

Revisions

△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

Date	01/15/2024
Drawn Checked	JZ JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:

PROJECT DATA
ARCHITECTURAL STYLE

THIS BUILDING IS IN THE MASONRY MODERN STYLE EXEMPLIFIED BY LOAD BEARING CONSTRUCTION, PLUNCHED OPENINGS, STUCCO WITH STONE ACCENTS, A LOGGIA AT THE TOP, AND LOUVERED SHADING DEVICES.

PROJECT DESCRIPTION
THIS PROJECT IS A PREVIOUSLY KNOCKED DOWN STRUCTURE TO CREATE A FIRST FLOOR BUSINESS SPACE WITH DEDICATED RESIDENTIAL PARKING GARAGE FOR A 3 BEDROOM PLUS LOFT, 4 BATH SECOND FLOOR APARTMENT INCLUDING A ROOF TERRACE.

PROJECT INFORMATION
PROJECT OWNER: OCEAN PARKER DELRAY LLC
PROJECT ADDRESS: 314 NE 3RD AVENUE, DELRAY BEACH, FLORIDA
FOLIO NUMBERS: 12-43-46-16-01-08-0170
LEGAL DESCRIPTION: TOWN OF DELRAY BEACH, LOT 17, (LESS E. 5 FT. NE 3RD & W. 2 FT. ALLEY R/W/S) BLOCK 81 DELRAY BEACH, FL. AS RECORDED IN PLAT BOOK 11, PAGE 32 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FL. SAID LAND SITUATE, LYING, AND BEING IN PALM BEACH COUNTY.

ZONING AND CODE INFORMATION
ZONING CLASSIFICATION: CBD- CENTRAL BUSINESS DISTRICT / RAILROAD CORRIDOR SUB-DISTRICT
OCCUPANCY/MIXED USE: BUSINESS / RESIDENTIAL R-3
CONSTRUCTION TYPE: VB
CURRENT USE: VACANT
PROPOSED USE: BUSINESS / RESIDENCE
INTERIOR FINISH CLASS: A
FINISH FLOOR ELEVATION: 15.33' N.A.V.D.
FLOOD ZONE: D
BASE FLOOD ELEVATION: 15.12' N.A.V.D.
PROPOSED BUILDING HEIGHT: 33'-6"
LOT SIZE: 6,405 SQ. FT.
SQUARE FOOTAGE: 10,161 SQ. FT.

FLORIDA BUILDING CODE
FBC- 2023 BUILDING CODE
FBC-FC- FLORIDA BUILDING CODE ENERGY CONSERVATION 2023
NEC- NFPA 70 2023 EDITION, NATIONAL ELECTRICAL CODE
FIS- FLORIDA STATUTES
FLORIDA FIRE PREVENTION CODE
NFPA 101 - LIFE SAFETY CODE 2023
ACCESSIBILITY CODE: 2023 FLORIDA ACCESSIBILITY CODE

BUILDING DATA

FIRST FLOOR A/C (BUSINESS)	3,236 SQ. FT.
SECOND FLOOR A/C (RESIDENTIAL)	2,645 SQ. FT.
PRIVATE ROOF TERRACE A/C	118 SQ. FT.
TOTAL A/C	5,999 SQ. FT.

FIRST FLOOR STAIRS AND ELEVATOR: 212 SQ. FT.
SECOND FLOOR STAIR LANDING: 62 SQ. FT.
PRIVATE ROOF TERR. STAIR LANDING: 56 SQ. FT.
GARAGE / MECH.: 584 SQ. FT.
COVERED FRONT ENTRY: 100 SQ. FT.
COVERED REAR ENTRY: 86 SQ. FT.
TRELIS COURTYARD: 211 SQ. FT.
SECOND FLOOR BALCONIES: 715 SQ. FT.
PRIVATE ROOF TERR. DECK / MECH.: 2136 SQ. FT.
TOTAL NON A/C: 4,162 SQ. FT.
GROSS SQUARE FEET: 10,161 SQ. FT.

SITE / LAND DATA
TOTAL GROSS SITE AREA: 6,405 SQFT (0.147 ACRE)

	ALLOWED	EXISTING	PROPOSED
FAR CALC	3.0 MAX	N/A	101' (6,913 SF)
MAX. NO. OF STORIES	2	N/A	2
MAX. SITE COVERAGE (BLDG)	N/A	N/A	69.1% (4,429 SF)
HARDSCAPE (IMPERMEABLE W/ BLDG)	N/A	N/A	70.8% (4,538 SF)
GREEN SPACE (PERMEABLE)	N/A	100% (6,405 SF)	29.2% (1,867 SF)

SETBACKS:

	REQUIRED	EXISTING	PROPOSED
FRONT (EAST)	10'-0" MIN	10'-0"	10'-0"
REAR (WEST)	10'-0" MIN	10'-0"	10'-0"
SIDE (NORTH)	0'-0"	0'-0"	0'-0"
SIDE (SOUTH)	0'-0"	0'-0"	0'-0"
MAX. BUILDING HEIGHT	54'-0"	N/A	33'-6"

PARKING DATA
DEVELOPMENT STANDARDS PER LDR 4.4.13 (I) (G)

	HC REQUIRED	STAND REQUIRED	HC PROVIDED	STAND PROVIDED
BUSINESS	3236 SF	0 SPACES	1 SPACE	0 SPACES
FIRST FLOOR	(1 SPACE)	0 SPACES	1 SPACE	0 SPACES
RESIDENTIAL	0 SPACES	2645 SF	0 SPACES	2 SPACES
SECOND FLOOR	0 SPACES	(2 SPACES)	0 SPACES	3 SPACES
TOTAL SPACES REQUIRED				3 SPACES

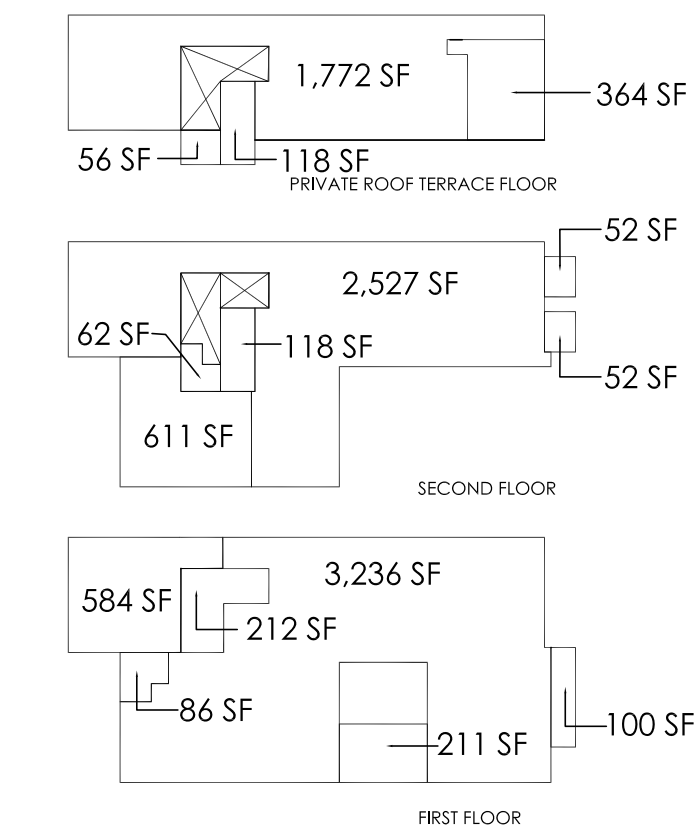
BICYCLE PARKING DATA

	REQUIRED	EXISTING	PROPOSED
1 SP/5,000 SF	1	0	1

LEGEND

- CONSTRUCTION FENCE
- CONSTRUCTION DUMPSTER
- PUBLIC IMPROVEMENTS-SIDEWALK, CURB ZONE
ADDITIONAL DETAILS AND NOT TO BE PROVIDED
WITH BUILDING PERMIT SUBMITTAL
- TEMPORARY CONSTRUCTION PARKING

- TEMPORARY CONSTRUCTION PARKING CRA PARKING LOT (362 NE 3RD AVE) AND CITY PARKING LOT (362 NE 3RD AVE) JUST NORTH OF THE PROPERTY.
- CONSTRUCTION MATERIALS TO BE DELIVERED AS NEEDED AND STORED ON SITE.
- NO ROADWAY CLOSURES NE 3RD AVE OR ALLEY.



DIMENSIONAL REQUIREMENTS FOR STOREFRONT 4.4.13(I)

	MIN	MAX	PROVIDED
A BUILDING SETBACK	10'	15'	10'
B STORE WIDTH	N/A	75' ON REAR RETAIL STREET	49'-8"
C STOREFRONT BASE	9'	3'	2'
D GLAZING HEIGHT PLUS STOREFRONT BASE	8'	-	12'
E REQUIRED OPENINGS	80%	-	36.1%
MAX. ALLOWABLE ENCROACHMENT OF ELEMENTS IN ALL DISTRICTS			
F AWNING/EYEBROW PROJECTION	5'	-	4'
G PROJECTING SIGN	N/A	3'	N/A

DEVELOPMENT STANDARDS PER LDR TABLE 4.4.13

ZONE	MIN. LOT SIZE (SF)	MIN. LOT WIDTH (SF)	MIN. LOT DEPTH (SF)	MIN. LOT COVER (%)	MIN. PERIMETER BUFFER (FT)	MIN. OPEN SPACE (IN)	MIN. FRONT SETBACK (FT)	MIN. SIDE STREET (FT)	MIN. SOUTH REAR SETBACK (FT)	MIN. WEST MIN. REAR SETBACK (FT)	MAX. BUILDING HEIGHT (FT)
REQUIRED	2,000	20'	N/A	N/A	N/A	N/A	10'-0"	0'-0"	0'-0"	0'-0"	54'-0"
PROVIDED	6,405	50'	125'-10"	69.1%	0'	N/A	10'-0" PROPOSED	N/A	0'-0" EXISTING	10'-0" PROPOSED	33'-6"

DIMENSIONAL REQUIREMENTS FOR LOBBY ENTRY TABLE 4.4.13(K)

	MIN	MAX	PROVIDED
A BUILDING SETBACK	10'	15'	10'
B LOBBY ENTRY WIDTH	N/A	N/A	17'

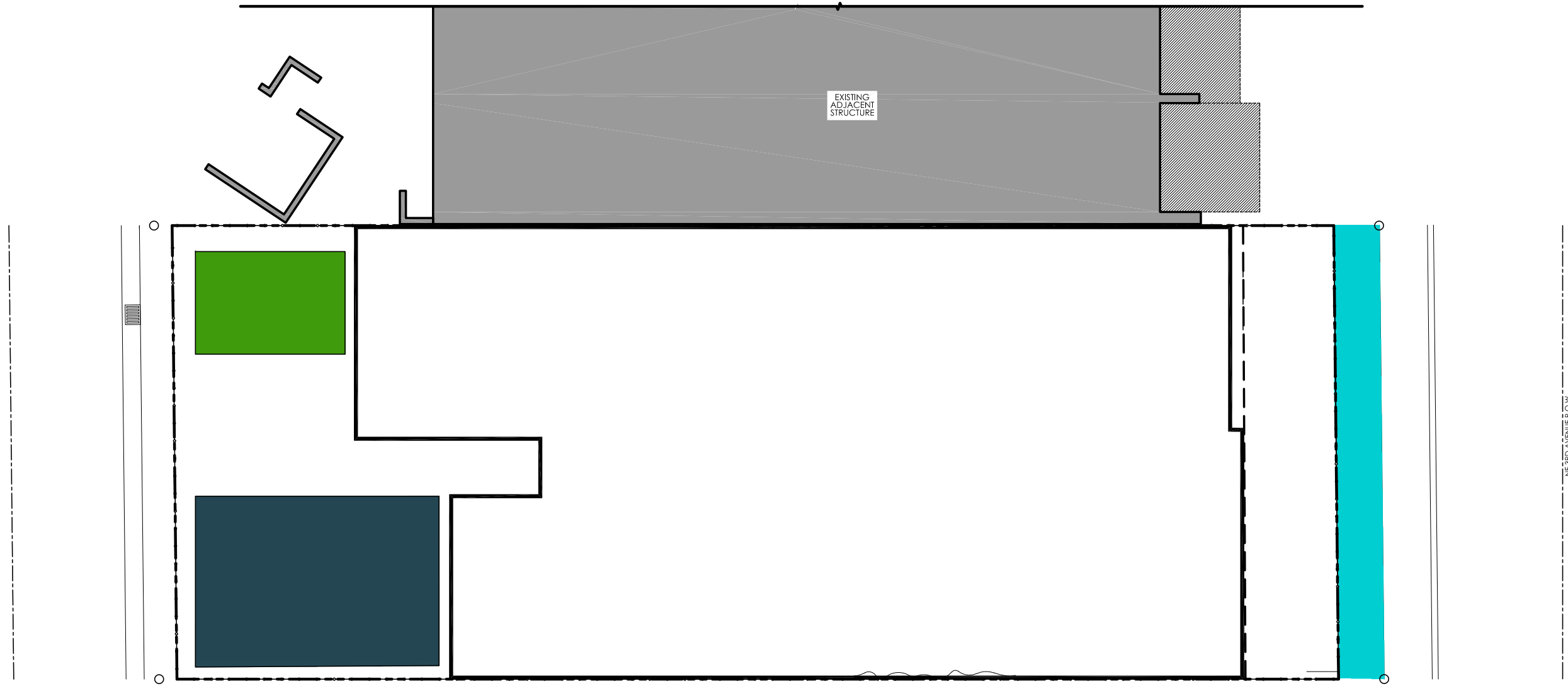
MAX. ALLOWABLE ENCROACHMENT OF ELEMENTS IN ALL DISTRICTS

	MIN	MAX	PROVIDED
C OVERHANG/AWNING PROJECTION	N/A	10'	4'
D COLUMNS, PILASTER, POSTS	N/A	5'	4'

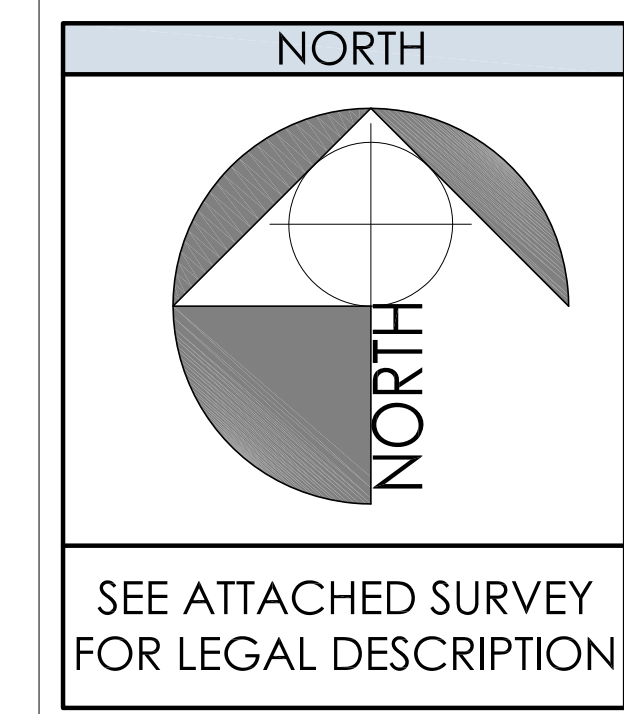
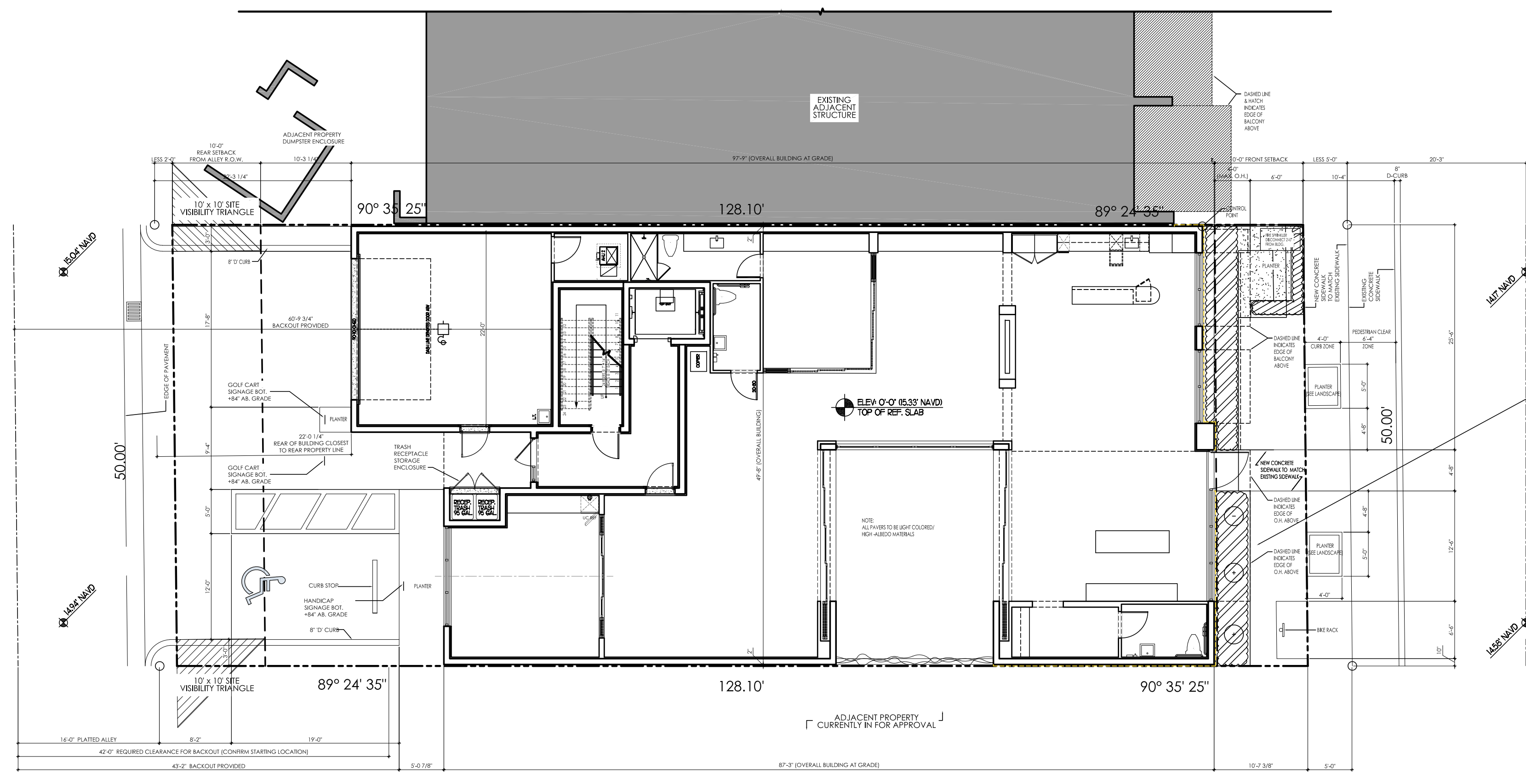
SETBACK WAIVER HAS BEEN APPLIED FOR

LOBBY FRONTAGE ENTRANCE (SEE LOBBY ENT. TABLE THIS SH.T.)

BUILDING FACADE TRANSPARENCY PER LDR 4.4.13(I)(G)
GLAZING AREA: 592 SQFT (9.6%)
GLASS TRANSPARENCY: NOT TO EXCEED 20%



PRELIMINARY STAGING PLAN
N.T.S.



SITE PLAN
1" = 10'-0"

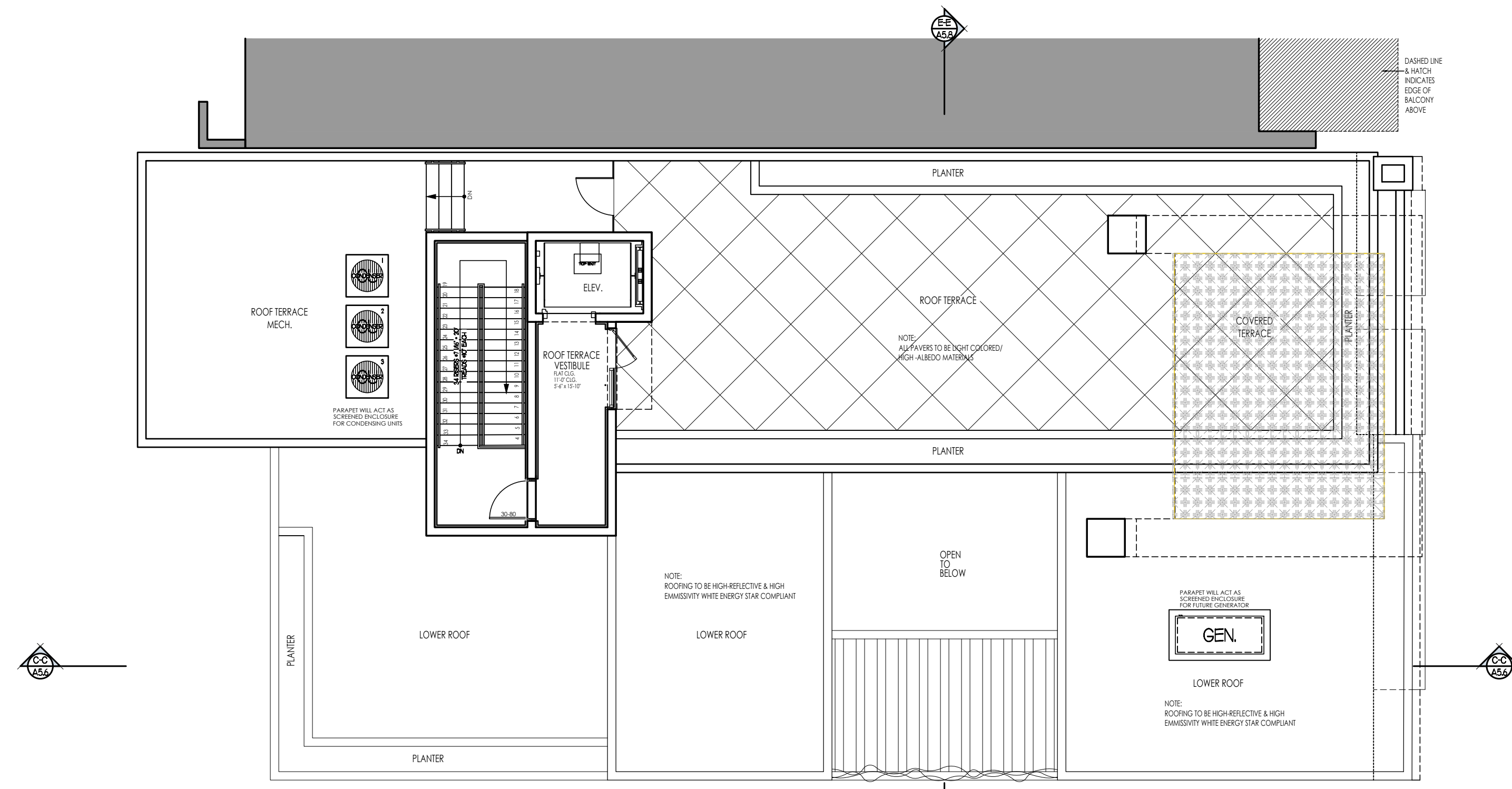
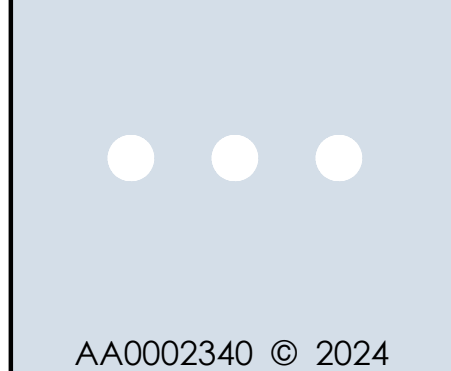
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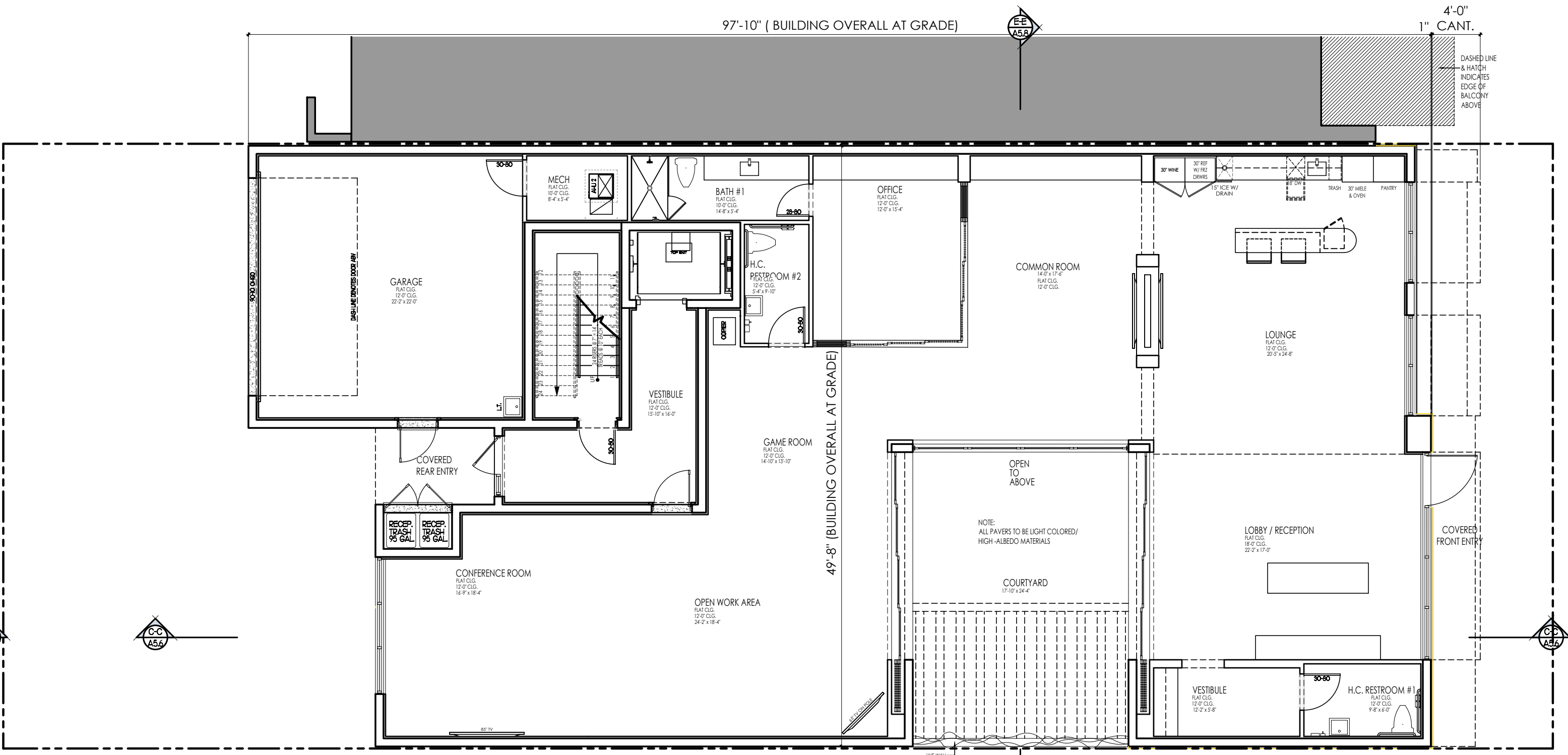
SITE PLAN APPROVAL

Date	04/09/2024
Drawn Checked	JZ JG
Date Approval	-
Date Permit	-
Date Construction	-

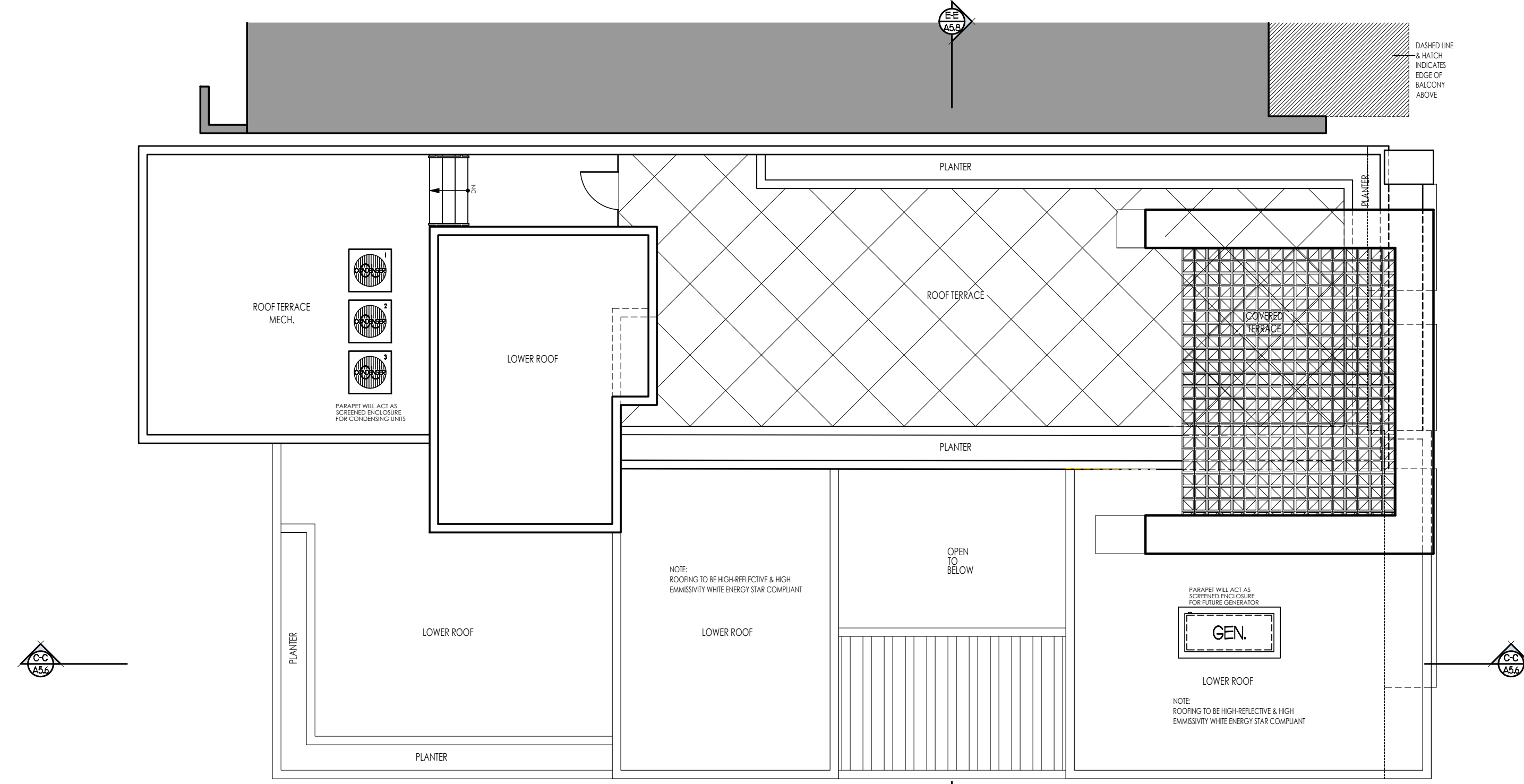
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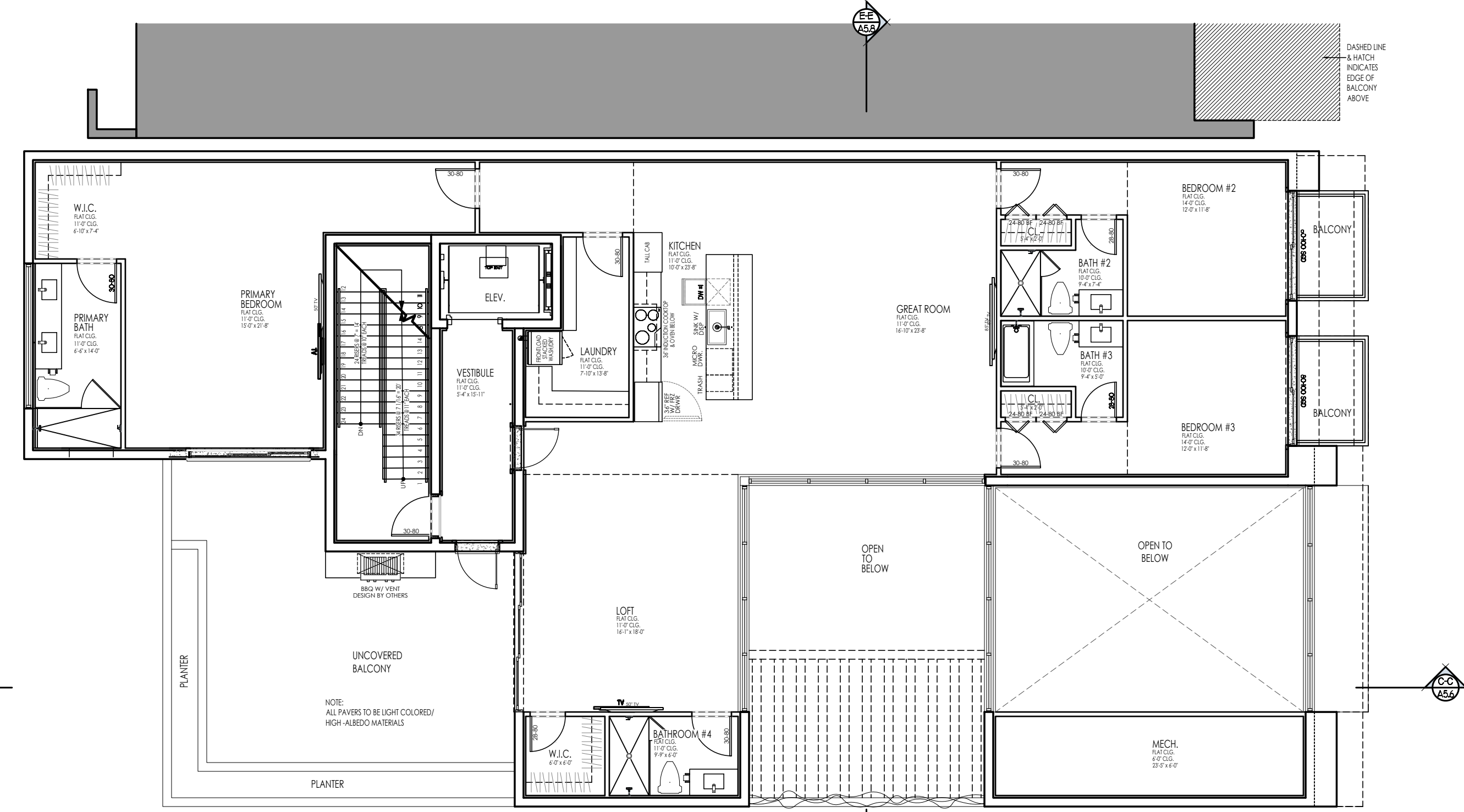
PROPOSED PRIVATE ROOF TERRACE PLAN
SCALE 1/8" = 1'-0"



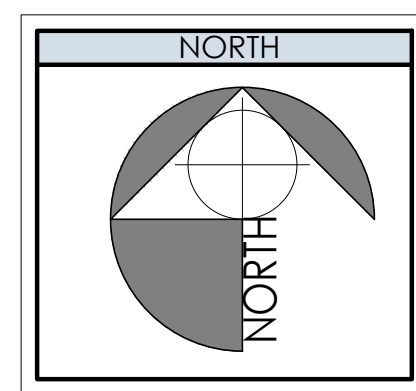
PROPOSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



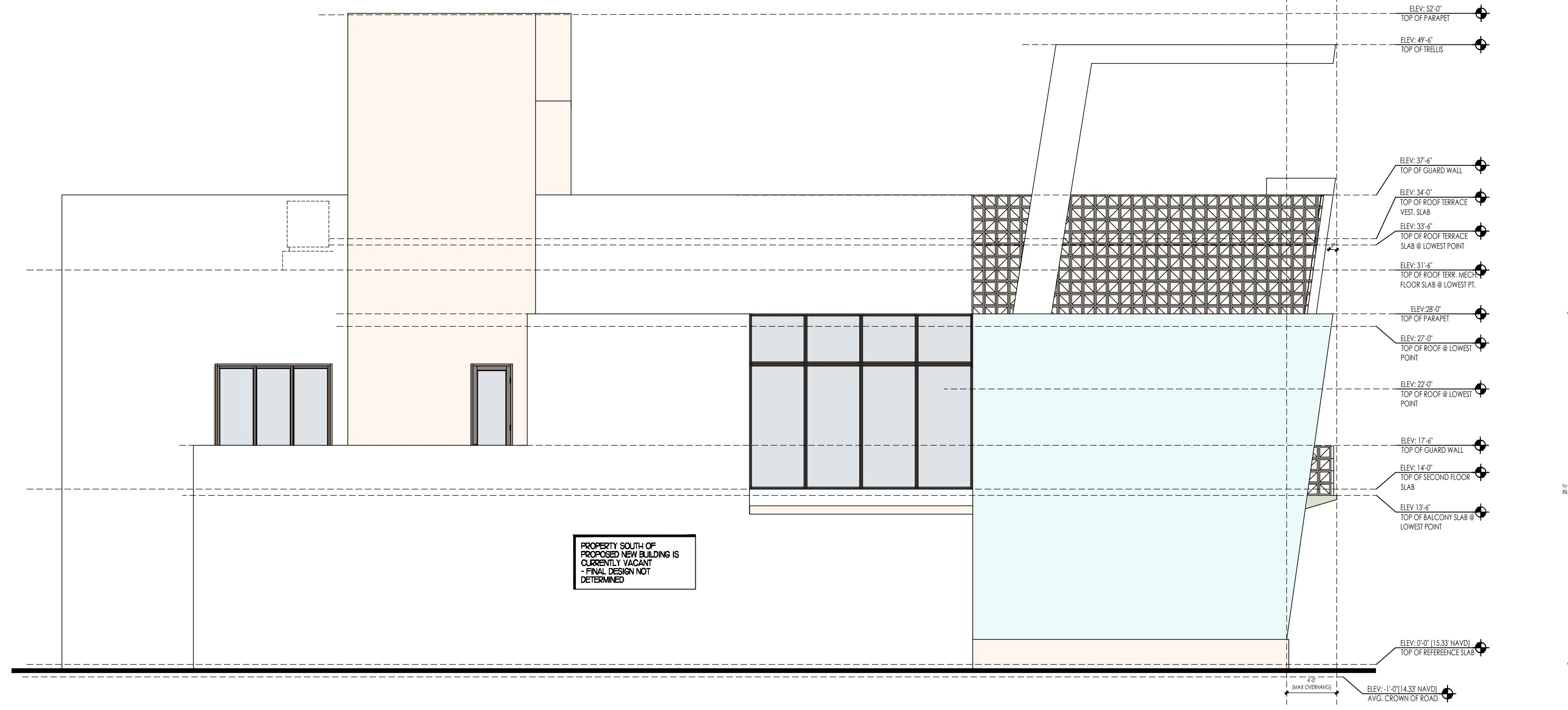
PROPOSED ROOF PLAN
SCALE 1/8" = 1'-0"



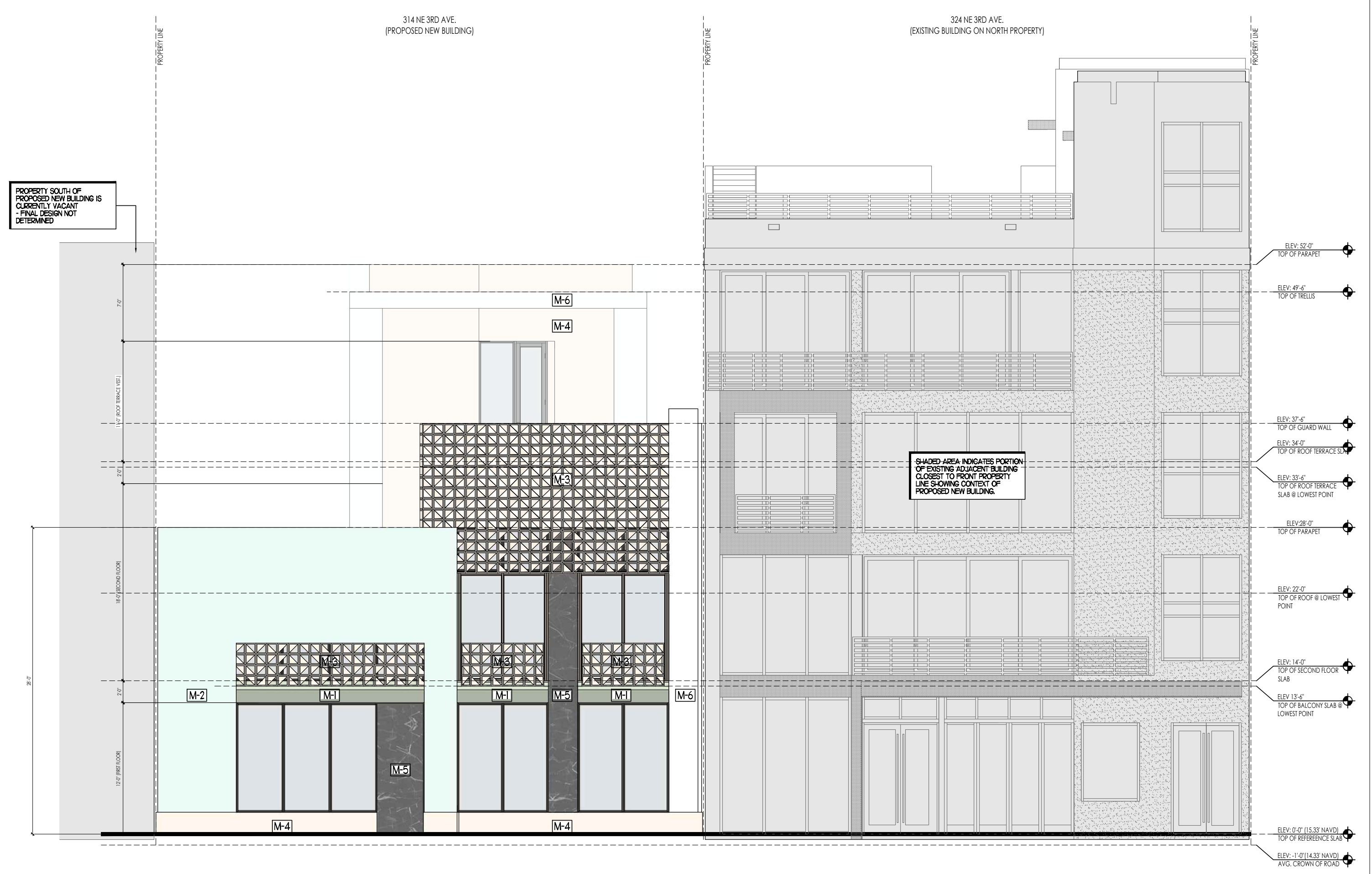
PROPOSED SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



FINISH SCHEDULE	
M-1	PAINT SHERWIN-WILLIAMS COLOR SW 6730 ROMAINE 150-C2
M-2	PAINT SHERWIN-WILLIAMS COLOR SW 6225 SLEEPY BLUE CUSTOM DESIGNED MTL LOUVER / PREFAB. RAILING SHERWIN-WILLIAMS COLOR SW 9101 TRES NATURALE 203-C1 PAINTED SMOOTH CEMENTITIOUS FINISH BELOW SHERWIN-WILLIAMS COLOR SW 7757 HIGH REFLECTIVE WHITE 256-C1
M-3	PAINT SHERWIN-WILLIAMS COLOR SW 6357 CHOICE CREAM 265-C5
M-4	CLADDING DARK MARBLE PATTERN
M-5	PAINTED SMOOTH CEMENTITIOUS FINISH SHERWIN-WILLIAMS COLOR SW 7757 HIGH REFLECTIVE WHITE 256-C1
M-6	



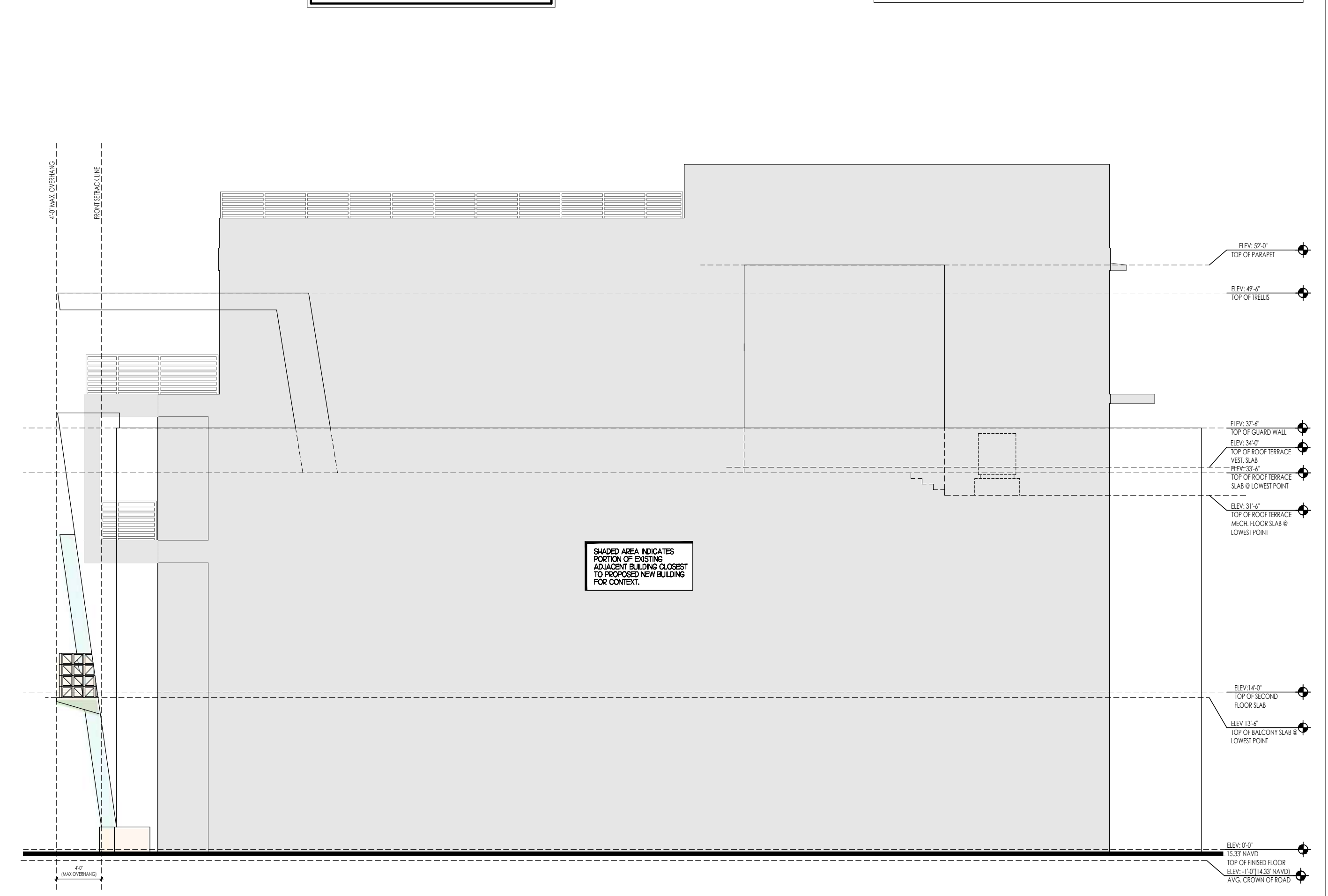
LEFT SIDE ELEVATION (SOUTH)
1/8" = 1'-0"



FRONT ELEVATION (EAST)
1/8" = 1'-0"



REAR ELEVATION (WEST)
1/8" = 1'-0"



RIGHT SIDE ELEVATION (NORTH)
1/8" = 1'-0"

Revisions

△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

Date | 04/09/2024
 Drawn | Checked | KG | J.G.
 Date | Approval | -
 Date | Permit | -
 Date | Construction | -

Seal:

AA0002340 © 2024

A5.0



Revisions		
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Seal:



KEY MAP
SCALE N.T.S.



PERSPECTIVE VIEW C
SCALE N.T.S.



PERSPECTIVE VIEW B
SCALE N.T.S.



PERSPECTIVE VIEW A
SCALE N.T.S.

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KEY MAP
SCALE N.T.S.



PERSPECTIVE VIEW D
SCALE N.T.S.



PERSPECTIVE VIEW C
SCALE N.T.S.



PERSPECTIVE VIEW B
SCALE N.T.S.



PERSPECTIVE VIEW A
SCALE N.T.S.

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AA0002340 © 2024



KEY MAP
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW D
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW C
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW B
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW A
SCALE N.T.S.

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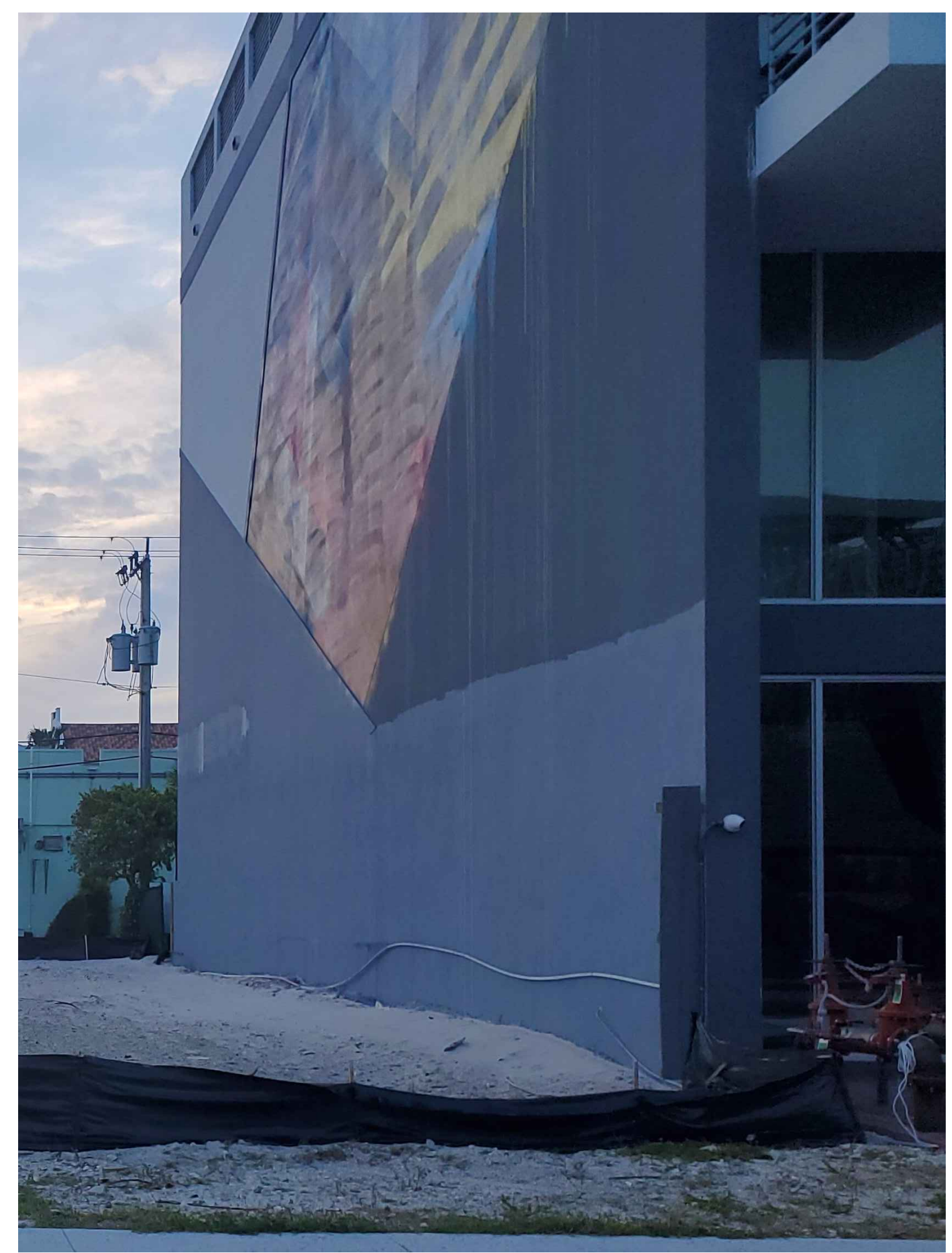
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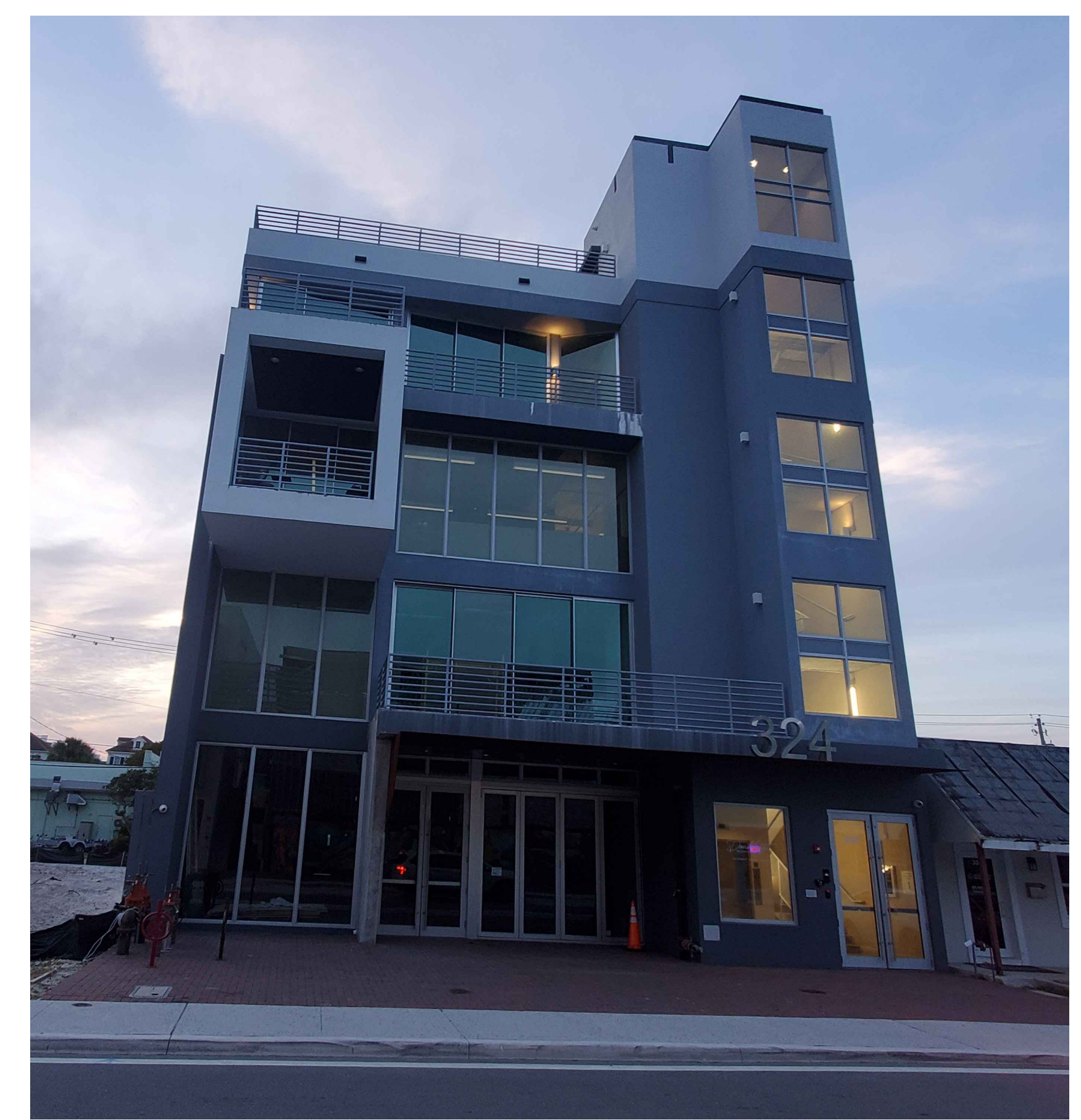
EXIST. BLDG. PHOTOGRAPH C
SCALE N.T.S.



EXIST. BLDG. PHOTOGRAPH B
SCALE N.T.S.



KEY MAP
SCALE N.T.S.



EXIST. BLDG. PHOTOGRAPH A
SCALE N.T.S.

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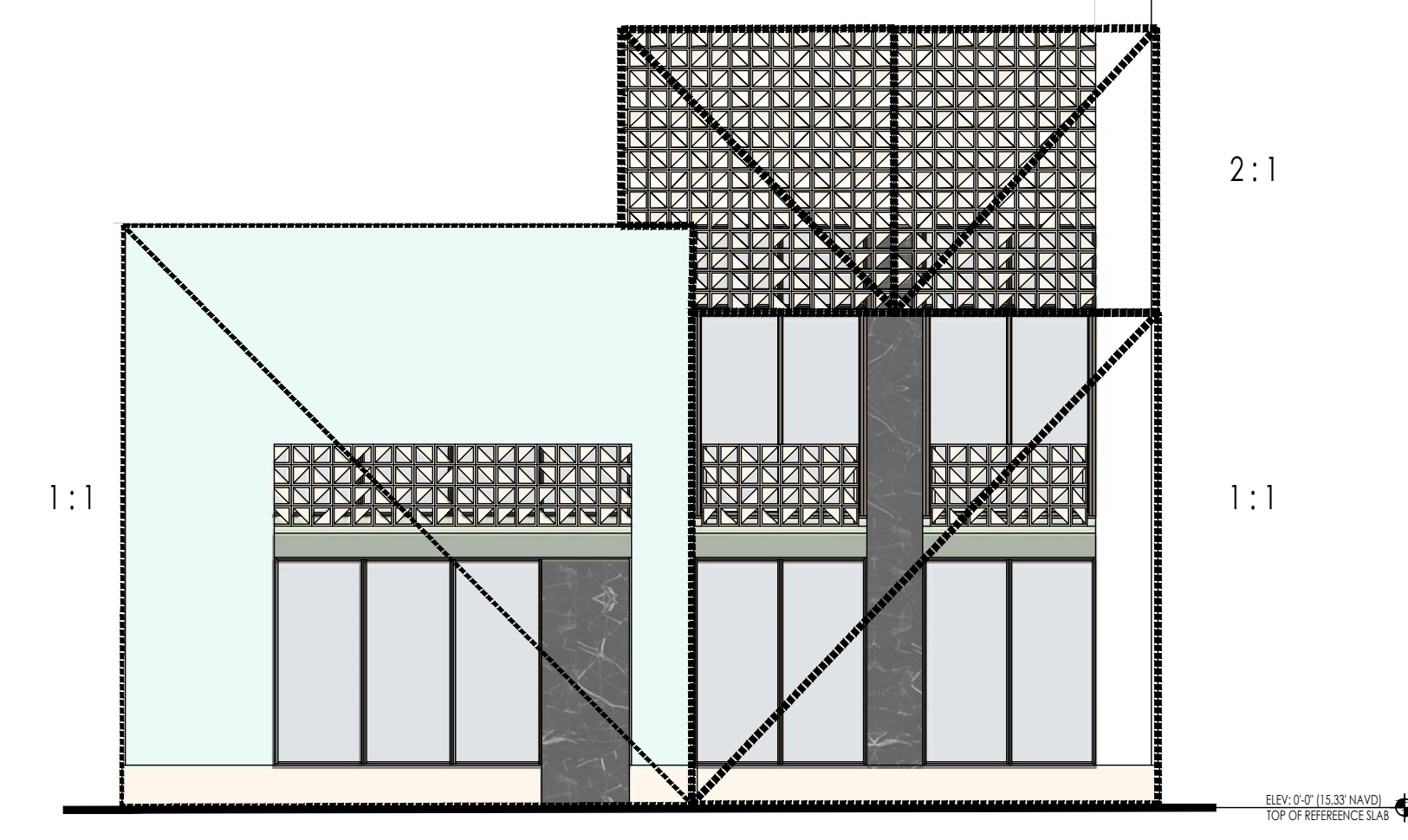
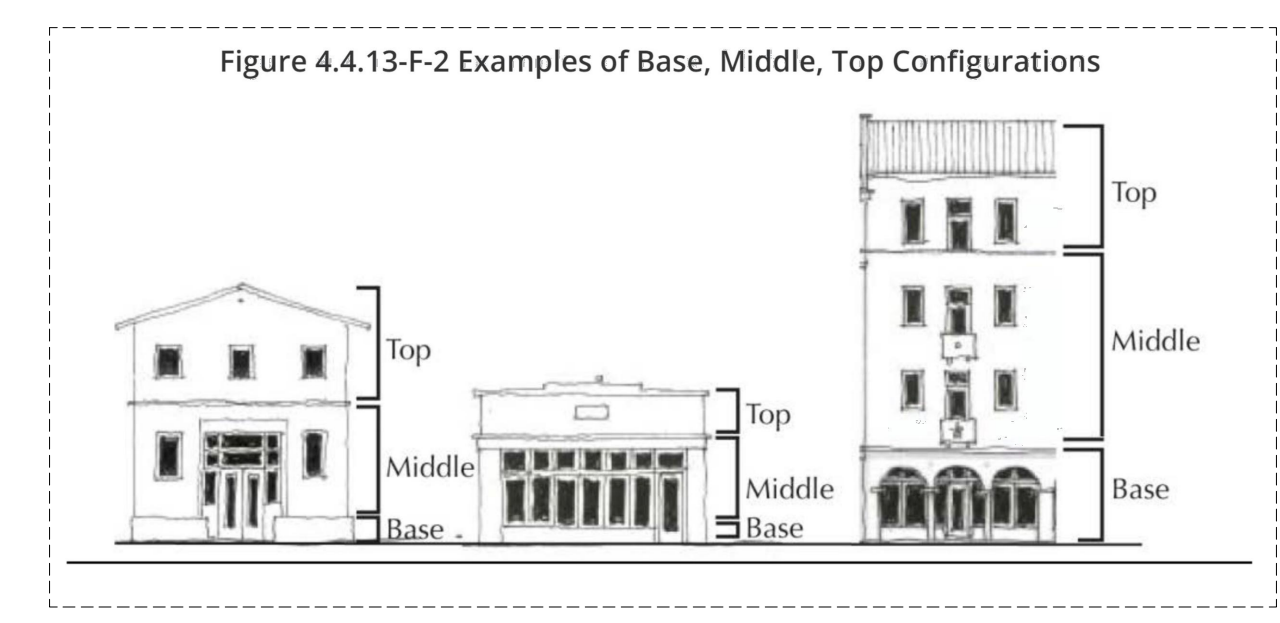
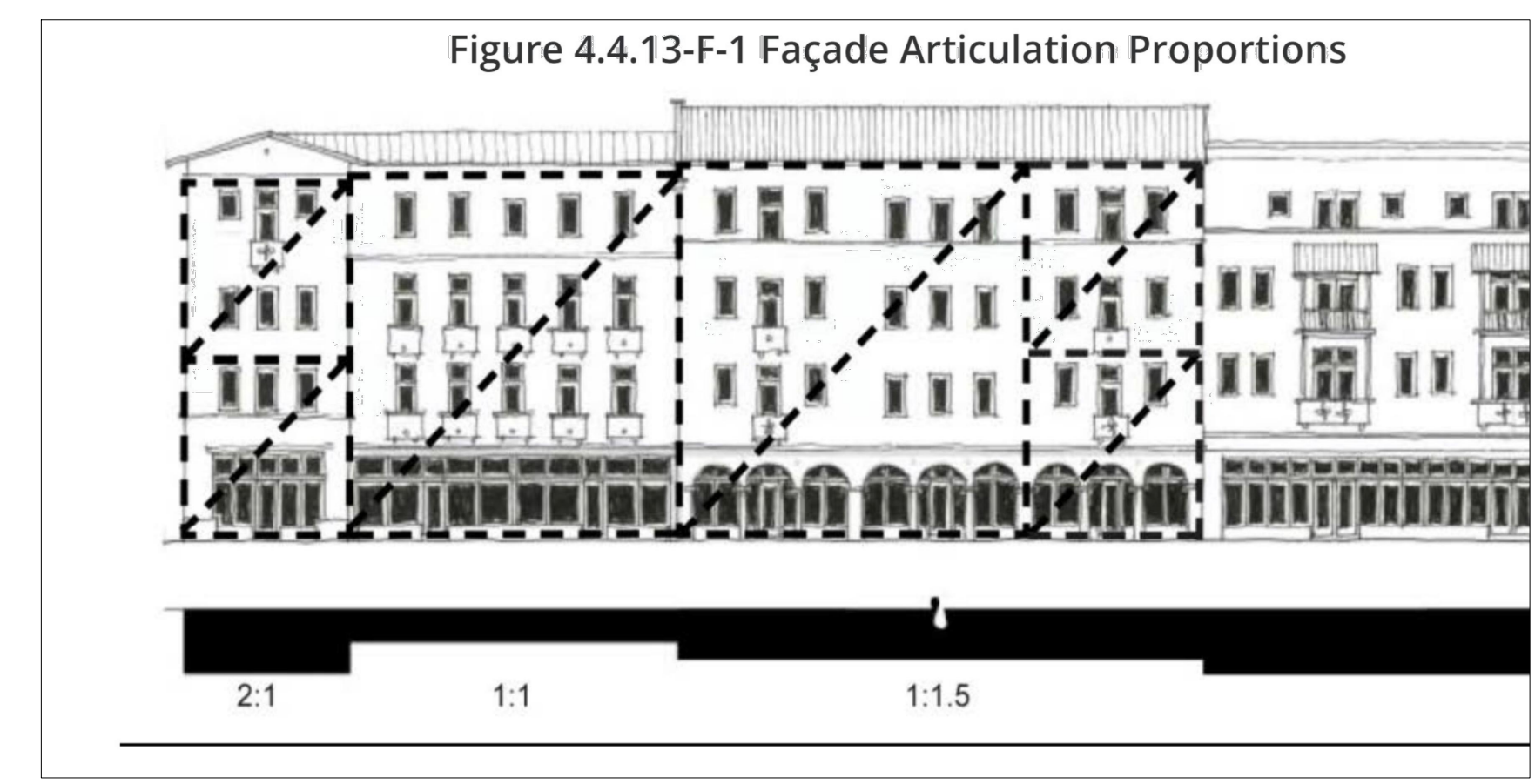
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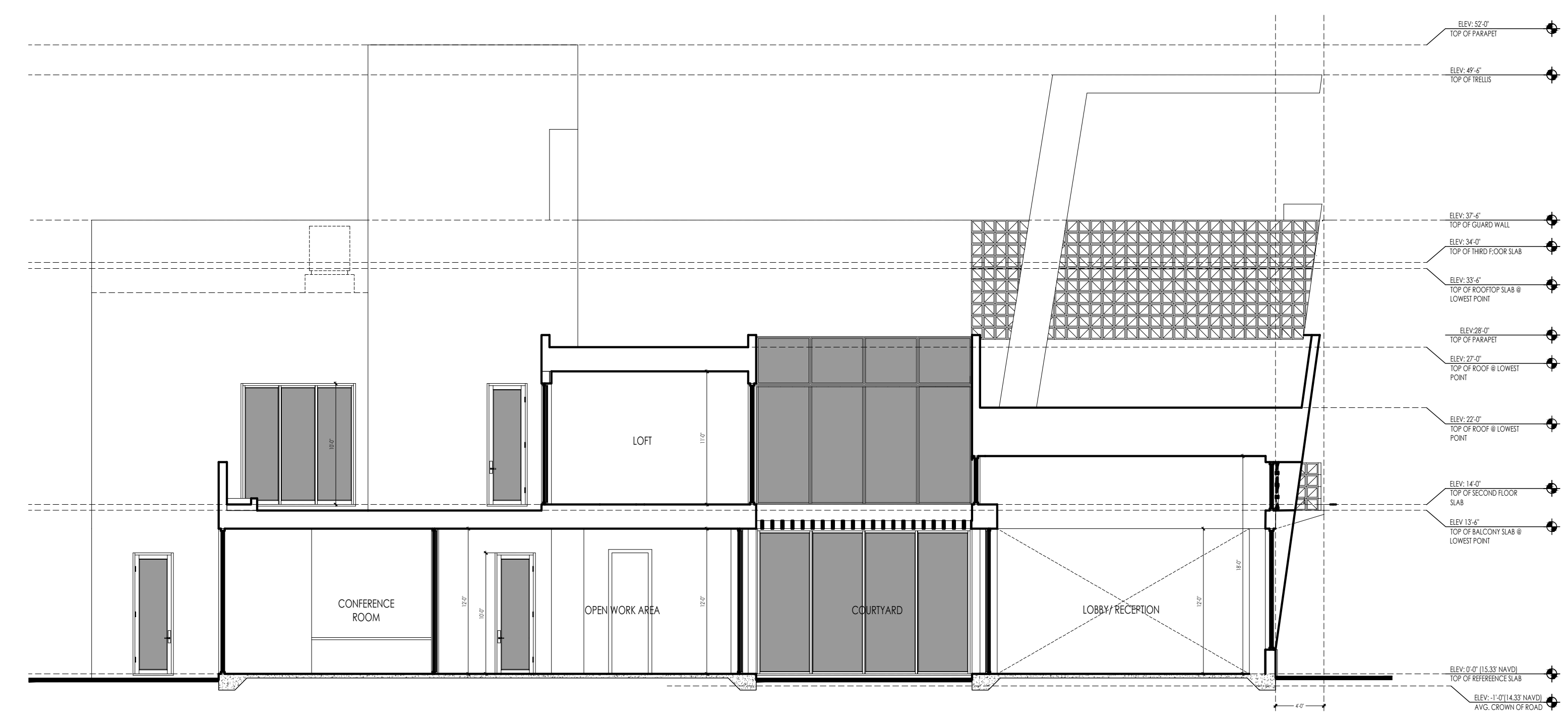
AA0002340 © 2024



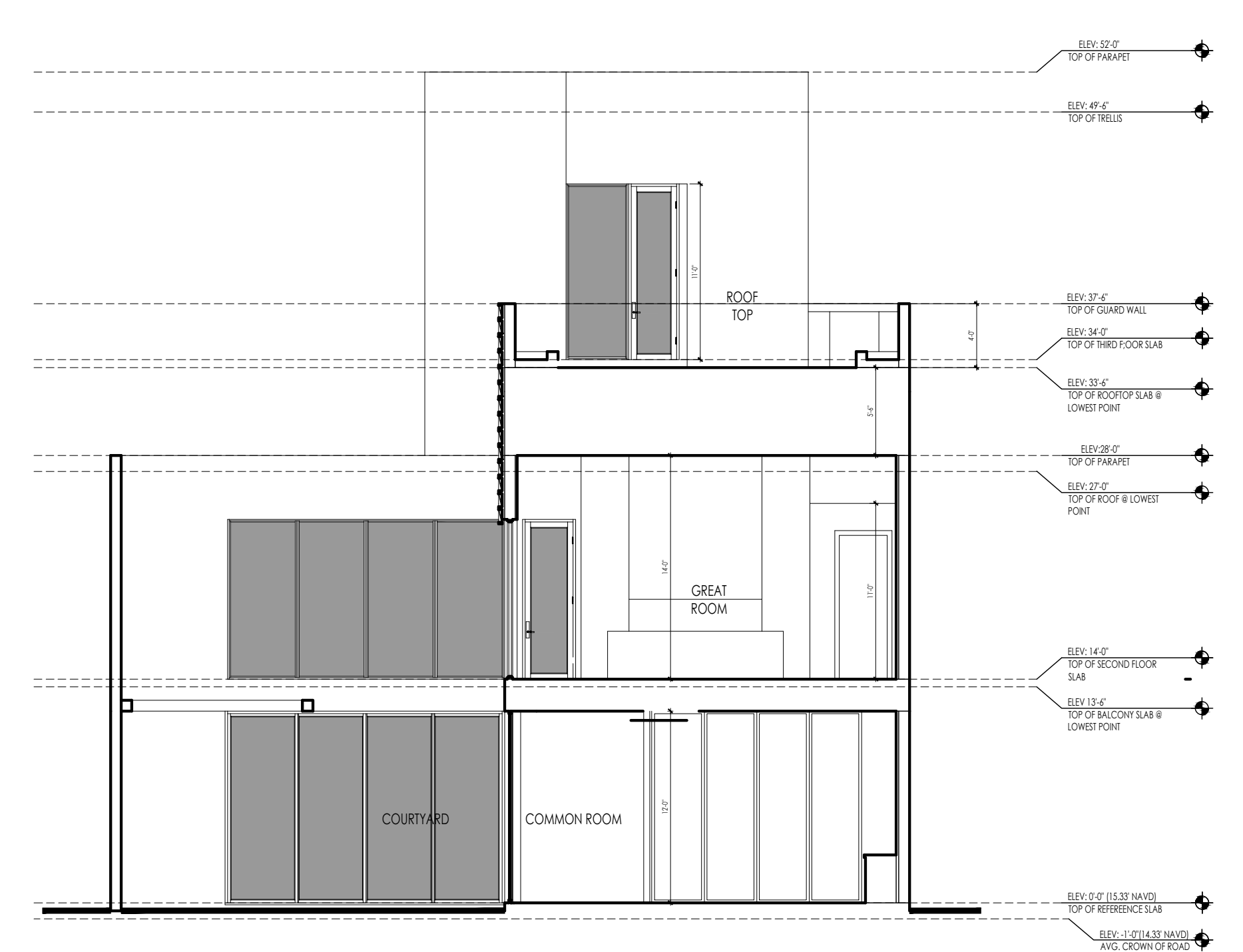
FACADE ARTICULATION PROPORTION PLAN
1/8" = 1'-0"



BASE / MIDDLE / TOP CONFIGURATION
1/8" = 1'-0"



BUILDING SECTION C-C
1/8" = 1'-0"



BUILDING SECTION E-E
1/8" = 1'-0"

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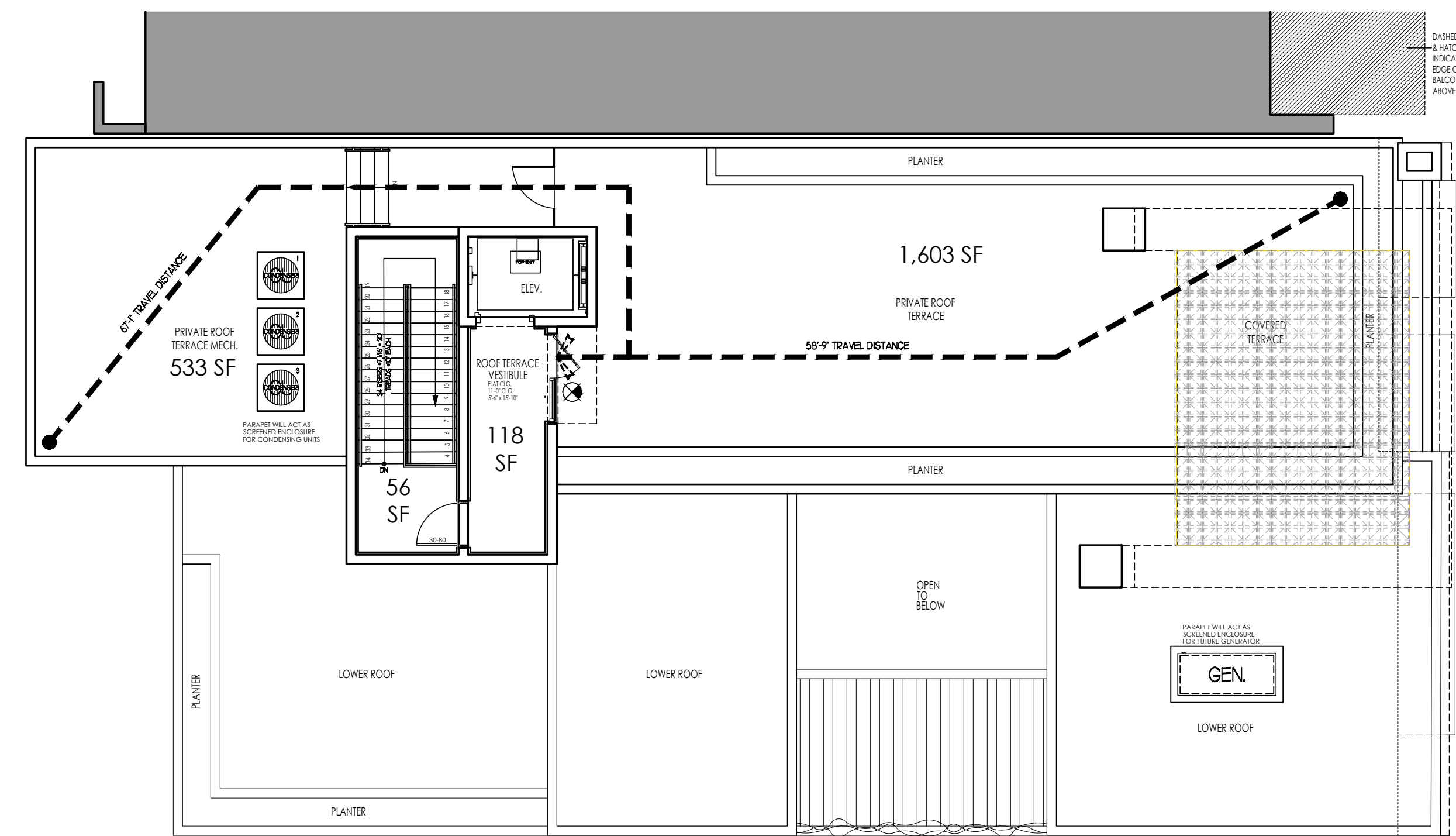
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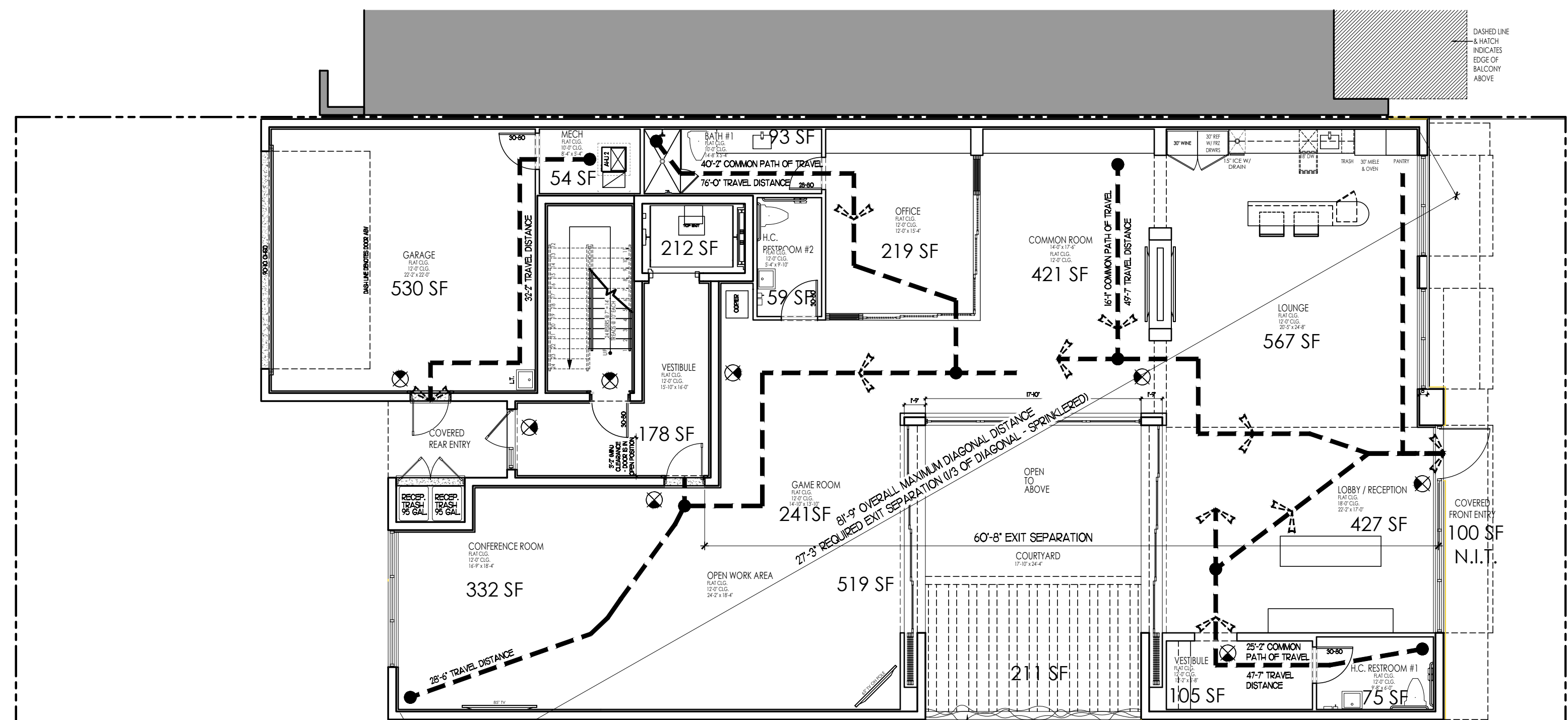
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Seal:



PROPOSED PRIVATE ROOF TERRACE LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"



PROPOSED FIRST FLOOR LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"

CONSTRUCTION REQUIREMENTS

GROUP B2-3
TYPE V/SPRINKLERED

BUILDING CAPACITIES
OFFICE BUILDING

USE	AREA	SQ. FT. PER OCCUPANT	NO. OF OCCUPANTS
BUSINESS			
1ST FLR. VESTIBULE	390 SF.	150	3
COMMON ROOM	421 SF.	150	3
CONFERENCE ROOM	332 SF.	150	3
LOBBY/RECEPTION	427 SF.	150	3
LOUNGE	567 SF.	150	4
OPEN WORK AREA	519 SF.	150	4
OFFICE	219 SF.	150	2
GAME ROOM	241 SF.	150	2
TOTAL	3,861 SF.		24
TOILET ROOMS			
BATH #1	93 SF.		1
H.C. RESTROOM H./VEST.	150 SF.		1
H.C. RESTROOM #2	93 SF.		1
TOTAL	332 SF.		3
STORAGE			
MECH/STORAGE ROOM	54 SF.	150	1
TOTAL	54 SF.		1
RESIDENTIAL			
2ND FLR. VESTIBULE	150 SF.	200	1
GREAT ROOM	494 SF.	200	3
KITCHEN/REST.	162 SF.	200	1
LAUNDRY	172 SF.	200	1
PRIMARY BEDRM/CL.	493 SF.	200	3
PRIMARY BATH	16 SF.	200	1
BD RM/CL.	235 SF.	200	2
BATH #1	58 SF.	200	1
BD RM/CL.	235 SF.	200	2
BATH #2	58 SF.	200	1
LOFT / W.C.	432 SF.	200	3
BATH #3	76 SF.	200	1
PRIVATE ROOF TERR. VESTIBULE	162 SF.	200	1
DED. RESIDENT GAR.	530 SF.	200	3
TOTAL	3,481 SF.		24
TOTALS			
BUILDING A/C TOTALS	5,999 SF.		
ALL NON-A/C STAIRLAND	330 SF.		
COV. ENTRIES	184 SF.		
COV. COURTYARD	21 SF.		
DED. RESIDENT GAR. / MECH.	584 SF.		
2ND FLR. BALCONIES	76 SF.		
PRIVATE ROOF TERRACE	1,603 SF.		
PRIVATE ROOF TERR. MECH.	533 SF.		
GRAND TOTAL	10,861 SF.		

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COV. COURTYARD	21 SF.		
DED. RESIDENT GAR. / MECH.	584 SF.		
2ND FLR. BALCONIES	76 SF.		
PRIVATE ROOF TERRACE	1,603 SF.		
PRIVATE ROOF TERR. MECH.	533 SF.		
GRAND TOTAL	10,861 SF.		

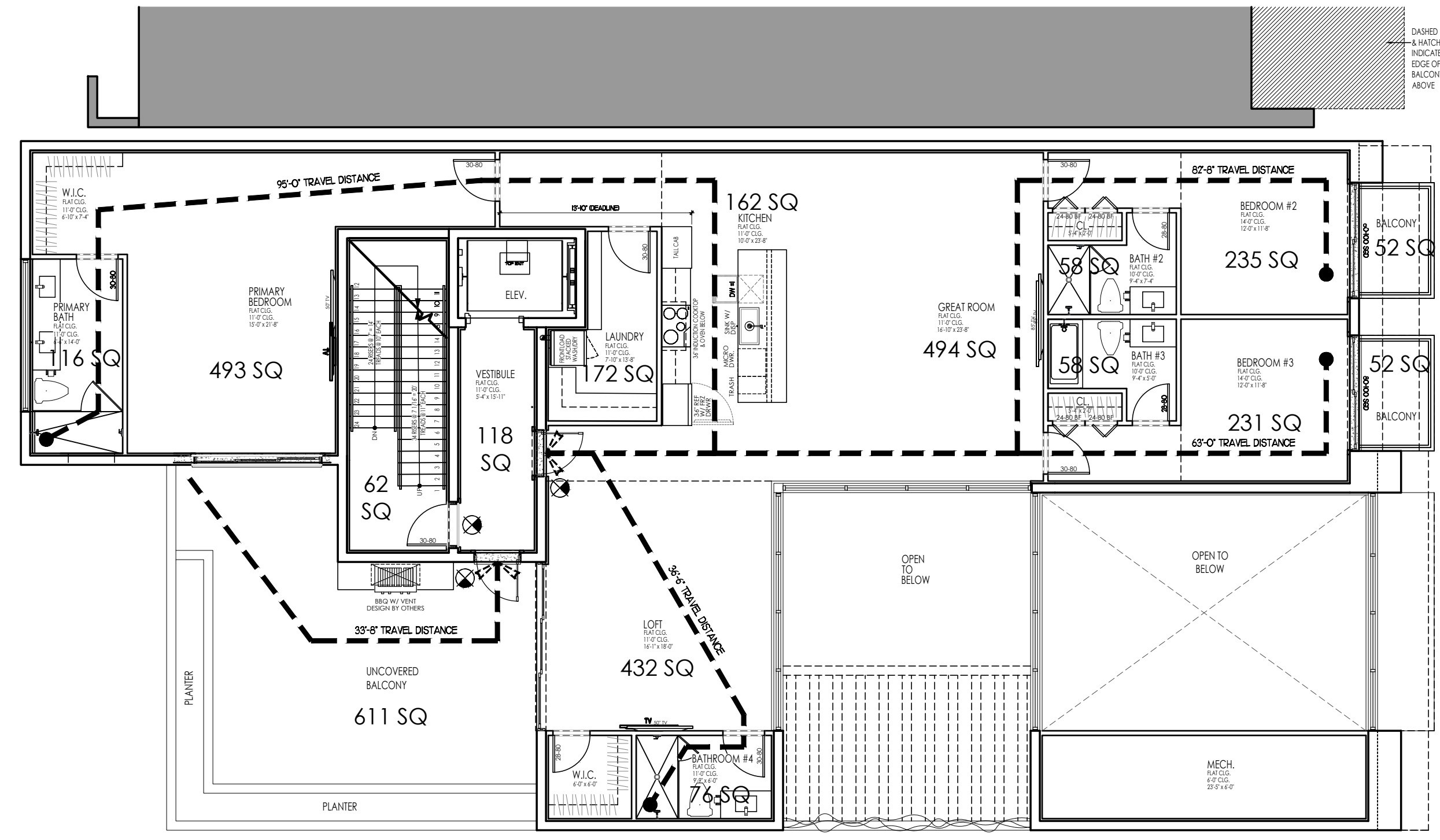
USE	AREA	SQ. FT. PER OCCUPANT	NO. OF OCCUPANTS
BUSINESS			
1ST FLR. VESTIBULE	390 SF.	150	3
COMMON ROOM	421 SF.	150	3
CONFERENCE ROOM	332 SF.	150	3
LOBBY/RECEPTION	427 SF.	150	3
LOUNGE	567 SF.	150	4
OPEN WORK AREA	519 SF.	150	4
OFFICE	219 SF.	150	2
GAME ROOM	241 SF.	150	2
TOTAL	3,861 SF.		24
TOILET ROOMS			
BATH #1	93 SF.		1
H.C. RESTROOM H./VEST.	150 SF.		1
H.C. RESTROOM #2	93 SF.		1
TOTAL	332 SF.		3
STORAGE			
MECH/STORAGE ROOM	54 SF.	150	1
TOTAL	54 SF.		1
RESIDENTIAL			
2ND FLR. VESTIBULE	150 SF.	200	1
GREAT ROOM	494 SF.	200	3
KITCHEN/REST.	162 SF.	200	1
LAUNDRY	172 SF.	200	1
PRIMARY BEDRM/CL.	493 SF.	200	3
PRIMARY BATH	16 SF.	200	1
BD RM/CL.	235 SF.	200	2
BATH #1	58 SF.	200	1
BD RM/CL.	235 SF.	200	2
BATH #2	58 SF.	200	1
LOFT / W.C.	432 SF.	200	3
BATH #3	76 SF.	200	1
PRIVATE ROOF TERR. VESTIBULE	162 SF.	200	1
DED. RESIDENT GAR.	530 SF.	200	3
TOTAL	3,481 SF.		24
TOTALS			
BUILDING A/C TOTALS	5,999 SF.		
ALL NON-A/C STAIRLAND	330 SF.		
COV. ENTRIES	184 SF.		
COV. COURTYARD	21 SF.		
DED. RESIDENT GAR. / MECH.	584 SF.		
2ND FLR. BALCONIES	76 SF.		
PRIVATE ROOF TERRACE	1,603 SF.		
PRIVATE ROOF TERR. MECH.	533 SF.		
GRAND TOTAL	10,861 SF.		

LIFE SAFETY LEGEND

(X)	UNDESIGNED BY OCCUPANT FIRE RESISTANCE
(---)	MAXIMUM TRAVEL DISTANCE
(---)	100% FIRE RATED CEILING ASSEMBLY - SEE DETAIL A-11.3
(---)	100% FIRE RATED WALL ASSEMBLY - SEE DETAIL B-11.3

LEGEND:

- CEILING MOUNTED EMERGENCY EXIT SIGN (SEE ELECTRICAL PLANS FOR ALL LOCATIONS)
- ALL FIRE EXTINGUISHERS TO BE SLB ABC TYPE IN CABINETS PLACED NO MORE THAN 75'-0" APART • EA. FLOOR.



PROPOSED SECOND FLOOR LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"

