



NORTHWEST VIEW

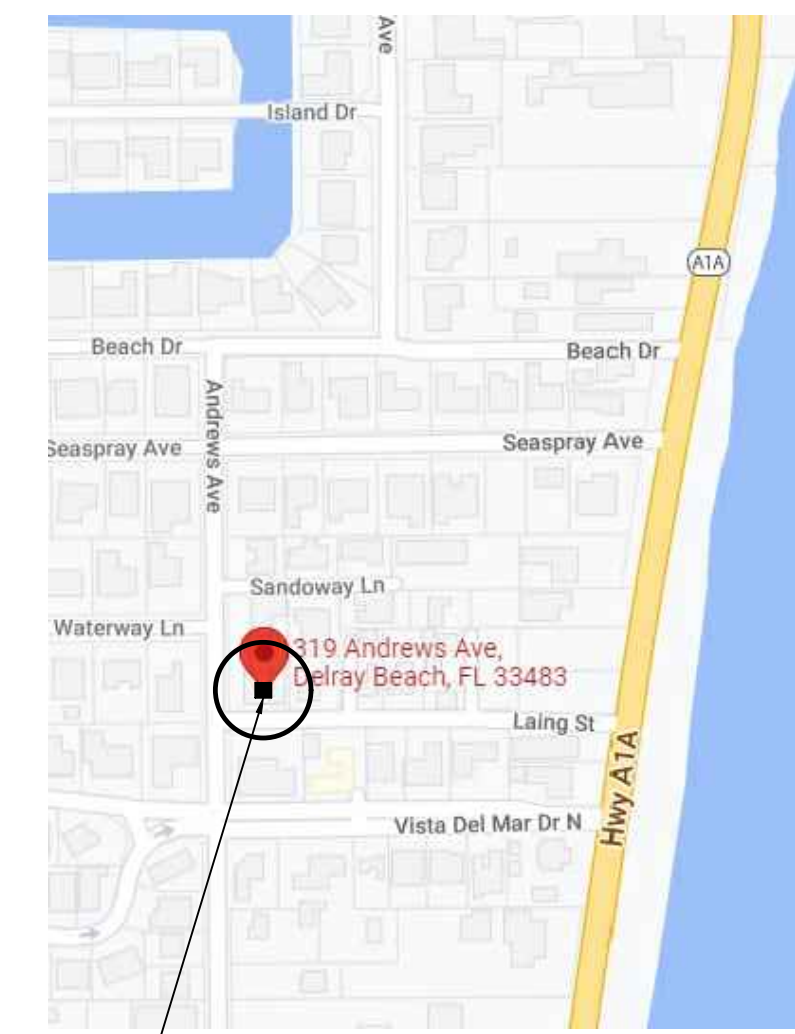
WATERWAY LANE

#2



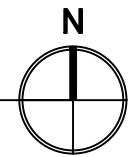
NORTH VIEW

#1



PROPOSED PROJECT IS LOCATED ON THE NORTHEAST CORNER OF ANDREWS AVE. AND LAING ST.

VICINITY MAP



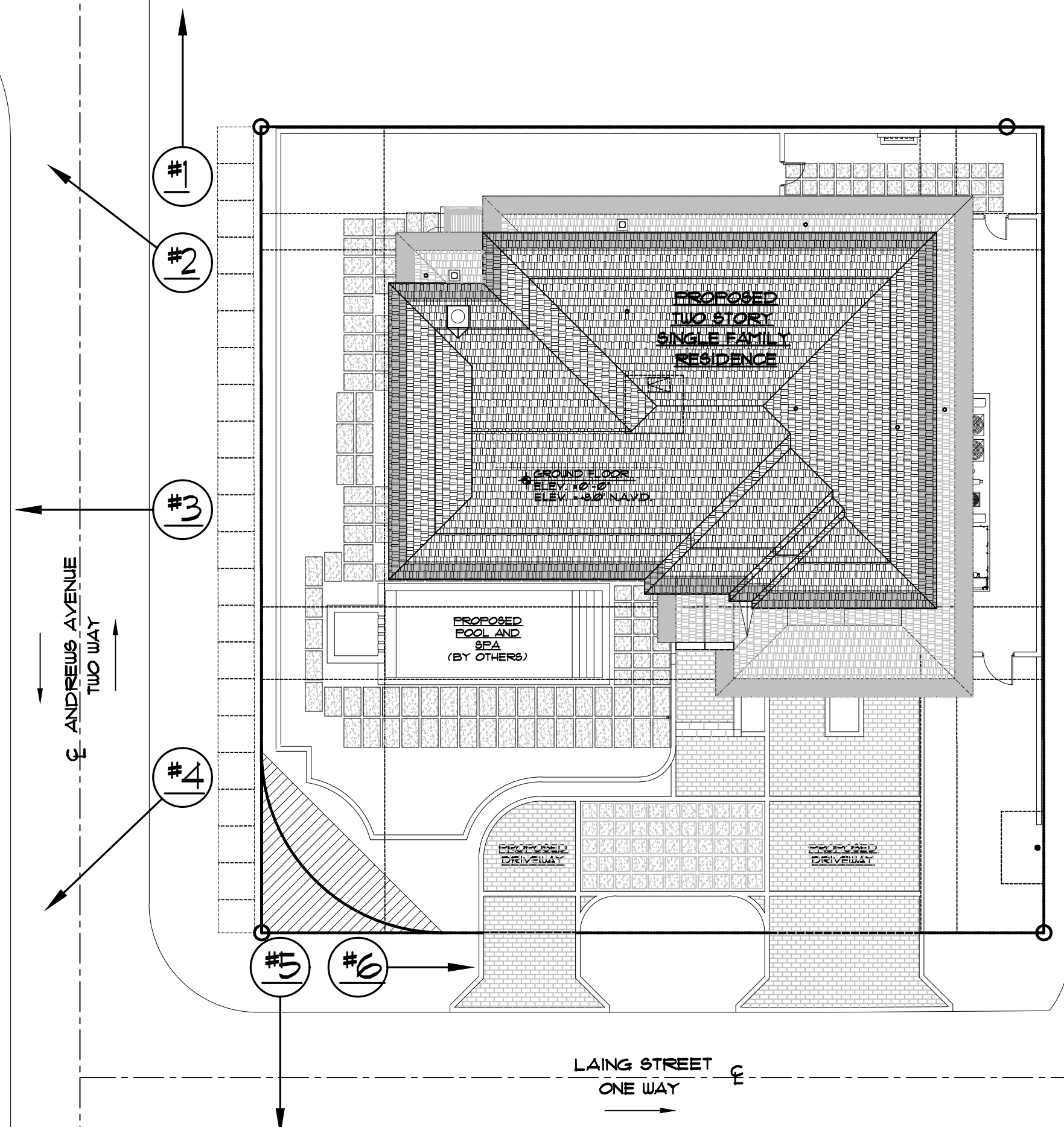
architect, planner and designer
 1045 East Atlantic Ave., Suite 303
 Delray Beach, Florida 33483
 TEL: 561-276-6011
 FAX: 561-276-6129

ISSUED FOR
 BIDS
 PERMIT
 CONSTRUCTION



WEST VIEW

#3



EAST VIEW

#6



SOUTHWEST VIEW

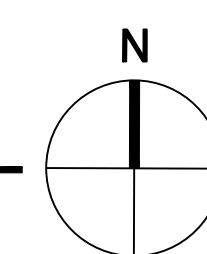
#4



SOUTH VIEW

#5

1 SITE VIEWS
 B2 SCALE: 1/16" = 1'-0"



- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY w/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.

PROJECT TITLE
SINGLE FAMILY RESIDENCE

**319 ANDREWS AVE
 DELRAY BEACH, FL**

REVISIONS

FILE NUMBER
404A_EXHIBIT_B

DRAWING TITLE
**EXHIBIT 'B'
 SITE VIEWS**

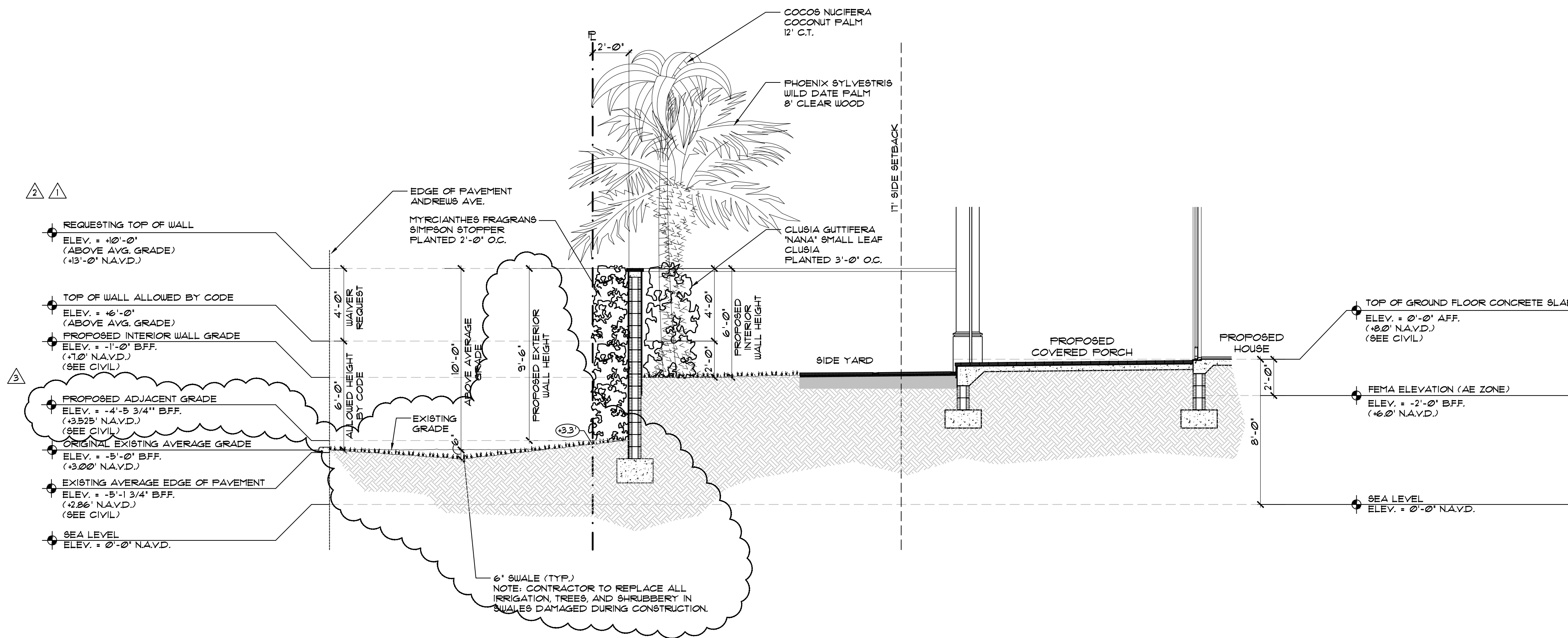
DATE
05.22.24 DRAWN BY
GE/AC

JOB NUMBER
20220404

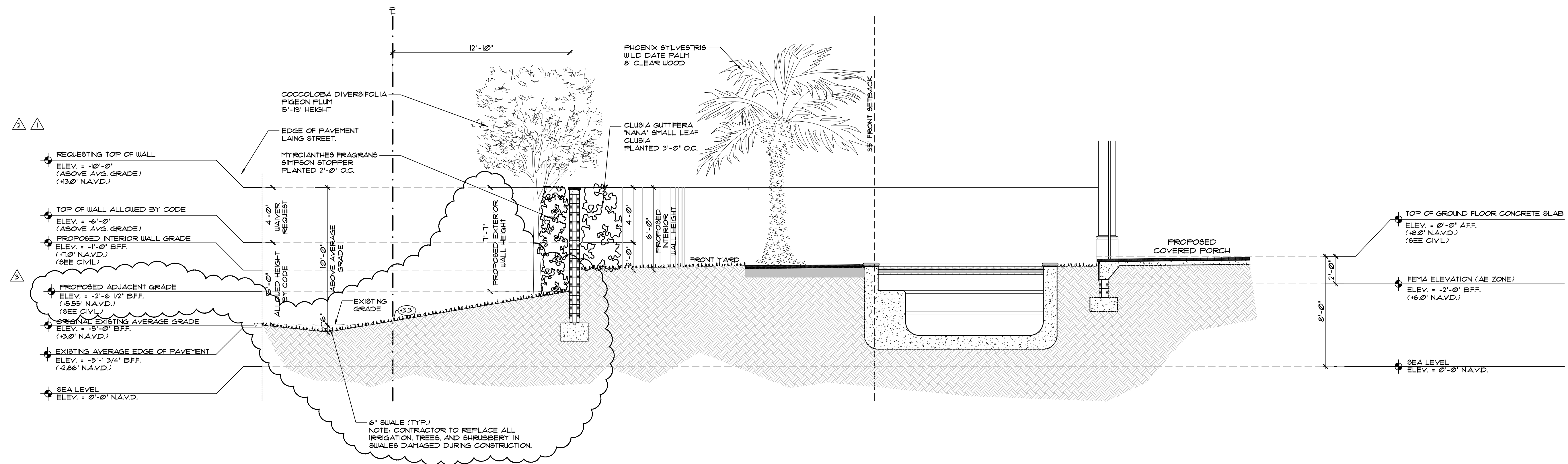
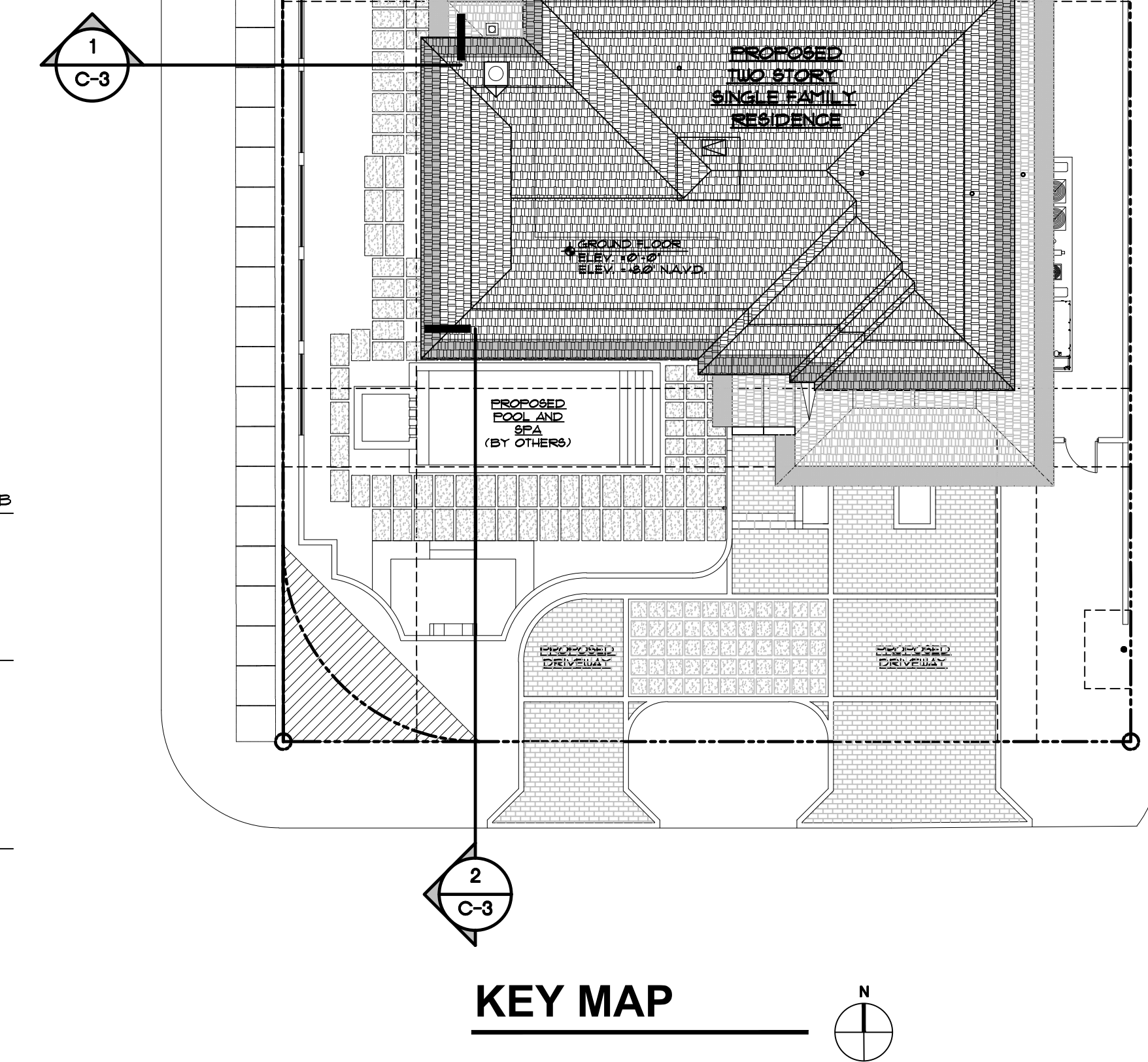
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B-2

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1 PROPOSED WEST RETAINING WALL SECTION
 SCALE: 1/4" = 1'-0" ALONG ANDREWS AVE.



2 PROPOSED SOUTH RETAINING WALL SECTION
 SCALE: 1/4" = 1'-0" ALONG LAING ST.



architect, planner and designer
 1045 East Atlantic Ave. Suite 303
 Delray Beach, Florida 33483
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PROJECT TITLE
SINGLE FAMILY RESIDENCE

319 ANDREWS AVE DELRAY BEACH, FL

- REVISIONS
 1. REVISED 08-28-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. 1 GRADES REVISED.
 2. REVISED 09-16-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. 1 UPDATED GRADE ELEVATIONS TO MATCH CIVIL.
 3. REVISED 10-24-24 AS PER CITY OF DELRAY BEACH ENGINEERING COMMENTS. 1 GRADES REVISED.

FILE NUMBER
404A_EXHIBIT_C

DRAWING TITLE
EXHIBIT 'C' RETAINING WALL SECTIONS

DATE
05.22.24 | DRAWN BY
GE/AC
 JOB NUMBER
20220404
 DRAWING NUMBER

C-3

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PROJECT TITLE
SINGLE FAMILY RESIDENCE

**319 ANDREWS AVE
 DELRAY BEACH, FL**

REVISIONS
 Δ REVISED 08-28-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS.
 1. GRADES REVISED.
 Δ REVISED 09-24-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS.
 1. UPDATED GRADE ELEVATIONS TO MATCH CIVIL.

FILE NUMBER
404A_EXHIBIT_D

DRAWING TITLE
**EXHIBIT 'D'
 PROPOSED
 WEST WALL
 ELEVATIONS**

DATE
05.22.24 | DRAWN BY
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 JOB NUMBER
20220404
 DRAWING NUMBER

D-4

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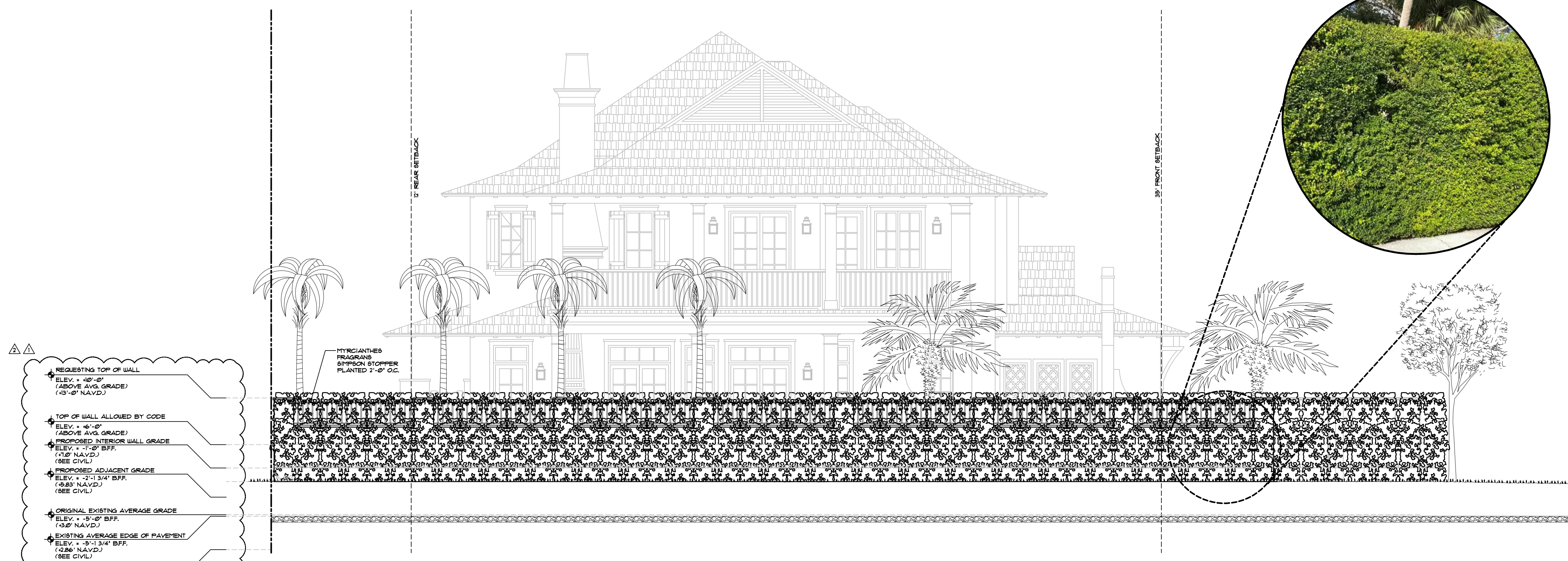
PROPOSED WALL HEIGHT WOULD BE 7'-2" EXTERIOR - GIVING THE INTERIOR SIDE A HEIGHT OF 6'-0".

DASHED LINE REPRESENTS THE CITY OF DELRAY CODE OF A MAXIMUM OF 6'-0" HEIGHT ABOVE THE AVERAGE NATURAL GRADE OUTSIDE OF THE PROPERTY.

RAILINGS (TO MATCH FINAL DESIGN OF MAIN HOUSE) TO BREAK UP THE WALL AND PROVIDE AIR CIRCULATION.

- ▲ REQUESTING TOP OF WALL
ELEV. = +6'-0" (ABOVE AVG. GRADE) (+3'-0" NAVD.)
- ▲ TOP OF WALL ALLOWED BY CODE
ELEV. = +6'-0" (ABOVE AVG. GRADE)
- ▲ PROPOSED INTERIOR WALL GRADE
ELEV. = +1'-0" B.F.F. (+0'-0" NAVD.) (SEE CIVIL)
- ▲ PROPOSED ADJACENT GRADE
ELEV. = +2'-1 3/4" B.F.F. (+0'-0" NAVD.)
- ▲ ORIGINAL EXISTING AVERAGE GRADE
ELEV. = +3'-0" B.F.F. (+0'-0" NAVD.)
- ▲ EXISTING AVERAGE EDGE OF PAVEMENT
ELEV. = +3'-1 3/4" B.F.F. (+0'-0" NAVD.) (SEE CIVIL)
- ▲ SEA LEVEL
ELEV. = 0'-0" NAVD.

1 PROPOSED WEST ELEVATION W/ WALL
 SCALE : 3/16" = 1'-0" ALONG ANDREWS AVE.



MYRCIANTHES FRAGRANS
 SIMPSON STOPPER

MYRCIANTHES FRAGRANS
 SIMPSON STOPPER
 PLANTED 2'-0" O.C.

- ▲ REQUESTING TOP OF WALL
ELEV. = +6'-0" (ABOVE AVG. GRADE) (+3'-0" NAVD.)
- ▲ TOP OF WALL ALLOWED BY CODE
ELEV. = +6'-0" (ABOVE AVG. GRADE)
- ▲ PROPOSED INTERIOR WALL GRADE
ELEV. = +1'-0" B.F.F. (+0'-0" NAVD.) (SEE CIVIL)
- ▲ PROPOSED ADJACENT GRADE
ELEV. = +2'-1 3/4" B.F.F. (+0'-0" NAVD.)
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ELEV. = +3'-0" B.F.F. (+0'-0" NAVD.)
- ▲ EXISTING AVERAGE EDGE OF PAVEMENT
ELEV. = +3'-1 3/4" B.F.F. (+0'-0" NAVD.) (SEE CIVIL)
- ▲ SEA LEVEL
ELEV. = 0'-0" NAVD.

2 PROPOSED WEST ELEVATION W/ LANDSCAPED WALL
 SCALE : 3/16" = 1'-0" ALONG ANDREWS AVE.



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PROJECT TITLE
SINGLE FAMILY RESIDENCE

**319 ANDREWS AVE
 DELRAY BEACH, FL**

REVISIONS
 1. REVISED 09-28-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. GRADES REVISED.
 2. REVISED 09-28-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. UPDATED GRADE ELEVATIONS TO MATCH CIVIL.

FILE NUMBER
404A_EXHIBIT_E

DRAWING TITLE
EXHIBIT 'E' PROPOSED SOUTH WALL ELEVATIONS

DATE
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 JOB NUMBER
20220404
 DRAWING NUMBER

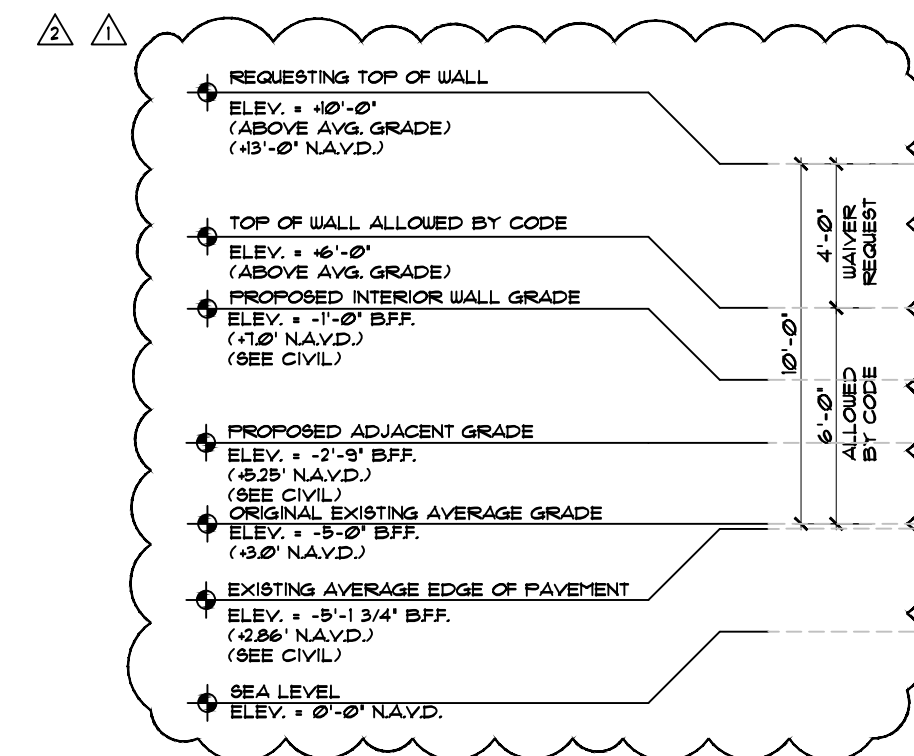
E-5

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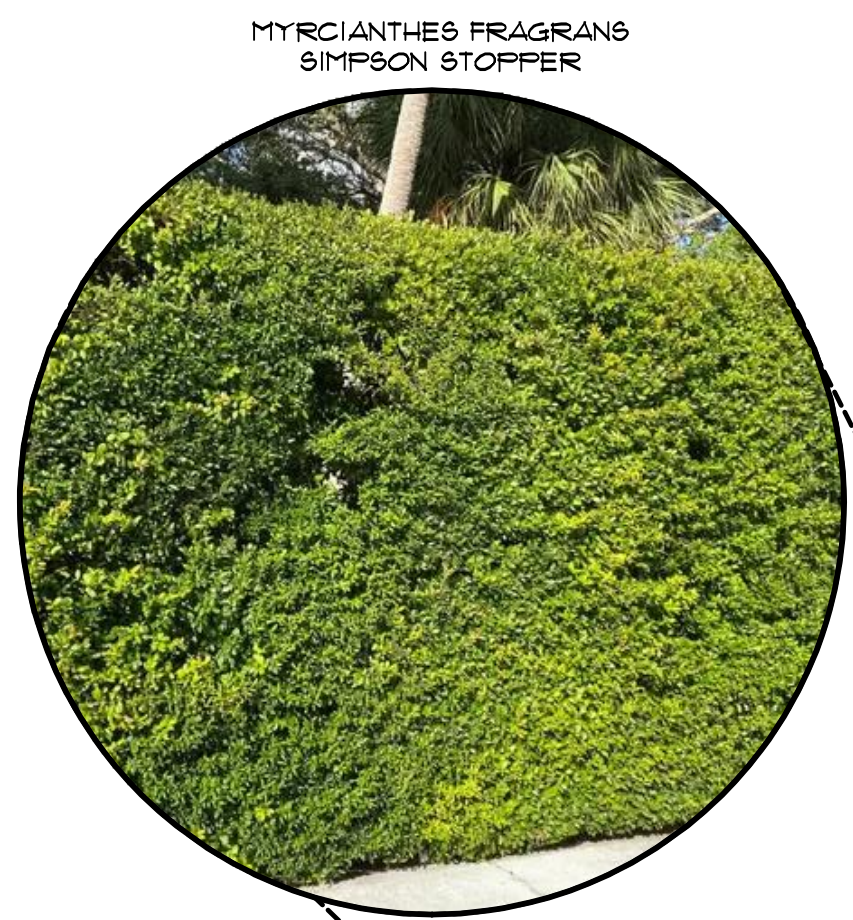
PROPOSED WALL HEIGHT WOULD BE 1'-9" EXTERIOR - GIVING THE INTERIOR SIDE A HEIGHT OF 6'-0".

RAILINGS (TO MATCH FINAL DESIGN OF MAIN HOUSE) TO BREAK UP THE WALL AND PROVIDE AIR CIRCULATION.

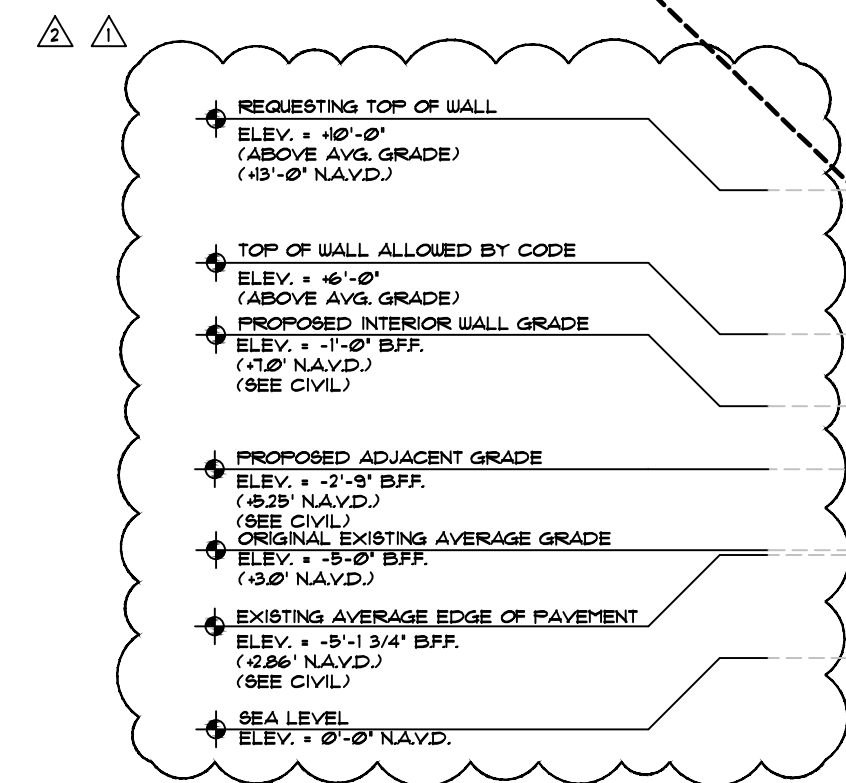
DASHED LINE REPRESENTS THE CITY OF DELRAY CODE OF A MAXIMUM OF 6'-0" HEIGHT ABOVE THE AVERAGE NATURAL GRADE OUTSIDE OF THE PROPERTY.



1 PROPOSED SOUTH ELEVATION W/ WALL
 SCALE : 3/16" = 1'-0"
 ALONG LAING ST.



MYRSINETHES FRAGRANS SIMPSON STOPPER



2 PROPOSED SOUTH ELEVATION W/ LANDSCAPED WALL
 SCALE : 3/16" = 1'-0"
 ALONG LAING ST.



1031 SEASPRAY AVE.
NORTH ELEVATION



1031 SEASPRAY AVE.



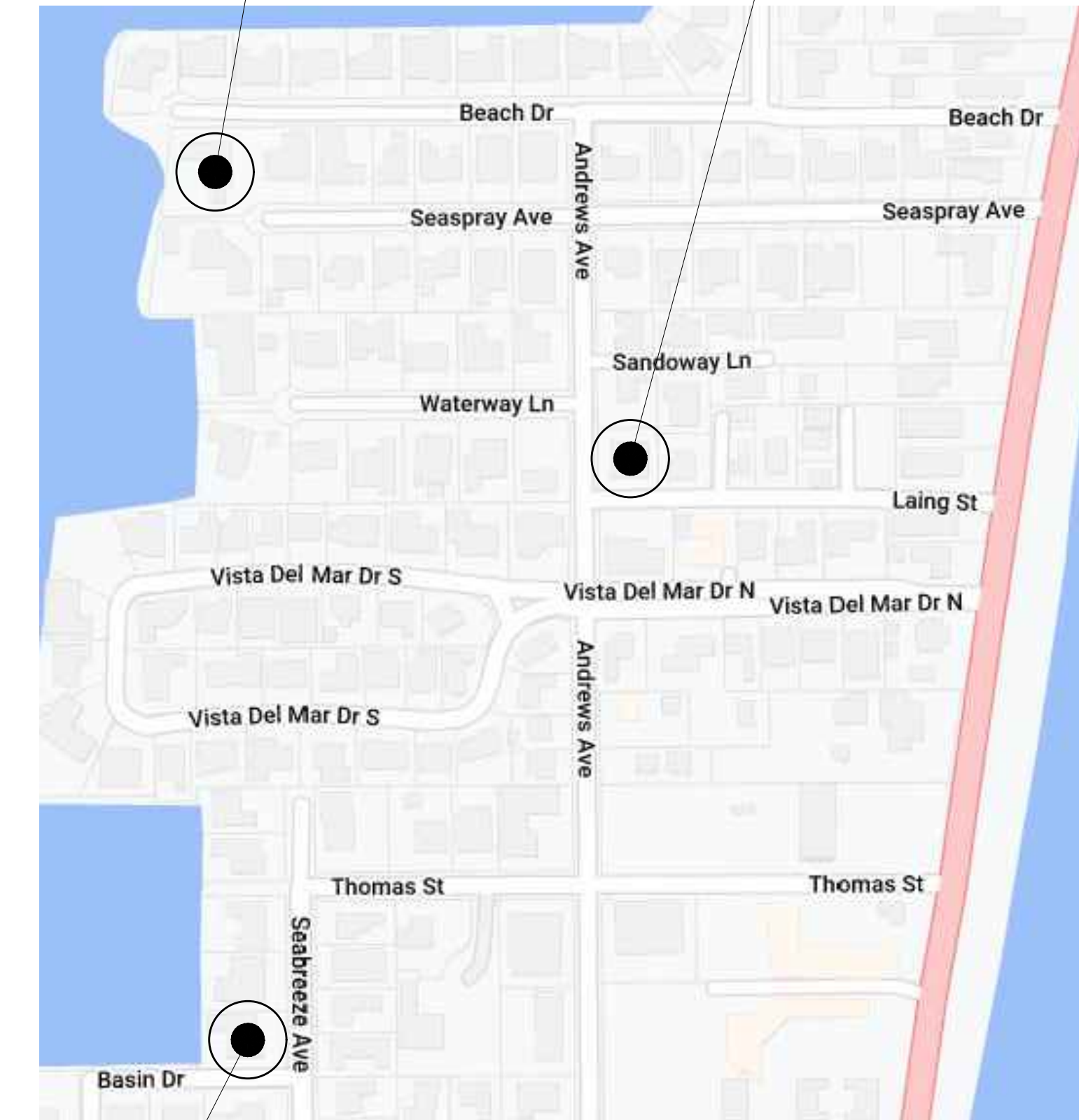
1031 SEASPRAY AVE.



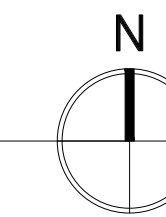
126 SEABREEZE AVE.
SOUTH ELEVATION

APPROVED 9'-0" WALL WAIVER
1031 SEASPRAY AVE.

PROPOSED PROJECT IS
LOCATED ON THE NORTHEAST
CORNER OF ANDREWS AVE.
AND LAING ST.



VICINITY MAP



APPROVED 10'-0" WALL WAIVER
126 SEABREEZE AVE.



architect, planner and
designer

1045 East Atlantic Ave., Suite 303
Delray Beach, Florida 33483
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FAX: 561-276-6129

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CONSTRUCTION

PROJECT TITLE

**SINGLE
FAMILY
RESIDENCE**

**319 ANDREWS AVE
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER
404A_EXHIBIT_F

DRAWING TITLE

**EXHIBIT 'F'
APPROVED
WALL
EXAMPLE**

DATE

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DORFMAN RESIDENCE

WEST ELEVATION



West Elevation

DORFMAN RESIDENCE
 Delray Beach, Florida

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FAX: 561-276-6129

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CONSTRUCTION

PROJECT TITLE

**SINGLE
FAMILY
RESIDENCE**

**319 ANDREWS AVE
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER **404A_EXHIBIT_G**

DRAWING TITLE

**EXHIBIT 'G'
WEST
ELEVATION
RENDERING**

DATE **05.22.24** DRAWN BY **GE/AC**

JOB NUMBER **20220404**

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DORFMAN RESIDENCE

SOUTH ELEVATION



South Elevation

DORFMAN RESIDENCE

Delray Beach, Florida

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CONSTRUCTION

PROJECT TITLE

**SINGLE
FAMILY
RESIDENCE**

**319 ANDREWS AVE
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER
404A_EXHIBIT_H

DRAWING TITLE
**EXHIBIT 'H'
SOUTH
ELEVATION
RENDERING**

DATE
05.22.24

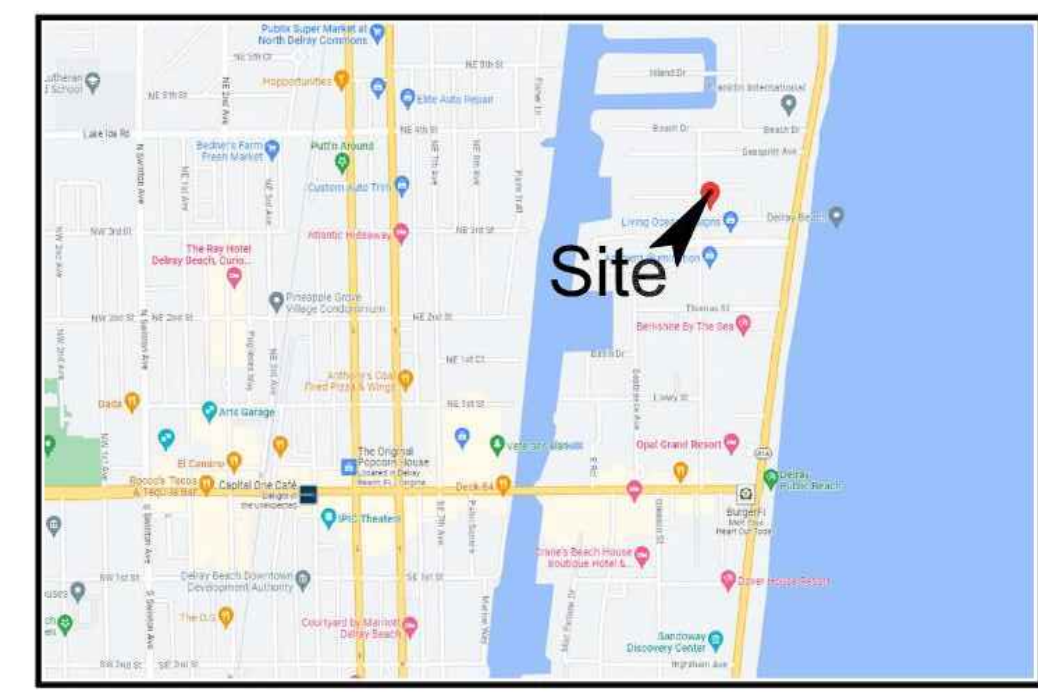
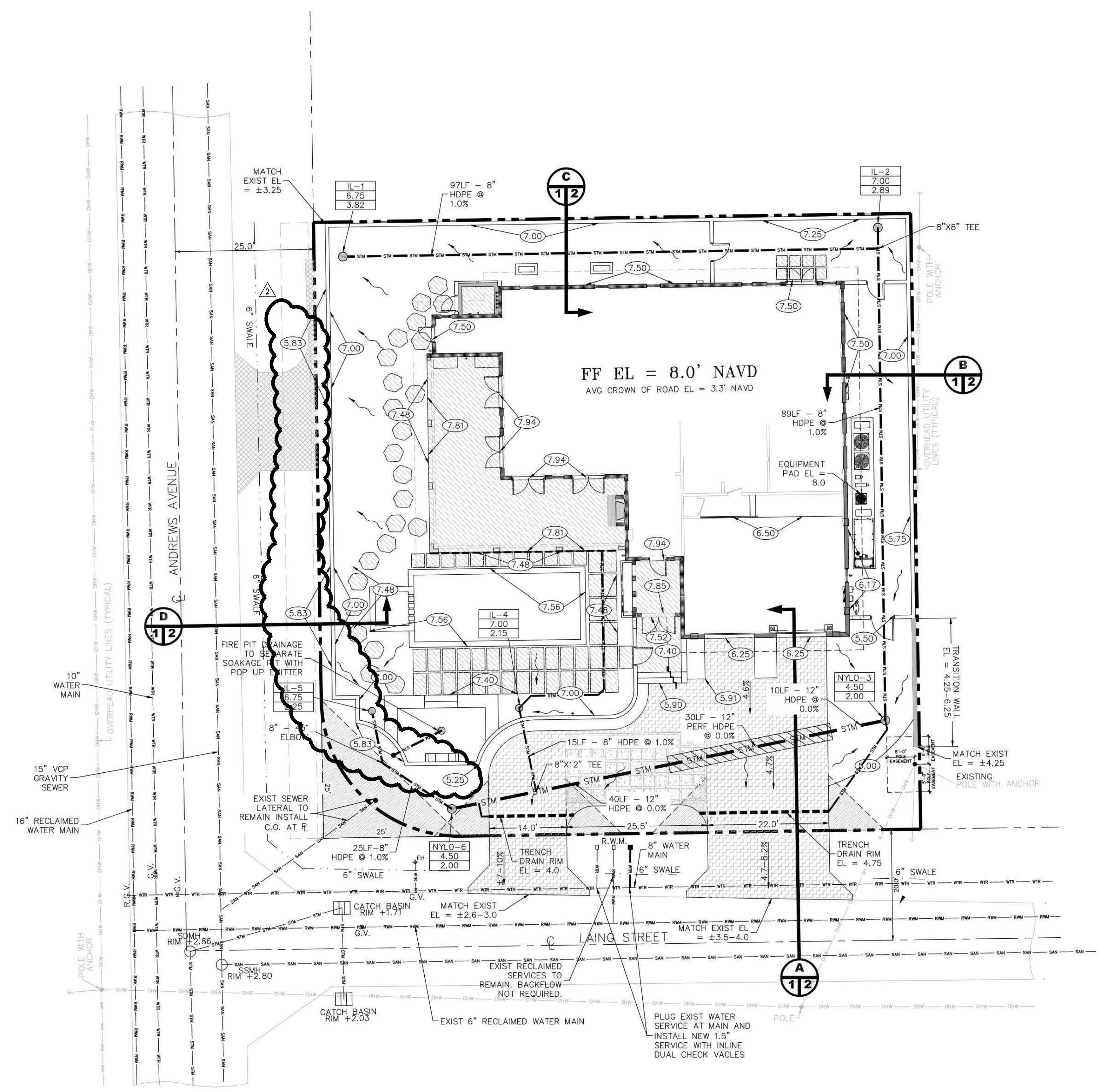
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LOCATION MAP
N.T.S.



LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER
- PLAN PAGE
- DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED CONCRETE PAVING
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF PROPOSED HARDSCAPE BY OTHERS - SEE LANDSCAPE PLANS FOR DETAILS
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- PROPOSED CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN 3' WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL = 1.0' NAVD)
- STRUCTURE TYPE-NUMBER
- RIM ELEVATION
- INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- T.O.W. TOP OF WALL
- TBD TO BE DETERMINED
- PROPOSED WATER METER
- PROPOSED WATER METER WITH BACKFLOW PREVENTER
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- EXISTING GATE VALVE
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT

Joseph A Pike

RESERVED FOR CITY APPROVAL STAMP

REV.	DATE	REVISIONS
1	1/9/24	WATER SERVICE COMMENTS, ADD
2	1/9/24	CITY APPROVAL BLOCK
3	1/18/24	ADD DIMENSION BETWEEN DRIVEWAYS
4	9/26/24	MATCH SITE PLAN UPDATES

CIVIL SITE IMPROVEMENTS PLAN FOR:
DORFMAN RESIDENCE
 319 ANDREWS AVENUE
 DELRAY BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS
 EnviroDesign Associates, Inc.
 FLORIDA CERTIFICATE OF AUTHORIZATION No. 6306
 1855 Dr. Andrews Way, Delray Beach, Florida 33445
 Phone: (561) 274-8500 Fax: (561) 274-8558
 www.envirodesign.com

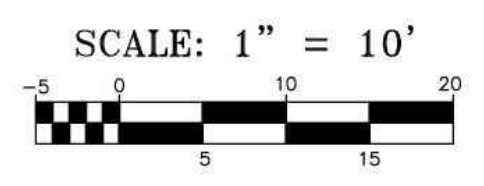
DRAWN: B.A.B.
 CHECKED: J.A.P.
 DATE: 09/26/24
 JOB NO. 23043-ENG
 SHEET NO. 1 OF 5

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

NOTE: RETAINING WALLS SHOWN HEREIN DEPICT LOCATION AND ELEVATION REQUIREMENTS ONLY. STRUCTURAL DESIGN PER MANUFACTURER SPECIFICATIONS OR TO BE PROVIDED BY OTHERS.



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 IT'S THE LAW
 1-800-432-4770
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.



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 1045 East Atlantic Ave. Suite 303
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ISSUED FOR
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 CONSTRUCTION

PROJECT TITLE
SINGLE FAMILY RESIDENCE

319 ANDREWS AVE DELRAY BEACH, FL

REVISIONS
 REVISION 08-28-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. 1 GRADES REVISED.
 REVISION 09-26-24 AS PER CITY OF DELRAY BEACH TAC COMMENTS. 1 GRADES REVISED.

FILE NUMBER
404A_EXHIBIT_I

DRAWING TITLE

EXHIBIT 'I' PROPOSED

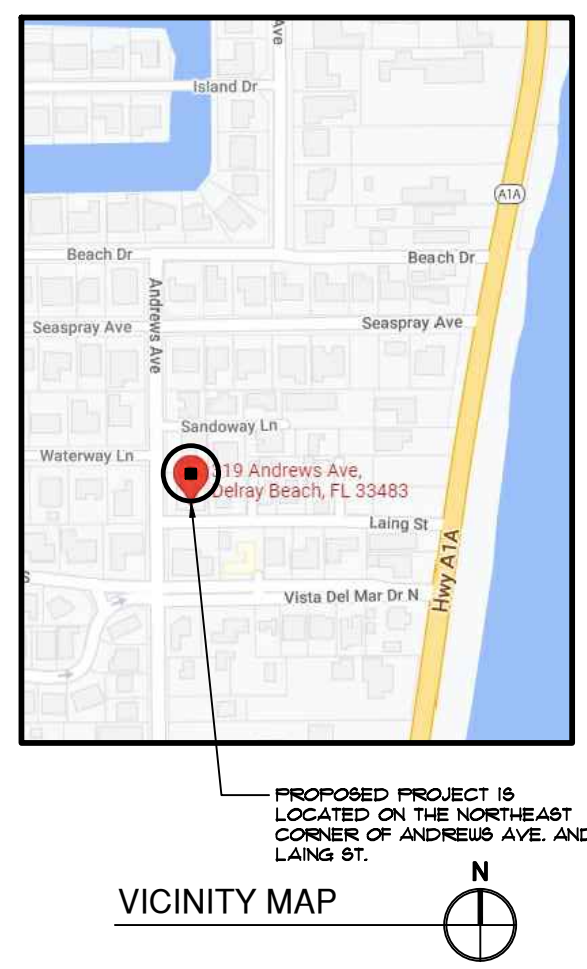
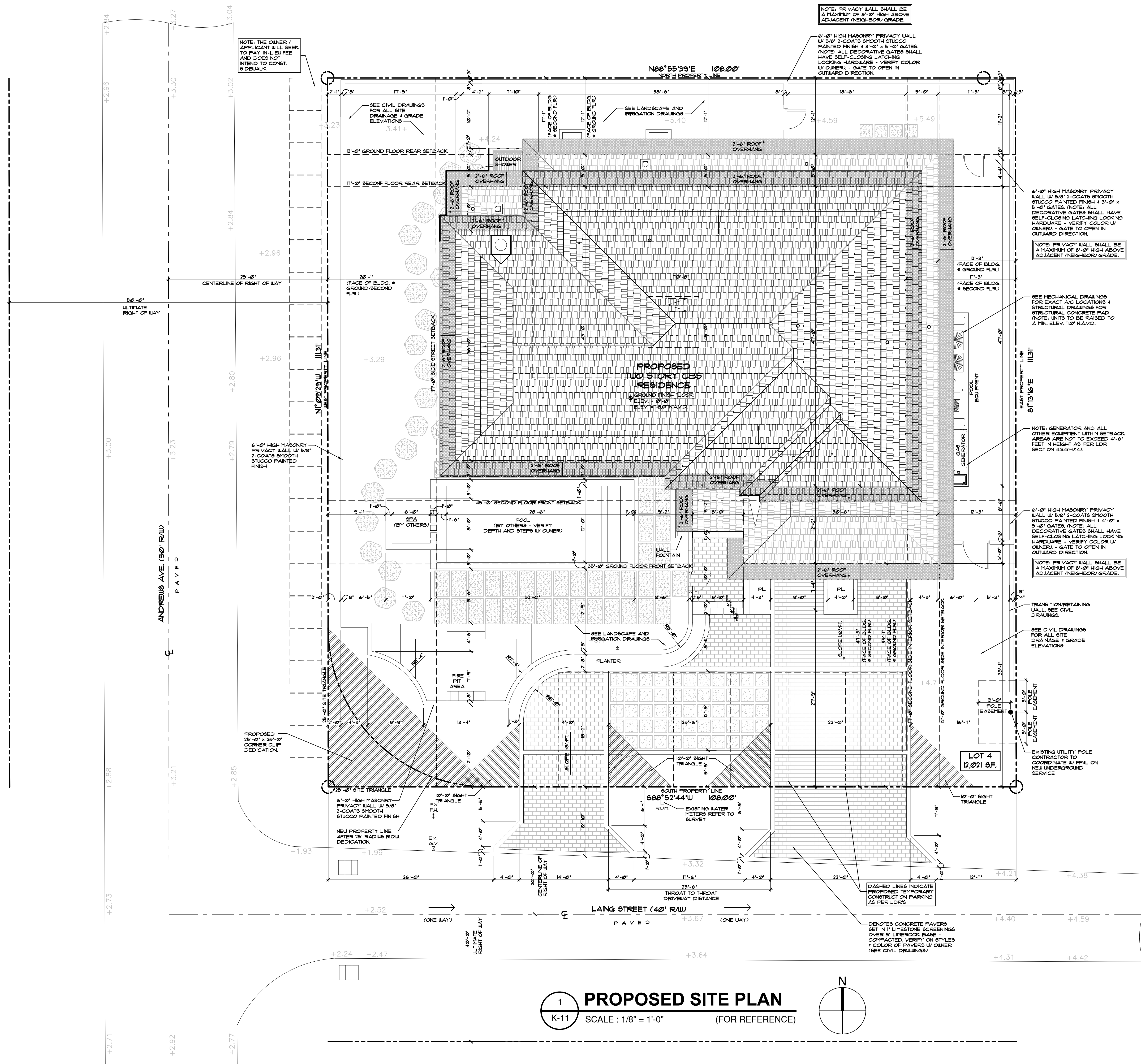
CIVIL

PLAN W/ GRADES

DATE
05.22.24 | DRAWN BY
GE/AC

JOB NUMBER
20220404

DRAWING NUMBER



DESCRIPTION:
 THE WEST 25 FEET OF LOT 4, LESS THE NORTH 39.18 FEET, EXTENDED PLAT NO. 3 OF BEACH LOTS 436-494 PART OF EAST HALF OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 43 EAST OF THE ORIGINAL PLAT OF LINTON (NOW CITY OF DELRAY BEACH) PROPERTY OF FRANK CREGO, SUBJECT TO ROAD RIGHT OF WAY OF THE WEST 17 FEET AND THE SOUTH 10 FEET THEREOF, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 93, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

- GENERAL NOTES:**
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THE WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
 - CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INHERITS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
 - ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
 - THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
 - ALL EQUIPMENT THAT SERVICE THE STRUCTURE MUST BE AT OR ABOVE 10' NAVD MIN.

LEGEND:

[Pattern]	CONCRETE POOL DECK AND PAVERS
[Pattern]	DRIVEWAY
[Pattern]	TWO STORY RESIDENCE (WOOD SHINGLE ROOF)

SET BACKS:

	REQUIRED (GROUND/SECOND)	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT (SOUTH)	35'-0" / 45'-0"	35'-1"	41'-3"
SIDE INTERIOR (EAST)	12'-0" / 11'-0"	12'-3"	11'-3"
SIDE STREET (WEST)	11'-0"	20'-1"	20'-1"
REAR (NORTH)	12'-0" / 11'-0"	12'-1"	11'-1"

ZONING R-1-AAA (BEACH OVERLAY DISTRICT)
 FLOOD ZONE: AE, BFE = 6FT NAVD

AREA CALCULATIONS

TWO STORY SINGLE FAMILY RESIDENCE	
GROUND FLOOR A/C AREA	2348 S/F
2-CAR GARAGE COVERED ENTRY	88 S/F
COVERED PORCH 1	156 S/F
TOTAL GROUND FLOOR AREA UNDER ROOF	4148 S/F
SECOND FLOOR A/C AREA	2170 S/F
COVERED PORCH 2	158 S/F
TOTAL SECOND FLOOR AREA UNDER ROOF	2328 S/F
TOTAL A/C AREA	4118 S/F
TOTAL FLOOR AREA UNDER ROOF	6476 S/F
TOTAL SITE AREA	12,021 S/F
AREA POST RIGHT OF WAY DEDICATION	11,881 S/F
TOTAL BLDG FOOTPRINT	4,148 S/F
TOTAL LOT COVERAGE *	4,148 / 12,021 = 34.5%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA (BUILDING FOOTPRINT, PAVERS, POOL ETC.)	6,612 S/F
TOTAL PERVIOUS AREA (LANDSCAPING)	5,469 S/F
TOTAL IMPERVIOUS AREA *	6,612 / 12,021 = 55%
TOTAL PERVIOUS AREA	5,469 / 12,021 = 45%
TOTAL PERVIOUS + IMPERVIOUS *	5,469 + 6,612 = 12,021 = 100%

(REQUIRED OPEN SPACE 45% - PROVIDED 45% OPEN SPACE)



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 CONSTRUCTION

PROJECT TITLE
SINGLE FAMILY RESIDENCE

319 ANDREWS AVE DELRAY BEACH, FL

REVISIONS
 REVISED 08-28-24 AS PER CITY OF DELRAY BEACH TAG COMMENTS.
 1. ADDED SITE PLAN SHEET.

FILE NUMBER
404A_EXHIBIT_K

DRAWING TITLE
EXHIBIT 'K' PROPOSED SITE PLAN FOR REFERENCE

DATE
05.22.24 | DRAWN BY
GE/AC

JOB NUMBER
20220404

DRAWING NUMBER
K-11

1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0" (FOR REFERENCE)

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- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
 - ALL AREA CALCULATIONS ARE APPROX.