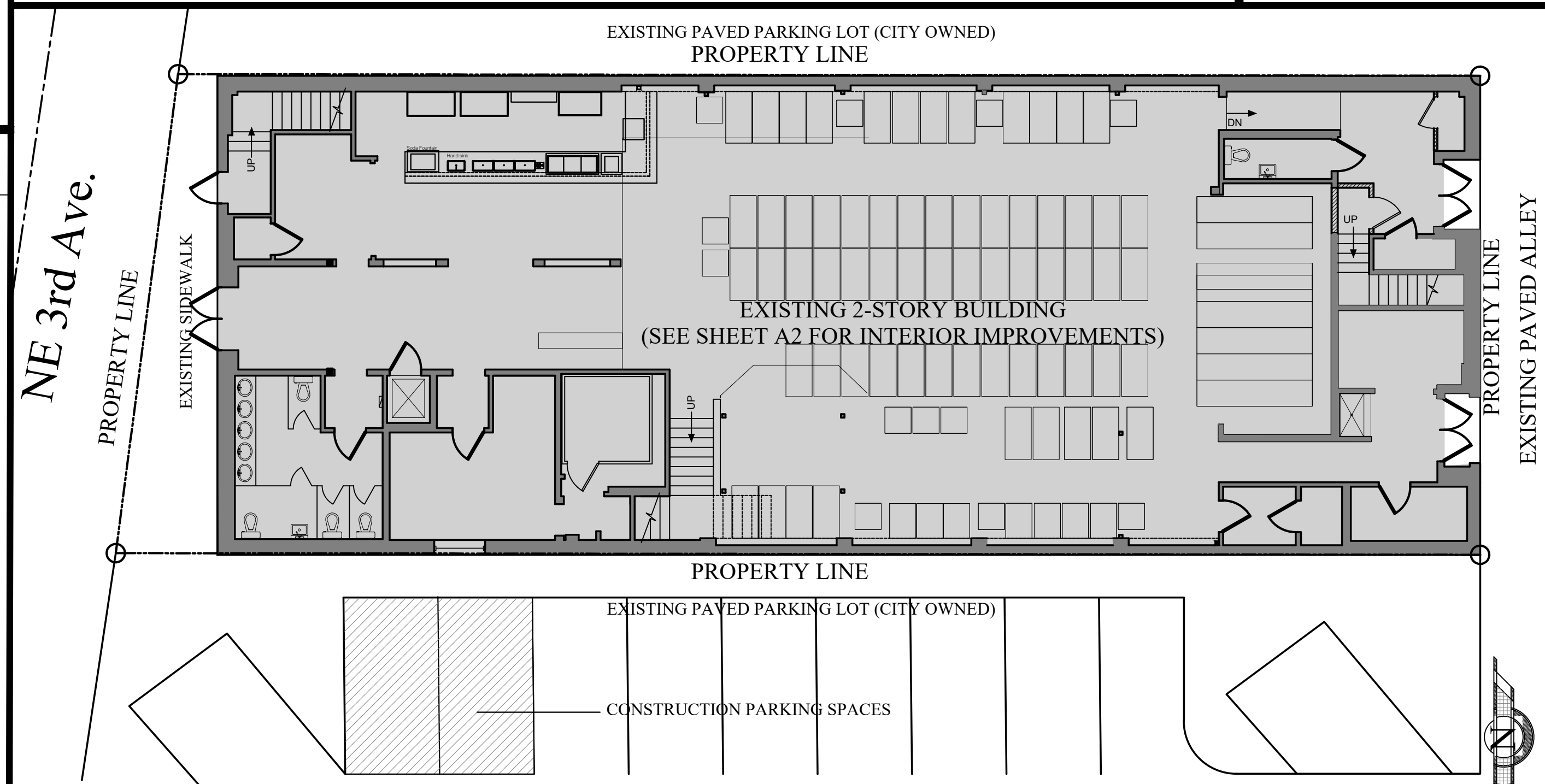
Year	2016	2019 (2021 approval)	Proposed 2025
Total Interior area	7,697 s.f.	8,325 s.f.	9,199 s.f.
Area Subject to Parking	1,975 s.f.	2,038 s.f.	2,125 s.f.
Required Parking	11.85	12.22	12.75

EXISTING PROVIDED:
Total Existing in-lieu parking: 12 spaces.

Pursuant to LDR Section 4.4.13(l)(2)(c), when the parking requirements are applied to the new development or expansion of an existing use, which results in the requirement of only one new parking space, a one space exemption shall be allowed. This exemption may only occur once per property.

EXISTING SITE PLAN

1" = 10' Scale



PROJECT TEAM

ARCHITECTURE
JSR DESIGN GROUP
ONE WEST CAMINO REAL ST.117-E
BOCA RATON, FL 33432
(561) 362-7203

STRUCTURAL
JORGE NOVOA, PE
5577 DESCARTES CIR.
BOYNTON BEACH, FL 33472
(954) 449 5208

MECHANICAL ELECTRICAL & PLUMBING
Whitelocke & Williams Consulting
Engineering, 18446 Old Princeton Ln.
Boca Raton FL 33498
(561) 703-0625

NOTICE TO OWNER:
THE SCOPE OF THIS PROJECT MAY CHANGE AT ANY TIME DUE TO ACTIONS TAKEN BY THE ZONING OR BUILDING DEPARTMENT OR BY ANY GOVERNING AGENCY HAVING JURISDICTION OVER THIS PROJECT.

THE SCOPE OF THIS PROJECT MAY CHANGE AT ANY TIME PRIOR TO, OR AFTER THE ISSUANCE OF A BUILDING PERMIT BASED ON THIS SET OF CONSTRUCTION DOCUMENTS.

THIS ARCHITECT AND OR HIS ASSIGNED AGENTS SHALL NOT BE FISCALLY RESPONSIBLE FOR ANY CHANGES IN THE SCOPE OF THIS PROJECT.

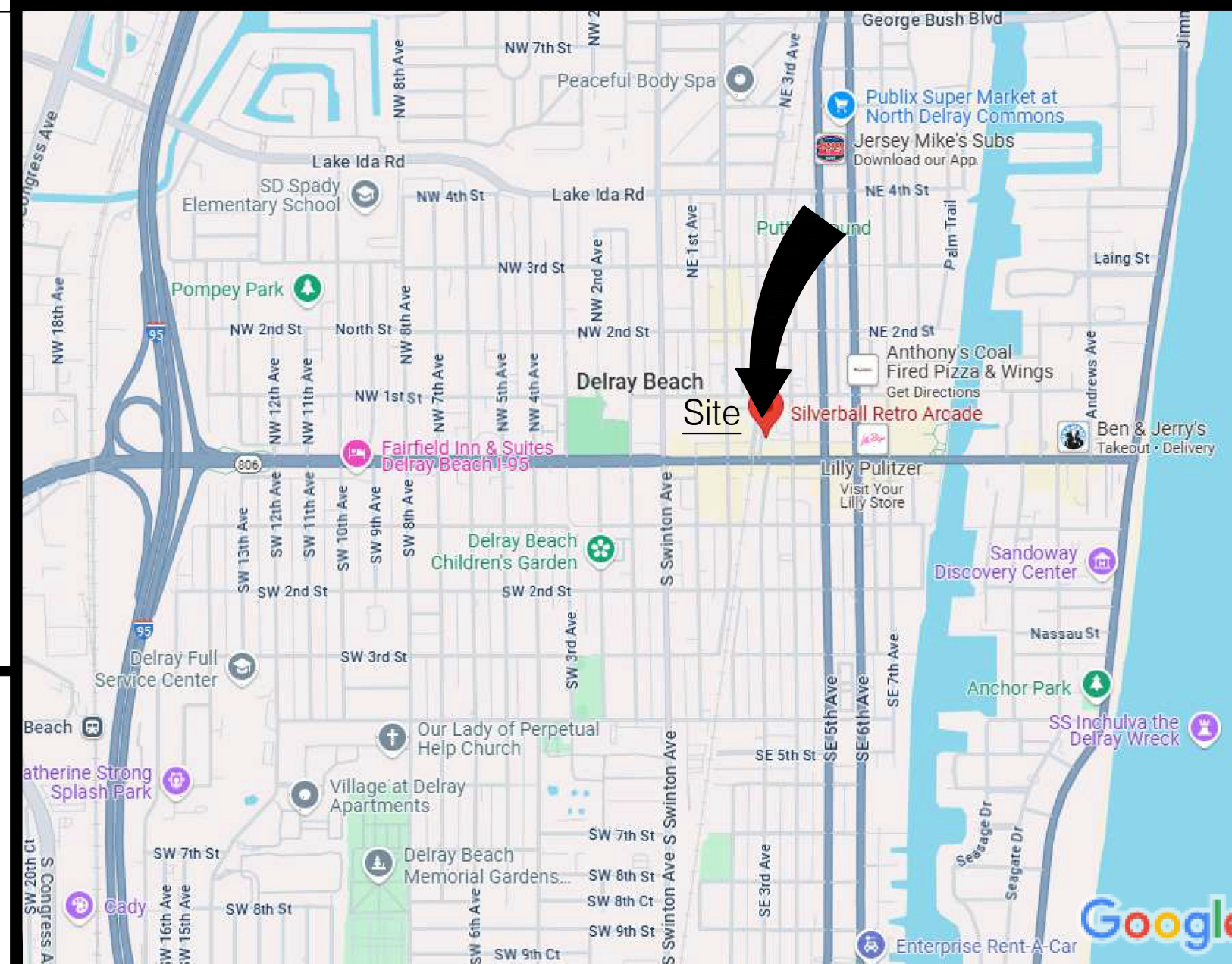
ANY DETRIMENTAL JOB SITE CONDITIONS UNCOVERED OR DISCOVERED DURING THE CONSTRUCTION OF THIS PROJECT SHALL NOT BE BORNE BY THIS ARCHITECT OR HIS ASSIGNED AGENTS.

THIS ARCHITECT OR HIS ASSIGNED AGENTS SHALL NOT BE LIABLE FOR CODE CHANGES OR FOR CODE INTERPRETATION CHANGES DURING EITHER THE PERMITTING OR CONSTRUCTION PHASE OF THIS PROJECT.

DUE TO THE NATURE OF RENOVATION WORK, HIDDEN CONDITIONS MAY BE UNCOVERED DURING CONSTRUCTION WHICH MAY NECESSITATE EXTRA PROFESSIONAL SERVICES AND COST TO THE BUILDING OWNER WHICH ARE NOT READILY APPARENT. ALL HIDDEN CONDITIONS WHICH ARE UNCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

NOTICE TO CONTRACTOR:
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS

LOCATION MAP



INDEX OF DRAWINGS

ARCHITECTURAL

- A1 Cover Sheet, Data, Area Calculations, Notes, Location Map & Existing Site Plan
- D1 Demolition Plans and Notes
- A2 Proposed Floor Plans/Life Safety Plans
- A3 Sections & Details

STRUCTURAL

- S1.0 Structural Notes
- S2.0 Foundation Plan & Details
- S2.1 Roof Framing Plan & Details
- S3.0 Sections
- S3.1 Details

MECHANICAL

- M-0 HVAC Specifications
- M-1 HVAC Plan
- M-2 HVAC Details & Schedules

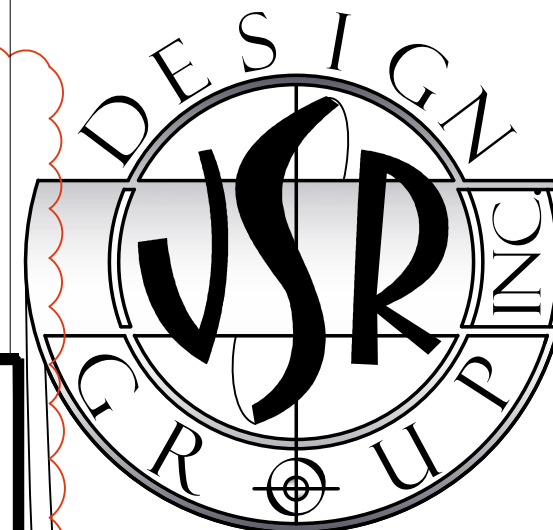
ELECTRICAL

- E-0 Electrical Specifications
- E-1 Electrical Lighting Plan
- E-2 Electrical Power Plan
- E-3 Electrical Riser Diagram & Panel Schedules

PLUMBING

- P-0 Plumbing Notes, Schedules, Details & Isometrics
- P-1 Plumbing Sanitary Plan & Isometric
- P-2 Plumbing Domestic Water Plan & Isometrics

FIRE ALARM/FIRE SPRINKLER UNDER SEPARATE PERMIT BY FIRE ALARM/FIRE SPRINKLER VENDOR



LEVEL 2 INTERIOR ALTERATION
SILVERBALL MUSEUM

19 NE 3RD AVE
DELRAY BEACH

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
11W CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AZ6002033

REVISIONS

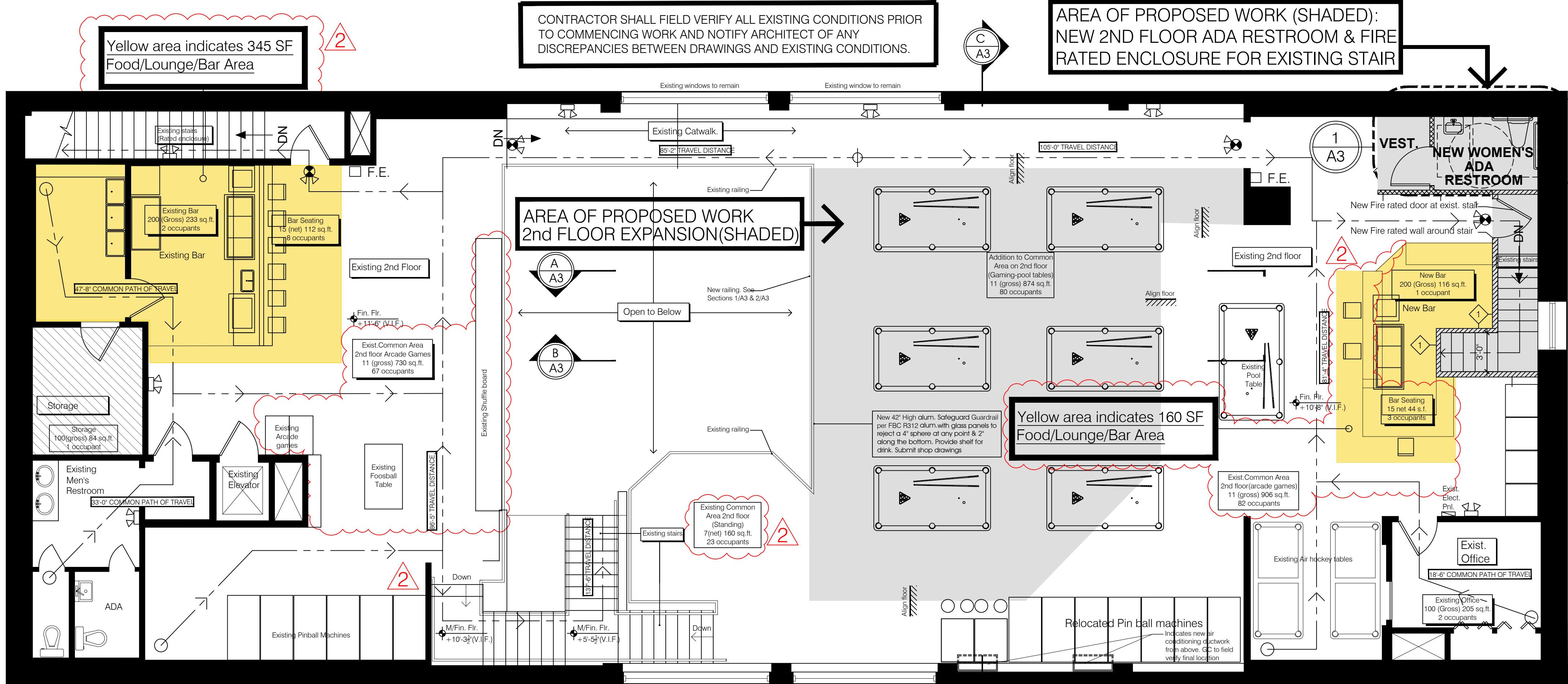
- 1 8-21-25 City Comments
- 2 10-6-25 City Comments
- 3 11-20-25 City Comments
- 4 11-24-25 City Comments

- All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
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PROPOSED 2nd FLOOR PLAN/ LIFE SAFETY PLAN
3/16" Scale

MARK	SIZE	THK.	TYPE	MAT.	FINISH	REMARKS/LOCATION
(D1)	3070	1-3/4"	SWING	S.C.W.	PAINT	FIRE RATED DOOR W/ CLOSER
(D2)	3070	1-3/4"	SWING	S.C.W.	PAINT	FIRE RATED DOOR W/ CLOSER
(D3)	3070	1-3/4"	SWING	S.C.W.	PAINT	ADA RESTROOM DOOR W/ CLOSER
(D4)	3070	1-3/4"	SWING	S.C.W.	PAINT	NEW STORAGE CLOSET

1. All closer & hardware to comply with Florida Accessibility Code.
2. Contractor to verify rough openings for all doors, adjust framing as required.
3. All other doors not in schedule are existing to remain

WALL LEGEND	
[Symbol]	Existing walls to remain
[Symbol]	New 4" Full height Non-bearing, 1-Hr Fire rated Interior Partition around existing stair. Retrofit existing stair walls as required. See Wall Detail 1/A3
[Symbol]	New 4" Full height Non-bearing, Non-rated Interior Partition. Install MR board in wet locations. See Wall Detail 2/A3
[Symbol]	New 4" Interior non-bearing 1-Hr Fire Rated partition (New fire rated enclosure at existing stair) per detail 1/A3
[Symbol]	New 4" Interior non-bearing partition, 1/2" drywall both sides, per detail 2/A3.
[Symbol]	New 4" Interior non-bearing partition with 1/2" drywall one side, and 1/2" green board other side (w/optional tiles at Restroom), per detail 2/A3.

LIFE SAFETY SYMBOL LEGEND

- Travel Distance
- [F.E.] Fire Extinguisher (See Notes below)
- [Lighted Exit Sign] Lighted Exit Sign/Emergency Light
- [Emergency Light Fixture] Emergency Light fixture

Egress Note:
Egress routes illustrated are from the furthest travel distance

Fire Extinguishers:
Provide fire extinguishers with a minimum rating of 2-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum travel distance of 50'-0" between. Fire extinguishers are to be on site and at the locations shown from start of construction. Construction personnel shall be instructed in the use of the equipment.
Provide 2-A, 10 BC fire extinguishers at locations determined by the Fire Marshall for light (low) hazard occupancy. Each corridor locations shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall identified as 'extinguishers' per code and requirements of fire marshal.

OCCUPANCY CALCULATIONS (PER NFPA 101 & 2023 FBC)

Will be provided at the time of permit submittal

SEE LIFE SAFETY PLANS FOR FURTHER INFORMATION

Occupancy	Exits required	Exits provided
A2	2	3

- FBC Egress requirements**
- Dead-end corridors 20' max.
 - Per FBC Table 1014.3 Common paths of travel shall not be more than 75'.
 - Per FBC Table 1016.1 Travel Distance to Exits 250' max.

Fire Protection Notes:

- Existing fire sprinkler system to remain. Relocate existing fire sprinkler heads as required. Contractor shall provide a letter from a licensed fire sprinkler company stating that existing system has been inspected and complies with requirements for adequate layout, flow, backflow & riser. Submit fully engineered shop drawings for any modification of existing system required.
- Existing Fire Alarm, fire detection and communication system to remain. Contractor shall verify that it is fully functional and adequate.

FINISH NOTES:

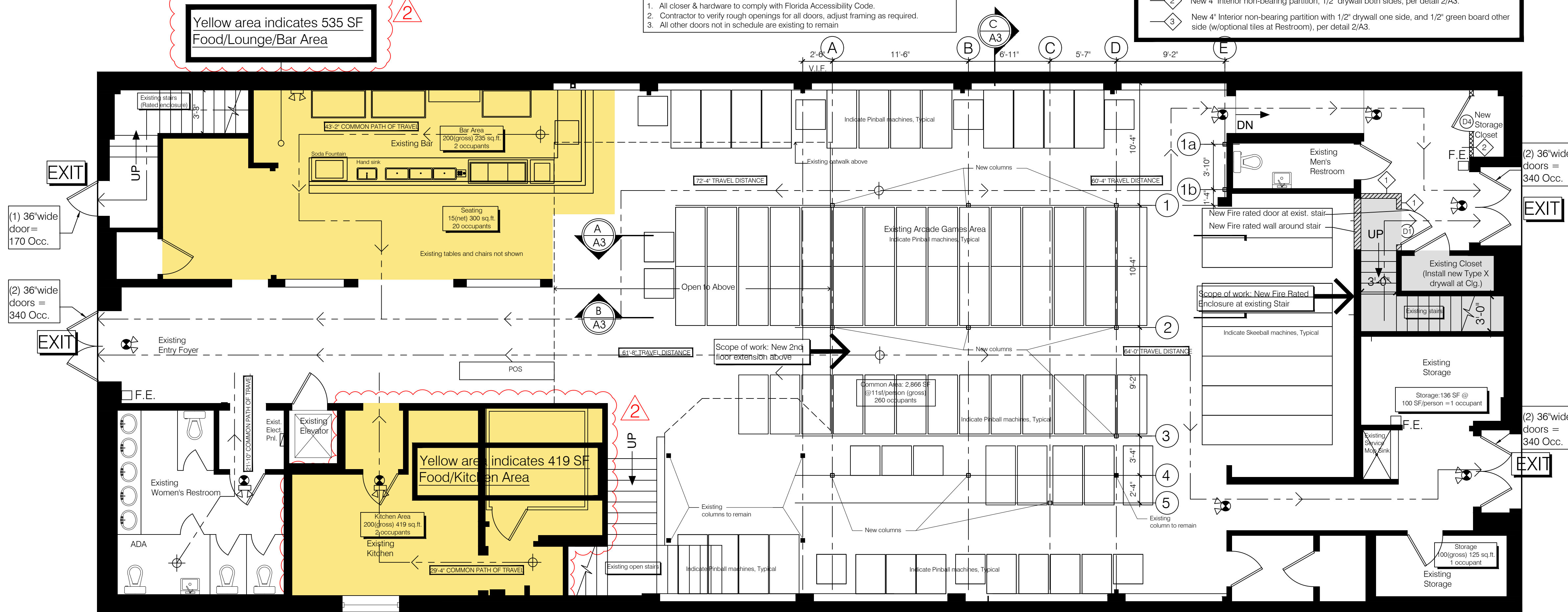
NFPA Interior Finish Schedule per Section 13.3.3 (Existing Assembly)

Floors: No Requirements (13.3.3.5)
Walls: Required/Provided: Class A, B, or C compliance
Ceiling: Required/Provided: Class A, B, or C compliance

- Unless otherwise noted on finish plan, all finishes to be supplied and installed by G.C.
- Prepare all surfaces to receive new finishes.
- All flooring transitions to be smooth and level.
- Patch and repair slab to receive new finishes as required.

Toilet Room Calculations:

Will be provided at the time of permit submittal

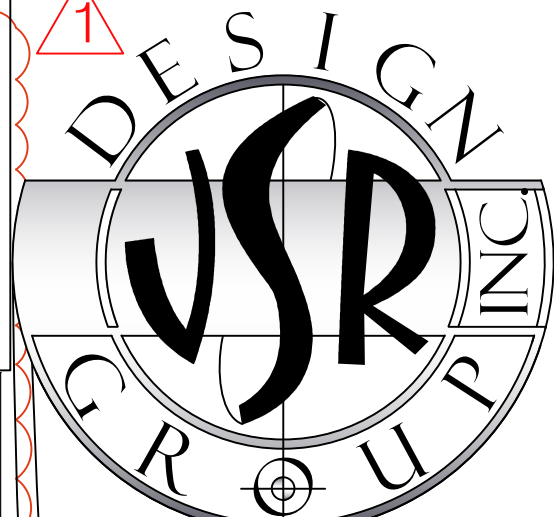


PROPOSED 1st FLOOR PLAN/LIFE SAFETY PLAN
3/16" Scale

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS

ADA Access Note:
Provide level transition at entrances to building in compliance with ADA. Contractor shall verify all slopes leading up to entry comply.

SEE LIGHTING PLAN FOR REFERENCE. CONTRACTOR SHALL FIELD VERIFY FINAL LOCATION OF ALL LIGHTING WITH NEW SOFFIT LOCATIONS AND OWNERS PREFERENCE PRIOR TO INSTALL



LEVEL 2 INTERIOR ALTERATION
SILVER BALL MUSEUM

19 NE 3RD AVE.
DELRAY BEACH

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

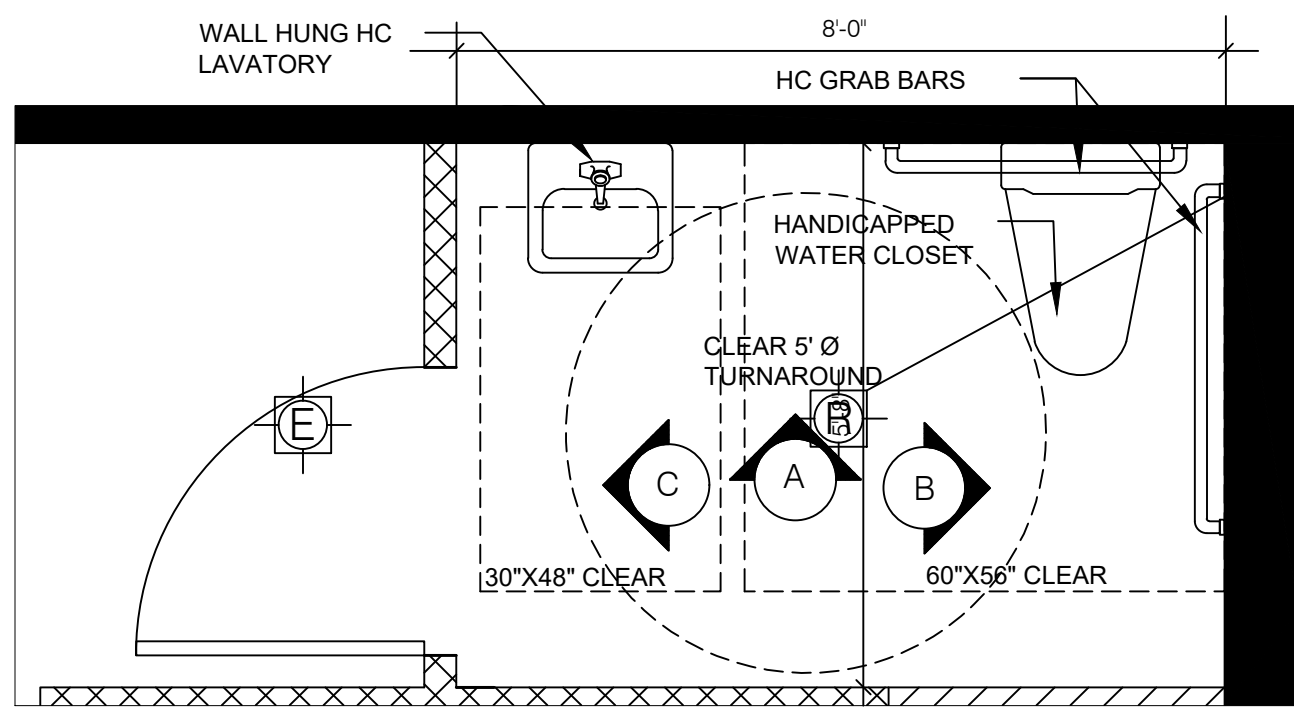
JSR DESIGN GROUP INC.
17W. CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AZ6002033

REVISIONS

- 1. 8-21-25 City Comments
- 2. 10-6-25 City Comments
- 3. 11-20-25 City Comments

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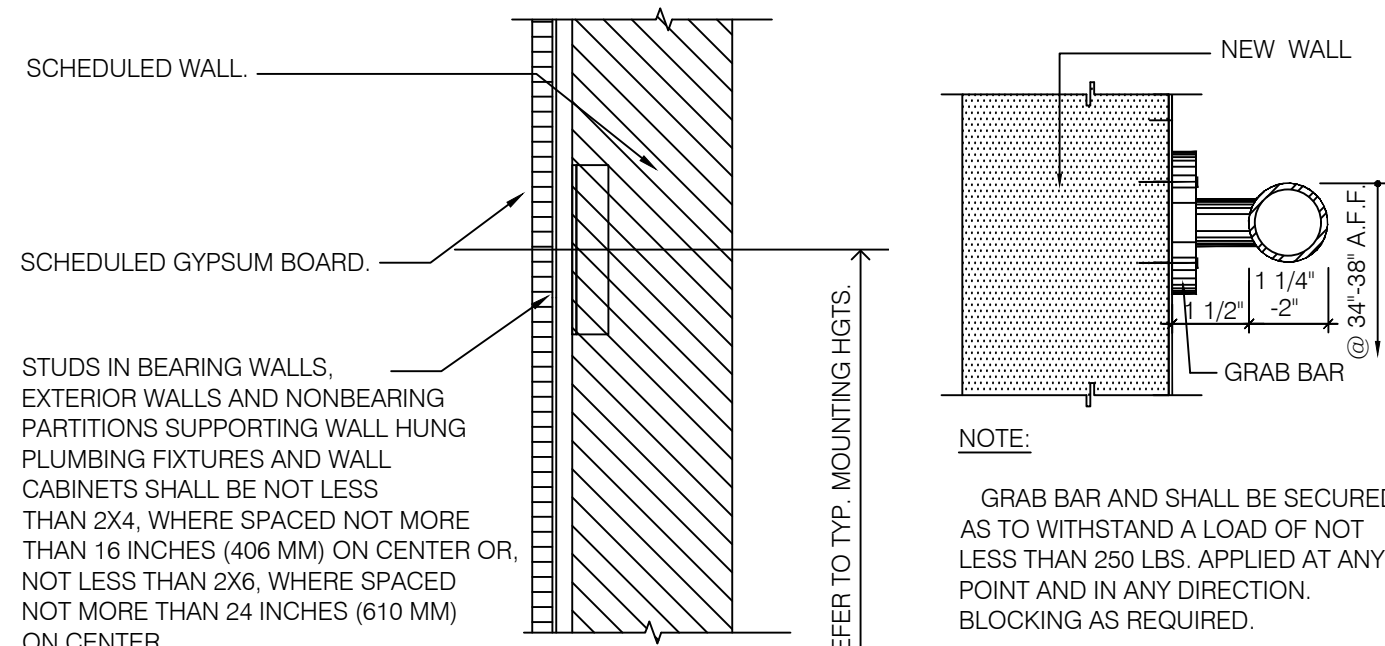
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1 ENLARGED MEN'S NEW ADA RESTROOM PLAN
SCALE : 1/2" = 1'-0"

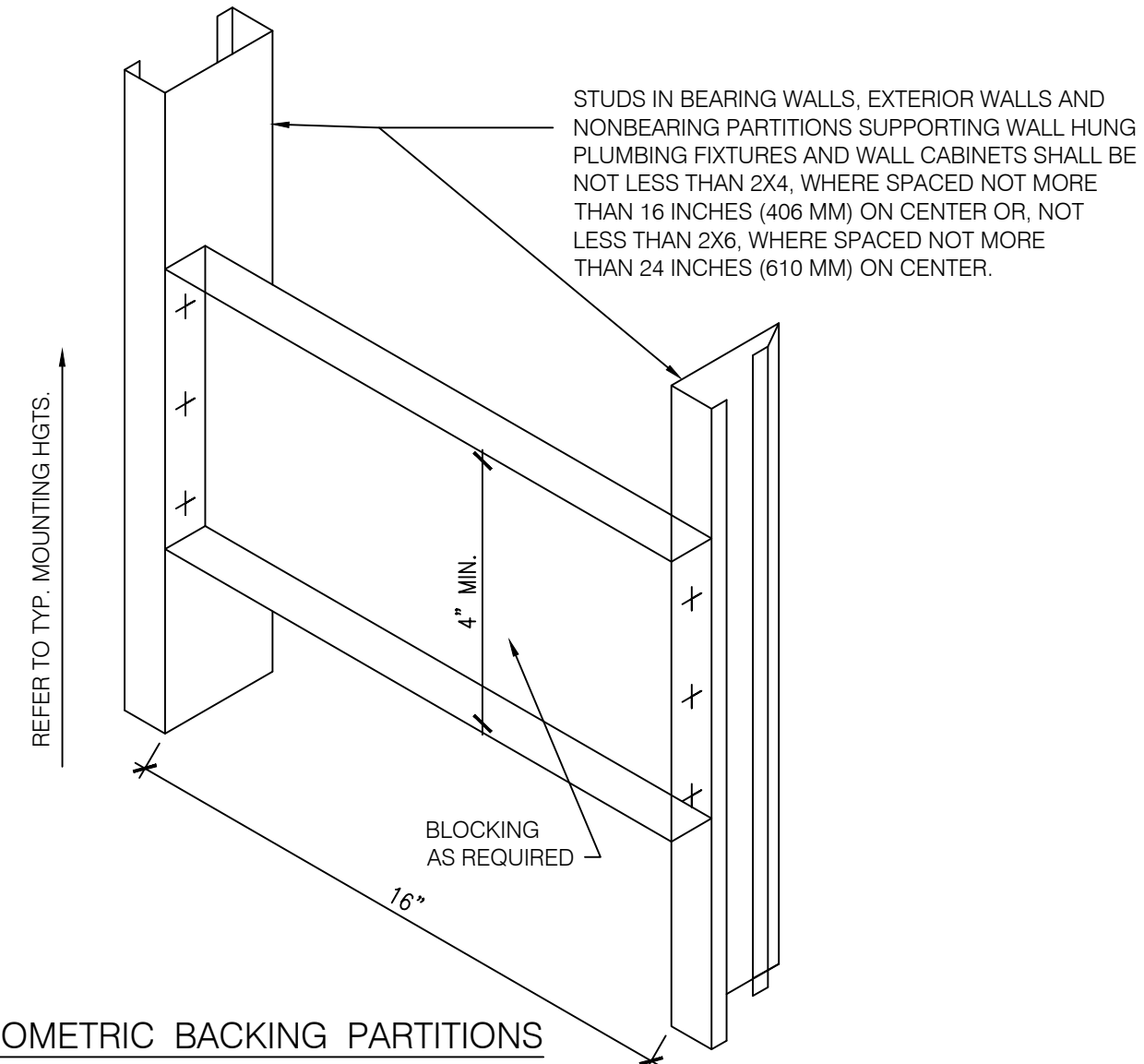
Restroom Finish Notes:

- GC to coordinate with owner for finish selections. All finishes to be supplied and installed by g.c.
- Prepare all surfaces to receive new finishes.
- All flooring transitions to be smooth and level.
- Patch and repair floors and walls to receive new finishes as required.
- No floor transition/elevation is to exceed 1/2" in height level and/or feathered accordingly.
- G.C. to frame w/ 20 ga. mtl. studs spaced @ 16" o.c. max. 2x wood blocking shall be securely fastened to not less than two studs shall be installed for the attachment of each wall hung cabinet or plumbing fixture.

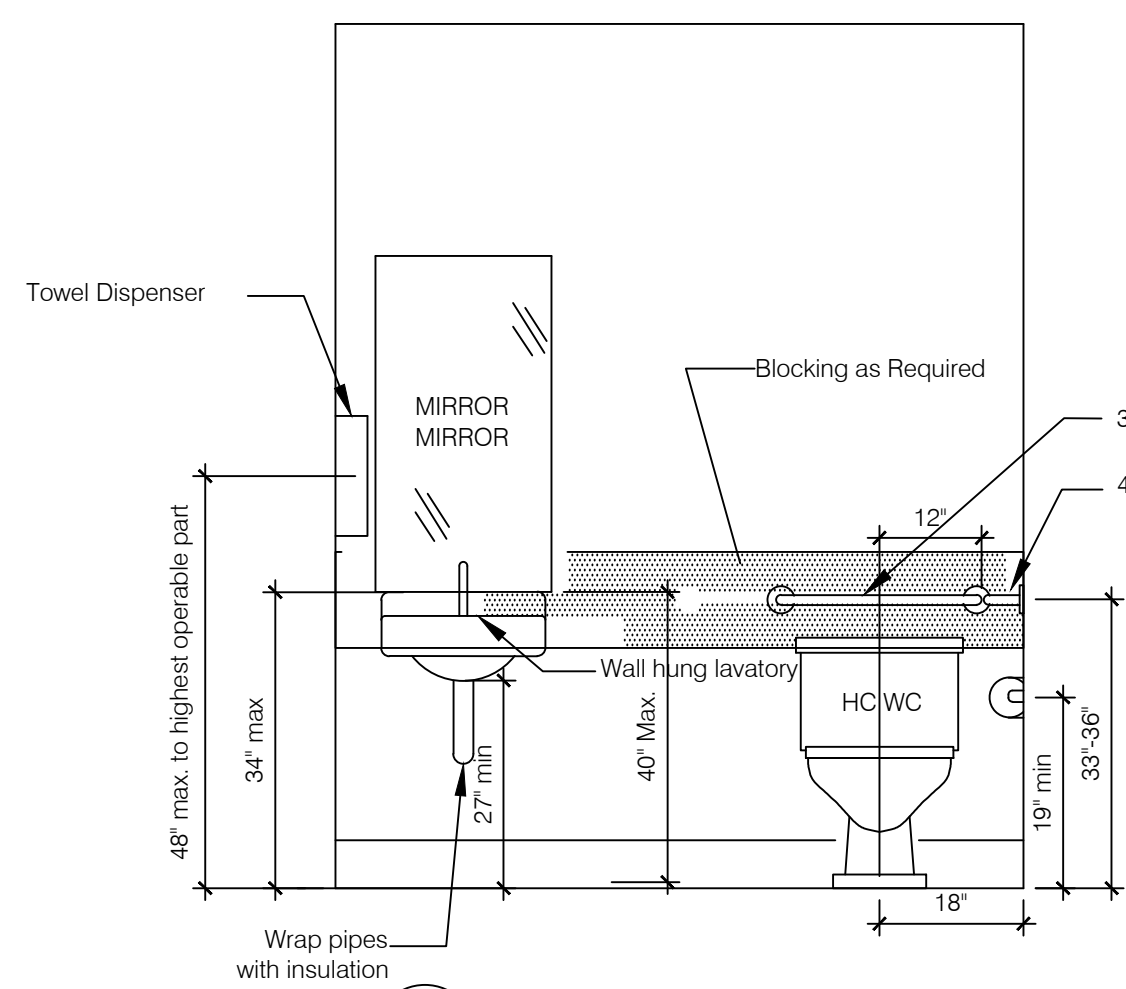


SECTION BACKING PARTITIONS
N.T.S.

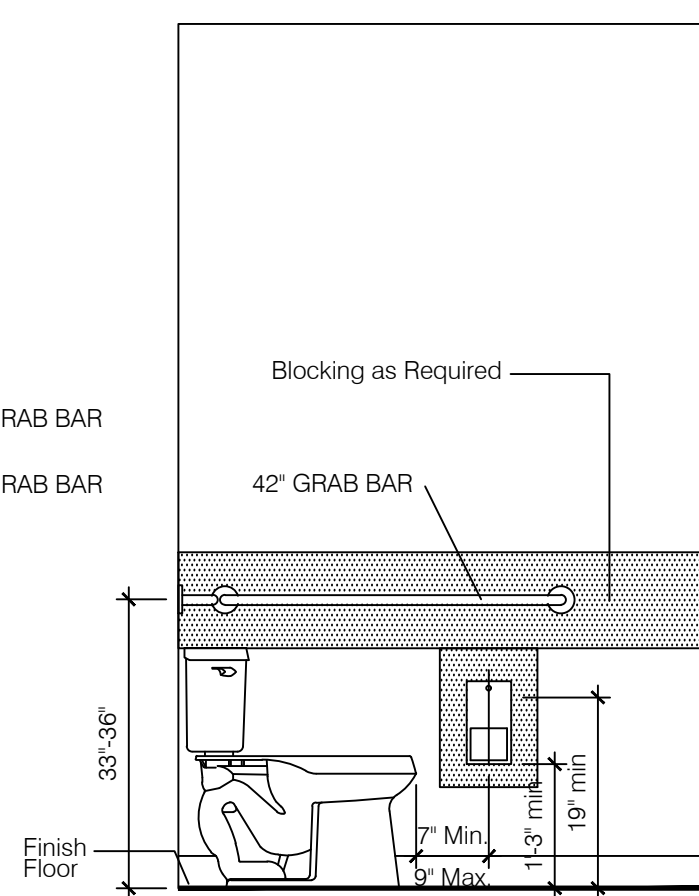
GRAB BAR DETAIL
1/2" SC.



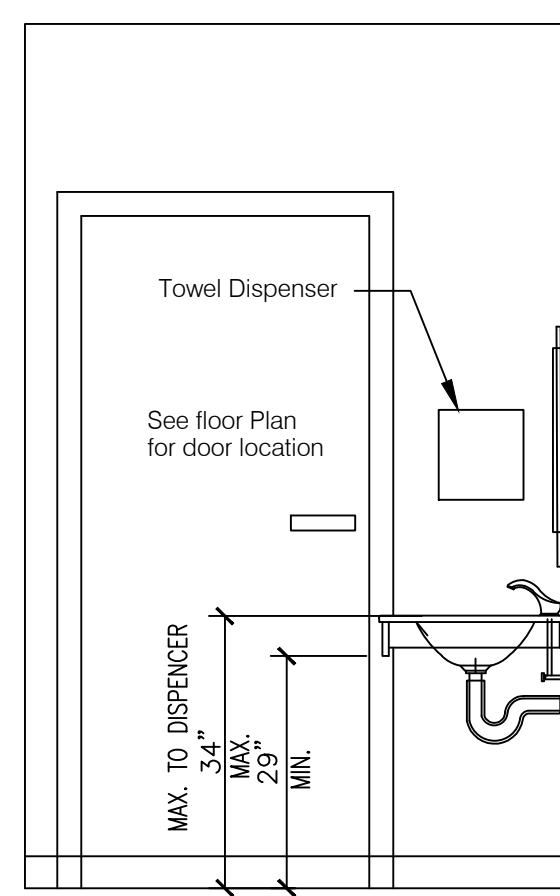
ISOMETRIC BACKING PARTITIONS
N.T.S.



A ADA RESTROOM ELEVATION
SCALE : 1/2" = 1'-0"



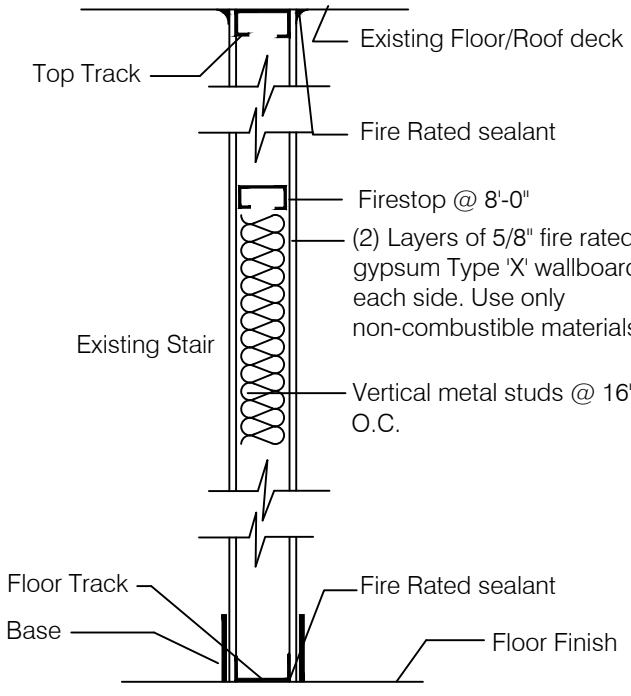
B ADA RESTROOM ELEVATION
SCALE : 1/2" = 1'-0"



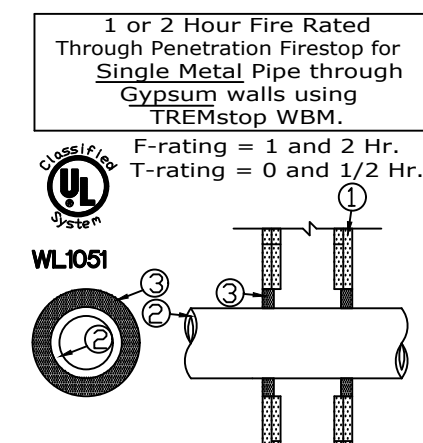
C ADA RESTROOM ELEVATION
SCALE : 1/2" = 1'-0"

TYPICAL HANDICAP RESTROOM ELEVATIONS
SCALE : 1/2" = 1'-0"

WALL TYPES:

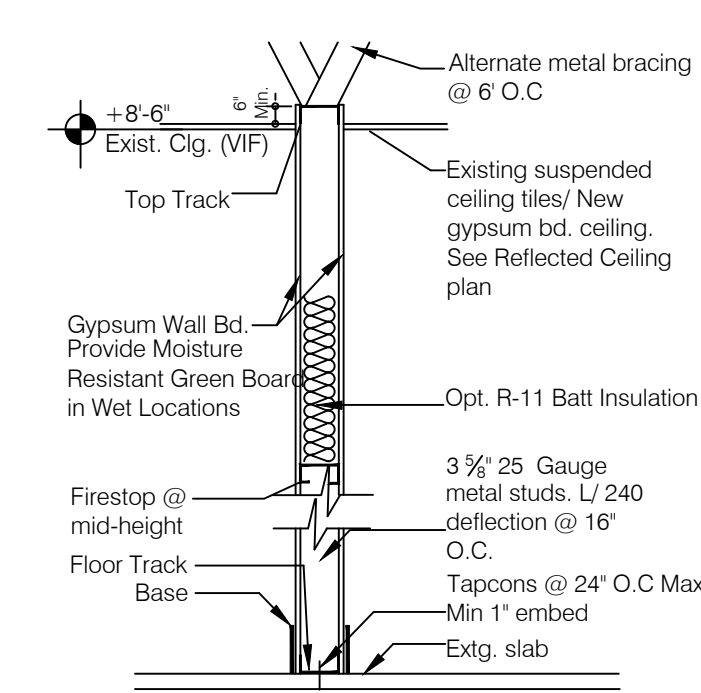


2-HR FIRE RATED UL U419 WALL DTL. (NON-BEARING INTERIOR PARTITION)
NOT TO SCALE

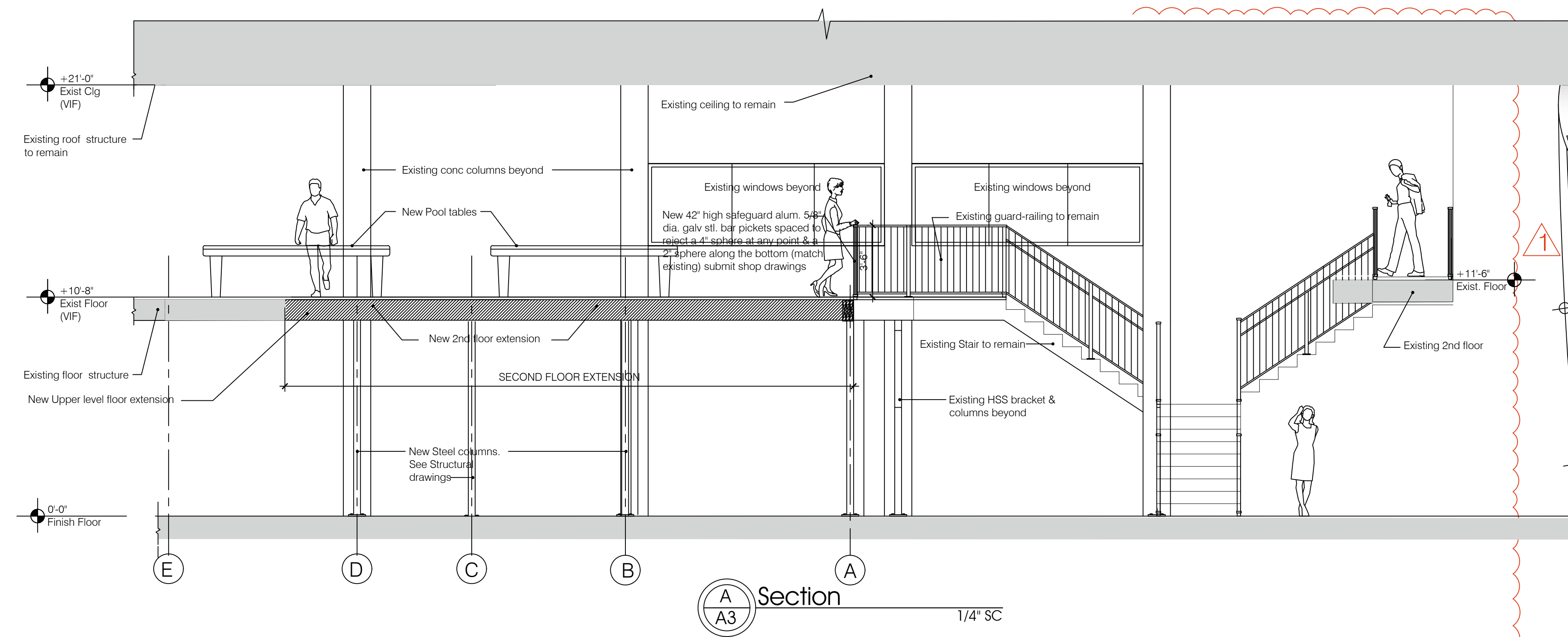


- 1 or 2 - hour fire rated gypsum wallboard/stud assembly.
- A) Steel Pipe - 6" diam.(or smaller) Sch. 40 (or heavier) steel
B) Conduit - 4" diam.(or smaller) EMT or rigid steel
- TREMstopWBM - fill Max. 3/4" annulus at a thickness of 1 1/4" (2 Hr. F-rating) or 3/4" (1 Hr. F-rating).

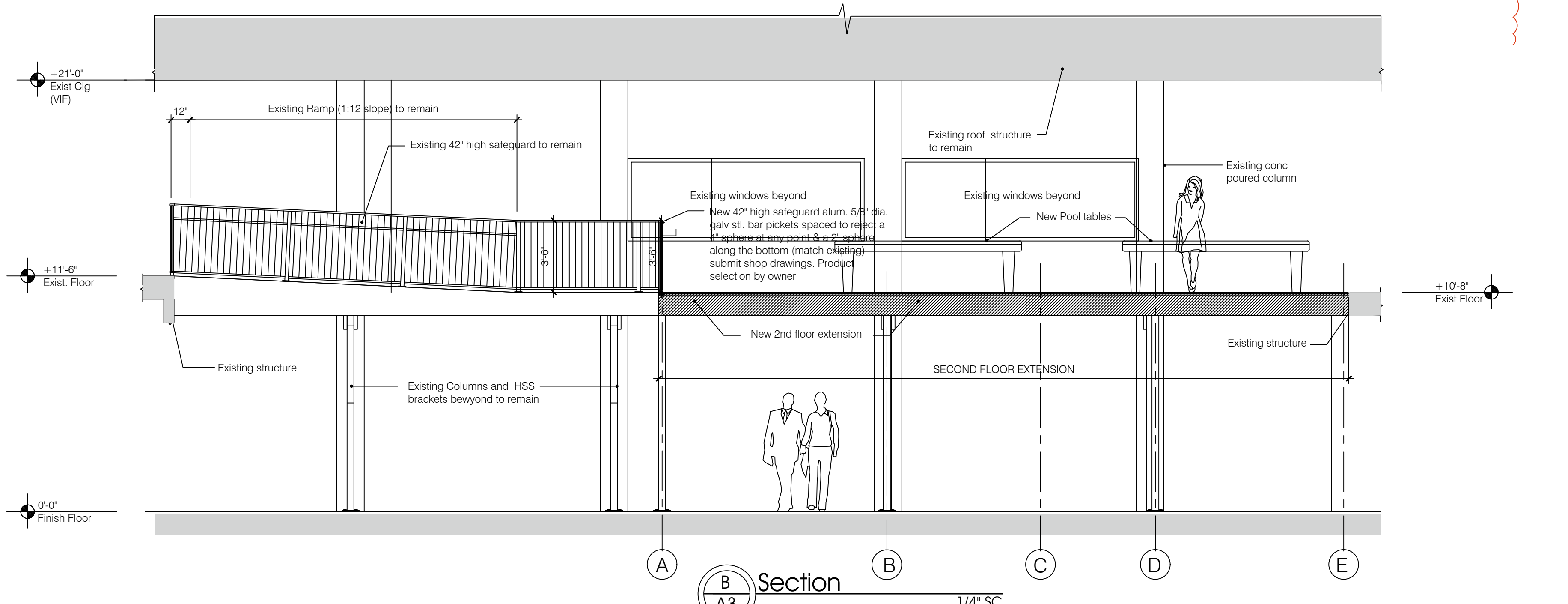
WALL PENETRATION
NOT TO SCALE



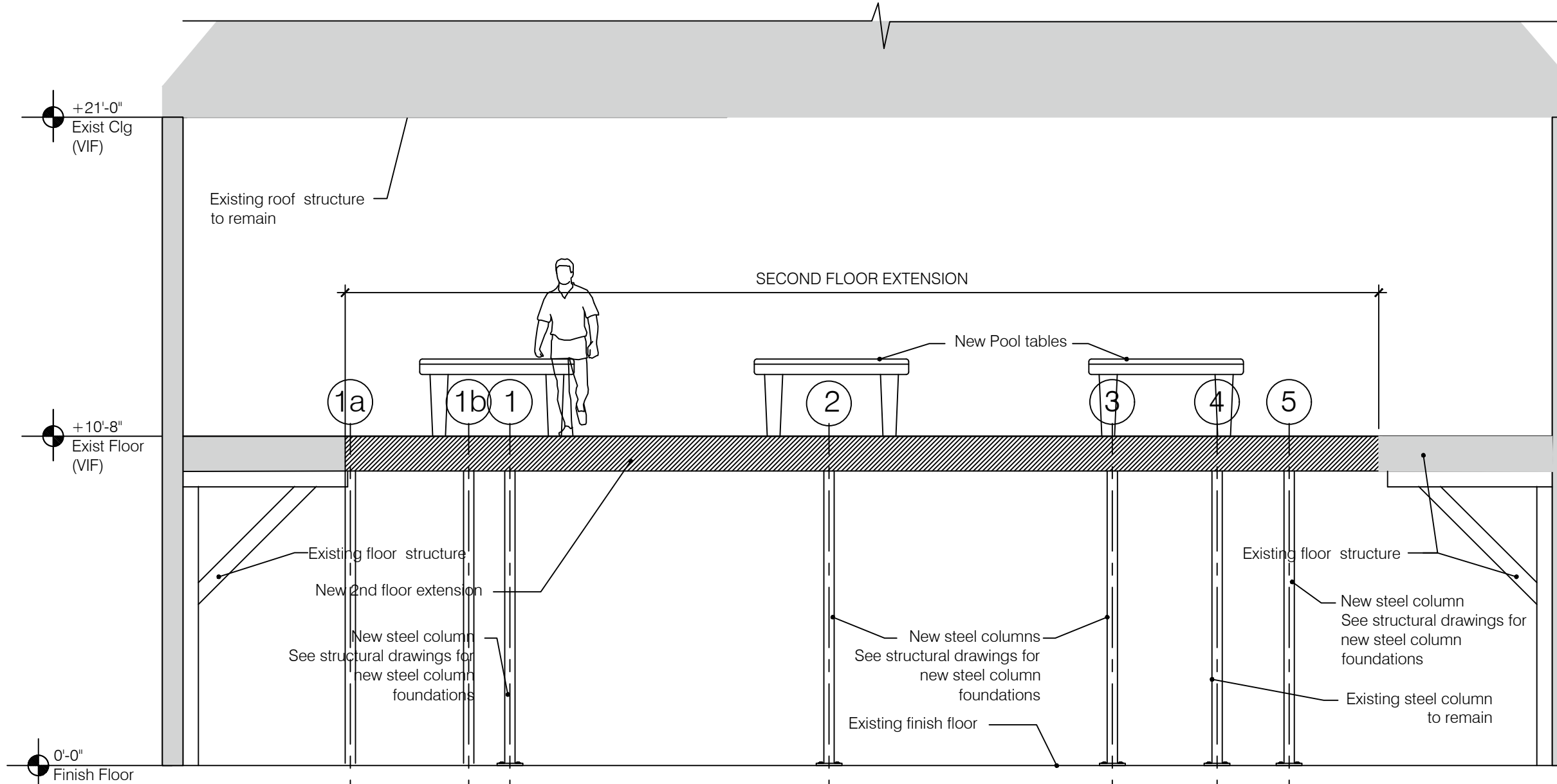
TYP. INTERIOR WALL DTL. NON-BEARING, NOT FIRE RATED
NOT TO SCALE



Section A-A
1/4" SC



Section B-B
1/4" SC



Section C-C
1/4" SC



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1711 CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
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AZ06002033

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