

SITE DATA TABLE (PLANNED COMMERCIAL)											
PLANNED COMMERCIAL	MIN. LOT SIZE (SF)	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	MIN. LOT FRONTAGE (FT)	MAX LOT COVERAGE	MIN. FLOOR AREA	FRONT SETBACK (FT)	SIDE STREET SETBACK (FT)	SIDE INTERIOR SETBACK (FT)	REAR SETBACK (FT)	HEIGHT (FT)
REQUIRED	15,000***	50	100	150***	*	6,000**	10	10	0	10	48
PROPOSED	36,132	203	178	203		1,400**	10 FROM S. MILITARY TRAIL	10	10	10	22.50
*	A MINIMUM OF 25% NON-VEHICULAR OPEN SPACE SHALL BE PROVIDED. INTERIOR AND PERIMETER LANDSCAPING MAY BE APPLIED TOWARD MEETING THIS REQUIREMENT										
**	VARIANCE APPROVED BY THE BOARD OF ADJUSTMENT ON SEPTEMBER 14, 2000 TO REDUCE THE MINIMUM REQUIRED FLOOR AREA TO 208 (SF)										
***	THE PARCEL IS IN THE PLANNED COMMERCIAL DISTRICT AND THE MEDICAL ARTS OVERLAY. MIN. LOT SIZE AND MIN. FRONTAGE COME FROM CONVENIENCE MART REQUIREMENTS IN LDR SECTION 4.3.3.(J)										
PROPOSED USE:	CONVENIENCE MART (GASOLINE STATION WITH FOOD SALES) 24 HOURS PER DAY										
	THERE ARE NO OTHER DRIVEWAYS WITHIN 50'										

BUILDING SETBACKS:

BUILDING SETBACK SHOWN ON PLAN

ZONING:

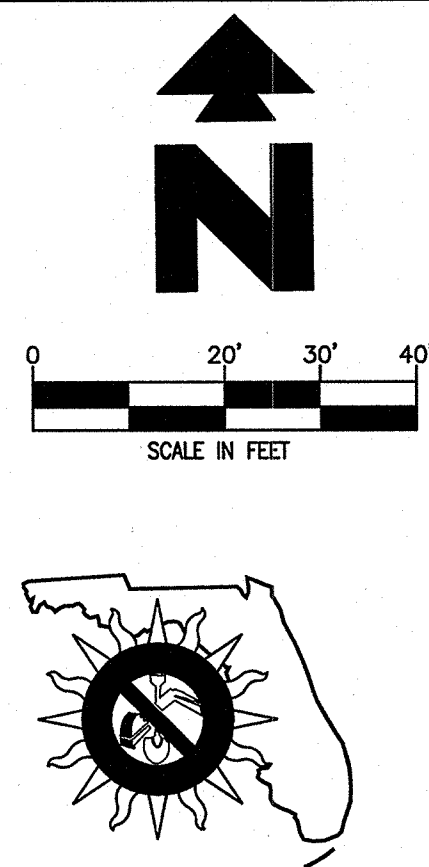
PC - PLANNED COMMERCIAL

48 HOURS BEFORE YOU DIG

CALL SUNSHINE

1-800-432-4770

IT'S THE LAW IN FLORIDA



1400SF-8(S)-2015v2

LEGEND

EXISTING

EXISTING BUILDING	EXISTING BUILDING (LLL)	ELECTRICAL TRANSFORMER BOX
PROPERTY LINE	PROPERTY LINE	FIRE HYDRANT
UTILITY POLE (UP), OVERHEAD LINES & GUY	UTILITY POLE (UP), OVERHEAD LINES & GUY	WATER VALVE
TREE LINE	TREE LINE	GAS VALVE
SANITARY SEWER MANHOLE (SSMH)	SANITARY SEWER MANHOLE (SSMH)	WATER STUB OUT
FIBER OPTIC CABLE	FIBER OPTIC CABLE	WATER METER
SANITARY CLEAN-OUT (SCO)	SANITARY CLEAN-OUT (SCO)	GAS METER
SANITARY SEWER STUB OUT	SANITARY SEWER STUB OUT	ELECTRIC METER
TELEPHONE MANHOLE/PEDESTAL	TELEPHONE MANHOLE/PEDESTAL	WELL
STORM DRAIN PIPE WITH HEADWALL	STORM DRAIN PIPE WITH HEADWALL	MONITORING WELL
DOUBLE-WING CATCH BASIN	DOUBLE-WING CATCH BASIN	POST INDICATOR VALVE
SINGLE-WING CATCH BASIN	SINGLE-WING CATCH BASIN	MAILBOX
JUNCTION BOX (JB)	JUNCTION BOX (JB)	ELECTRICAL STUB OUT
DROP OR CURB INLET (DI OR CI)	DROP OR CURB INLET (DI OR CI)	UNKNOWN UTILITY STUB OUT
FENCE	FENCE	TRAFFIC SIGNAL POLE
DRAINAGE DITCH OR SWALE	DRAINAGE DITCH OR SWALE	FIRE SIGNAL BOX
EXISTING 5 FOOT CONTOUR	EXISTING 5 FOOT CONTOUR	FIRE DEPT. CONNECTION
EXISTING 1 FOOT CONTOUR	EXISTING 1 FOOT CONTOUR	FIBER OPTIC BOX
EXISTING GRADE SPOT ELEVATION	EXISTING GRADE SPOT ELEVATION	BACKFLOW PREVENTER
DIRECTION OF SURFACE FLOW	DIRECTION OF SURFACE FLOW	IRRIGATION CONTROL VALVE
RECORDED DATA	RECORDED DATA	DRAINAGE MANHOLE
PARKING SPACE COUNT	PARKING SPACE COUNT	RIGHT-OF-WAY
LIGHT POLE (LP)	LIGHT POLE (LP)	REBAR PIN FOUND
AXE FOUND	AXE FOUND	OPEN TOP PIPE FOUND
REBAR PIN SET	REBAR PIN SET	CROW TOP PIPE FOUND
CORRUGATED METAL PIPE	CORRUGATED METAL PIPE	CITF
REINFORCED CONC. PIPE	REINFORCED CONC. PIPE	CMF
HDPPE	HDPPE	BOF
		CONCRETE MONUMENT FOUND
		BRASS DISK FOUND

PROPOSED

BOUNDARY LINE	BOUNDARY LINE
CONCRETE CURB AND GUTTER	CONCRETE CURB AND GUTTER
CONSTRUCTION FENCE (SEE CIVIL DETAILS)	CONSTRUCTION FENCE (SEE CIVIL DETAILS)
CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)	CONSTRUCTION FENCE ON PAVEMENT (SEE CIVIL DETAILS)
BUILDING CORNER MARKER	BUILDING CORNER MARKER

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADI SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
 - ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1B.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
 - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGES THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
- CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
- ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2 (SEE LANDSCAPE PLANS)
- FIRE CODE REFERENCE: FLORIDA FIRE PREVENTION CODE 6TH EDITION - FLORIDA SPECIFIC NFPA 1 FIRE CODE, 2015 EDITION AND FLORIDA SPECIFIC NFPA 101 LIFE SAFETY CODE, 2015 EDITION

SITE DETAILS - SEE DETAIL SHEETS

1B	TYPE "B" CONCRETE CURB & GUTTER.
2E	DUMPSTER ENCLOSURE
2F	CONSTRUCTION SAFETY FENCE
3D	CONCRETE SIDEWALK
3M	WHEELCHAIR RAMP IN SIDEWALK (FDOT STANDARD DRAWING 522-001 TYPE CR-D)
5A	GUARD POST (SINGLE)
5B	TRAFFIC SIGN IN BOLLARD
5C	STREET SIGN (CITY STD. R 2.1B)
9U	ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
9S	ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
9V	ACCESSIBLE PARKING (CITY STD. R 4.2A)
10A	TRAFFIC FLOW ARROW (TYP.)
10B	STOP BAR (TYP.)
11K	"NO PARKING" SIGN
12B	BICYCLE RACK - SEE CITY OF DELRAY BEACH DETAIL R 13.1 ON SHEET C-13
12C	BICYCLE BLOCK
12G	"STOP" SIGN
13A	SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS.

TEMPORARY ACCESS DRIVE NOTES

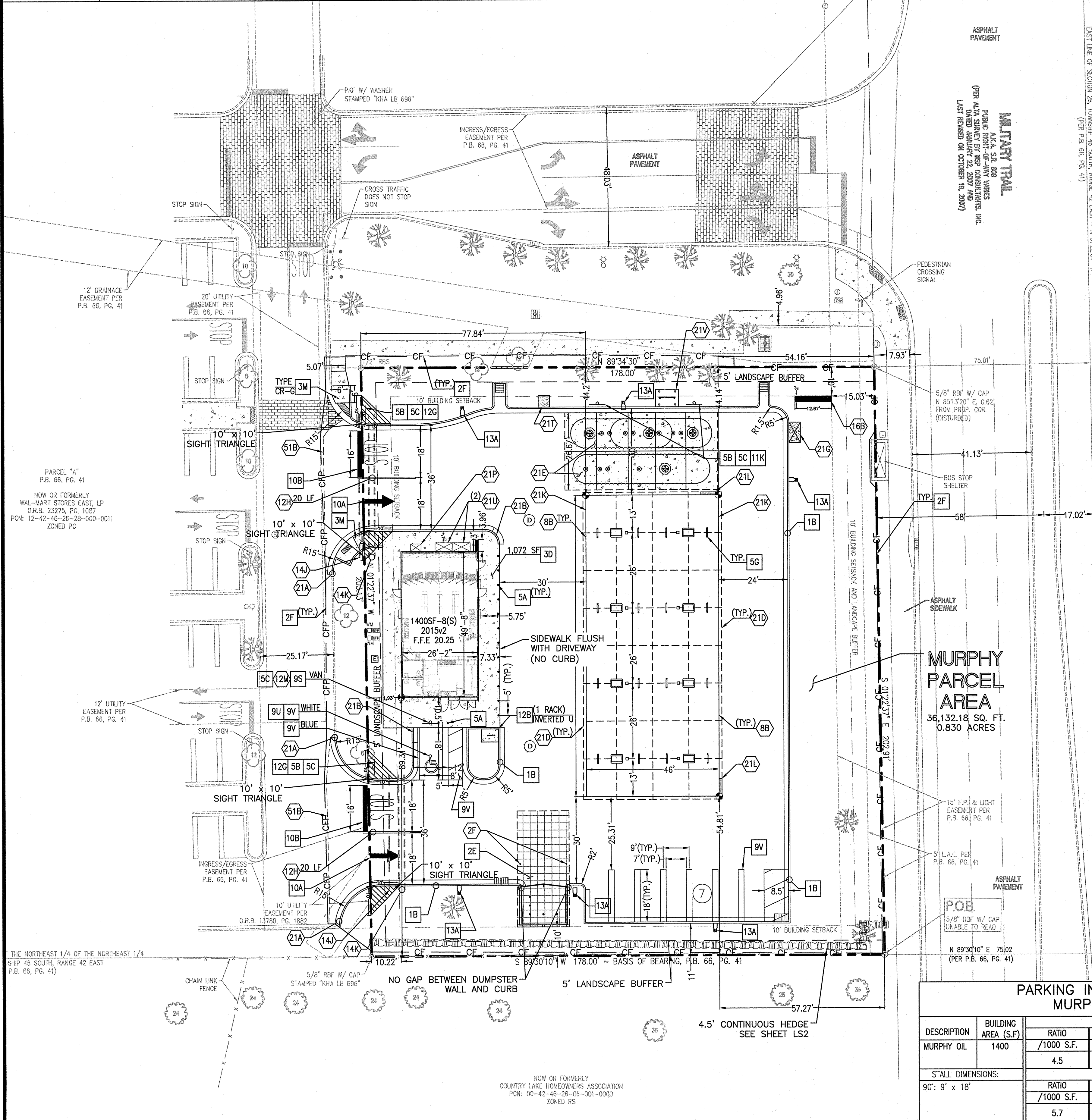
- INSTALL TEMPORARY ACCESS DRIVE AS SHOWN.
- TEMPORARY ACCESS DRIVE SHALL REMAIN OPEN UNTIL PERMANENT ACCESS DRIVE IS COMPLETE.
- THE PERMANENT ACCESS DRIVE SHALL BE COMPLETE WITHIN THREE (3) WEEKS.
- TEMPORARY TRAFFIC BARRELS SHALL BE CONSTRUCTED OF LIGHTWEIGHT, DEFORMABLE MATERIALS. THEY SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT AND HAVE AT LEAST AN 18-INCH MINIMUM WIDTH REGARDLESS OF ORIENTATION. METAL DRUMS SHALL NOT BE USED. THE MARKINGS ON DRUMS SHALL BE HORIZONTAL, CIRCUMFERENTIAL, ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES 4 TO 6 INCHES WIDE. EACH BARREL/DRUM SHALL HAVE A MINIMUM OF TWO ORANGE AND TWO WHITE STRIPES WITH THE TOP STRIPE BEING ORANGE. ANY NON-RETROREFLECTORIZED SPACES BETWEEN THE HORIZONTAL ORANGE AND WHITE STRIPES SHALL NOT EXCEED 3 INCHES WIDE. DRUMS SHALL HAVE CLOSED TOPS THAT WILL NOT ALLOW COLLECTION OF CONSTRUCTION DEBRIS OR OTHER DEBRIS.
- CONTRACTOR TO INSTALL TEMPORARY TRAFFIC SIGNAGE FOR TEMPORARY ACCESS DRIVE.
- CONTRACTOR SHALL PROPERLY SEQUENCE PERIMETER EROSION CONTROL MEASURES WITH ALL TEMPORARY ACCESS DRIVES AND/OR DETOURS. CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS AND ENSURE PERIMETER CONTROLS ARE PHASED ACCORDINGLY.
- CONSTRUCTION FENCE ADJACENT TO TEMPORARY ACCESS DRIVE TO BE INSTALLED DURING CONSTRUCTION AND REMOVED/RELOCATED AFTER COMPLETION OF PERMANENT ACCESS DRIVE.
- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- ALL PERMANENT TURF AREAS MUST BE SODDED.
- GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES. FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
- EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BASINS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPEDED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.
- GC SHALL UTILIZE DIRECTIONAL BORING OR JACK AND BORE METHODS TO INSTALL ALL UTILITIES THROUGH THE WAL-MART PARKING LOT, ANY PAVED AREAS OR DRIVE ISLES.

SITE NOTES

- DRILL (2) 3/4" X 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
- OVERHEAD CANOPY - (TYP.-PER CANOPY PLANS)
- DOUBLE TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- CONTRACTOR TO ENSURE THAT ANY LIGHT POLES OR HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM BACK OF CURB TO PREVENT THE VEHICLES FROM STRIKING THESE ITEMS.
- GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
- GC TO INSTALL (2) 4" PVC SLEEVES FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
- MURPHY OIL FREESTANDING SIGN, PER APPROVED ELEVATION. (8'-0" TALL)
- TAPER CURB TO MATCH EXISTING CURB
- EDGE OF CONCRETE SLAB, PER TANK/PIPING PLANS.
- UNDERGROUND STORAGE TANKS (1) 25,000 GAL-REGULAR, (1) 8,000 GAL-PREMIUM, (1) 10,000 GAL-DIESEL, (1) 8,000 GAL-E-O.
- AIR VACUUM UNIT WITH 4" X 7" CONCRETE SLAB
- MURPHY USA ID SIGN, PER APPROVED ELEVATION.
- PRICE SIGN PER APPROVED ELEVATION.
- PROPANE TANK CAGE LOCATION.
- MAILBOX (CONTRACTOR TO COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION).
- ICE UNIT LOCATION.
- CONCRETE PAD FOR VENT RISERS, PER TANK & PIPING PLANS.
- LIMITS OF SAWCUT AND PAVEMENT REMOVAL.

PARKING INFORMATION: MURPHY OIL

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:			
		RATIO	SPACES	ACCESSIBLE	TOTAL
MURPHY OIL	1400	/1000 S.F.	REGULAR	1	7
		4.5	6		
STALL DIMENSIONS:		PROVIDED:			
90°: 9' x 18'		RATIO	SPACES	ACCESSIBLE	TOTAL
		/1000 S.F.	REGULAR	1	8
		5.7	7		



SHEET NO. C-1

STATE OF FLORIDA
No. 53398
JAN 23 2019

WALMART SUPERCENTER #1589
16211 S. MILITARY TRAIL
DELRAY BEACH, FLORIDA

GreenbergFarrow
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FAX: (404) 601 9970
DWGNAME: DELRAY BEACH FL
JOB NO: 20150438.0

MURPHY OIL USA, INC.

MURPHY OIL USA
200 PEACH STREET
P.O. BOX 7000
EL DORADO, AR 71730-7000