



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

ADMINISTRATIVE APPROVAL – STAFF REPORT

Delray Beach Golf Club

Meeting	File No.	Application Type
January 6, 2025	PZ-000008-2025	Level 2 Site Plan Application
Property Owner		Agent
City of Delray Beach		Kimley Horn / Delray Beach Public Works

Request

A Level 2 Site Plan application, including Landscape Plan and Architectural Elevations, for site modifications and a new 8750 square foot maintenance building.

Site Data & Information

Location: 2200 Highland Avenue

PCN: 12-43-46-19-00-000-1010;
12-43-46-18-42-005-0000

Property Size: 146.5 acres (gross);

Land Use Designation: Open Space (OS)

Zoning: Open Space Recreation (OSR)

Adjacent Zoning:

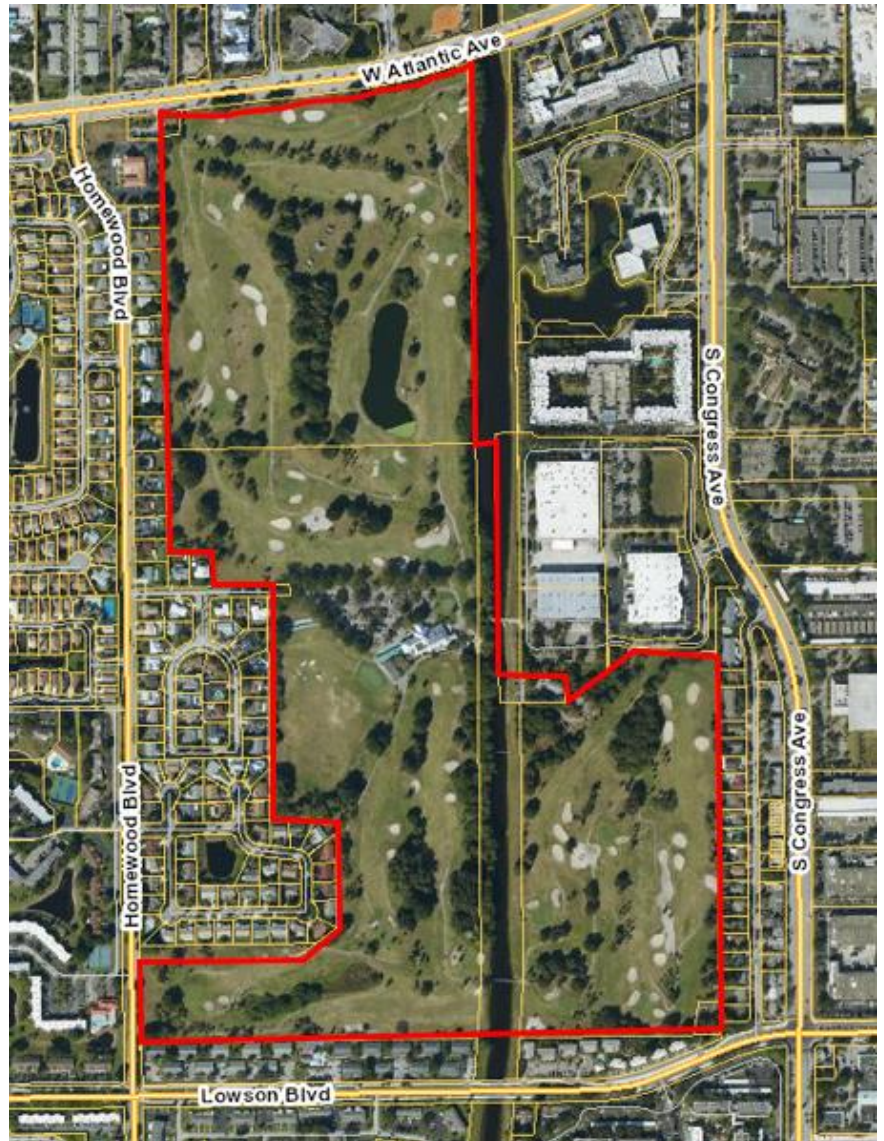
- **North:** POD, CF, R-1-AA
- **South:** RM
- **East:** MROC, R-1-A, RM
- **West:** R-1-AA, RM

Existing Land Use: Municipal Golf Course

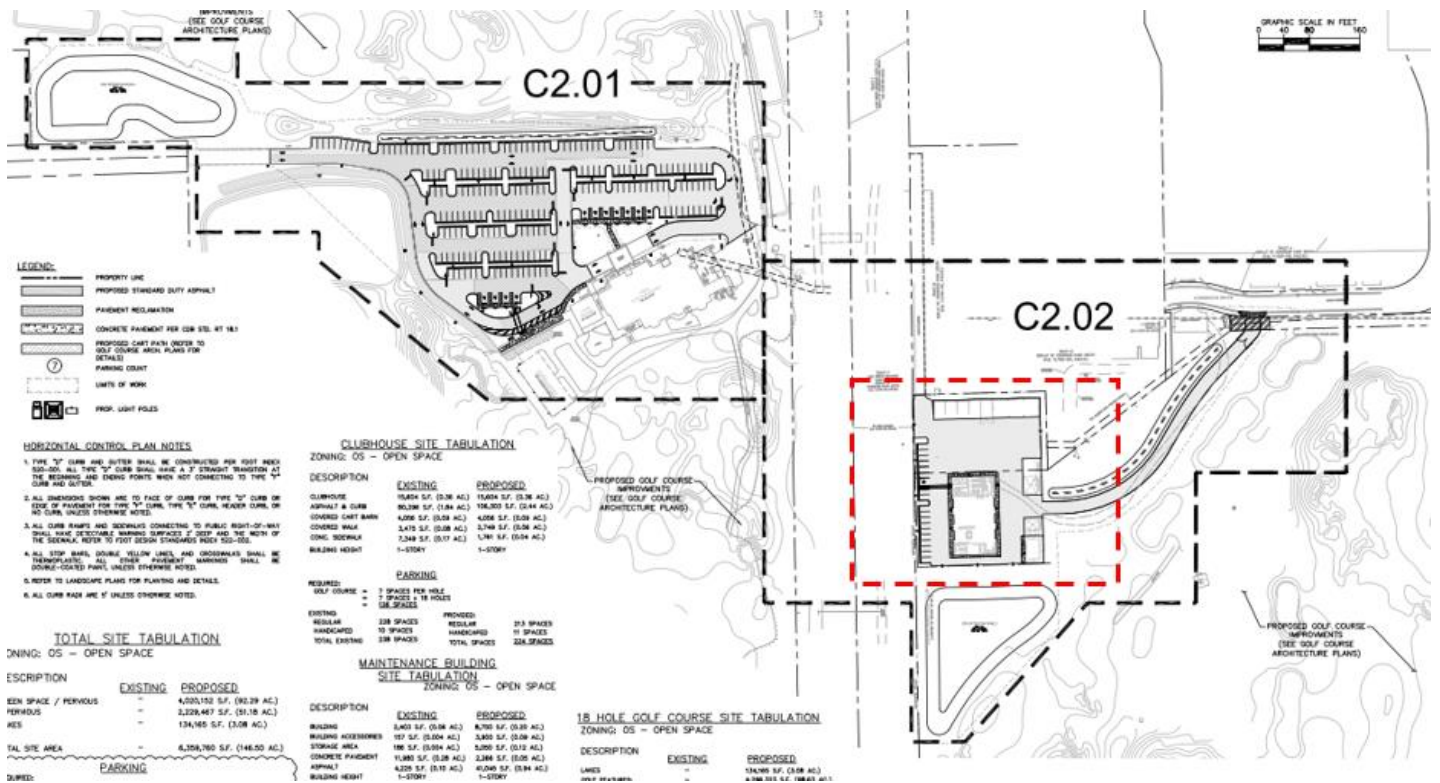
Proposed Land Use: Municipal Golf Course

Floor Area Ratio:

- **Proposed:** 0.0038
- **Maximum allowed:** 0.10



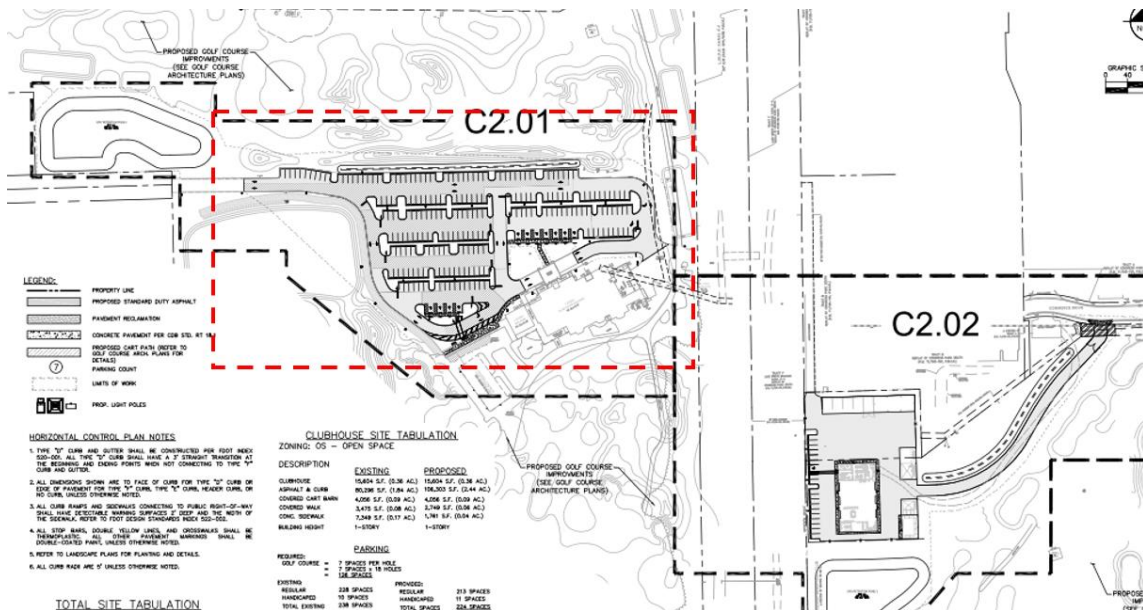
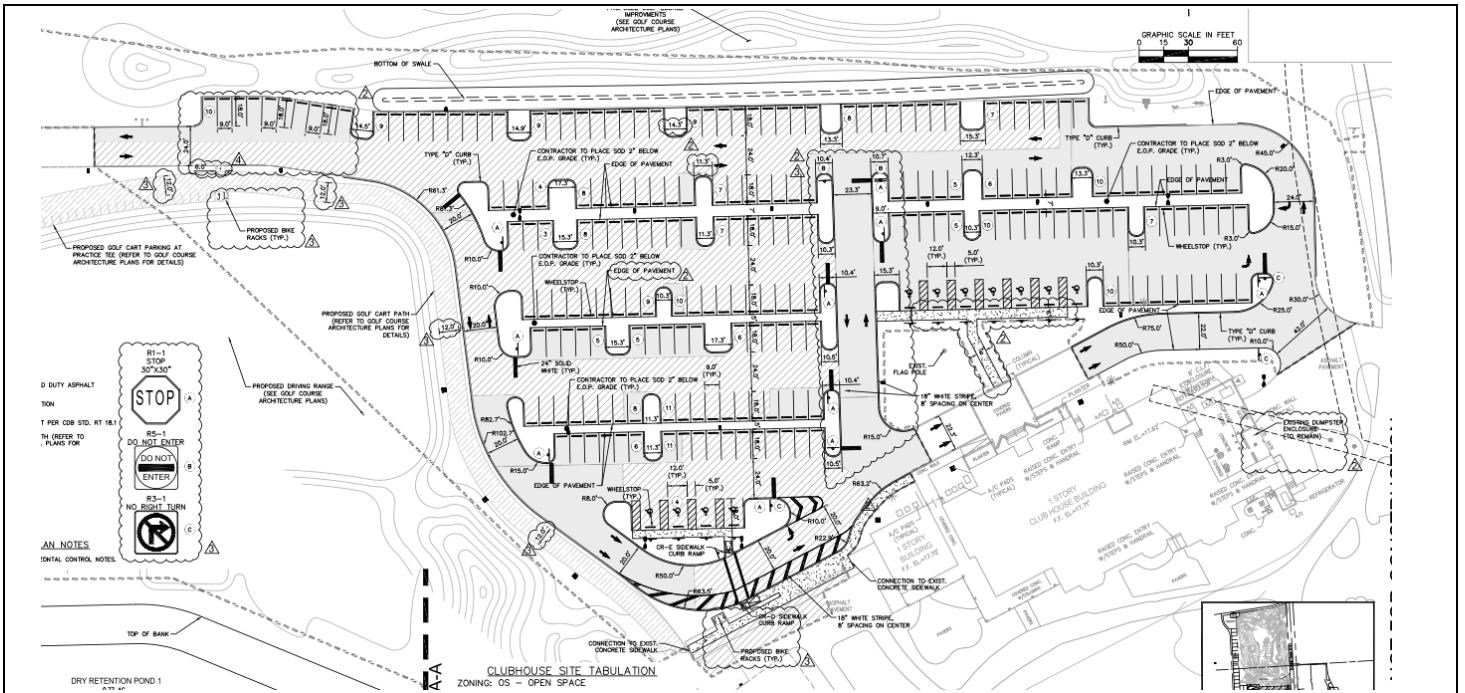




Additionally, the scope of work includes general improvements and a reconfiguration of the clubhouse parking area including refreshed landscaping, curbing, asphalt resurfacing, new bike racks, and expanded sidewalks. The modifications result in a net reduction of 13 spaces in the main parking lot; however, the total number of parking spaces provided on site (224 spaces) far exceeds the minimum required for an 18-hole golf course (126 spaces). No improvements to or expansion to the clubhouse are proposed in the scope of the improvements. The only additional square footage proposed is the new accessory maintenance building previously discussed.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



**Review & Analysis: Site Plan and Zoning**

Pursuant to LDR Section 2.4.10(A)(2)(c), *Level 1 and Level 2 Site Plan applications may be approved, denied, or approved with conditions pursuant to Article 2.2 by the Director.*

Pursuant to LDR Section 2.4.10(A)(3)(b), *Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.*

LDR Section 3.1.1 Required Findings, *prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of OS (Open Space), and a zoning designation of OSR (Open Space Recreation), which is a compatible zoning district to implement the OS land use designation. There is no change of use proposed, and the existing municipal golf course is an appropriate and permitted use given the zoning designation.

3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: Water and sewer services to the maintenance building will be connected to adjacent available networks pursuant to approval of the utilities plan reviewer. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage: Drainage and water run-off will be addressed through on-site retention, through specific drainage mechanisms reviewed and approved by the City Engineer.

Transportation: Traffic concurrency is not applicable as the scope of work does not include a change in use or an expansion of primary use area. The additional square footage is located within an accessory structure which does not impact anticipated trip generation.

Parks and Open Space: Park impact fees are not applicable.

Solid Waste: The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: Concurrency is not applicable.

**3.1.1(C), Consistency**

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions.

Section 3.2.3, Standards for site plan and/or plat actions

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions. The proposed scope of work meets the standards. The renovations and improvements to the existing recreational facility reinforce goals of the comprehensive plan to facilitate quality publicly accessible opportunities for outdoor recreation.

Comprehensive Plan**Neighborhoods, Districts, and Corridors Element**

Policy NDC 1.1.2 *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.*

Open Space Preservation And Enhancement

Objective OPR 1 *Provide exemplary open spaces parks, and recreational facilities that enhance quality of life, provide recreational opportunities, enrich interaction with others, and promote physical and mental wellbeing for the residents and visitors of the city..*

Conservation, Sustainability And Resiliency

Policy CSR 4.1.4 *Protect, conserve, rehabilitate and restore wildlife habitat, open space and recreation areas, conservation areas and prevent any further net loss of these lands in Delray Beach.*

3.1.1(D), Compliance with the LDRs

The proposed project has been reviewed by the Technical Advisory Committee and has been deemed technically compliant with all applicable regulations of the Land Development Regulations. No relief is needed to accommodate the proposed site configuration or building design. **LDR Section 4.4.27, Open Space and Recreation**, states that all development standards and regulations are established pursuant to an approved site and development plan. As such, the scope of work is compliant with regard to development thresholds including, but not limited to, setbacks, height, FAR, parking, lot coverage, and open space, contingent upon approval of the subject application.

Director Action

The proposed project has been administratively approved by The Director. Final action is pending approval of the City Commission via the appealable process.

Plotted By: Leesta, Mandy. Sheet Set: DELRAY BEACH C.C. ON SITE IMPROVEMENTS. Layout: G0.00 COVER SHEET. LVL: 3. June 02, 2025. 01:48:24pm. K:\web-civil\140796000 - db golf course and mwn\cadd\plansheets\Civil\G0.00 COVER SHEET.dwg
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PROJECT LOCATION
PALM BEACH COUNTY

PROJECT TEAM

OWNER

CITY OF DELRAY BEACH
100 NW 1ST AVE
DELRAY BEACH, FL 33444

LANDSCAPE ARCHITECTURE

KIMLEY-HORN AND ASSOCIATES, INC.
SUITE 2000
8201 PETERS ROAD
PLANTATION, FL 33324
PHONE: (954) 535-5100
CONTACT: TOM HARGRETT

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FL 33411
PHONE: (768) 598-2607
CONTACT: WILLIAM S. WILSON, P.E.

GOLF COURSE ARCHITECT

STANFORD FERRIS GOLF DESIGN
211 BARBADOS DR
JUPITER, FL 33458
PHONE: (561) 691-8601
CONTACT: DAVID FERRIS, PLA

SURVEYOR

AVIROM & ASSOCIATES, INC.
50 SW 2ND AVENUE, SUITE 102
BOCA RATON, FL 33432
PHONE: (561) 392-2594
CONTACT: MICHAEL D. AVIROM, P.L.S.

GEOTECH

TERRA SOUTH FLORIDA, INC.
2765 VISTA PARKWAY, SUITE 10
WEST PALM BEACH, FL 33411
PHONE: (561) 687-8539
CONTACT: RAMAKUMAR VEDULA, P.E.

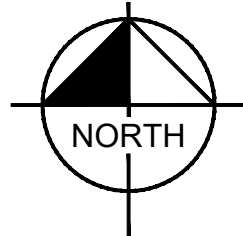
ARCHITECTURE

DQ STUDIO ARCHITECTS
8245 SW 43RD STREET
MIAMI, FL 33155
PHONE: (786) 239-1322
CONTACT: DDIAZ@DQ-S.COM

DELRAY BEACH GOLF COURSE
RENOVATIONS- CLUBHOUSE AND
MAINTENANCE BUILDING
CONSTRUCTION PLANS
PREPARED FOR
CITY OF DELRAY BEACH
JUNE 2025



VICINITY MAP
SCALE: 1" = 1000'
SECTION: 18 & 19 TOWNSHIP: 46 SOUTH RANGE: 43 EAST



SHEET NUMBER	SHEET TITLE
G0.00	COVER SHEET
G1.02	OVERALL AERIAL SITE PLAN GOLF COURSE
CIVIL - CLUBHOUSE AND MAINTENANCE BUILDING	
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C1.00	OVERALL DEMOLITION & EROSION CONTROL PLAN
C1.01	DEMOLITION PLAN - CLUBHOUSE AND PARKING LOT
C1.02	DEMOLITION PLAN - MAINTENANCE BUILDING
C1.10	EROSION CONTROL DETAILS
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN - CLUBHOUSE AND PARKING LOT
C2.02	SITE PLAN - MAINTENANCE BUILDING
C3.00	OVERALL PAVING, GRADING & DRAINAGE PLAN
C3.01	PAVING, GRADING & DRAINAGE PLAN CLUBHOUSE AND PARKING LOT
C3.02	PAVING, GRADING & DRAINAGE PLAN MAINTENANCE BUILDING
C3.03	CROSS SECTIONS
C3.04	CROSS SECTIONS
C3.10	PAVING, GRADING & DRAINAGE DETAILS
C3.11	PAVING, GRADING & DRAINAGE DETAILS
C4.00	OVERALL UTILITY PLAN
C4.01	UTILITY PLAN CLUBHOUSE AND PARKING LOT
C4.02	UTILITY PLAN MAINTENANCE BUILDING
C4.10	UTILITY DETAILS
C5.01	COMPOSITE UTILITY PLAN CLUBHOUSE AND PARKING LOT
C5.02	COMPOSITE UTILITY PLAN MAINTENANCE BUILDING
LANDSCAPE ARCHITECTURE	
L0.00	OVERALL TREE DISPOSITION PLAN
L0.01	OVERALL TREE DISPOSITION PLAN CLUBHOUSE AND PARKING LOT
L0.02	TREE DISPOSITION PLAN MAINTENANCE BUILDING
L0.03	TREE DISPOSITION SCHEDULE

L1.00	OVERALL LANDSCAPE PLAN
L1.01	LANDSCAPE PLAN CLUBHOUSE AND PARKING LOT
L1.02	LANDSCAPE PLAN MAINTENANCE BUILDING
L1.03	PLANT SCHEDULE & NOTES
L1.04	LANDSCAPE DETAILS
L1.05	LANDSCAPE NOTES
GOLF COURSE IRRIGATION	
IRR-01	IRRIGATION PLAN
IRR-02	IRRIGATION PLAN
IRR-03	IRRIGATION PLAN
IRR-04	IRRIGATION PLAN
IRR-05	IRRIGATION PLAN
IRR-06	IRRIGATION PLAN
IRR-07	IRRIGATION PLAN
IRR-08	IRRIGATION PLAN
IRR-09	IRRIGATION PLAN
IRR-10	IRRIGATION PLAN
IRR-11	IRRIGATION PLAN
IRR-12	IRRIGATION PLAN
IRR-13	IRRIGATION PLAN
IRR-14	IRRIGATION PLAN
IRR-15	IRRIGATION PLAN
IRR-16	IRRIGATION PLAN
IRR-17	IRRIGATION PLAN
IRR-18	IRRIGATION PLAN
IRR-19	IRRIGATION PLAN
IRR-20	IRRIGATION PLAN
IRR-21	IRRIGATION PLAN
IRR-22	IRRIGATION PLAN
IRR-23	IRRIGATION PLAN DETAILS
IRR-24	IRRIGATION PLAN DETAILS
IRR-25	IRRIGATION PLAN DETAILS
IRR-26	IRRIGATION PLAN DETAILS
ARCHITECTURE-MAINTENANCE BUILDING	
A-0.01	COVER SHEET
A-1.01	ARCHITECTURAL FLOOR PLAN
A-3.01	BUILDING ELEVATIONS
A-3.02	BUILDING ELEVATIONS
A-4.01	ROOF PLAN
STRUCTURAL-ON SITE BUILDING	
S1.01	STRUCTURAL NOTES
S1.02	STRUCTURAL NOTES
S1.03	BUILDING SITE PLAN
S1.04	BUILDING A - FOUNDATION PLAN
S1.05	BUILDINGS B, C, & D - FOUNDATION PLAN
S1.06	BUILDING A - FLOOR PLAN

S1.07	BUILDINGS B, C, & D - FLOOR PLAN
S1.08	FOUNDATION DETAILS AND SCHEDULES
S1.09	FOUNDATION DETAILS
S1.10	TYPICAL DETAILS
S1.11	CMU DETAILS
S1.12	CMU DETAILS
S2.01	RWM AERIAL CROSSINGS DETAIL
ARCHITECTURE-RESTROOM FACILITIES	
A-0.01	ARCHITECTURAL COVER SHEET
AD-1.01	ARCHITECTURAL DEMOLITION PLAN
A-1.01	FLOOR PLAN AND INTERIOR ELEVATIONS
A-2.01	EXTERIOR ELEVATIONS AND DETAILS
TOPOGRAPHIC SURVEY	
1 OF 4	TOPOGRAPHIC SURVEY
2 OF 4	TOPOGRAPHIC SURVEY
3 OF 4	TOPOGRAPHIC SURVEY
4 OF 4	TOPOGRAPHIC SURVEY
STRUCTURAL- BRIDGES	
B0.01	GENERAL NOTES
B0.02	SUMMARY OF QUANTITIES
B1.01	PLAN WITH WORK IDENTIFICATION
B1.02	ELEVATION VIEWS
B1.03	BENT REPAIR DETAILS
B1.04	REPAIR DETAILS
B1.05	COATING REPAIR DETAILS
CIVIL ELECTRICAL	
UC-1	CLUBHOUSE ELECTRICAL NOTES AND LEGEND
UC-2	CLUBHOUSE ELECTRICAL DEMO SITE PLAN
UC-3	CLUBHOUSE AND PARKING LOT PHOTOMETRICS
UC-4	CLUBHOUSE ELECTRIC ROOM SITE PLAN
UC-5	CLUBHOUSE LIGHTING ONELINE DIAGRAM
UC-6	VOLTAGE DROP TABLES
UC-7	ELECTRICAL DETAILS, SHEET 1
UC-8	ELECTRICAL DETAILS, SHEET 2

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE
NATIONAL AMERICAN VERTICAL DATUM OF 1988.
NAVD '88 ELEV + 1.532' = NGVD '29 ELEVATION

No.	REVISIONS	DATE	BY

Kimley»Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 140796000
DATE MAY 2025
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

DELRAY BEACH GOLF COURSE
RENOVATION
PREPARED FOR
CITY OF DELRAY BEACH

DELRAY BEACH

LICENSED PROFESSIONAL

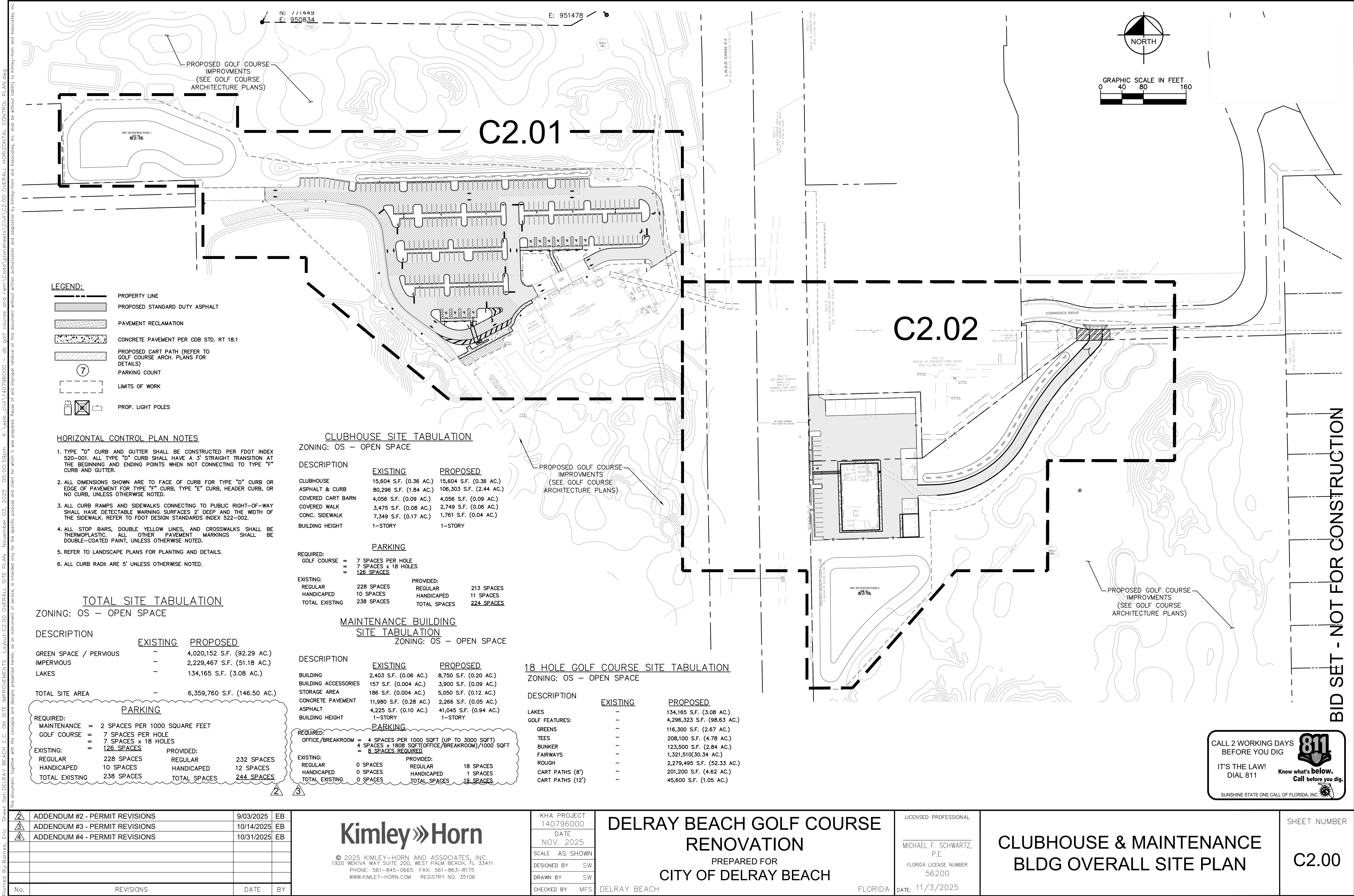
FLORIDA

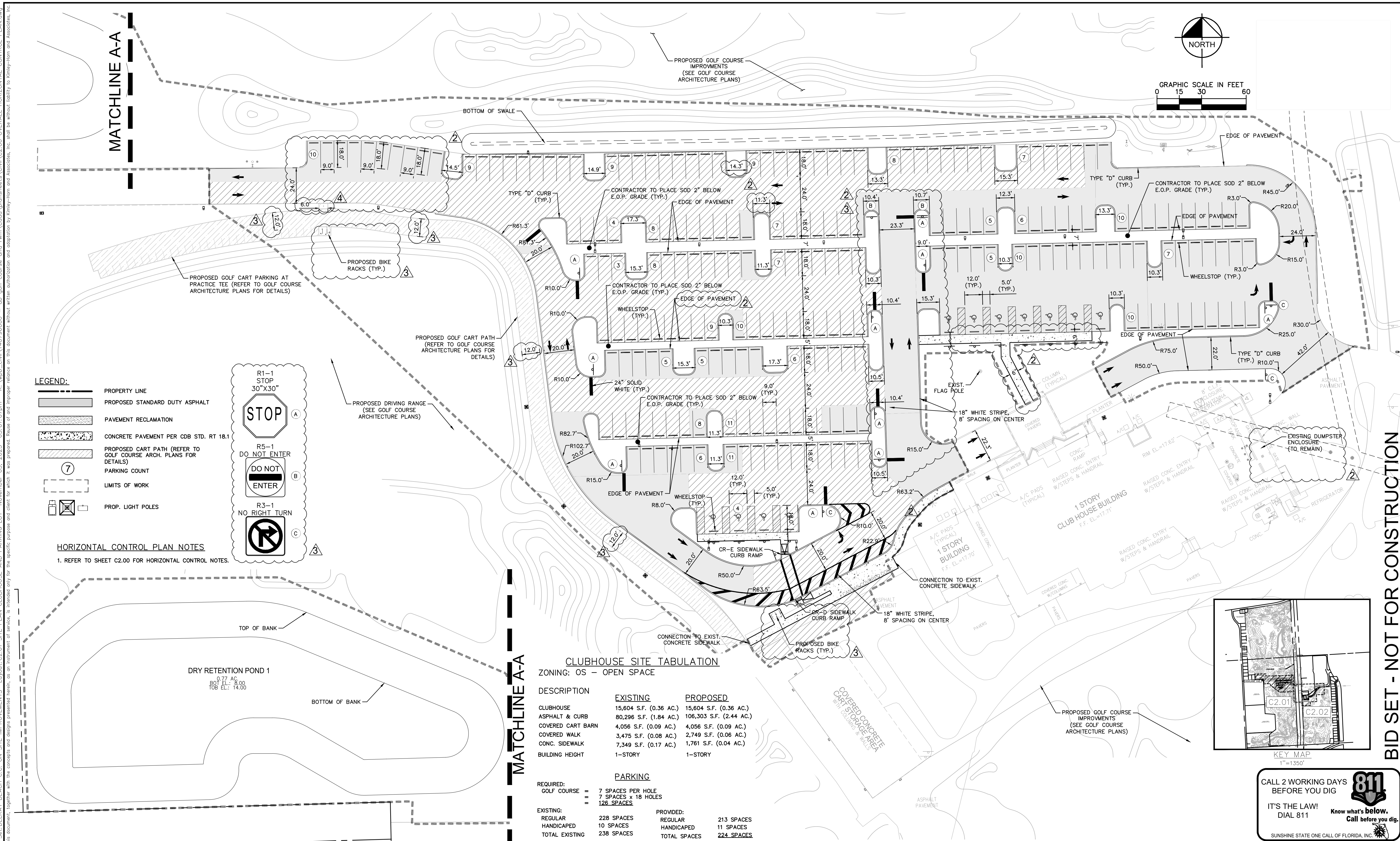
DATE: 6/2/2025

COVER SHEET




SHEET NUMBER

G0.00





BID SET - NOT FOR CONSTRUCTION

	ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB
No.	REVISIONS	DATE	BY

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1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 140796000	
DATE NOV. 2025	
SCALE AS SHOWN	
DESIGNED BY	SW
DRAWN BY	SW
CHECKED BY	MFS

PREPARED FOR
CITY OF DELRAY BEACH

DELRAY BEACH

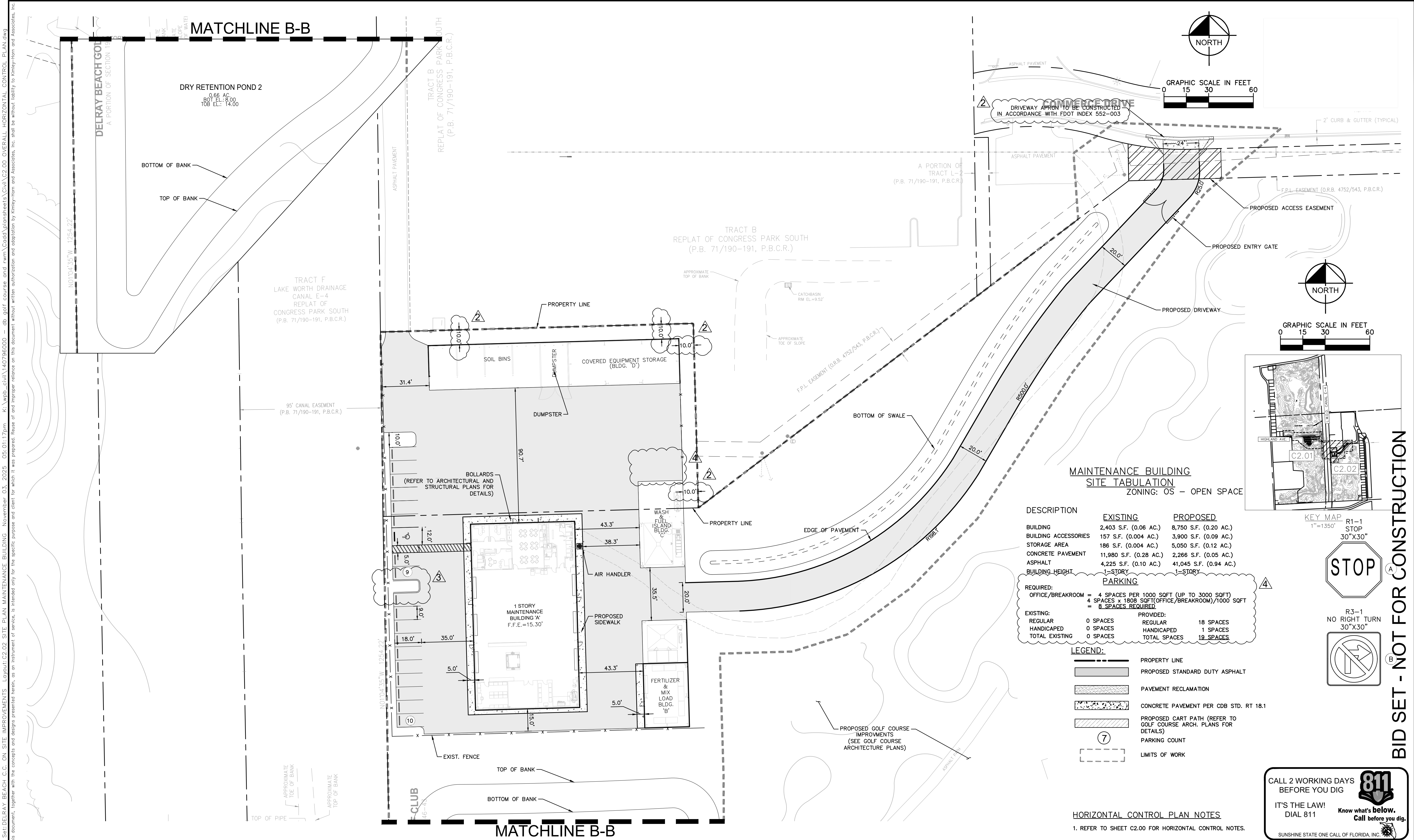
MICHAEL F. SCHWARTZ
P.E.
FLORIDA LICENSE NUMBER
56200

DATE: 11/3/2025

SITE PLAN CLUBHOUSE AND PARKING LOT

SHEET NUMBER

C2.01



ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB
No.	REVISIONS	DATE BY

Kimley»Horn

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1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 140796000
DATE NOV. 2025
SCALE AS SHOWN
DESIGNED BY SW
DRAWN BY SW
CHECKED BY MFS

**DELRAY BEACH GOLF COURSE
RENOVATION**
PREPARED FOR
CITY OF DELRAY BEACH

DELRAY BEACH

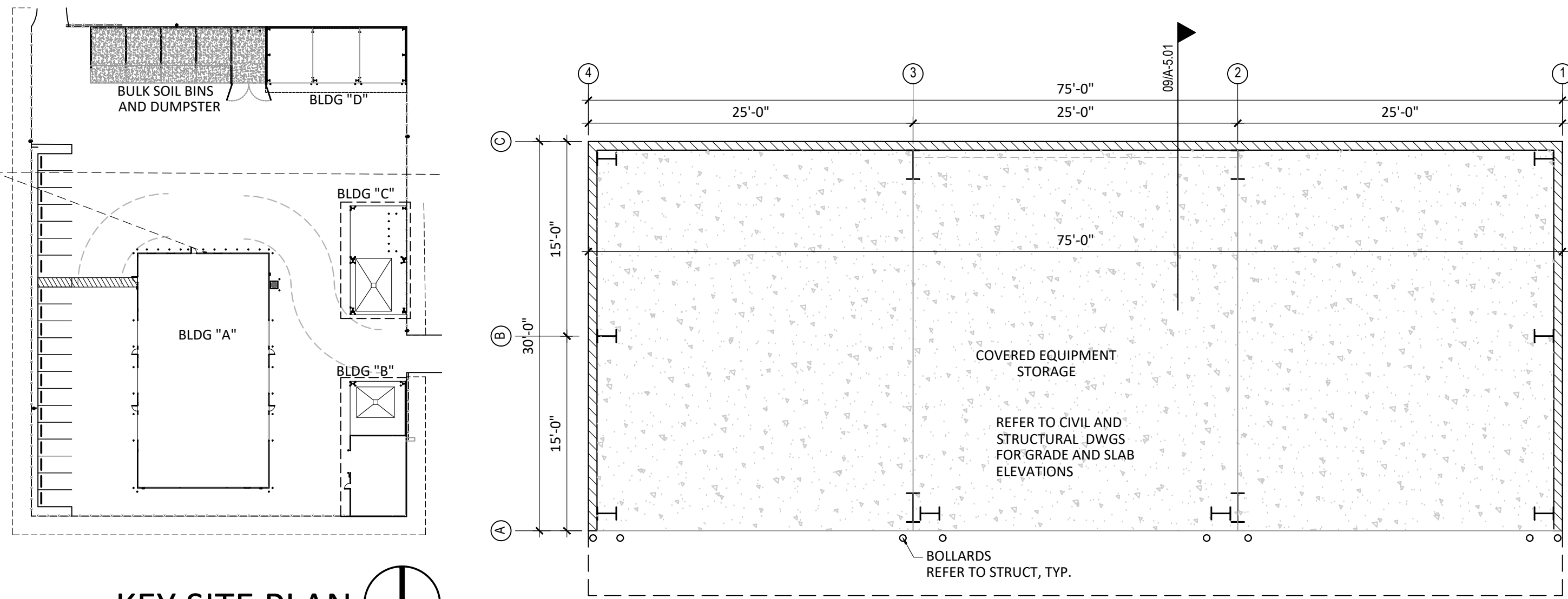
FLORIDA

LICENSED PROFESSIONAL
MICHAEL F. SCHWARTZ, P.E.
FLORIDA LICENSE NUMBER 56200
DATE: 11/3/2025

**SITE PLAN MAINTENANCE
BUILDING**

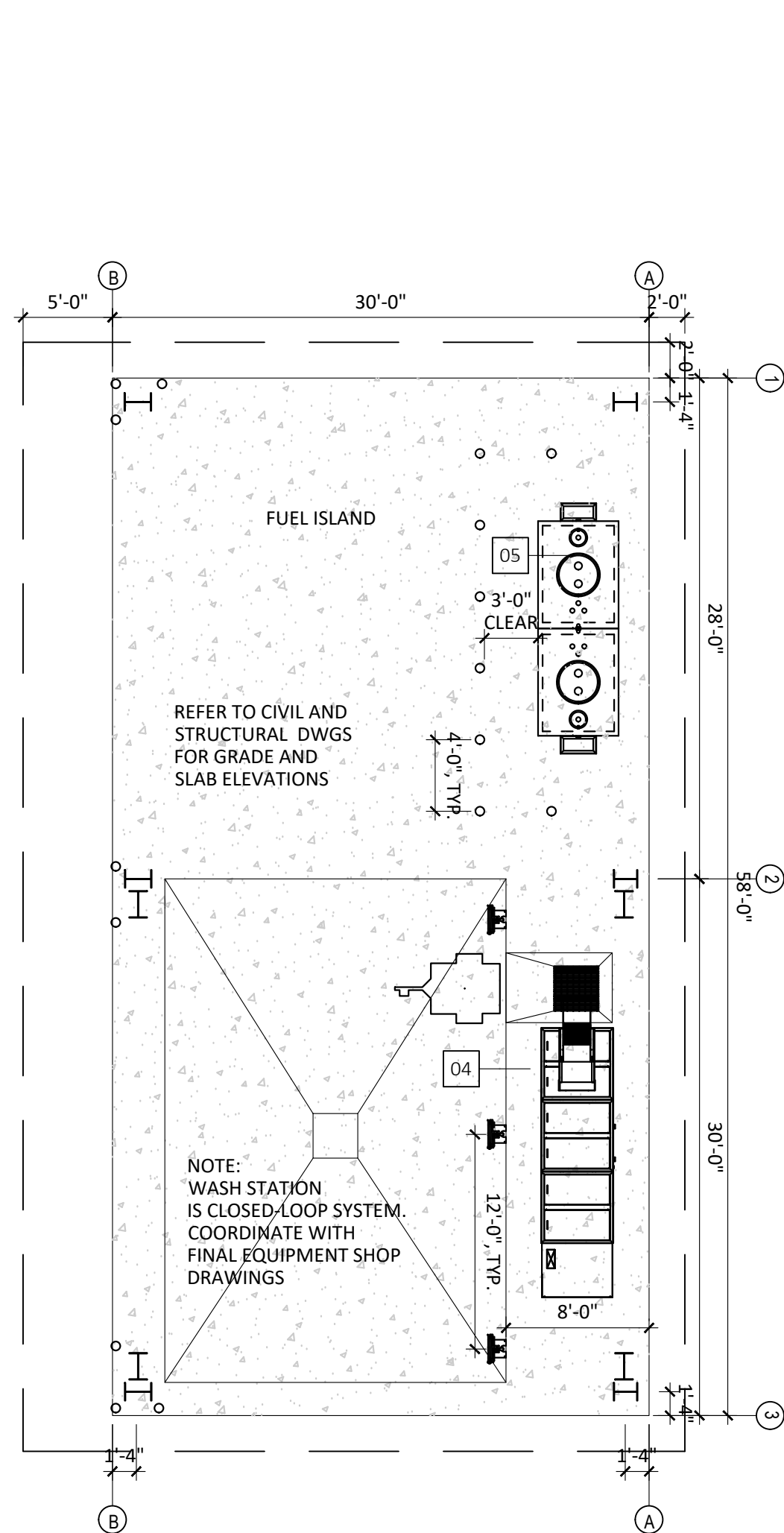
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C2.02

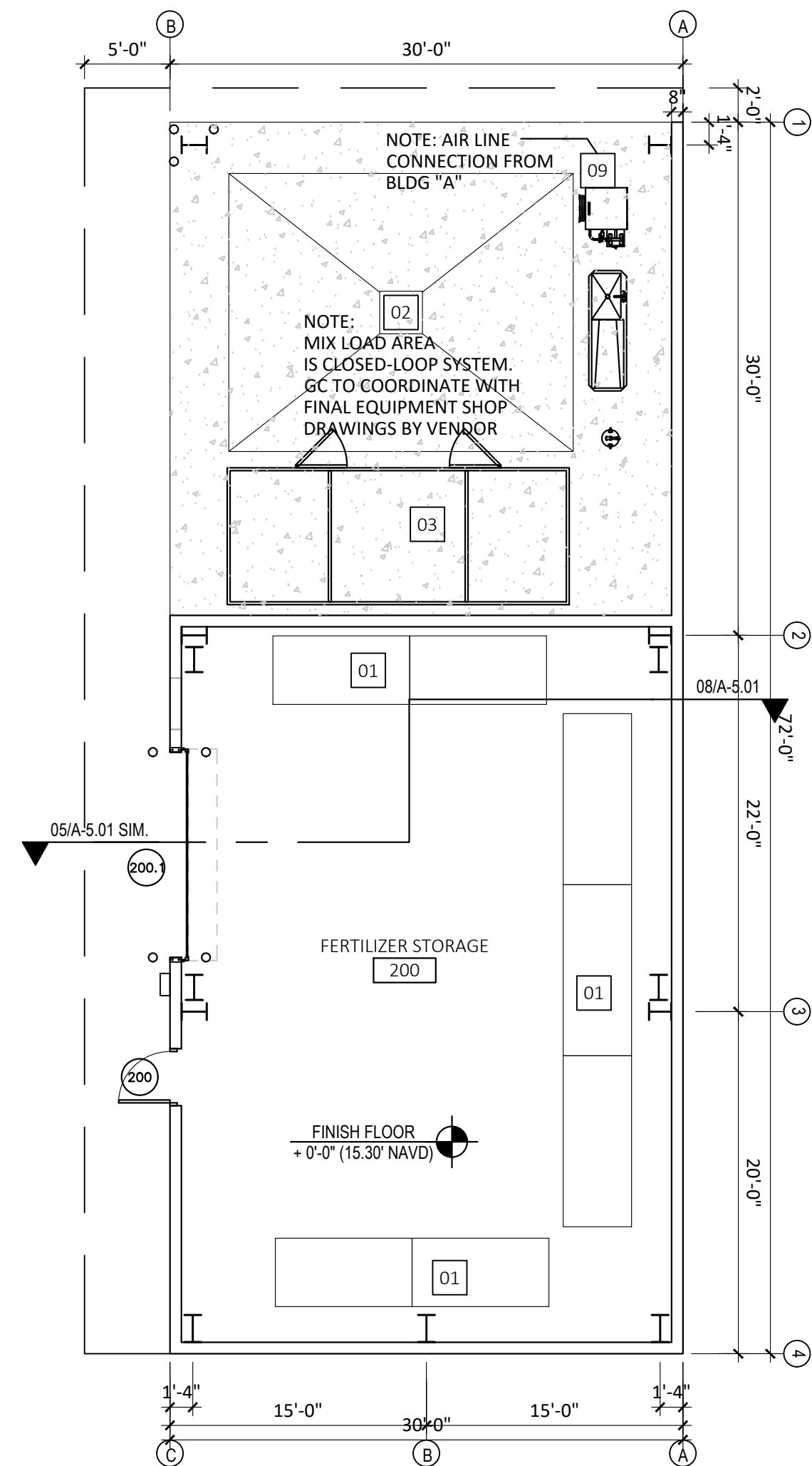


KEY SITE PLAN

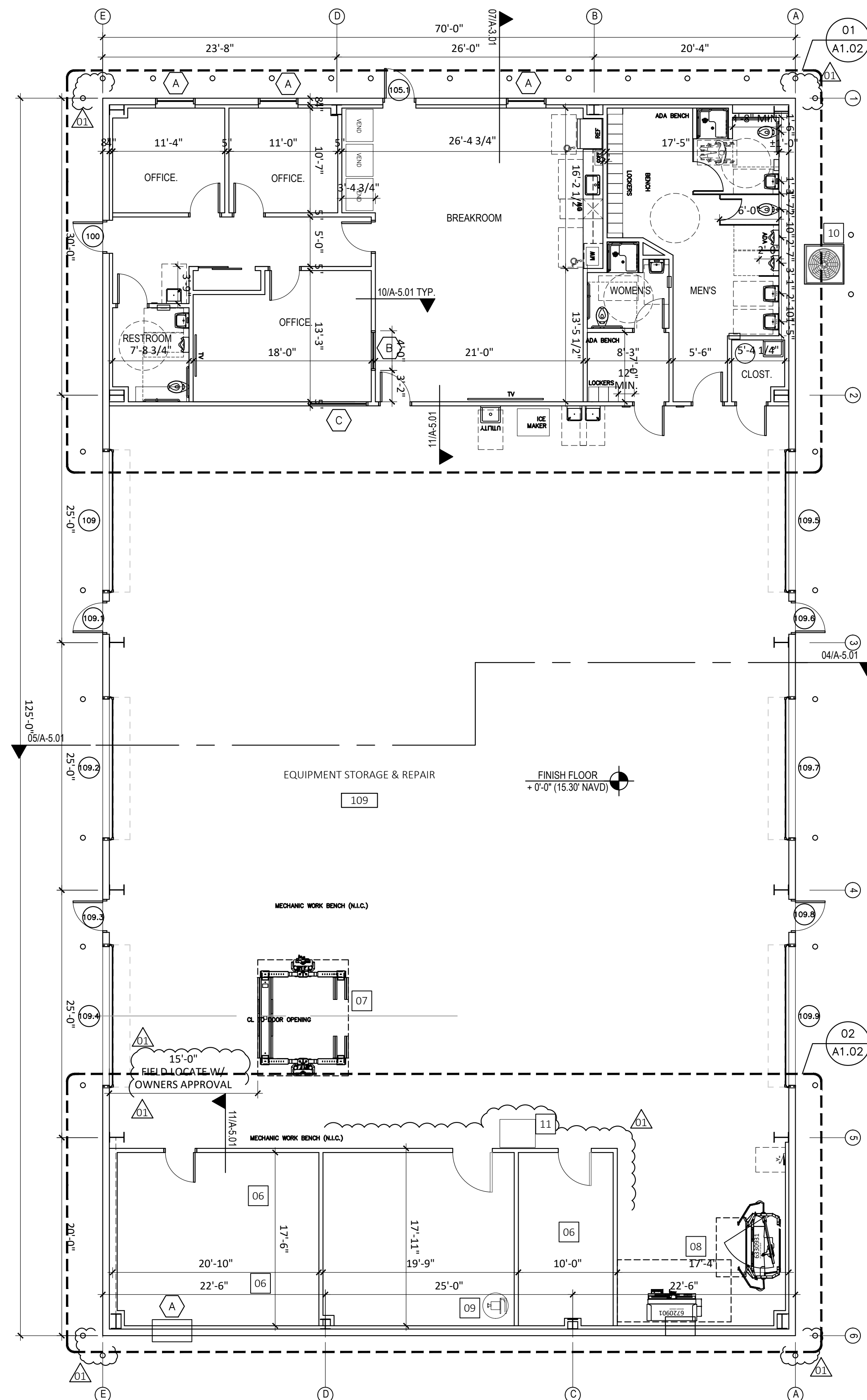
04 BUILDING "D" FLOOR PLAN
A-1.01 SCALE: 1/8" = 1'-0"



03 BUILDING "C" FLOOR PLAN
A-1.01 SCALE: 1/8" = 1'-0"



02 BUILDING "B" FLOOR PLAN
A-1.01 SCALE: 1/8" = 1'-0"



01 BUILDING "A" FLOOR PLAN
A-1.01 SCALE: 1/8" = 1'-0"

FLOOR PLAN KEY NOTES

- 01 STEEL PALLET STORAGE RACK (MAX STORAGE HEIGHT NOT TO EXCEED 12'H)
GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.
- 02 MIX & LOAD AREA CLOSED-LOOP EQUIPMENT.
INCLUDES BOTTOM SUMP, EYE WASH AND SHOWER STATION, CHEM SINK, REMOTE FILL HOSE, AND RINSATE TANK SYSTEM.
BASIS OF DESIGN: ESD WASTE2WATER, INC.
CONTRACT: ROGER MOORE, T: 941-202-8400
- 03 PREFAB CHEMICAL STORAGE UNIT, 8'L x 20'W x 8'H
BASIS OF DESIGN: ESD WASTE2WATER, INC.
CONTRACT: ROGER MOORE, T: 941-202-8400
- 04 WASH STATION CLOSED-LOOP EQUIPMENT
INCLUDES BOTTOM SUMP, SEWAGE PUMP, DRAINS, MODEL GSMS 800 SYSTEM, AND REMOTE HOSE HANGERS
BASIS OF DESIGN: ESD WASTE2WATER, INC.
CONTRACT: ROGER MOORE, T: 941-202-8400
- 05 ABOVE GROUND 1,000 GAL SPLIT FUEL TANK, SHALL MEET UL-2085 OWNER PROVIDED(RELOCATED), GC TO INSTALL. GC TO COORDINATE WITH OWNER.
- 06 PLASTIC PARTS STORAGE SHELVING UNITS, 36"W x 24"D x 74"H
GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.
- 07 TURF LIFT GOLF EQUIPMENT
BASIS OF DESIGN: GOLF-LIFT GL-9
GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL. COORDINATE FINAL LOCATION IN FIELD WITH OWNER.
- 08 BEDKNIFE GRINDER AND SPIN GRINDER
BASIS OF DESIGN: BERNHARD,
COORDINATE POWER PROVISION WITH ELECTRICAL DWGS.
GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.
- 09 SHP 60 GAL AIR COMPRESSOR
GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL. PROVIDE UNDER GROUND CONNECTION LINE TO MIX LOAD EQUIPMENT @ BLDG "B".
- 10 PROVIDE A/C UNIT SCREEN.
BASIS OF DESIGN: AIRDEKO, AIR CONDITIONING COVERS.
COLOR: CHARCOAL.
- 11 90 GALLON UL CABINET
BASIS OF DESIGN: SURE-GRIP EX FLAMMABLE CABINET, RED

- ADDITIONAL NOTES:
- 1. OFFICE AND BREAKROOM FURNITURE NOT IN CONTRACT(NIC). SHOWN FOR REFERENCE ONLY. OWNER TO PROVIDE AND COORDINATE AS REQUIRED
 - 2. MECHANIC WORKBENCHES NOT IN CONTRACT(NIC). SHOWN FOR REFERENCE ONLY. OWNER TO PROVIDE AND COORDINATE.
 - 3. GC TO COORDINATE WITH OWNER ALL BREAKROOM EQUIPMENT.
 - 4. GC TO COORDINATE WITH OWNER ICE MACHINE SPECIFICATION



LICENSE AA 26003190
8245 S.W. 42ND STREET
MIAMI, FLORIDA 33155
P: 786.239.1322
WWW.D-Q-S.COM

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REVISIONS:		
NO.	DATE	DESCRIPTION
01	08.14.25	SPA REVISIONS 01

CLIENT:

CITY OF DELRAY BEACH

PROJECT:

DELRAY BEACH MUNICIPAL GOLF
MAINTENANCE FACILITY

ARCHITECTURAL FLOOR PLAN

100% SUBMITTAL

SEAL

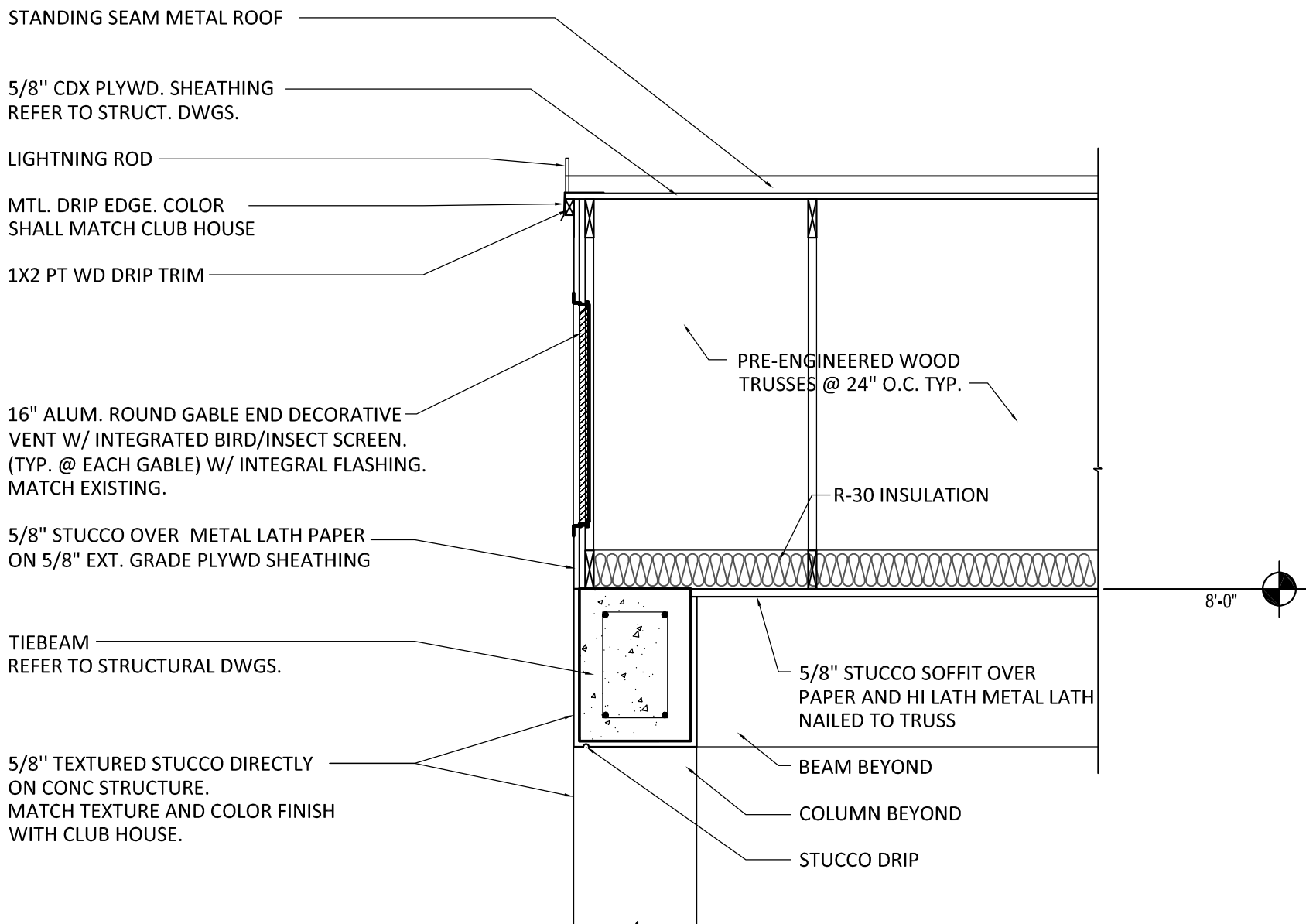
DATE:

06/06/25

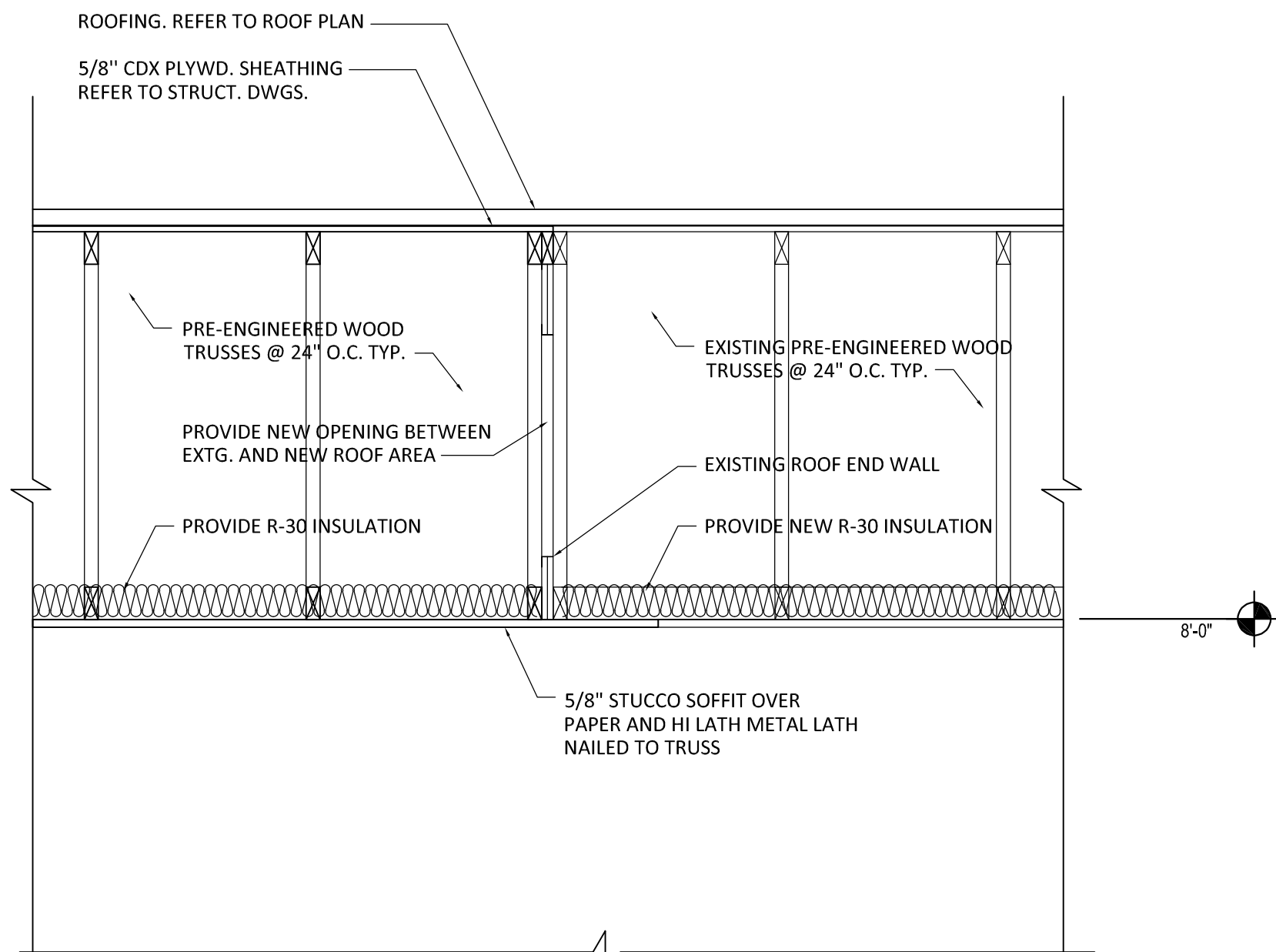
DRAWING NO.

A-1.01

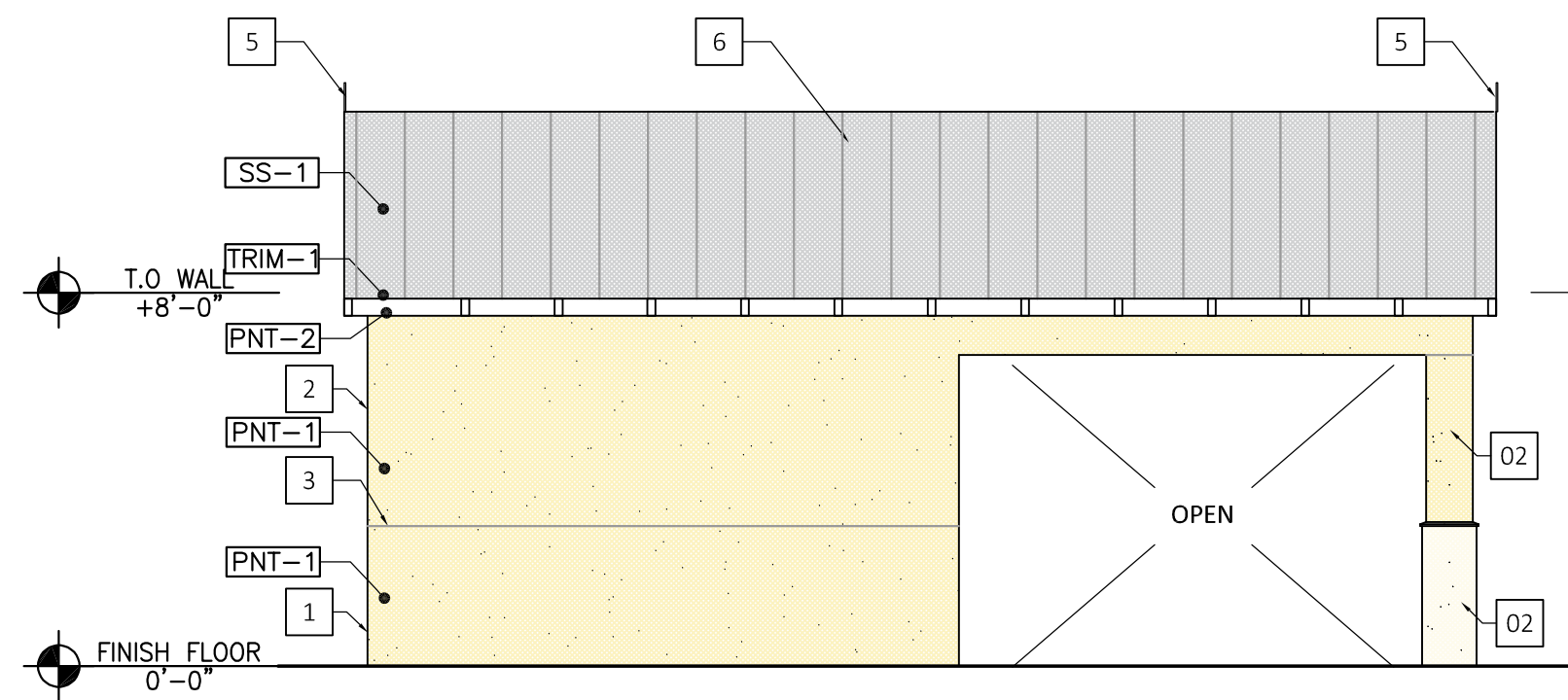
D & Q Studio Server\03_Projects\1813_02_Drawings & Specs\01_CAD or Rvt\Drawings



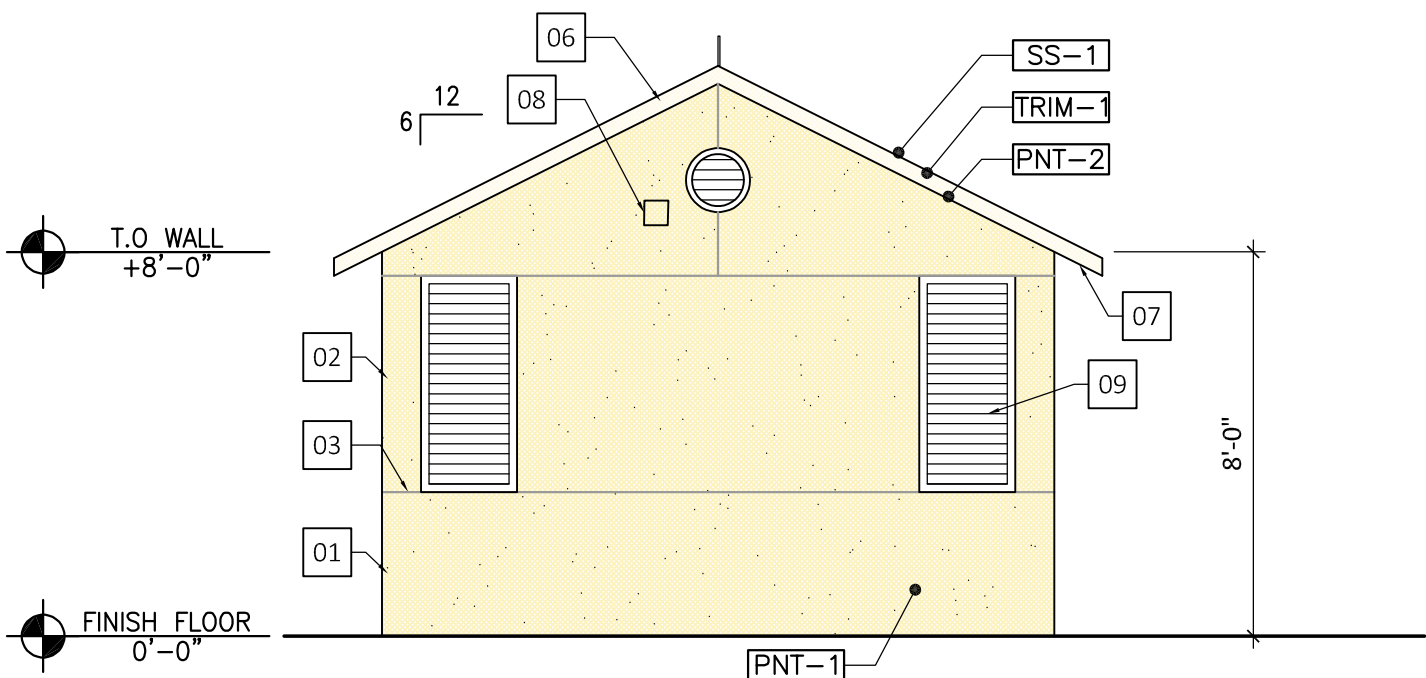
05 SECTION
A-2.01 SCALE: 3/4" = 1'-0"



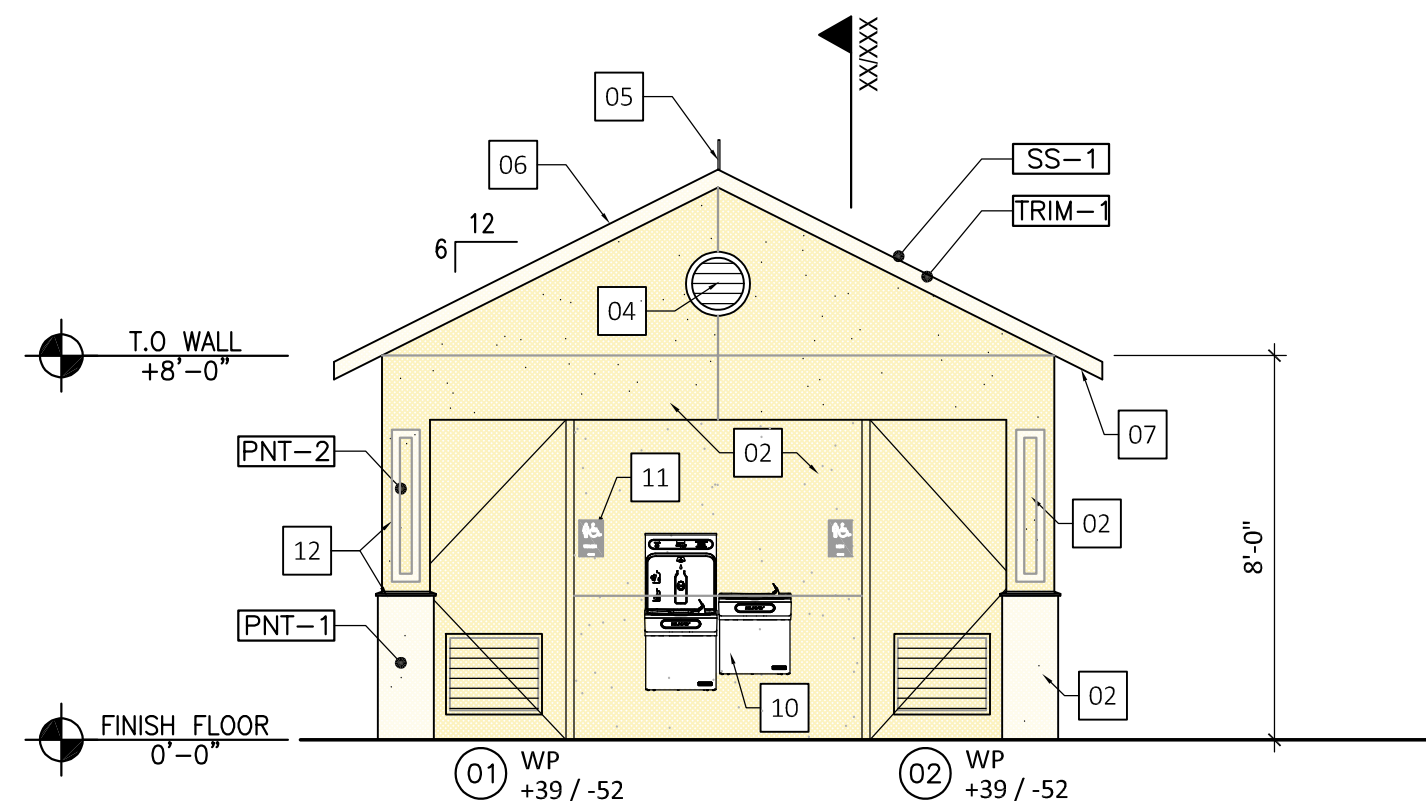
05 SECTION
A-2.01 SCALE: 3/4" = 1'-0"



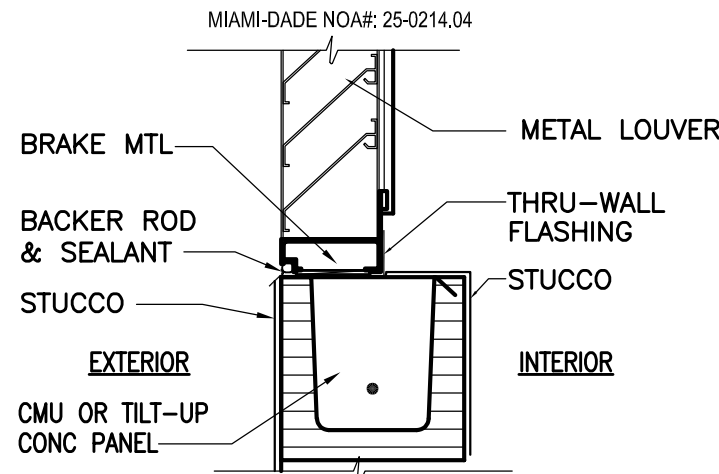
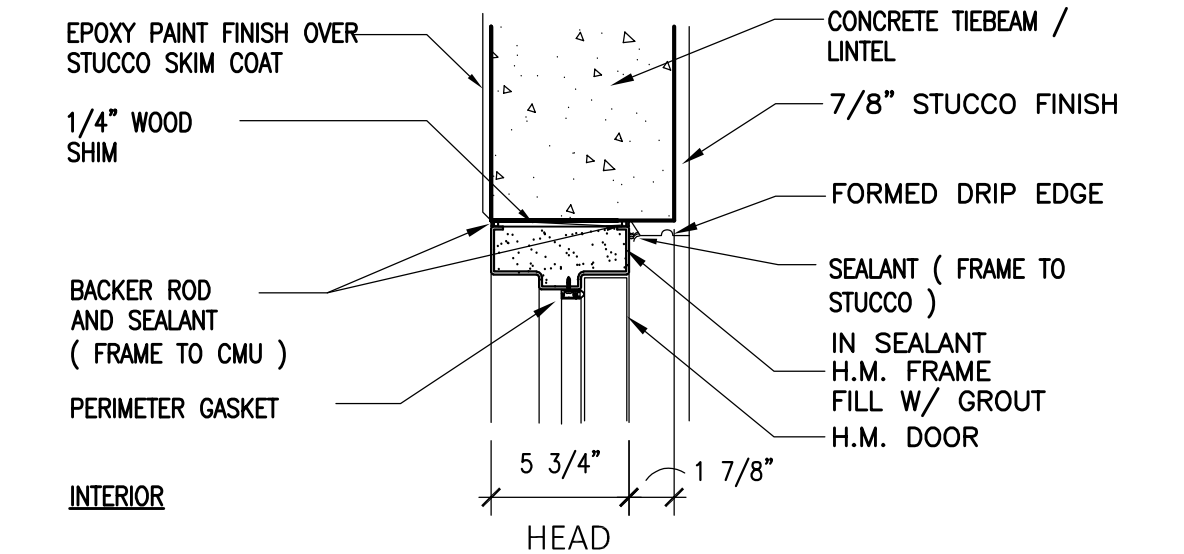
03 RESTROOM #1 & 2
SIDE ELEVATION
A-2.01 SCALE: 1/4" = 1'-0"



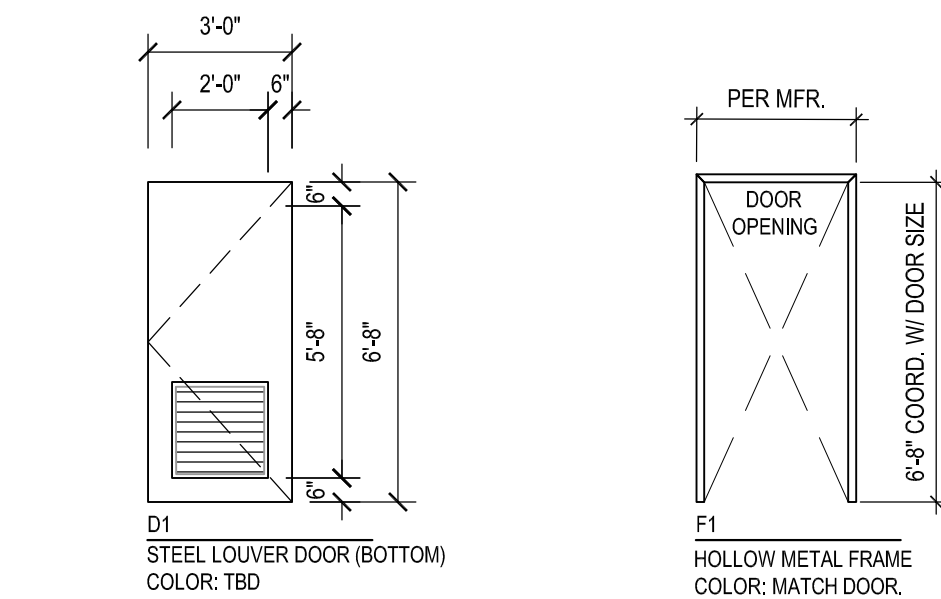
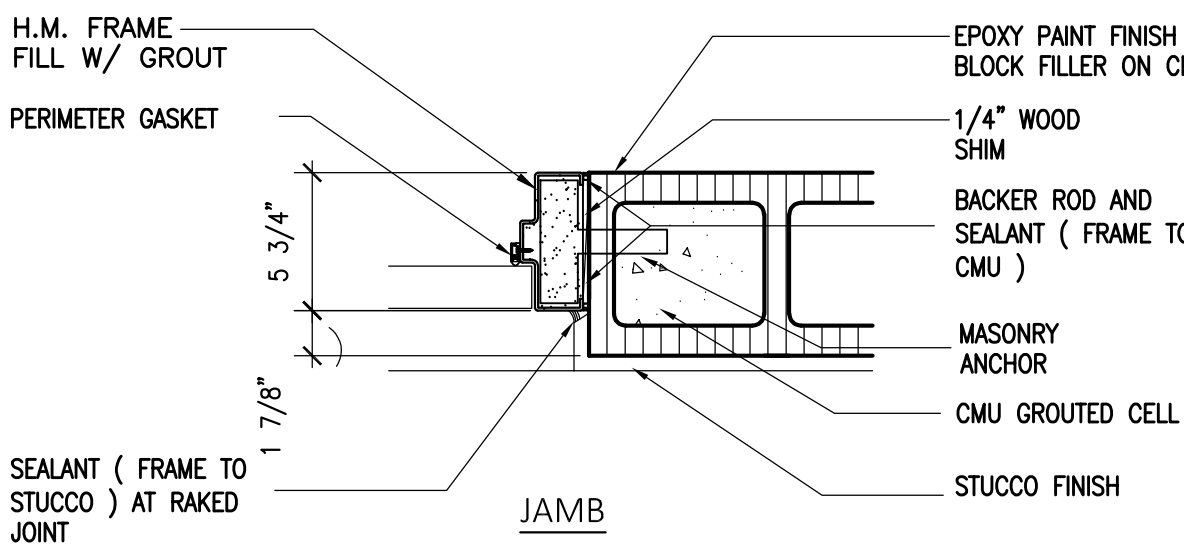
02 RESTROOM #1 & 2
BACK ELEVATION
A-2.01 SCALE: 1/4" = 1'-0"



01 RESTROOM #1 & 2
FRONT ELEVATION
A-2.01 SCALE: 1/4" = 1'-0"



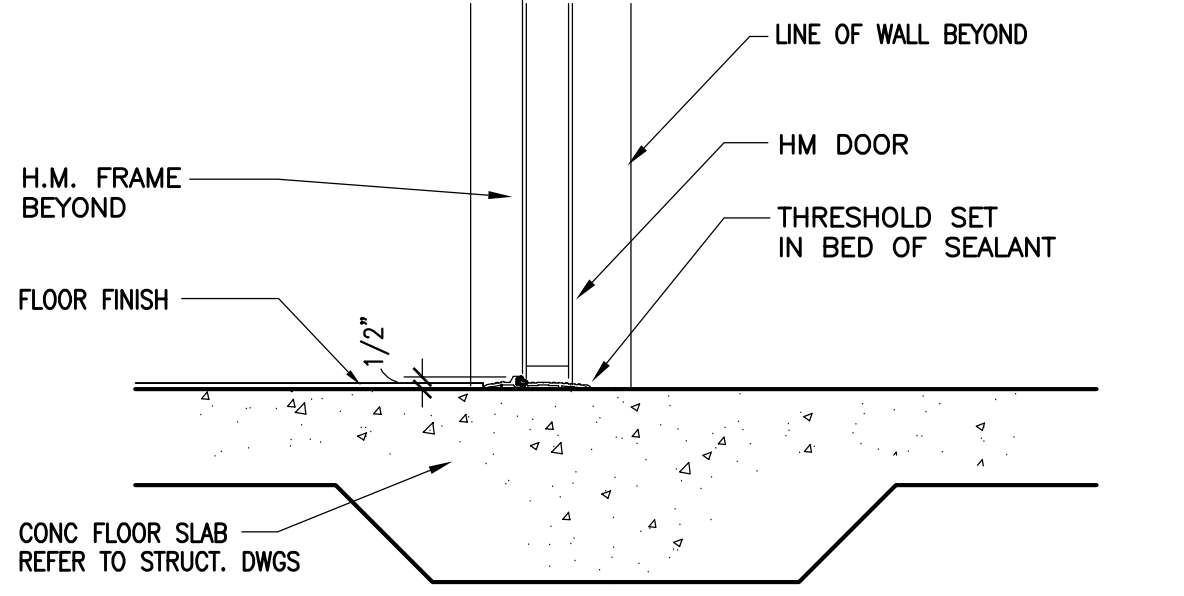
05 LOUVER DETAIL
A-2.01 SCALE: 3/4" = 1'-0"



BASIS OF DESIGN:
MFR: GENSTEEL DOOR, INC.
PRODUCT: GENSTORM SERIES,
LOUVER STEEL DOOR
MIAMI DADE NOA #: 23-1207.08(EXP: 06.14.26)

DOOR TYPES

SCALE: 1/4" = 1'-0"



06 DOOR DETAILS
A-2.01 SCALE: 1-1/2" = 1'-0"

DOOR SCHEDULE										
MARK	DOOR SIZE			DOOR			FRAME			REMARKS
	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
01	3'-0"	6'-8"	1-3/4"	D1	METAL	FACTORY	F1	METAL	FACTORY	1, 2
02	3'-0"	6'-8"	1-3/4"	D1	METAL	FACTORY	F1	METAL	FACTORY	1, 2
NOTES:										
REMARKS:										

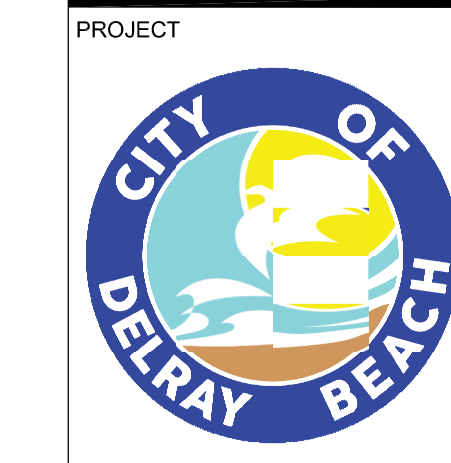
ELEVATION KEY NOTES		EXTERIOR COLOR/FINISH LEGEND	
ITEM #	DESCRIPTION	SYMBOL	DESCRIPTION
01	STUCCO FINISH, SKIP TROWEL (MATCH EXISTING)	PNT-1	EXTERIOR PAINT: COLOR (MATCH CLUBHOUSE) WALLS AND COLUMNS ABOVE
02	STUCCO FINISH, SMOOTH (FEATHER INTO EXISTING)	PNT-2	EXTERIOR PAINT: COLOR (MATCH CLUBHOUSE) EXPOSED TRUSS ENDS AND BLOCKING COLUMN BASE
03	STUCCO CONTROL JOINT, TYP.	SS-1	STANDING SEAM ROOF: COLOR GALVALUME
04	16" ROUND ALUM. GABLE VENT, MATCH EXISTING, KYNAR 500 FINISH	TRIM-1	ROOF FLASHING DRIP EDGE: COLOR GALVALUME(MATCH ROOF)
05	EXISTING LIGHTNING ROD, TO REMAIN (REPLACE IF DAMAGED)		
06	STANDING SEAM METAL ROOF, GALVALUME		
07	EXPOSED TRUSS ENDS, TYP. (MATCH EXISTING) GC TO FIELD VERIFY EXISTING DAMAGED FOR REPLACEMENT.		
08	EXHAUST VENT. REFER TO MECHANICAL DWGS.		
09	REPLACE EXISTING 24"X 54" ALUMINUM LOUVER, KYNAR 500 FINISH		
10	NEW DRINKING FOUNTAIN WITH BOTTLE FILLER		
11	NEW MEN'S AND WOMEN'S RESTROOM SIGNAGE		
12	STUCCO TRIM		

D & QSTUDIOARCHITECTS

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SEAL



DELRAY BEACH GOLF CLUB: RESTROOM FACILITIES

2200 HIGHLAND AVE.
DELRAY BEACH, FL 33445

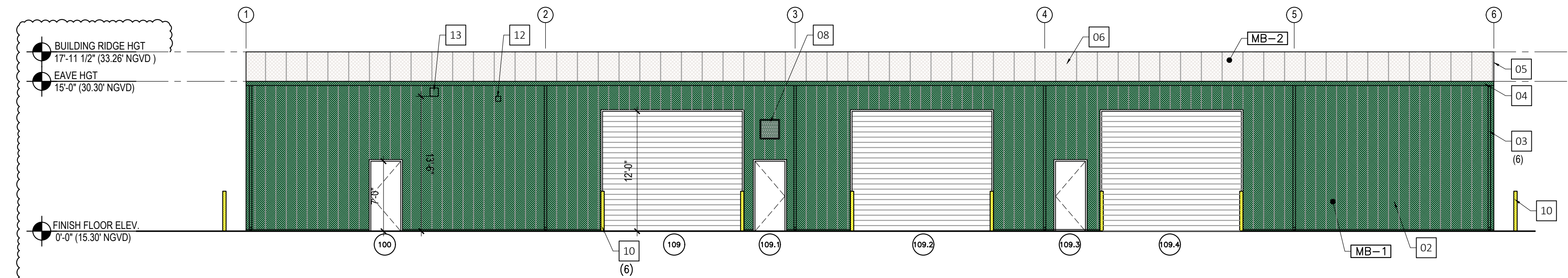
REVISIONS		
NO.	DATE	DESCRIPTION

DO PROJECT NO.: 2015
CHECKED BY: DD
DRAWN BY: DD
DATE: 05/14/25
PHASE

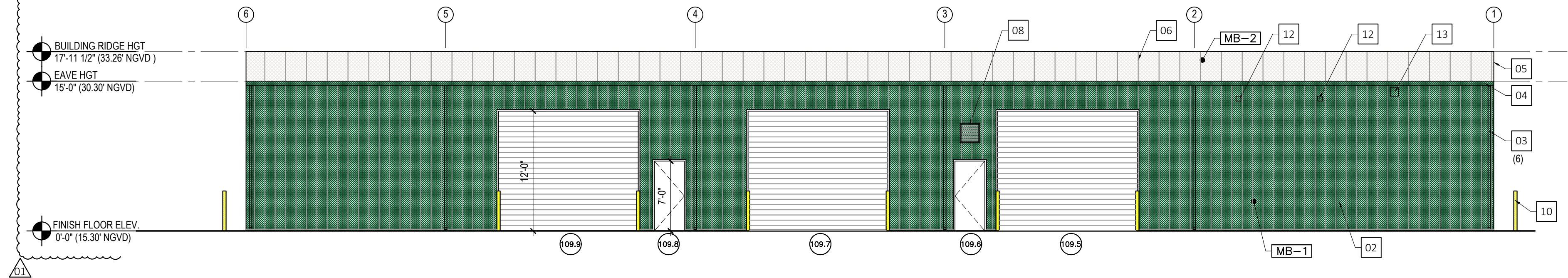
SITE PLAN APPLICATION

EXTERIOR ELEVATIONS & DETAILS

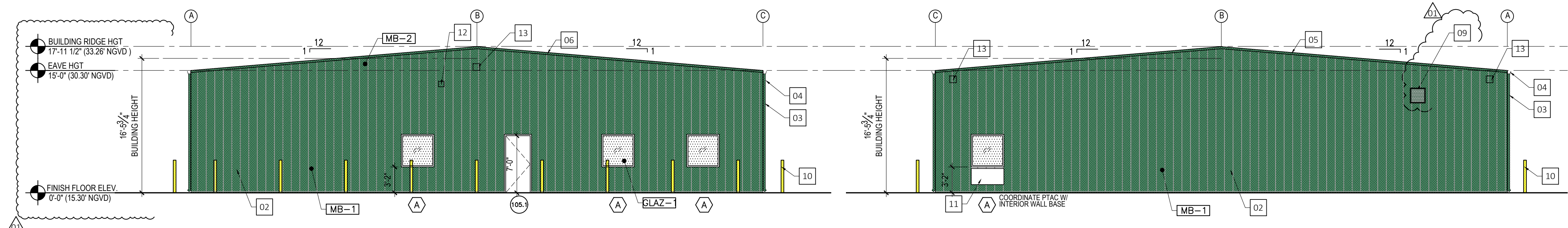
SHEET NUMBER
A-2.01



01
A-3.01
MAIN BUILDING "A"
WEST ELEVATION
SCALE: 1/8" = 1'-0"



02
A-3.01
MAIN BUILDING "A"
EAST ELEVATION
SCALE: 1/8" = 1'-0"



03
A-3.01
MAIN BUILDING "A"
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

04
A-3.01
MAIN BUILDING "A"
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR COLOR/FINISH LEGEND

SYMBOL	DESCRIPTION
	PRE-FINISHED METAL BUILDING (PEMB) COLOR: FOREST GREEN SIDING PANEL RAKE TRIM EAVE TRIM & GUTTER DOWNSPOUT
	PRE-FINISHED METAL BUILDING (PEMB) COLOR: GALVALUME METAL ROOFING PANEL
	METAL BUILDING (PEMB) COLOR: GREY PRIMER, EXTERIOR EXTERIOR RIGID FRAME PURLINS AND GIRTS
	IMPACT RATED GLAZING IN ALUMINUM FRAMES. 'LOW-E' - SOLARBAN 70 - CLEAR
	EXTERIOR PAINT TO MATCH MB-1 COLOR: FOREST GREEN (MATCH BLDG COLOR) CMU BLOCK WALLS LOUVERS AND WALL CAPS
	EXTERIOR PAINT TO MATCH COLOR: WARM WHITE (MATCH ROLL-UP DOOR COLOR) DOORS, ROLL-UP DOORS, WINDOW FRAMES
	EXTERIOR PAINT TO MATCH COLOR: TRAFFIC YELLOW STEEL BOLLARDS

- NOTE:
- ALL EXTERIOR EXPOSED CONCRETE BLOCK AND CONCRETE SHALL RECEIVE 1 COAT PITTSBURGH PERMA-CRETE BLOCK FILLER PRIMER W/ 2 COAT PITTSBURGH SUN PROOF PAINT. TINT EACH COAT SEPARATELY TO FINAL COLOR. OR APPROVED EQUAL.
 - PERSONNEL DOORS, FRAMES, BOLLARDS, AND OTHER EXTERIOR EXPOSED STEEL SHALL RECEIVE 2 COAT PITTSBURGH 7-814 GLOSS ALKYD ENAMEL OVER FACTORY PRIME.

ELEVATION KEY NOTES

ITEM #	DESCRIPTION
01	PRE-FINISHED STL WALL FLASHING
02	26 GA. PRE-FINISHED STEEL WALL SHEETS/SIDING
03	PRE-FINISHED STEEL DOWNSPOUTS (DS)
04	PRE-FINISHED STEEL GUTTER CONT.
05	PRE-FINISHED STEEL RAKE TRIM
06	PBR ROOF ROOF PANELS, MIN. 24 GA., GALVALUME COATING
07	PAINTED CMU BLOCK WALL WITH FLUSH JOINTS.
08	FIXED LOUVERS W/INSECT & BIRD SCREEN BY MTL BLG MFR.
09	LOUVER W/ EXHAUST FAN. REFER TO MECHANICAL DWGS.
10	STEEL BOLLARD. REFER TO STRUCTURAL DWGS
11	PTAC UNIT. REFER TO MECHANICAL DWGS.
12	EXHAUST VENT, PAINTED TO MATCH WALL PANEL. REFER TO MECH. DWGS.
13	LIGHTING FIXTURE. REFER TO ELECTRICAL PLAN



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REVISIONS:		
NO.	DATE	DESCRIPTION
01	08.14.25	SPA REVISIONS 01

CLIENT:

CITY OF DELRAY BEACH

PROJECT:

DELRAY BEACH MUNICIPAL GOLF
MAINTENANCE FACILITY

EXTERIOR ELEVATIONS

100% SUBMITTAL

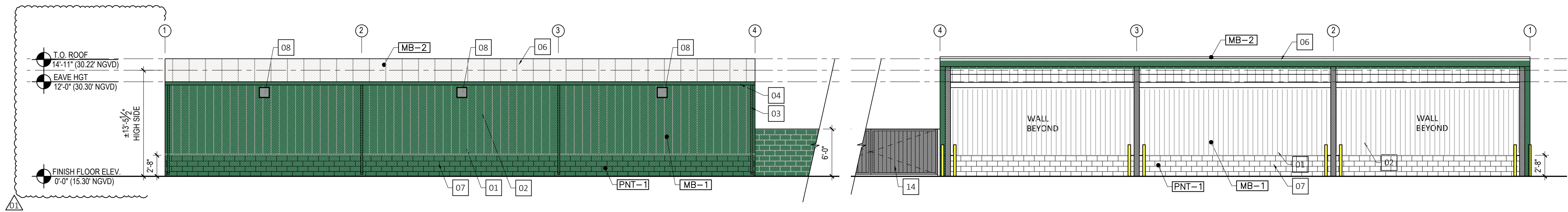
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DATE:

06/06/25

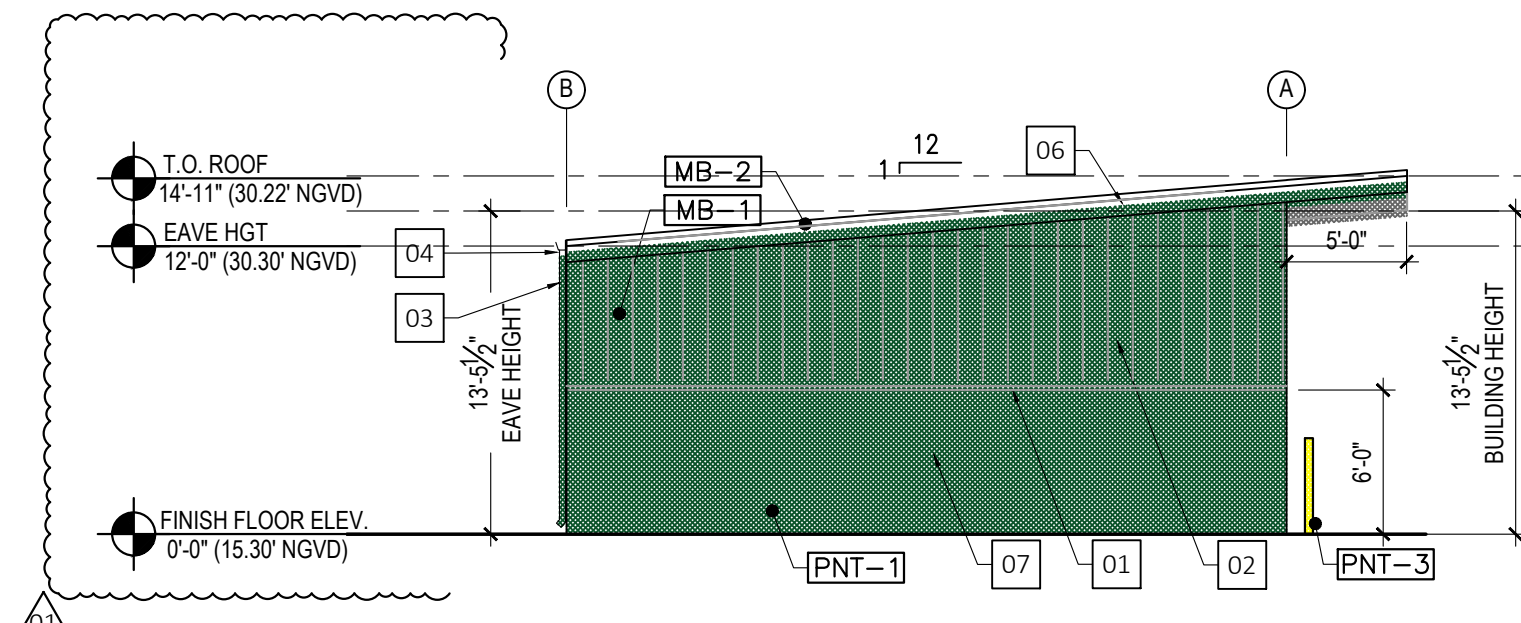
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A-3.01

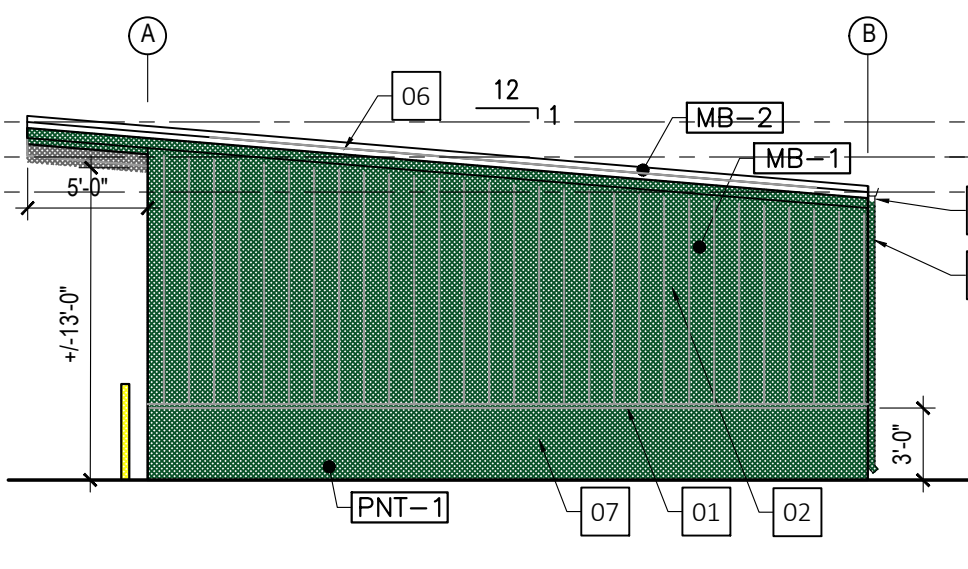


01 BUILDING "D"
NORTH ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"

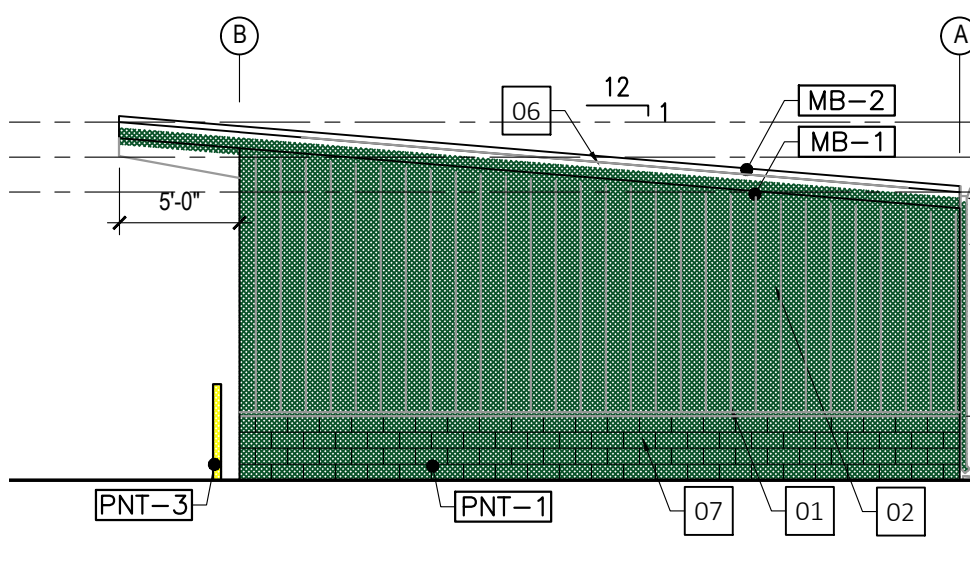
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A-3.02 SCALE: 1/8" = 1'-0"



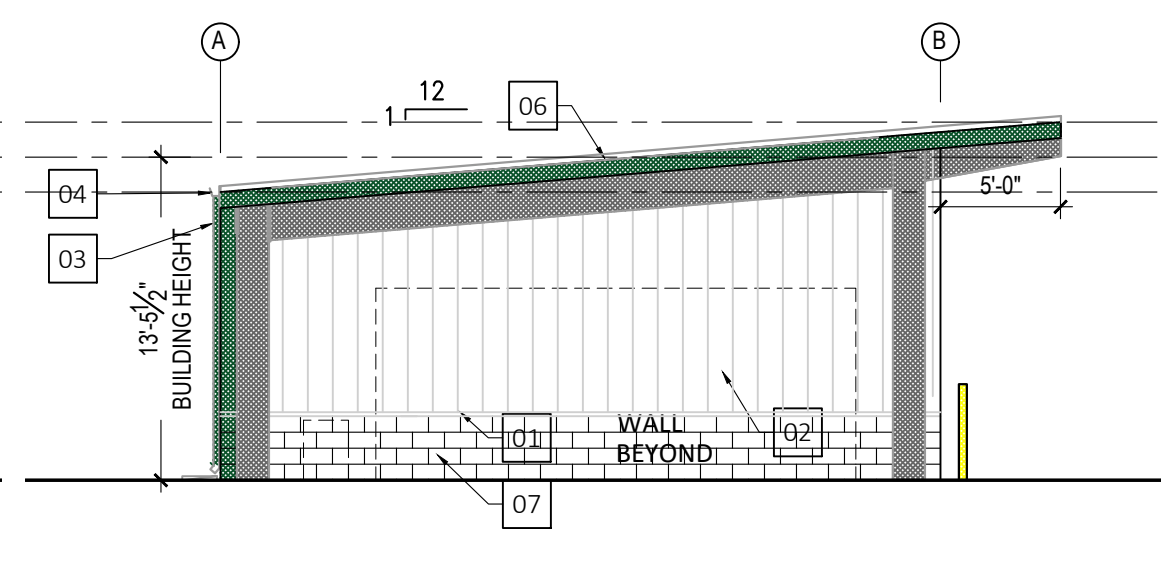
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A-3.02 SCALE: 1/8" = 1'-0"



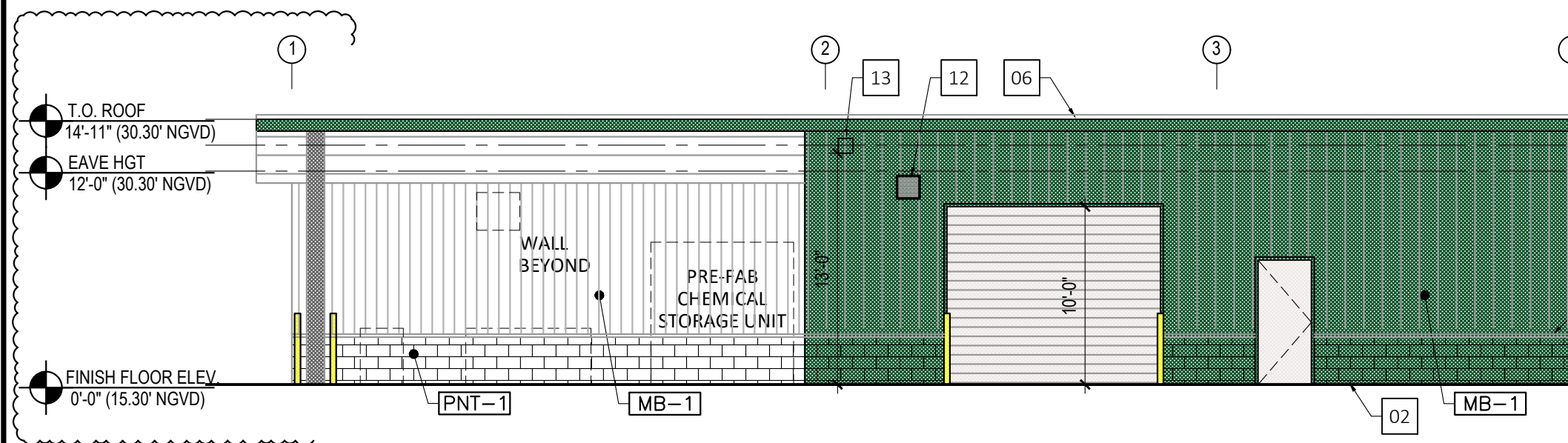
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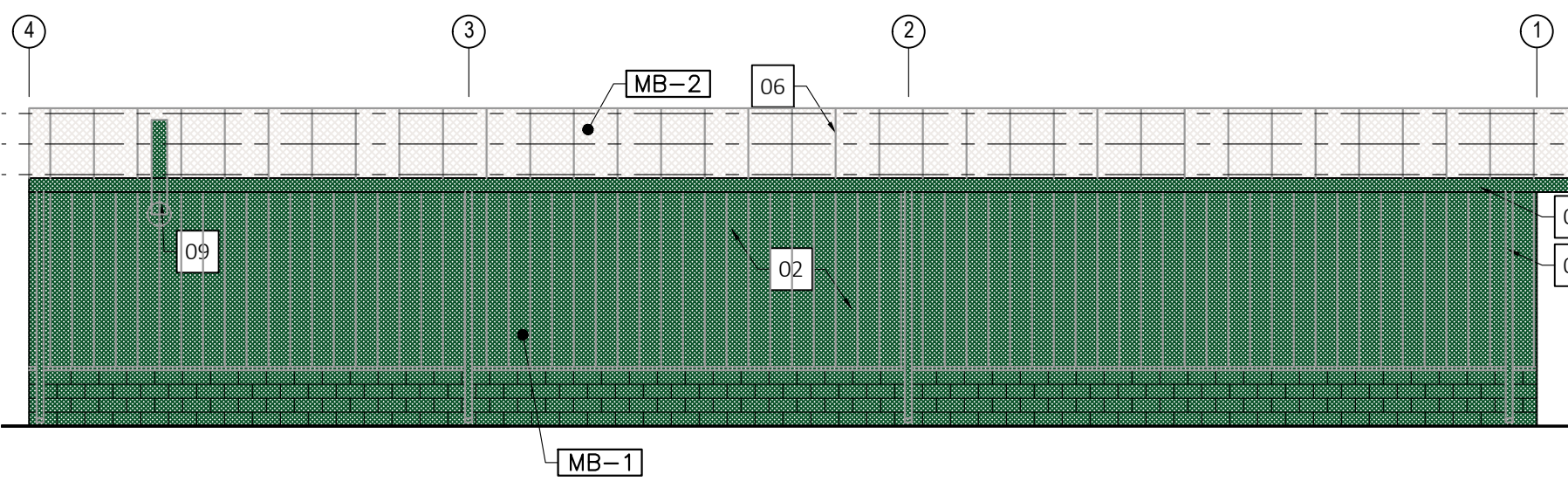
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SOUTH ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



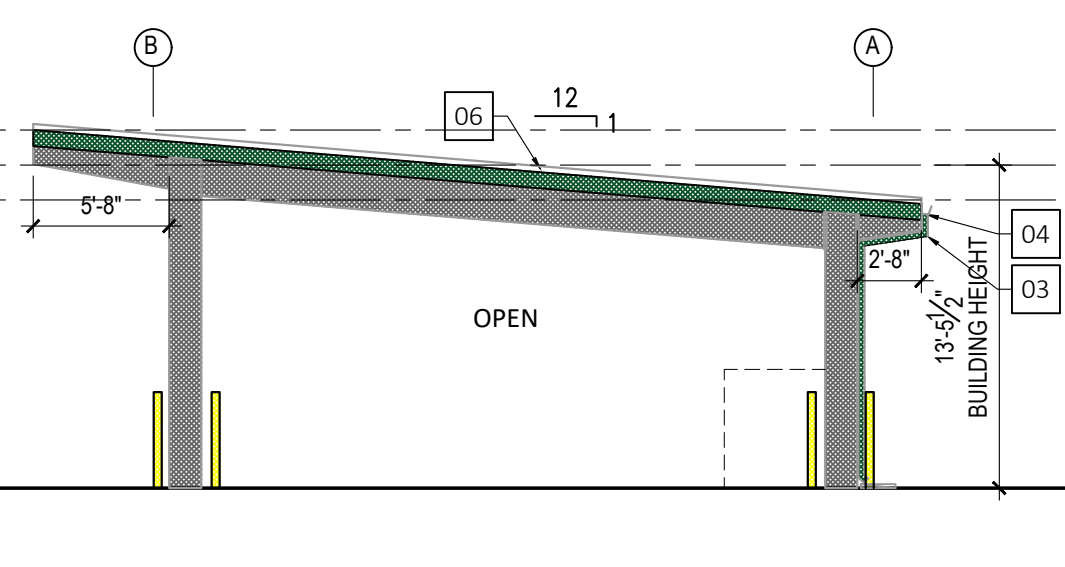
06 BUILDING "B"
NORTH ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



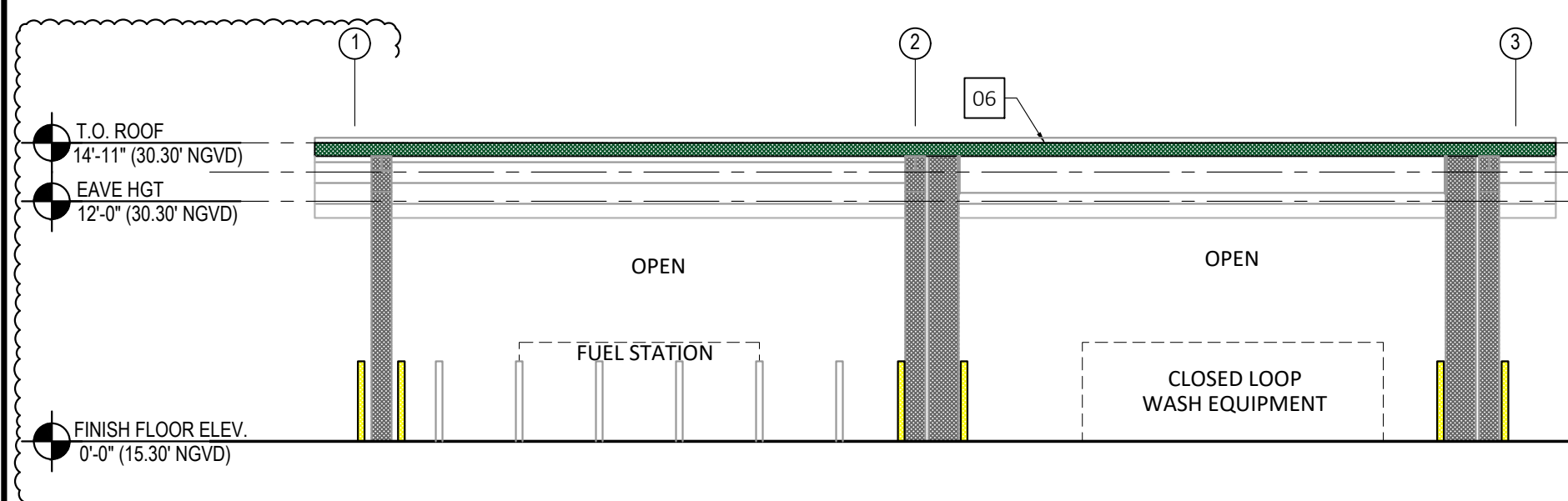
07 BUILDING "B"
WEST ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



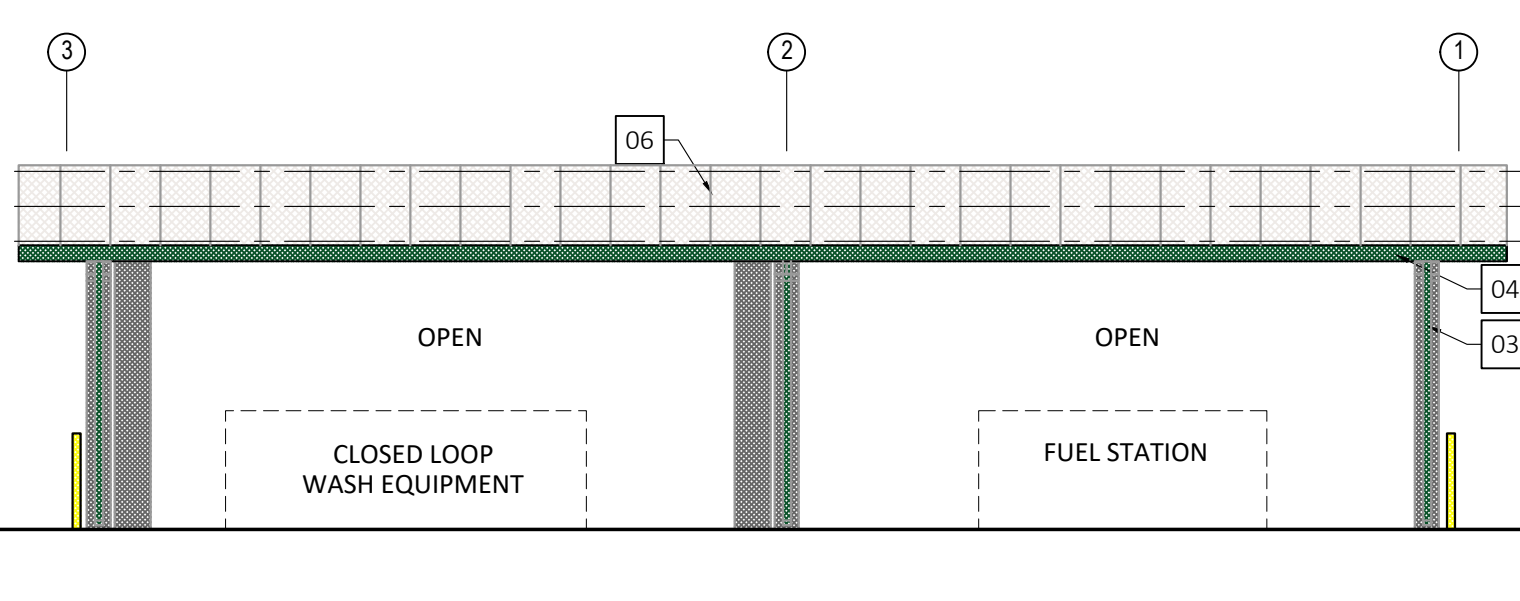
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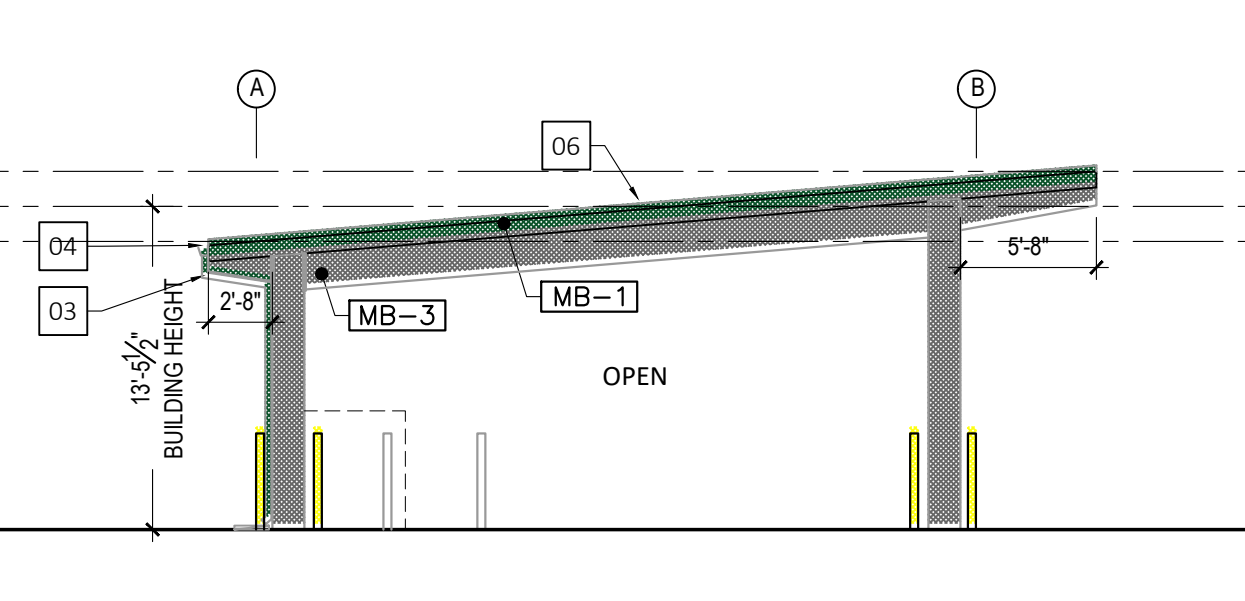
09 BUILDING "C"
SOUTH ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



10 BUILDING "C"
WEST ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



11 BUILDING "C"
EAST ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"



12 BUILDING "C"
NORTH ELEVATION
A-3.02 SCALE: 1/8" = 1'-0"

EXTERIOR COLOR/FINISH LEGEND

SYMBOL	DESCRIPTION
MB-1	PRE-FINISHED METAL BUILDING (PEMB) COLOR: FOREST GREEN SIDING PANEL RAKE TRIM EAVE TRIM & GUTTER DOWNSPOUT
MB-2	PRE-FINISHED METAL BUILDING (PEMB) COLOR: GALVALUME METAL ROOFING PANEL
MB-3	METAL BUILDING (PEMB) COLOR: GREY PRIMER, EXTERIOR EXTERIOR RIGID FRAME PURLINS AND GIRTS
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PNT-1	EXTERIOR PAINT TO MATCH MB-1 COLOR: FOREST GREEN (MATCH BLDG COLOR) CMU BLOCK WALLS LOUVERS AND WALL CAPS
PNT-2	EXTERIOR PAINT TO MATCH COLOR: WARM WHITE (MATCH ROLL-UP DOOR COLOR) DOORS, ROLL-UP DOORS, WINDOW FRAMES
PNT-3	EXTERIOR PAINT TO MATCH COLOR: TRAFFIC YELLOW STEEL BOLLARDS

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ELEVATION KEY NOTES

ITEM #	DESCRIPTION
01	PRE-FINISHED STL WALL FLASHING
02	26 GA. PRE-FINISHED STEEL WALL SHEETS/SIDING
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11	PTAC UNIT. REFER TO MECHANICAL DWGS.
12	EXHAUST VENT, PAINTED TO MATCH WALL PANEL. REFER TO MECH. DWGS.
13	LIGHTING FIXTURE. REFER TO ELECTRICAL PLAN



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REVISIONS:	NO.	DATE	DESCRIPTION
	01	08.14.25	SPA REVISIONS 01

CLIENT:

CITY OF DELRAY BEACH

PROJECT:

DELRAY BEACH MUNICIPAL GOLF
MAINTENANCE FACILITY

EXTERIOR ELEVATIONS

100% SUBMITTAL

SEAL

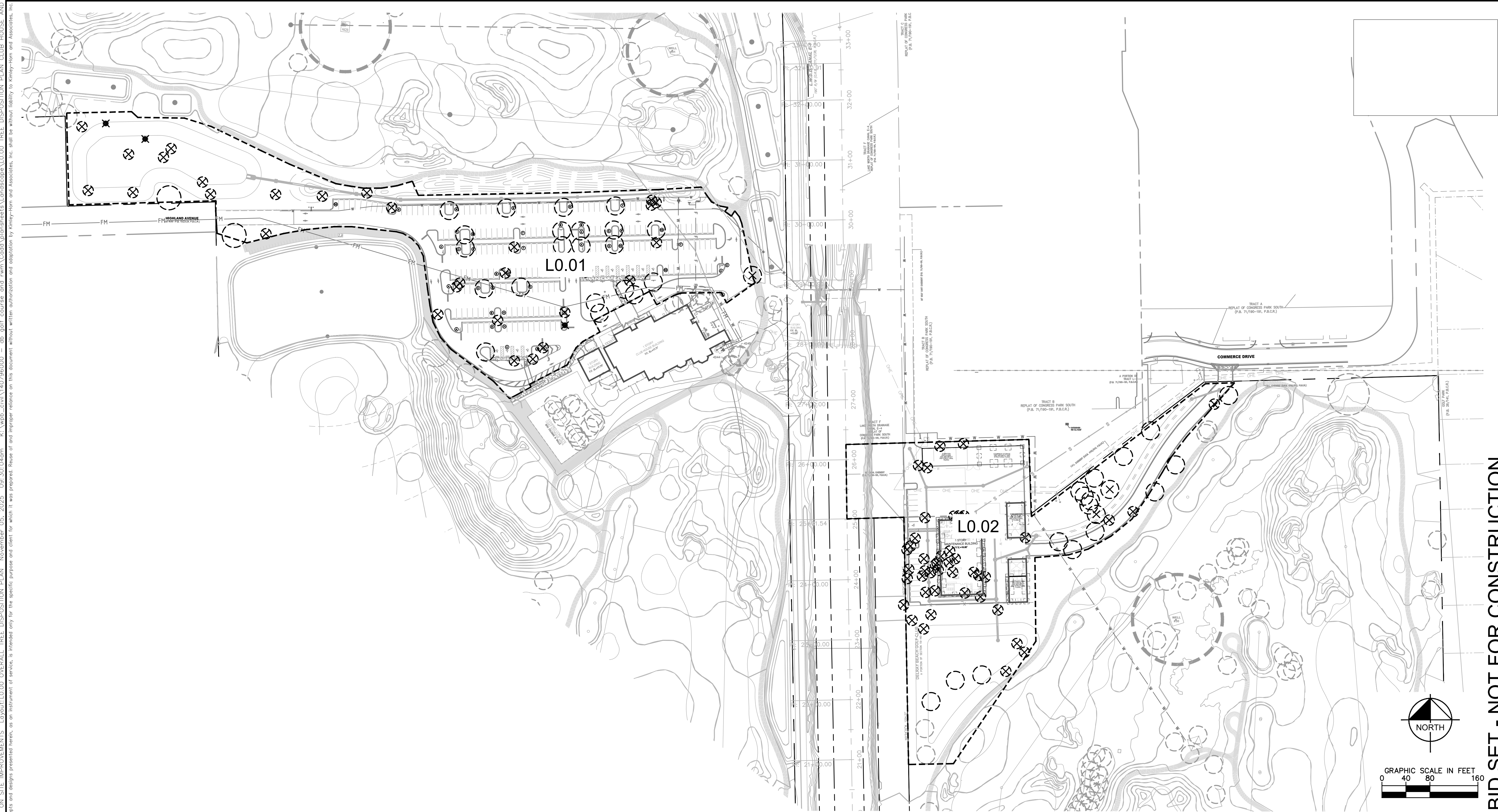
DATE:

06/06/25

DRAWING NO.

A-3.02

Plotted By: Torres, Tommy
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November 05, 2025 09:30:04am
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	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB
REVISIONS		DATE	BY

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KHA PROJECT 140796000
DATE NOV. 2025
SCALE AS SHOWN
DESIGNED BY SW
DRAWN BY SW
CHECKED BY MFS

**DELRAY BEACH GOLF COURSE
RENOVATION**
PREPARED FOR
CITY OF DELRAY BEACH

DELRAY BEACH

LICENSED PROFESSIONAL

THOMAS C. HARGRETT

FLORIDA LICENSE NUMBER
LA #6667512

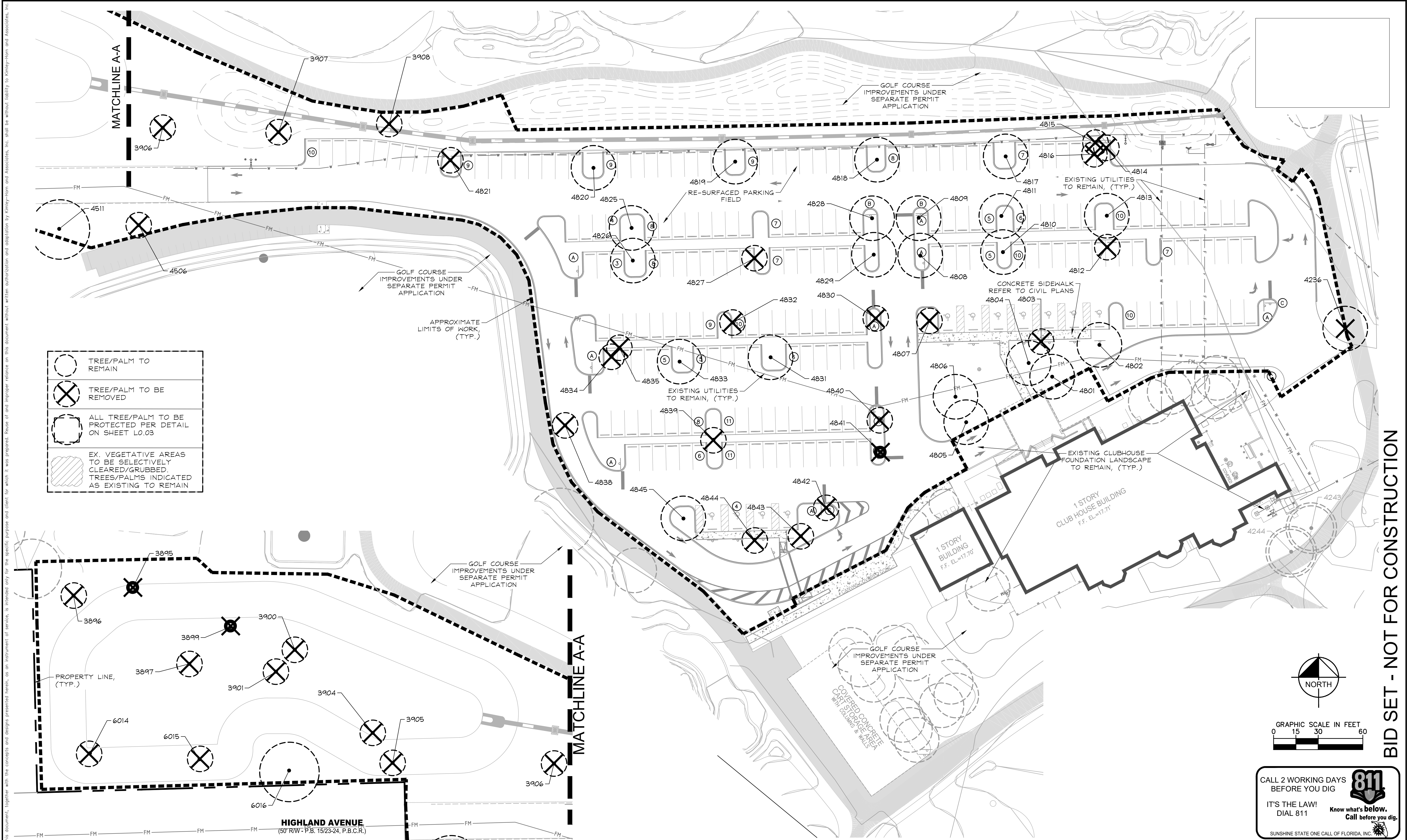
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**OVERALL TREE DISPOSITION
PLAN**

SHEET NUMBER

L0.00

BID SET - NOT FOR CONSTRUCTION



No.	ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB
REVISIONS			
DATE			
BY			

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KHA PROJECT	140796000
DATE	NOV. 2025
SCALE	AS SHOWN
DESIGNED BY	SW
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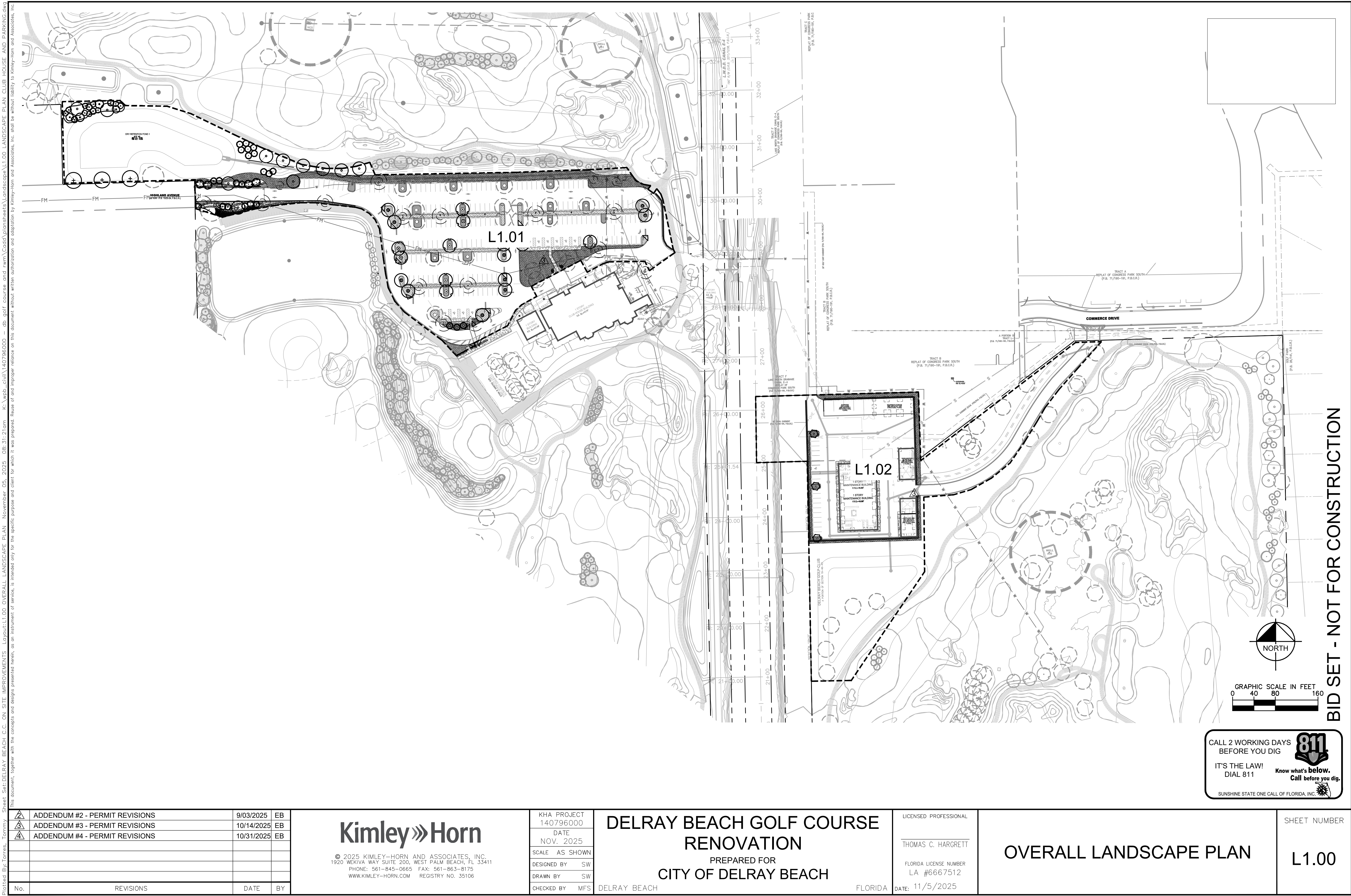
DELRAY BEACH GOLF COURSE RENOVATION
PREPARED FOR
CITY OF DELRAY BEACH
FLORIDA

LICENSED PROFESSIONAL
THOMAS C. HARGRETT
FLORIDA LICENSE NUMBER
LA #6667512
DATE: 11/5/2025

TREE DISPOSITION PLAN
CLUBHOUSE AND PARKING LOT

SHEET NUMBER
L0.01

BID SET - NOT FOR CONSTRUCTION



Plotted By: Torres, Tommy
Sheet Set: DELRAY BEACH C.C. ON SITE IMPROVEMENTS
Layout: L1.00 OVERALL LANDSCAPE PLAN
November 05, 2025 08:31:21am
K:\WEB-GWA\140796000 - db golf course and rrm\Code\plansheets\landscape\L1.00 LANDSCAPE PLAN CLUB HOUSE AND PARKING.dwg
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	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB	
	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB	

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KHA PROJECT	140796000
DATE	NOV. 2025
SCALE	AS SHOWN
DESIGNED BY	SW
DRAWN BY	SW
CHECKED BY	MFS

DELRAY BEACH GOLF COURSE RENOVATION

PREPARED FOR
CITY OF DELRAY BEACH

FLORIDA

LICENSED PROFESSIONAL

THOMAS C. HARGRETT

FLORIDA LICENSE NUMBER
LA #6667512

DATE: 11/5/2025

OVERALL LANDSCAPE PLAN

SHEET NUMBER

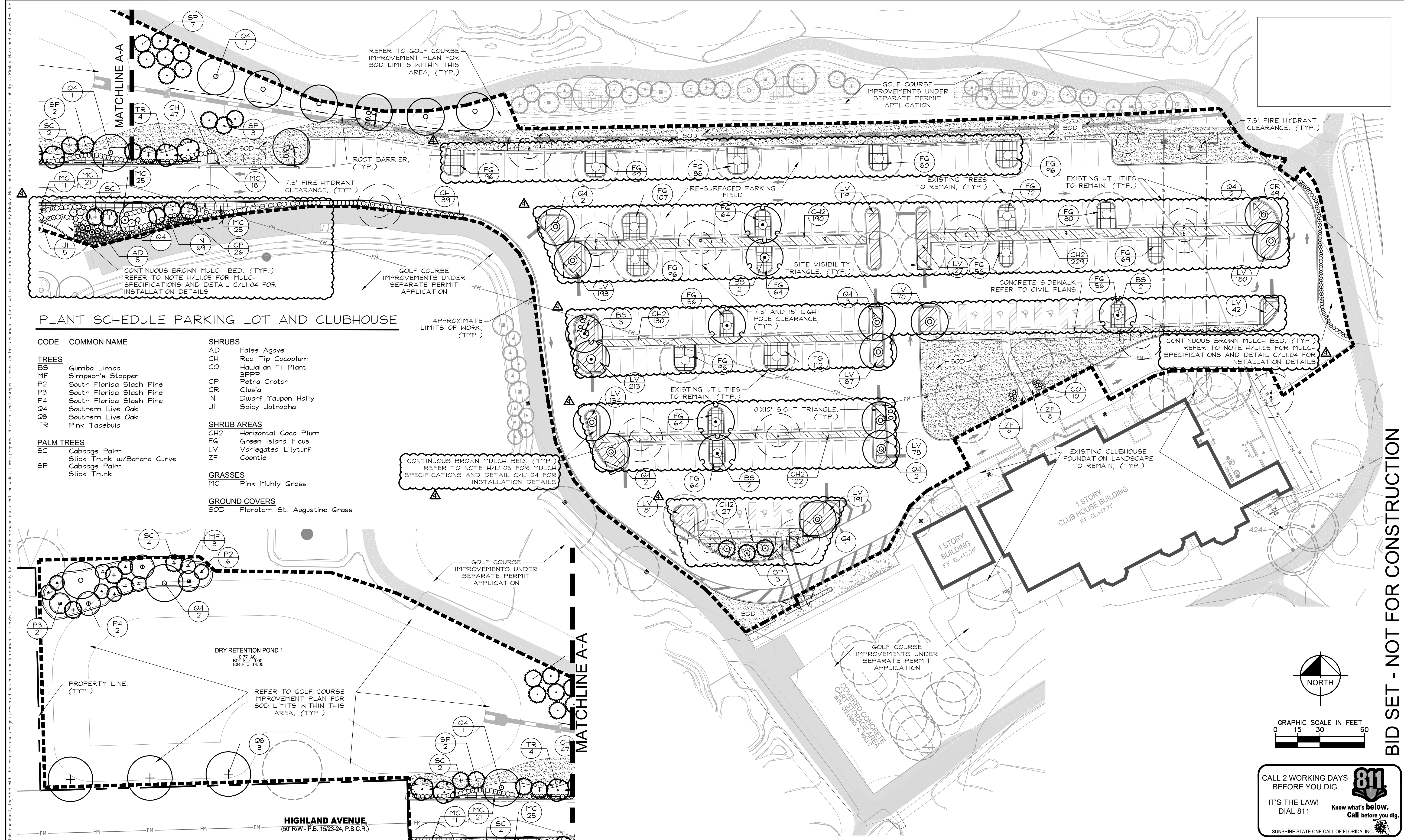
L1.00

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Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



PLANT SCHEDULE PARKING LOT AND CLUBHOUSE

CODE	COMMON NAME	SHRUBS
TREES		AD False Agave
BS	Gumbo Limbo	CH Red Tip Cocoplum
MF	Simpson's Stopper	CO Hawaiian Ti Plant
P2	South Florida Slash Pine	SPPP Petra Croton
P3	South Florida Slash Pine	CR Clusia
P4	South Florida Slash Pine	IN Dwarf Yaupon Holly
Q4	Southern Live Oak	JI Spicy Jatropa
Q8	Southern Live Oak	
TR	Pink Tabebuia	
PALM TREES		SHRUB AREAS
SC	Cabbage Palm	CH2 Horizontal Coco Plum
SP	Slick Trunk w/Banana Curve	FG Green Island Ficus
	Cabbage Palm	LV Variegated Lilyturf
	Slick Trunk	ZF Coontie
		GRASSES
		MC Pink Muhly Grass
		GROUND COVERS
		SOD Floratam St. Augustine Grass

ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB
No.	REVISIONS	DATE BY

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KHA PROJECT	140796000
DATE	NOV. 2025
SCALE	AS SHOWN
DESIGNED BY	SW
DRAWN BY	SW
CHECKED BY	MFS

DELRAY BEACH GOLF COURSE RENOVATION

PREPARED FOR
CITY OF DELRAY BEACH

FLORIDA

LICENSED PROFESSIONAL
THOMAS C. HARGRETT
FLORIDA LICENSE NUMBER
LA #6667512
DATE: 11/5/2025

LANDSCAPE PLAN CLUBHOUSE AND PARKING LOT

SHEET NUMBER
L1.01

BID SET - NOT FOR CONSTRUCTION

Plotted By: Torres, Tommy
Sheet: Set-DELRAY BEACH C.C. ON SITE IMPROVEMENTS
Layout: L1.02 LANDSCAPE PLAN MAINTENANCE BUILDING
November 05, 2025 08:31:41am
K:\Web_civil\140796000 - db golf course and rwn\cadd\plansheets\landscape\L1.02 LANDSCAPE PLAN CLUB HOUSE AND PARK
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