



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Delray Bungalows Restaurant

Meeting	File No.	Application Type
May 27, 2026	2023-018-SPF-SPR	Level 2 Site Plan with Landscape Waiver and Determination of Adequacy
Property Owner	Authorized Agent	
25 SE 3rd Avenue, LLC	Joseph A. Ruiz	

Request

Consideration of a Level 2 Site Plan application for the adaptive reuse of an existing two-story structure into a restaurant with a covered outdoor dining area, known as *The Bungalows Restaurant*, located at 25-27 SE 3rd Avenue, including Architectural Elevations, a Landscape Plan, an associated landscape waiver to the required five-foot perimeter landscape strip, and a Determination of Adequacy for loading.

Site Data & Information

Location: 25-27 SE 3rd Avenue

PCN: 12-43-46-16-01-093-0360, 12-43-46-16-01-093-0340 and 12-43-46-16-01-093-0072

Property Size: 0.208 acres (9,043 square-foot)

Land Use: Commercial Core (CC)

Zoning: Central Business District (CBD) – Central Core and Railroad Corridor Sub-districts

Adjacent Zoning:

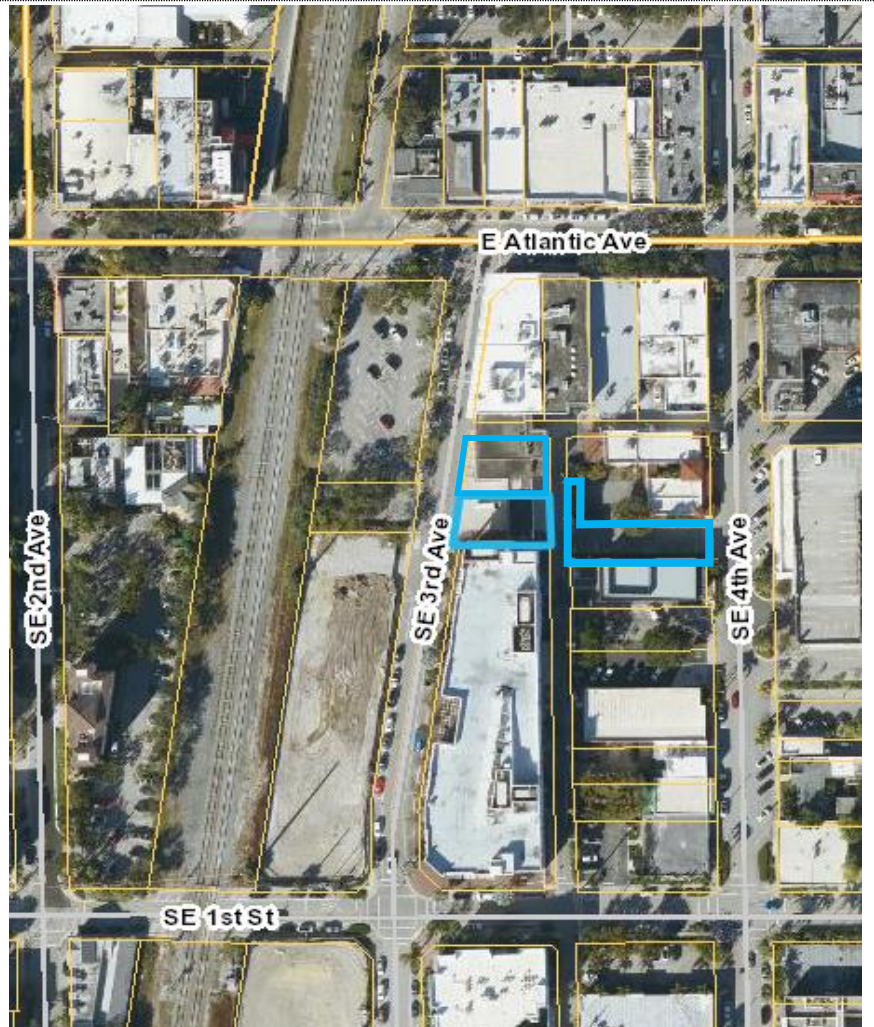
- **North:** CBD – Railroad Corridor
- **South:** CBD – Central Core Sub-district
- **East:** CBD – Central Core and Railroad Corridor
- **West:** CBD – Central Core and Railroad Corridor

Existing Use: Drive-thru Bank (vacant)

Proposed Use: Restaurant

Floor Area Ratio:

- **Existing:** 0.93
- **Proposed:** 0.93
- **Maximum Allowed:** 3.0





Background Information

The subject properties, located at 25–27 SE 3rd Avenue, are situated within the Downtown area immediately south of East Atlantic Avenue. The site is located within the Central Business District (CBD), Central Core Sub-district, and encompasses approximately 0.208 acres. It consists of two improved parcels with an existing two-story, 8,379-square-foot drive-thru bank, as well as a third parcel bisected by an alley that provides access to associated surface parking.



The original construction of the building dates to approximately 1966 as an expansion to the existing financial institution located at 302 E.

Atlantic Avenue. Historic records indicate that in 1959, First National Bank obtained approval to construct an overpass across the alley within Block 93, extending from Lot 1 to Lot 36, to facilitate the establishment of drive-in teller services within the former Stanley-Dankert building. In 1963, a subsequent building permit was approved for the addition of a second story above the ground floor.

In 2022, the applicant submitted a Class V Site Plan (Level 2) application proposing the adaptive reuse of the vacant drive-thru bank for conversion to a 10,811-square-foot restaurant with outdoor seating. Subsequently, a parking in-lieu request was submitted in April 2025 to address the additional parking demand generated by the proposed change of use and expansion. On June 17, 2025, the City Commission approved the request via **Resolution No. 109-25**, authorizing a payment of \$780,000 in-lieu of the 26 parking spaces to satisfy the minimum parking requirements. The required In-Lieu of Parking Fee Agreement will be executed subsequent to the approval of the Site Plan application.

The project site is also located within both the Community Redevelopment Area (CRA) and the Downtown Development Authority (DDA) district. On May 19, 2025, the DDA reviewed the proposal and recommended approval, noting that the proposed change of use represents a beneficial enhancement to both the building and the surrounding area.

These prior approvals, combined with the site's existing physical constraints and its established urban context, provide the regulatory and design framework for the current Level 2 Site Plan application under review.



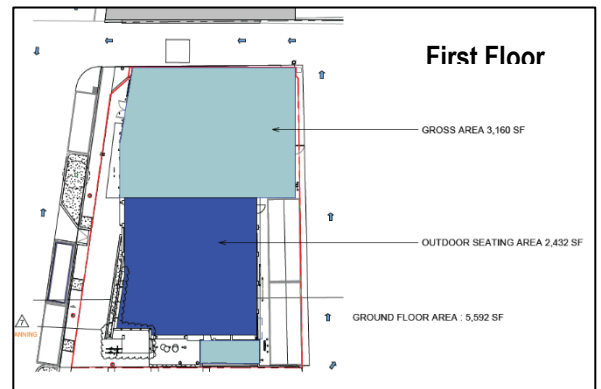


Project Description

The proposed project consists of the adaptive reuse of the existing 8,379-square-foot financial institution located at 25–27 SE 3rd Avenue into a restaurant with outdoor dining. The proposal includes the construction of a canopy over the existing bank teller lanes to accommodate the outdoor dining area, improvements to the façade, and addition of a dumpster enclosure and loading space to the rear. Modifications also include resurfacing the existing parking lot adjacent to the alley to reconfigure the lot with diagonal parking spaces to comply with maneuvering and landscape requirements.

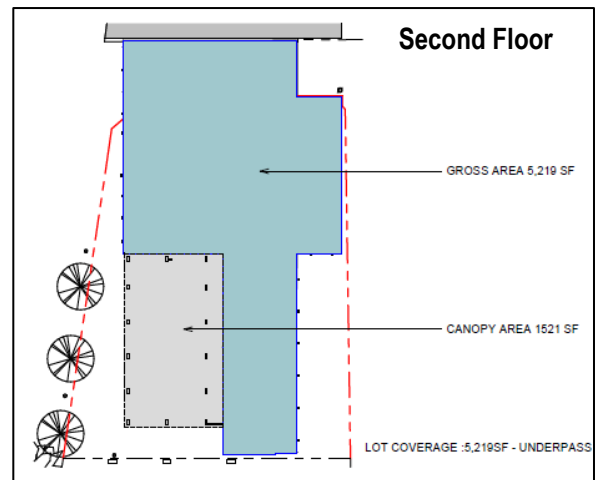


The proposed outdoor dining area under the canopy is considered an active use, which results in an increase in overall square footage utilized for the parking calculations, thereby activating additional parking requirements in conjunction with the proposed change of use from a financial institution to a restaurant. The existing bank use is credited with 29 parking spaces based on the parking calculation methodology of four spaces per 1,000 square feet of net floor area for the first 3,000 square feet and 3.5 spaces per 1,000 square feet thereafter. The proposed restaurant use, inclusive of the outdoor dining addition, results in a total building area of 10,811 square feet, requiring 65 parking spaces based on the City's requirement of six spaces per 1,000 square feet of gross floor area for restaurant uses.



To address the parking demand, the proposal includes the construction of two new on-street parking spaces (existing on-street space not included in parking calculations) and eight surface parking spaces in the adjacent lot. After accounting for the proposed on-site parking improvements, a remaining deficit of 26 parking spaces will be satisfied through the approved parking in-lieu.

The proposal also includes enhancements to the architectural elevations through the incorporation of a Masonry Modern architectural style. The exterior improvements are designed to modernize the west elevation and enhance the pedestrian-oriented character of the site while maintaining the primary building mass. A new linear canopy structure is proposed along the western façade to create a shaded outdoor dining area and activate the streetscape. Additional architectural enhancements include updated façade treatments, contemporary materials and finishes, and pedestrian-oriented design elements intended to support the adaptive reuse of the existing structure and complement the surrounding downtown environment.



To facilitate the proposed development, two requests for regulatory relief are included:

- A waiver from **LDR Section 4.6.16(H)(3)(a)** to reduce the required five-foot landscape buffer along the south portion of the parking lot area to a minimum one foot and two inches at the eastern property line, and two feet and six inches at the southern property line.
- A determination of adequacy under **LDR Section 4.6.10(C)** for off-street loading, to allow one off-street loading berth where two loading berths are required based on the gross floor area of the project.



Review and Analysis: Site Plan

LDR Section 2.1.6. – The Site Plan Review and Appearance Board – Board Action

The SPRAB has the authority to take action on the following items pursuant to the procedures and standards of the LDR, except where authority is granted to the Historic Preservation Board:

- Level 1 or Level 2 Site Plan applications when associated with the following requests for relief:
 3. Waivers to Section 4.6.16, Landscape Regulations

LDR Section 2.4.10(A)(1)(d)4.

Applications that include new construction or additions to an existing building of no more than 15,000 gross square feet for nonresidential development is a Level 2 Site Plan application.

LDR Section 2.4.10(A)(1)(b) - Site Plan Applications Level 2

Level 4 Site Plan applications include requests that could otherwise be classified as a Level 2 or Level 3 Site Plan application but have concurrent request requiring final action by the City Commission for one or more of the following:

- Approval of Waiver(s) not otherwise authorized to other approving bodies.

LDR Section 2.4.10(A)(2)(d)2., Board Review

The following applications require board action:

- Level 1 and Level 2 Site Plan applications that are dependent upon waiver relief require action by the SPRAB and/or the City Commission.

The proposed development consists of the adaptive reuse of an existing 8,379 square foot building and the addition of 2,432 square feet of covered outdoor dining area under a new canopy over the former bank teller lanes, resulting in a total project area of 10,811 square feet. Because the total proposed nonresidential development area is less than 15,000 square feet, the the request is considered a Level 2 Site Plan application subject to Board approval.

LDR Section 2.4.10(A)(3), Findings

All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

- (b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.
- (c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.
- (d) Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.
- (e) Site Plan applications that include a variance(s) are subject to the findings of Section 2.4.11(A).
- (f) Site Plan applications that include a waiver(s) are subject to the findings of 2.4.11(B).

The site plan application requires compliance with b, c, and d listed above while the waiver is subject to the findings of LDR Section 2.4.11. The analysis of the required findings is further identified below.

LDR Section 3.1.1, Required Findings.

Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

The required findings relate to the land use map, concurrency, consistency, and compliance with the Comprehensive Plan. Compliance with the required findings is discussed below.

(A) Land Use Map The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property is zoned Central Business District (CBD), which is a preferred zoning district under the Commercial Core (CC) land use designation. A restaurant use is permitted in the CBD zoning district. Therefore, the proposed land use is consistent with the



underlying land use designation. Additionally, the maximum floor area ratio (FAR) allowed within the CC land use is 3.0; and the proposed development has an FAR of .93, thus complying with the FAR requirements.

(B) Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer. A 2" water service line will connect to an existing 8" ductile iron water main on SE 3rd Ave. The parcel will have a 2" commercial water meter and 2" RPZ backflow preventer (BFP). After the RPZ BFP, a 2" line will enter the building and 1" line will branch off for the irrigation system. The irrigation system will have 1" PVB backflow preventer. The RPZ and PVB BFP's will be located in front of the building. The fire sprinkler system will be supplied water via a proposed 4" fire main connected to an existing 4" cast iron water main in the alley. This fire main will have a DCDA backflow preventer located near the southeast corner of the west parcel. Sewer will be connected to the existing 8" clay sewer main in the alley using existing sewer laterals – one lateral connection for domestic waste and one lateral for the grease interceptor discharge.

Drainage. The project addresses the requirement that the post development condition discharge less than the predevelopment condition by increasing the pervious area by 0.01 acres, ensuring there is less runoff.

Transportation. A Traffic Performance Standard (TPS) letter issued by Palm Beach County dated June 15, 2023, confirmed that the proposed development will generate fewer than 20 peak hour trips, and will therefore have an insignificant impact on traffic.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals through the year 2074. The development proposes two new dumpsters with enclosures to be provided on site.

Parks and Open Space: Not applicable.

Public Schools. Not applicable.

(C) Consistency A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

Article 3.2 Performance Standards

The following standards contained in Article 3.2 are applicable:

- **LDR Section 3.2.1, Basis for Determining Consistency**
- **LDR Section 3.2.3, Standards for site plan and/or plat actions**
- **LDR Section 3.2.4, Standards for Specific Areas or Purposes**

The proposed development aligns with several Article 3.2 standards through adaptive reuse, removal of the drive-through condition, pedestrian frontage improvements, and downtown reinvestment, the application includes several constrained-site conflicts related to legally existing non-conforming aspects. The Board must determine whether the beneficial aspects of the project outweigh these identified points of conflict for purposes of an overall consistency finding as discussed in detail below.

- **LDR Section 3.2.1. Basis for Determining Consistency.**

The following applicable objectives or policies from the Always Delray Comprehensive Plan apply to the request.



Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.2 Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.

Policy NDC 1.1.14 Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

Objective NDC 1.3 Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.

Policy NDC 1.3.1 Apply mixed-use land use designations to foster development patterns that support pedestrian and bicycle activity, stimulate public transit ridership, and create a park-like environment.

Policy NDC 1.3.2 Apply the mixed-use land use designation that best maintains the scale, density, intensity, and enhances the character of the surrounding neighborhood, district, or corridor

Policy NDC 1.3.5 Use the Commercial Core land use designation to stimulate the vitality and economic growth of the city while simultaneously enhancing and preserving the cultural and historic downtown area.

Policy NDC 2.2.3 Encourage the adaptive reuse of existing structures located within mixed-use and commercial land use designations, particularly those that were originally established as single family homes or are over 50 years old, by providing incentives, such as relief in the Land Development Regulations, grants to facilitate retrofitting or rehabilitation, etc.

Policy NDC 2.2.4 Provide incentives in the Land Development Regulations that encourage the long-term viability, adaptive reuse, and redevelopment of small properties located within mixed-use and commercial land use designations to maintain the historic development pattern over time.

Mobility Element

Policy MBL 2.5.9 New development or modifications to existing development shall upgrade points of access to meet current, adopted standards.

Policy MBL 3.4.3 Prepare an update to the Parking Management Plan identifying parking strategies, including utilization of the County parking garage and future locations of parking structures and lots in the downtown area to provide adequate parking for the downtown users; re-assess the plan every four years and update, as needed.

Policy MBL 2.4.5 Develop, through the Land Development Regulations, mechanisms to encourage and provide opportunities for infill and redevelopment that improves ridership along transit corridors, including but not limited to, nodes of higher density, mixed use development, and Transit Oriented Developments.

Policy MBL 2.5.2 Ensure safe vehicular, pedestrian, and bicycle operations in all new development, redevelopment, and on all City streets, including at driveway entrances and at intersections.

Economic Prosperity

Policy ECP 6.3.2 Encourage predictability and consistency in the City's Land Development Regulations, while also allowing for flexibility and creativity in the site development process.

Overall, the proposed development aligns with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, which supports infill redevelopment, adaptive reuse, and the efficient use of existing urban land within the Downtown Core. The conversion of an underutilized financial institution into a restaurant with outdoor dining advances economic development objectives by promoting downtown revitalization, increasing active uses, and strengthening the area's role as a pedestrian-oriented destination. The



project also aligns with urban design policies by enhancing building elevations, activating the street frontage with a canopy-supported outdoor dining area, and improving the pedestrian experience. In addition, the use of a combination of on-site, on-street, and in-lieu parking is consistent with the Comprehensive Plan's support for flexible parking strategies in the urban core, while the redevelopment of an existing structure within the CRA and DDA districts furthers goals related to reinvestment, elimination of underutilized uses, and enhancement of downtown character and economic vitality.

- **LDR Section 3.2.3, Standards for site plan action.**

The following standards are applicable to the request:

- (A) *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
- (B) *All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly-accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).*
- (D) *Any proposed street widening or modifications to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.*
- (F) *Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services: are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*
- (G) *Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.*
- (H) *Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the-surrounding areas, the project shall be modified accordingly or denied.*
- (K) *Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.*

The proposed project meets the applicable standards of LDR Section 3.2.3 by adaptively reusing an existing structure, removing the former drive-through condition, improving the pedestrian frontage, and reorganizing parking, loading, and service areas within a constrained downtown site. The project does not bring all existing site conditions into full compliance, particularly with respect to certain CBD streetscape, setback, sight visibility, corner clip, landscape buffer, and loading requirements. These constraints are addressed through the specific analyses below, including the landscape waiver and loading determination. The Board shall determine whether the beneficial aspects of the adaptive reuse and associated site improvements outweigh the identified points of conflict.

- **LDR Section 3.2.4, Standards for Specific Areas or Purposes**

The property is not located within a flood prone zone area, an environmentally sensitive area, on the barrier island, or a historic district. The property is not an individually designated site or would impact adjacent local government. The subject property is not located within Wellfield Protection Zone.

Below is an analysis of the project's compliance with relevant Land Development Regulations.

The proposed adaptive reuse enhances the property and advances it toward greater compliance with the Land Development Regulations, however, full compliance with streetscape design standards, sight-visibility triangle requirements, and corner clip dedications are not feasible due to the constraints created by the existing building's placement. The western portion of the structure is located in close



Nevertheless, the remaining streetscape areas beyond the building frontage will meet minimum streetscape design standards and significantly enhance the pedestrian environment where such improvements do not currently exist. The removal of the former teller lanes and the continuation of brick pavers will create visual continuity with the surrounding area, improving connectivity and cohesion. The addition of shade trees within the right-of-way will establish a continuous shaded pedestrian route and provide organized landscaping.

Prior to site plan certification, the applicant shall provide final right-of-way dedication exhibits, legal descriptions, sketches, plat or replat documents, and any required easement or hold harmless agreement

Modifications to the surface parking lot have substantially improved compliance, with the exception of the required five-foot landscape buffer. Reconfiguring the parking from parallel to diagonal spaces increases functionality and allows for additional landscaping improvements. These changes also improve access for the adjacent property to the north and maintain the existing access easement across the subject site. Further analysis is provided below.

(D) Compliance with the LDRs *Whenever an item is identified elsewhere in the LDR, it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

The proposed restaurant complies with the development requirements of the CBD zoning district, with the exception of the requested landscape waiver and determination of adequacy for off-street loading. Specific standards are discussed below.

Section 4.4.13, Central Business District

Standard/Regulation	Required	Proposed
Table 4.4.13(C), Height	Maximum: 54 feet, 4 stories	22 feet with 8-foot-high decorative parapet screening
Table 4.4.13(C), Setbacks	Required: Front: Min. 10 feet – Max. 15 feet Side: 0 feet Rear: Min. 10 feet	Front (west): SE 3rd Avenue: 5 feet, 8 inches* Side (north): 0 feet* Rear (east): Alley: 9 inches* Side (south): 1-foot, 5 inches*
4.4.13(E)(2), Minimum Streetscape Width	Required: 15 ft Curb Zone: 4 ft (min.) Ped. Clear Zone: 6 ft (min.) Remaining Front Setback Area: up to 15 ft	SE 3rd Avenue: 7 feet, 6 inches Curb Zone: Min 4 feet *Ped. Clear Zone: 5 feet, 8 inches *Remaining Front Setback Area: 0 feet
4.4.13(E)(2)(a)3, Remaining Front Setback Area	Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed.	The remaining front setback area is primarily hardscape. Ground plantings are located within a portion of the front setback area.
4.4.13(E), Frontage Type: Stoop, Storefront, Arcade, and Lobby	Storefront Requirements: Building Setback: 10 to 15 ft Store Width: max. 75 ft Storefront Base: 9 in to 3 ft Glazing Height: Min 8 ft Required Openings: Min 80% Awning Projection: Min 5 ft Lobby Requirements: Building Setback: 10 to 15 ft	Storefront Requirements: *Non-conformity to remain as existing Lobby Requirements: Building Setback: 5 ft, 8 in Overhang/Awning Projection: N/A



	Overhang/Awning Projection: Max 10 ft	
4.4.13(G), Civic Open Space	<20,000 sf; no civic open space required	Not applicable
<p>*The existing building is considered a legal nonconforming structure with respect to certain CBD setbacks, frontage, storefront, and streetscape requirements. pursuant to LDR Section 1.3.5, a nonconforming structure may continue to be occupied by a permitted use provided the nonconformity is not increased. The proposed canopy and façade improvements are reviewed in relation to the existing building placement. The improvements do not increase the existing building footprint within the nonconforming setback area and are intended to improve the existing pedestrian condition. However, full compliance with current CBD streetscape, storefront, setback, sight visibility, and corner clip standards is constrained by the existing structure.</p>		

Other Development Regulations

Standard/Regulation		
4.6.8(A)(3), Lighting	Illumination spillover is limited to the maximum degree feasible given the minimum illumination requirements for street lighting, off-street parking illumination, and lighting at the building and garage entrance. The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, and lighting at the property line adjacent a parcel or public right-of-way.	
4.4.13(I), CBD Parking Standards	Required: 6 spaces per 1,000sf <u>Total = 65 parking spaces</u>	Provided: 29 spaces credited from prior bank use; 26 approved in-lieu spaces; 8 off-street parking spaces; and 2 new on-street parking spaces (existing on-street parking space not included in calculation)
LDR Table 4.4.13(M), Bicycle Parking	Retail: Type I spaces – 1/2500 sf = 1 space Type II – Not Required	Provided: Type I spaces – 2
4.6.10, Off-Street Loading	Required: 2 loading berths	Provided: 1 loading berth

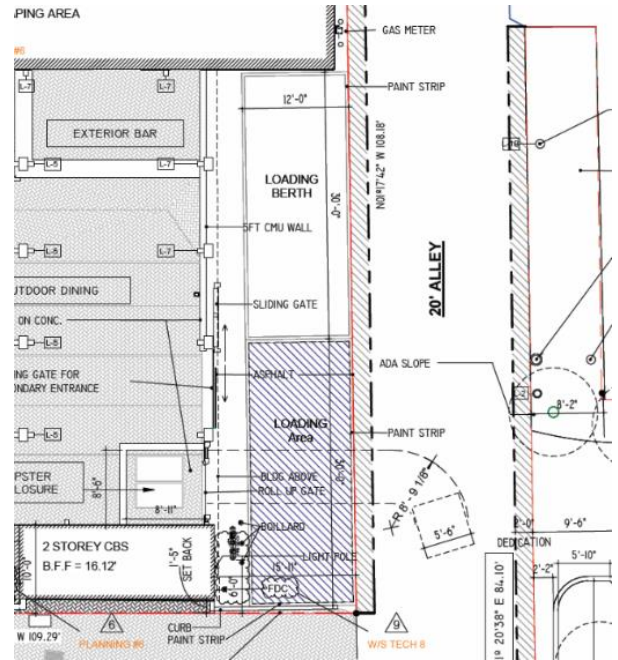
Parking Component	<u>Spaces</u>
Required for proposed restaurant	65
Existing bank use credit	29
New on-site spaces	8
New on-street spaces	2
Remaining deficit	26
Approved in-lieu spaces	26



LDR Section 4.6.10, Off-Street Loading

The applicant requests a determination of adequacy to permit the provision of one loading space for the restaurant located at 25-27 SE 3rd Avenue. Pursuant to LDR Section 4.6.10, restaurants between 10,000 and 20,000 square feet are required to provide two off-street loading spaces. For purposes of the loading review, the proposed restaurant has been evaluated at 10,811 square feet, inclusive of the existing 8,379-square-foot building and the 2,432-square-foot covered outdoor dining area. Based on this calculation, two loading berths are required.

The applicant proposes one loading berth with a loading area located at the rear of the property with access provided via the alley. The proposed loading space meets the minimum dimensional standards of the regulations. The rear location of the loading space and alley access reduces conflicts with pedestrians and primary street frontages while allowing delivery and service vehicles to operate off the main roadway, thereby reducing impacts to traffic circulation and on-street parking. The project is also located near the lower threshold of the 10,000 to 20,000 square foot loading category, and the applicant has indicated that one loading berth is sufficient to serve the operational needs of the proposed single-tenant restaurant use.



The Board shall determine whether the proposed one loading berth satisfies the intent of LDR Section 4.6.10 and is adequate to serve the proposed restaurant use within the existing downtown context. In making this determination, the Board may consider the size and character of the use, the adaptive reuse of the existing building, the rear alley access, the location of service functions, the relationship to pedestrian areas and public frontages, and whether the proposed loading arrangement is sufficient to avoid adverse impacts on alley circulation, vehicular circulation, solid waste collection, fire access, accessible routes, and surrounding properties.

Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18. - Architectural elevations and aesthetics - Minimum requirement

The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings

There are five subsections for consideration in **LDR Section 4.6.18**:

- (A) Minimum requirements;
- (B) Building and structure requirements;
- (C) Exterior space;
- (D) Parking lots and vehicular use areas, and
- (E) Criteria for board action.

(E) Criteria for Board Action.

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.
- (4) The proposed elevations provided below have been reviewed for compliance with Section 4.6.18 - Architectural Standards.



In conjunction to the above minimum requirements, all buildings in the CBD Sub-districts shall utilize one of the architectural styles as identified in the *Delray Beach Architectural Design Guidelines* and adhere to the defining characteristics outlined in the guideline document to ensure high quality architecture in the downtown area.

The proposed development is utilizing the Masonry Modern architectural style, which is one of the seven styles that are within the guidelines. The initial application was submitted November 14, 2022, prior to Ordinance No. 12-23, which states that the use of Masonry Modern or Art Deco architectural styles requires City Commission approval, via recommendation by SPRAB or HBP, as applicable, prior to consideration of the site plan. Therefore, the proposed use of the Masonry Modern architectural style did not require previous approval prior to the review of the site plan.

A further analysis of compliance with the CBD Architectural Design Guidelines and LDR Section 4.6.18 are discussed below.

Delray Beach Central Business District - Architectural Design Guidelines

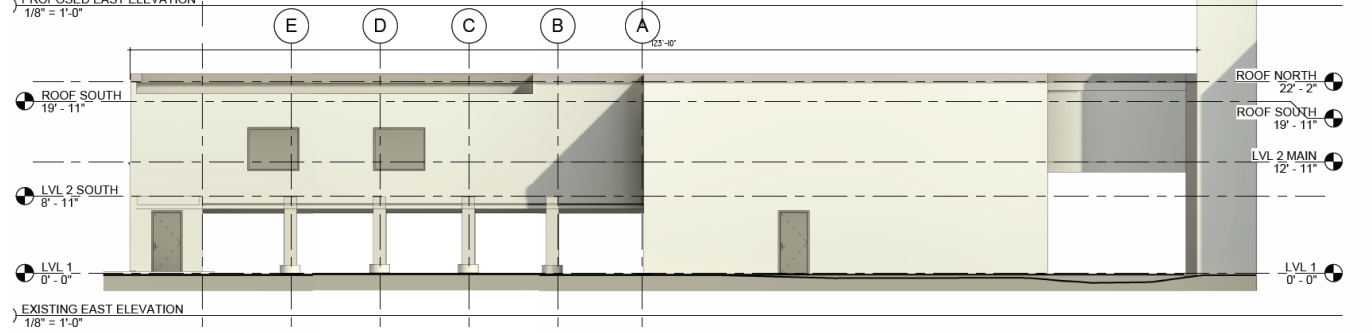
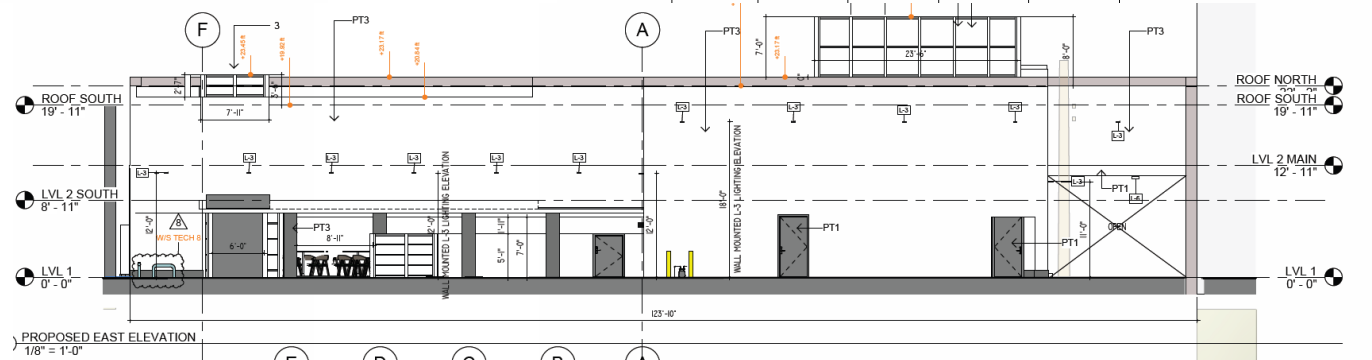
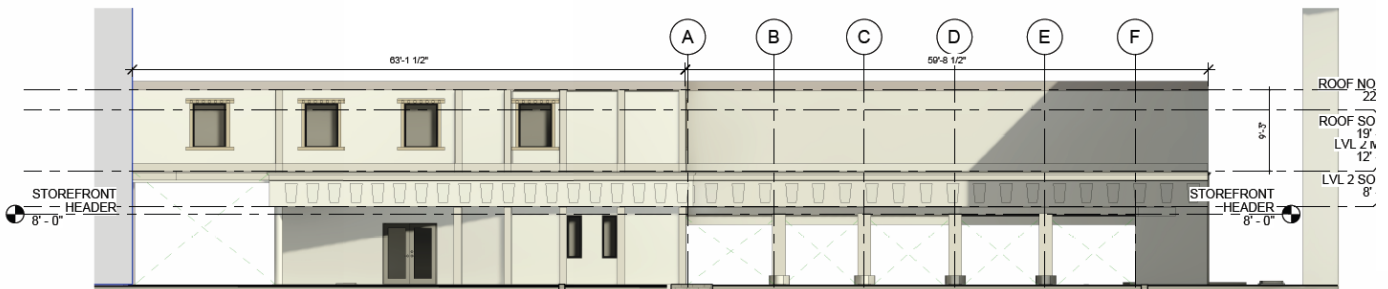
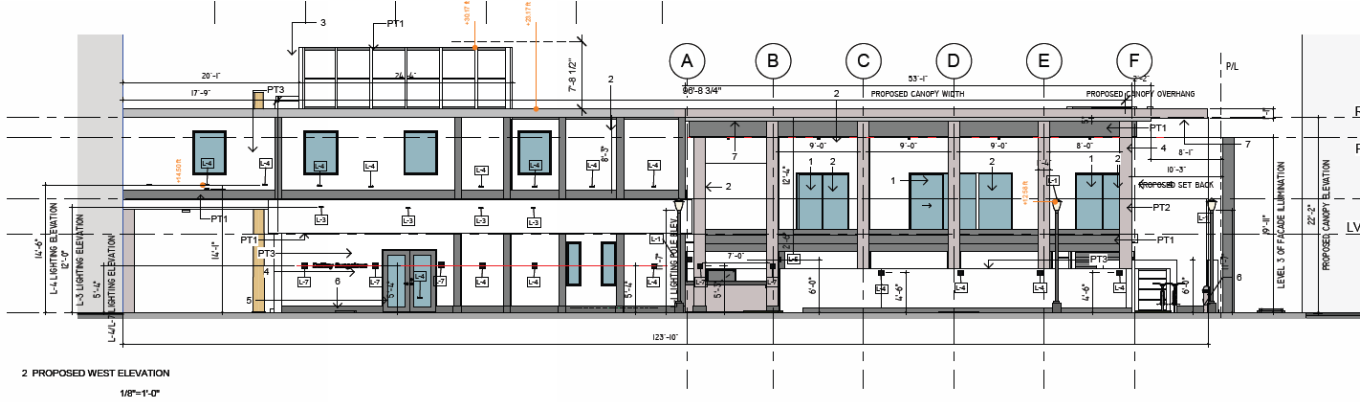
“The Masonry Modern style of architecture is defined by its rational load bearing construction technique, its system of punched openings (vs. large expansive walls of windows) and its limited ornament. Stucco is the prevalent building finish in the Masonry Modern style. Stone and wood details are used to soften the stark modern forms of the building mass.”





The proposed elevation modification reconfigures the former drive-thru side of the building to support a pedestrian-oriented restaurant use while retaining the primary two-story building massing and upper-level architectural character. The modifications include the removal and replacement of drive-thru elements such as the teller lanes with a newly covered outdoor dining area. The vehicular service function is eliminated and replaced with pedestrian focused activity along the façade. The canopy is supported by a rhythm of vertical columns that establish a strong architectural bay spacing, while also providing weather protection for patrons. The existing west elevation features a prominent horizontal decorative band, in line with a classical traditional style, that transitions between the first and second floors; as part of the renovation, the decorative banding is proposed to be replaced with a minimal banding that still serves as a strong visual datum that reinforces the building's original institutional character while aligning with the proposed Masonry Modern style, integrating the new outdoor dining area, and emphasizing the column rhythm into a cohesive ground-floor composition.

Images of the proposed and existing elevations are provided below.





LDR Section 4.4.13(F), Architectural Standards, to ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

LDR 4.4.13(F)(2) - Façade Composition, Tripartite Organization: The design is superimposed on the existing façade, still maintaining a clear division of base, middle and top façade composition. The base consists of the ground floor, the top is defined by the second floor and the overhang cantilevered over the outdoor dining area, and the middle is comprised of the raised stucco and column support that cuts through the front façade.

LDR 4.4.13(F)(3) - Architectural Style, Masonry Modern: The proposed west elevation introduces architectural elements consistent with a modern interpretation encouraged by the CBD guidelines. The updated façade simplifies and removes the heavier ornamental banding, replacing it with a cleaner horizontal and vertical expression, larger uninterrupted wall planes, and a more restrained material palette. These changes emphasize contemporary proportions, reduced ornamentation, and a clearer façade hierarchy, which aligns with the CBD guidance promoting modern design that is compatible with the district through high-quality materials, articulated massing, and a simplified, cohesive architectural composition.

LDR 4.4.13(F)(4) - Walls and Primary Materials: The proposed material palette supports a modern architectural expression through a restrained and cohesive use of finishes. The façade is proposed in a matte white, creating a clean, high-contrast composition that emphasizes simple forms and shadow lines. The canopy incorporates aluminum composite paneling at the upper fascia, introducing a sleek and durable material commonly associated with modern commercial architecture. Together, the limited color palette and use of contemporary cladding materials reinforce a modern aesthetic consistent with the CBD architectural guidance promoting high-quality, durable materials and a unified façade composition.

LDR 4.4.13(F)(5) – Openings and Transparency: The proposed elevation increases transparency through the introduction of new window openings at the second floor, replacing portions of the previously solid wall areas. These additional windows create a more balanced and rhythmic fenestration pattern, improved natural light to interior spaces, and reduce the visual heaviness of the upper façade. The enhanced fenestration supports CBD architectural guidance encouraging well-articulated façade with increased glazing and improved visual interest while maintaining compatibility with the buildings overall composition.

LDR 4.4.13(F)(6) - Roof Form and Screening: The proposal maintains the existing flat form while incorporating rooftop mechanical equipment screening. New air condition units will be enclosed by an approximately eight-foot tall decorative screen designed to integrate with the building's architecture. The screening will minimize the visibility of mechanical equipment from surrounding public rights-of-way and adjacent properties, supporting CBD guidance that rooftop equipment be fully screened and visually integrated into the overall building design.

LDR 4.4.13(F)(7) - Architectural Elements: Architectural detailing includes a cantilevered projection for solar shading over the outdoor dining area, smooth stucco, and vertical architectural elements reinforcing an asymmetrical relationship with the existing structure and the carved dining space. Structural expression elements contribute to façade depth and architectural interest consistent with CBD Architectural Guidelines and the selected architectural style. The recessed area has the potential to be further highlighted with a change in material as depicted in the proposed rendering. The Board should consider if the design should incorporate the change of material for the recessed area, further emphasizing the carved space, or maintain the current color palette throughout the design.

LDR 4.4.13(F)(8) - Parking and Service Integration: Vehicular access and service functions are consolidated along the rear alley limiting visibility of service and parking functions from primary pedestrian frontages, with the exception of the existing and proposed on-street parking spaces consistent with the current street configuration. This configuration supports pedestrian-oriented street activation and maintains the functional relationship between building frontage and the public realm along primary streets.

LDR 4.4.13(F)(9) - Urban Heat Island Reduction and Green Building: The building incorporates reflective roofing materials and energy-compliant roof systems consistent with urban heat island reduction objectives. The building size is below the thresholds requiring green building compliance.

Overall, the adaptive reuse converts a vacant former bank building into a modern restaurant with a substantial outdoor dining area. The proposed design utilizes Masonry Modern elements intended to improve the building's visual quality while maintaining compatibility with the architectural expectations of the downtown Central Business District. The proposed frontage improvements also support a more



pedestrian-oriented condition along SE 3rd Avenue. The Board shall determine whether the architectural elevations are consistent with LDR Section 4.4.13(F), LDR Section 4.6.18, and the applicable CBD design standards.

Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

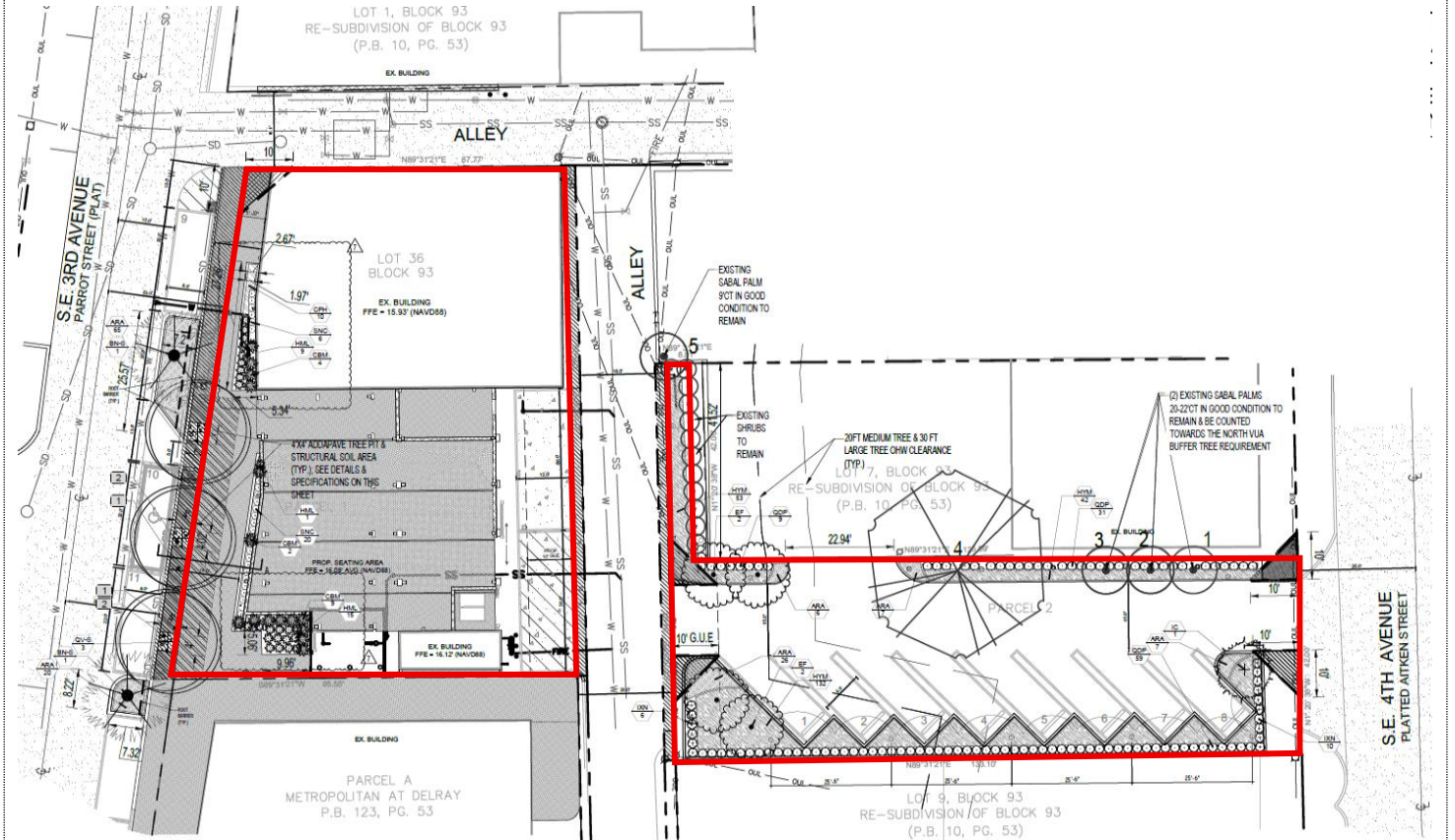
Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

An overall determination of consistency with Landscape Regulations is required in order for approval.

LDR 4.6.16, Landscape Regulations

The landscape plan reflects a comprehensive reconfiguration of the site circulation, parking layout, and streetscape improvements to better integrate vehicular access, pedestrian connectivity, and required landscape buffering. The existing parking area along the eastern portion of the site has been redesigned to incorporate a series of angled parking spaces oriented along the internal drive aisle, improving maneuverability and maximizing the number of spaces within the available footprint. This reconfiguration introduces a continuous landscape edge and interior planting areas, including a defined landscape island and perimeter planting strip that provide shade, visual buffering, and compliance with landscape coverage standards. Along the western frontage, new street trees and continuous foundation planting have been added to establish a formal streetscape edge and strengthen the pedestrian realm. The plan also identifies existing Sabal Palms to remain and be credited toward buffer requirements, supplemented with new shrubs and canopy trees to create a layered planting scheme. Additional landscape notes clarify installation standards, irrigation coverage, and a requested waiver related to landscape island width, ensuring the design intent is clearly documented and aligned with the applicable code requirements while enhancing the overall appearance and function of the streetscape.

Overall, the landscape design improves the existing condition by adding street trees, foundation planting, perimeter landscaping, and parking-area landscaping where site dimensions allow. The proposed landscape improvements support the pedestrian frontage and provide partial visual buffering of vehicular use areas. The Board shall determine whether the landscape plan, together with the requested landscape waiver, is consistent with the applicable requirements and intent of LDR Section 4.6.16.





Options for Board Action

- A. Move **approval** of a Level 2 (2023-018) Site Plan Application, Architectural Elevations and a Landscape Plan, for the adaptive reuse of an existing two-story structure into a restaurant with a covered outdoor dining area, known as *The Bungalows Restaurant*, located at 25-27 SE 3rd Avenue, including an associated landscape waiver to the required five-foot perimeter landscape strip, and a Determination of Adequacy for loading, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval** of a Level 2 (2023-018) Site Plan Application, Architectural Elevations and a Landscape Plan, for the adaptive reuse of an existing two-story structure into a restaurant with a covered outdoor dining area, known as *The Bungalows Restaurant*, located at 25-27 SE 3rd Avenue, including an associated landscape waiver to the required five-foot perimeter landscape strip, and a Determination of Adequacy for loading, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- C. Move **denial** of a Level 2 (2023-018) Site Plan Application, Architectural Elevations and a Landscape Plan, for the adaptive reuse of an existing two-story structure into a restaurant with a covered outdoor dining area, known as *The Bungalows Restaurant*, located at 25-27 SE 3rd Avenue, including an associated landscape waiver to the required five-foot perimeter landscape strip, and a Determination of Adequacy for loading, finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with directions.**

TAC Review Timeline

Review No.	Submittal Date	TAC Comments Transmitted	Fee Due with Next Submittal?:
1	11-14-2022	12-21-2022	
2	06-12-2023	07-14-2023	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal & \$2,750 for waiver
3	12-18-2023	02-02-2024	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal
4	07-12-2024	08-12-2024	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal
5	08-04-2025	8-26-2025	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal
6	10-20-2025	11-11-2025	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal
7	01-09-2026	02-10-2026	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Amount: \$825 for resubmittal
8	03-27-2026	04-10-2026	No <input type="checkbox"/> Yes <input type="checkbox"/> Amount: _____

Total time with Applicant: **1,007 days**

Total time under review: **236 days**

Technical Notes:

1. Prior to site plan certification, the applicant shall provide a final right-of-way dedication exhibit, legal descriptions, sketch and description, plat or replat documents, and any required hold harmless agreement or easement documents.
2. Prior to site plan certification, the applicant shall provide a hold harmless agreement for the second floor above the alley.
3. Prior to site plan certification, the applicant shall provide and record a pedestrian clear zone agreement in a form acceptable to the City Attorney.
4. Prior to site plan certification, the applicant shall provide a landscape maintenance and sidewalk easement agreement.
5. Prior to site plan certification, the applicant shall provide a street lighting maintenance agreement.
6. Prior to site plan certification, the applicant shall execute an In-Lieu of Parking Fee Agreement with the City.