



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

ADMINISTRATIVE APPROVAL – STAFF REPORT

Delray Beach Golf Club

Meeting	File No.	Application Type
January 6, 2025	PZ-000008-2025	Level 2 Site Plan Application
Property Owner		Agent
City of Delray Beach		Kimley Horn / Delray Beach Public Works

Request

A Level 2 Site Plan application, including Landscape Plan and Architectural Elevations, for site modifications and a new 8750 square foot maintenance building.

Site Data & Information

Location: 2200 Highland Avenue

PCN: 12-43-46-19-00-000-1010;
12-43-46-18-42-005-0000

Property Size: 146.5 acres (gross);
Land Use Designation: Open Space (OS)
Zoning: Open Space Recreation (OSR)

Adjacent Zoning:

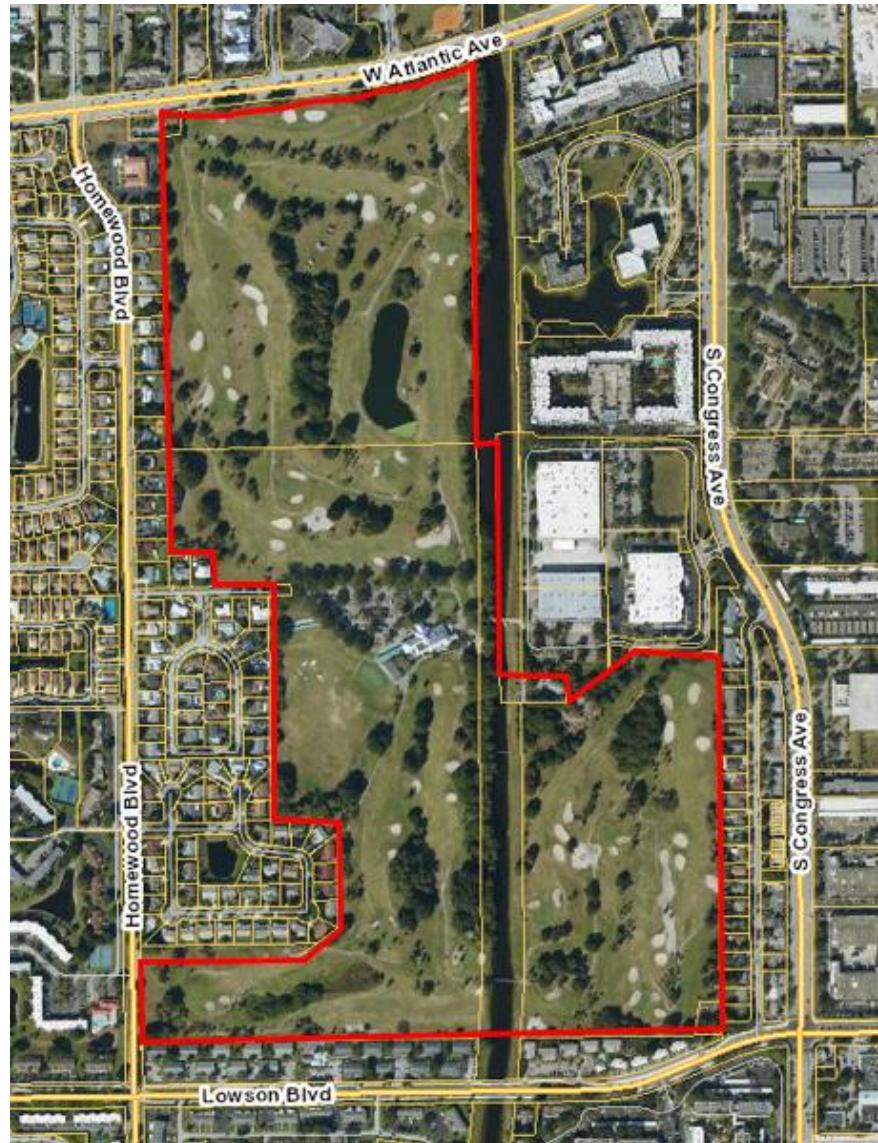
- **North:** POD, CF, R-1-AA
- **South:** RM
- **East:** MROC, R-1-A, RM
- **West:** R-1-AA, RM

Existing Land Use: Municipal Golf Course

Proposed Land Use: Municipal Golf Course

Floor Area Ratio:

- **Proposed:** 0.0038
- **Maximum allowed:** 0.10





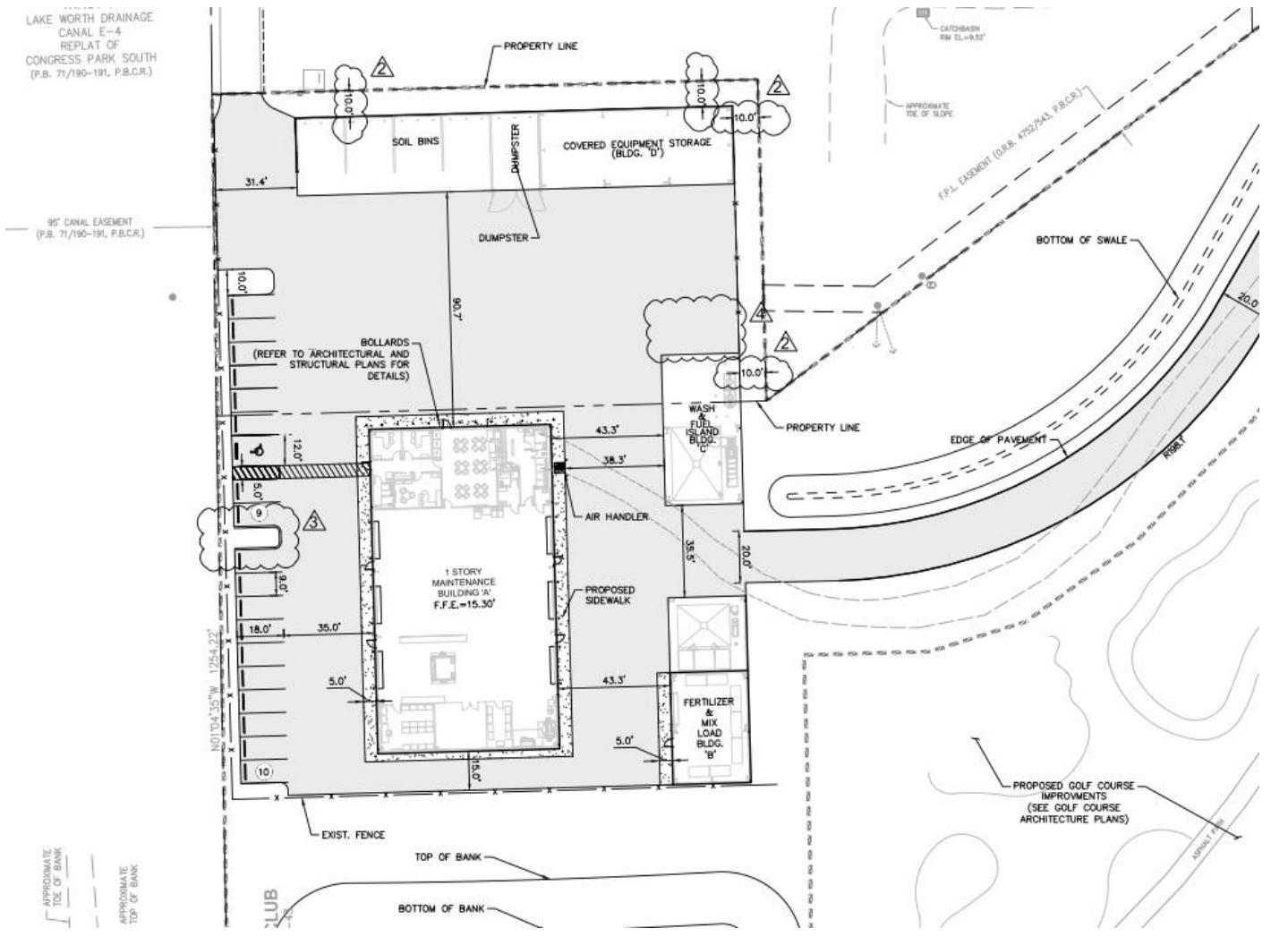
Background

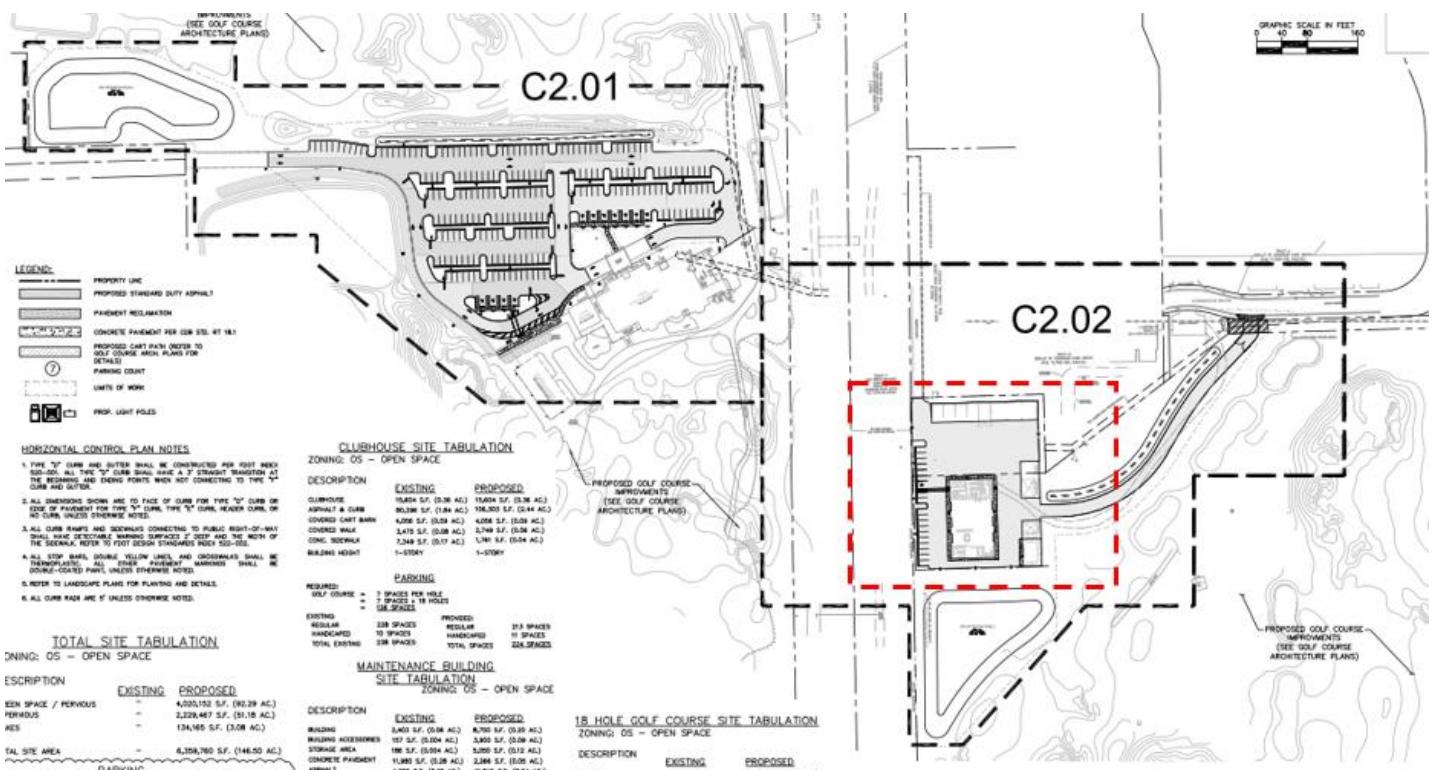
The subject property, totaling approximately 150 acres, is located on the south side of Atlantic Avenue, generally situated between Homewood Blvd to the west and Congress Avenue to the east. The Delray Beach Golf Club, a municipal recreation facility, has existed on site since the 1920s when iterations of the course were designed by Donald Ross and Dick Wilson, two historically significant figures in golf course architecture.

The City of Delray Beach Level 2 site plan application provides for site modifications to the facility parking lot and adjacent areas, as well as demolition and construction of a new approximate 9000 sq. ft. maintenance building in the general location of the existing maintenance structure. The renovations covered under this application are submitted concurrently with a large-scale renovation of the golf course itself, which has been reviewed and administratively approved under a separate Level 1 site plan application.

Description of Proposal

The proposed project scope includes construction of a new 8,750-square foot maintenance facility, comprised of a primary maintenance building with offices, an employee breakroom, and equipment storage, along with several accessory structures necessary for the day-to-day maintenance of the golf facility. The area around the new maintenance facility is improved with 18 new parking spaces and a proposed access drive that extends to Congress Avenue by way of connection through Commerce Drive. Use of this access drive requires the establishment of an access easement through the adjacent property. However, in the event the access easement is not secured, access is available to the maintenance facility via an existing bridge that traverses the Lake Worth Drainage District canal right of way, connecting to the main facility parking lot and ultimately to Highland Avenue. This existing point of access may be used if necessary in the event the new access easement is not successfully established. Necessary provisions for access to traverse the canal ROW are already in place. The maintenance facility is situated on property such that it is not visible from the public right of way.

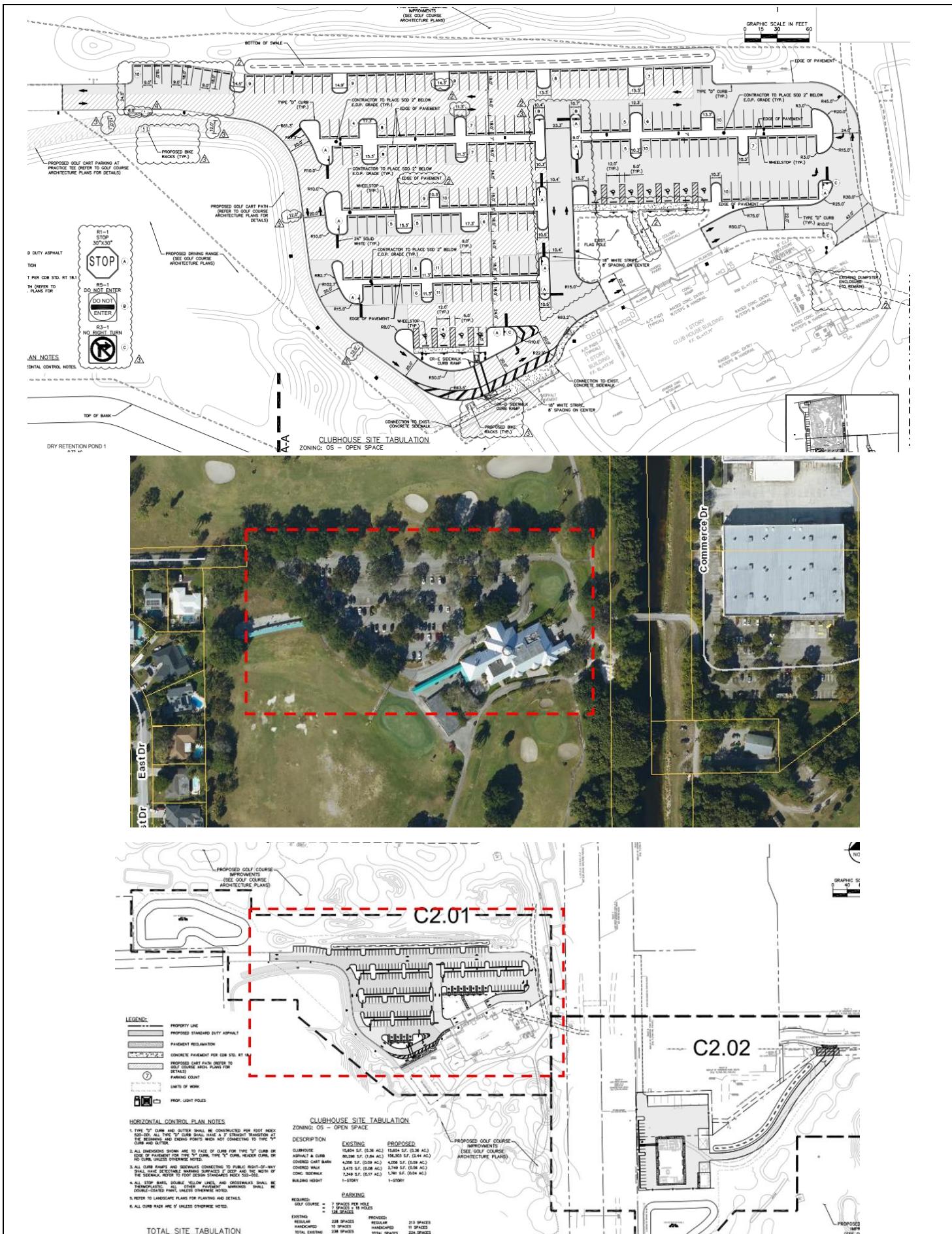




Additionally, the scope of work includes general improvements and a reconfiguration of the clubhouse parking area including refreshed landscaping, curbing, asphalt resurfacing, new bike racks, and expanded sidewalks. The modifications result in a net reduction of 13 spaces in the main parking lot; however, the total number of parking spaces provided on site (224 spaces) far exceeds the minimum required for an 18-hole golf course (126 spaces). No improvements to or expansion to the clubhouse are proposed in the scope of the improvements. The only additional square footage proposed is the new accessory maintenance building previously discussed.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT





Review & Analysis: Site Plan and Zoning

Pursuant to LDR Section 2.4.10(A)(2)(c), Level 1 and Level 2 Site Plan applications may be approved, denied, or approved with conditions pursuant to Article 2.2 by the Director.

Pursuant to LDR Section 2.4.10(A)(3)(b), Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of OS (Open Space), and a zoning designation of OSR (Open Space Recreation), which is a compatible zoning district to implement the OS land use designation. There is no change of use proposed, and the existing municipal golf course is an appropriate and permitted use given the zoning designation.

3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: Water and sewer services to the maintenance building will be connected to adjacent available networks pursuant to approval of the utilities plan reviewer. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage: Drainage and water run-off will be addressed through on-site retention, through specific drainage mechanisms reviewed and approved by the City Engineer.

Transportation: Traffic concurrency is not applicable as the scope of work does not include a change in use or an expansion of primary use area. The additional square footage is located within an accessory structure which does not impact anticipated trip generation.

Parks and Open Space: Park impact fees are not applicable.

Solid Waste: The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: Concurrency is not applicable.



3.1.1(C), Consistency

A *finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions.

Section 3.2.3, Standards for site plan and/or plat actions

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions. The proposed scope of work meets the standards. The renovations and improvements to the existing recreational facility reinforce goals of the comprehensive plan to facilitate quality publicly accessible opportunities for outdoor recreation.

Comprehensive Plan

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.2 *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.*

Open Space Preservation And Enhancement

Objective OPR 1 *Provide exemplary open spaces parks, and recreational facilities that enhance quality of life, provide recreational opportunities, enrich interaction with others, and promote physical and mental wellbeing for the residents and visitors of the city..*

Conservation, Sustainability And Resiliency

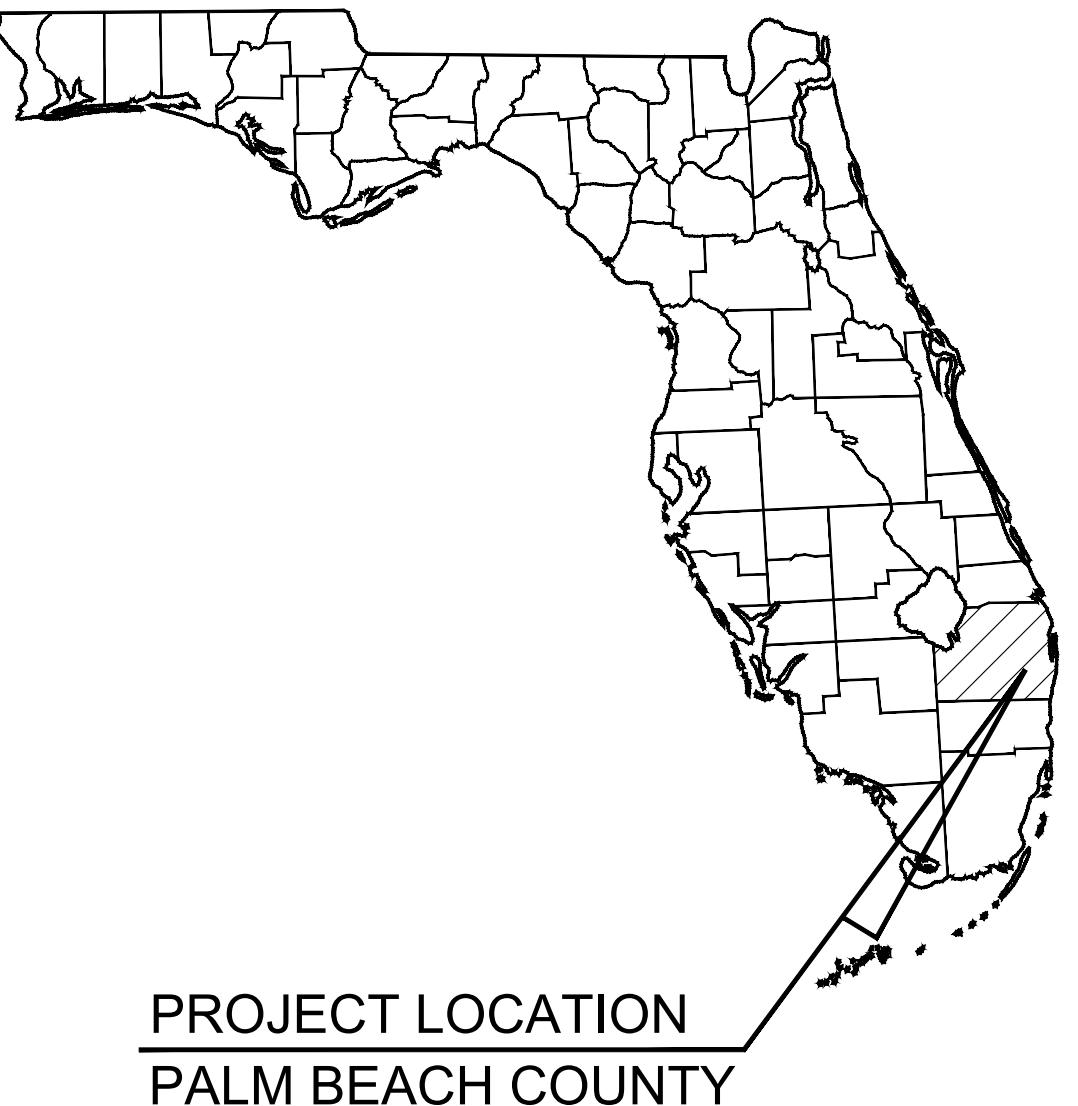
Policy CSR 4.1.4 *Protect, conserve, rehabilitate and restore wildlife habitat, open space and recreation areas, conservation areas and prevent any further net loss of these lands in Delray Beach.*

3.1.1(D), Compliance with the LDRs

The proposed project has been reviewed by the Technical Advisory Committee and has been deemed technically compliant with all applicable regulations of the Land Development Regulations. No relief is needed to accommodate the proposed site configuration or building design. **LDR Section 4.4.27, Open Space and Recreation**, states that all development standards and regulations are established pursuant to an approved site and development plan. As such, the scope of work is compliant with regard to development thresholds including, but not limited to, setbacks, height, FAR, parking, lot coverage, and open space, contingent upon approval of the subject application.

Director Action

The proposed project has been administratively approved by The Director. Final action is pending approval of the City Commission via the appealable process.



DELRAY BEACH GOLF COURSE RENOVATIONS- CLUBHOUSE AND MAINTENANCE BUILDING CONSTRUCTION PLANS

PREPARED FOR

CITY OF DELRAY BEACH

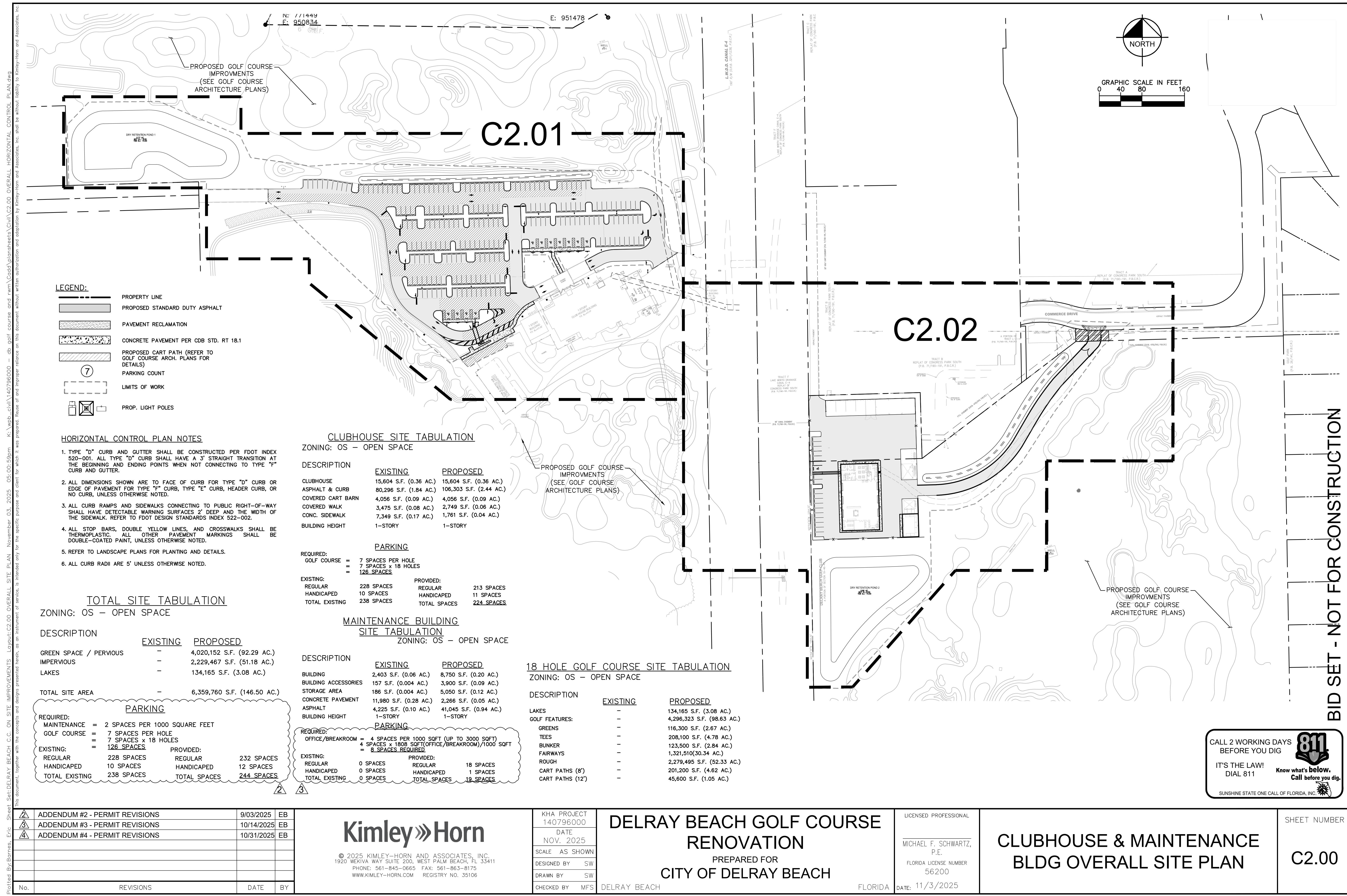
PROJECT TEAM

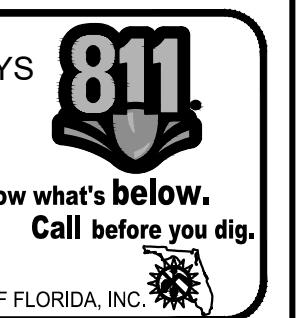
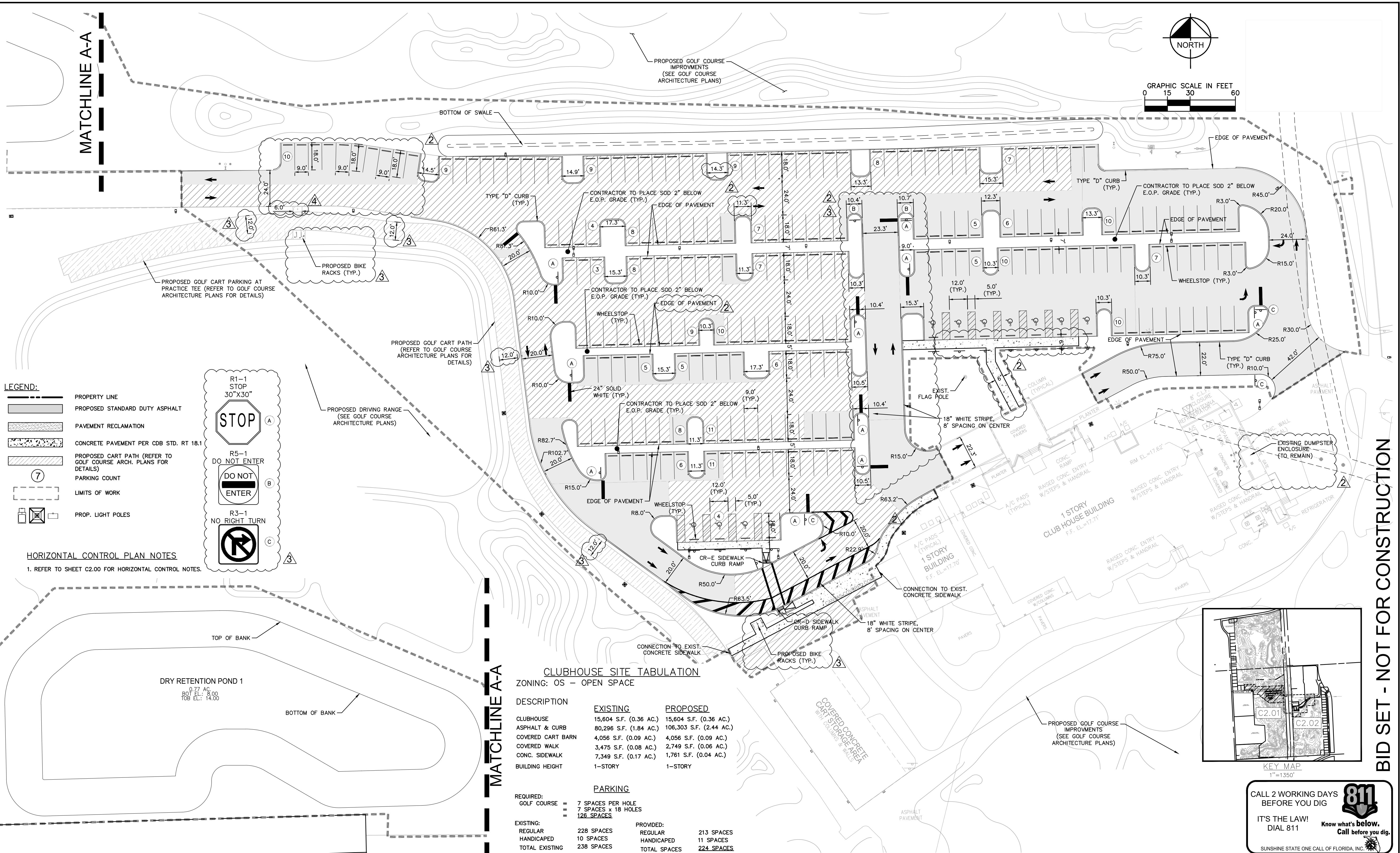
<u>OWNER</u>	<u>SURVEYOR</u>
CITY OF DELRAY BEACH	AVIROM & ASSOCIATES, INC.
100 NW 1ST AVE	50 SW 2ND AVENUE, SUITE 102
DELRAY BEACH, FL 33444	BOCA RATON, FL 33432
	PHONE: (561) 392-2594
	CONTACT: MICHAEL D. AVIROM, P.L.S.
 <u>LANDSCAPE ARCHITECTURE</u>	 <u>GEOTECH</u>
KIMLEY-HORN AND ASSOCIATES, INC.	TIERRA SOUTH FLORIDA, INC.
SUITE 2000	2765 VISTA PARKWAY, SUITE 10
8201 PETERS ROAD	WEST PALM BEACH, FL 33411
PLANTATION, FL 33324	PHONE: (561) 687-8539
PHONE: (954) 535-5100	CONTACT: RAMAKUMAR VEDULA, P.E.
CONTACT: TOM HARGRETT	
 <u>CIVIL ENGINEER</u>	 <u>ARCHITECTURE</u>
KIMLEY-HORN AND ASSOCIATES, INC.	DQ STUDIO ARCHITECTS
1920 WEKIVA WAY, SUITE 200	8245 SW 43ND STREET
WEST PALM BEACH, FL 33411	MIAMI, FL 33155
PHONE: (786) 598-2607	PHONE: (786) 239-1322
CONTACT: WILLIAM S. WILSON, P.E.	CONTACT: DDIAZ@D-Q-S.COM
 <u>GOLF COURSE ARCHITECT</u>	
STANFORD FERRIS GOLF DESIGN	
211 BARBADOS DR	
JUPITER, FL 33458	
PHONE: (561) 691-8601	
CONTACT: DAVID FERRIS, PLA	



SHEET NUMBER	SHEET TITLE	L1.00	OVERALL LANDSCAPE PLAN	S1.07	BUILDINGS B, C, & D - FLOOR PLAN
G0.00	COVER SHEET	L1.01	LANDSCAPE PLAN CLUBHOUSE AND PARKING LOT	S1.08	FOUNDATION DETAILS AND SCHEDULES
G1.02	OVERALL AERIAL SITE PLAN GOLF COURSE	L1.02	LANDSCAPE PLAN MAINTENANCE BUILDING	S1.09	FOUNDATION DETAILS
	CIVIL - CLUBHOUSE AND MAINTENANCE BUILDING	L1.03	PLANT SCHEDULE & NOTES	S1.10	TYPICAL DETAILS
C0.01	GENERAL NOTES	L1.04	LANDSCAPE DETAILS	S1.11	CMU DETAILS
C0.02	GENERAL NOTES	L1.05	LANDSCAPE NOTES	S1.12	CMU DETAILS
C1.00	OVERALL DEMOLITION & EROSION CONTROL PLAN	GOLF COURSE IRRIGATION		S2.01	RWM AERIAL CROSSINGS DETAIL
C1.01	DEMOLITION PLAN - CLUBHOUSE AND PARKING LOT	IRR-01	IRRIGATION PLAN	ARCHITECTURE-RESTROOM FACILITIES	
C1.02	DEMOLITION PLAN - MAINTENANCE BUILDING	IRR-02	IRRIGATION PLAN	A-0.01	ARCHITECTURAL COVER SHEET
C1.10	EROSION CONTROL DETAILS	IRR-03	IRRIGATION PLAN	AD-1.01	ARCHITECTURAL DEMOLITION PLAN
C2.00	OVERALL SITE PLAN	IRR-04	IRRIGATION PLAN	A-1.01	FLOOR PLAN AND INTERIOR ELEVATIONS
C2.01	SITE PLAN - CLUBHOUSE AND PARKING LOT	IRR-05	IRRIGATION PLAN	A-2.01	EXTERIOR ELEVATIONS AND DETAILS
C2.02	SITE PLAN - MAINTENANCE BUILDING	IRR-06	IRRIGATION PLAN	TOPOGRAPHIC SURVEY	
C3.00	OVERALL PAVING, GRADING & DRAINAGE PLAN	IRR-07	IRRIGATION PLAN	1 OF 4	TOPOGRAPHIC SURVEY
C3.01	PAVING, GRADING & DRAINAGE PLAN CLUBHOUSE AND PARKING LOT	IRR-08	IRRIGATION PLAN	2 OF 4	TOPOGRAPHIC SURVEY
C3.02	PAVING, GRADING & DRAINAGE PLAN MAINTENANCE BUILDING	IRR-09	IRRIGATION PLAN	3 OF 4	TOPOGRAPHIC SURVEY
C3.03	CROSS SECTIONS	IRR-10	IRRIGATION PLAN	4 OF 4	TOPOGRAPHIC SURVEY
C3.04	CROSS SECTIONS	IRR-11	IRRIGATION PLAN	STRUCTURAL- BRIDGES	
C3.10	PAVING, GRADING & DRAINAGE DETAILS	IRR-12	IRRIGATION PLAN	B0.01	GENERAL NOTES
C3.11	PAVING, GRADING & DRAINAGE DETAILS	IRR-13	IRRIGATION PLAN	B0.02	SUMMARY OF QUANTITIES
C4.00	OVERALL UTILITY PLAN	IRR-14	IRRIGATION PLAN	B1.01	PLAN WITH WORK IDENTIFICATION
C4.01	UTILITY PLAN CLUBHOUSE AND PARKING LOT	IRR-15	IRRIGATION PLAN	B1.02	ELEVATION VIEWS
C4.02	UTILITY PLAN MAINTENANCE BUILDING	IRR-16	IRRIGATION PLAN	B1.03	BENT REPAIR DETAILS
C4.10	UTILITY DETAILS	IRR-17	IRRIGATION PLAN	B1.04	REPAIR DETAILS
C5.01	COMPOSITE UTILITY PLAN CLUBHOUSE AND PARKING LOT	IRR-18	IRRIGATION PLAN	B1.05	COATING REPAIR DETAILS
C5.02	COMPOSITE UTILITY PLAN MAINTENANCE BUILDING	IRR-19	IRRIGATION PLAN	CIVIL ELECTRICAL	
LANDSCAPE ARCHITECTURE		IRR-20	IRRIGATION PLAN	UC-1	CLUBHOUSE ELECTRICAL NOTES AND LEGEND
L0.00	OVERALL TREE DISPOSITION PLAN	IRR-21	IRRIGATION PLAN	UC-2	CLUBHOUSE ELECTRICAL DEMO SITE PLAN
L0.01	OVERALL TREE DISPOSITION PLAN CLUBHOUSE AND PARKING LOT	IRR-22	IRRIGATION PLAN	UC-3	CLUBHOUSE AND PARKING LOT PHOTOMETRICS
L0.02	TREE DISPOSITION PLAN MAINTENANCE BUILDING	IRR-23	IRRIGATION PLAN DETAILS	UC-4	CLUBHOUSE ELECTRIC ROOM SITE PLAN
L0.03	TREE DISPOSITION SCHEDULE	IRR-24	IRRIGATION PLAN DETAILS	UC-5	CLUBHOUSE LIGHTING ONELINE DIAGRAM
		IRR-25	IRRIGATION PLAN DETAILS	UC-6	VOLTAGE DROP TABLES
		IRR-26	IRRIGATION PLAN DETAILS	UC-7	ELECTRICAL DETAILS, SHEET 1
		ARCHITECTURE-MAINTENANCE BUILDING		UC-8	ELECTRICAL DETAILS, SHEET 2
		A-0.01	COVER SHEET		
		A-1.01	ARCHITECTURAL FLOOR PLAN		
		A-3.01	BUILDING ELEVATIONS		
		A-3.02	BUILDING ELEVATIONS		
		A-4.01	ROOF PLAN		
		STRUCTURAL-ON SITE BUILDING			
		S1.01	STRUCTURAL NOTES		
		S1.02	STRUCTURAL NOTES		
		S1.03	BUILDING SITE PLAN		
		S1.04	BUILDING A - FOUNDATION PLAN		
		S1.05	BUILDINGS B, C, & D - FOUNDATION PLAN		
		S1.06	BUILDING A - FLOOR PLAN		

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE
NATIONAL AMERICAN VERTICAL DATUM OF 1988.
NAVD '88 ELEV + 1.532' = NGVD '29 ELEVATION





CALL 2 WORKING DAYS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811

Plotted By: Barnes, Eric Sheet Th		
	ADDENDUM #2 - PERMIT REVISIONS	9/03/2025
	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025
	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025
No.	REVISIONS	DATE

Kimley » Horst

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33406
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

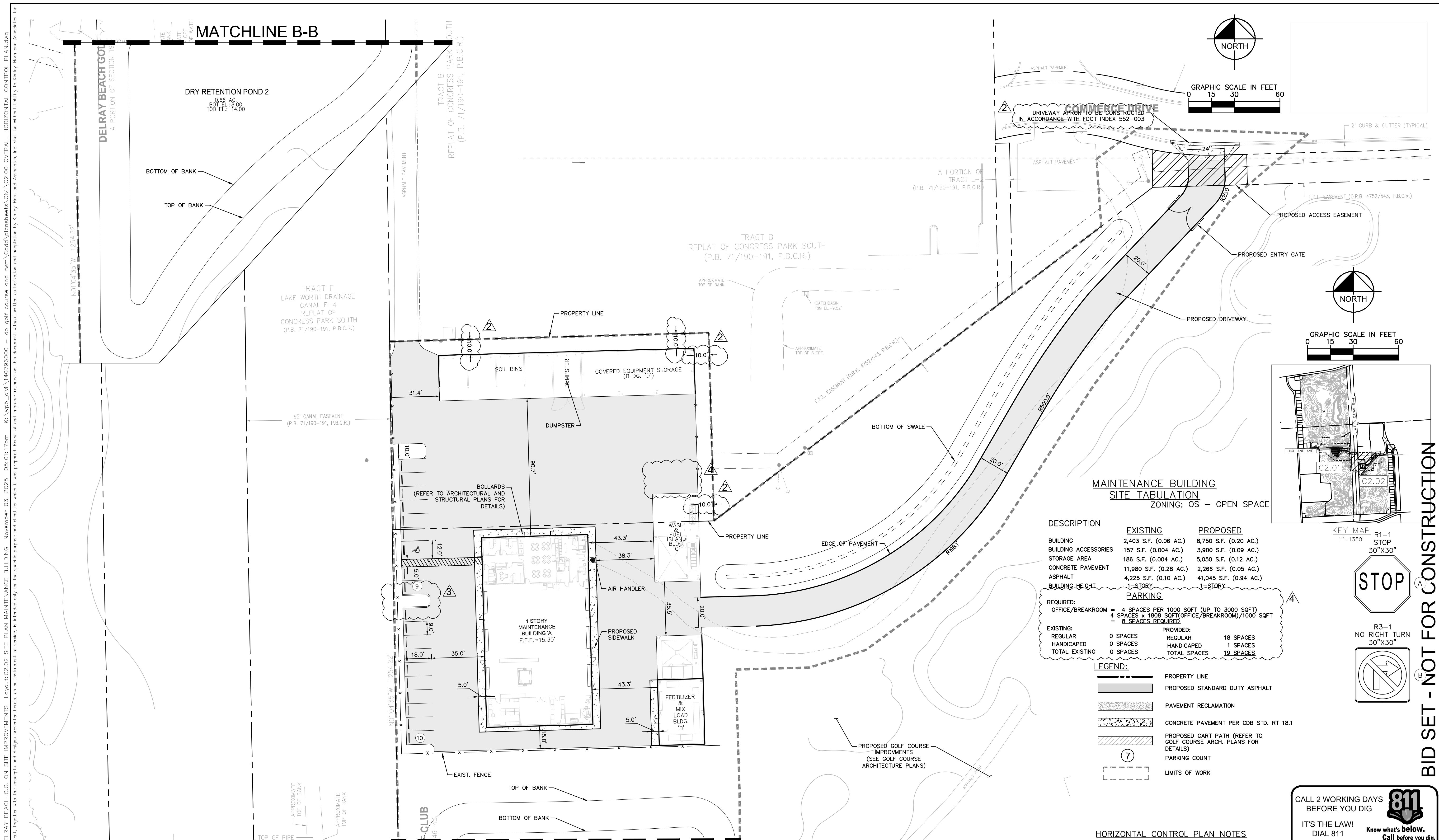
	KHA
	1407
	D
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	SCALE
	DESIGNED
	DRAWN B
	CHECKED

DELRAY BEACH GOLF COURSE RENOVATION

LICENSED PROFESSIONAL
MICHAEL F. SCHWARTZ
P.E.
FLORIDA LICENSE NUMBER
56200
DATE: 11/3/2025

SITE PLAN CLUBHOUSE AND PARKING LOT

SHEET NUMBER
C2.01



REVISIONS	DATE	BY
ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB

Kimley-Horn

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1920 WEKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT
140796000
DATE
NOV. 2025
SCALE AS SHOWN
DESIGNED BY SW
DRAWN BY SW
CHECKED BY MFS

**DELRAY BEACH GOLF COURSE
RENOVATION**
PREPARED FOR
CITY OF DELRAY BEACH

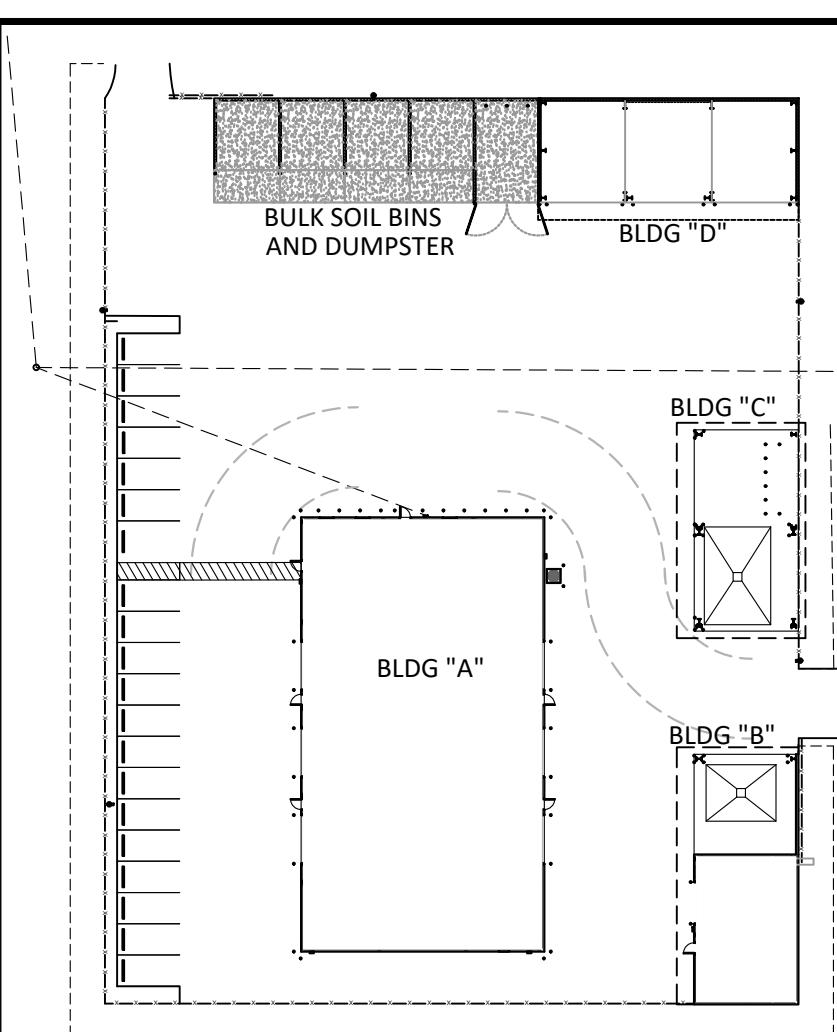
LICENSED PROFESSIONAL
MICHAEL F. SCHWARTZ,
P.E.
FLORIDA LICENSE NUMBER
56200
DATE: 11/3/2025

**SITE PLAN MAINTENANCE
BUILDING**

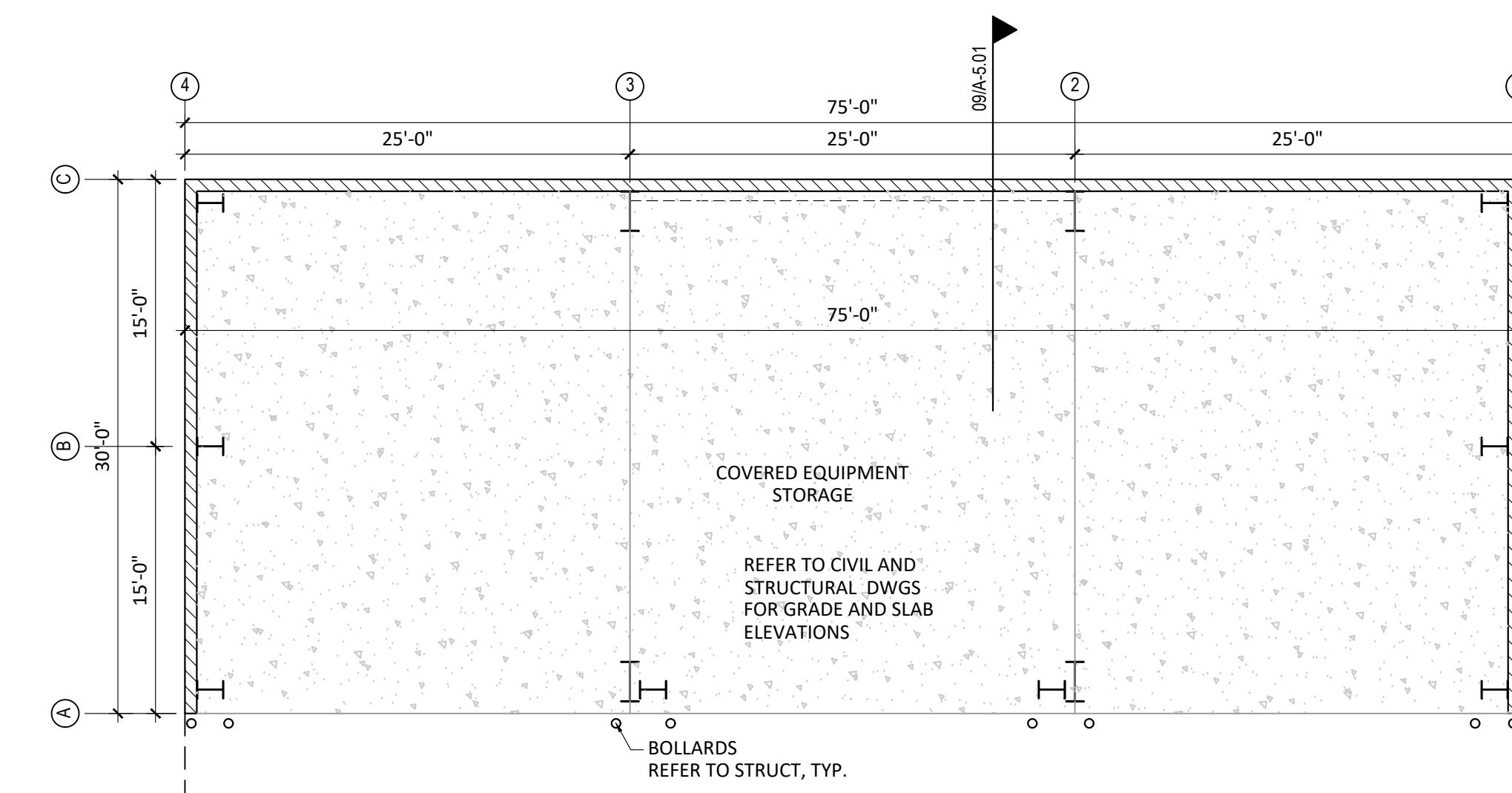
SHEET NUMBER
C2.02



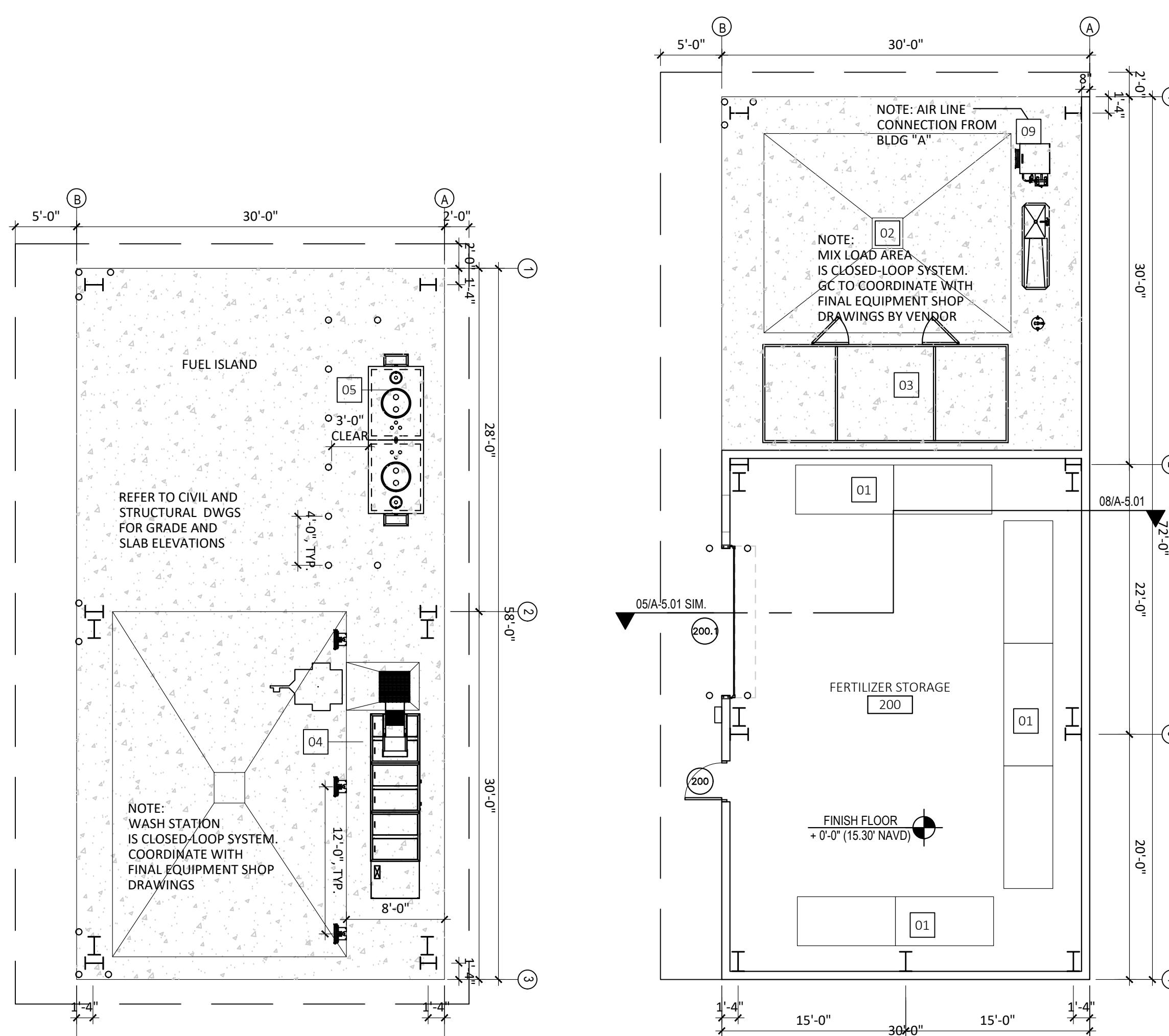
BID SET - NOT FOR CONSTRUCTION



KEY SITE PLAN

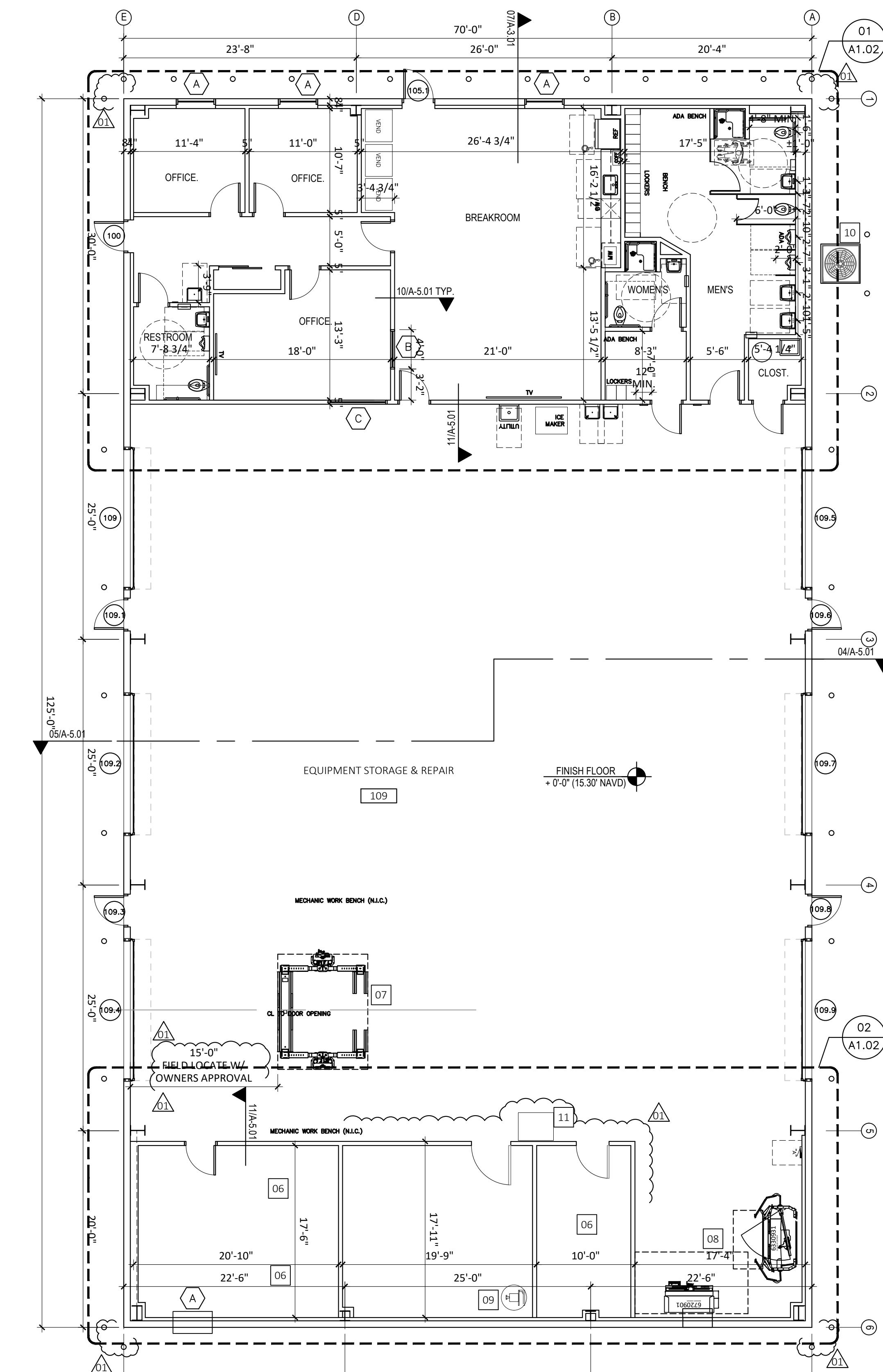


BUILDING "D" FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING "C" FLOOR PLAN
A-1.01
SCALE: 1/8" = 1'-0"

BUILDING "B" FLOOR PLAN
A-1.01
SCALE: 1/8" = 1'-0"



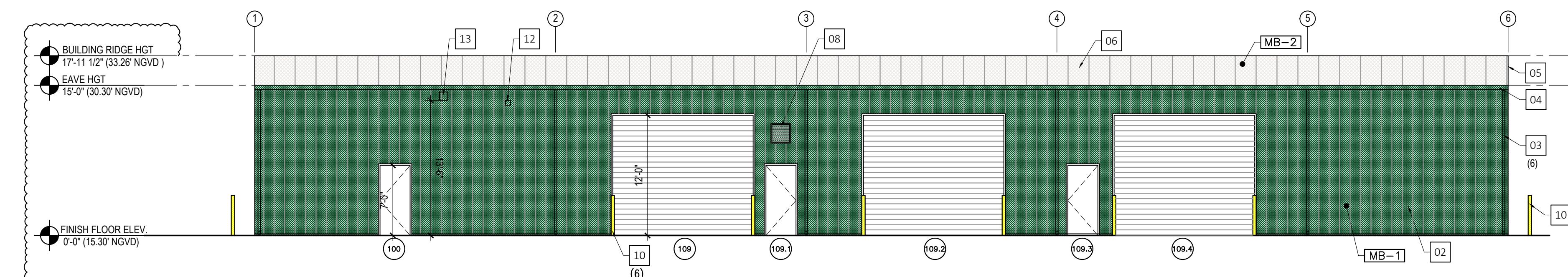
BUILDING "A" FLOOR PLAN
A-1.01
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEY NOTES

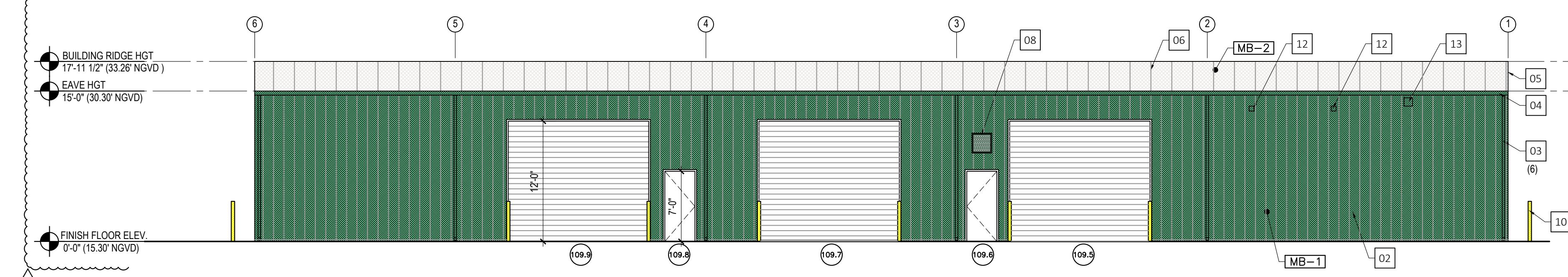
- 01 STEEL PALLET STORAGE RACK (MAX STORAGE HEIGHT NOT TO EXCEED 12'H) GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL
- 02 MIX & LOAD AREA CLOSED-LOOP EQUIPMENT. INCLUDES BOTTOM SUMP, EYE WASH AND SHOWER STATION, CHEM SINK, REMOTE FILL HOSE, AND RINSE TANK SYSTEM. BASIS OF DESIGN: ESD WASTE2WATER, INC. CONTRACT: ROGER MOORE, T: 941-202-8400
- 03 PREFAB CHEMICAL STORAGE UNIT, 8' x 20'W x 8'H BASIS OF DESIGN: ESD WASTE2WATER, INC. CONTRACT: ROGER MOORE, T: 941-202-8400
- 04 WASH STATION CLOSED-LOOP EQUIPMENT. INCLUDES BOTTOM SUMP, SEWAGE PUMP, DRAINS, MODEL GSMS 800 SYSTEM, AND REMOTE HOSE HANGERS. BASIS OF DESIGN: ESD WASTE2WATER, INC. CONTRACT: ROGER MOORE, T: 941-202-8400
- 05 ABOVE GROUND 1,000 GAL SPLIT FUEL TANK, SHALL MEET UL-2085 OWNER PROVIDED (RELOCATED), GC TO INSTALL. GC TO COORDINATE WITH OWNER.
- 06 PLASTIC PARTS STORAGE SHELVING UNITS, 36"W x 24"D x 74"H GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL
- 07 TURF LIFT GOLF EQUIPMENT BASIS OF DESIGN: GOLF-LIFT GL-9 GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL. COORDINATE FINAL LOCATION IN FIELD WITH OWNER.
- 08 BEDKNIFE GRINDER AND SPIN GRINDER BASIS OF DESIGN: BERNHARD. COORDINATE POWER PROVISION WITH ELECTRICAL DWGS. GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.
- 09 5HP 60 GAL AIR COMPRESSOR GC TO PROVIDE PRODUCT DATA SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL. PROVIDE UNDER GROUND CONNECTION LINE TO MIX LOAD EQUIPMENT @ BLDG "B".
- 10 PROVIDE A/C UNIT SCREEN. BASIS OF DESIGN: AIRDEKO, AIR CONDITIONING COVERS. COLOR: CHARCOAL.
- 11 90 GALLON UL CABINET BASIS OF DESIGN: SURE-GRIP EX FLAMMABLE CABINET, RED

ADDITIONAL NOTES:

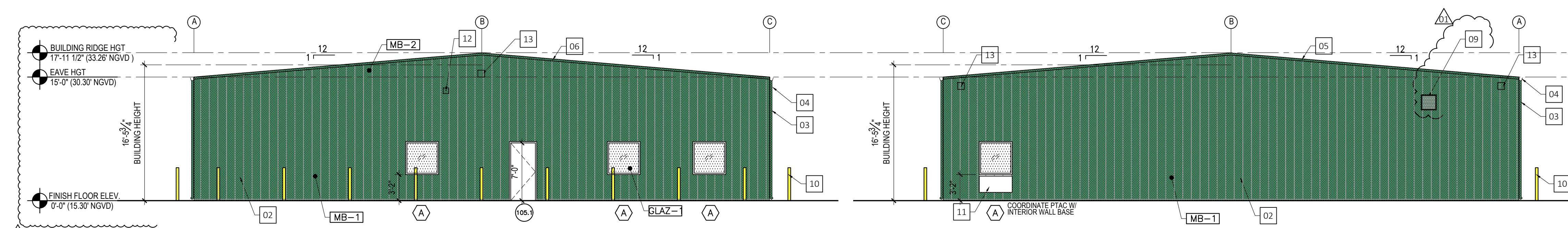
1. OFFICE AND BREAKROOM FURNITURE NOT IN CONTRACT(N.L.C.) SHOWN FOR REFERENCE ONLY. OWNER TO PROVIDE AND COORDINATE AS REQUIRED.
2. MECHANIC WORKBENCHES NOT IN CONTRACT(N.L.C.) SHOWN FOR REFERENCE ONLY. OWNER TO PROVIDE AND COORDINATE.
3. GC TO COORDINATE WITH OWNER ALL BREAKROOM EQUIPMENT.
4. GC TO COORDINATE WITH OWNER ICE MACHINE SPECIFICATION



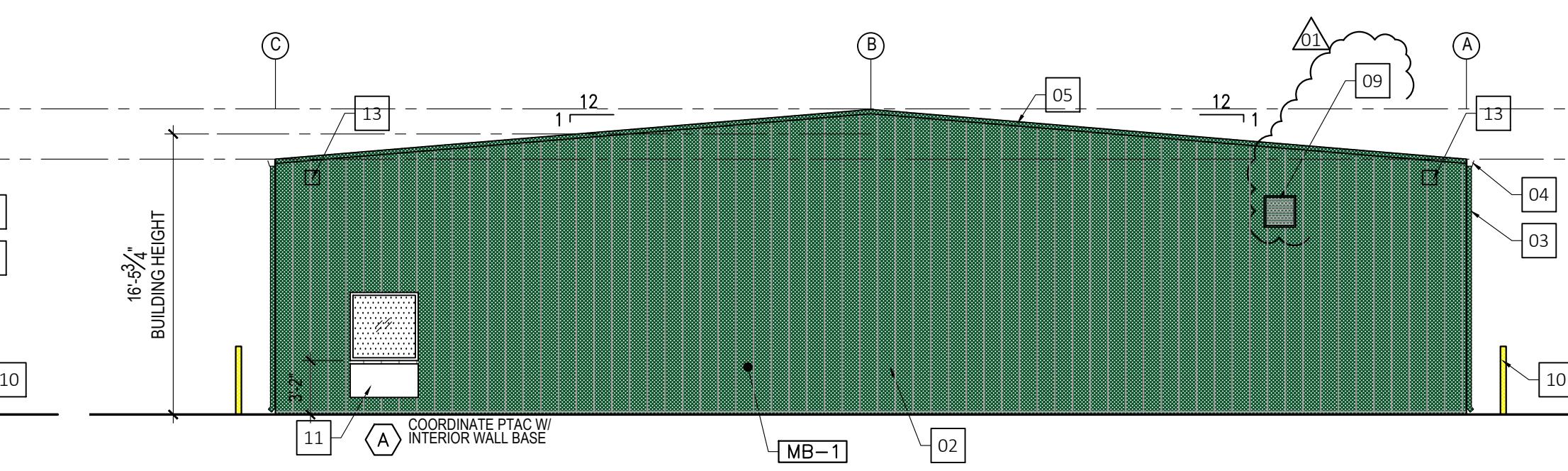
01
MAIN BUILDING "A"
WEST ELEVATION
A-3.01
SCALE: 1/8" = 1'-0"



02
MAIN BUILDING "A"
EAST ELEVATION
A-3.01
SCALE: 1/8" = 1'-0"



03
MAIN BUILDING "A"
NORTH ELEVATION
A-3.01
SCALE: 1/8" = 1'-0"



04
MAIN BUILDING "A"
SOUTH ELEVATION
A-3.01
SCALE: 1/8" = 1'-0"

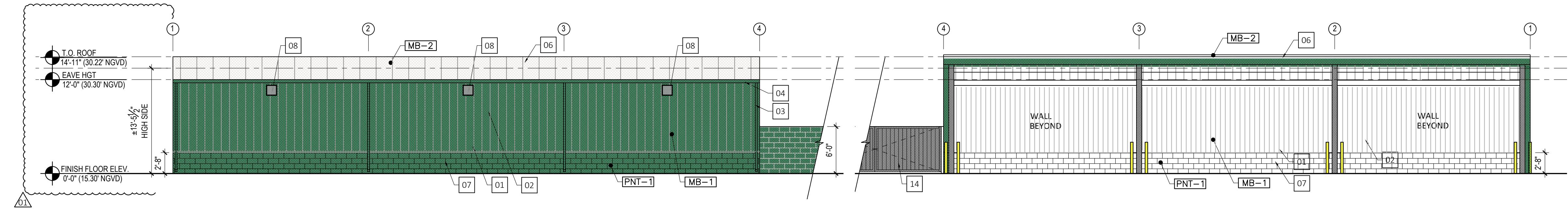
EXTERIOR COLOR/FINISH LEGEND

SYMBOL	DESCRIPTION
MB-1	PRE-FINISHED METAL BUILDING (PEMB) COLOR: FOREST GREEN SIDING PANEL RAKE TRIM EAVE TRIM & GUTTER DOWNSPOUT
MB-2	PRE-FINISHED METAL BUILDING (PEMB) COLOR: GALVALUME METAL ROOFING PANEL
MB-3	METAL BUILDING (PEMB) COLOR: GREY PRIMER, EXTERIOR EXTERIOR RIGID FRAME PURLINS AND GIRTS
GLAZ-1	IMPACT RATED GLAZING IN ALUMINUM FRAMES. 'LOW-E' SOLARBARAN 70 - CLEAR
PNT-1	EXTERIOR PAINT TO MATCH MB-1 COLOR: FOREST GREEN (MATCH BLDG COLOR) CMU BLOCK WALLS LOUVERS AND WALL CAPS
PNT-2	EXTERIOR PAINT TO MATCH COLOR: WARM WHITE (MATCH ROLL-UP DOOR COLOR) DOORS, ROLL-UP DOORS, WINDOW FRAMES
PNT-3	EXTERIOR PAINT TO MATCH COLOR: TRAFFIC YELLOW STEEL BOLLARDS

NOTE:
1. ALL EXTERIOR EXPOSED CONCRETE BLOCK AND CONCRETE SHALL
RECEIVE 1 COAT PITTSBURGH PERMA-CRETE BLOCK FILLER PRIMER W/ 2 COAT
PITTSBURGH SUN PROOF PAINT. TINT EACH COAT SEPARATELY TO FINAL COLOR. OR
APPROVED EQUAL.
2. PERSONNEL DOORS, FRAMES, BOLLARDS, AND OTHER EXTERIOR EXPOSED STEEL
SHALL RECEIVE 2 COAT PITTSBURGH 7-814 GLOSS ALKYD ENAMEL OVER FACTORY
PRIME.

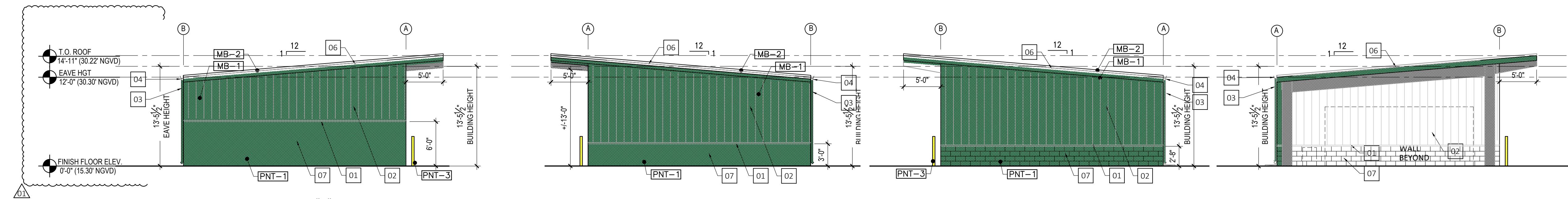
ELEVATION KEY NOTES

ITEM #	DESCRIPTION
01	PRE-FINISHED STL WALL FLASHING
02	26 GA. PRE-FINISHED STEEL WALL SHEETS/SIDING
03	PRE-FINISHED STEEL DOWNSPOUTS (DS)
04	PRE-FINISHED STEEL GUTTER CONT.
05	PRE-FINISHED STEEL RAKE TRIM
06	PBR ROOF ROOF PANELS, MIN. 24 GA., GALVALUME COATING
07	PAINTED CMU BLOCK WALL WITH FLUSH JOINTS.
08	FIXED LOUVERS W/ INSECT & BIRD SCREEN BY MTL BLG MFR.
09	LOUVER W/ EXHAUST FAN. REFER TO MECHANICAL DWGS.
10	STEEL BOLLARD. REFER TO STRUCTURAL DWGS.
11	PTAC UNIT. REFER TO MECHANICAL DWGS.
12	EXHAUST VENT, PAINTED TO MATCH WALL PANEL. REFER TO MECH. DWGS.
13	LIGHTING FIXTURE. REFER TO ELECTRICAL PLAN



01
BUILDING "D"
NORTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

02
BUILDING "D"
SOUTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

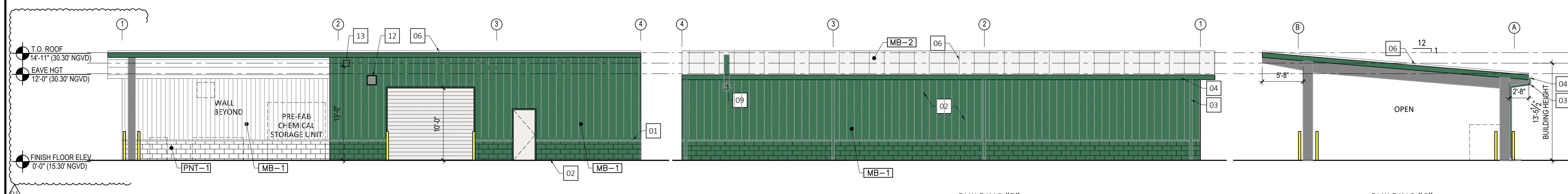


03
BUILDING "D"
WEST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

04
BUILDING "D"
EAST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

05
BUILDING "B"
SOUTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

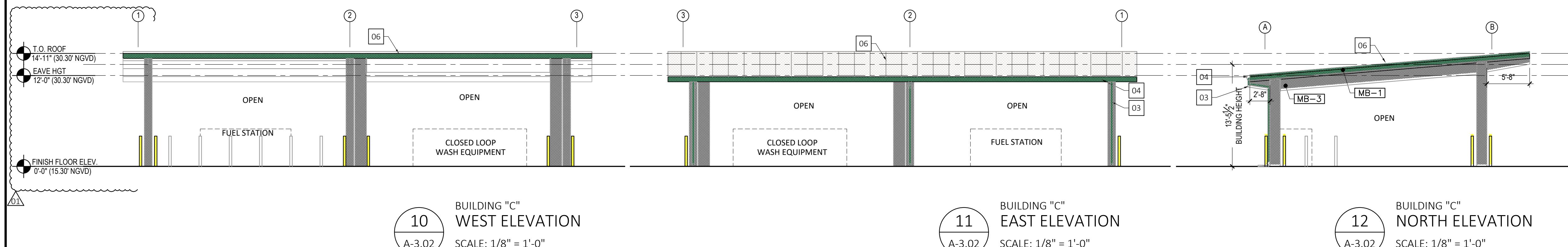
06
BUILDING "B"
NORTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"



07
BUILDING "B"
WEST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

08
BUILDING "B"
EAST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

09
BUILDING "C"
SOUTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"



10
BUILDING "C"
WEST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

11
BUILDING "C"
EAST ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

12
BUILDING "C"
NORTH ELEVATION
A-3.02
SCALE: 1/8" = 1'-0"

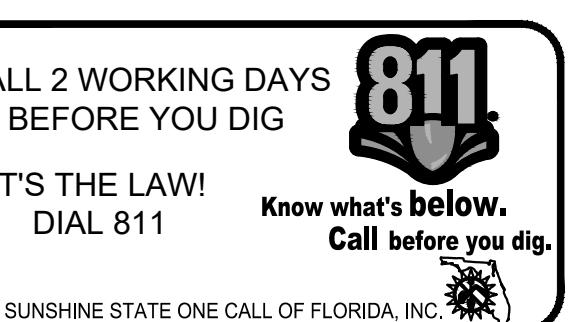
EXTERIOR COLOR/FINISH LEGEND

SYMBOL	DESCRIPTION
MB-1	PRE-FINISHED METAL BUILDING (PEMB) COLOR: FOREST GREEN SIDING PANEL RAKE TRIM EAVE TRIM & GUTTER DOWNSPOUT
MB-2	PRE-FINISHED METAL BUILDING (PEMB) COLOR: GALVALUME METAL ROOFING PANEL
MB-3	METAL BUILDING (PEMB) COLOR: GREY PRIMER, EXTERIOR EXTERIOR RIGID FRAME PURLINS AND GIRTS
GLAZ-1	IMPACT RATED GLAZING IN ALUMINUM FRAMES. 'LOW-E' SOLARBARAN 70 - CLEAR
PNT-1	EXTERIOR PAINT TO MATCH MB-1 COLOR: FOREST GREEN (MATCH BLDG COLOR) CMU BLOCK WALLS LOUVERS AND WALL CAPS
PNT-2	EXTERIOR PAINT TO MATCH COLOR: WARM WHITE (MATCH ROLL-UP DOOR COLOR) DOORS, ROLL-UP DOORS, WINDOW FRAMES
PNT-3	EXTERIOR PAINT TO MATCH COLOR: TRAFFIC YELLOW STEEL BOLLARDS

NOTE:
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RECEIVE 1 COAT PITTSBURGH PERMA-CRETE BLOCK FILLER PRIMER W/ 2 COAT
PITTBURGH SUN PRO PAINT. TINT EACH COAT SEPARATELY TO FINAL COLOR. OR
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SHALL RECEIVE 2 COAT PITTSBURGH 7-814 GLOSS ALKYD ENAMEL OVER FACTORY
PRIME.

ELEVATION KEY NOTES

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12	EXHAUST VENT, PAINTED TO MATCH WALL PANEL. REFER TO MECH. DWGS.
13	LIGHTING FIXTURE. REFER TO ELECTRICAL PLAN



Plotter By: Lorries, Tommy Sheet	Revisions	Date
	2 ADDENDUM #2 - PERMIT REVISIONS	9/03/2025
	3 ADDENDUM #3 - PERMIT REVISIONS	10/14/2025
	4 ADDENDUM #4 - PERMIT REVISIONS	10/31/2025
No.	REVISIONS	DATE

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PHONE: 561-845-0665 FAX: 561-863-8175
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJ
1407960
DATE
NOV. 20
SCALE AS S
DESIGNED BY
DRAWN BY
CHECKED BY

DELRAY BEACH GOLF COURSE RENOVATION

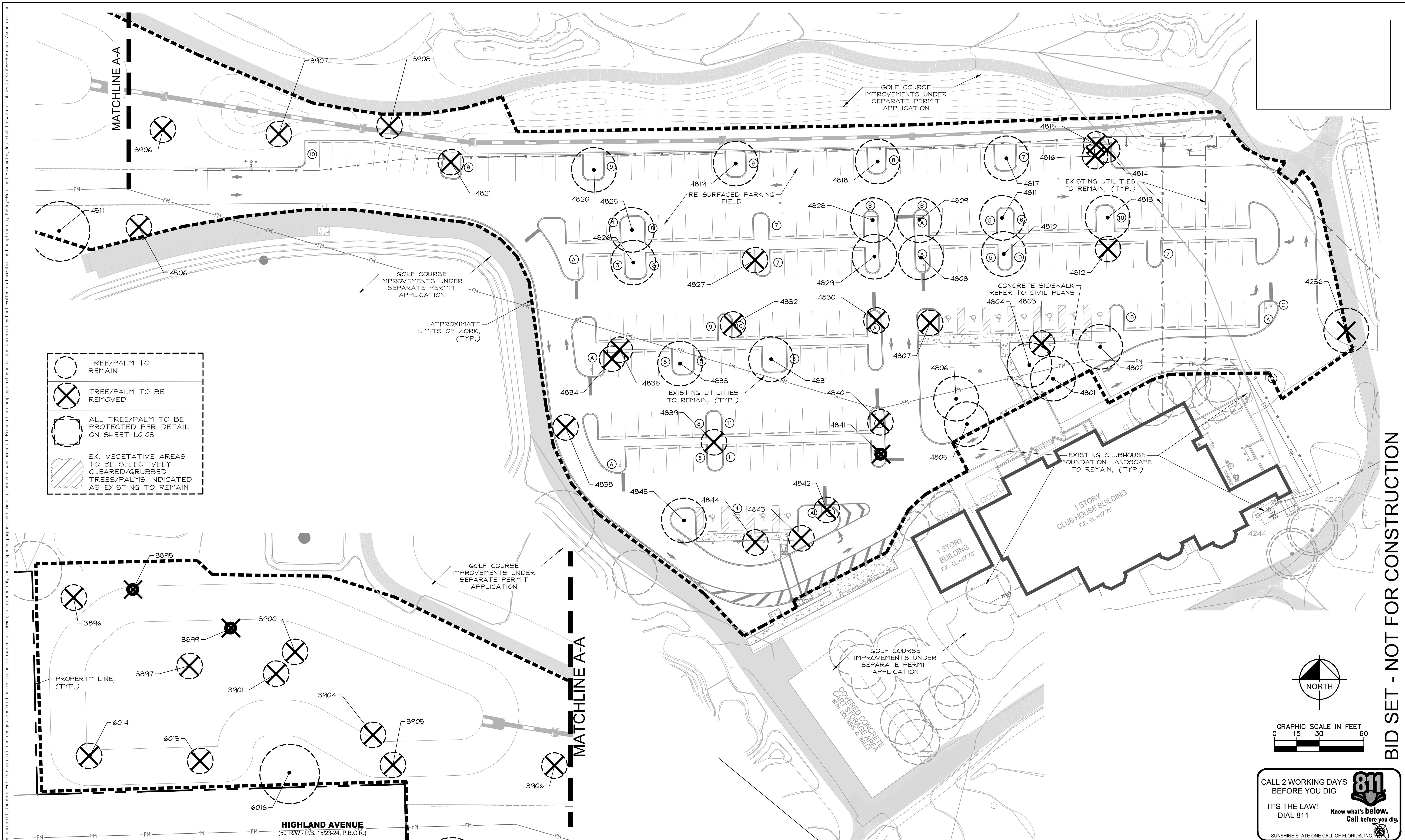
PREPARED FOR

CITY OF DELRAY BEACH

LICENSED PROFESSIONAL	
<hr/>	
THOMAS C. HARGRETT	
FLORIDA LICENSE NUMBER	
LA #6667512	
DA	DATE: 11/5/2025

OVERALL TREE DISPOSITION PLAN

SHEET NUMBER
L0.00



No.	REVISIONS	DATE	BY
▲	ADDENDUM #2 - PERMIT REVISIONS	9/03/2025	EB
▲	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025	EB
▲	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025	EB

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KHA PROJECT
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DATE
NOV. 2025
SCALE AS SHOWN
DESIGNED BY SW
DRAWN BY SW
CHECKED BY MFS

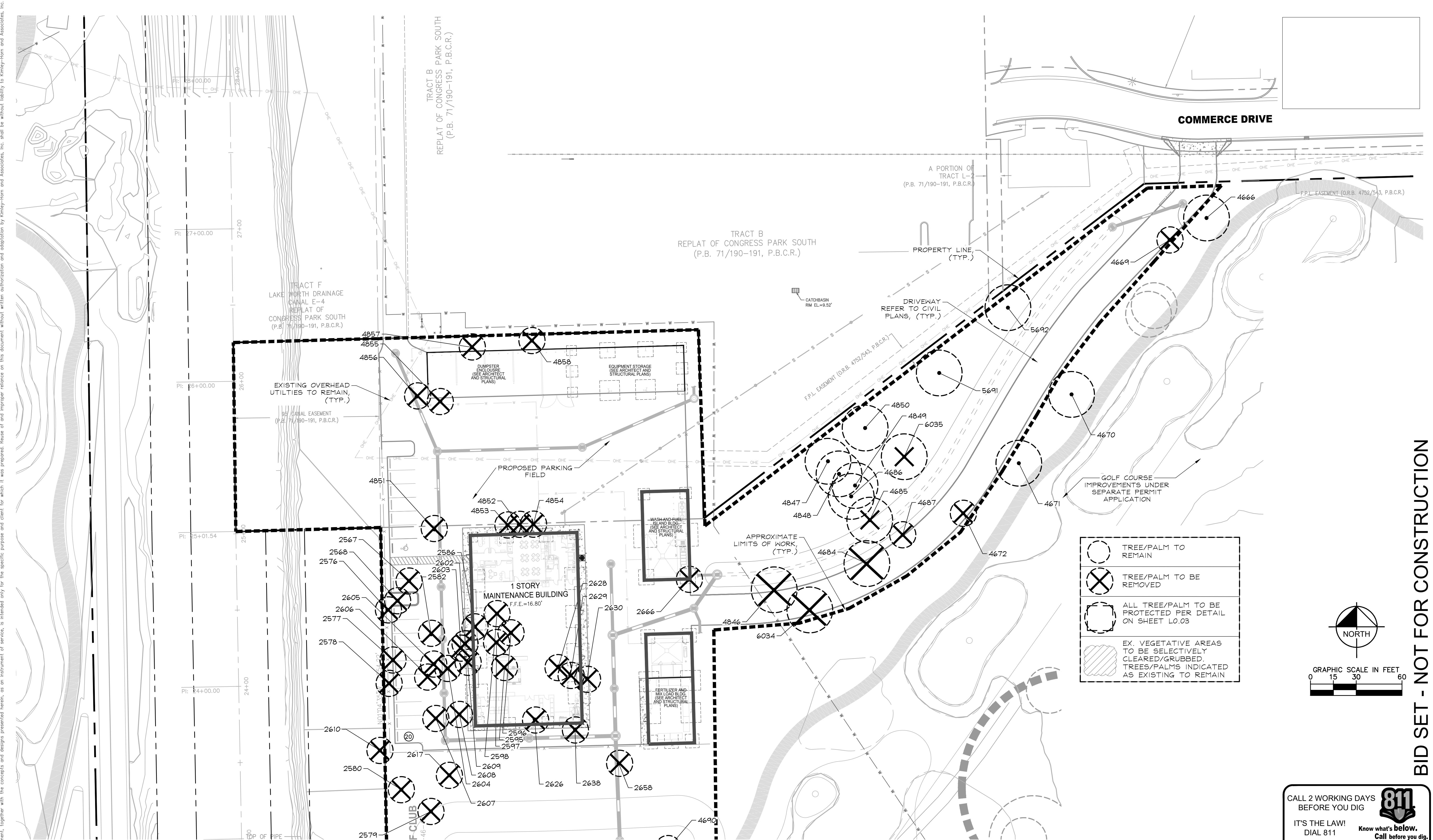
**DELRAY BEACH GOLF COURSE
RENOVATION**
PREPARED FOR
CITY OF DELRAY BEACH

LICENSED PROFESSIONAL
THOMAS C. HARGRETT
FLORIDA LICENSE NUMBER
LA #6667512
DATE: 11/5/2025

**TREE DISPOSITION PLAN
CLUBHOUSE AND PARKING LOT**

L0.01

THE JOURNAL OF CLIMATE



The logo for Call 811 features a large, stylized number '811' in a bold, serif font. The '8' and '1' are connected by a thick horizontal line, and the '1' has a vertical line extending downwards. Below the '1' is a graphic of a shovel, with its handle pointing towards the '8' and its head pointing downwards. The entire logo is set against a white background with a thin black border.

REVISIONS	DATE
2 ADDENDUM #2 - PERMIT REVISIONS	9/03/2025
3 ADDENDUM #3 - PERMIT REVISIONS	10/14/2025
4 ADDENDUM #4 - PERMIT REVISIONS	10/31/2025
No.	REVISIONS
	DATE

Kimley »» Horn

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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

	KHA PROJ
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	SCALE AS S
	DESIGNED BY
	DRAWN BY
	CHECKED BY

DELRAY BEACH GOLF COURSE RENOVATION

PREPARED FOR

CITY OF DELRAY BEACH

LICENSED PROFESSIONAL

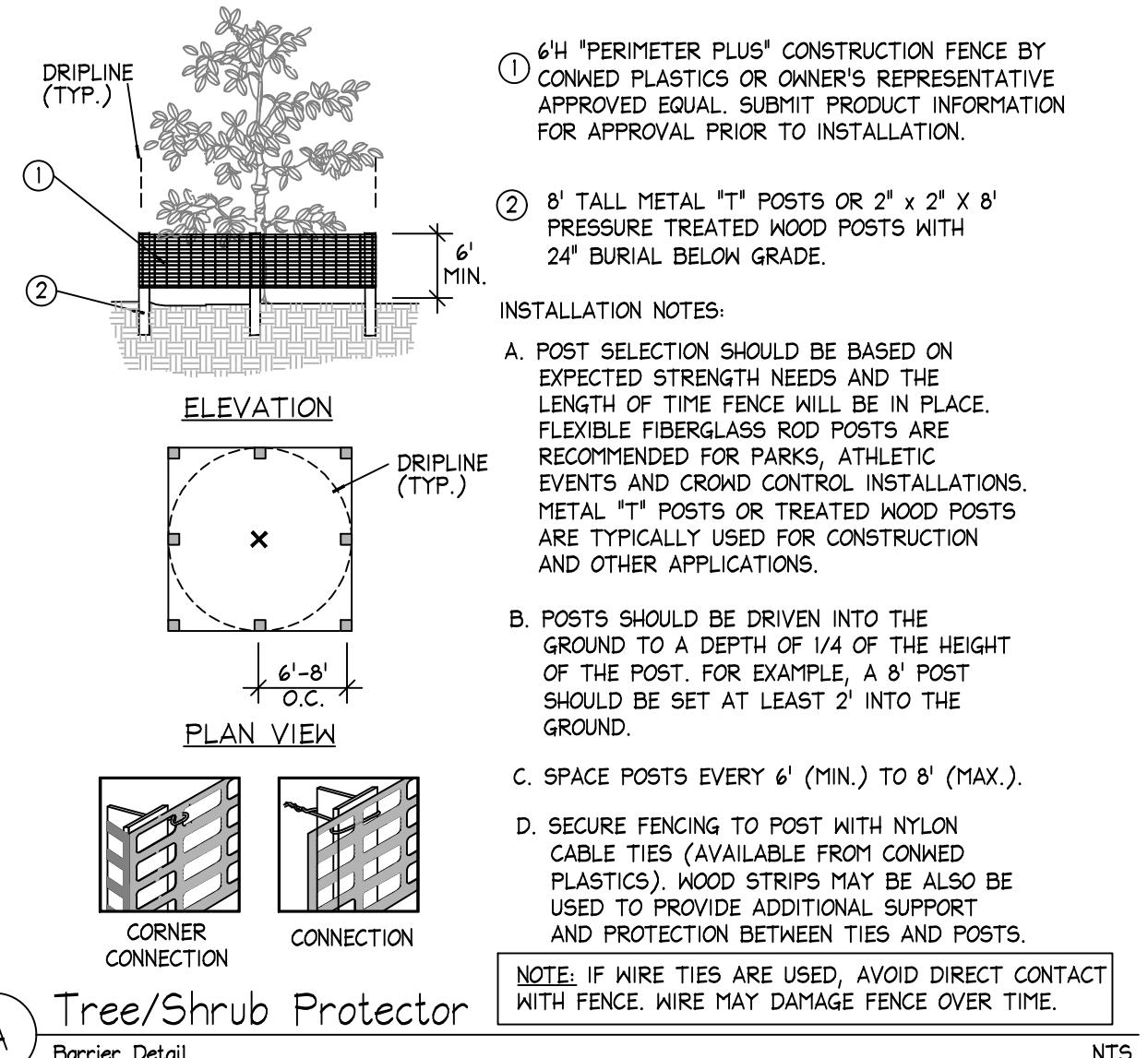
THOMAS C. HARGRETT

TREE DISPOSITION PLAN MAINTENANCE BUILDING

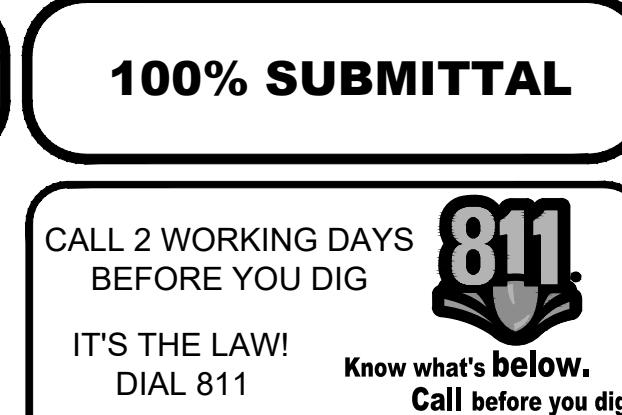
SHEET NUMBER
L0.02

TREE DISPOSITION TABLE (CLUB HOUSE)				
No.	Botanical Name	Common Name	DBH (in.) / CT	Disposition
3895	<i>Melaleuca quinquenervia</i>	Melaluca (Stump)	16"	REMOVE
3996	<i>Ficus benjamina</i>	Strangler Fig	109"	REMOVE
3897	<i>Pinus elliottii</i>	Slash Pine	17"	REMOVE
3899	<i>Melaleuca quinquenervia</i>	Melaluca (Stump)	16"	REMOVE
3900	<i>Sabal palmetto</i>	Sabal Palm	15'-20' CT	REMOVE
3901	<i>Sabal palmetto</i>	Sabal Palm	15'-20' CT	REMOVE
3904	<i>Roystonea regia</i>	Royal Palm (Double)	20' CT	REMOVE
3905	<i>Quercus virginiana</i>	Southern Live Oak	5"	REMOVE
3906	<i>Ficus benjamina</i>	Strangler Fig	96"	REMOVE
3907	<i>Ficus benjamina</i>	Strangler Fig	120"	REMOVE
3908	<i>Ficus benjamina</i>	Strangler Fig	84"	REMOVE
4236	<i>Ficus benjamina</i>	Strangler Fig	72"	REMOVE
4506	<i>Ficus benjamina</i>	Strangler Fig	72"	REMOVE
4511	<i>Ficus benjamina</i>	Strangler Fig	72"	REMAIN
4801	<i>Sabal palmetto</i>	Sabal Palm	10' CT	REMAIN
4802	<i>Sabal palmetto</i>	Sabal Palm	10' CT	REMAIN
4803	<i>Syzygium cumini</i>	Java Plum	29"	REMOVE
4804	<i>Syzygium cumini</i>	Java Plum	20"	REMAIN
4805	<i>Sabal palmetto</i>	Sabal Palm	10' CT	REMAIN
4806	<i>Quercus virginiana</i>	Southern Live Oak	15"	REMAIN
4807	<i>Olea europaea</i>	Black Olive	29"	REMOVE
4808	<i>Quercus virginiana</i>	Southern Live Oak	10"	REMAIN
4809	<i>Quercus virginiana</i>	Southern Live Oak	11"	REMAIN
4810	<i>Quercus virginiana</i>	Southern Live Oak	14"	REMAIN
4811	<i>Quercus virginiana</i>	Southern Live Oak	10"	REMAIN
4812	<i>Quercus virginiana</i>	Southern Live Oak	8"	REMOVE
4813	<i>Quercus virginiana</i>	Southern Live Oak	10"	REMAIN
4814	<i>Washingtonia Robusta</i>	Mexican Fan Palm	50' CT	REMOVE
4815	<i>Washingtonia Robusta</i>	Mexican Fan Palm	50' CT	REMOVE
4816	<i>Washingtonia Robusta</i>	Mexican Fan Palm	50' CT	REMOVE
4817	<i>Quercus virginiana</i>	Southern Live Oak	16"	REMAIN
4818	<i>Quercus virginiana</i>	Southern Live Oak	13"	REMAIN
4819	<i>Quercus virginiana</i>	Southern Live Oak	17"	REMAIN
4820	<i>Quercus virginiana</i>	Southern Live Oak	9"	REMAIN
4821	<i>Sabal palmetto</i>	Sabal Palm	15'-20' CT	REMOVE
4825	<i>Quercus virginiana</i>	Southern Live Oak	24"	REMAIN
4826	<i>Quercus virginiana</i>	Southern Live Oak	30"	REMAIN
4827	<i>Quercus virginiana</i>	Southern Live Oak	13"	REMOVE
4828	<i>Quercus virginiana</i>	Southern Live Oak	15"	REMAIN
4829	<i>Quercus virginiana</i>	Southern Live Oak	11"	REMAIN
4830	<i>Quercus virginiana</i>	Southern Live Oak	16"	REMOVE
4831	<i>Quercus virginiana</i>	Southern Live Oak	18"	REMAIN
4832	<i>Quercus virginiana</i>	Southern Live Oak	9"	REMOVE
4833	<i>Quercus virginiana</i>	Southern Live Oak	19"	REMAIN
4834	<i>Sabal Palmetto</i>	Sabal Palm	15' CT	REMOVE
4835	<i>Sabal Palmetto</i>	Sabal Palm	15' CT	REMOVE
4838	<i>Cocos nucifera</i>	Coconut Palm	15-20 CT	REMOVE
4839	<i>Olea europaea</i>	Black Olive	30"	REMOVE
4840	<i>Quercus virginiana</i>	Southern Live Oak	16"	REMOVE
4841	<i>Sabal Palmetto</i>	Sabal Palm (Stump)	15' CT	REMOVE
4842	<i>Olea europaea</i>	Black Olive	31"	REMOVE
4843	<i>Sabal Palmetto</i>	Sabal Palm	15' CT	REMOVE
4844	<i>Cocos nucifera</i>	Coconut Palm	15' CT	REMOVE
4845	<i>Cocos nucifera</i>	Coconut Palm	15' CT	REMAIN
6014	<i>Quercus virginiana</i>	Southern Live Oak		REMOVE
6015	<i>Pinus elliottii</i>	Slash Pine		REMOVE
6016	<i>Cassia fistula</i>	Golden Shower Tree		REMAIN

TREE DISPOSITION TABLE (MAINTENANCE AREA)				
No.	Botanical Name	Common Name	DBH (in.) / CT	Disposition
2567	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	4"	REMOVE
2568	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	6"	REMOVE
2576	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	12"	REMOVE
2577	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	5"	REMOVE
2578	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	8" cluster	REMOVE
2579	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	24"	REMOVE
2580	<i>Melaleuca quinquenervia</i>	Melaluca	12"	REMOVE
2582	<i>Ficus benjamina</i>	Strangler Fig	12"	REMOVE
2586	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	10"	REMOVE
2595	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	19"	REMOVE
2596	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	13"	REMOVE
2597	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	21"	REMOVE
2598	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	18"	REMOVE
2602	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	12"	REMOVE
2603	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	10"	REMOVE
2604	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	10"	REMOVE
2607	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	5"	REMOVE
2608	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	19"	REMOVE
2609	<i>Ficus benjamina</i>	Strangler Fig	10"	REMOVE
2610	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	24"	REMOVE
2617	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	9"	REMOVE
2626	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	8"	REMOVE
2628	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	17"	REMOVE
2629	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	19"	REMOVE
2630	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	15"	REMOVE
2638	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	16"	REMOVE
2658	<i>Cupaniopsis anacardoides</i>	Carrotwood Tree	13"	REMOVE
2666	<i>Cocos nucifera</i>	Coconut Palm	9"	REMOVE
4666	<i>Pinus elliottii</i>	Slash Pine	19"	REMAIN
4670	<i>Syzygium cumini</i>	Java Plum	42"	REMAIN
4671	<i>Syzygium cumini</i>	Java Plum	24"	REMAIN
4672	<i>Syzygium cumini</i>	Java Plum	27"	REMOVE
4684	<i>Quercus virginiana</i>	Southern Live Oak	8"	REMOVE
4685	<i>Quercus virginiana</i>	Southern Live Oak	5"	REMOVE
4686	<i>Quercus virginiana</i>	Southern Live Oak	5"	REMAIN
4687	<i>Syzygium cumini</i>	Java Plum	47"	REMOVE
4689	<i>Syzygium cumini</i>	Java Plum	30"	REMOVE
4690	<i>Syzygium cumini</i>	Java Plum	13" cluster	REMOVE
4691	<i>Syzygium cumini</i>	Java Plum	13"	REMOVE
4692	<i>Syzygium cumini</i>	Java Plum	24"	REMAIN
4694	<i>Syzygium cumini</i>	Java Plum	30"	REMAIN
4846	<i>Quercus virginiana</i>	Southern Live Oak	9"	REMOVE
4847	<i>Syzygium cumini</i>	Java Plum	20"	REMAIN
4848	<i>Syzygium cumini</i>	Java Plum	19"	REMAIN
4849	<i>Syzygium cumini</i>	Java Plum	7"	REMAIN
4850	<i>Syzygium cumini</i>	Java Plum	17" cluster	REMAIN
4851	<i>Ficus benjamina</i>	Strangler Fig	24"	REMOVE
4852	<i>Syzygium cumini</i>	Java Plum	13"	REMOVE
4853	<i>Syzygium cumini</i>	Java Plum	13"	REMOVE
4854	<i>Syzygium cumini</i>	Java Plum	17"	REMOVE
4855	<i>Syzygium cumini</i>	Java Plum	16"	REMOVE
4856	<i>Pinus elliottii</i>	Slash Pine	17"	REMOVE
4857	<i>Carica papaya</i>	Papaya Tree	6"	REMOVE
4858	<i>Carica papaya</i>	Papaya Tree	8"	REMOVE
6035	<i>Syzygium cumini</i>	Java Plum		REMOVE



NTS



NOT FOR CONSTRUCTION

100% SUBMITTAL

Tree Disposition Schedule

No.	REVISIONS	DATE	BY

Kimley Horn
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1920 WAKIVA WAY SUITE 200, WEST PALM BEACH, FL 33411
PHONE: 561-845-0665 FAX: 561-863-8175
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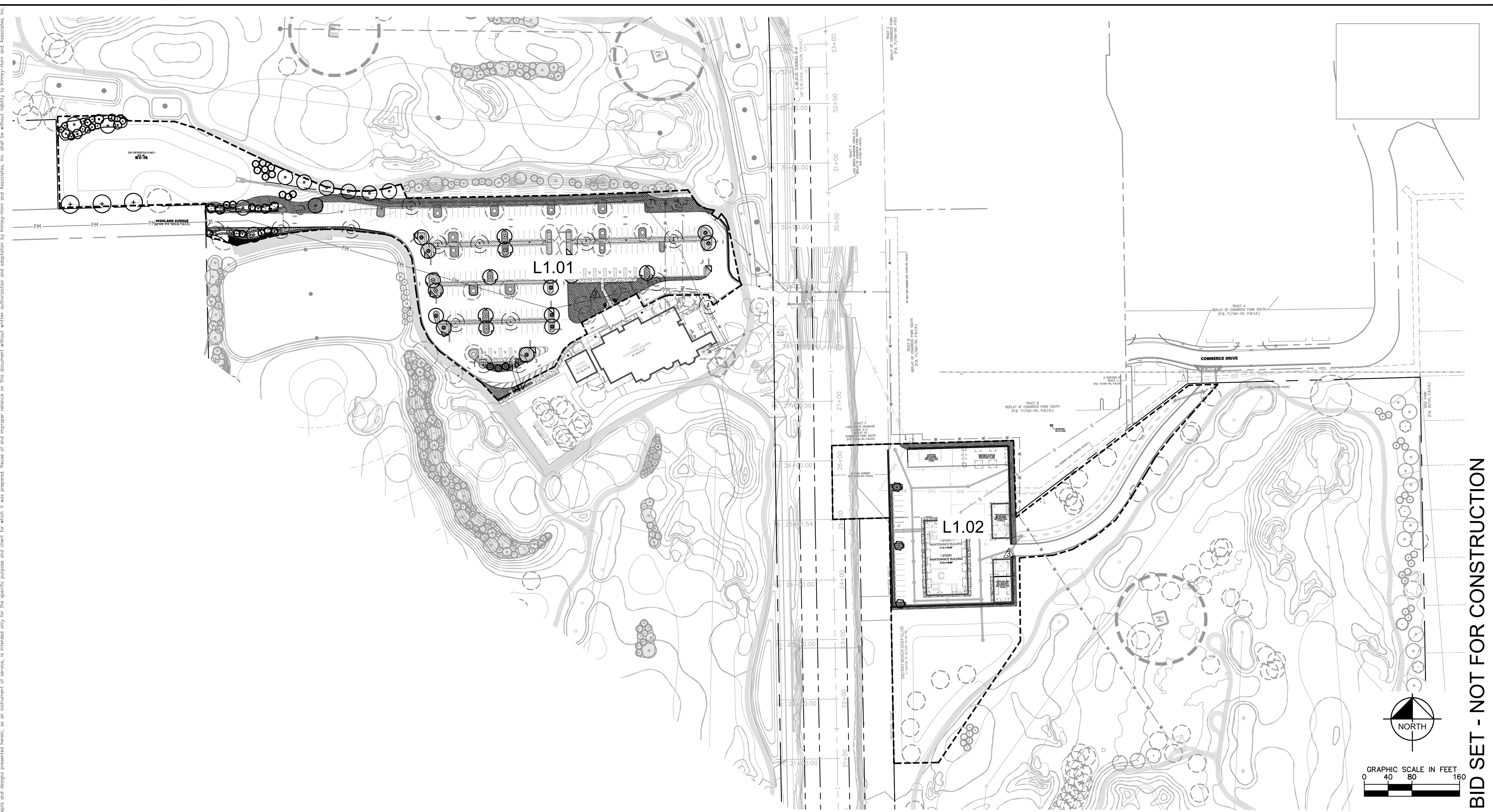
KHA PROJECT
140796000
DATE
OCT. 2025
SCALE AS SHOWN
DESIGNED BY SW
DRAWN BY SW
CHECKED BY MFS

DELRAY BEACH
PREPARED FOR
CITY OF DELRAY BEACH

LICENSED PROFESSIONAL
THOMAS C. HARGRETT
FLORIDA LICENSE NUMBER
LA #6667512
DATE: 10/14/2025

FLORIDA

SHEET NUMBER
L0.03



Revisions	Revisions	Date
2	ADDENDUM #2 - PERMIT REVISIONS	9/03/2025
3	ADDENDUM #3 - PERMIT REVISIONS	10/14/2025
4	ADDENDUM #4 - PERMIT REVISIONS	10/31/2025
No.	REVISIONS	DATE

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	KHA PROJ
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	DATE
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DELRAY BEACH GOLF COURSE RENOVATION

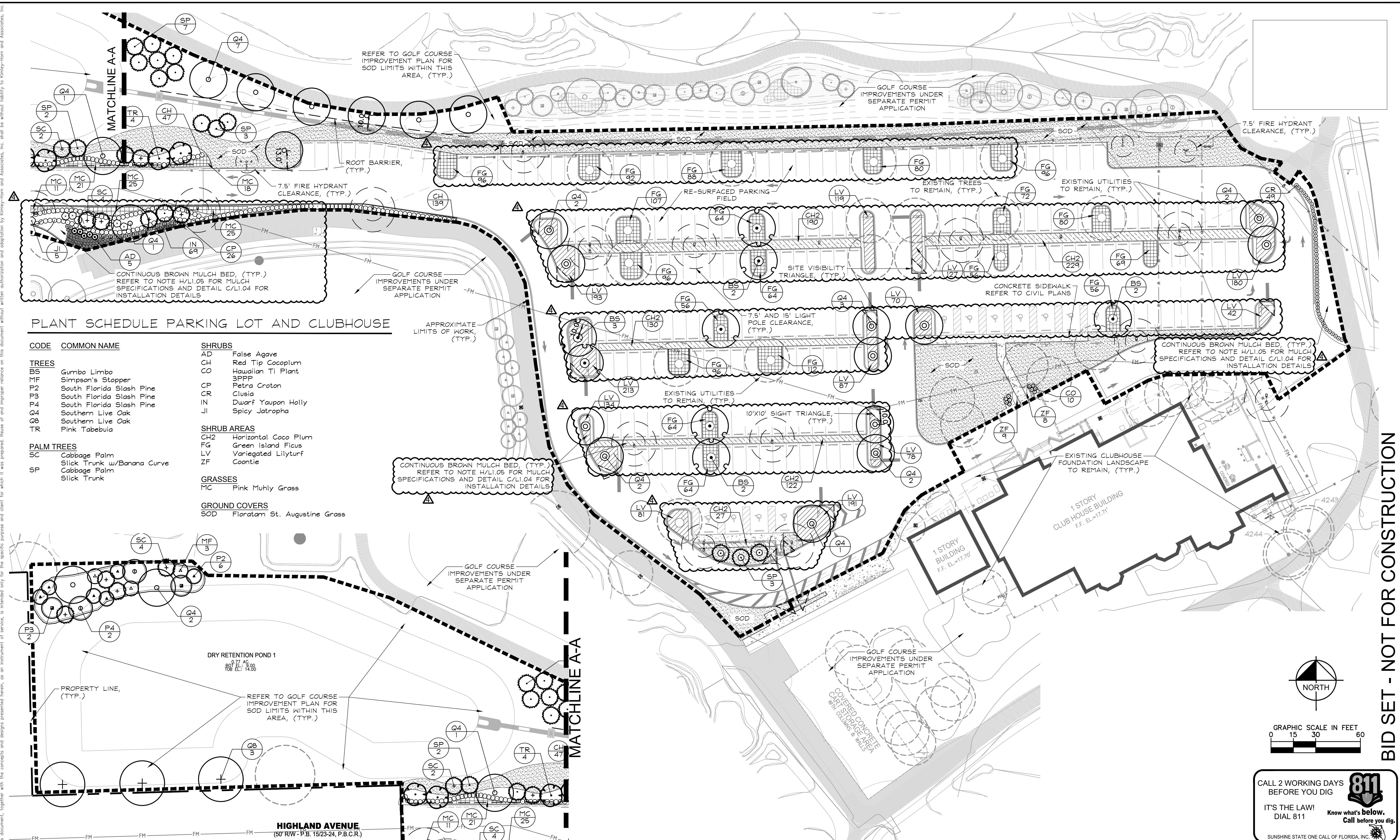
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CITY OF DELRAY BEACH

RIDA	LICENSED PROFESSIONAL <hr/> THOMAS C. HARGRE FLORIDA LICENSE NUMBER LA #6667512 DATE: 11/5/2025
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OVERALL LANDSCAPE PLAN

SHEET NUMBER
L 1.00

THE JOURNAL OF CLIMATE



2	ADDENDUM #2 - PERMIT REVISIONS	9/03/2022
3	ADDENDUM #3 - PERMIT REVISIONS	10/14/2022
4	ADDENDUM #4 - PERMIT REVISIONS	10/31/2022
No.	REVISIONS	DATE

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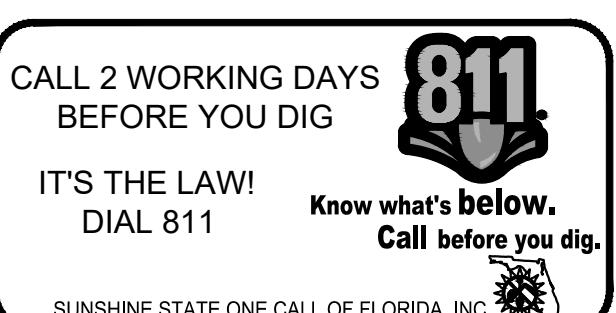
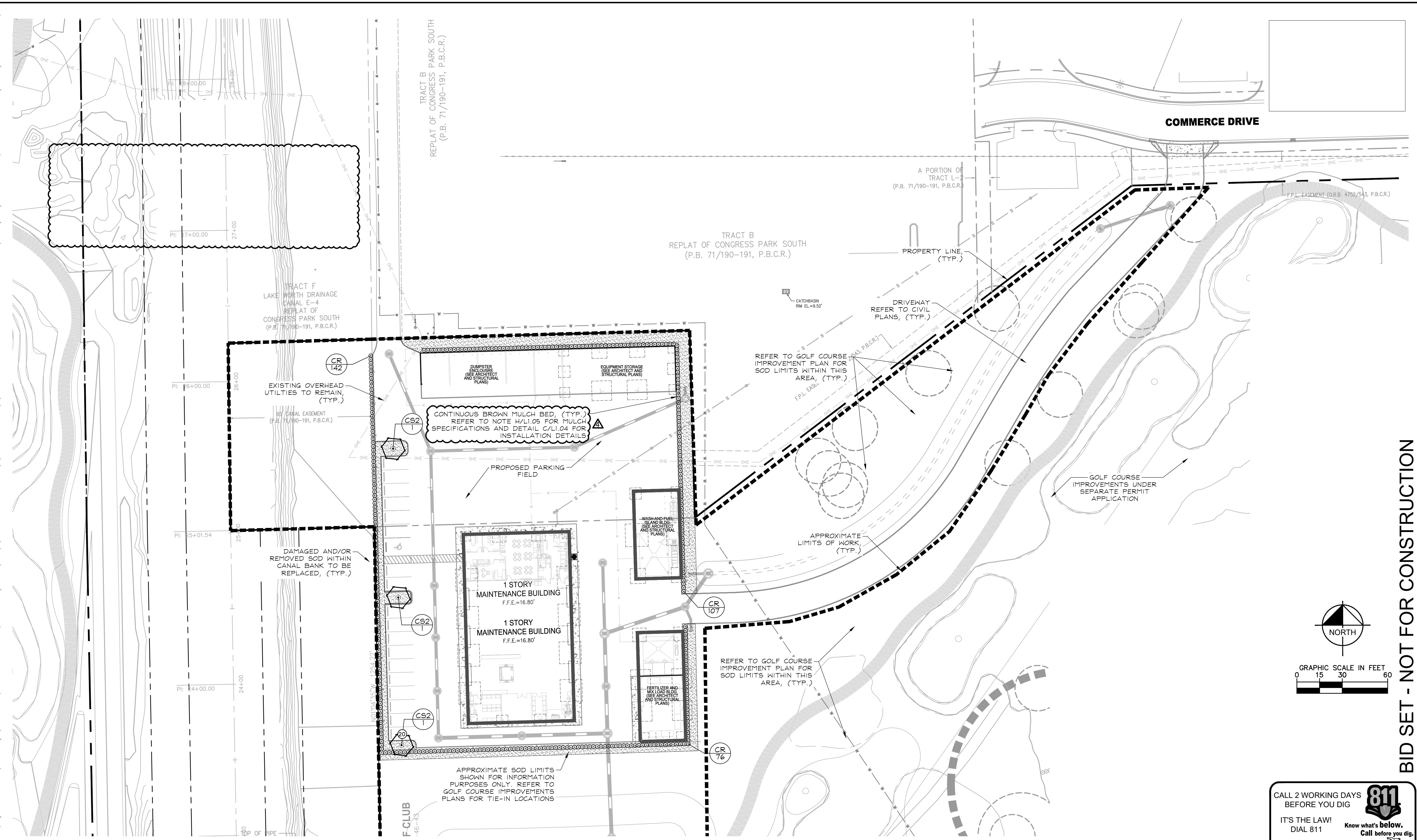
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DELRAY BEACH GOLF COURSE RENOVATION

LICENSED PROFESSIONAL	
THOMAS C. HARGRETT	
FLORIDA LICENSE NUMBER	
LA #6667512	
DA	DATE: 11/5/2025

LANDSCAPE PLAN CLUBHOUSE AND PARKING LOT

HEET NUMBER



2	ADDENDUM #2 - PERMIT REVISIONS	9/03/2023
3	ADDENDUM #3 - PERMIT REVISIONS	10/14/2023
4	ADDENDUM #4 - PERMIT REVISIONS	10/31/2023
No.	REVISIONS	DATE

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	KHA PROJ
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	NOV. 20
	SCALE AS S
	DESIGNED BY
	DRAWN BY
	CHECKED BY

DELRAY BEACH GOLF COURSE RENOVATION

PREPARED FOR
CITY OF DELRAY BEACH

LICENSED PROFESSION	
THOMAS C. HARGR	
FLORIDA LICENSE NUM	
LA #666751	
DA	DATE: 11/5/2025

LANDSCAPE PLAN MAINTENANCE BUILDING

SHEET NUMBER
L1.02