



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

102 SE 5th Avenue

Meeting	File No.	Application Type
March 17, 2025	2024-170	Level 3 Site Plan
Property Owner	Authorized Agent	
4TRO Propco LLC	Jeffrey A. Costello, JC Planning Solutions	

Request

Consideration of a Level 3 Site Plan Application with Architectural Elevations and Landscape Plan for a four-story, approximately 35,000 square foot, eight-unit multi-family residential development.

Site Data & Information

Location: 102 SE 5th Avenue

PCN: 12-43-46-16-01-102-0110

Property Size: 0.35 acres, 15,207 sq ft

Land Use: Commercial Core (CC)

Zoning: Central Business District (CBD) – Central Core

Adjacent Zoning:

- **All Directions:** Central Business District (CBD) – Central Core

Existing Use: Automotive Repair - Nonconforming

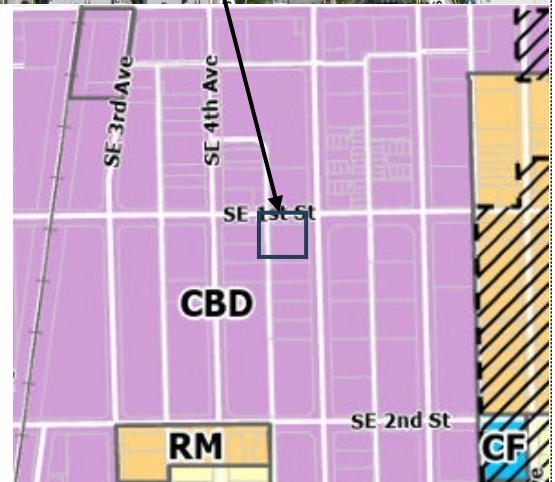
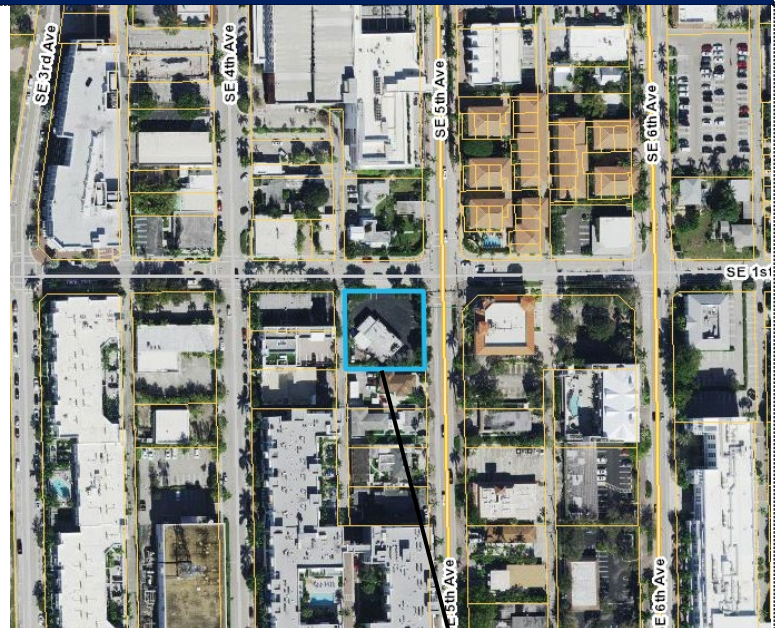
Proposed Land Use: Multi-family Residential

Floor Area Ratio:

- **Existing:** 0.12
- **Proposed:** 2.0
- **Maximum Allowed:** 3.0

Density:

- **Existing:** N/A
- **Proposed:** 22.8 du/acre
- **Maximum Allowed:** 30 du/acre



Project Planner:

Julian Gdaniec, Senior Planner
gdaniecj@mydelraybeach.com

Background Information

The subject property consists of an approximately 1,800 square foot automotive repair facility that was constructed in 1957; it is considered a nonconforming use. The property is zoned Central Business District (CBD), Central Core Sub-district, with an underlying Land Use Map (LUM) designation of Commercial Core (CC). Automotive repair is a prohibited use in the Central Core Sub-district, as auto-focused uses are inherently inconsistent with the intent of the CBD to foster compact and pedestrian oriented growth that supports the historic moderate scale of downtown. As such, redevelopment of this site is an opportunity to further move the district towards its stated goals and intent for thoughtful urban redevelopment that supports and facilitates walkable neighborhoods.

The Downtown Development Authority (DDA) has considered the application on February 10, 2025, and recommended approval, finding that the development is successful in achieving the applicable findings under the purview of the DDA that the project has economic development benefit and maintains consistency with the goals of the downtown master plan.

Project Description

The proposed development is a four-story, eight-unit multi-family residential development, with gross building area of 35,007 square feet. The eight units range in size between 2,794 square feet and 3,336 square feet. Each unit has ground floor access from the street, designed as a stoop frontage, which provides pedestrian connection from each unit directly to the public sidewalk. Likewise, there is a common area lobby with entrance off of SE 5th Avenue, which is classified as a Primary Street. No vehicular use area is proposed along any frontage, preserving the entire streetscape between curb and building for the benefit of the pedestrian. Required parking is provided in a ground floor garage that is fully enclosed and wrapped by the residential units with vehicle access solely occurring from the alley. Private decks with splash pools (one for each unit) are provided on the second level above the garage. There are also activated rooftop living areas for each unit above the third story.



The architectural style proposed is Anglo-Caribbean, a permitted style pursuant to the Delray Beach CBD Design Guidelines. Overall, the project is presented in a way that significantly improves the streetscape with individual unit frontages, expanded sidewalk where feasible, and the introduction of street trees along both frontages, which creates a continuous shade canopy that benefits the pedestrian experience while simultaneously beautifying the corridor and creating buffered protection from the vehicular travel lanes.

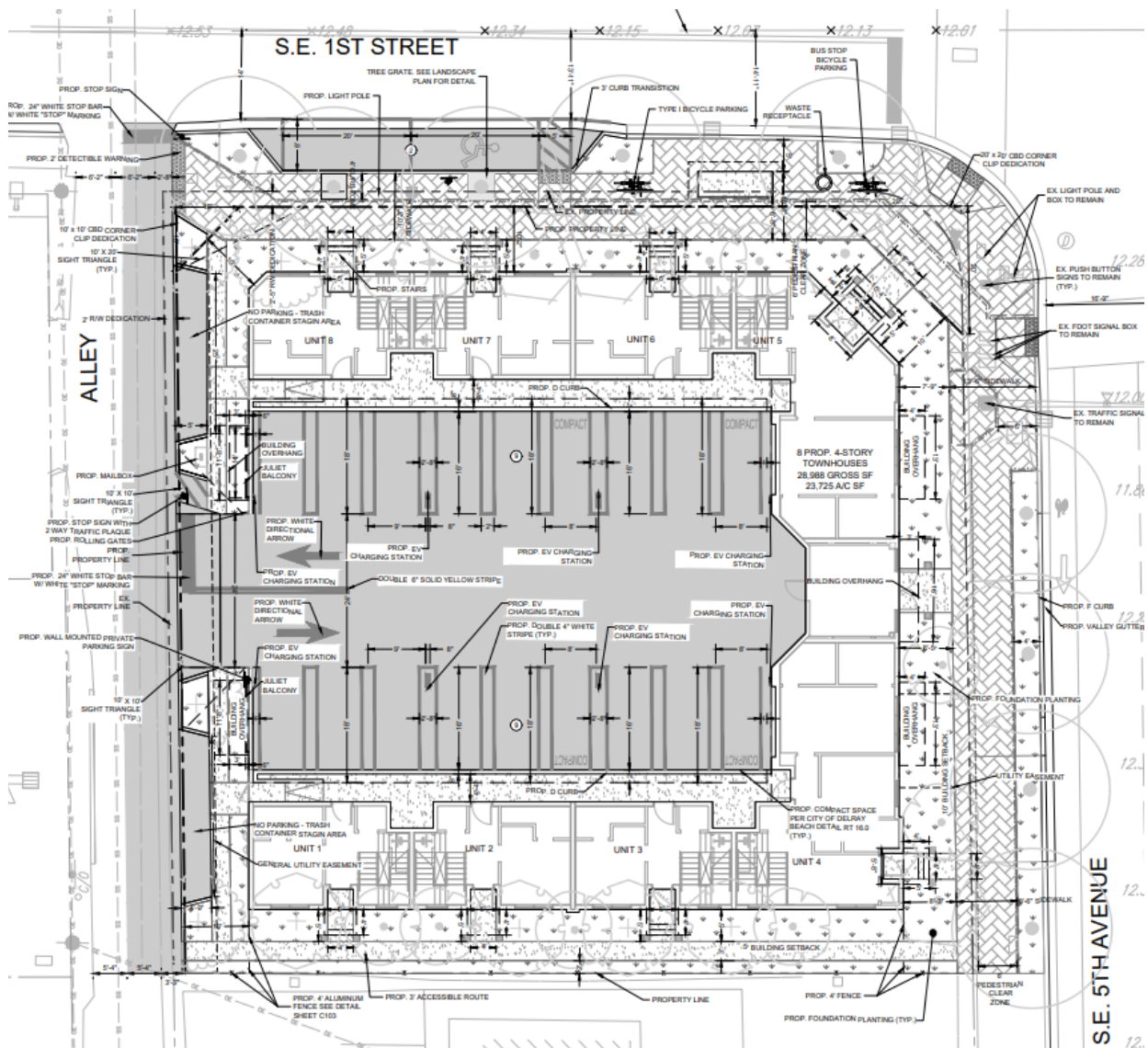
Waivers are not requested as part of this application. The residential units are proposed as market rate, and no workforce housing component is included. Regardless, the proposed density is well below the allowable threshold without utilizing any incentive density.

No loading zone is provided, but a loading area is required pursuant to LDR Section 4.6.10. A determination of adequacy for the lack of a loading zone is required as part of the site plan evaluation. The project is designed to accommodate loading demand for the project in the public alley, which may create conflict on the surrounding street network. A thorough analysis of the issue is provided in the following section.

Review and Analysis: Site Plan

The proposed site plan meets the applicable requirements of the Land Development Regulations. The project is well within allowable intensity thresholds including Floor Area Ratio (2.0 FAR proposed) and Density (22.8 dwelling units per acre proposed). The project meets the height requirement and all setback regulations (except where discussed below regarding the tower encroachment). The building is thoughtfully configured to create a pedestrian scaled urban product that reinforces walkability in the downtown core and helps facilitate redevelopment along the Primary Street in a way that is consistent with the intent of the CBD. Each individual unit has direct frontage access to the public sidewalk (or via an extended walkway along the south property line that thereby connects to the sidewalk) which activates the public realm and reinforces a sense of “eyes on the street” which is a desired outcome in urban settings. The sole point of vehicle access is shifted to the alleyway, and existing curb cuts along 5th Ave and 1st Street are removed. This preserves the integrity of the Primary Streets as high-quality pedestrian focused environments.

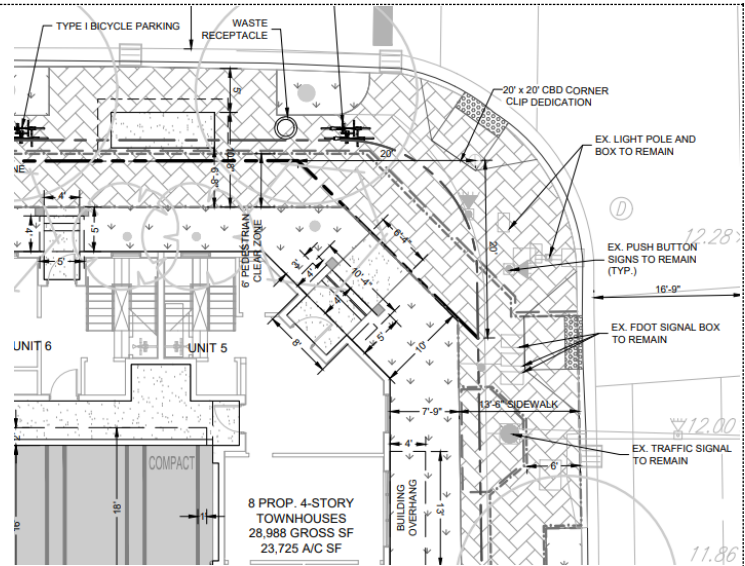
Required parking is provided in the ground level garage, which is successfully screened from the Primary Streets by the residential units and common lobby. Additional on-street parking is proposed along SE 1st Street, which further counts towards the parking requirements of the development.



(Full-sized site plan available as an attachment)

The minimum streetscape dimensions are provided in a way that maintains the maximum feasible pedestrian clear zone, while still allocating sufficient area for foundation landscaping and curb zone landscaping, which helps soften the starkness of the urban environment, and provides buffered protection between the pedestrian and vehicle travel lanes. The applicant and staff have worked closely to ensure that the amount of sidewalk area devoted to pedestrians is substantial enough that the landscaping does not have an unintended consequence of creating a constricted bottleneck or pinch point along a heavily trafficked sidewalk.

The clear zone has been routed to ensure that existing above ground traffic infrastructure does not obstruct the pedestrian path, and likewise, a new covered bus shelter has been located to ensure that the pedestrian clear zone is not reduced below minimums. The provision of the bus shelter, expansion of the sidewalk, and introduction of a shaded tree canopy are substantial amenity improvements within the public realm that will benefit the general public.



The size of the subject property does not require the provision of civic open space; however, the site has been thoughtfully configured to ensure the proposed development positively relates to and enhances the public realm.

LDR Section 2.4.10(A)(3), Findings. *All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.*

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

The Site Plan was reviewed according to the performance standards for site plan actions listed in **LDR Section 3.2.3** and these standards have been factored into the technical review of the application. The intent of the standards are to ensure that certain essential criteria and a level of quality are adhered to with regard to new development. The project complies with the performance standards, except with regard to diversity of unit type (discussed below). Whether or not to allow small luxury developments to exempt themselves from this requirement is a policy decision for the regulating bodies.

LDR Section 3.1.1, Required Findings. *Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

These findings relate to the following four areas:

(A) Land Use Map *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

As noted previously, the requested approval of a multi-family residential development is consistent with the density and intensity of the land use, and permitted uses as established within the Central Business District. The configuration and typology of the development further achieves the goals and objectives of the district. Additionally, the redevelopment of the site will eliminate the existing nonconforming use.

(B) Concurrency *as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Water and Sewer. The development will connect to existing water and sewer networks as approved by the City Utilities Department.

Drainage. Drainage will be accommodated on site. All stormwater runoffs will be collected and contained within the subject property through a drainage system approved by the City Engineer.

Transportation. The provided Palm Beach County TPS approval letter indicates the proposed expansion will generate a net reduction of 3 peak hour trips from the existing auto repair use. Therefore, the project meets transportation concurrency.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools. The PBC SCAD letter confirms that the development will have no negative impact on the existing school system.

(C) Consistency *A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The following Comprehensive Plan objectives and policies are relevant to the request:

Neighborhoods, Districts, and Corridors Element

Objective NDC 1.3 *Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.*

Policy NDC 1.1.2 *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.*

Policy NDC 1.3.1 *Apply mixed-use land use designations to foster development patterns that support pedestrian and bicycle activity, stimulate public transit ridership, and create a park-like environment.*

Policy NDC 1.3.2 *Apply the mixed-use land use designation that best maintains the scale, density, intensity, and enhances the character of the surrounding neighborhood, district, or corridor.*

The proposed development maintains consistency and compatibility in terms of scale and intensity with surrounding developments and is presented in a configuration that improves upon the built environment and reinforces key goals of the CBD to facilitate walkable and well-connected development that is respectful to the historic scale and development pattern of downtown.

(D) Compliance with the LDRs *Whenever an item is identified elsewhere in the LDR, it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

LDR Section 4.4.13, Central Business (CBD) District

Standard/Regulation	Review	
Height 4.4.13(D) – Central Business District	Maximum: 54 feet Proposed: 52 feet	
Setbacks 4.4.13(D) – Central Business District	Minimum Required Front – 10 feet Rear – 10 feet	Provided: Front – 10 feet Rear – 10 feet

	Interior – 5 feet	Interior – 10 feet
Streetscape 4.4.13(F) – Central Business District	Minimum Required Curb – 4 feet Pedestrian Clear – 6 feet Total – 15 feet	Provided: Curb – 4 feet to 9 feet Pedestrian Clear – 6 feet Total – 20 feet. 8 inches to 21 feet, 9 inches

Other Development Regulations

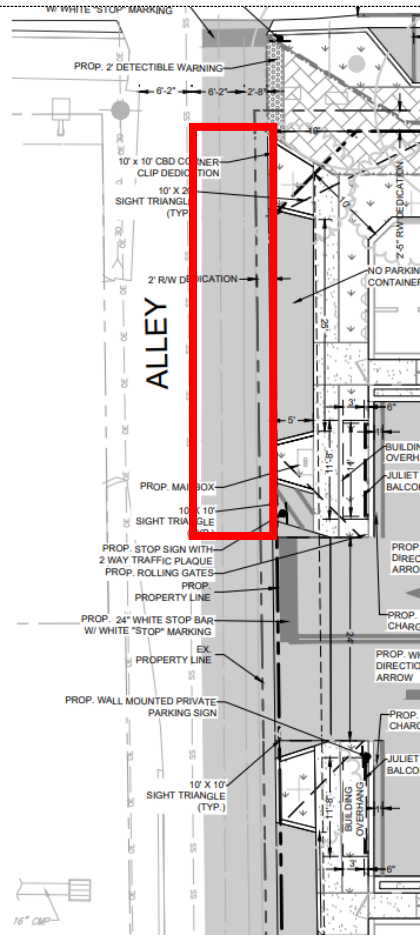
Standard/Regulation	Review
4.4.13(I), CBD Parking Standards	Required: 1.75 spaces per unit = 14; and 0.5 guest spaces per unit = 4 Provided: 20
4.6.9, Bicycle Parking	Required: Type I spaces – 1 spaces per 10 units = 1 space Type II spaces – 1 space per 6 units = 1 space Provided: Type I spaces – 4 Type II spaces - 8

LDR Section 4.6.10, Off-Street Loading

Multi-family residential development has a robust need for intensive loading and unloading which, although it may not occur frequently, has the tendency to require use of substantially large vehicles. Specifically, it can be reasonably anticipated that certain periods, such as initial move-in and move-out, delivery of furniture, and delivery or removal of large appliances, will necessitate the use of large delivery trucks. A dedicated loading area ensures that the loading demand for a development is not dispersed onto the public street and alley network, which could unfairly burden surrounding property owners and the general public. As such, LDR Section 4.6.10 requires that at least two 12'x30' loading berths are provided for residential development exceeding 20,000 square feet; the proposal is for approximately 35,000 square feet of development.

This development proposal does not include any dedicated loading zone. The loading requirement likely anticipates that a 35,000 square foot development would have a significantly higher unit count than eight (with a higher unit count generating more significant loading demand); the large individual unit sizes on small infill luxury residential developments that have become common in Delray were not contemplated when the regulation was adopted. However, the proposed number of units, while not significant, will at some point require use of a loading zone, and because one is not provided conflict with the surrounding area is anticipated.

While the applicant has stated in their explanation of loading demand that daily freight and parcel delivery from smaller vehicles will be handled in an area provided off of the alley, which is provided within this development for the primary purpose of staging for trash pick-up, the provided area is not large enough to qualify as a loading zone, and further, is not large enough to reasonably accommodate large delivery and moving trucks. As such, it can be expected that during periods of move-in/move-out and delivery of large furniture and appliances, vehicles will at least partially obstruct the alley for significant periods of time. This may negatively impact the open flow of the street and alley network and negatively affect surrounding properties. It is important to note that the two properties directly west of the subject property have the only access to their parking area off of the alley (images next page). Large delivery vehicles servicing the property at 102 SE 5th Ave could conflict with or outright prevent vehicle access to the adjacent properties. The Board shall consider whether this is something that should be corrected or whether this is an unavoidable consequence of dense and compact downtown development on small parcels and, as such, the request is acceptable.

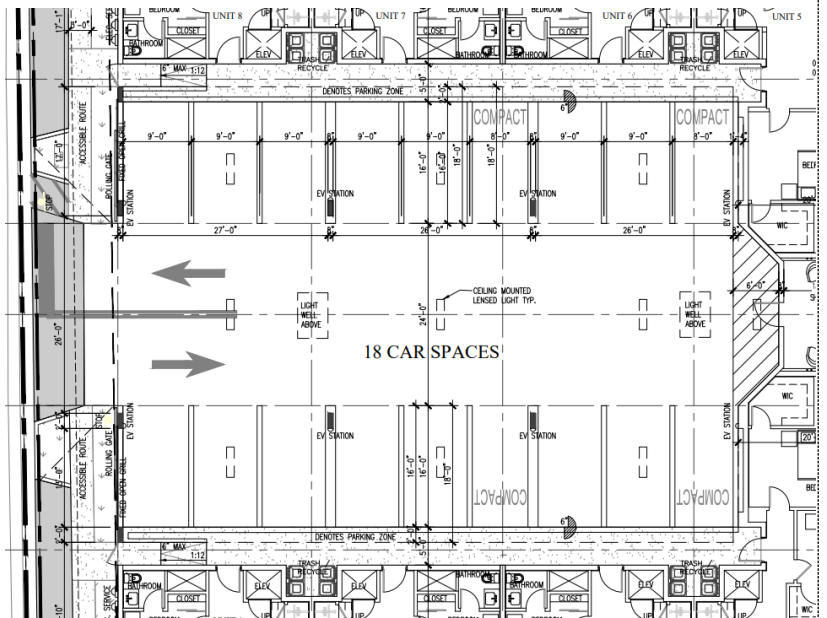


(Adjacent properties as viewed south from the alley)

Garage Circulation

The 8-unit development has a parking requirement of 18 spaces. The development provides 18 spaces in the ground floor garage as well as two via new on-street spaces for a total of 20 spaces, which is a surplus of two. The parking garage is configured with 9 spaces on each side of the drive-aisle. It is an extremely tight configuration with the interior entrances to the units only separated from the parking stalls by a 3-foot-wide walkway.

While the 3 feet provides the absolute minimum functionally required to be able to navigate trash bins from the unit storage to the exterior staging area, and while it provides the minimum necessary to allow for an unencumbered pedestrian to walk from a parked vehicle to a unit entrance, the tight configuration provides no functional room for residents to be able to successfully maneuver larger objects (i.e. furniture, appliances, packages) from their vehicles to their units, especially in scenarios where all 18 parking stalls are occupied.



Given there is a surplus of two spaces, staff strongly encourages that two spaces (one on each side) are removed and replaced with a landing area that will allow for residents to more feasibly navigate from their parked vehicles to their unit entrance when encumbered with larger objects. As configured, the access to the units is unnecessarily compromised. The trade-off of exchanging two surplus spaces for better functionality and maneuverability within the garage is a net positive in the opinion of staff. The Board should consider whether the

proposed garage configuration is acceptable with the identified spatial constraints, or if the applicant should revise the request pursuant to the staff recommendation.

LDR Section 3.2.3, Standards for Site Plan Action

The development proposes eight units that are similar, in that they are all around 3,000 square feet, with the majority being 3-bedroom, one 4-bedroom, and one 2-bedroom with loft. LDR Section 3.2.3 states that *development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies of the Housing Element*. This goal is also reinforced in the comprehensive plan. The Board should consider whether the provision of a homogenous unit type (large footprint, luxury typology) is acceptable given that the development is only proposing eight total units, or if the project should better incorporate a variety of housing types to achieve the goals of the performance standards and the comprehensive plan.

Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

A technical review of this site plan has been performed, and a determination has been made that the project complies with all applicable landscape regulations. Landscaping is interspersed throughout the site in a way that is appropriate for the urban setting, where some foundation landscaping is incorporated to soften the mass, while a wide sidewalk is simultaneously paired with street trees to establish a walkable corridor. An effort has been made to preserve some of the existing mature trees on site, and those trees that are removed are mitigated through new trees elsewhere on site. The full landscape plan is available for review as an attachment.

Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics (E), Criteria for board action

The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

Staff finds that the design criteria are met. A further analysis of compliance with the CBD design guidelines is discussed below.

Delray Beach Central Business Architectural Design Guidelines

Anglo-Caribbean architecture is often considered an eclectic style, common to the British-settled isles of the Caribbean and influenced by Portuguese, Dutch, French, and Spanish colonization. Anglo-Caribbean architecture is characterized by wooden upper floors and roofs historically added over time to the masonry ground floors of initial settlements. The style today often references this through a change in material between floors or as a predominantly masonry construction with sculptural transitions between horizontal and vertical areas, incorporating wood building features.



EAST FACADE



SOUTH EAST CORNER

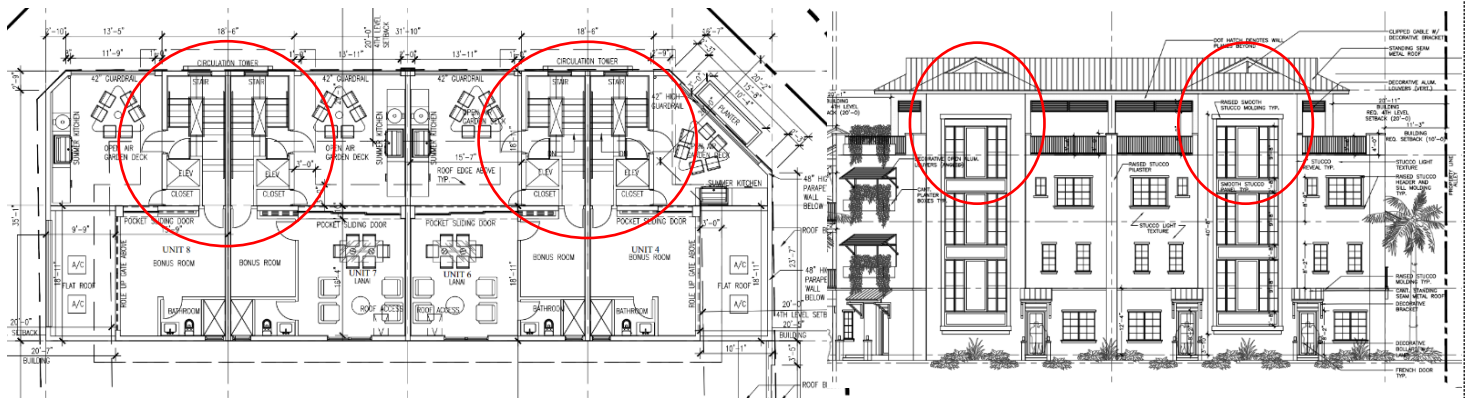
The aesthetic standards of this Section have been met by the proposed architectural design. The architectural style of Anglo-Caribbean is a permitted design in the CBD, is regionally appropriate, and is a customary style for coastal Florida architecture. The composition is a well-executed version of the style, introducing movement and interest across the facades through articulation, changes in height, and subtle and stylistically appropriate ornamentation, including bracketed balconies, wood accents, stucco molding, and decorative louvers.

The composition maintains compliance with established façade proportion ratios that allow the building to maintain consistency with the historic downtown scale, and the design successfully incorporates a tripartite composition where a clear base, middle, and top of the composition is defined, which is an important aspect of traditional architectural style and something the CBD guidelines strongly require.

The composition is well connected to the street through thoughtful integration of stoop frontages and significant transparent openings are interspersed across the facades facing the streets which again reinforces a sense of integration and harmony with the public realm.

LDR Section 4.4.13(D)(2) Vertical Tower Encroachment

The LDR requires that an additional setback be applied for portions of the building extending above the third story, however, if encroachments are utilized in the composition as a defined tower element that is well-integrated into the design and consistent with the CBD design guidelines, then an encroachment into the setback above third story may be granted by the approving board. This is not a formal waiver request but rather is encompassed within the site plan approval. As such, the Board shall consider whether the setback encroachment proposed on the south and north facades are successfully composed as a tower feature that is an overall benefit to the design, such that the encroachment is acceptable. The area of encroachment is for the stair and elevator tower providing vertical access to the fourth floor.



Board Action Options

- A. Move **approval** of a Level 3 Site Plan Application request for **102 SE 5th Avenue**, including Architectural Elevations and a Landscape Plan, to construct a four-story, 8-unit residential development, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended** of a Level 3 Site Plan Application request for **102 SE 5th Avenue**, including Architectural Elevations and a Landscape Plan, to construct a four-story, 8-unit residential development, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- C. Move **denial** of a Level 3 Site Plan Application request for **102 SE 5th Avenue**, including Architectural Elevations and a Landscape Plan and, to construct a four-story, 8-unit residential development, finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**

Public and Courtesy Notices

No Public Notice was required by the LDR for this application.

TAC Review Timeline

Review No.	Submittal Date	TAC Comments Transmitted
1	6/20/24	7/30/24
2	10/16/24	11/15/24
3	12/18/24	1/13/25
4	1/24/25	2/18/25

Total time with Applicant: 122 days

Total time under review: 121 days

Applicant requested a resubmittal extension on 9/27/2024 due to the complexity of the project, which was accepted, and therefore, the obligation for final action to be granted within 180 days of initial application date was waived by the Applicant.



Planning Solutions

March 3, 2025

**102 SE 5th Avenue
Level 3 Site Plan
Revised Narrative Letter**

This revised Narrative Letter associated with the Level 3 Site Plan application is respectfully submitted on behalf of Mugdock Development, LLC for the property located at 102 SE 5th Avenue (PCN: 12-43-46-16-01-102-0110).

BACKGROUND:

The subject property is located at the southwest corner of SE 5th Avenue and SE 1st Street. The 0.35-acre (15,207 sf.) property contains a one-story 1,871 sf. automotive repair facility constructed in 1957.

The property has a Future Land Use Map designation of Commercial Core (CC), is zoned Central Business District (CBD), and is within the CBD Central Core Sub-district.

DEVELOPMENT PROPOSAL:

The development proposal consists of the following:

- Demolition of the existing 1,871 sf. automotive repair facility;
- Construction of a 4-story, 8-unit townhouse type development with a 2- bedroom unit, a 4-bedroom unit and six 3-bedroom units. The townhouse units have the following range in sizes: 2-Bedroom – 3,987 sf.; 3-Bedroom – 3,442 – 3,456 sf.; 4-Bedroom – 4,049 sf. On the 2nd level, a central amenity area will be provided with a privacy area for each unit consisting of privacy walls, planter areas, decking and a splash pool. On the 4th level, each unit includes an open area garden deck and sitting room.
- An 18-space ground level parking area will be provided with access to the ground level parking area provided from the alley. The driveway will be gated with a call box and lockbox at the alley entrance. A waiver to reduce the stacking distance along the alley, which is discussed in more detail below, has been approved by the City Engineer.
- Removal of the existing driveways onto SE 5th Avenue and SE 1st Street and construction of City streetscape requirements consisting of City standard paver brick sidewalks, decorative street lighting, and tree grates with 2 parallel parking spaces with landscape nodes and a City standard bus shelter along SE 1st Street.
- Installation of associated site lighting, refuse container staging areas adjacent to the alley, and fencing to the rear of the building.
- The development proposal includes the following right-of-way dedications: a 2' alley right-of-way dedication; a 2.5' dedication along SE 1st Street; a 10'x10' corner clip dedication at the intersection of the alley and SE 1st Street; and, and a 20' x 20' corner clip dedication at the intersection of SE 5th Avenue (Southbound Federal Highway) and SE 1st Street.

Level 3 Site Plan Application. Pursuant to LDR Section 2.4.10(A)(1), General. A site plan application is required for all exterior site or building improvements or modifications, and/or new construction associated with a multi-family residential, commercial, or mixed-use development. Single family homes and duplexes, and associated site improvements, are reviewed for compliance with the Land Development Regulations



(LDR) through the building permit approval process.

(c) **Level 3.** Level 3 Site Plan applications include new construction, additions to an existing building, or the conversion of an existing single-family residence or duplex, consisting of more than a total of five dwelling units for multi-family residential development or 15,000 gross square feet of mixed-use or nonresidential development.

Pursuant to LDR Section 2.4.10 (A)(3) Findings. All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

(d) Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

(f) Site Plan applications that include a waiver(s) are subject to the findings of 2.4.11(B).

REQUIRED FINDINGS – SEC. 3.1.1:

Pursuant to **LDR Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is a part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. As indicated below, positive findings can be made with respect to LDR Sections 3.1.1 (A) – (D).

(A) Land Use Map. The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The property has a Land Use Map designation of Commercial Core (CC), is zoned Central Business District (CBD), and is within the CBD Central Core Sub-district. Table NDC 1 lists CBD zoning as an implementing zoning district for CC land use. The proposed multi-family residential use is permitted in the CBD zoning district. Per Neighborhoods, Districts, and Corridors Element Table NDC – 1 of the Comprehensive Plan, the CC land use designation allows a maximum floor area ratio (FAR) of 3.0, and a standard residential density of 30 dwelling units per acre. The proposed 8-unit townhouse development has a density of 22.8 du/ac and an FAR of 1.93. Thus, positive findings can be made with respect to Land Use Map consistency.

(B) Concurrence. Concurrence as defined by Objective NDC [3.1](#) of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.



Per Objective 3.1 of the NDC Element, allow new development provided that the necessary public facilities and services are available. Allow new development within the Planning Area provided the necessary public facilities and services that are provided by, or through, the City are available concurrently.

Schools. The Palm Beach County School District School Capacity Availability Determination (SCAD) Application has been submitted for review for compliance with the adopted Level of Service for School Concurrency. On September 25, 2024, a SCAD letter was provided by the School District of Palm Beach County indicating there will be no negative impact on the School District of Palm Beach County public school system. Therefore, the School District has no comment on this application.

Water and Sewer. Municipal water and service is available via connections to the existing water main located within SE 5th Avenue and the sewer main located within the abutting alley along the west side of the property. Sewage calculations have been provided for City review. Pursuant to the City's Comprehensive Plan, adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population, based on the current Land Use Map designation.

Solid Waste. Multi-family units with 5 or more units are calculated to generate 0.52 tons of solid waste per unit per year. The development proposal is to accommodate a maximum of 8 units, which represents 4.16 tons of solid waste per year. The landfill serving the property is projected to have sufficient capacity to meet the needs of city residents through the depletion year in 2054.

Drainage. Drainage will be accommodated on-site via an exfiltration trench system. No problems are anticipated obtaining a South Florida Water Management District permit. A signed and sealed drainage report has been submitted for review. The proposed system will meet storm water requirements in accordance with the South Florida Water Management District regulations per LDR Section 2.4.3(D)(8) as well as requirements in LDR Section 6.1.9 for the surface water management system.

Traffic: The proposed development is within the City's Transportation Concurrency Exception Area (TCEA) and the Coastal Residential Exception Area. Therefore, the proposed development is exempt from the Traffic Performance Standards of Palm Beach County. However, a Traffic Impact Statement was prepared and transmitted to Palm Beach County Traffic Division for review indicating that the 8-unit multi-family development will generate 54 new daily trips, 3 new AM peak hour trips and 4 peak PM hour trips. This is a reduction of 19 trips generated by the existing automotive repair facility. A Traffic Performance Standards (TPS) approval letter from Palm Beach County Traffic Division was provided on July 15, 2024.

Parks and Open Space: While there are sufficient recreation facilities in the City to meet this LOS, the proposal includes private on-site amenities. A park impact fee in the amount of \$500.00 per dwelling unit (\$4,000) will be collected prior to the issuance of a building permit to offset any impacts that a residential project may have on the City's recreational facilities.

(C) Consistency. *A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within [Article 3.2](#), provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

Comprehensive Plan

A finding of overall consistency can be made that the development proposal is consistent with applicable Goals, Objectives, or Policies of the Comprehensive Plan referenced below, particularly those of the Neighborhood, Districts,



and Corridors Element, Housing Element, Economic Prosperity Element as well as the Downtown Delray Beach Master Plan, and Community Redevelopment Plan. The proposal includes the redevelopment of a nonconforming automotive repair facility to accommodate an 8-unit multi-family development within the downtown core and one block from Atlantic Avenue, providing additional year round residents to support the downtown businesses.

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.14 *Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*

Objective 1.3, Mixed-Use Land Use Designations: *Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.*

Policy NDC 1.3.3: *Apply the density and intensity in mixed-use land use designations to encourage adaptive re-use, development, and redevelopment that advances strategic, policy-driven goals, such as diverse residential housing opportunities, sustainable building practices, historic preservation, public parking, civic open space, or economic development strategies.*

Policy NDC 1.3.5: *Use the Commercial Core land use designation to stimulate the vitality and economic growth of the city while simultaneously enhancing and preserving the cultural and historic downtown area.*

Policy NDC 1.3.6: *Allow a maximum floor area ratio of 3.0 and a maximum density of 12 dwelling units per acre east of the Intracoastal Waterway, and a standard density of 12-30 dwelling units per acre with a revitalization/incentive density of 30-100 dwelling units per acre for the Commercial Core land use designation; specific standards in the Land Development Regulations adjust density and intensity based on compatibility, scale, character, adopted Redevelopment or Neighborhood Master Plans, or workforce housing incentives.*

Policy NDC 1.3.7: *Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse, development, and redevelopment that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area continue to evolve into a traditional, self-sufficient downtown...*

Objective NDC 2.7: Planning of Neighborhoods, Districts, and Corridors *Continue to respond to unique needs and conditions of the varied neighborhoods, districts, and corridors of Delray Beach using Neighborhood and Redevelopment Plans that determine specialized planning strategies and improvement projects to implement the vision of plans.*

Economic Prosperity

Policy ECP 3.3.4 *Continue to support efforts of commercial districts, streets and neighborhoods to improve their physical attributes by encouraging infill, adaptive reuse, redevelopment and other strategies.*

Policy ECP 3.3.6 *Promote development or redevelopment of vacant, underutilized or surplus properties, particularly those with the potential to serve as a catalyst for economic development.*



Housing Element

Objective HOU 3.1 *Provide opportunities for residential development to accommodate the housing needs of existing and future residents.*

Policy HOU 3.1.4 *Encourage development of vacant or underdeveloped land for housing and mixed-uses and promote rehabilitation of underutilized housing into desirable places to live.*

Sec. 3.2.3 – Standards for Site Plan Actions:

- (A) *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*

The proposal meets this standard. The proposed building is of the Anglo-Caribbean Architectural Style, which is one of seven architectural styles identified in the Delray Beach Central Business District Architectural Design Guidelines. The building along with the associated landscaping and site lighting are designed in compliance with the LDRs and will not create any distractions of block visibility as it pertains to traffic circulation.

- (B) *All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).*

The intent of this standard has been met. Interconnections are provided via the urban grid. Pedestrian access and interconnections to the adjacent streets and alley will be provided. The development complies with the CBD Streetscape Standards and includes installation of 2 on-street parking spaces along with the required 4' curb zone and 6' pedestrian clear zone on SE 1st Street with a 4' curb zone 9'6" clear zone along SE 5th Avenue.

- (C) *Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.*

This standard is not applicable. The above-referenced Objective pertains primarily to private residential development and the property is less than 20,000 sf.; therefore, there is no civic open space required, per LDR Section 4.4.13 (G).

- (D) *Any proposed street widening or modifications to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.*

This standard is not applicable. There is no street widening or traffic circulation modifications associated with the project.

- (E) *Development of residentially zoned vacant land shall be planned in a manner consistent with adjacent development regardless of zoning designations.*

This standard is not applicable. The project does not propose development of residentially zoned vacant land. The property is zoned CBD, and the improvements include an 8-unit townhouse type condominium development, in accordance with the CBD regulations.



- (F) *Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*

This standard has been met. The proposed use, intensity and density are appropriate and are compatible with and complementary to the adjacent uses. The proposed development will provide 8 additional units in the downtown area that will support surrounding businesses and will significantly enhance the SE 5th Avenue and SE 1st Street corridors.

- (G) *Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.*

This development complies with the intent of this standard. The proposal consists of one 2-bedroom, one 4-bedroom unit, and six 3-bedroom units with varying unit types in conjunction with the other improvements.

- (H) *Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.*

This standard has been met. The proposed redevelopment will have a positive impact on stability, livability and safety within the downtown core. There will be no issues in terms of noise, odors, dust or traffic volumes and traffic circulation. It is noted that access to the ground level parking area is from the alley. The introduction of the residential units in place of the auto repair facility will further enhance and stabilize the area. The residential use will not generate any factors that will result in degradation of the surrounding area and will not have any impact on any residential neighborhoods.

- (I) *Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.*

This standard has been met. The traffic statement submitted in conjunction with this application does not show any indication that the project will create any significant additional traffic that will exacerbate an existing situation to become a high accident location. The existing driveways on SE 1st Street and SE 5th Avenue (Southbound Federal Highway) are being eliminated in conjunction with the redevelopment of the property. The proposed 8-unit development will result in a reduction in average daily and peak period trips. A Traffic Performance Standards (TPS) approval letter from Palm Beach County Traffic Division was provided on July 15, 2024.

- (J) *Tot lots and recreational areas, serving children, teens, and adults shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.*

This standard is not applicable as the project only provides 8 residential units.

- (K) *Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e., workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the*



Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.

The intent of this standard has been met. The proposed 8-unit townhouse development is less than the 30 units per acre permitted (22.8 du/ac) and is less than the maximum 3.0 Floor Area Ratio (FAR) permitted in the CBD (1.93 FAR). Thus, the proposal will not exceed the maximum limits in Table NDC-1, or the specific standards related to the intensity and density.

- (L) *Development shall meet the intent of CSR [5](#), Energy Efficiently and Diverse Energy Mix and, where applicable, the requirements of LDR [Section 7.11.1](#), Green Building Regulations.*

The standard will be met. The proposal will comply with the applicable provisions of CSR 5, Energy Efficiently and Diverse Energy Mix, LDR Section 7.11.1, Green Building Regulations, and Florida Building Code, Energy Conservation Code 7th Edition.

(D) Compliance with LDRs. *Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in [Section 2.4.5](#) and in special regulation portions of individual zoning district regulations.*

The development proposal is in compliance with the Land Development Regulations, including the CBD Development and Architectural Standards as they relate to building setbacks, parking, site lighting, building design, and streetscape standards. The proposed rooftop terraces will comply with LDR Section 4.4.13(C)(4)(h). Also, the proposal includes the following right-of-way dedications: a 2' alley right-of-way dedication; a 2.5' dedication along SE 1st Street; a 10'x10' corner clip dedication at the intersection of the alley and SE 1st Street; and, and a 20' x 20' corner clip dedication at the intersection of SE 5th Avenue (Southbound Federal Highway) and SE 1st Street. Separately, a waiver to LDR Section 4.6.9(D)(4) to reduce the stacking distance along the alley between the parking area entry gate and the alley has been requested. Pursuant to LDR Section 4.6.9(D)(5), a reduction to the minimum required stacking distance may be requested when supported by a traffic study and justification statement addressing access into the site and efforts to diminish the impact of queuing on the public right-of-way. The City Engineer shall provide a written determination regarding the request to reduce the stacking distance. A traffic study and justification statement was provided to the City Engineer for review and approval. The City Engineer has approved the stacking distance reduction based on the analysis provided.

LANDSCAPE PLAN:

Pursuant to LDR Section 2.4.10(A)(3)(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations

The proposed landscape plan complies with the objectives and design standards of LDR Section 4.6.16. The landscape plan provides a variety of landscape material in compliance with regulations including the City's Streetscape Standards.

ARCHITECTURAL ELEVATIONS:

*Per LDR Section 4.4.13(F) **Architectural standards**. To ensure high quality architecture in the downtown area, the architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in [Section 4.6.18](#), the following standards apply in all CBD Sub-districts*

*Per LDR Section 4.4.13(F)(3) **Appropriate architectural styles**. The adopted "Delray Beach Central Business District Architectural Design Guidelines", as amended, identifies architectural styles as appropriate for downtown Delray*



Beach, based on historical precedent, climate, and building scale. Defining characteristics and character examples are provided for each of the styles as guidance.

*Pursuant to LDR Section 4.6.18(E), **Criteria for Board Action**, the below criteria shall be considered, by the Site Plan Review and Appearance Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.*

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The proposed building is designed in the Anglo-Caribbean architectural style, which is an architectural style that is identified as an appropriate architectural style for downtown Delray Beach per the "Delray Beach Central Business District Architectural Design Guidelines". The proposed building also provides the desired articulations and tri-partite composition referenced in LDR Section 4.4.13(F)(2). The elevations comply with LDR Section 4.4.13(F), the CBD Architectural Guidelines as well as LDR Section 4.6.18(E)(1)-(3) (Criteria for Board Action). The proposed elevations are in conformity with good taste and good design. The design is in harmony with the developments in the area and will enhance the character, value, and attractiveness of the surrounding area.

CONSLUSION/FINDINGS:

Based on the above, positive findings can be made that the project as represented by the Level 3 Site Plan application is consistent with Chapter 3 (Performance Standards, LDR Section 3.1.1 (Required Findings), (A) Future Land Use Map, (B) Concurrency, (C) Consistency, and (D) Compliance with LDRs, as well as the Always Delray Comprehensive Plan, Downtown Delray Beach Master Plan, and Community Redevelopment Plan. Positive findings can also be made with LDR Sections 4.6.16 and 4.6.18. Therefore, approval of the Level 3 Site Plan application is respectfully requested.



October 9, 2024

City of Delray Beach
100 NW 1st Avenue
Delray Beach, FL 33444

RE: 102 SE 5TH AVENUE
DESIGN NARRATIVE

The architectural style presented is consistent with **Anglo-Caribbean** design and detailing.

“Anglo-Caribbean architecture is often considered an eclectic style, common to the British-settled isles of the Caribbean and influenced by Portuguese, Dutch, French, and Spanish colonizations. Anglo-Caribbean architecture is characterized by wooden upper floors and roofs historically added over time to the masonry ground floors of initial settlements. The style today often references this through a change in material between floors or as a predominantly masonry construction with sculptural transitions between horizontal and vertical areas, incorporating wood building features.”

Roof: The building is presented with 6:12 metal standing seam roof, in addition, the standing seam metal roof material is included on the cantilevered balconies and roofed entry stoops. The roofing details include deep overhangs with exposed wood rafter tails. A clipped gable roof detail including wood accents within are used to add additional architectural interest to the roof.

Balconies: This building is presented with decorative cantilevered balconies on the east and west elevations. These balconies are consistent with the design style including exposed wood column and beams the assembly supported with decoratively shaped wood brackets. A combination of double height and single height wood balconies are provided.

Windows and Doors: The building is presented with casement window opening recessed from the heavy masonry stucco wall construction, creating shadows to express the solidity of the stucco masonry construction. The windows include raised header and sill molding consistent with this architectural style. The doors and windows will have divided lights throughout. Single and double window sizes have been selected to be consistent with vertical proportions, all to be casement opening. French style doors have been used on all exterior facing locations.

Unique tower features: The building includes vertically proportioned windows and sculptural molding features to accent the building’s interior vertical stair elements which are appropriately expressed on the exterior. This feature will reinforce the use of cantilevered wood detail and divided light windows which will offer a unique and dramatic aesthetic features on the north and south elevations.

Additional architectural detailing: Included in the design is the use of open louvers presented with angled brackets and vertically presented to accent key window and building opening further enhancing dramatic shadows and providing additional color to the aesthetic.

Cantilevered planters have been used to add visual interest at the prominent north east street corner. In addition to a planter used in conjunction with a wood trellis detail featured at the center of east elevation. Addition wood brackets have been used to accent and frame the roofing over the central street facing wall portal allowing for a continuous and aesthetically consistent east street elevation.

This office is proud to present this building with its consistent and appropriate use of details and styling all perfectly consistent with the Anglo-Caribbean guidelines.

Sincerely,
Juan C. Linares

Juan C. Linares, AIA, LEED AP
RWB / Linares Architecture, Inc.
1600 South Dixie Hwy
Suite 400
Boca Raton, Florida 33432
P (561) 391-0081 F (561) 391-0085
Jlinares@rwb-arch.com

NOTES:

- THE SUBJECT PROPERTY IS THE LANDS OF POLICHENA HOLDINGS LLC AS RECORDED IN OFFICIAL RECORDS BOOK 25933, PAGE 739, AMONG THE LANDS RECORDS OF PALM BEACH COUNTY, FLORIDA AND HAVING A PARCEL CONTROL NUMBER (PCN) OF 12-43-46-16-01-102-0110 PER THE PALM BEACH COUNTY PROPERTY APPRAISER. THE PROPERTY IS LYING IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST.
- AREA = 15,207 SQUARE FEET OR 0.349 ACRES (MEASURED)
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS SURVEY WAS PERFORMED IN THE FIELD ON DECEMBER 6, 2023 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS. REVISIONS LISTED ON THIS SURVEY APPLY ONLY TO THE SPECIFIC CHANGES REFERENCED, AND DO NOT CONSTITUTE AN UPDATE OF OTHER DATA ON THIS SURVEY. THE "SURVEY DATE" SHOWN HEREON IS THE APPLICABLE DATE AS RELATED TO PROVISIONS OF STATUTES OF LIMITATION UNLESS NOTED OTHERWISE.
- ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATION AND TIED INTO THE NGS BENCHMARK NO. AD2695 WITH A PUBLISHED ELEVATION OF 15.62 FEET.
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINE TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PALM BEACH COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 979 OF 1200", MAP NUMBER 12099C00979F, WITH A MAP EFFECTIVE DATE OF OCTOBER 5, 2017, EFFECTIVE DATE OF OCTOBER 5, 2017.
- ZONING: NO ZONING REPORT OR ZONING LETTER WAS PROVIDED TO THE SURVEYOR.
- NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
- TREES 4 INCHES DIAMETER AT BREAST HEIGHT (DBH) AND LARGER HAVE BEEN LOCATED WITHIN THE PROJECT BOUNDARY.
- THERE ARE NO GAP/GORES OR OVERLAPS BETWEEN THE RIGHT-OF-WAY LINES SHOWN HEREON AND THE SUBJECT PROPERTY.
- PARKING: 13 STANDARD
0 ADA
13 TOTAL SPACES
- THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THE SURVEY. ENCROACHMENT IS A LEGAL CONDITION, NOT A MATTER OF SURVEY AND, AS A RESULT, THERE MAY BE OTHER POSSIBLE ENCROACHMENTS AFFECTING THE PROPERTY THAT ARE NOT SHOWN.
- THE PROPERTY HAS DIRECT ACCESS ALONG SOUTHEAST 5TH AVENUE AND SOUTHEAST 1ST STREET.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULES 5J-17.050 THROUGH 5J-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.
- THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 - 1990 ADJUSTMENT, HOLDING THE NORTH LINE OF THE SUBJECT PROPERTY AS BEING NORTH 89°16'25" EAST.
- ALL DISTANCES ARE MEASURED GROUND DISTANCES UNLESS NOTED OTHERWISE.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY ANYONE OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PREPARED FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE: MUGDOCK DEVELOPMENT LLC
- THIS MAP IS INTENDED TO BE DEPICTED AT A SCALE OF 1"=20' ON 24"x36" SHEETS. UNITS SHOWN ARE U.S. SURVEY FEET.
- SOME TOPOGRAPHIC FEATURES MAY BE EXAGGERATED IN SCALE FOR CLARITY. THE CENTER OF THE SYMBOL OF SUCH FEATURES IS THE CORRECT LOCATIONS.
- © COPYRIGHT 2023 BY BOHLER ENGINEERING FL, LLC. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMP, OR A DIGITALLY VERIFIED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY BOHLER ENGINEERING FL, LLC.

TITLE NOTES:

THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. COMMITMENT NO. NC63231017, WITH A COMMITMENT DATE OF OCTOBER 27, 2023. OUR OFFICE HAS REVIEWED THE TITLE COMMITMENT AND THERE ARE NO SURVEY RELATED EXCEPTIONS IN SCHEDULE B-II, EXCEPTIONS.

TITLE DESCRIPTION

LOTS 11 AND 12, BLOCK 102, TOWN OF LINTON (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED APRIL 25, 1980, IN O.R. BOOK 489, PAGE 500, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE EAST 10 FEET OF LOTS 11 AND 12, BLOCK 102, TOWN OF LINTON (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ALSO: A PARCEL OF LAND IN LOT 11, BLOCK 102, TOWN OF LINTON (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH LINE OF SAID LOT 11, LOCATED 10 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 11, RUN WESTERLY ALONG SAID NORTH LINE FOR 14.78 FEET; THENCE RUN SOUTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 15 FEET FOR 23.34 FEET, THROUGH A CENTRAL ANGLE OF 89 DEGREES 09' 00" TO A POINT ON A LINE PARALLEL TO AND 10 FEET WESTERLY OF THE EAST LINE OF SAID LOT 11; THENCE RUN NORTH 01 DEGREE 08' 35" WEST ALONG SAID PARALLEL LINE FOR 14.78 FEET TO THE POINT OF BEGINNING.

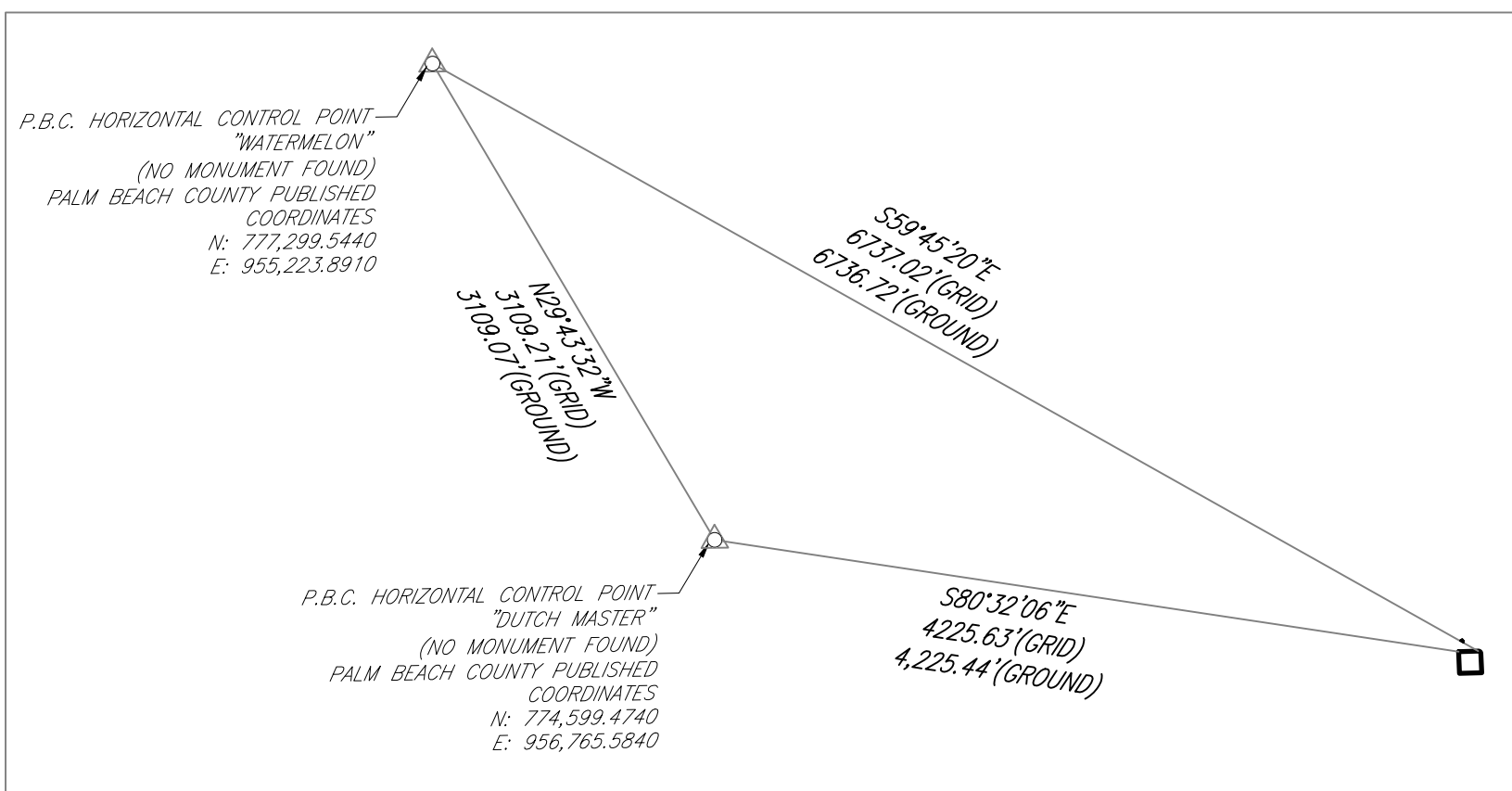
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY SUNSHINE 811 UTILITY SYSTEM (1-800-432-4770) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 335304764

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
COMCAST-PBG	CATV	(954) 789-9762
WINDSTREAM COMMUNICATION	TELEPHONE	(800) 289-1901
WINDSTREAM ENTERPRISE WHOLESAL	FIBER	(800) 941-3430
CITY OF DELRAY BEACH WATER/SEWER NETWORK	SEWER, WATER	(561) 243-7000 X7335
FLORIDA POWER & LIGHT - PALM BEACH	ELECTRIC	(800) 778-9140
FLA PUBLIC UTILITIES CO	GAS	(561) 261-9034
HOTWIRE COMMUNICATIONS	CATV, FIBER, TELEPHONE	(561) 286-9188 X6
CROWN CASTLE NG	FIBER	(855) 933-4237 X1
PALM BEACH COUNTY TRAFFIC OPERATIONS	TRAFFIC LIGHTS	(561) 233-3923
AT & T DISTRIBUTION	TELEPHONE	(800) 247-2020



Know what's below.
Call before you dig.
Dial 811
Or Call 800-432-4770



DETAIL "A"
NOT SCALE

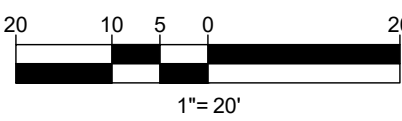
	EXISTING CONTOUR	LB	LICENSE BUSINESS	R/W	RIGHT-OF-WAY
	EXISTING SPOT ELEVATION	PG	PAGE	HT	HEIGHT
	EXISTING TOP OF CURB ELEVATION	P.B.	PLAT BOOK	PCN	PARCEL CONTROL NUMBER
	EXISTING GUTTER ELEVATION	(TYP.)	TYPICAL	GF	GARAGE FLOOR
	HYDRANT	N	NORTH	(P)	PLAT
	WATER VALVE	S	SOUTH	(M)	MEASURED
	BACK FLOW PREVENTER	E	EAST	OH	OVERHEAD WIRES
	WATER METER	W.	WEST	S	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
	CLEAN OUT	CONC.	CONCRETE		PALM BEACH COUNTY SURVEY CONTROL
	STORM DRAIN MANHOLE	E.O.P.	EDGE OF PAVEMENT		
	UTILITY POLE		PROPERTY LINE		
	TRAFFIC SIGNAL		CENTERLINE		
	AREA LIGHT	L.S.A.	LANDSCAPED AREA		
	GUY WIRE	±	PLUS OR MINUS		
	TRAFFIC SIGNAL POLE	CMP	CORRUGATED METAL PIPE		
	MONITORING WELL	CPP	CORRUGATED PLASTIC PIPE		
	SIGN	ADA	AMERICANS WITH DISABILITIES ACT		
	FENCE	MH	MANHOLE		
	FIRE DEPARTMENT CONNECTION	G.I.	GRATE INLET		
	PAINTED ARROWS	ELEV.	ELEVATION		
	PROP. CORNER TO BE SET	S.F.	SQUARE FOOT		
	DENOTES PARKING SPACE COUNT	AC	ACRE		
	BENCHMARK	INV	INVERT		
	TREE (SIZE AS NOTED)	FCS	FLORIDA COORDINATE SYSTEM		
	PALM TREE (SIZE AS NOTED)	NAD	NORTH AMERICAN DATUM		
	IRON PIPE FOUND	NAD	NORTH AMERICAN VERTICAL DATUM		
	CAPPED IRON REBAR FOUND	NGS	NATIONAL GEODETIC SURVEY		
	IRON REBAR FOUND	Δ	DELTA		
	PARCEL CONTROL NUMBER	L	LENGTH		
	OFFICIAL RECORD BOOK	CHB	CHORD LENGTH BEARING		
	PROPERTY IDENTIFICATION	CHD	CHORD LENGTH DISTANCE		



LOCATION MAP
SCALE: 1"=2000'

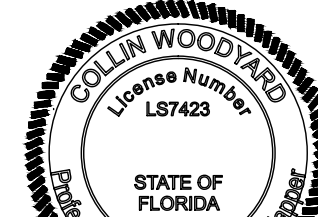
NOTES:
COORDINATES, BEARINGS AND DISTANCES

- COORDINATES SHOWN ARE GRID
- DATUM = NAD 83 1990 ADJUSTMENT
- ZONE = FLORIDA EAST
- LINEAR UNIT = US SURVEY FEET
- COORDINATE SYSTEM 1983 STATE PLANE
- TRANSVERSE MERCATOR PROJECTION
- ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTES
- SCALE FACTOR = 1.00004782
- GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE



TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY; MUGDOCK DEVELOPMENT LLC, A FLORIDA LIMITED LIABILITY COMPANY; POLICHENA HOLDINGS LLC, A FLORIDA LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPLS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 6, 2023.



COLLIN WOODYARD
PROFESSIONAL SURVEYOR AND MAPPER NO. LS7423

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

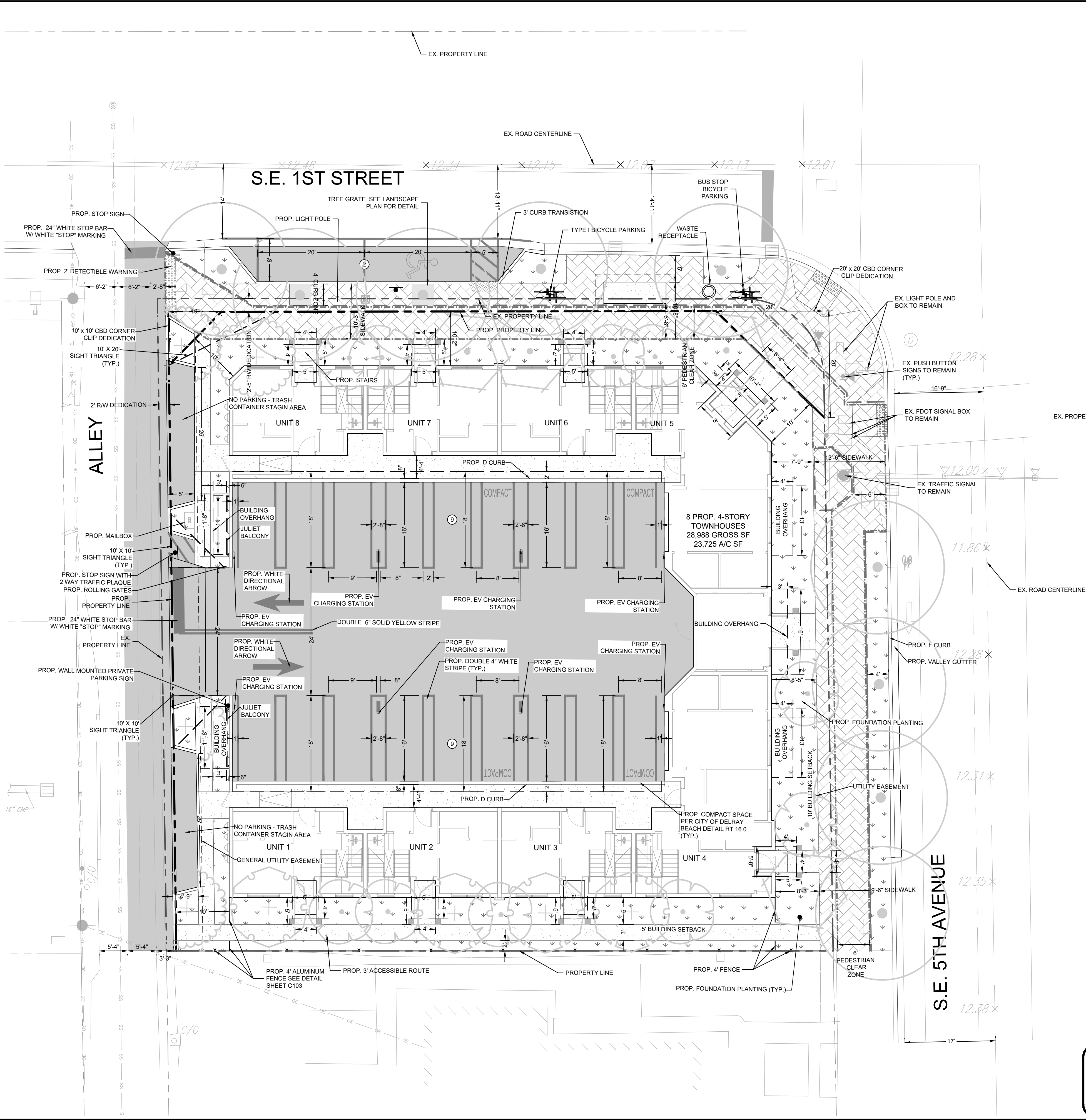
ALTA/NSPS LAND TITLE SURVEY

MUGDOCK DEVELOPMENT, LLC

102 SOUTHEAST 5TH AVE
CITY OF DELRAY BEACH, FLORIDA
PALM BEACH COUNTY

FILE NO.	DATE	FIELD DATE	CREW CHIEF	DRAWN	REVIEWED	APPROVED	SCALE	DWG. NO.
FLB230140	12/19/2023	12/06/2023	J.V.	D.M.	A.S.	C.W.	1"=20'	1 OF 1

Plotted By: Matson, Bob Sheet Set: 102 Layout: C100 SITE PLAN January 21, 2025 11:11:23am K:\WFD-Civ\24174000 - 102 SE 5th Ave\24174000\PlanSheets\C100 SITE PLAN.dwg
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PARCEL INFORMATION			
PROJECT NAME	102 SE 5TH AVE TOWNHOMES		
ADDRESS	102 SE 5TH AVE, DELRAY BEACH, FL 33483		
PBC FOLIO #	12-43-46-16-01-102-0110		
ZONING DESIGNATION	CENTRAL CORE SUB-DISTRICT		
FUTURE LAND USE DESIGNATION	CC (COMMERCIAL CORE)		
PROPOSED DENSITY	8 UNITS/0.35 ACRES = 22.8 UNITS/ACRE		
LAND AREA GROSS	15,207 SF		
PROP. RIGHT-OF-WAY DEDICATION	728 SF		
LAND AREA NET	14,479 SF		
FEMA FLOOD CODE	X		
PROJECT AREAS			
		PROPOSED:	
TOTAL AREA (SF)	14,479		100.0%
IMPERVIOUS TOTAL (SF)	12,363		85.4%
PAVEMENT	2,216		15.3%
COVERED PARKING GARAGE	5,883		40.5%
BUILDING	4,284		29.6%
PERVIOUS (SF)	2,116		14.6%
REQUIRED PARKING			
		REQUIRED	PROVIDED
REQUIRED	1.75 STALLS PER TWO OR MORE BEDROOM UNIT	14	14
GUEST PARKING	0.5 STALL PER UNIT (FOR FIRST 20 UNITS)	4	4
ON STREET PARKING	NA	NA	2
EV CHARGING STATIONS	NA	1	18
TOTAL CAR PARKING		18	20
TYPE I BICYCLE PARKING	1 SPACE PER 10 UNITS	1	2
TYPE II BICYCLE PARKING	1 SPACE PER 6 UNITS	2	2
TOTAL BICYCLE PARKING		3	4
BUILDING INFORMATION			
TYPE OF UNIT:		HEIGHT: (MAX 54')	SIZE: (SF)
2 BEDROOM (MIN. 900 SF)	NUMBER OF UNITS:	52'	3,987
3 BEDROOM (MIN. 1,250 SF)	6	52'	3,456-3,442
4 BEDROOM (MIN. 1,500 SF)	1	52'	4,039
BUILDING SQUARE FOOTAGE			
		PROVIDED:	
TOTAL AREA (SF)	35,007		100%
GROSS UNIT SF	29,144		83%
COVERED PARKING GARAGE	5,883		17%
FAR CALCULATION			
29,386 (TOTAL FLOOR AREA & COVERED PARKING) / 15,207 (LOT SIZE) = 1.93			
STREET TREES			
RATIO:		REQUIRED	PROVIDED
REQUIRED	1 TREE PER 30 LINEAR FEET	8	8
LOT SIZES			
CODE REQUIREMENT:		PROVIDED:	
LOT SIZE	2,000 SF MINIMUM	14,479 SF	
LOT WIDTH	20' MINIMUM	122.26'	
LOT DEPTH	NA	124.96'	
LOT COVERAGE	NA	70.0%	
BUILDING SETBACKS PER LDR SECTION 4.4.13(D)(2) AND TABLE 4.4.13(C)			
REQUIRED:		PROVIDED:	
FRONT 1ST TO 3RD STORIES	10'	10'	
FRONT ABOVE 3RD STORY	20'	20'	
SIDE INTERIOR	5'	10'	
SIDE STREET 1ST TO 3RD STORIES	10'	10'	
SIDE STREET ABOVE 3RD STORY	20'	20'	
REAR 1ST TO 3RD STORIES	10'	10'	
REAR ABOVE 3RD STORY	20'	20'	
WAIVERS TABLE			
CODE SECTION		REQUIRED	PROVIDED
4.6.9(D)(4)	STACKING DISTANCE FROM R/W	100'	10'

WORKING WITH NEXT EARTH DESIGN TO ACHIEVE THE NGBS GREEN BUILDING CERTIFICATION, BRONZE LEVEL CERTIFICATION - TEAM MEMBER ROBERT CANNELLOS, LEED AP, IS QUALIFIED TO ASSIST

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

Kimley»Horn

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PHONE: 561-840-0848
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Bradley A. Younts, PE State of Florida, Professional Engineer, License No. 91991

This item has been digitally signed and sealed by Bradley A. Younts, PE on 01/21/2025. Printed Copies of this document are not considered signed and the signature must be verified on any electronic copies.

KHA PROJECT 24174000

DATE JAN 2025

SCALE AS SHOWN

DESIGNED BY BAY

DRAWN BY RAC

CHECKED BY BAY

102 SE 5TH AVE TOWNHOMES

PREPARED FOR MUGDOCK DEVELOPMENT, LLC

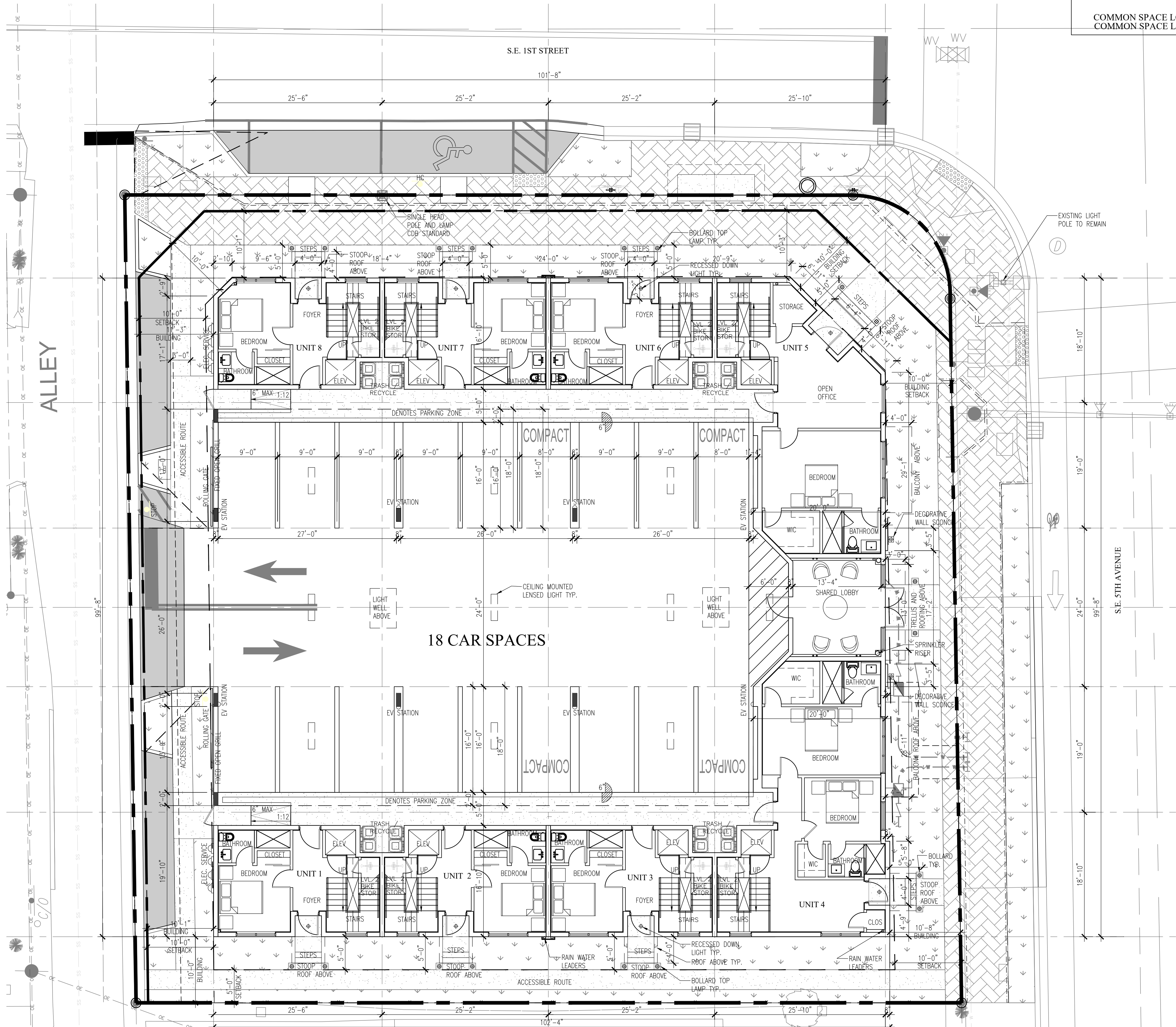
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SHEET NUMBER C100

REVISIONS

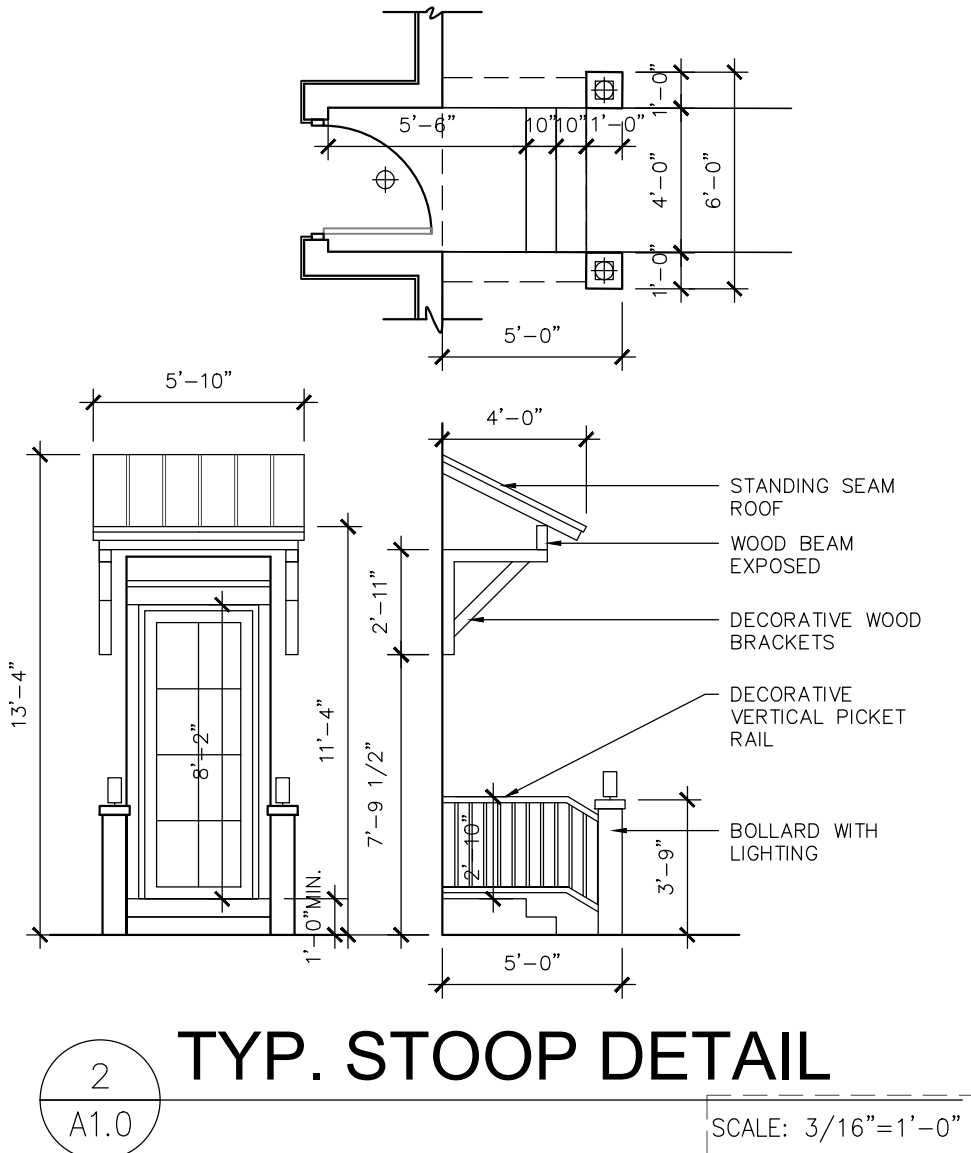
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BY



GROSS TOTALS		A/C TOTALS		UNIT 1		
	3,417		2,804	A/C		
4 X 3,555=	14,220	4 X 2,952=	11,808	1ST	403	
	4,039		3,336	2ND	964	306 PATIO
	3,987		3,000	3RD	964	
	3,403		2,794	4TH	473	307 ROOF GARDEN
	29,066 GROSS SF		23,742 A/C SF		2,804 SF	
COMMON SPACE LOWER LEVEL 219 SF A/C					613 SF	
COMMON SPACE LOWER LEVEL 5,644 SF				GROSS	3,417 SF	
UNIT 2,3,6,7						
				A/C		
1ST	397			1ST	397	
2ND	952	302		2ND	952	302 PATIO
3RD	952			3RD	952	
4TH	651	301		4TH	473	301 ROOF GARDEN
	2,952 SF				2,952 SF	
	603 SF			GROSS	3,555 SF	
UNIT 4						
				A/C		
1ST	889			1ST	889	
2ND	987	302+39		2ND	987	302+39 BALCONY + PATIO
3RD	987	39		3RD	987	39
4TH	473	323		4TH	473	323 ROOF GARDEN
	3,336 SF				3,336 SF	
	703 SF			GROSS	4,039 SF	
UNIT 5						
				A/C		
1ST	777			1ST	777	
2ND	875	302+39+31		2ND	875	302+39+31 BALCONY + PATIO+PLANTER
3RD	875	302+39+31		3RD	875	302+39+31 BALCONY + PATIO+PLANTER
4TH	473	212+31		4TH	473	212+31 ROOF GARDEN
	3,000 SF				3,000 SF	
	987 SF			GROSS	3,987 SF	
UNIT 8						
				A/C		
1ST	399			1ST	399	
2ND	961	306		2ND	961	306 PATIO
3RD	961			3RD	961	
4TH	473	303		4TH	473	303 ROOF GARDEN
	2,794 SF				2,794 SF	
	609 SF			GROSS	3,403 SF	

Table 4.4.13(F) Dimensional Requirements for Stoops			
		Minimum	Maximum
A	Building Setback	10 ft.	15 ft.
B	Depth	5 ft.	8 ft.
C	Width	4 ft.	-
D	Floor Elevation	1 ft.	4 ft.
Allowable Encroachment ¹		-	5 feet
¹ May not encroach into the curb zone or pedestrian clear zone (See Section 4.4.1.3(F)(2))			



GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

REVISIONS	
1. REV PER 11-15-24 TAC COMMENTS	
2. REV PER 1-13-25 TAC COMMENTS	
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MUGDOCK DEVELOPMENT

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3000 NORTH MILITARY TRAIL, SUITE 209
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PHONE 561-391-0081 FAX 561-391-0085
EMAIL mail@rwb-arch.com

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PROJECT # 24-007
START DATE 03-01-24
SHEET #

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JUAN C. LINARES

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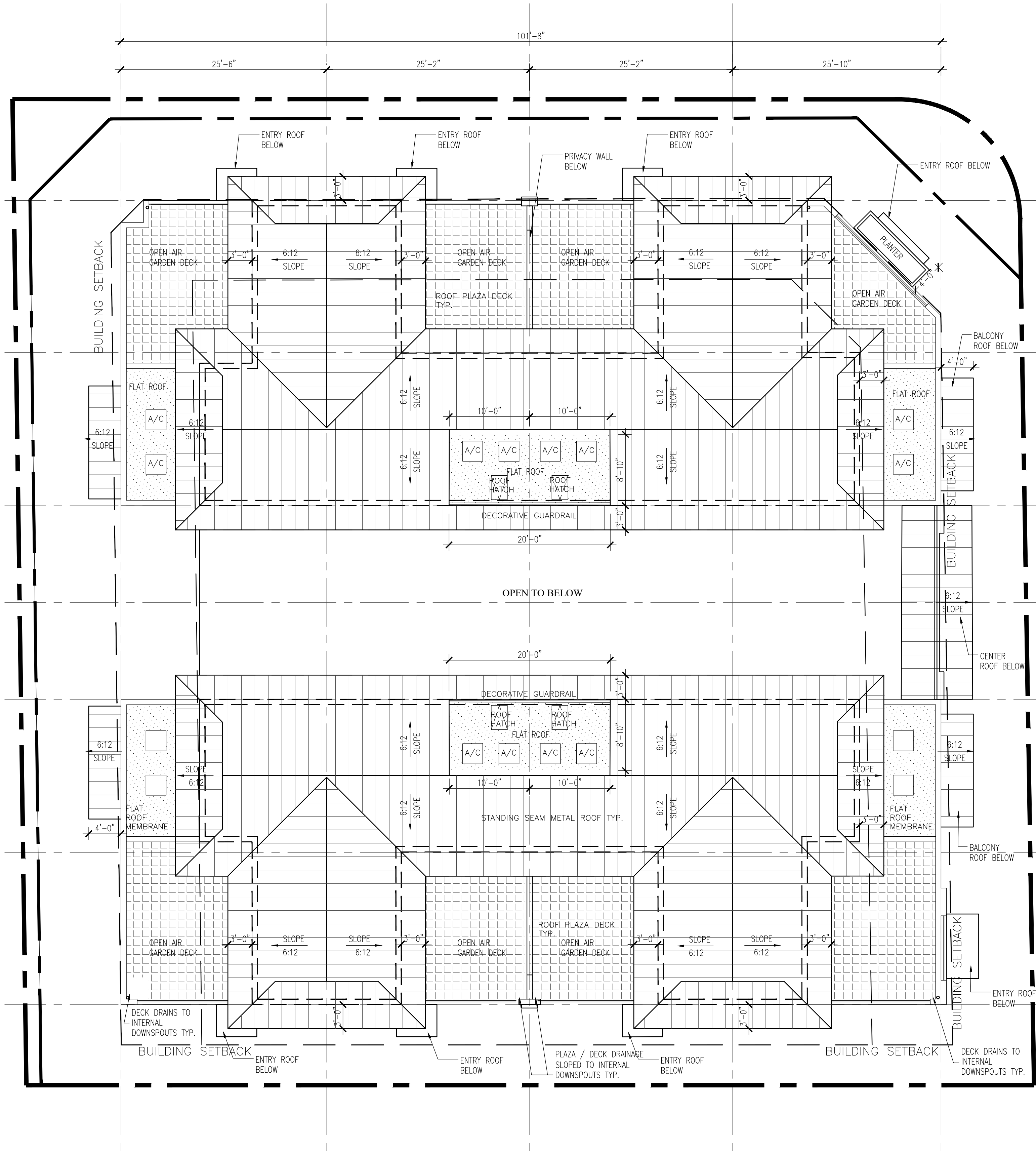
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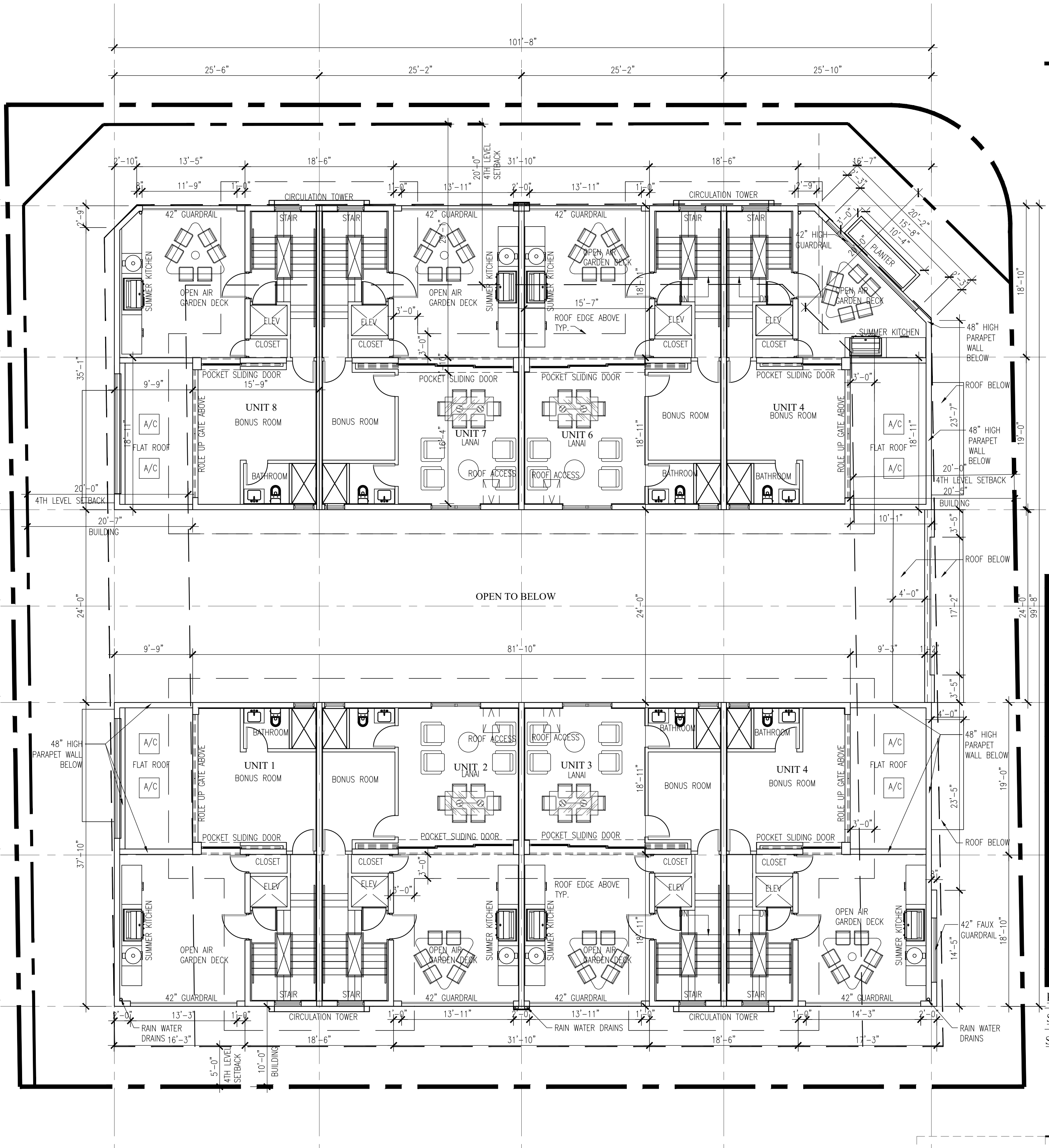
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A3.0

ROOF PLAN

SCALE: 1/8"=1'-0"



2
A3.0

FOURTH FLOOR PLAN

SCALE: 1/8"=1'-0"

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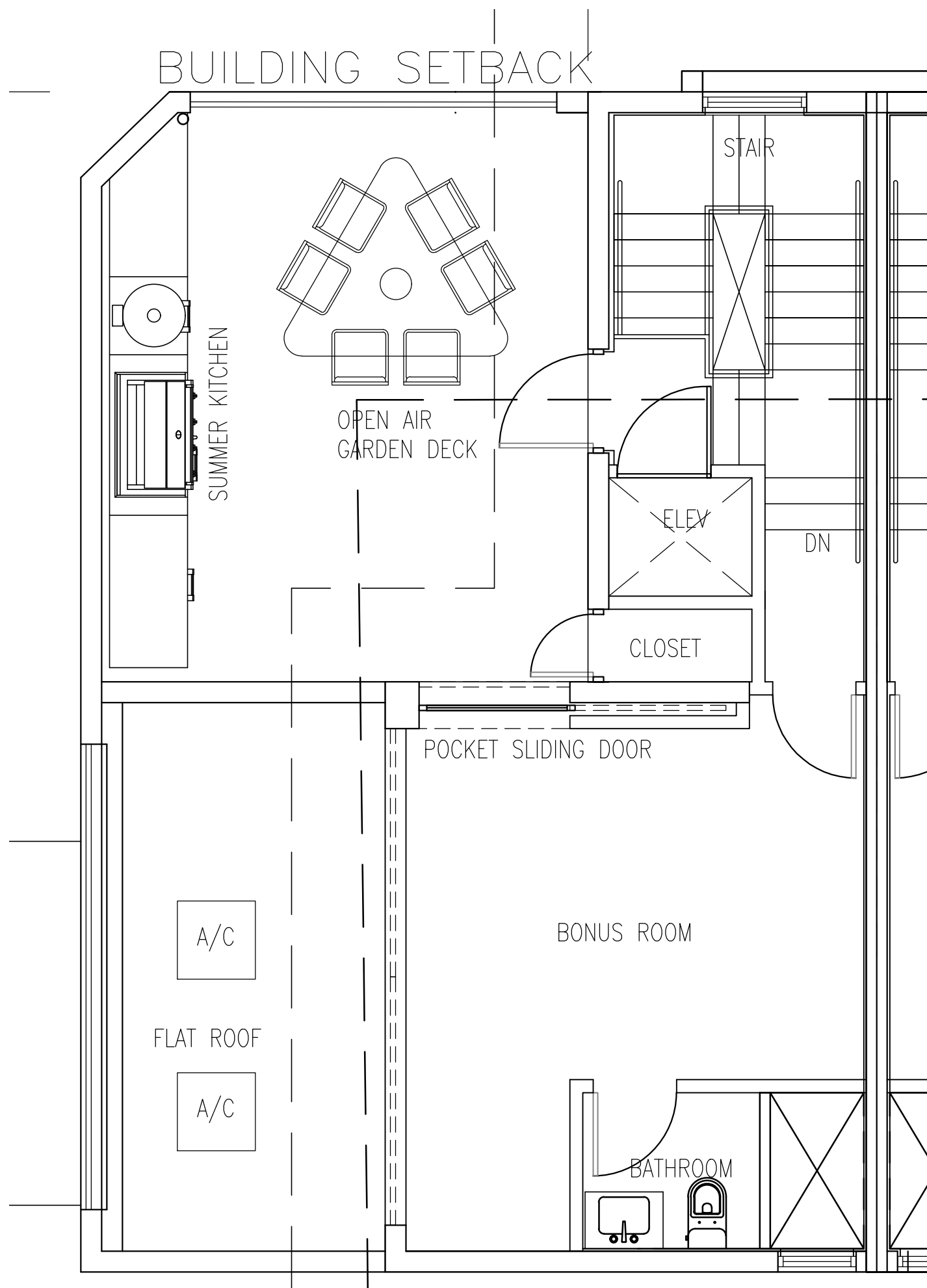
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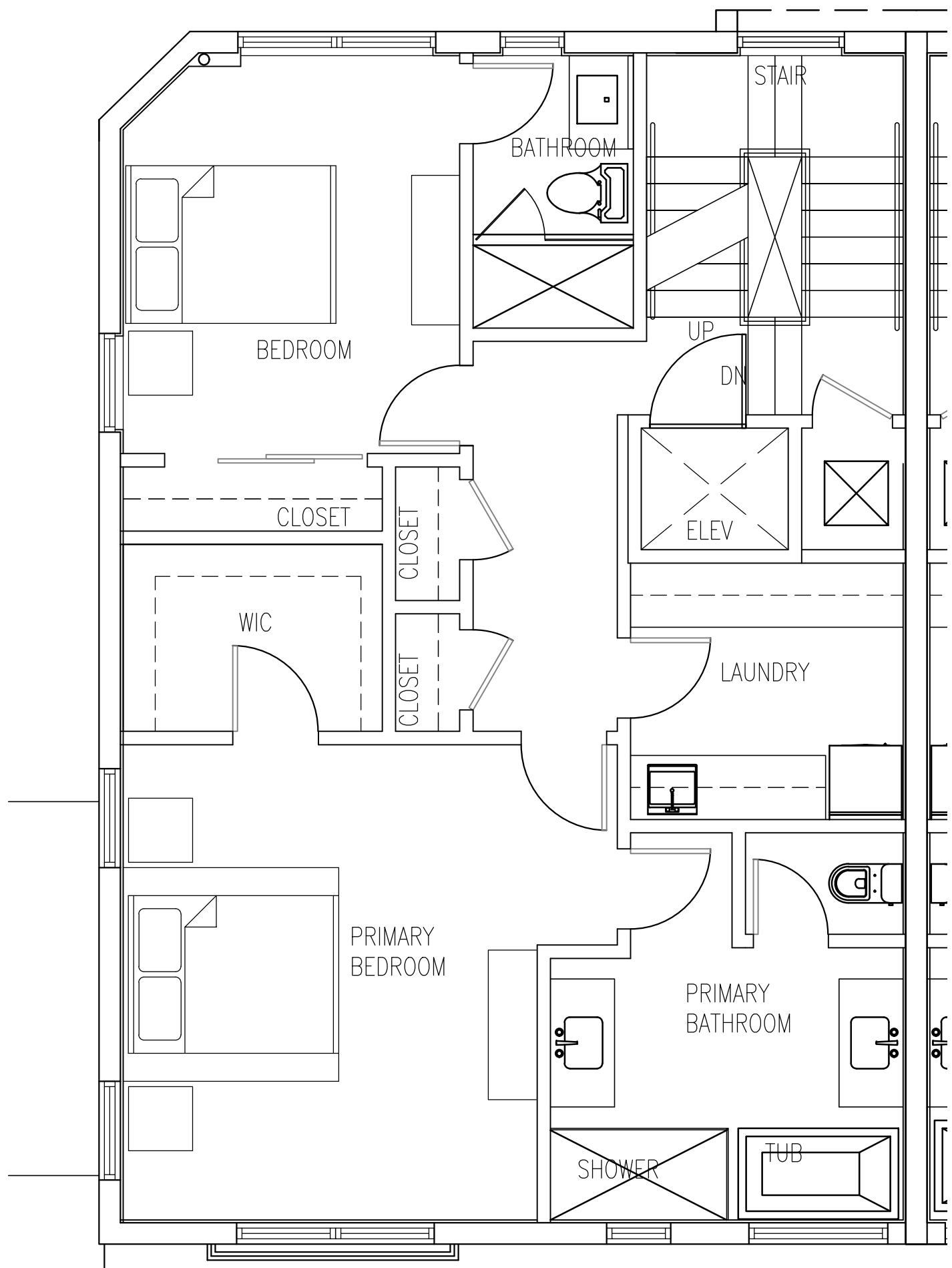
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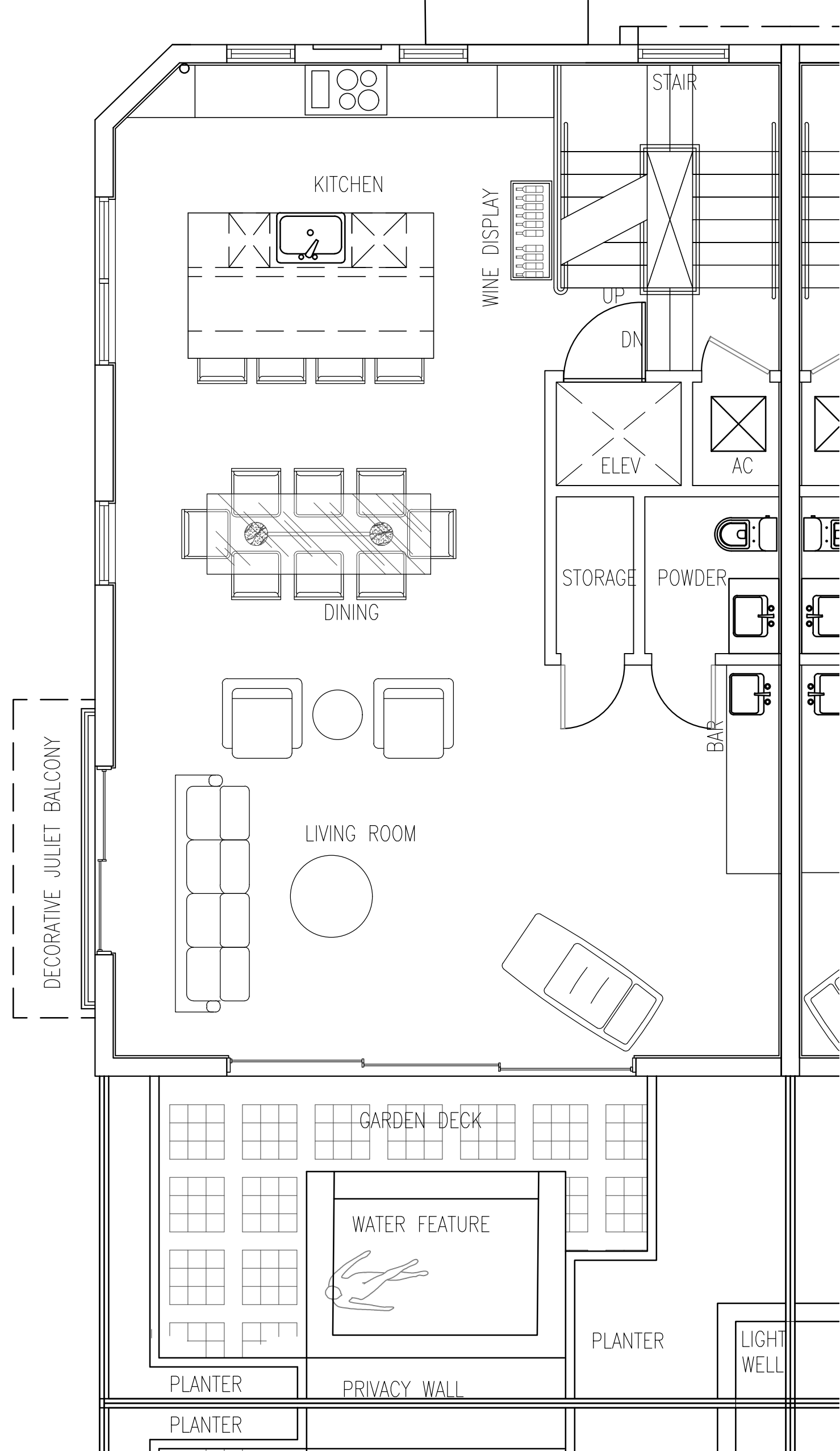
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A4.0 UNIT 8 SCALE: 1/4"=1'-0"

FOURTH FLOOR UNIT PLAN



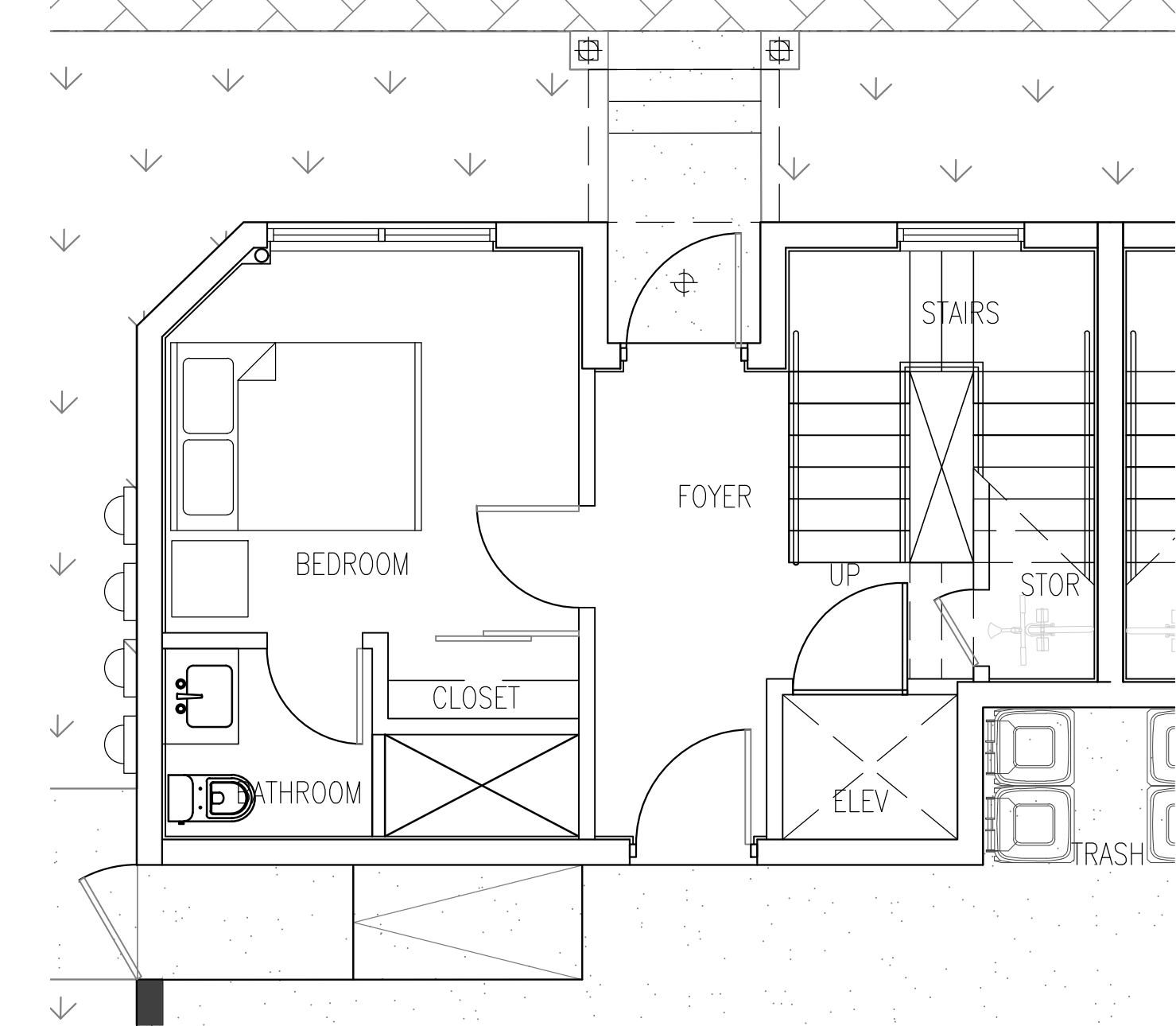
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A4.0 UNIT 8 SCALE: 1/4"=1'-0"

THIRD FLOOR UNIT PLAN



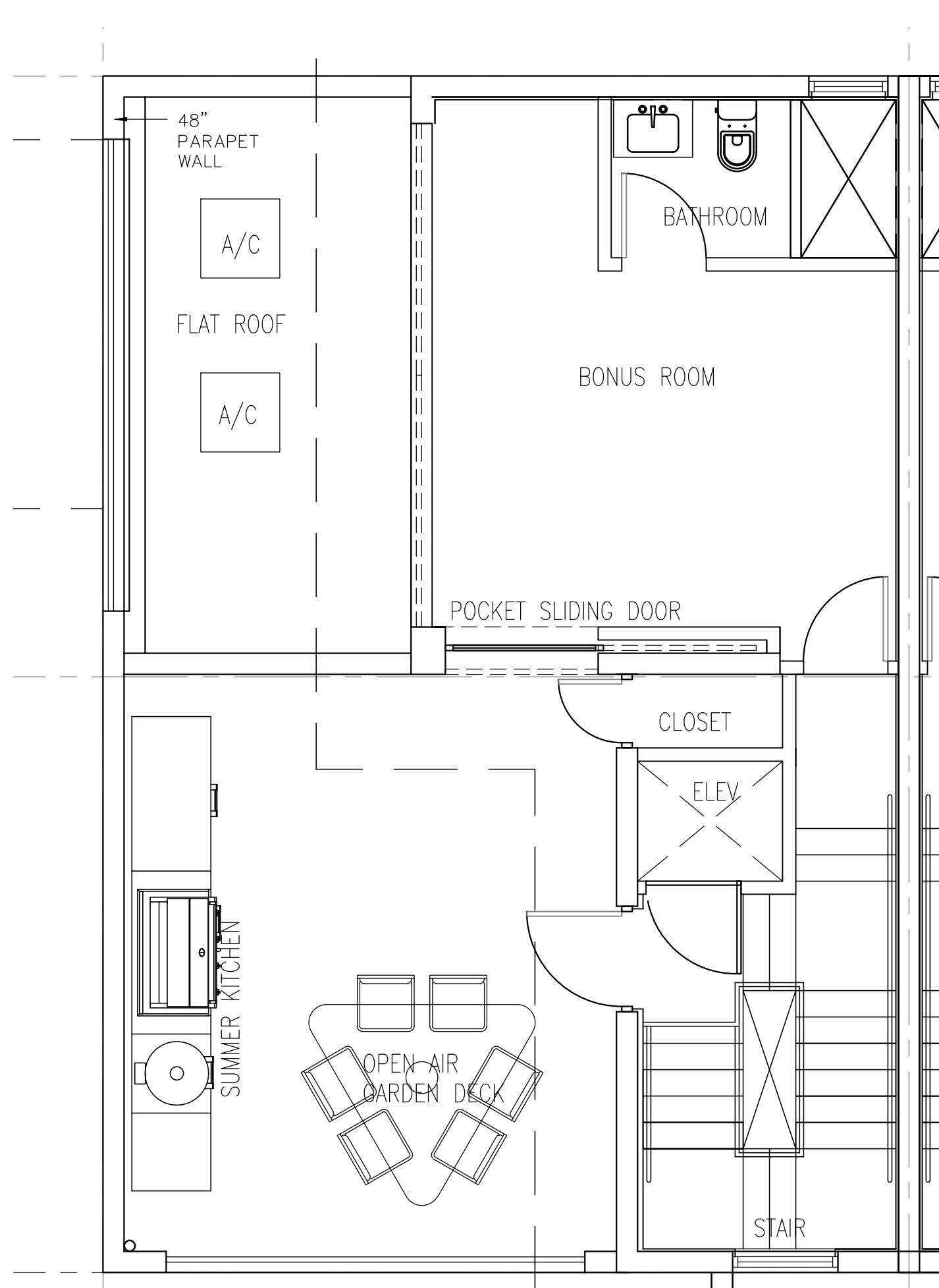
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A4.0 UNIT 8 SCALE: 1/4"=1'-0"

SECOND FLOOR UNIT PLAN



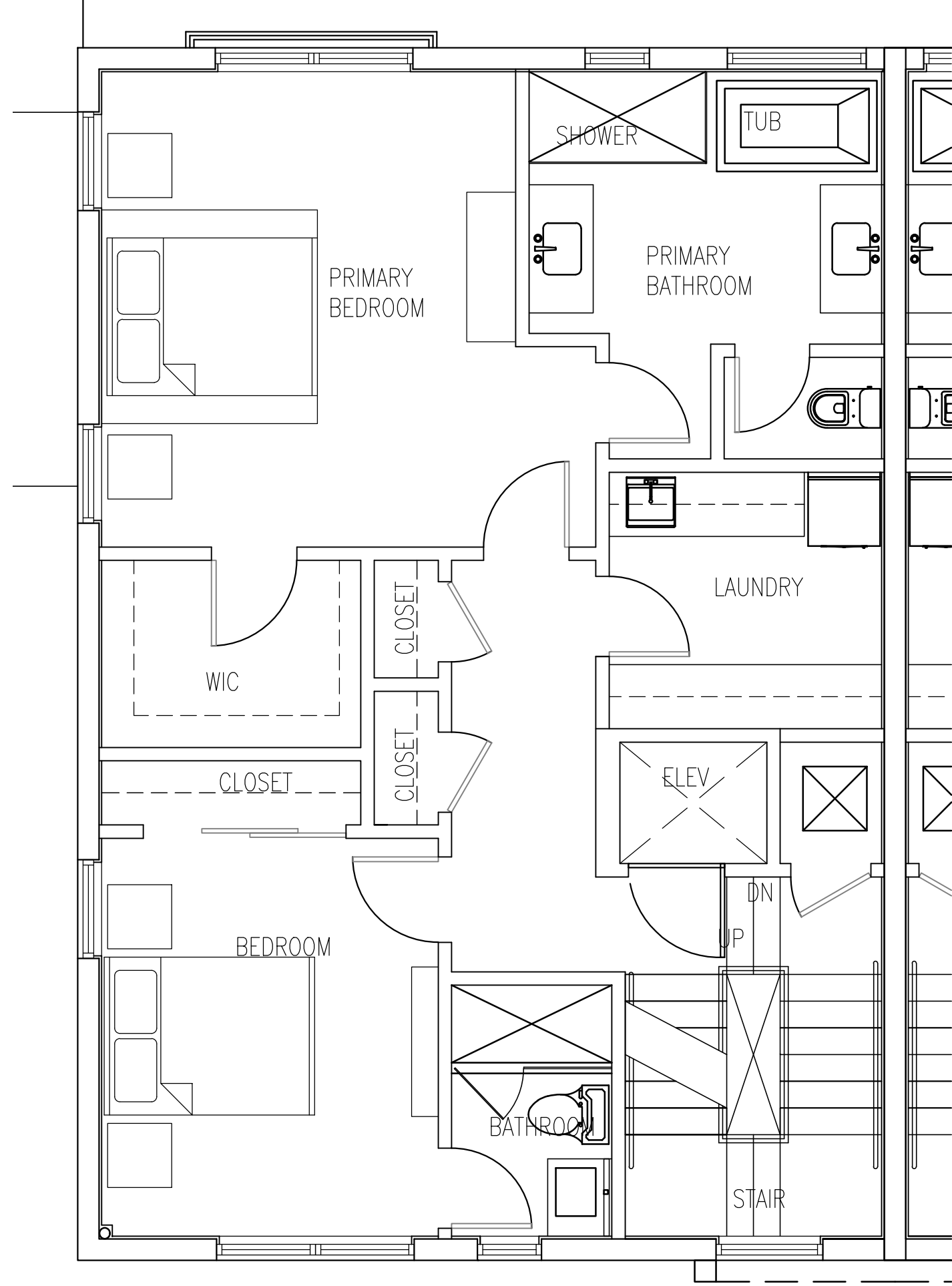
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A4.0 UNIT 8 SCALE: 1/4"=1'-0"

GROUND FLOOR UNIT PLAN



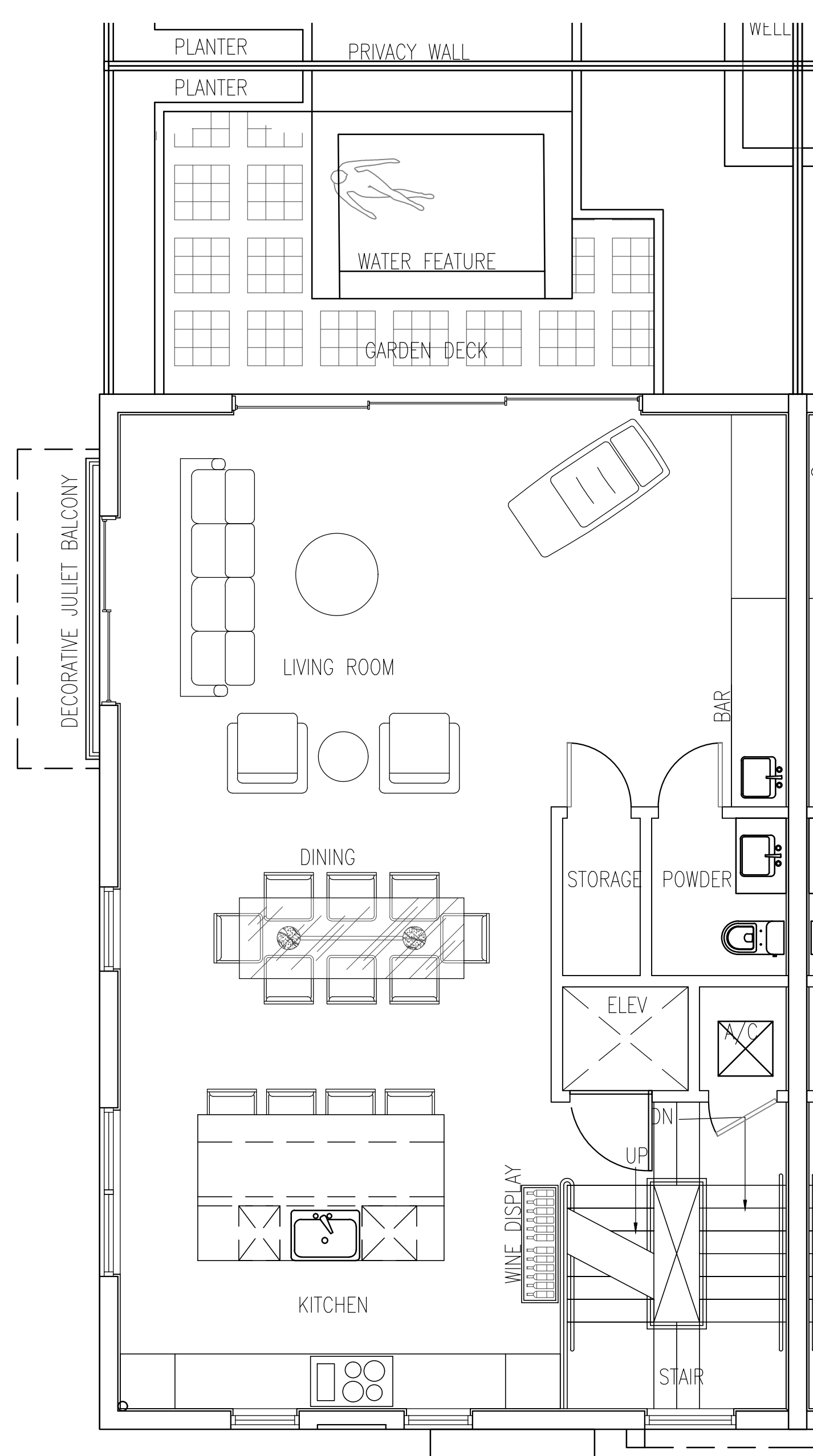
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A4.0 TYPICAL UNIT 1 SCALE: 1/4"=1'-0"

FOURTH FLOOR UNIT PLAN



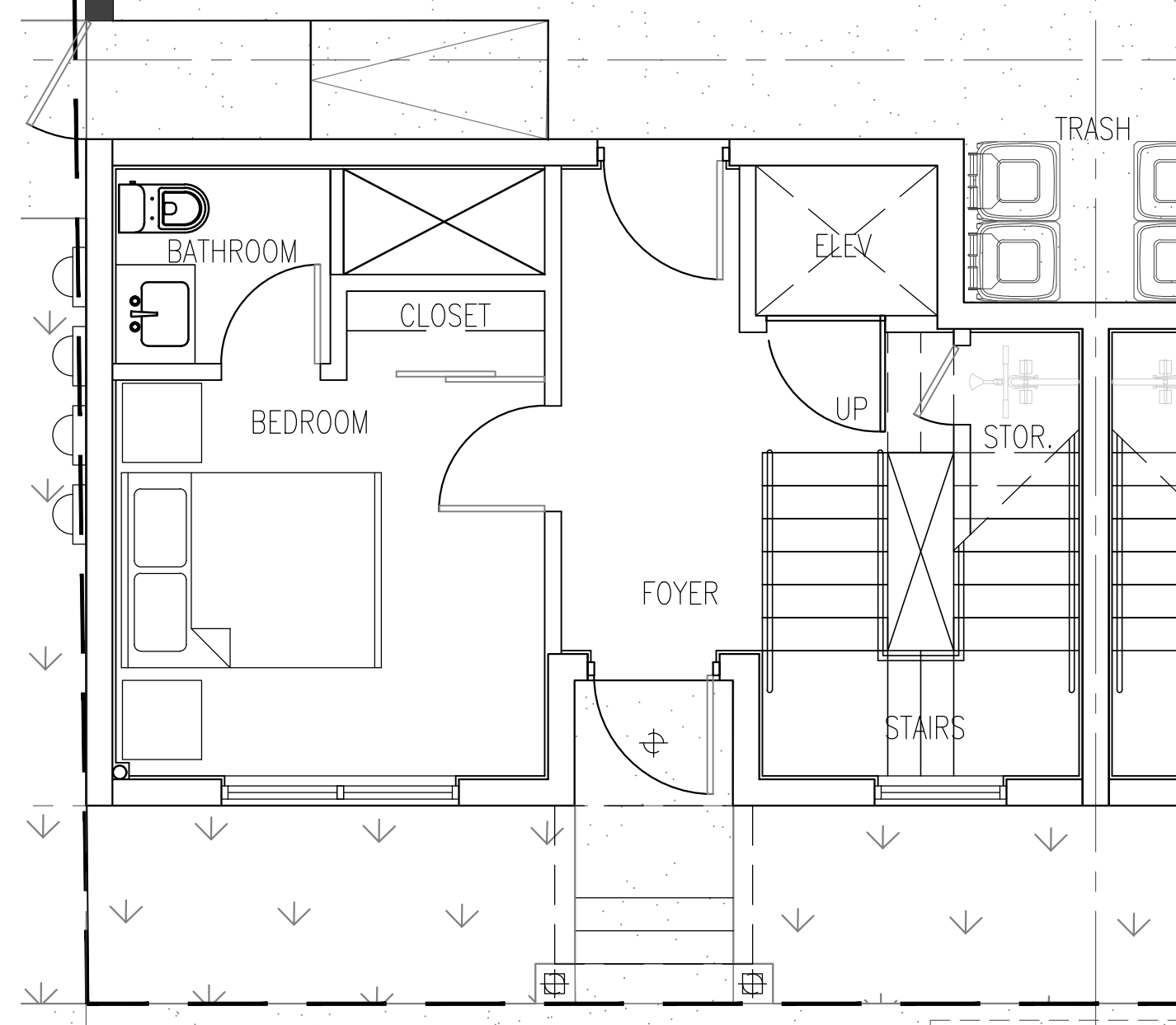
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A4.0 TYPICAL UNIT 1 SCALE: 1/4"=1'-0"

THIRD FLOOR UNIT PLAN



2
A4.0 TYPICAL UNIT 1 SCALE: 1/4"=1'-0"

SECOND FLOOR UNIT PLAN



1
A4.0 TYPICAL UNIT 1 SCALE: 1/4"=1'-0"

GROUND FLOOR UNIT PLAN

REVISIONS	
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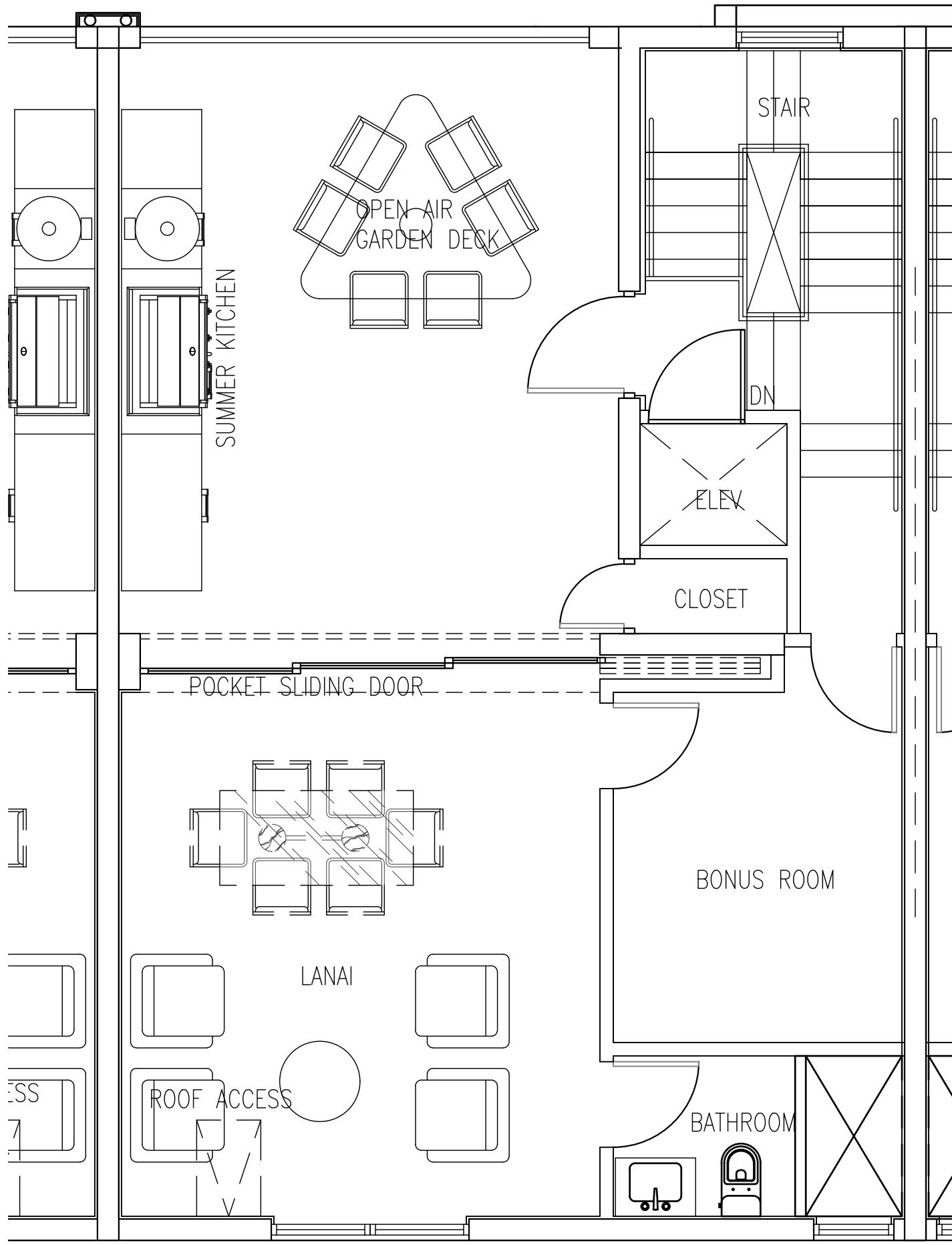
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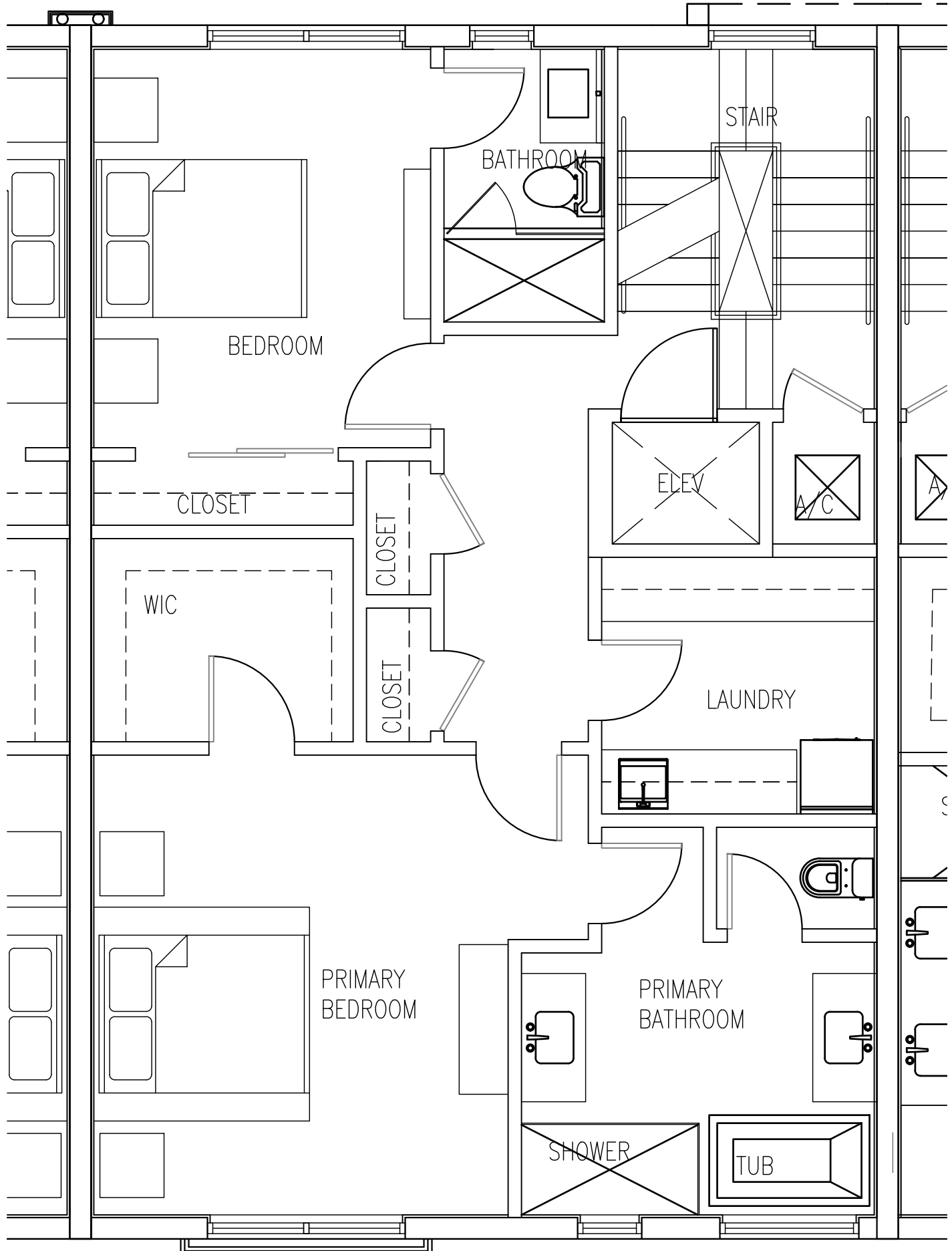
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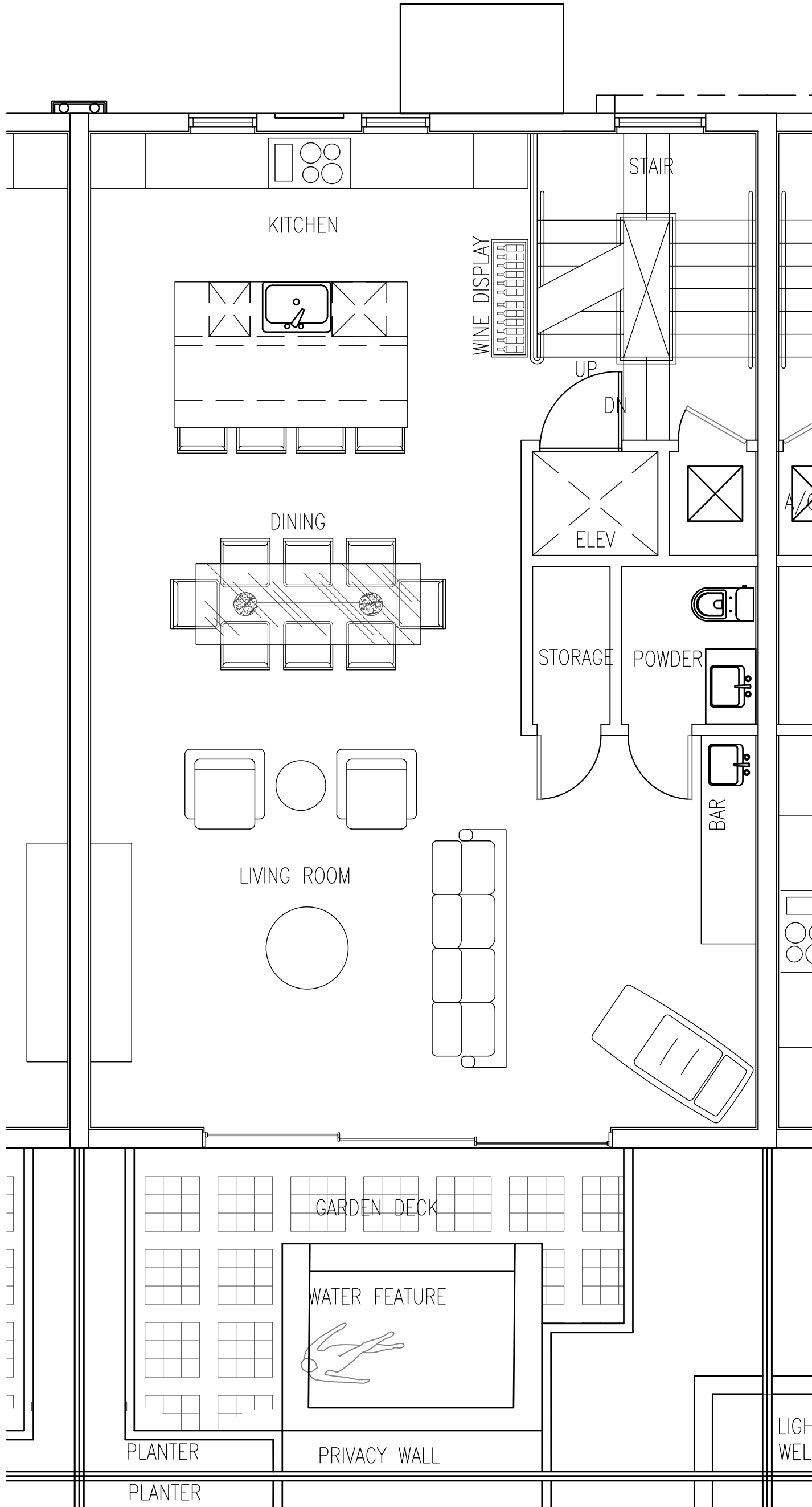
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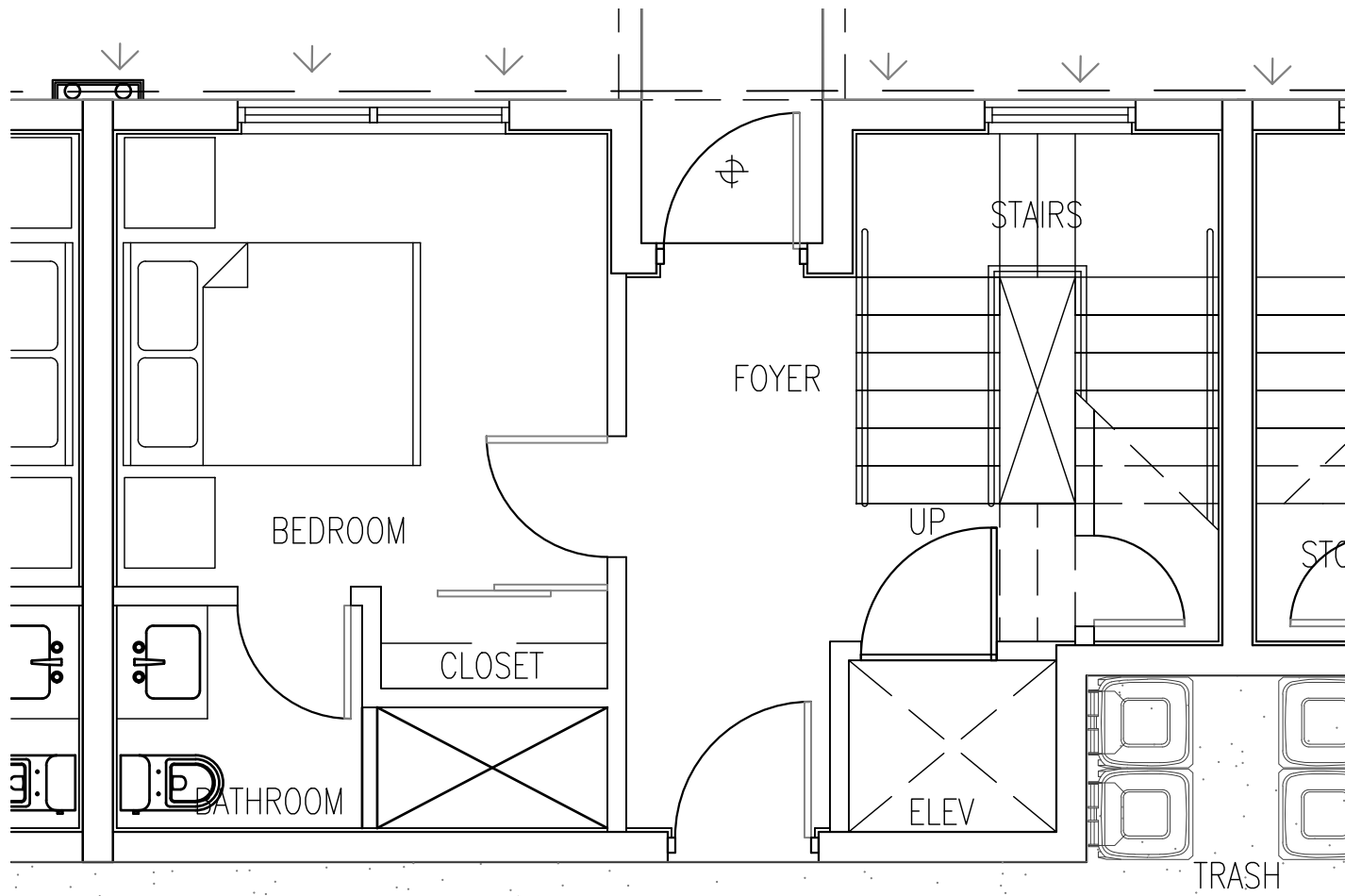
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A4.1
FOURTH FLOOR UNIT PLAN
TYPICAL UNIT 2,3,6,7
SCALE: 1/4"=1'-0"



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A4.1
THIRD FLOOR UNIT PLAN
TYPICAL UNIT 2,3,6,7
SCALE: 1/4"=1'-0"



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A4.1
SECOND FLOOR UNIT PLAN
TYPICAL UNIT 2,3,6,7
SCALE: 1/4"=1'-0"



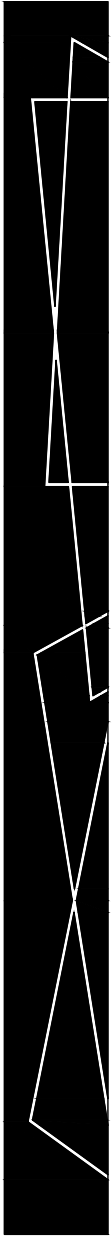
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A4.1
GROUND FLOOR UNIT PLAN
TYPICAL UNIT 2,3,6,7
SCALE: 1/4"=1'-0"

REVISIONS	
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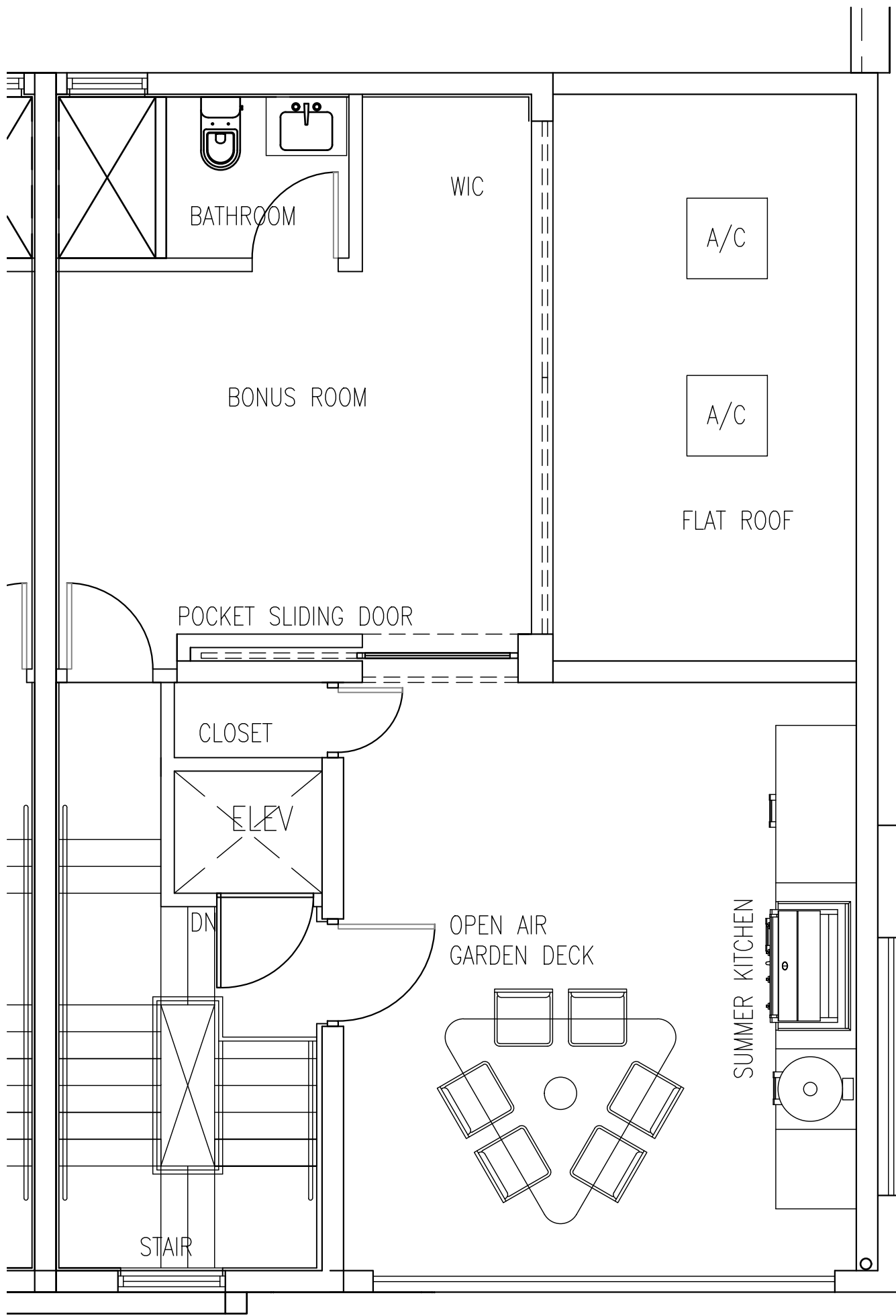
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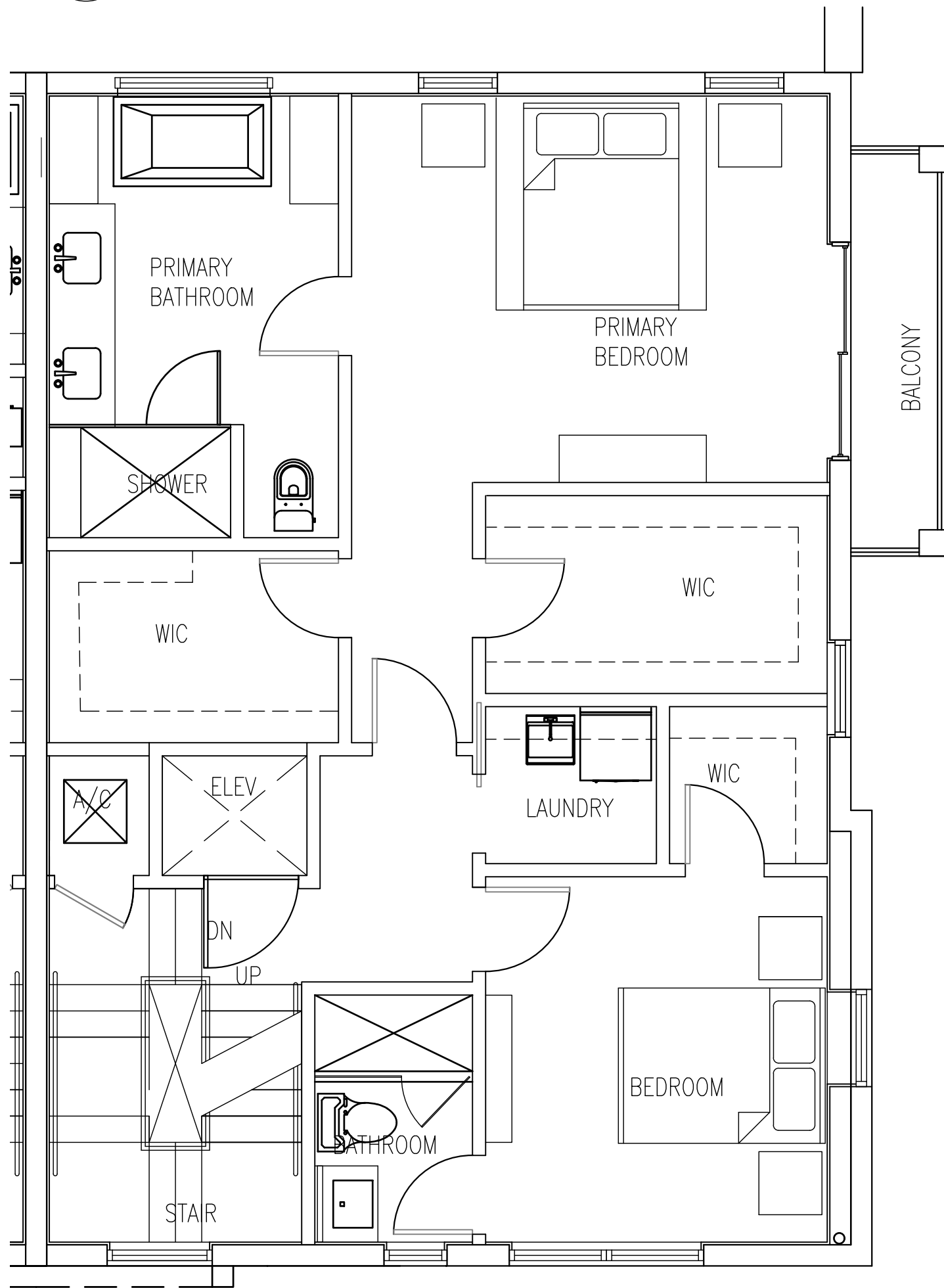
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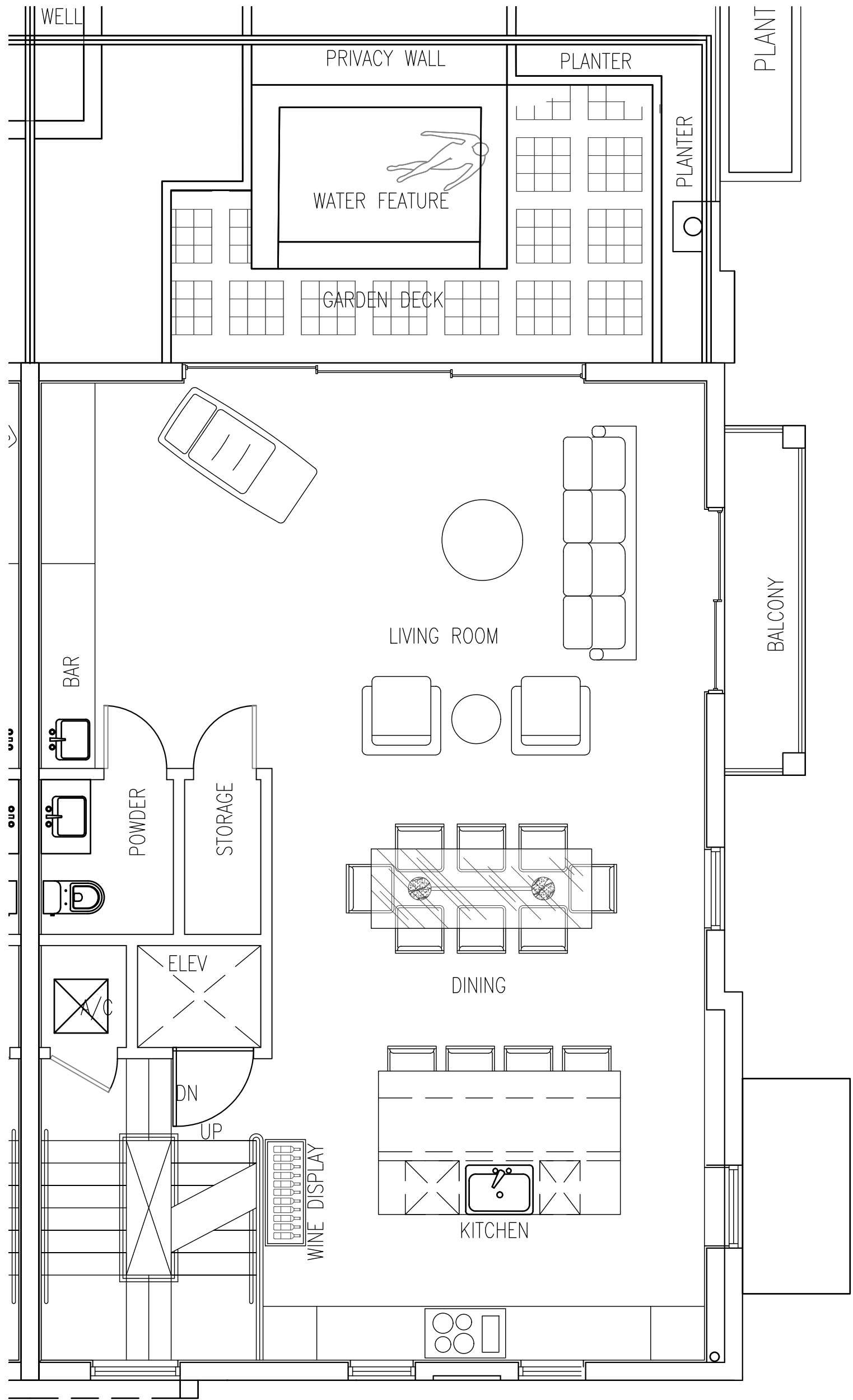
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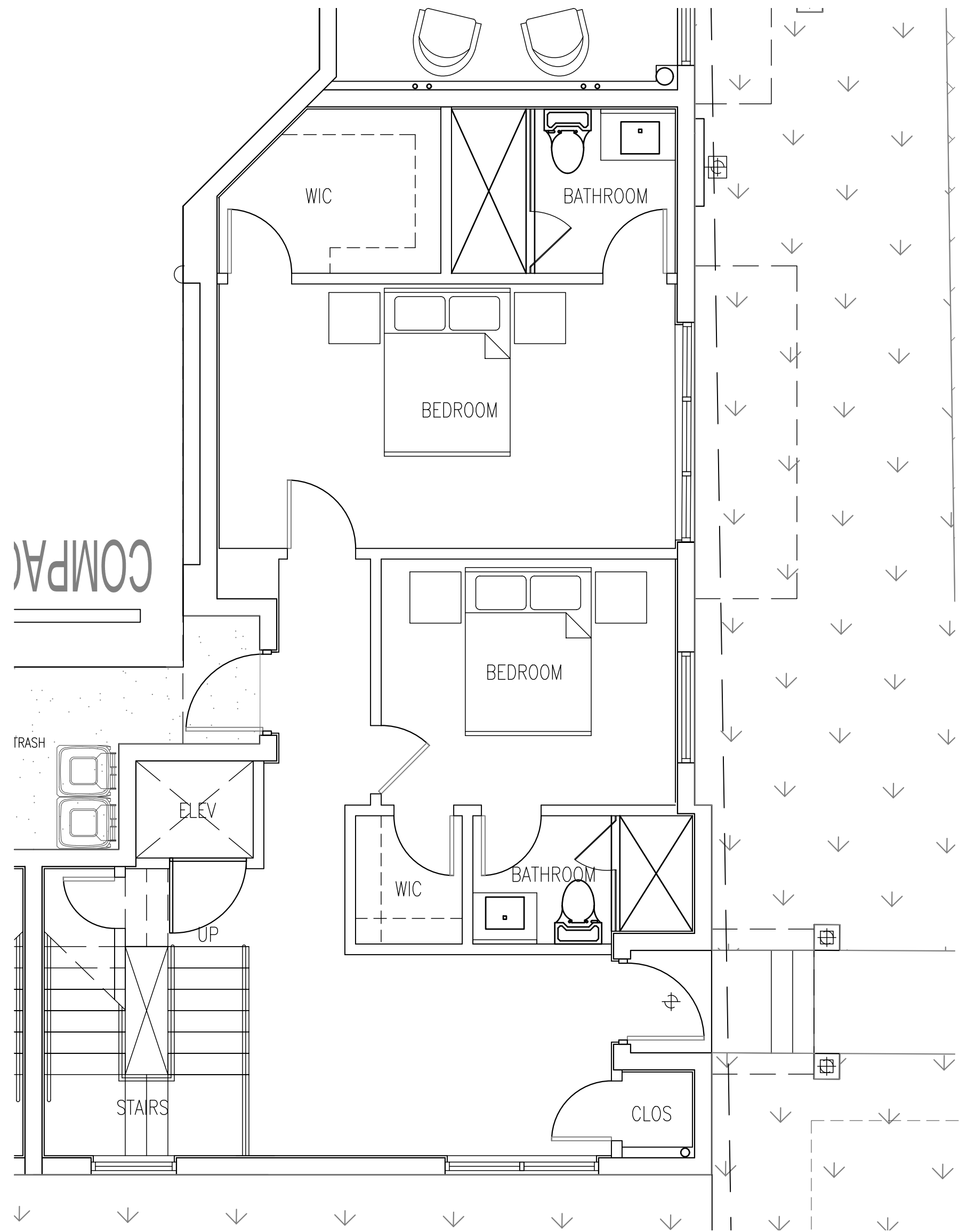
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A4.2 TYPICAL UNIT 4 SCALE: 1/8"=1'-0"



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A4.2 TYPICAL UNIT 4 SCALE: 1/8"=1'-0"



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A4.2 TYPICAL UNIT 4 SCALE: 1/8"=1'-0"



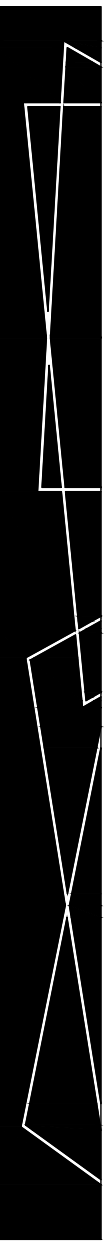
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A4.2 TYPICAL UNIT 4 SCALE: 1/8"=1'-0"

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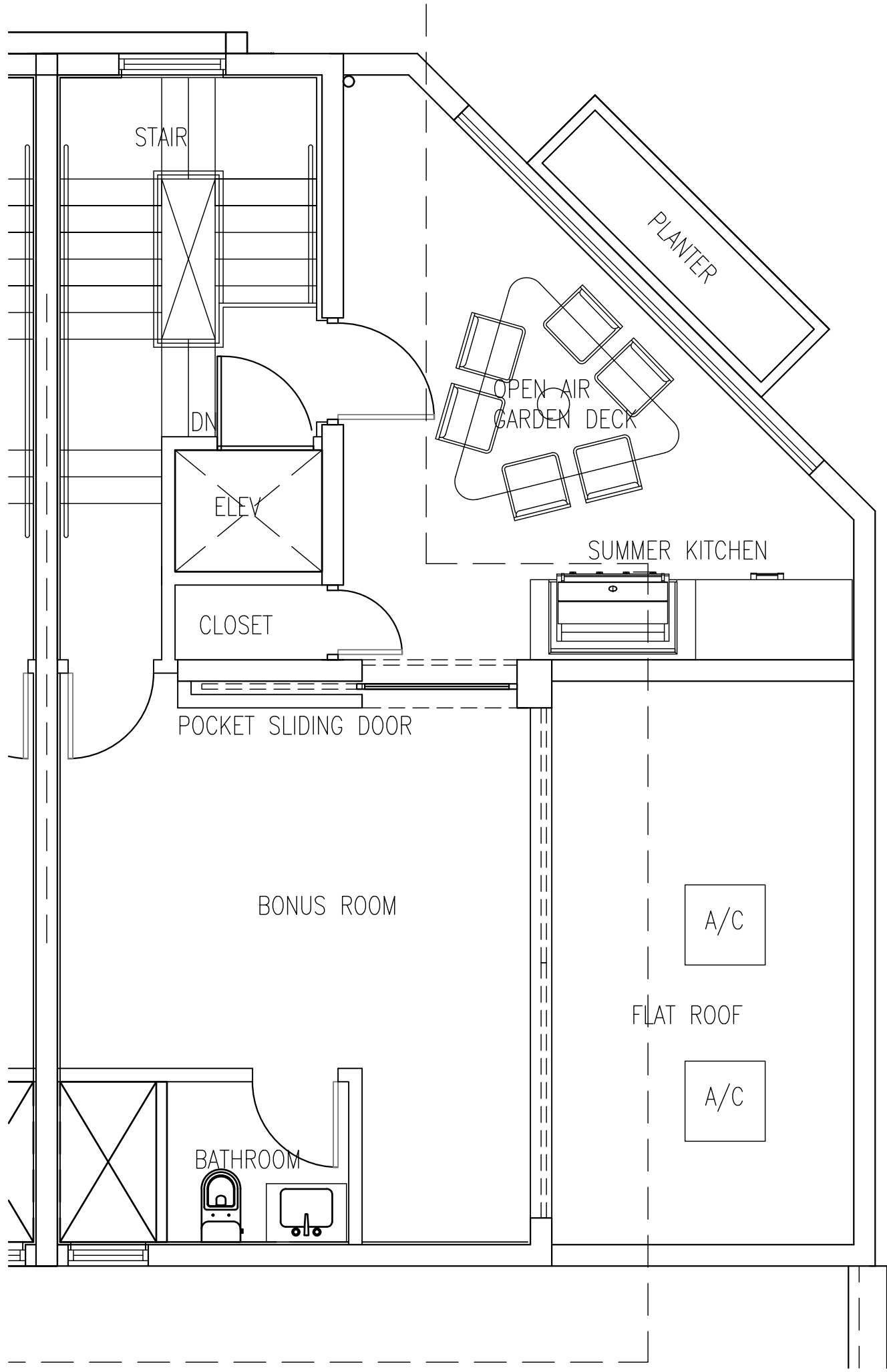
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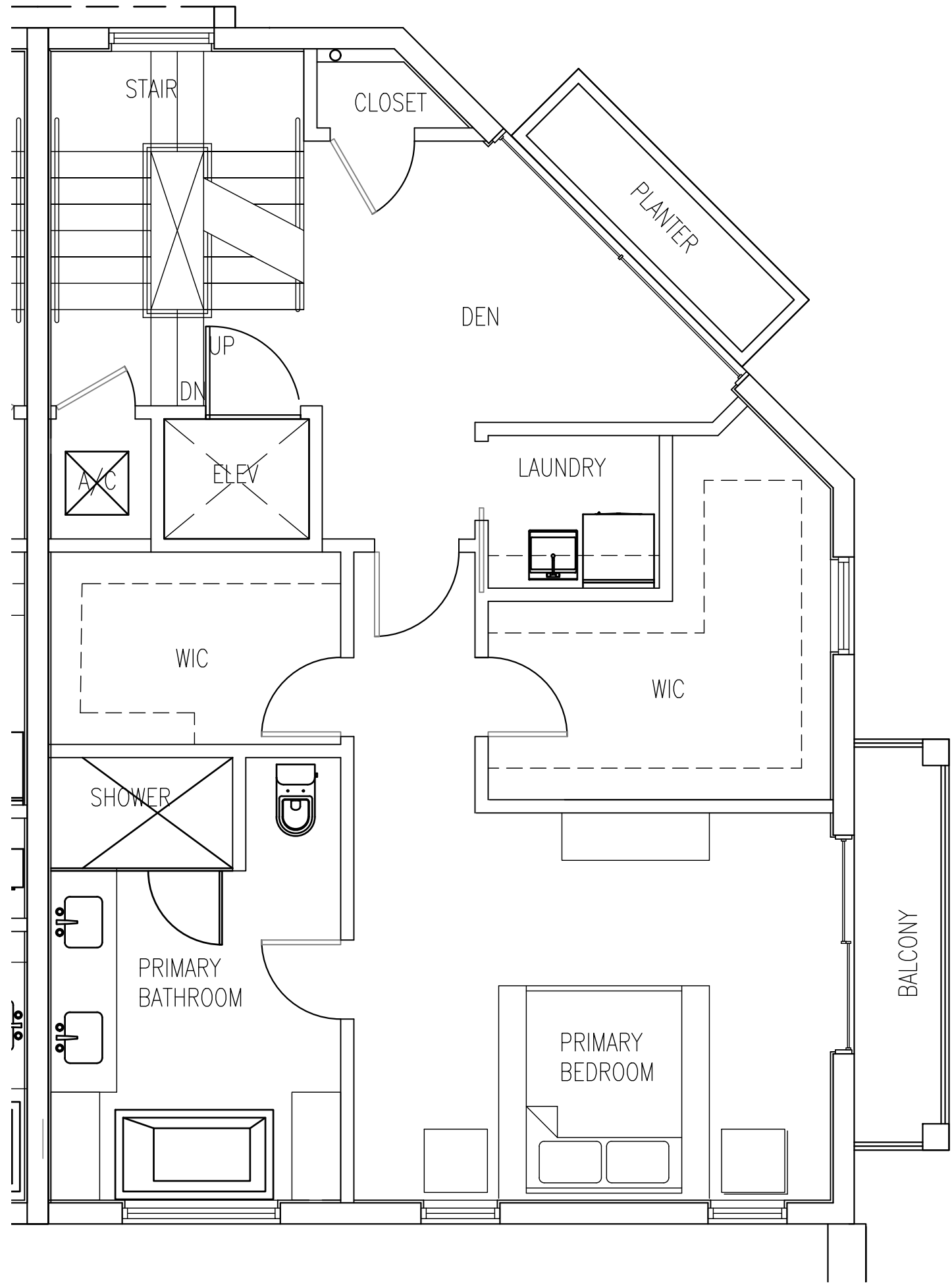
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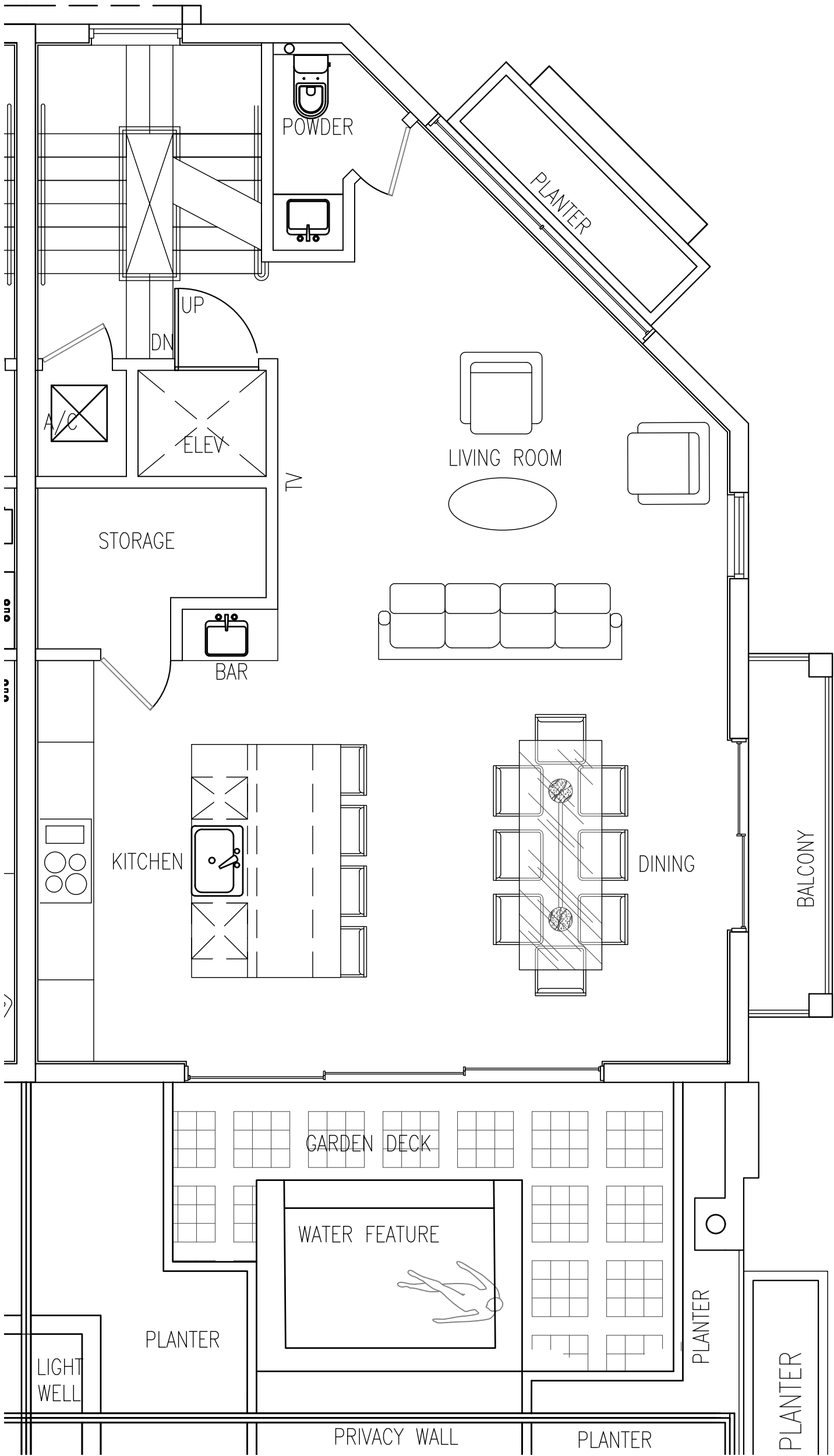
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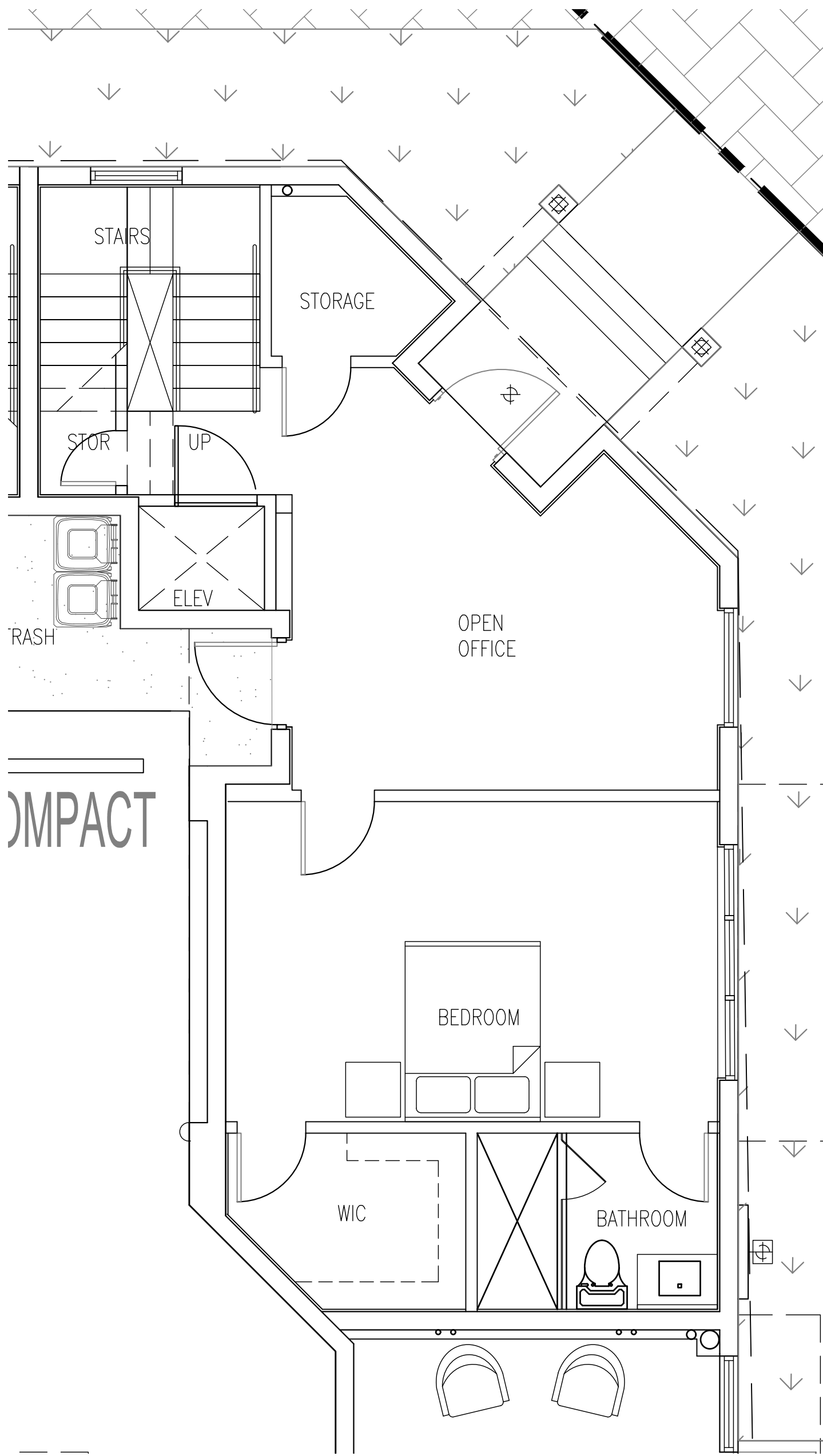
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A4.3 TYPICAL UNIT 5 SCALE: 1/8"=1'-0"



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A4.3 UNIT 5 SCALE: 1/8"=1'-0"



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A4.3 UNIT 5 SCALE: 1/8"=1'-0"



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A4.3 UNIT 5 SCALE: 1/8"=1'-0"

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SHEET #

A4.3

JUAN C. LINARES

AA26000640



1B
A5.0
FENESTRATION DIAGRAM
SCALE: 1/16"=1'-0"



1A
A5.0
ARTICULATION DIAGRAM
SCALE: 1/16"=1'-0"



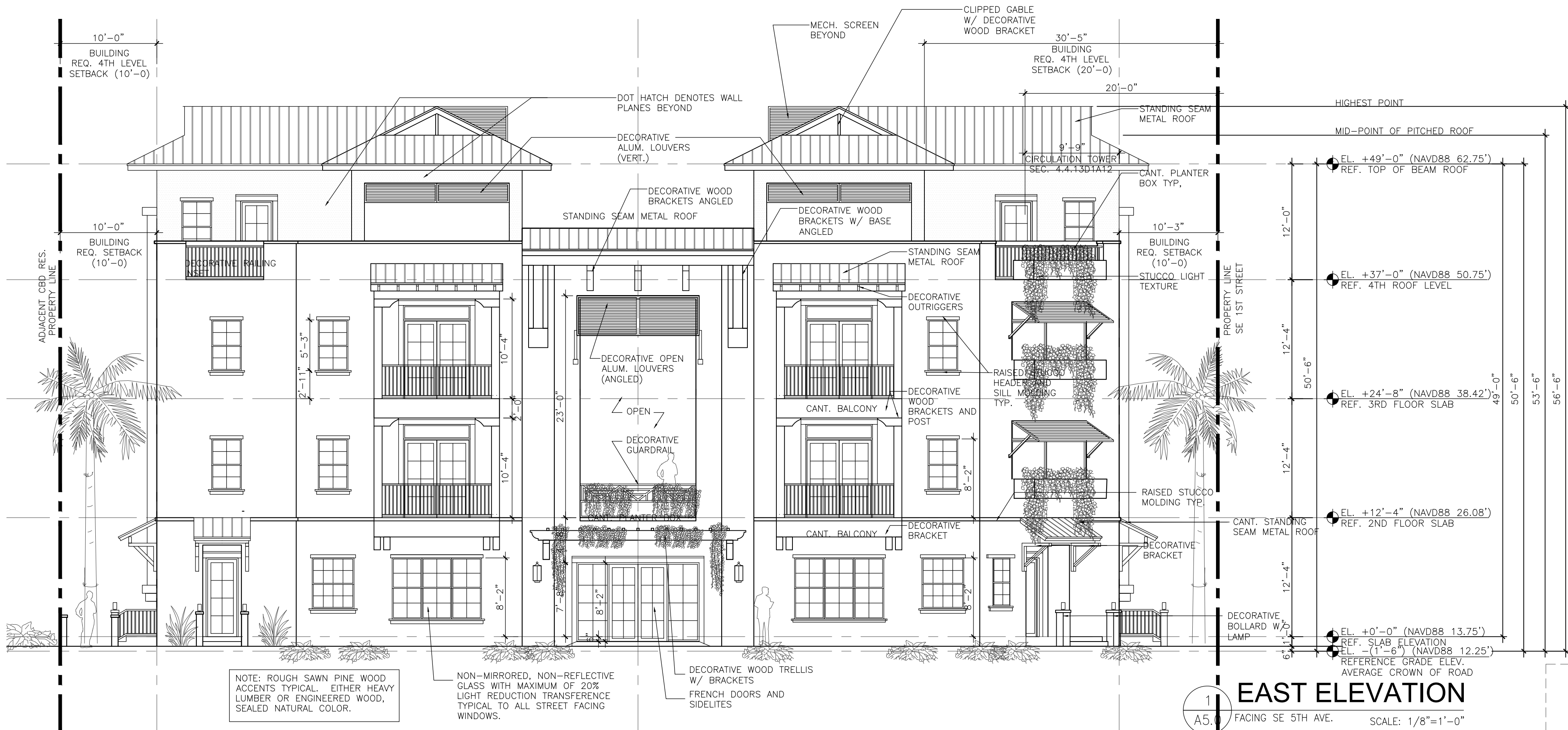
1B
A5.0
FENESTRATION DIAGRAM
SCALE: 1/16"=1'-0"



1A
A5.0
ARTICULATION DIAGRAM
SCALE: 1/16"=1'-0"



2
A5.0
NORTH ELEVATION
FACING SE 1ST STREET
SCALE: 1/8"=1'-0"



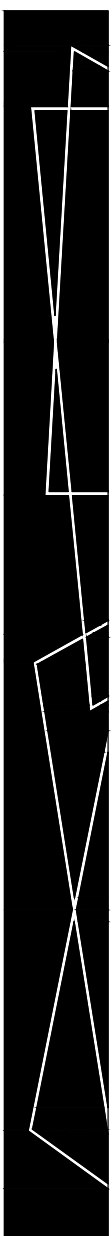
1
A5.0
EAST ELEVATION
FACING SE 5TH AVE.
SCALE: 1/8"=1'-0"

REVISIONS	
1.	REV PER 11-15-24 TAC COMMENTS
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MUGDOCK DEVELOPMENT

102 SE 5TH Avenue
Delray Beach Florida



3000 NORTH MILITARY TRAIL, SUITE 209
BOCA RATON, FLORIDA 33431
PHONE 561-391-0081 FAX 561-391-0085
EMAIL mail@rwb-arch.com

RWB
Linares
ARCHITECTURE

PROJECT # 24-007
START DATE 03-01-24
SHEET #

A5.0

JUAN C. LINARES

AA26000640



1 NORTH ELEVATION
A5.0 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A5.0 SCALE: 1/8"=1'-0"

BUILDING MATERIALS	
1	ROOF
ANODIZED STANDING SEAM METAL ROOF, SILVER COLOR	
2	WALLS
BM 2143-60 MOONLIGHT WHITE COLOR	
BM 2151-60 LINEN SAND COLOR	
3	FASCIA
BM 0C-152 SUPER WHITE COLOR	
4	TRIM
BM 2162-30 WARM TAN COLOR	
5	WINDOWS
GLASS GRAY COLOR	
ALUMINUM BRONZE FINISH	
6	SHUTTERS/AWNINGS
BM 2061-30 BERMUDA BLUE COLOR	
7	RAILINGS
ALUMINUM WHITE POWDER COAT	

REVISIONS
1. REV PER 11-15-24 TAC COMMENTS
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PROJECT # 24-007
START DATE 03-01-24
SHEET #

A5.0C

JUAN C. LINARES

AA26000640

REVISIONS	
1.	REV PER 11-15-24 TAC COMMENTS
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MUGDOCK DEVELOPMENT

102 SE 5TH Avenue
Delray Beach Florida



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



1 WEST ELEVATION
SCALE: 1/8"=1'-0"

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BOCA RATON, FLORIDA 33431
PHONE 561-391-0081 FAX 561-391-0085
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PROJECT # 24-007
START DATE 03-01-24
SHEET #

A5.1

JUAN C. LINARES

AA26000640



1 SOUTH ELEVATION
A5.0 SCALE: 1/8"=1'-0"



2 WEST ELEVATION
A5.0 SCALE: 1/8"=1'-0"

BUILDING MATERIALS	
1	ROOF
ANODIZED STANDING SEAM METAL ROOF, SILVER COLOR	
2	WALLS
BM 2143-60 MOONLIGHT WHITE COLOR	
BM 2151-60 LINEN SAND COLOR	
3	FASCIA
BM 0C-152 SUPER WHITE COLOR	
4	TRIM
BM 2162-30 WARM TAN COLOR	
5	WINDOWS
GLASS GRAY COLOR	
ALUMINUM BRONZE FINISH	
6	SHUTTERS/AWNINGS
BM 2061-30 BERMUDA BLUE COLOR	
7	RAILINGS
ALUMINUM WHITE POWDER COAT	

REVISIONS	
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Delray Beach Florida

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PHONE 561-391-0081 FAX 561-391-0085
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PROJECT # 24-007
START DATE 03-01-24
SHEET #

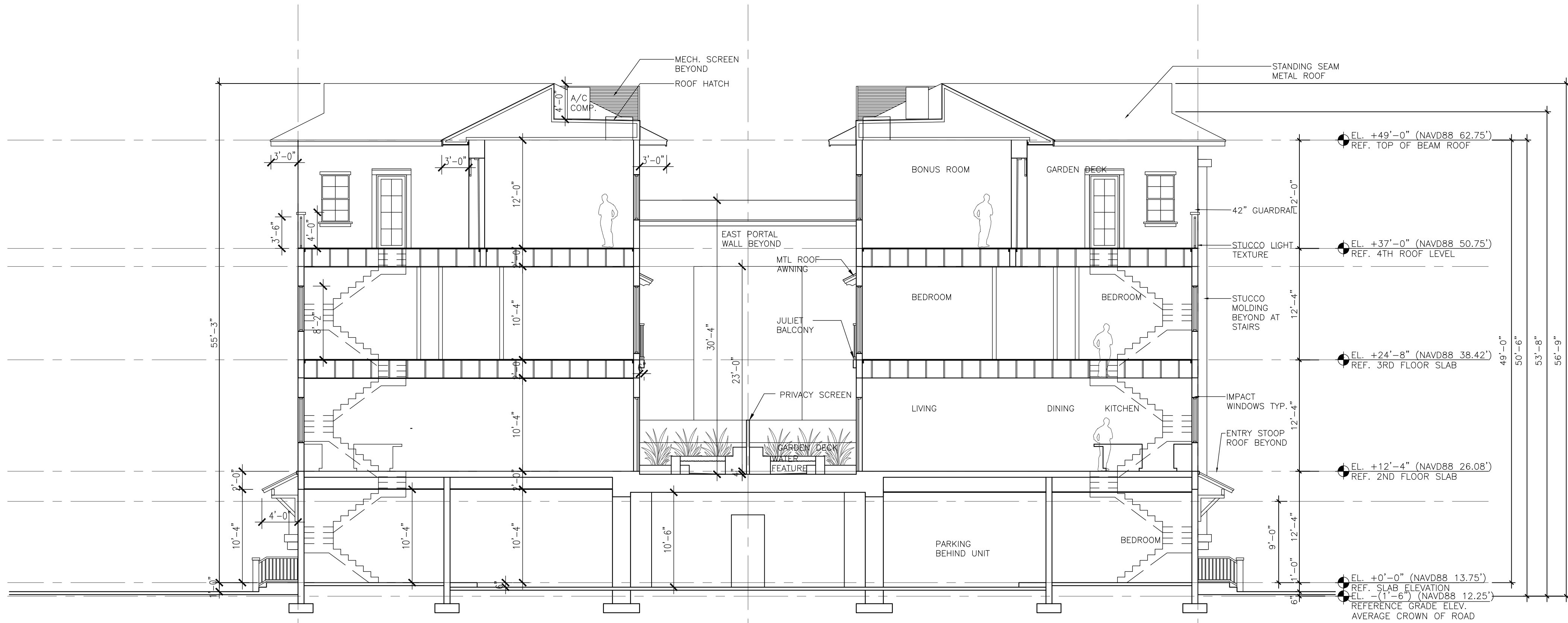
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JUAN C. LINARES

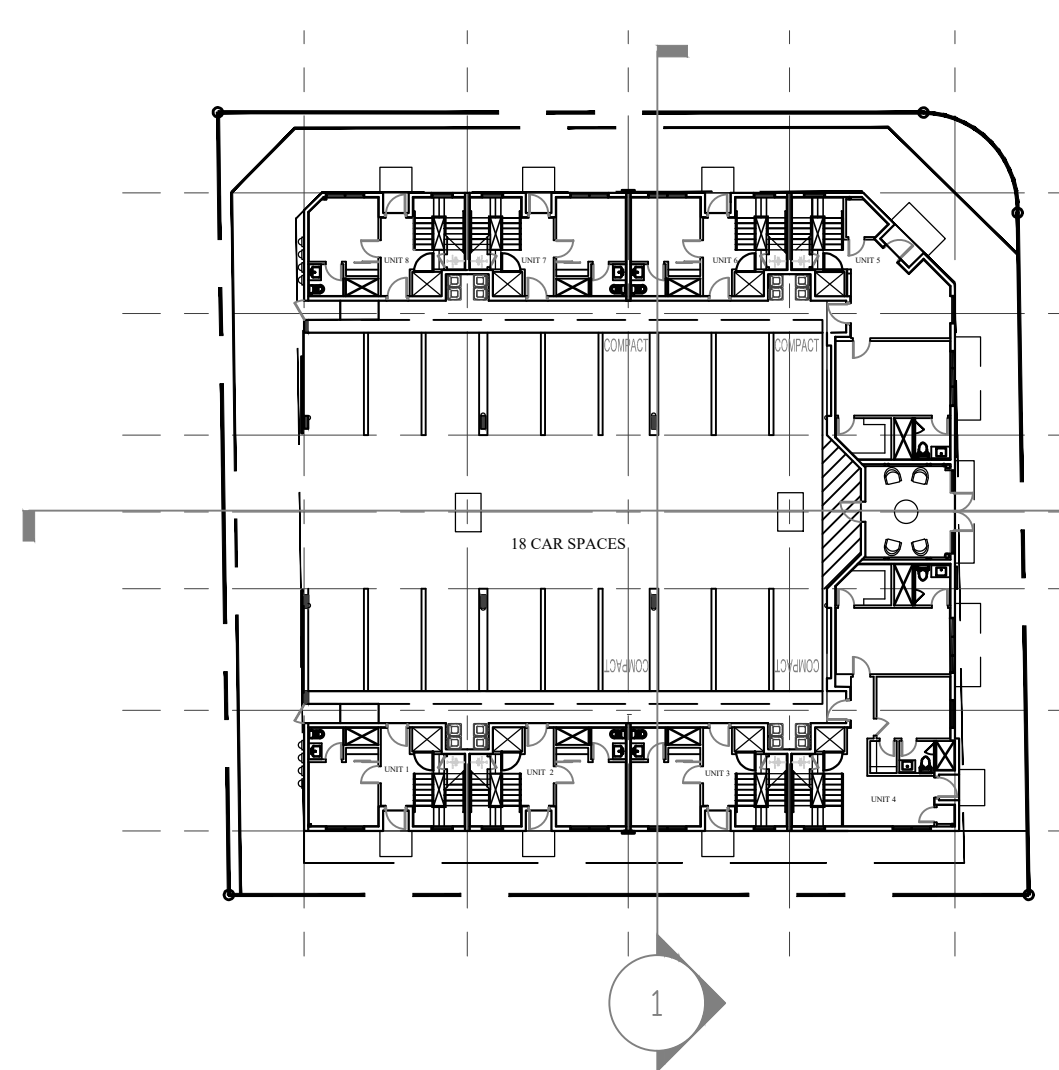
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2
A6.0
LONGITUDINAL SECTION
SCALE: 1/8"=1'-0"



1
A6.0
TRANSVERSE SECTION
SCALE: 1/8"=1'-0"



BUILDING KEY

SCALE: NTS

REVISIONS	
1.	REV PER 11-15-24 TAC COMMENTS
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PROJECT # 24-007
START DATE 03-01-24
SHEET #

A6.0

JUAN C. LINARES

AA26000640



EAST FACADE



SOUTH EAST CORNER



SOUTH WEST CORNER



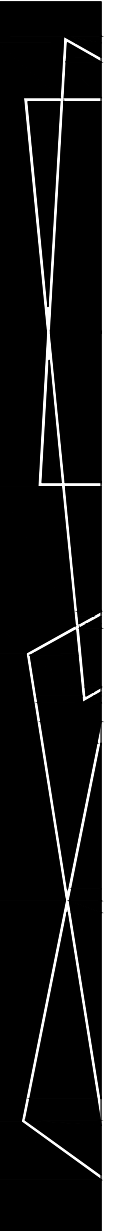
NORTH EAST CORNER

REVISIONS		
1.	REV PER 11-15-24	TAC COMMENTS
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Delray Beach Florida



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BOCA RATON, FLORIDA 33431
PHONE 561-391-0081 FAX 561-391-0085
EMAIL mail@rwb-arch.com

PROJECT # 24-007

START DATE 03-01-24

SHEET #

A7.0

JUAN C. LINARES

AA26000640

REVISIONS	
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MUGDOCK DEVELOPMENT

102 SE 5TH Avenue
Delray Beach Florida



SE5TH AVENUE STREET VIEW



SOUTH EAST BIRD'S EYE



NORTH WEST BIRD'S EYE



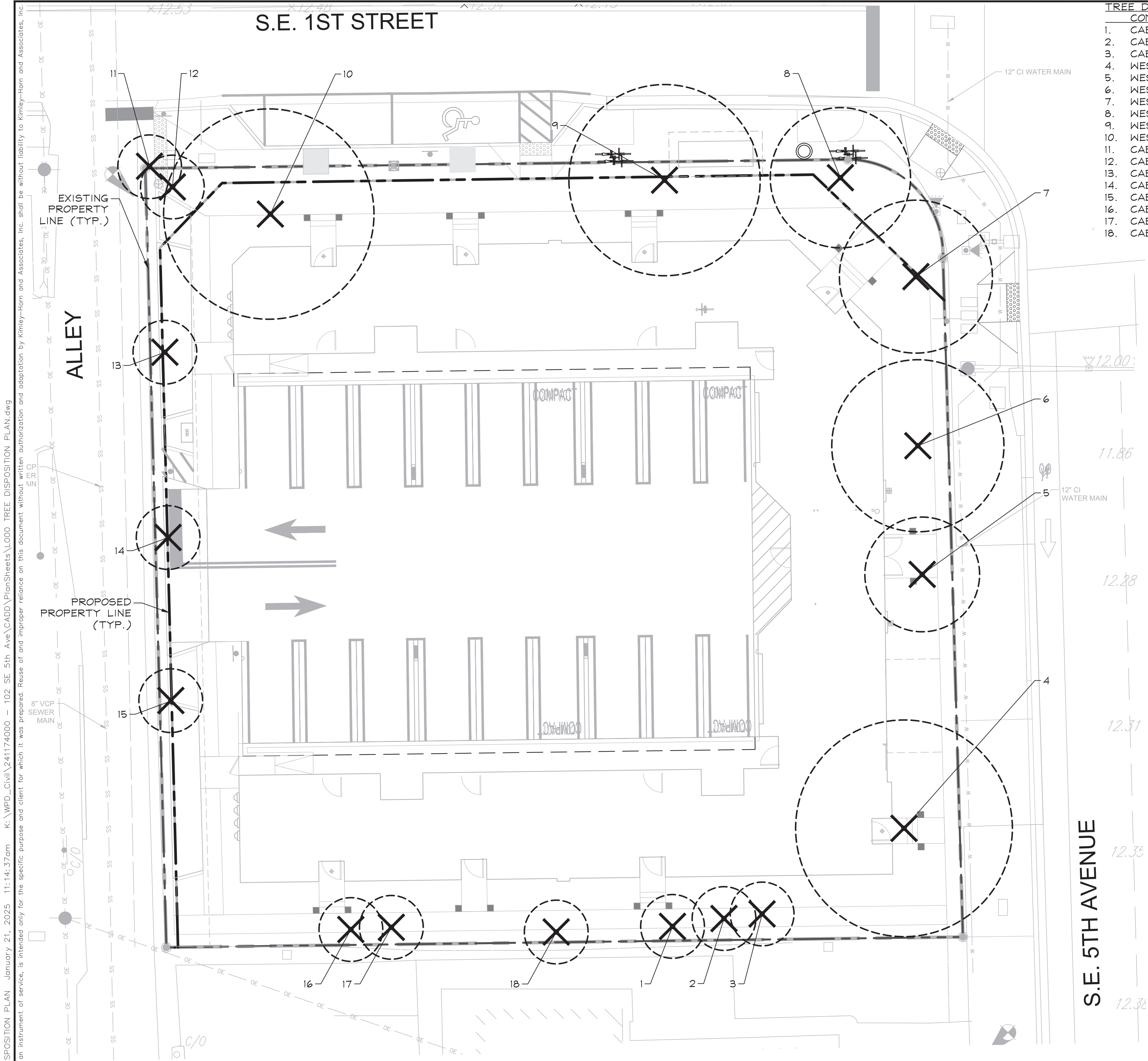
3000 NORTH MILITARY TRAIL, SUITE 209
BOCA RATON, FLORIDA 33431
PHONE 561-391-0081 FAX 561-391-0085
EMAIL mail@rwb-arch.com

PROJECT #	24-007
START DATE	03-01-24
SHEET #	

A7.1

JUAN C. LINARES

AA26000640



TREE DISPOSITION								
COMMON NAME	BOTANICAL NAME	DBH	HT	SPR	CONDITION	DISPOSITION	MITIGATION	
1. CABBAGE PALM	SABAL PALMETTO	9"	16'	10'	90%	REMOVE	ON SITE	
2. CABBAGE PALM	SABAL PALMETTO	11"	16'	10'	90%	REMOVE	ON SITE	
3. CABBAGE PALM	SABAL PALMETTO	15"	18'	10'	90%	REMOVE	ON SITE	
4. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	26"	25'	34'	75%	REMOVE	ON SITE	
5. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	23"	25'	18'	65%	REMOVE	ON SITE	
6. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	24"	25'	27'	70%	REMOVE	ON SITE	
7. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	19"	25'	24'	75%	REMOVE	TREE FUND	
8. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	20"	25'	22'	75%	REMOVE	TREE FUND	
9. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	23"	25'	30'	75%	REMOVE	TREE FUND	
10. WEST INDIES MAHOGANY	SWIETENIA MAHOGANI	20"	25'	33'	80%	REMOVE	TREE FUND	
11. CABBAGE PALM	SABAL PALMETTO	11"	12'	10'	90%	REMOVE	ON SITE	
12. CABBAGE PALM	SABAL PALMETTO	12"	16'	10'	70%	REMOVE	ON SITE	
13. CABBAGE PALM	SABAL PALMETTO	12"	14'	10'	75%	REMOVE	ON SITE	
14. CABBAGE PALM	SABAL PALMETTO	12"	18'	10'	70%	REMOVE	ON SITE	
15. CABBAGE PALM	SABAL PALMETTO	14"	18'	10'	60%	REMOVE	ON SITE	
16. CABBAGE PALM	SABAL PALMETTO	14"	24'	10'	90%	REMOVE	ON SITE	
17. CABBAGE PALM	SABAL PALMETTO	13"	20'	10'	60%	REMOVE	ON SITE	
18. CABBAGE PALM	SABAL PALMETTO	12"	21'	10'	90%	REMOVE	ON SITE	

TREE DISPOSITION SUMMARY:

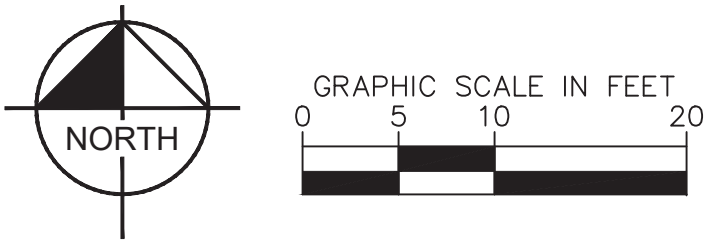
		MITIGATION REQUIRED	MITIGATION PROVIDED
TOTAL TREES PROTECTED	ON SITE	0	
	OFFSITE	0	
TOTAL TREES REMOVED	ON SITE > 50%	3	73"
	OFF SITE > 50%	4	0" PROVIDED, 82" INTO TREE FUND
TOTAL PALMS PROTECTED	ON SITE	0	
	OFFSITE	0	
TOTAL PALMS REMOVED	ON SITE > 50%	11	193'
			193'

KEY:

TREE TO REMAIN

TREE TO BE REMOVED

*TREE FUND CONTRIBUTION TOTAL IS \$55,200.



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

102 SE 5TH AVE
TOWNHOMES
PREPARED FOR
MUGDOCK DEVELOPMENT, LLC
DELRAY BEACH, FL

TREE DISPOSITION
PLAN

KHA PROJECT
24174000

DATE
JAN 2025

SCALE
AS SHOWN

DESIGNED BY
KEA

DRAWN BY
BAM

CHECKED BY
KEA

LICENSED PROFESSIONAL
KRISTEN E. ALEXA, PLA
FL LICENSE NUMBER
LA #6667555
DATE
01/21/2025

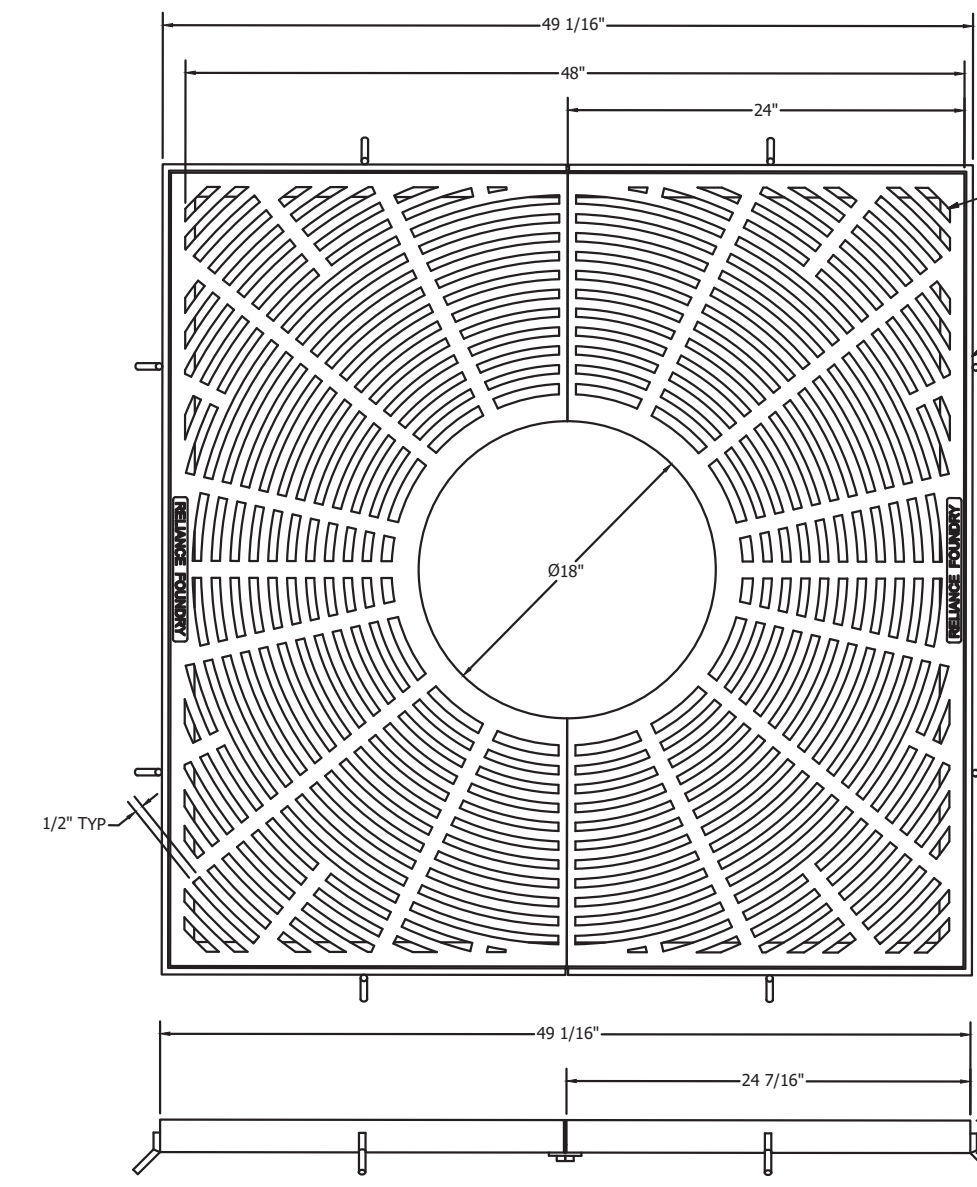
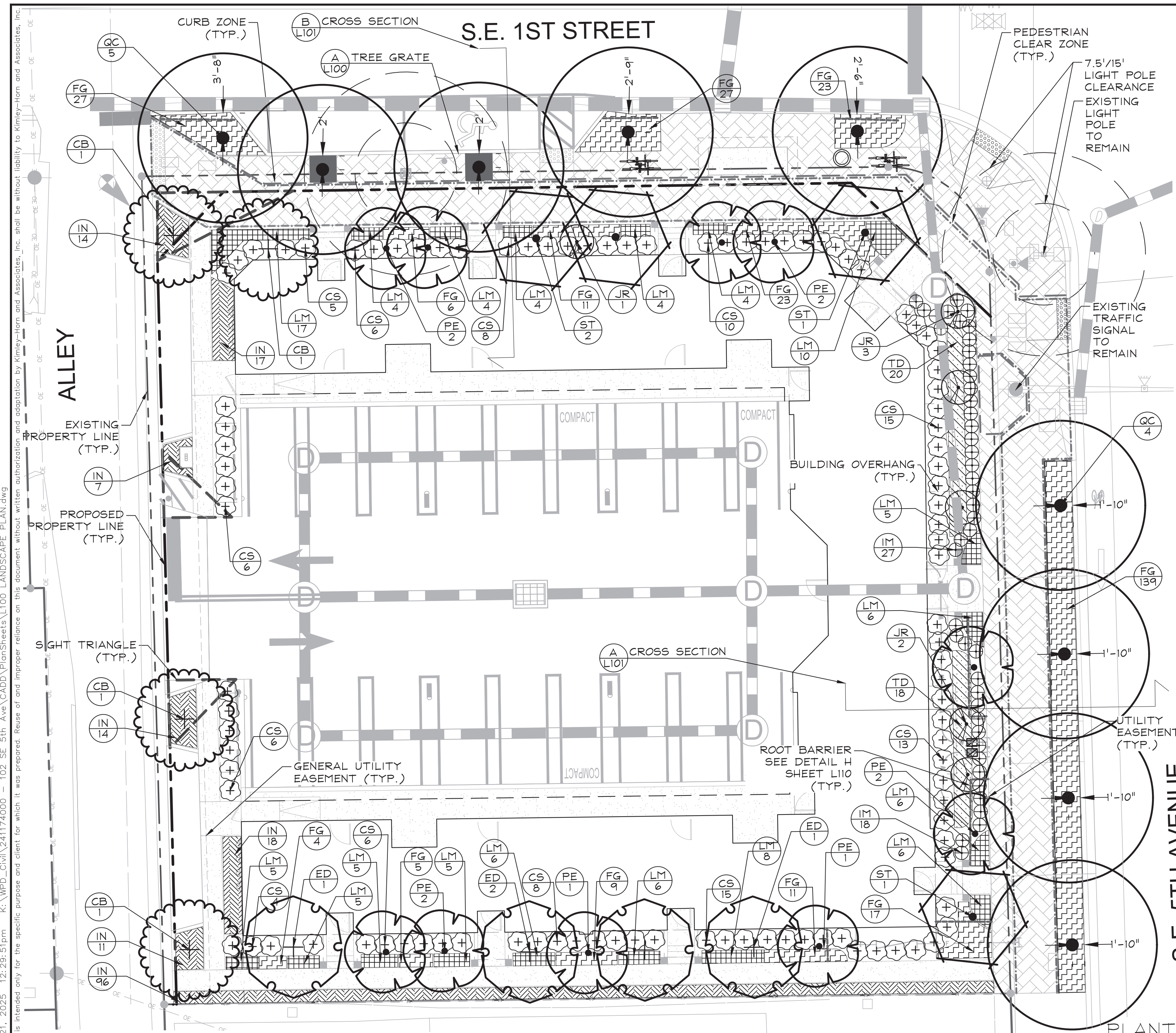
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477 SOUTH ROSEMARY AVENUE, SUITE 215
WEST PALM BEACH, FL 33401
PHONE: 561-840-0848
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

No.

Revisions

DATE

BY



PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	2	R-8870_Cosmopolitan	R-8870 Cosmopolitan Tree Grate
2	2	R-8505 Frame	R-8505 MS Frame

1. MANUFACTURER:
RELIANCE FOUNDRY
1-877-789-3245
2. MODEL: R-8870- COSMOPOLITAN
3. PRODUCT TO BE DESIGNED BY
RELIANCE FOUNDRY. INSTALL
PER MANUFACTURER'S
SPECIFICATIONS
4. ESTIMATED QUANTITY: 1
5. LENGTH: 48"
6. WIDTH: 48"
7. TREE OPENING: 18"
8. WEIGHT (TREE GRATE): 145 LBS
PER PC (290 LBS PER SET, 2
PCS)
9. WEIGHT (FRAME): 50.5 LBS PER
PC (101 LBS PER SET, 2 PCS)
10. MATERIAL (TREE GRATE): CAST
GRAY IRON, ASTM A-48, CLASS
30
11. MATERIAL (FRAME): STEEL
12. FINISH: UNCOATED

A TREE GRATE

CITY OF DELRAY BEACH CODE REQUIREMENTS: * ALL CALCULATIONS BASED ON PROPERTY LIMITS.	
A. Total Lot Area:	14,479 sf
B. Total Structures, Parking, Walkways, Drives, etc.	12,069 sf
C. Total Pervious Lot Area: C = A - B	2,407 sf
D. Area of Shrubs and Ground Cover Required: D = C * .30	722 sf
E. Area of Shrubs and Ground Covers Provided:	2,359 sf
F. Native Vegetation Required: F = D * .25	180 sf
G. Native Vegetation Provided:	1,487 sf
M. Total Number of Perimeter Trees Required: N = 125 / 30 = 4 E = 110 / 30 = 4 S = 125 / 30 = 4 W = 94 / 30 = 3	4 TREES 3 TREES 6 TREES 3 TREES
N. Total Number of Perimeter Trees Provided:	16 TREES
O. Total Number of Existing Trees to be Preserved:	0 TREES
Q. Total Number of Street Trees 235 LF / 30 LF = 8	8 TREES
R. Total Number of Trees on Plan Provided	24 TREES

PLANT SCHEDULE

<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>QTY</u>
TREES							
CB	Conocarpus erectus 'Sericeus' 6' Standard Trunk, 8' CT	Silver Buttonwood	Cont.	3.5" Cal.	16' HT x 7' SPR	Yes	4
ED	Elaeocarpus decipiens 6' Standard Trunk, 8' CT	Japanese Blueberry Tree	Cont.	3.5" Cal.	16' H x 7' SPR	No	4
PE	Ptychosperma elegans Single Trunk	Alexander Palm	Cont.		16'-20' GW	No	10
QC	Quercus virginiana 'Cathedral' 6' Standard Trunk, 8' CT	Cathedral Live Oak	Cont.	4" Cal.	16' HT x 7' SPR	Yes	9
ST	Tabebuia heterophylla 6' Standard Trunk, 8' CT	Pink Trumpet	Cont.	3.5" Cal.	16' H x 7' SPR	No	4
<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>O.C.</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>QTY</u>
SHRUBS							
CS	Conocarpus erectus f. sericeus	Silver Buttonwood	Cont.	30" O.C.	30" HT, X 30" SPR.	Yes	102
IM	Ixora coccinea 'Maui Yellow'	Maui Yellow Ixora	Cont.	24" O.C.	18" HT x 18" SPR	No	45
JR	Jatropha integerrima 'Rosea'	Pink Jatropha	Cont.	As Shown	6' HT	No	6
SHRUB AREAS							
FG	Ficus microcarpa 'Green Island'	Green Island Ficus	Cont.	18" O.C.	15"x15"	No	302
IN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	Cont.	18" O.C.	15"x15"	Yes	177
LM	Liriope muscari	Lilyturf	Cont.	18" O.C.	12"x12"	No	110
TC	Trachelospermum jasminoides 'Confederate' See Architect's plans for locations	Confederate Jasmine	Cont.	10" O.C.	6" HT X 6" SPR	No	232
TD	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	Cont.	24" O.C.	18" HT	Yes	38

PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED TO ALLOW FOR HEAD TO HEAD COVERAGE, 100% COVERAGE WITH 100% OVERLAP.
9. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO CITY OF DELRAY BEACH STANDARD DETAILS LD 1.1 AND LD 1.2.
10. ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE DEVELOPMENT SITE AND REESTABLISHMENT OF PROHIBITED SPECIES SHALL NOT BE PERMITTED.
11. HEDGES MUST BE ALLOWED TO ATTAIN HEIGHT OF 36" EXCEPT WHERE PROVIDING ADEQUATE AND SAFE SIGHT DISTANCES REQUIRES THEM TO BE MAINTAINED AT 30" IN HEIGHT.

Plotted By: Matson, Bob Sheet Set: 102 Layout: L100 LANDSCAPE PLAN January 21, 2025 12:29:51pm K: \WPD_Civil\241174000 - 102 SE 5th Ave\CADD\PlanSheets\L100 LANDSCAPE PLAN.dwg

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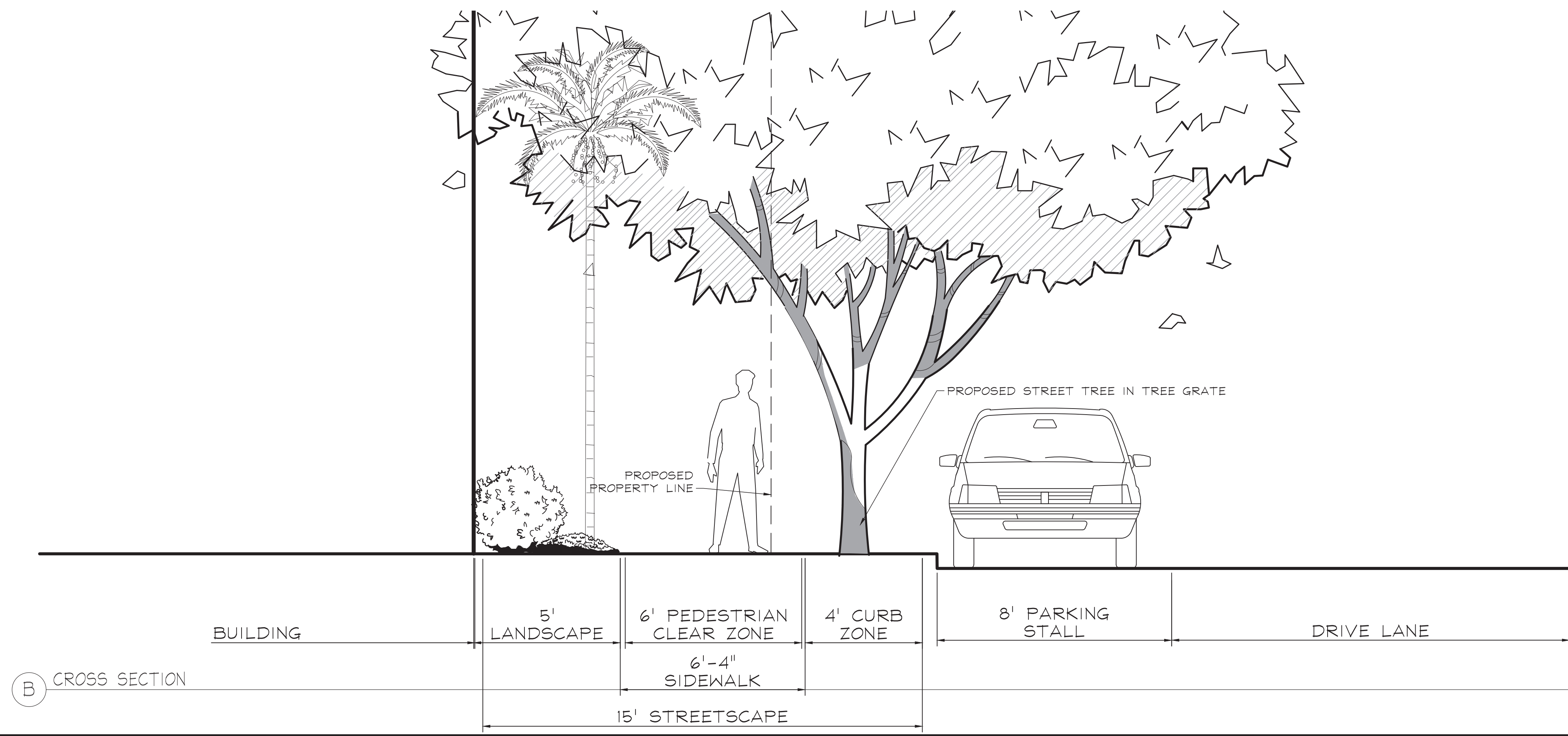
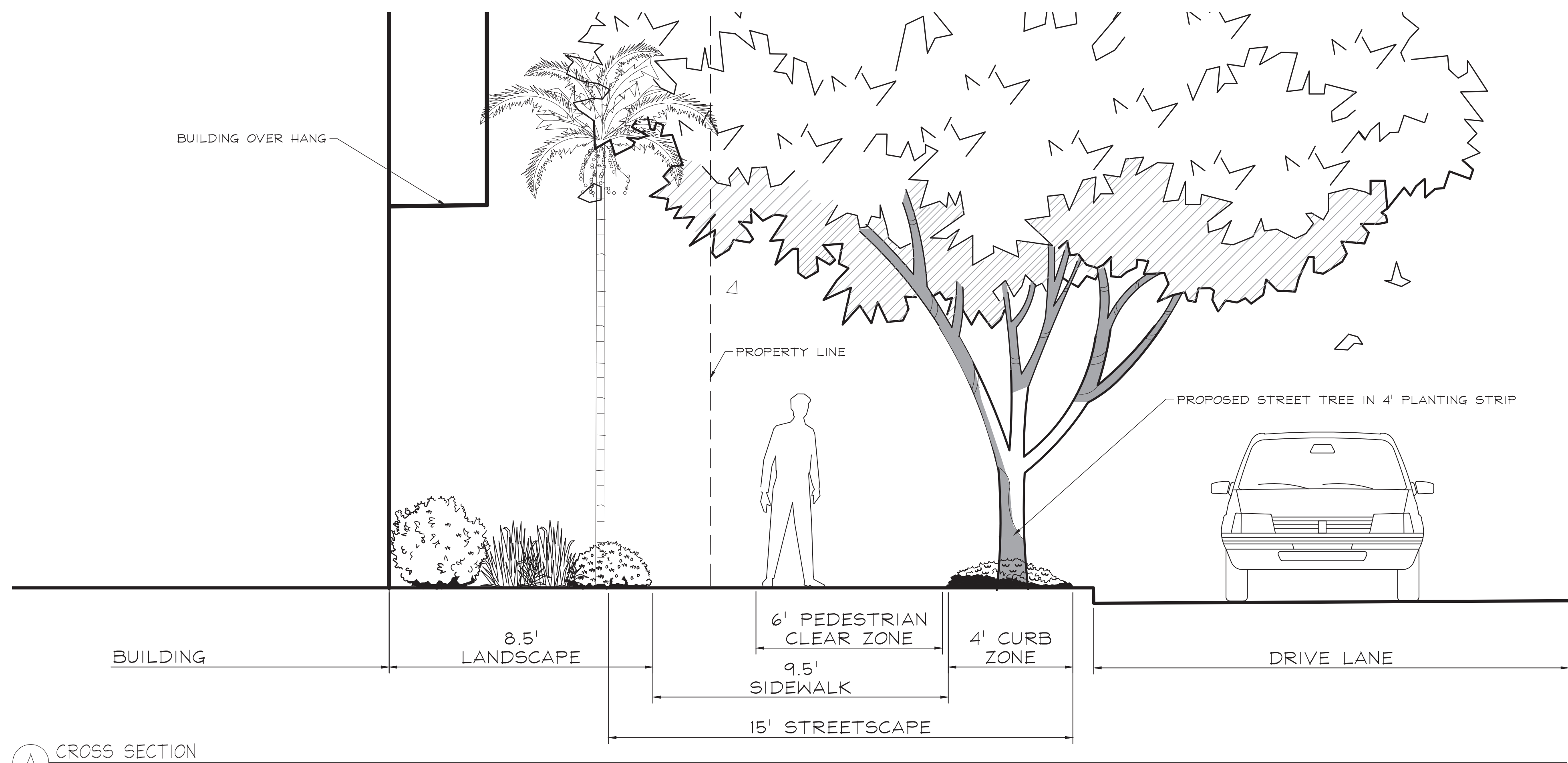
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LANDSCAPE PLAN

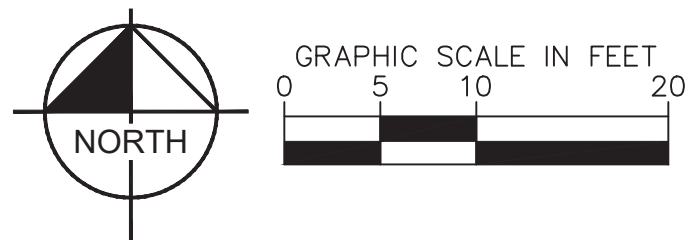
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PREPARED FOR
MUGDOCK DEVELOPMENT, LLC
DELRAY BEACH FL

SHEET NUMBER
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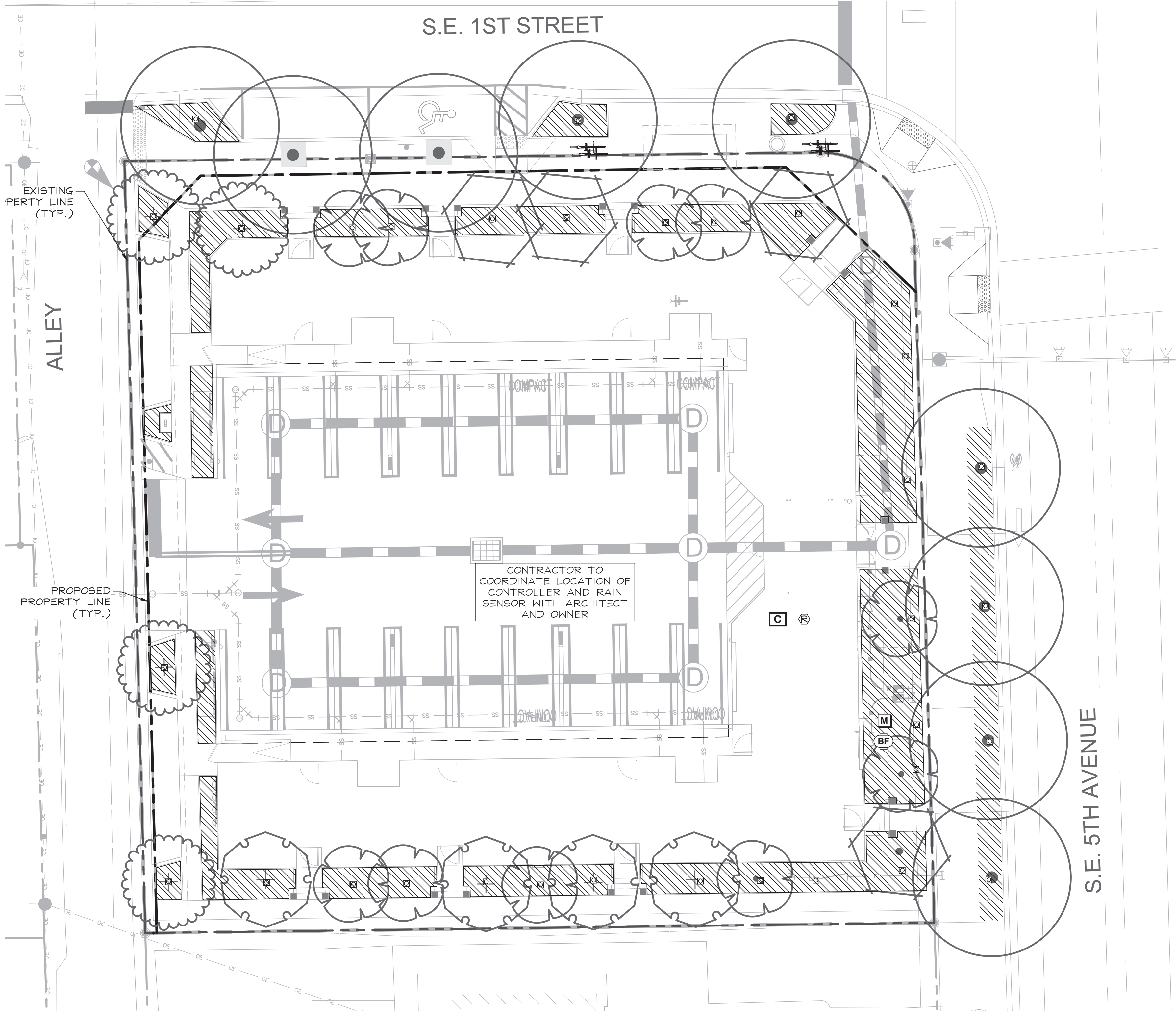


Plotted By: Matson, Bob. Sheet Set: 102. Layout: L102. SITE PLAN RENDER. January 21, 2025. 11:14:57am. K:\WPD_Civil\241174000 - 102 SE 5th Ave\CAD\PlanSheets\L100 LANDSCAPE PLAN.dwg
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102 SE 5TH AVE TOWNHOMES PREPARED FOR MUGDOCK DEVELOPMENT, LLC DELRAY BEACH, FL		SITE PLAN RENDER		KHA PROJECT 241174000 DATE JAN 2025 SCALE AS SHOWN DESIGNED BY KEA DRAWN BY BAM CHECKED BY KEA		LICENSED PROFESSIONAL 	
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Plotted By: Matson, Bob Sheet Set: 102 Layout: L200 IRRIGATION PLAN January 21, 2025 11:15:22am K:\WPD_Civil\241174000 - 102 SE 5th Ave\CADD\PlanSheets\L200 IRRIGATION PLAN.dwg
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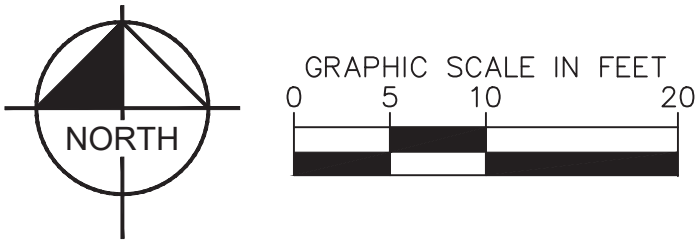


IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION		
	Shrub Spray		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1802-1400 Flood	34	30
	Flood Bubbler on IPS Flex Hose		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Feeco 76S 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12in. above highest downstream outlet and the highest point in the downstream piping.	1	
	Rain Bird ESP-2WIRE (120VAC) 50 Station 2-Wire, Indoor/ Outdoor Controller w/ decoder auto-address. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready. Use with 2W-1 single station decoders and standard direct burial wire.	1	
	Hunter MINI-CLIK Rain Sensor, mount as noted	1	
	Water Meter 1"	1	

IRRIGATION SYSTEM NOTES

- CONTRACTOR SHALL REFER TO THE IRRIGATION DETAILS, IRRIGATION SCHEDULE, SPECIFICATIONS AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
 - IRRIGATION QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
 - ANY SUBSTITUTIONS FOR SPECIFIED IRRIGATION EQUIPMENT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IN WRITING PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FIELD ADJUST LOCATION OF IRRIGATION EQUIPMENT AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL FIELD ADJUSTMENTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
 - IRRIGATION PLAN IS DIAGRAMMATIC. EQUIPMENT SHOWN ON IMPERVIOUS SURFACES IS FOR GRAPHIC CLARITY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITHIN LANDSCAPE AREAS IN PROPERTY LIMITS.
- THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE WITH A SOURCE PROVIDING 35 GPM AT 35 PSI.
SPRAY HEAD DESIGN PRESSURE: 30 PSI
BUBBLER DESIGN PRESSURE: 30 PSI



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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102 SE 5TH AVE
TOWNHOMES
PREPARED FOR
MUGDOCK DEVELOPMENT, LLC
DELRAY BEACH, FL

IRRIGATION PLAN

Kimley»Horn
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477 SOUTH ROSEMARY AVENUE, SUITE 215
WEST PALM BEACH, FL 33401
PHONE: 561-840-0848
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT
241174000

DATE
JAN 2025

SCALE
AS SHOWN

DESIGNED BY
KEA

DRAWN BY
BAM

CHECKED BY
KEA

DATE
01/21/2025

LICENSED PROFESSIONAL
KRISTEN E. ALEXA, PLA

FL LICENSE NUMBER
LA #6667555

REVISIONS

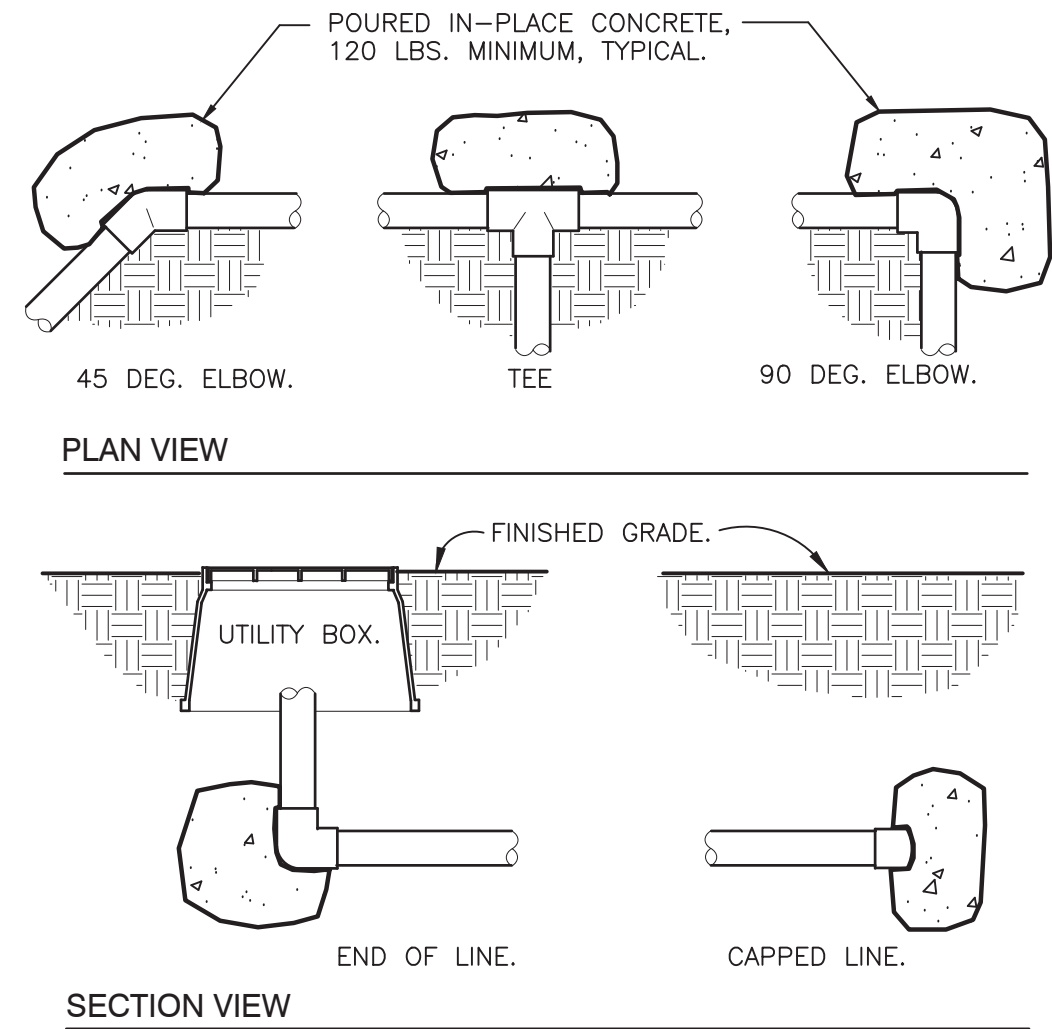
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DATE

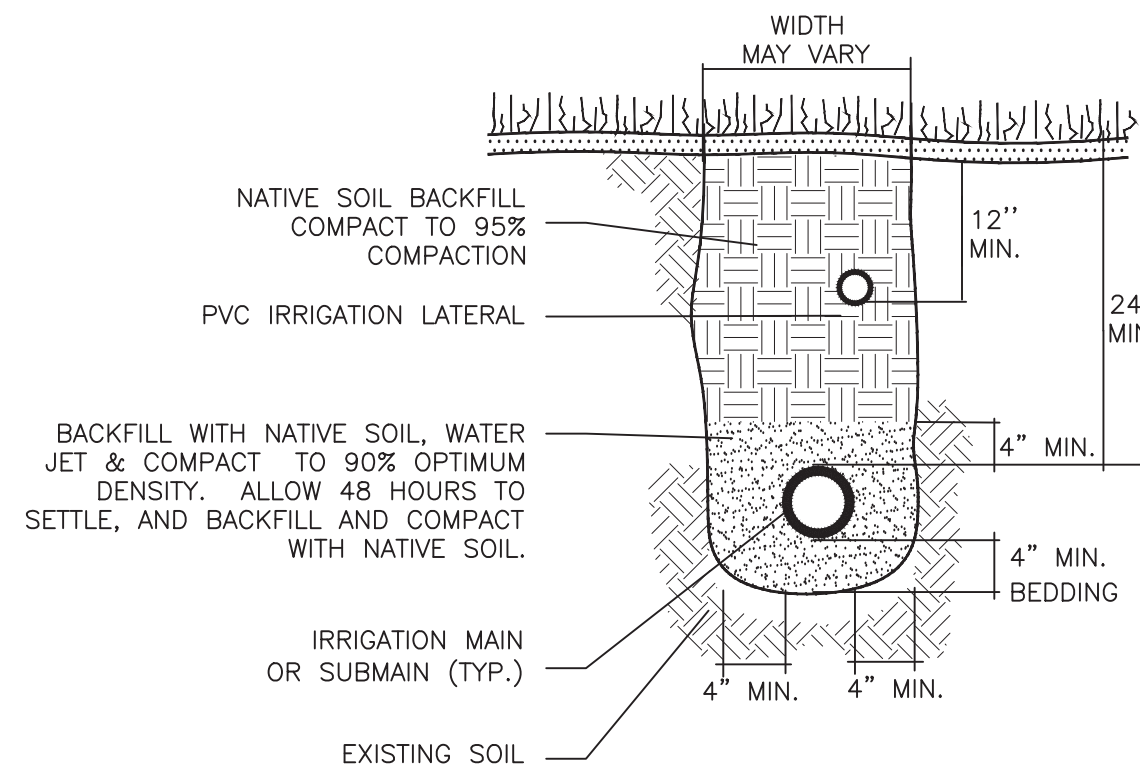
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SHEET NUMBER
L200

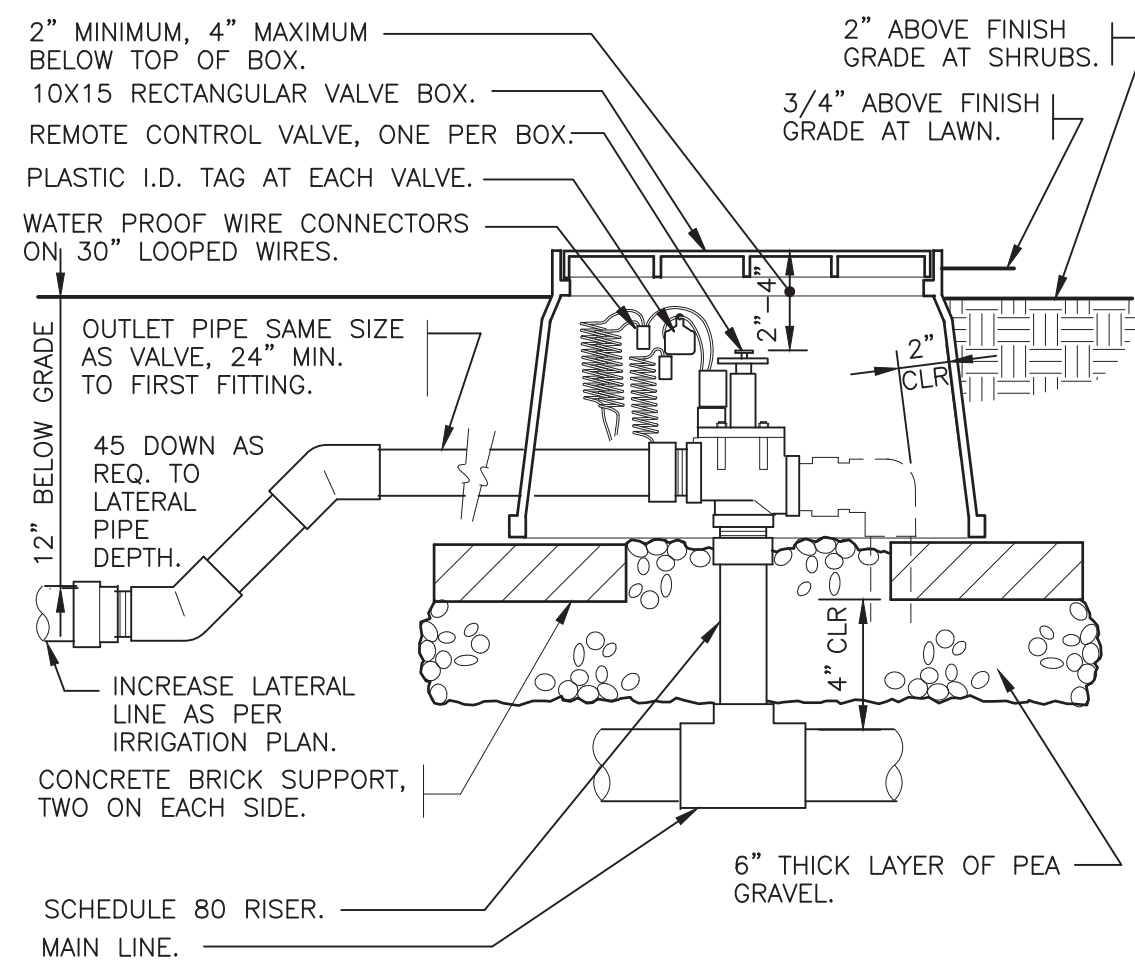
Plotted By:Matson, Bob Sheet Set:102 Layout:L210 IRRIGATION DETAILS January 21, 2025 11:15:31am K:\WPD_Civil\241174000 - 102 SE 5th Ave\CADD\Plan\Streets\L210 IRRIGATION NOTES AND DETAILS.dwg
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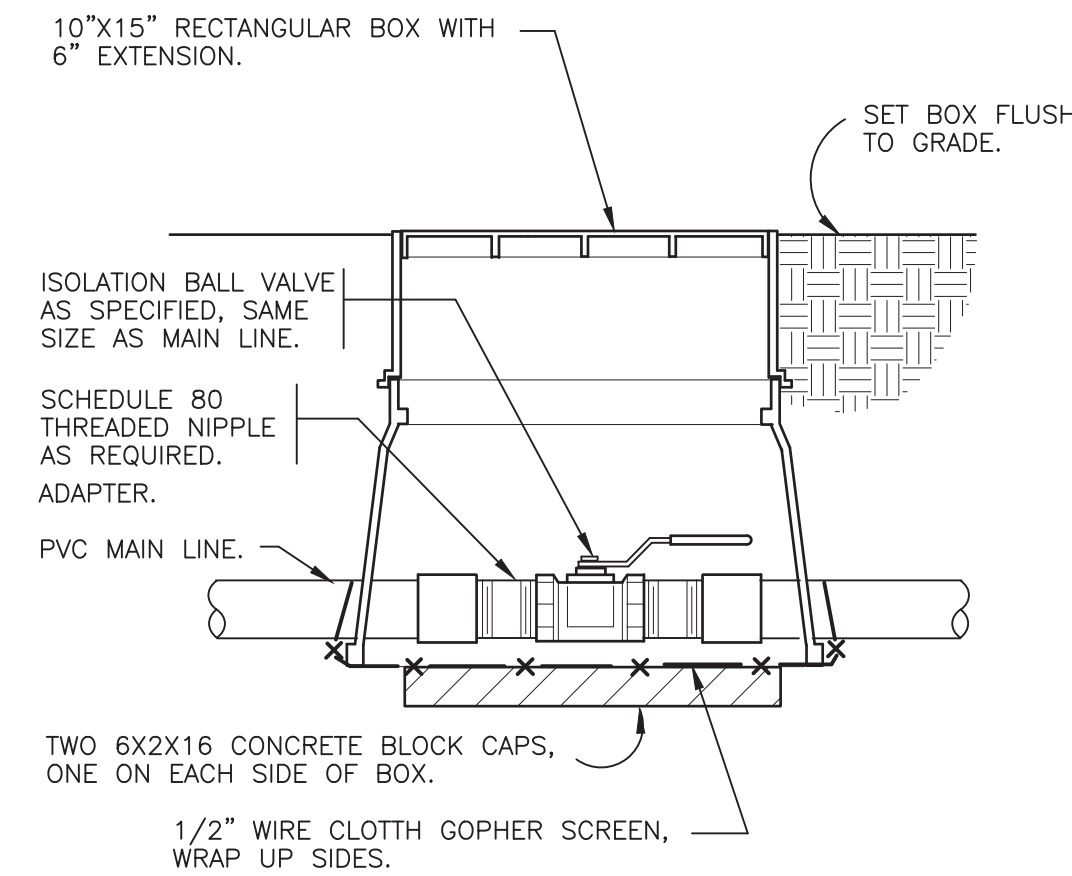
1 THRUST BLOCKING
3/4" = 1'-0" 32 8409.76-01



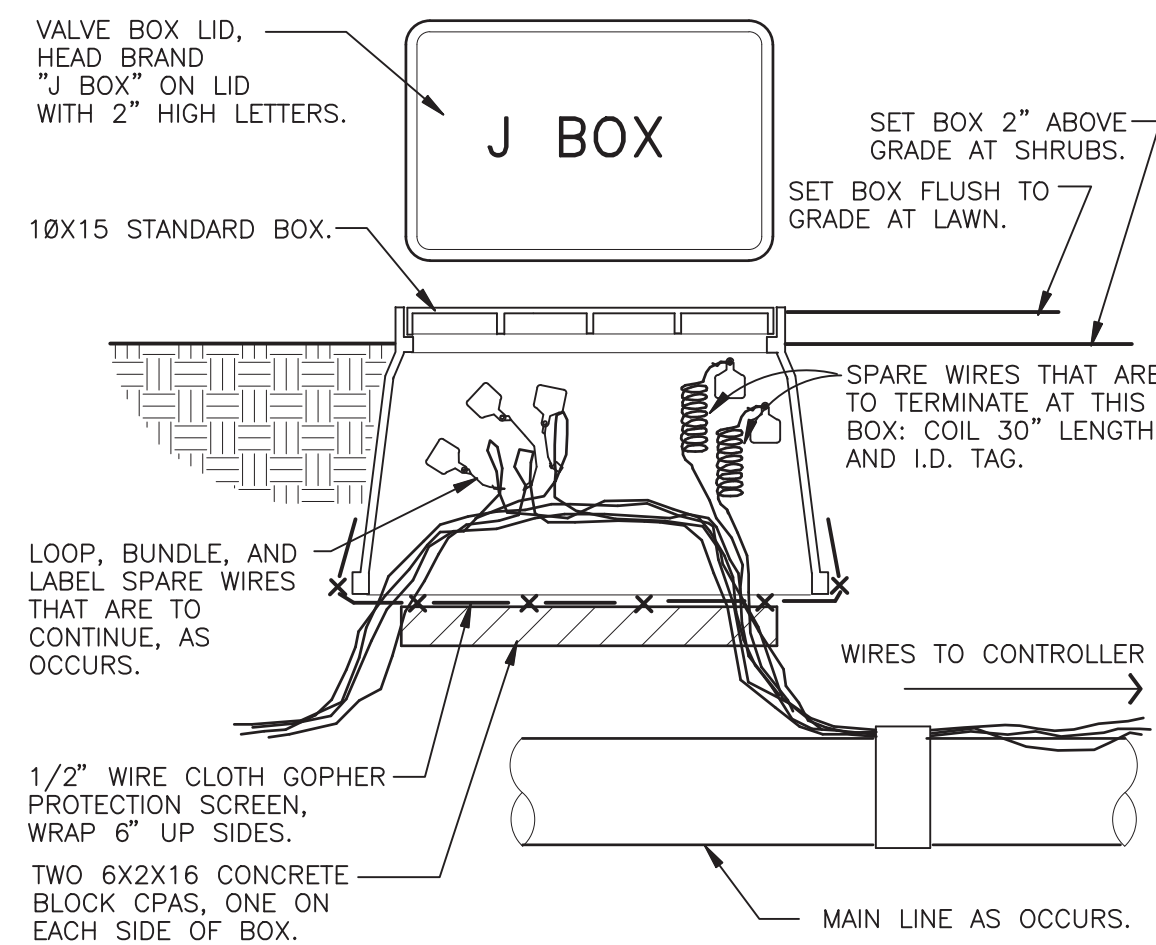
2 TRENCHING DETAIL
NOT TO SCALE 32 8409.76-03



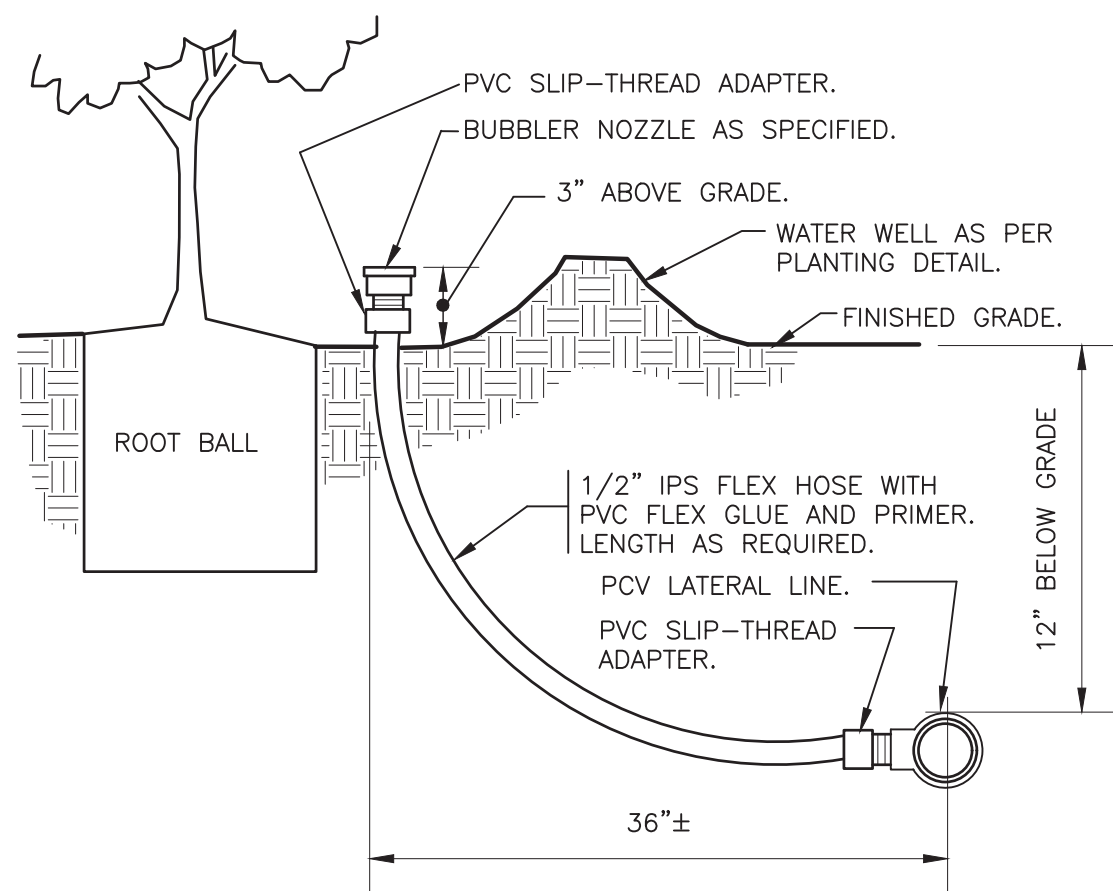
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0" 32 8406.13-01



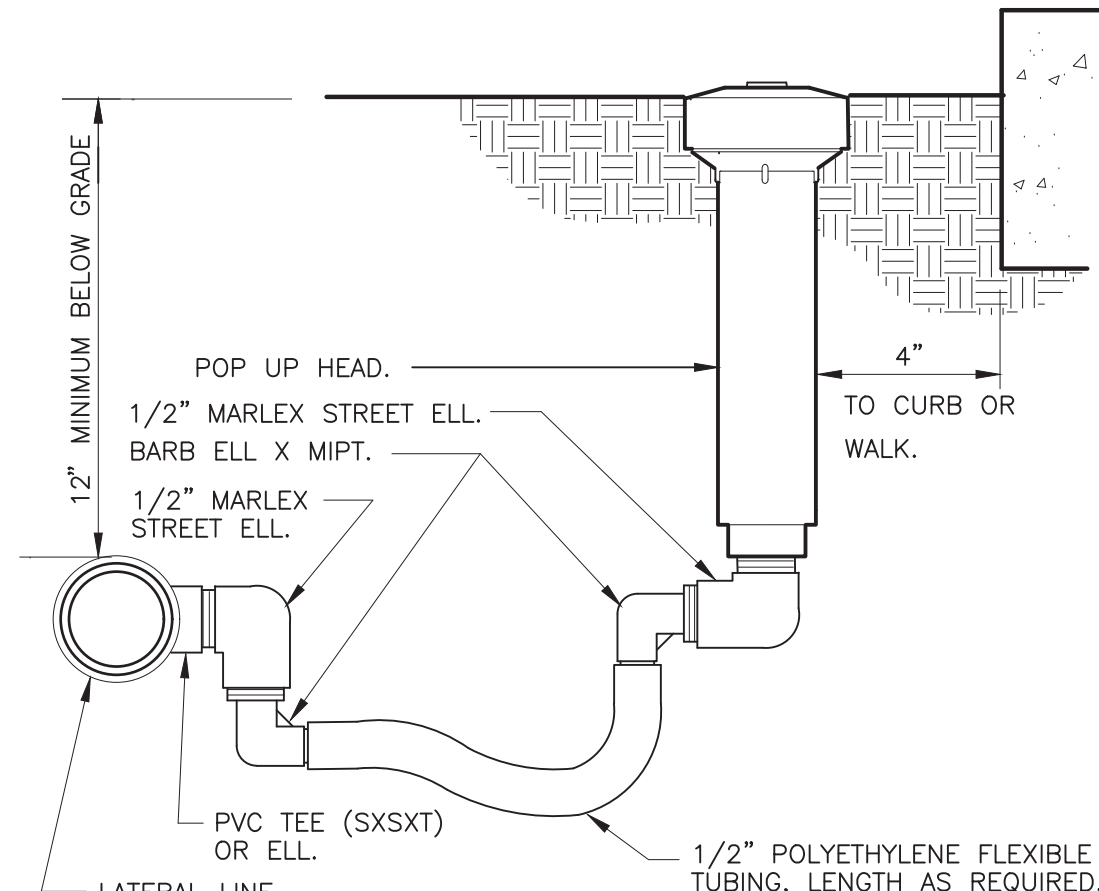
4 BRASS BALL ISOLATION VALVE
1 1/2" = 1'-0" 32 8406.33-02



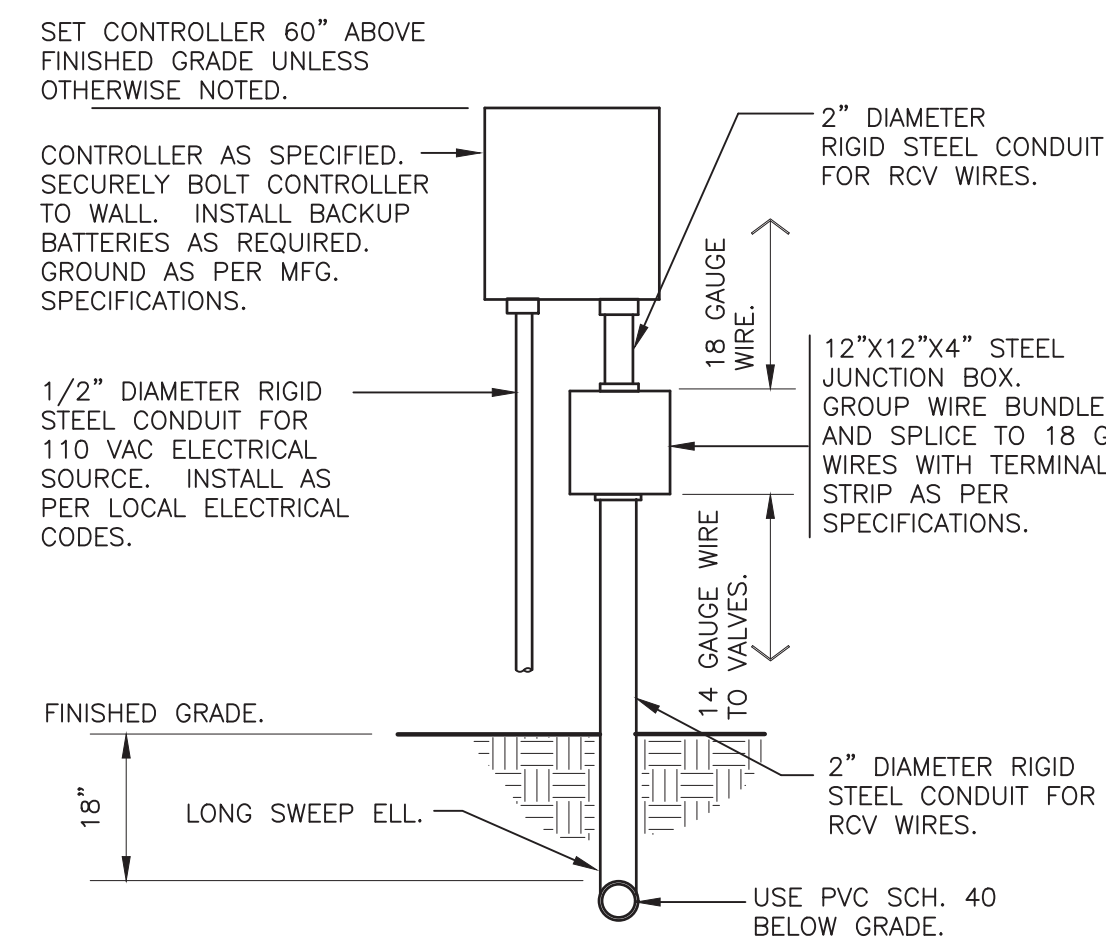
5 WIRE BUNDLE JUNCTION BOX
1 1/2" = 1'-0" 32 8409.79-01



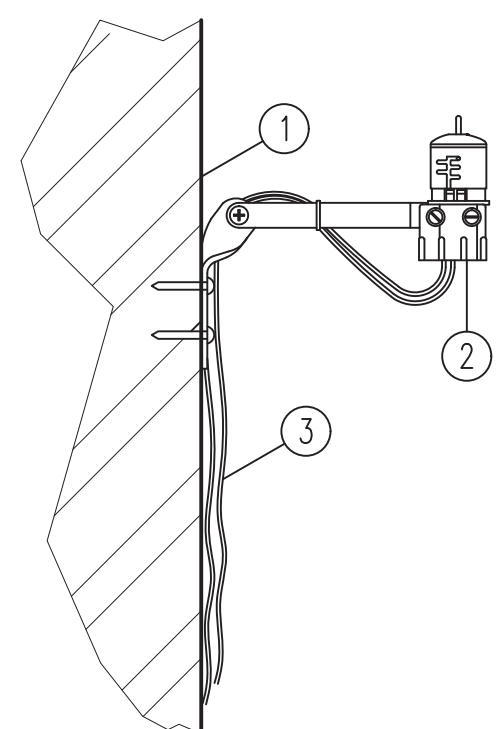
6 BUBBLER ON FLEX HOSE RISER
3" = 1'-0" DETAIL-FILE



7 POP-UP SPRAY FLEX ASSEMBLY
3" = 1'-0" 32 8403.13-02



8 WALL MOUNT CONTROLLER
1" = 1'-0" 328409.13-02



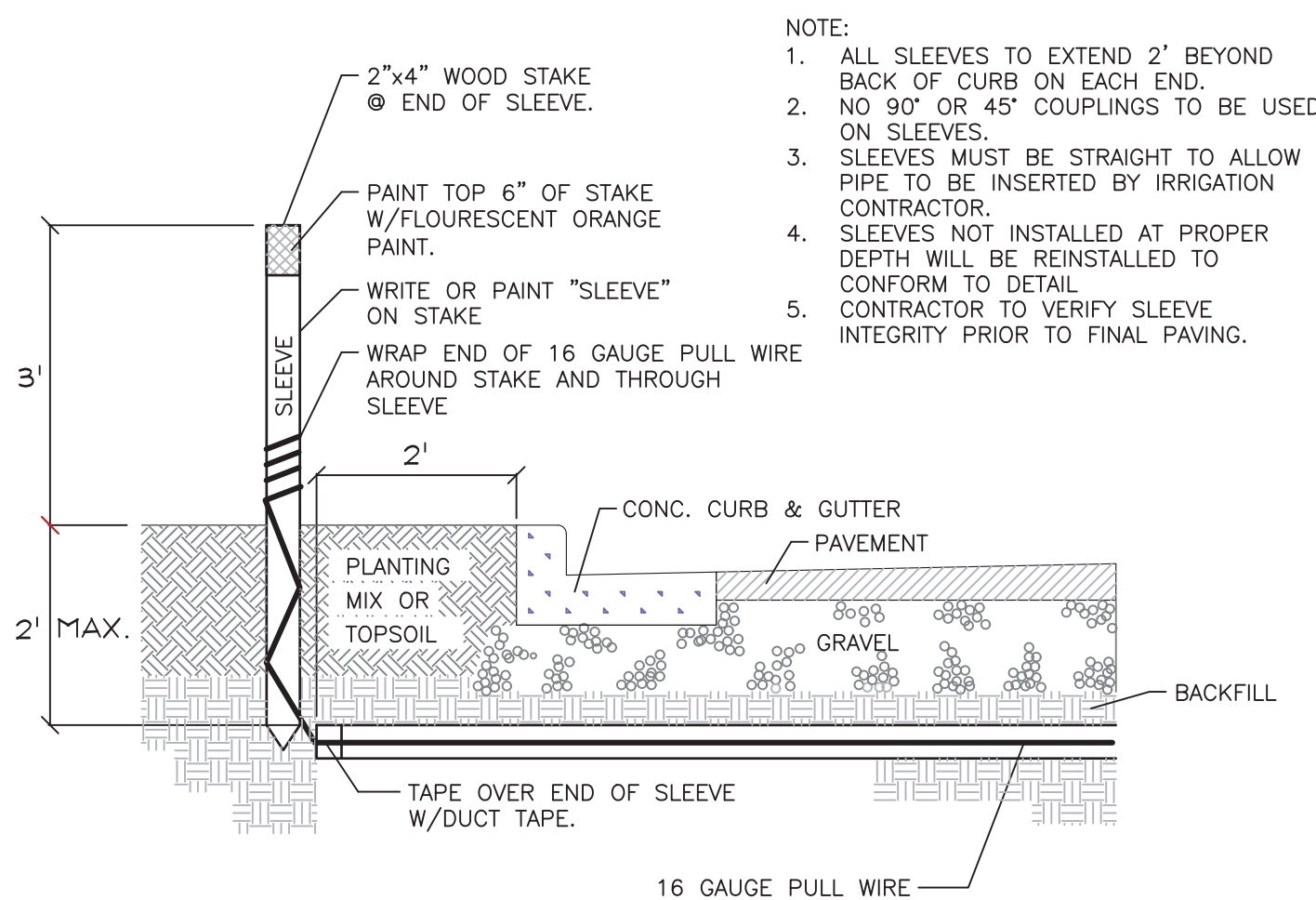
9 RAIN SENSOR
3" = 1'-0"

1 EXTERIOR WALL (SEE NOTE)

2 MODEL MINI-CLIK

3 RUN LEAD WIRES TO CONTROLLER

NOTE: MOUNT SENSOR ON SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY. COORDINATE MOUNTING WITH OWNER AND ARCHITECT.



10 IRRIGATION SLEEVING
NTS

NOTE:
1. ALL SLEEVES TO EXTEND 2' BEYOND BACK OF CURB ON EACH END.
2. NO 90° OR 45° COUPLINGS TO BE USED ON SLEEVES.
3. SLEEVES MUST BE STRAIGHT TO ALLOW PIPE TO BE INSERTED BY IRRIGATION CONTRACTOR.
4. SLEEVES NOT INSTALLED AT PROPER DEPTH WILL BE REINSTALLED TO CONFORM TO DETAIL.
5. CONTRACTOR TO VERIFY SLEEVE INTEGRITY PRIOR TO FINAL PAVING.

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KHA PROJECT 241174000		DATE JAN 2025		SCALE AS SHOWN		DESIGNED BY KEA		DRAWN BY BAM		CHECKED BY KEA		DATE 01/21/2025		LICENSED PROFESSIONAL KRISTEN E. ALEXA, PLA		KIMLEY-HORN AND ASSOCIATES, INC. 477 SOUTH ROSEMARY AVENUE, SUITE 215 WEST PALM BEACH, FL 33401 PHONE: 561-840-0848 WWW.KIMLEY-HORN.COM REVISY NO. 35106		REVISED per 11-15-24 TAC Comments		DATE BY	
IRRIGATION DETAILS														102 SE 5TH AVE TOWNHOMES PREPARED FOR MUGDOCK DEVELOPMENT, LLC DELRAY BEACH, FL							
SHEET NUMBER L210																					

PART I: GENERAL
1.01 SCOPE

B. The work covered by this specification also includes all permits, federal, state and local taxes and all other costs, both foreseeable and unforeseeable at the time of construction.

1.02 QUALITY ASSURANCE

B. Coordination: Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.

E. **Protection of Work and Property:** The Contractor shall be liable for and shall take the following actions as required with regard to damage to any of the Owner's property.

3. All trenching or other work under the leaf canopy of any and all trees shall be done by hand or by other methods so that no branches are damaged in any way.

2. If, within ten (10) days after mailing of written notice by the Owner to the Contractor requesting repairs or replacement resulting from a breach of warranty, the Contractor shall neglect to make or undertake with due diligence to make the same, the Owner may make such repairs at the Contractor's expense; provided, however, that in the case of emergency where, in the judgment of the Owner, delay would cause serious loss or damage, repairs or replacement may be made without notice being sent to the Contractor, and Contractor shall pay the cost thereof.

1.04 SUBMITTALS

All materials shall be those specified and/or approved by the Landscape Architect.

2. Catalog and parts sheets on every material and equipment installed under this Contract.

1.05 EXPLANATION OF DRAWINGS

F. The Contractor shall be responsible for full and complete coverage of all irrigation areas. The Landscape Architect shall be notified of any necessary adjustments at no additional cost to the Owner. Any revisions to the irrigation system must be submitted and answered in written form, along with any change in Contract price. Layout may be modified, if necessary to obtain coverage. Spacing not to exceed 60% of the diameter.

PART II: PRODUCTS

2.01 MATERIALS

Material and equipment shall be supplied by the Contractor. No substitutions shall be allowed without the prior written approval of the Owner/Landscape Architect. The Contractor shall inspect all materials and equipment prior to installation, and defective materials shall be replaced with the proper materials and equipment. Those items used in the installation found to be defective, improperly installed or not as specified, shall be removed and the proper materials and equipment installed in the proper manner, as interpreted by the Owner/Landscape Architect. The Contractor shall remove all damaged and defective pipe and equipment from the site.

2.02 PIPING

B. Polyvinyl Chloride Pipe (PVC): (Where indicated on plan, use non-potable purple piping.)

1. Laterals: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220. All lateral piping less than 3" in diameter shall be Class 200 SDR-21.

2. Main Line Under Pressure: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220, Schedule 40 with belled end for solvent weld connection.

3. Pipe Markings: All PVC pipe shall bear the following markings
- o Manufacturer's Name
 - o Nominal Pipe Size
 - o Schedule or Class
 - o Pressure Rating or PSI
 - o NSF (National Sanitation Foundation) Approval
 - o Date of Extrusion

2.04 PVC JOINTS

Joints in PVC pipe smaller than 3" shall be solvent welded in accordance with the recommendations of the pipe manufacturer; the solvent cleaner and welding compound furnished with the pipe.

2.05 THREADED CONNECTIONS

A. Threaded PVC connections shall be made up using Teflon tape only.

B. Connection between mainline pipe fittings and automatic or manual control valves shall be made using Schedule 80 threaded fittings and nipples.

2.06 SOLVENT CEMENT

A. General: Provide solvent cement and primer for PVC solvent weld pipe and fittings recommended by the manufacturer. Pipe joints for solvent weld pipe to be belled end. Pipe joints for gasketed pipe to be intrical ring type. Insert gaskets will not be accepted.

B. Thrust Blocks: Main line piping 3" or greater in diameter shall have thrust blocks sized and placed in accordance with the pipe manufacturer's recommendations or, in the absence of specified recommendations by the pipe manufacturer, 3000 PSI concrete thrusts shall be properly installed at tees, elbows, 45's, crosses, reducers, plugs, caps and valves.

2.07 PIPE AND WIRE SLEEVES

A. Sleeves to be installed:

1. The Contractor shall install irrigation system pipe and wire sleeves conforming to the following:
 - a. All pipe sleeves shall extend a minimum of 36" beyond the edges of pavement.
 - b. All pipe sleeves to be installed beneath future/existing road surfaces shall be PVC pipe Schedule 40 or jack and bore steel pipe as per FDOT specifications, and as shown on plans.
 - c. All irrigation system wires shall be sleeved separately from main or lateral lines.
 - d. All pipe sleeves shall be installed at the minimum depth specified for main lines, lateral lines, and electric wire.
 - e. Contractor shall coordinate all pipe sleeve locations and depths prior to initiating installation of the irrigation system.

2.08 SPRINKLER HEADS

A. **Spray Sprinklers:** The sprinkler shall be a fixed spray type designed for in-ground installation. The nozzle shall elevate 6" (or as designated on plan) when in operation. The body of the sprinkler shall be constructed of non-corrosive heavy duty Cycolac. A filter screen shall be in the nozzle piston. All sprinkler parts shall be removable through the tip of the unit by removal of a threaded cap.

Riser mounted spray shall be as indicated on the plans. The sprinkler shall consist of a nozzle and body. The body of the riser-mount sprinkler shall be constructed of non-corrosive materials. A cone strainer shall be a separate part with the nozzle assembly to allow for easy flushing of the sprinkler. Maximum working pressure at the base of the sprinkler shall be 40 PSI.

(continued...)

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TOWNHOMES
PREPARED FOR
GDOCK DEVELOPMENT, LLC
DAY BEACH, FL

IRRIGATION NOTES

Kristen E Alexa
Kimley-Horn
2025.01.21
16:12:54-05'00'

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