



Planning, Zoning, and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 145 NE 6th Avenue, Turner House, Individually Designated
Project Location: 145 NE 6th Avenue
Request: Certificate of Appropriateness (COA) for the rehabilitation and partial Demolition of a detached garage.

Board: Historic Preservation Board
Meeting Date: July 6, 2016

Board Action: Certificate of Appropriateness on a 5 to 0 vote (Harden and Budano absent).

Project Description:

The subject property is located on the east side of NE 6th Avenue between NE 1st Street and NE 2nd Street. The property contains a single-family residence and is located within the Central Business District (CBD). The property is individually designated as The Turner House in the Local Register of Historic Places.

The subject request is for the rehabilitation and partial demolition of a detached garage. The rehabilitation consists of exterior and interior alternations, while the demolition is limited to a non-original shed addition along the alley. All new windows and doors will consist of Weathershield PGT aluminum clad wood in medium walnut.

Staff supported the request, and recommended minor revisions as conditions of approval.

Board comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

All required actions were taken.

Next Action:

HPB action is final unless appealed by the City Commission.

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: July 6, 2016

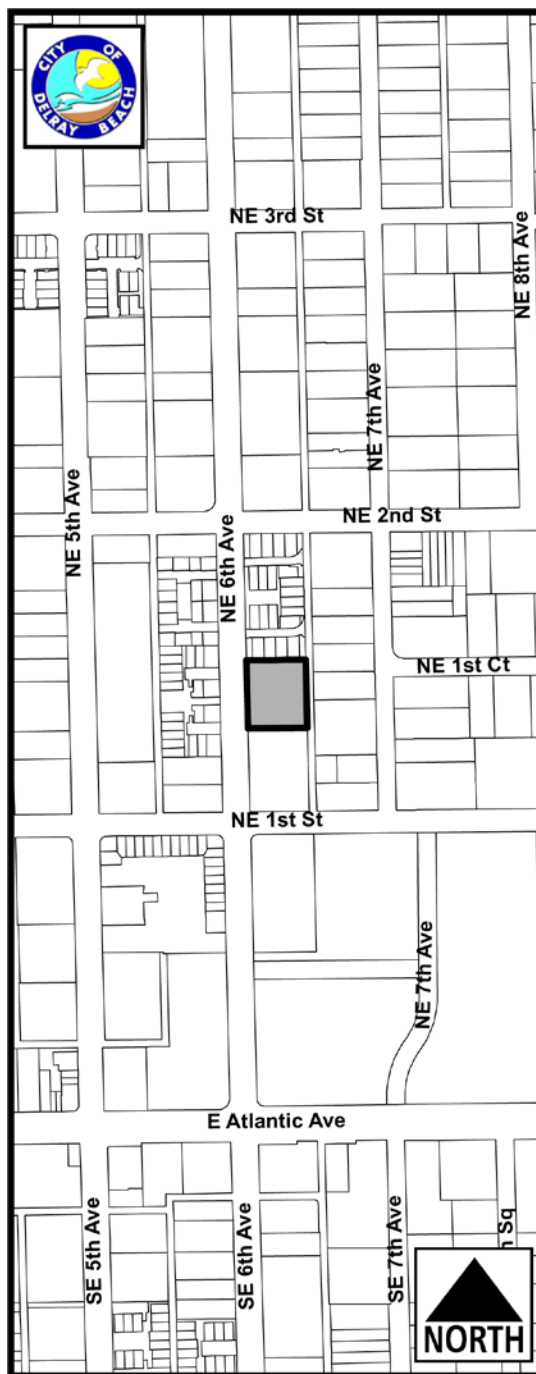
ITEM: 145 NE 6th Avenue, Turner House (2016-163) – Certificate of Appropriateness for the rehabilitation and partial demolition of a detached garage.

RECOMMENDATION: Approve with conditions.

GENERAL DATA:

Owner/Applicant..... Allison Turner
Agent..... Perez Design, LLC
Location..... East side of NE 6th Avenue,
between NE 1st Street and
NE 2nd Street

Property Size..... .44 acres
Current Zoning..... CBD (Central Business District)
Adjacent Zoning.....North: CBD
East: RM (Multiple Family
Residential, Medium Density)
South: CBD
West: CBD
Existing Land Use..... Single-family Residence
Proposed Land Use..... Single-family Residence



ITEM BEFORE THE BOARD

The item before the Board is a Certificate of Appropriateness (COA) for alterations and partial demolition of the detached garage located at **145 NE 6th Avenue, Turner House, Individually Designated**.

BACKGROUND

The subject property is located on the east side of NE 6th Avenue between NE 1st Street and NE 2nd Street within the Central Business District (CBD). In 1997, Charles W. Turner, (the current owner's father), had the historic property individually designated on the Delray Beach Local Register of Historic Places, as he was concerned with the escalating development in the area. In his letter dated August 24, 1997, Mr. Turner stated that he wanted *"to rehabilitate the property so that it remain a part of Delray's future."*

The Turner family has been associated with the home since they purchased it in 1932. The circa 1925 residence and garage were designed by Delray Beach's first registered architect Samuel Ogren. It is considered one of the finest intact examples of Mediterranean Revival architecture in the City. The style is characterized by one and two story structures with stucco finish, wood, stone and concrete decorative accents. The facades are usually asymmetrical in design with multi-level roofs. At the time of the designation, the house and property remained virtually unaltered.

As described in the (adopted) designation report, the garage, which measures approximately 566 square feet, is located at the northeast corner of the property. The garage originally contained space for two cars, a half bath, laundry tubs and storage. In 1951, the front elevation was modified by removing one of the original wood bi-fold pair of garage doors. In their place a single door and window were added. This created a single car garage and small apartment space. A small exterior shed addition (made out of concrete block) was also added to the back of the garage which created a covered porch over the back door. The original plans for the garage are attached.

In 1998 Charles Turner made extensive improvements to the residence. The foundations on the south and east elevations were failing and needed total reconstruction. The failing foundation had caused many of the wood windows and frames of the residence to crack and deteriorate. The replacement windows are historically correct reproductions of the originals. A new electrical system was installed as well as a new clay tile roof.

The current condition of the garage interior and exterior requires conscientious repairs and appears to have been neglected for some time; however the roof, foundations, and walls appear intact. The garage still retains many original features such as laundry and bathroom sinks and its Dade County Pine ceilings. Several of the original wood windows remain but require repair as well as the doors. On the north elevation of the garage, a small area of the stucco finish has pulled away from the structural members on the interior, and the rusted nails have pulled loose from the metal lathe. It also appears the structure requires termite abatement. Additionally, the later shed addition that was added to the back of the garage is in dilapidated condition.

At its meeting of August 5, 2015, the Board considered a COA (2015-198) for the demolition of the garage, as well as a waiver to allow the demolition to occur prior to the issuance of a permit for a new accessory structure. The demolition and waiver requests were both denied.

PROJECT DESCRIPTION

The subject request is for the rehabilitation of the garage including alterations to the exterior, as well as demolition of the shed addition at the rear of the structure. The exterior alterations consist of the following:

- Front Elevation (West):
 - Removal of garage door, entry door, window, and awning frame.
 - Installation of two 4'x4'-8" single hung, aluminum, impact-resistant windows and one 4'x2' fixed aluminum, impact-resistant window within the original garage door openings, above a new, 12' knee-wall.
 - Installation of two light fixtures above windows.
- Side Elevation (South):
 - Removal of two, individual single hung windows and a pair of mulled single-hung windows.
 - Installation of two single-hung, impact resistant windows within portions of existing openings, with the balance of the openings to be filled in to match wall stucco texture.
 - Installation of new, fiberglass, impact-resistant white door within double window opening.
 - Addition of a barrel-tile shed roof overhang above entry door supported by wood brackets, painted white.
- Rear Elevation (East):
 - Demolition of shed addition consisting of approximately 34 square feet.
 - Installation of a new, single hung, aluminum, impact-resistant window within the existing window opening.
 - Installation of a new, single-hung, aluminum, impact-resistant window centrally located within the elevation, at the same plate and sill heights as the other window.
- Side Elevation (North):
 - Removal of existing window (presently boarded up).
 - Installation of new single-hung, impact rated, aluminum window within existing opening.
- Miscellaneous:
 - All windows will be white and single-light (no muntins).
 - 3' of driveway will be removed in front of the structure, and replaced with landscaping.
 - Floor plans identify the interior spaces as Study, Breakroom including a kitchen, and Bathroom.

The COA is now before the Board for consideration.

ARCHITECTURAL ELEVATIONS

SECTION 4.5.1, HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to **LDR Section 2.4.6(H)(5), Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings**, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to **LDR Section 4.5.1(E), Historic Preservation Sites and Districts, Development Standards**, all development regardless of use within individually designated historic properties and/or properties located within historic districts, whether contributing or noncontributing, residential or nonresidential, shall comply with the goals, objectives, and policies of the Comprehensive Plan, these regulations, and the Secretary of the Interior's Standards for Rehabilitation.

The subject application has been reviewed in accordance with the subject LDR, as noted above.

Pursuant to **LDR Section 4.5.1(E)(5), Standards and Guidelines**, a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

The applicable Standards are as follows:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. (Standard 1)

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. (Standard 2)

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. (Standard 5)

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence. (Standard 6)

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. (Standard 9)

The historic garage was converted from utilization as vehicular parking many years ago, which included a modification to the front elevation prior to the designation. However, the historic characteristics of the building as a garage should be maintained, as these are distinctive. The proposed windows within the original garage door openings strive to provide such sensitivity, but additional detailing should be provided such as identical wood trim around and between the openings. This type of detailing should also be provided around the new windows to ensure the historic character of the windows is retained, as this is frequently lost when windows and their frames are replaced with modern prototypes. The applicant will also need to ensure that the new windows are not mirrored or tinted. In addition to the aforementioned revisions, the tiles on the new shed roof should be a true barrel tile, as opposed to an "S" tile. While this element is new, the tiles themselves should be accurately appropriate. These revisions are suggested as conditions of approval.

Pursuant to **LDR Section 4.5.1(E)(8)(a-m), Visual Compatibility Standards**, new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m).

The applicable Standards are noted below:

(c) Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.

(g), Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.

(l) Architectural Style: All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

In consideration of the applicable Visual Compatibility Standards noted above, the proposed rehabilitation and removal of the rear shed addition is generally appropriate to the structure. The proportions of openings are appropriate and compatible and strive to maintain the existing openings, or provide the appropriate proportions. The materials are also appropriate, and the style will be maintained. There are suggested revisions, however, as noted above, which will assist in fully complying with the subject Standards to ensure that historic detailing is maintained, and compatible for the style. Therefore, positive findings can be made subject to the recommended conditions of approval.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Certificate of Appropriateness (2016-163) for the rehabilitation of the detached garage at **145 NE 6th Avenue, Turner House, Individually Designated**, by adopting the findings of fact and law contained in the staff report, based upon positive findings to LDR Section 2.4.6(E) and 4.5.1(E).
- C. Move denial of the Certificate of Appropriateness (2016-163) for the rehabilitation of the detached garage at 145 NE 6th Avenue, Turner House, Individually Designated, by adopting the findings of fact and law contained in the staff report, based upon a failure to make positive findings to LDR Section 2.4.6(E) and 4.5.1(E).

RECOMMENDATION

Approve the Certificate of Appropriateness (2016-163) for the rehabilitation of the detached garage at 145 NE 6th Avenue, Turner House, Individually Designated, by adopting the findings of fact and law contained in the staff report, based upon positive findings to LDR Section 2.4.6(E) and 4.5.1(E), subject to the following conditions:

1. That the roof tiles be a true barrel tile, not an "S" type tile;
2. That the windows not be tinted or mirrored;
3. That 6" wide wood trim be added around and in-between the front elevation windows; and,
4. That wood trim, including a sill, be added to the windows, similar in dimension as the existing single window on the south elevation.

Report Prepared by: Amy Alvarez, AICP, Senior Planner

ABBREVIATIONS		SYMBOLS		CODE INFORMATION		BUILDING CODE DATA		
ABV. A.F.F. A.H.U. B.F. B.P. B.R. BLW. C.I.P. C.G. C.M.U. COL. CONC. CSMT. DBL. DIA. DISP. D.P. DR. D.W. E.E. ELEC. ELEV. EXT. F.R. FIN. FL. G.T. GA. GALV. GFI QL HGT HPS HS. INS. INT. LG. LONG	ABOVE ABOVE FINISH FLOOR HANDLER UNIT BI FOLD BI PASS BLOCK BELOW CAST IN PLACE CEILING CONCRETE MASONRY UNIT COLUMN CONCRETE CASEMENT DOUBLE DIAMETER DISPOSAL DESIGN PRESSURE DOOR DISH WASHER EACH END ELECTRICAL ELEVATION EXTERIOR FIRE RATED FINISHED FLOOR GIRDER TRUSS GAUGE GALVANIZED GROUND FAULT INTERRUPT GLASS HEIGHT HOOPS HOUR HORIZONTAL SLIDING INSULATION INTERIOR LONG	LINEN LT. M.C. M.R.H. M.T. MAX. MFR. MICRO. MIN. MONO. MTL. O.H.D. O.C. P.L.F. P.S.F. P.S.I. P.T. PARTN PKT. P.W.D. P.W.D. S.C. S.G.D. S.F. S.H. S.S. ST. SW. T.O. T.O.B.B. T.O.P.L. T.O.T.B. TYP. UNO. UL. W. W.C. WOOD	LINEN LIGHT MEDICINE CABINET MEAN ROOF HEIGHT METAL THRESHOLD MAXIMUM MANUFACTURER MICROWAVE MINIMUM MONOLITHIC METAL OVER HEAD DOOR ON CENTER POUNDS PER LINEAR FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION POCKET PLYWOOD PLYWOOD SOLID CORE SLIDING GLASS DOOR SQUARE FOOT SINGLE HUNG STAINLESS STEEL STIRRUPS SWITCH THROUGH OUT TOP OF MASONRY BOND BEAM TOP OF WOOD PLATE TOP OF THE BEAM TYPICAL UNLESS NOTED OTHERWISE UNDERWRITERS LABORATORIES WEDGE ANCHORS WITH WATER CLOSET WOOD	<div>DETAIL REFERENCE</div> <div><div>1</div><div>A101</div><div>SIM</div></div>	<div>DOOR REFERENCE</div> <div>101</div>	FLORIDA BUILDING CODE 5th EDITION (2014) RESIDENTIAL	- USE AND OCCUPANCY CLASSIFICATION:	GROUP R-3 RESIDENTIAL
				<div>ELEVATION REFERENCE</div> <div><div>1</div><div>A101</div><div>SIM</div></div>	<div>WINDOW REFERENCE</div> <div>11</div>	NATIONAL ELECTRIC CODE, (NEC®), 2011 Edition	- TYPE OF CONSTRUCTION:	TYPE V-B ALLOWED
				<div>SECTION REFERENCE</div> <div><div>1</div><div>A101</div><div>SIM</div></div>	<div>CEILING REFERENCE</div> <div>CI</div> <div>±0'-0"</div>	2010 FLORIDA FIRE PREVENTION CODE, NFPA 101®: Life Safety Code®, 2009 Edition	-TABLE 601-FIRE RESISTANCE REQUIREMENTS FOR BLDG. ELEMENTS:	0 HOURS FOR ALL BUILDING
				<div>MATERIAL / FINISH REFERENCE</div> <div>MFI</div>	<div>WALL REFERENCE</div> <div>11</div>	AND ALL OTHER RULES, REGULATIONS, AND CODES HAVING JURISDICTION	-TABLE 602-FIRE RESISTANCE FOR EXTERIOR WALLS:	20< X>30' = 0 HOURS
				<div>ROOM REFERENCE</div> <div>101</div> <div>150 SF</div>	<div>EQUIPMENT REFERENCE</div> <div>E</div>	SOIL ENGINEERING NOTE		
				<div>PLUMBING REFERENCE</div> <div>PI</div>				
				<div>MATERIAL / FINISH REFERENCE</div> <div>MFI</div>	<div>MECHANICAL REFERENCE</div> <div>MI</div>	THESE DRAWINGS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE BEARING CAPACITY OF THE SOIL IS 2,500 PSF OR GREATER.		
				<div>ROOM REFERENCE</div> <div>101</div> <div>150 SF</div>	<div>ROOF REFERENCE</div> <div>RI</div>	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SOIL TESTS RESULTS AND A GEOTECHNICAL EXPLORATION REPORT TO THE ARCHITECT AND THE CLIENT.		
				<div>ROOM REFERENCE</div> <div>101</div> <div>150 SF</div>	<div>REVISION REFERENCE</div> <div>2</div>	THE GENERAL CONTRACTOR SHALL STRICTLY FOLLOW ALL RECOMMENDATIONS, INSTRUCTIONS AND SPECIFICATIONS INCLUDED IN THE GEOTECHNICAL REPORT.		



PROJECT TEAM		SHEET INDEX				
ARCHITECT		Sheet Number	Sheet Name	Sheet Issue Date	Revision #	Rev. Date
Perez Design LLC. 111 Southeast Second Street, Suite 102 Delray Beach, FL 33444 Tel: 561.279.2006		01-General A000 A001 2 02-Survey 1 of 1	Title Sheet Residential General Specs. Notes -Residential-	11-19-2015 11-19-2015		
STRUCTURAL ENGINEER		1 05-Architectural A100 A110 A200 A210 A310 A400	Existing Site Plan - Demolition Existing Floor Plan & Elevations- Demolition Proposed Site Plan Proposed Floor Plan & Elevations Enlarged Area & Building Sections Architectural Details	11-19-2015 11-19-2015 11-19-2015 11-19-2015 11-19-2015 11-19-2015		
ELECTRICAL & PLUMBING ENGINEER		6				
TBD						
MECHANICAL DESIGNER						
TBD						
CIVIL ENGINEER						
N/A						
LANDSCAPE ARCHITECT						
TBD						
SURVEYOR						
O'Brien, Sulter & O'Brien Inc. 955 NW 17th Avenue, Suite K-1 Delray Beach, FL 33445 Tel:561.276.4501						
CONSULTANT VARIOUS						
N/A						

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Revision Schedule

No.	Description	Date

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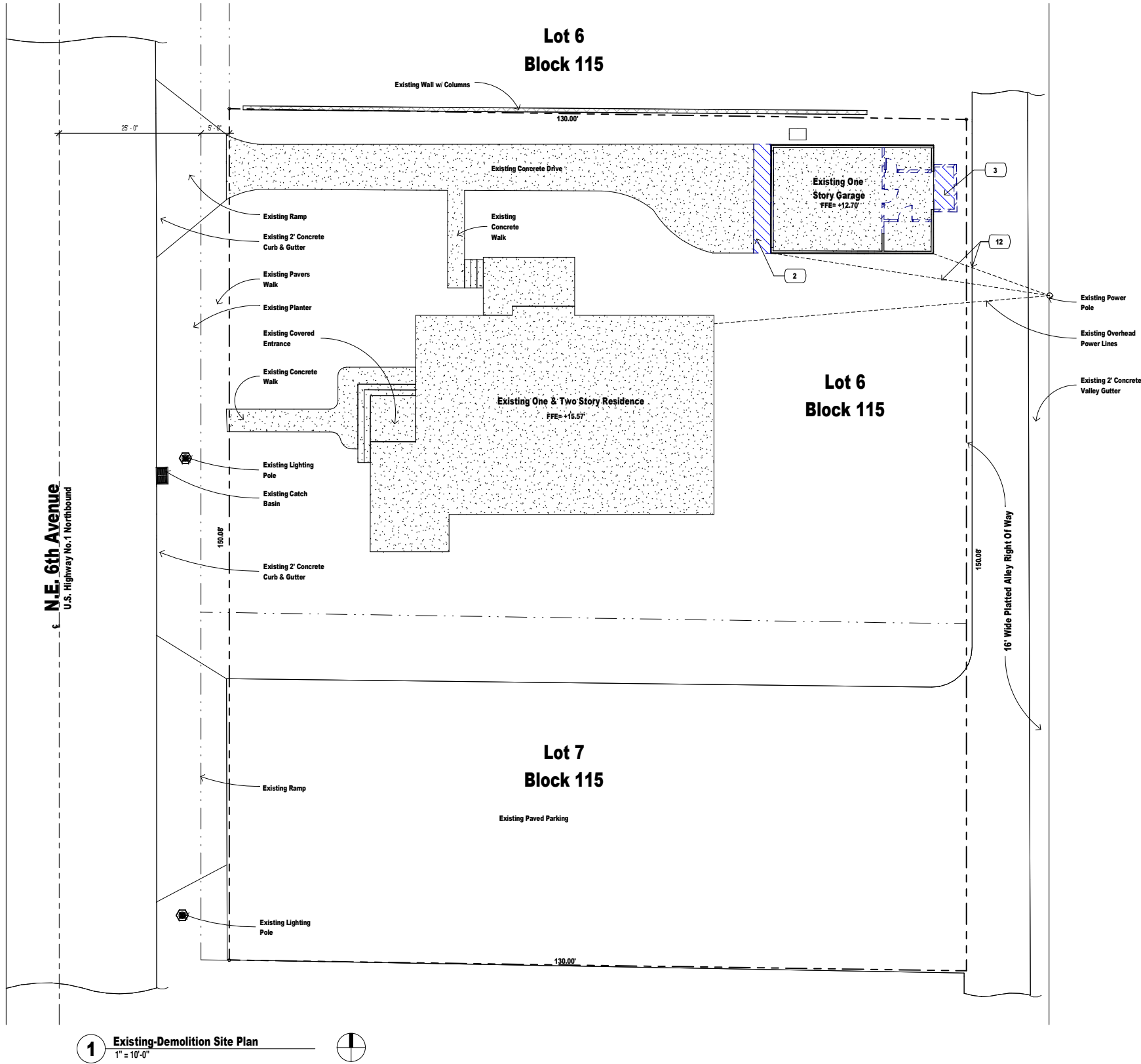
145 Northeast Six Avenue
Delray Beach, FL 33444

Tittle Sheet Residential

Client Name	Alison Turner
Project number	15-612
Project Status	Project Status
Sheet Issued Date	11-19-2015

A000

Scale



1 Existing-Demolition Site Plan
1" = 10'-0"

DEMOLITION PLAN NOTES:

NOTE 1: REFER TO PAGE A001 - 1. GENERAL NOTES, FOR MEANS AND METHODS OF DEMOLITION NOTES.
NOTE 2: REMOVE PORTION OF EXISTING CONCRETE DRIVEWAY AS INDICATED.
NOTE 3: REMOVE EXTERIOR WALLS, ROOF AND CONCRETE SLAB IN AREA INDICATED IN PLAN.
NOTE 4: REMOVE ALL EXISTING DOORS.
NOTE 5: REMOVE ALL EXISTING WINDOWS TO BE REPLACED AS PER WINDOW SCHEDULE.
NOTE 6: REMOVE INTERIOR WALL PARTITIONS AS INDICATED.
NOTE 7: REMOVE ALL EXISTING FLOOR FINISHES, CLEAN SURFACE FROM ALL DEBRIS.
NOTE 8: EXISTING SLAB TO BE LEVELED WITH CONCRETE TOPPING.
NOTE 9: REMOVE ALL EXISTING PLUMBING FIXTURES.
NOTE 10: CAP ALL UNUSED PLUMBING AS REQUIRED BY CODE.
NOTE 11: PARTIALLY REMOVE PORTION OF WALL AS INDICATED AS TO ALLOW NEW DOOR INSTALLATION.
NOTE 12: ALL SERVICE UTILITIES INCLUDING GAS, TELEPHONE, ELECTRIC POWER AND CABLE T.V. SHALL BE UNDERGROUND. CONTRACTOR TO COORDINATE EXACT LOCATION OF UTILITY SERVICES WITH UTILITY COMPANIES AND PROVIDE UNDERGROUND SERVICE FROM NEAREST SOURCE IN A P.V.C. CONDUIT, SIZED AS REQUIRED. CONTRACTOR TO BE RESPONSIBLE FOR ANY ADDITIONAL COST FOR SERVICE ENTRANCE RELOCATION AS SHOWN ON WORKING DRAWINGS.



111 SE Second Street
Suite 102
Delray Beach, FL 33444
ph: 561-279-2008
http://www.perezarchitects.com

AA002886



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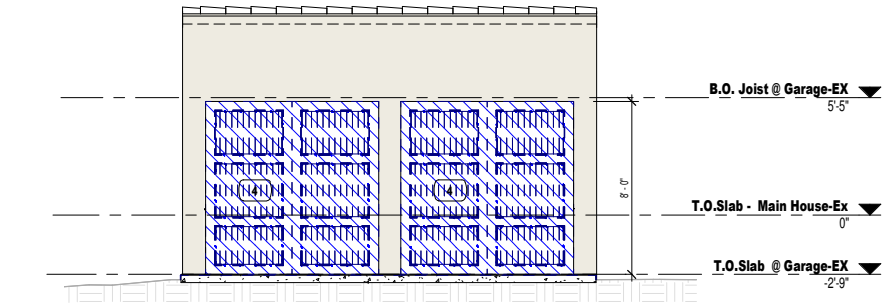
145 Northeast Six Avenue
Delray Beach, FL 33444

Existing Site Plan -
Demolition

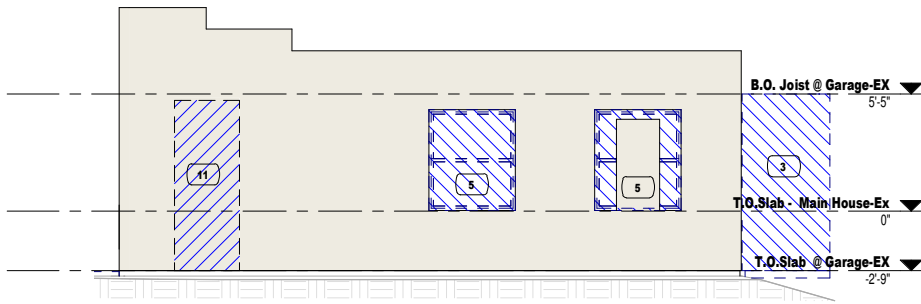
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Project number	15-512
Project Status	Project Status
Sheet Issued Date	11-19-2015

A100

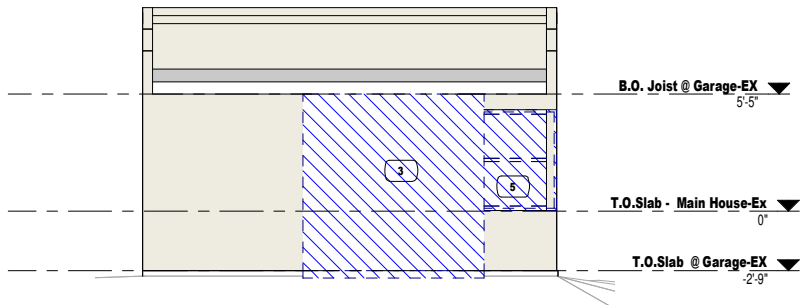
Scale 1" = 10'-0"



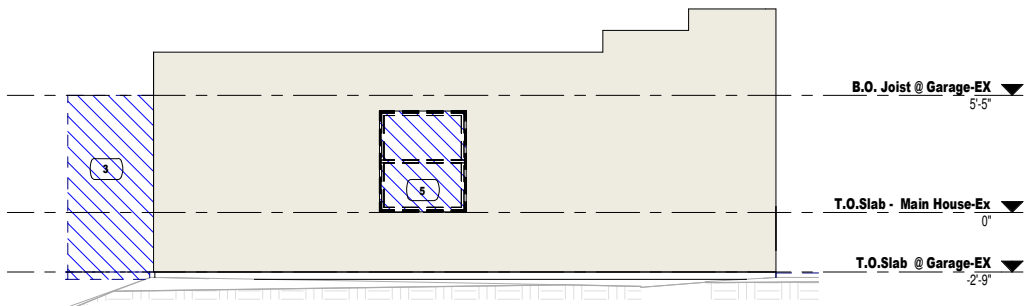
2 West Elevation Existing
1/4" = 1'-0"



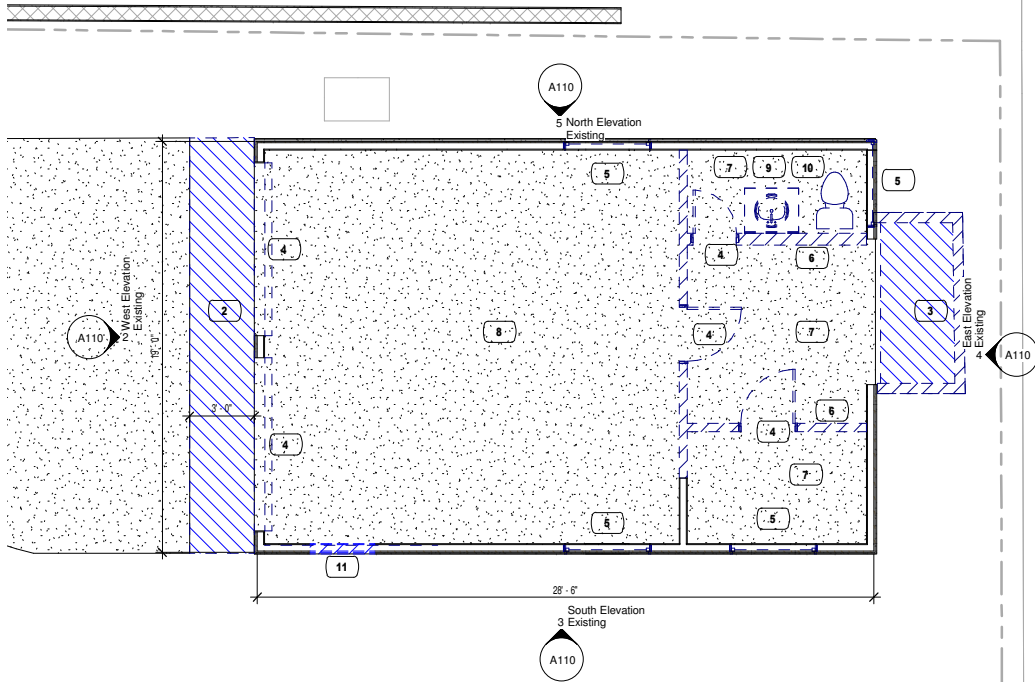
3 South Elevation Existing
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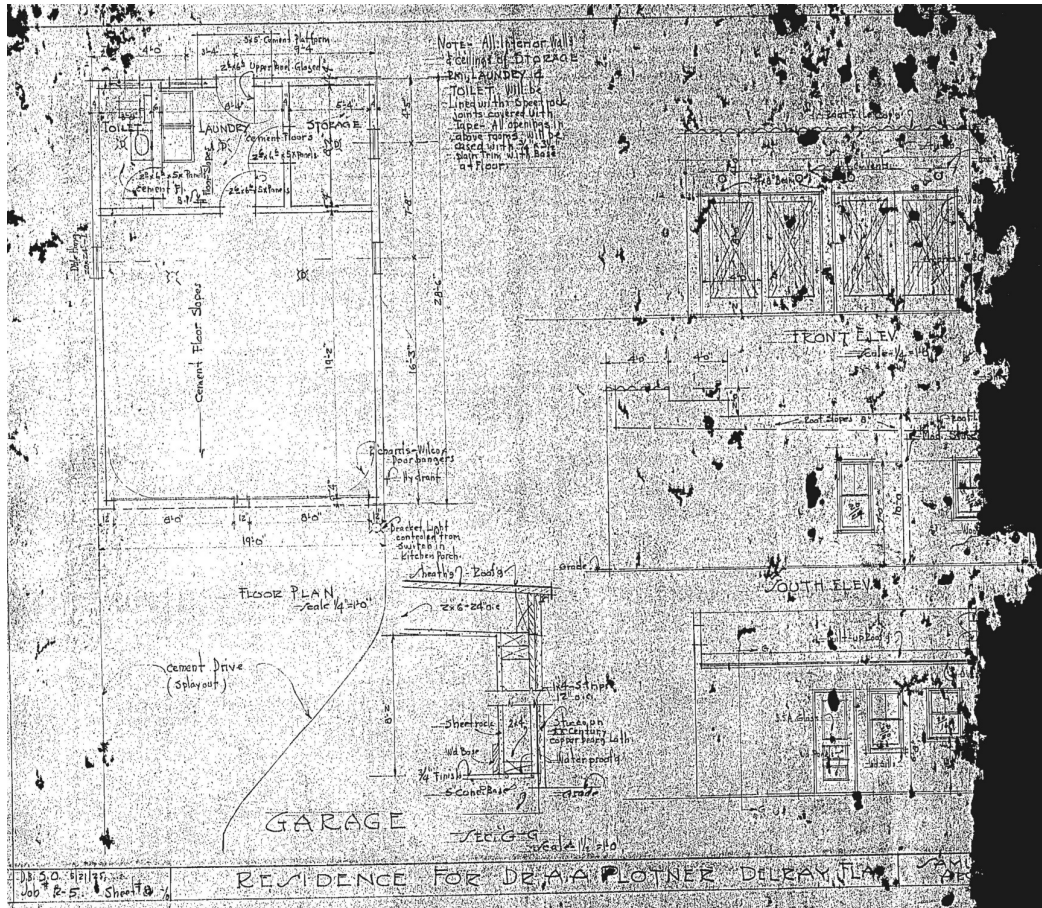
4 East Elevation Existing
1/4" = 1'-0"



5 North Elevation Existing
1/4" = 1'-0"



1 Existing First Floor Plan
1/4" = 1'-0"



DEMOLITION PLAN NOTES:

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NOTE 2: REMOVE PORTION OF EXISTING CONCRETE DRIVEWAY AS INDICATED.
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Demolition Legend	
Demolition Symbols	
	TO BE REMOVED AS INDICATED PORTION OF: SLAB WALL CEILING FLOOR FINISH ROOF
	TO BE REMOVED: DOOR WINDOW PLUMBING FIXTURE LIGHTING FIXTURE CASEWORK

P
Perez Design LLC
architecture | planning | design

111 SE Second Street
Suite 102
Delray Beach, FL 33444
ph: 561-279-2008
http://www.perezarchitects.com

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Turner Studio

145 Northeast Six Avenue
Delray Beach, FL 33444

**Existing Floor Plan
& Elevations-
Demolition**

Client Name	Alison Turner
Project number	15-612
Project Status	Project Status
Sheet Issued Date	11-19-2015

A110

Scale 1/4" = 1'-0"

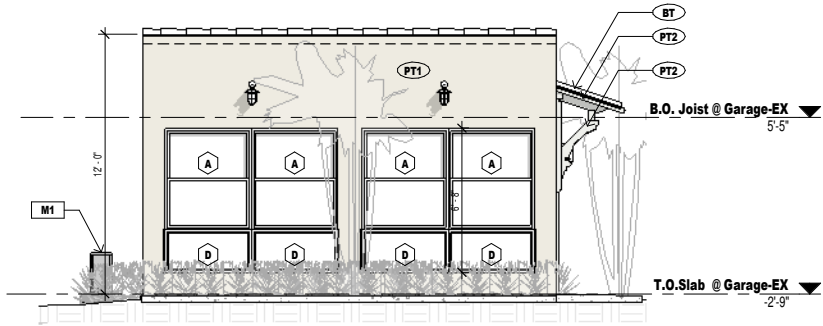


Scale	As indicated
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Exterior Finish and Color Legend				
Mark	Color		Material	Comments
PT-1	Sherwin-Williams SW 7006 - Alabaster		Rough Stucco	Main Exterior Walls
PT-2	Sherwin-Williams SW 7006 - Extra White		Wood	Exterior Wood Fascia Wood Brackets Exterior Door
BT	Terracota Red		Clay Barrel Tile as to match existing	Roof canopy
NOTE: ALL NEW WINDOWS AND STOREFRONT SYSTEM SHALL BE ESP WHITE FINISH.				

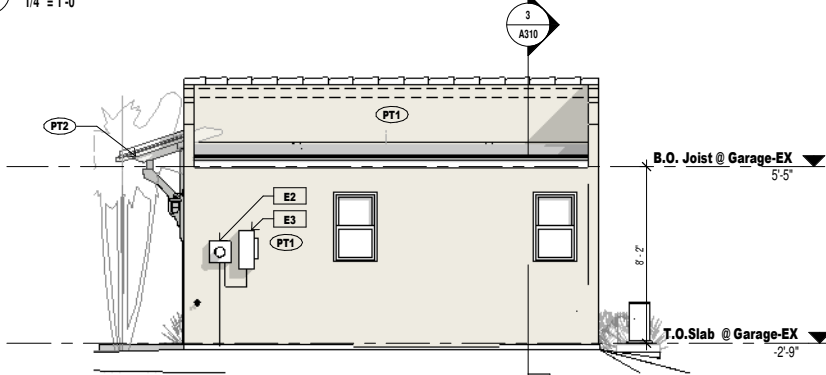
Interior Material Finishes Legend			
Mark	Description	Finish	Specifications
PT-3	Sherwin-Williams Pure White SW7005	Semi-Gloss Finish	Gypsum Board - Walls, Ceilings Primer: ProMar 200 Zero VOC Latex Primer 1st coat: ProMar 200 Zero VOC Interior Latex Semi-Gloss, 801-2600 Series 2nd coat: ProMar 200 Zero VOC Interior Latex Semi-Gloss, 801-2600 Series
FF-1	Dreys Carpet Tile - Prism Collection (SKU: 1010746)	Twilight Gold	• Tile Size: 19.25"x19.25" • Stain resistant • Warranty: 15 Years
FF-2	Armstrong Commercial VCT Flooring Standard Exciton Imperial Texture	51686 Little Green Apple	Tile size: 12 in x 12 in x 1/8 in Light Reflectivity: 50-54% Adhesive: Existing Resilient: S-515, S-525 - Full spread
NOTE: ALL FINAL FINISHES, COLORS AND MATERIALS SHALL BE APPROVED CLIENT			



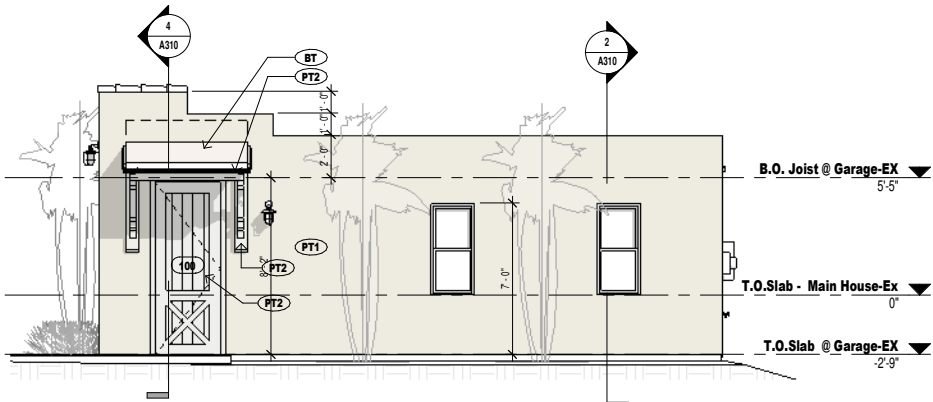
4 West Elevation
1/4" = 1'-0"



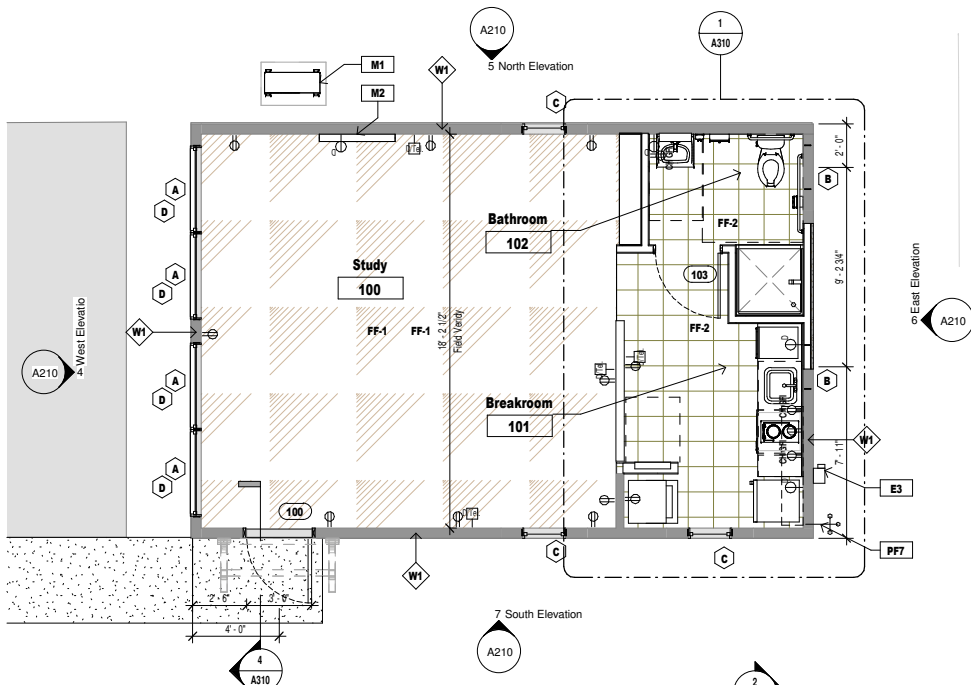
5 North Elevation
1/4" = 1'-0"



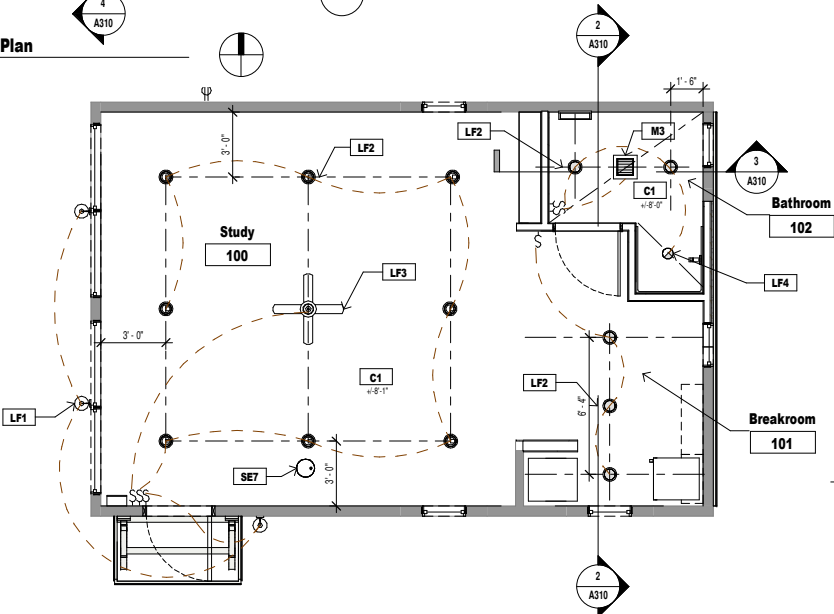
6 East Elevation
1/4" = 1'-0"



7 South Elevation
1/4" = 1'-0"



1 Proposed Floor Plan
1/4" = 1'-0"



2 Proposed Relected Ceiling Plan
1/4" = 1'-0"

Wall Type Schedule						
Type Mark	Type	Width	Description	Wall Insulation		Wall Type Comments
				Wall Thermal Insulation (R)	Moisture Barrier	
Exterior						
W1	Framing Partition System	5 5/8"	7-5/8" CMU with 5/8" Stucco on exterior side and 1/2" Min. Thickness GWP on the interior side	Radiant Heat Barrier - R value as per Sheet A210 Thermal Notes	Waterproofing Membrane Barrier - Vapor Retarder	See Sheet A001 - General Notes - 9- Finishes - Note 13
Interior						
P1	Framing Partition System	4 1/2"	One layer 1/2" min. thickness GWB applied vertically and perpendicular attached to both sides of 2x4" wood studs at 16" O.C.			See Sheet A001 - General Notes - 9- Finishes - Note 13
P2	Framing Partition System	6 1/2"	One layer 1/2" min. thickness GWB applied vertically and perpendicular attached to both sides of 2x4" wood studs at 16" O.C.			See Sheet A001 - General Notes - 9- Finishes - Note 13

Door Schedule											
Door Number	Door Style		Manufacturer	Dimensions		Door Leaf			Door Frame		Comments
	Description	Operation		Width	Height	Material	Finish	Style	Material	Finish	
Exterior											
100	Entry Door	Sgl. Swing	Jeld-Wen	3'-0"	8'-0"	Fiberglass	primed ready to paint	All Paneled	Fiberglass	ready to paint	Impact Resistance - ENERGY STAR® Qualified

Window Schedule									
Type Mark	Count	Operation	Dimensions		Manufacturer	Model	Material	Finish	Comments
			Width	Height					
A	4	Single Hung	4'-0"	4'-8"	PGT Industries	SH700 Series	Aluminum	ESP	WindGuard Impact Resistance
B	2	Single Hung	2'-0"	3'-2 3/8"	PGT Industries	SH700 Series	Aluminum	ESP	WindGuard Impact Resistance
C	3	Single Hung	2'-0"	4'-2 5/8"	PGT Industries	SH700 Series	Aluminum	ESP	WindGuard Impact Resistance
D	4	Fixed	4'-0"	2'-0"	PGT Industries	PW701 Series	Aluminum	ESP	WindGuard Impact Resistance

GENERAL NOTES:

- NOTE 1: REFER TO SHEET A001 FOR SHOP DRAWINGS SUBMITTAL REQUIREMENTS.
NOTE 2: REFER TO ENLARGED FLOOR PLAN FOR NOTES AND DIMENSIONS IN CALLED-OUT AREAS AS INDICATED IN PLAN.
NOTE 3: ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF BLOCK AND/OR STUDS.
VERIFY ALL MASONRY AND WOOD FRAME OPENING SIZES TO FIT DOORS AND WINDOWS BEFORE CONSTRUCTION. NOTIFY ARCHITECT IF CONFLICT EXISTS.
NOTE 4: ALL EQUIPMENT, PLUMBING FIXTURE, FLOOR FINISHES, ROOF ASSEMBLY, WALL TYPES, ETC., ARE TAGGED ON PLANS REFER TO SCHEDULES FOR TYPE DESCRIPTION, QUANTITIES AND COMMENTS.
NOTE 5: JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUB-CONTRACTORS PRIOR TO FABRICATION. ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF BLOCK AND/OR STUDS.

THERMAL NOTES:

- NOTE 1: BUILDING THERMAL ENVELOPE SHALL COMPLY WITH **COMMERCIAL PROVISIONS**, CHAPTER 4, SECTION C402 BUILDING ENVELOPE REQUIREMENTS, OF **Florida Building Code 5th Edition (2014), Energy Conservation**.
NOTE 2: BUILDING THERMAL CRITERIA REQUIREMENTS BY COMPONENT SHALL BE AS FOLLOWS:

ROOFS	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS
WALLS ABOVE GRADE	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS
WALLS BELOW GRADE	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS
FLOORS	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS
SLABS ON GRADE FLOORS	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS
OPAQUE DOORS	Min. R-value AS PER TABLE C402.2 OPAQUE THERMAL ENVELOPE REQUIREMENTS

- NOTE 3: BUILDING U FACTOR CRITERIA SHALL COMPLY WITH CHAPTER 4, SECTION C402.1.2 OF **Florida Building Code 5th Edition (2014), Energy Conservation**.

ROOFS	MIN. U FACTOR AS PER TABLE C402.1.2 OPAQUE THERMAL ENVELOPE ASSEMBLY REQUIREMENTS
WALLS ABOVE GRADE	MIN. U FACTOR AS PER TABLE C402.1.2 OPAQUE THERMAL ENVELOPE ASSEMBLY REQUIREMENTS
WALLS BELOW GRADE	MIN. U FACTOR AS PER TABLE C402.1.2 OPAQUE THERMAL ENVELOPE ASSEMBLY REQUIREMENTS
FLOORS	MIN. U FACTOR AS PER TABLE C402.1.2 OPAQUE THERMAL ENVELOPE ASSEMBLY REQUIREMENTS
SLABS ON GRADE	MIN. U FACTOR AS PER TABLE C402.1.2 OPAQUE THERMAL ENVELOPE ASSEMBLY REQUIREMENTS

- NOTE 4: FENESTRATION U FACTOR CRITERIA SHALL COMPLY WITH **COMMERCIAL PROVISIONS** CHAPTER 4, SECTION C402.3, FENESTRATION (Prescriptive) OF **Florida Building Code 5th Edition (2014), Energy Conservation**.

VERTICAL FENESTRATION	MIN. U FACTOR AS PER TABLE C402.3 MINIMUM ENVELOPE REQUIREMENT: FENESTRATION
SKYLIGHT U-FACTOR	MIN. U FACTOR AS PER TABLE C402.3 MINIMUM ENVELOPE REQUIREMENT: FENESTRATION

U-FACTORS AND SHGC VALUES SHOWN ABOVE ARE BASE ON THE PRESCRIPTIVE METHOD AS INDICATED ON THE **Florida Building Code 5th Edition (2014) Energy Conservation**. **COMMERCIAL PROVISIONS** AND MAY BE SUPERSEDED BY THE PERFORMANCE METHOD REQUIREMENT OF SHGC VALUE EQUAL OR LESS THAN 0.5 AS APPROVED BY THE BUILDING DEPARTMENT. IN SUCH CASE THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE VALUES ADOPTED, AND THAT IN ORDER TO PASS THE PERFORMANCE PATH ANY ENERGY COMPROMISE IN THE FENESTRATION OR ANY OTHER BUILDING ELEMENT SHALL BE MADE UP ELSEWHERE, I.E. LIGHTING, INSULATION, HVAC SYSTEM, ETC.

FINISHES NOTES:

- NOTE 1: USE WATER RESISTANT GYPSUM BOARD IN BATHROOMS AND ALL OTHER WET AREAS.
NOTE 2: USE DUROCK CERAMIC TILE BACKER BOARD IN SHOWER ENCLOSURE WALLS. WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. - A MOISTURE BARRIER (SUCH AS 15 POUND ROOFING FELT) SHOULD BE INSTALLED OVER WALL STUDS BEFORE INSTALLING THE CERAMIC TILE BACKER BOARD TO THE WALL.

ARCHITECTURAL WOODWORK NOTES:

- NOTE 1: CONTRACTOR TO PROVIDE SOLID WOOD BACKING FOR ALL WALL-MOUNTED CABINETRY
NOTE 2: VERIFY EXACT LOCATIONS WITH CABINET ELEVATIONS AND SHOP DRAWINGS PRIOR TO INSTALLATION OF SOLID WOOD BACKING.

Shades			Phasing Legend		
			EXISTING ELEMENTS:	SLAB	WALL WINDOW
			PLUMBING FIXTURE	CASING	FLOOR FINISH
			DOOR	EQUIPMENT	CASING
				ROOF	
			PROPOSED NEW ELEMENTS:	SLAB	WALL WINDOW
			EQUIPMENT	CASING	FLOOR FINISH
				PLUMBING FIXTURE	CASING
				DOOR	FLOOR FINISH

Electrical Equipment Schedule			
Type Mark	Count	Description	Manufacturer & Model
E1	1	Electrical Panel	
E2	1	Electrical Meter	Existing
E3	1	Power Disconnect	

Mechanical Equipment Schedule			
Type Mark	Count	Description	Manufacturer & Model
M1	1	Compact side discharge outdoor unit	Mitsubishi Electric
M2	1	Mini-Split - Ductless Air Conditioner - Wall Mounted	Mitsubishi Electric
M3	1	Ceiling ventilating fan unit	Panasonic

Lighting Fixture Schedule			
Type Mark	Count	Description	Manufacturer
LF1	3	Outdoor Wall Mounted Lantern	As per Page A400 - Detail #1
LF2	13	LED Shallow Recessed Lighting	RL56 LED Retrofit Module-Trim RL560WH6830
LF3	1	Ceiling Fan with Light	
LF4	1	Vapor proof -LED Shallow Recessed Lighting	



111 SE Second Street
Suite 102
Delray Beach, FL 33444
ph: 561-279-2008
http://www.perezarchitects.com

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Revision Schedule

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Turner Studio

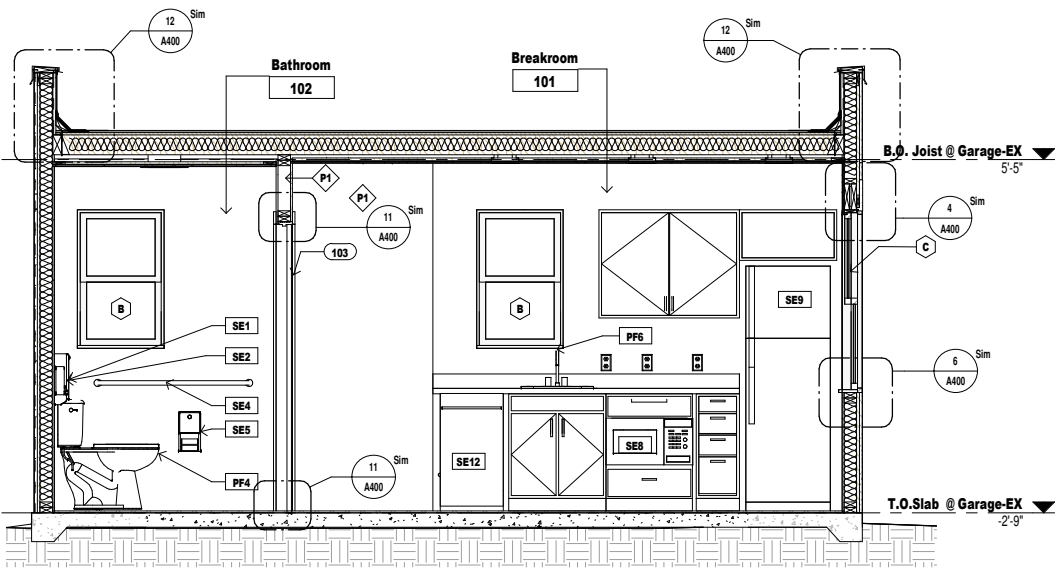
145 Northeast Six Avenue
Delray Beach, FL 33444

Proposed Floor Plan & Elevations

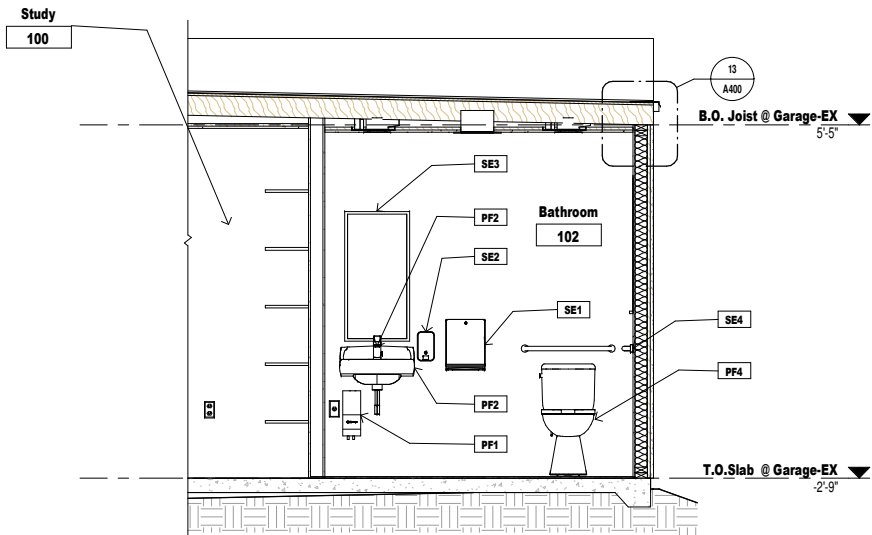
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Project number: 15-512
Project Status: Project Status
Sheet Issued Date: 11-19-2015

A210

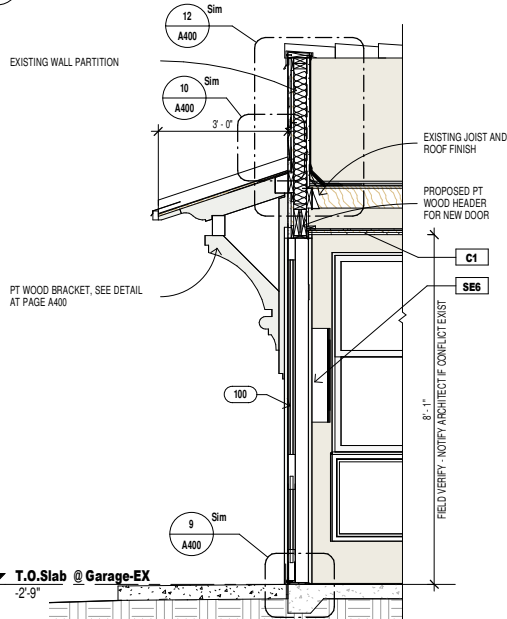
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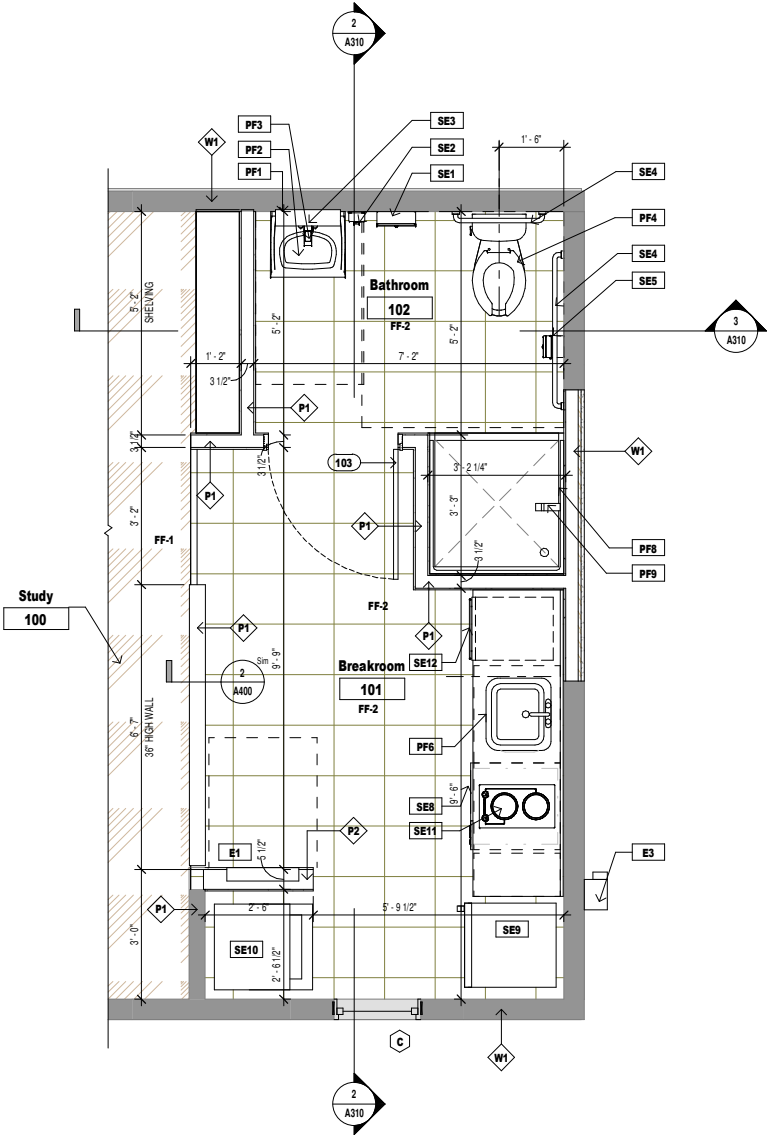
2 Section 1
1/2" = 1'-0"



3 Section 2
1/2" = 1'-0"



4 Detail Section
1/2" = 1'-0"



1 Enlarged Plan
1/2" = 1'-0"

GENERAL NOTES:
NOTE 1: REFER TO SHEET A401 FOR SHOP DRAWINGS SUBMITTAL REQUIREMENTS.
NOTE 2: REFER TO ENLARGED FLOOR PLAN FOR NOTES AND DIMENSIONS IN CALLED-OUT AREAS AS INDICATED IN PLAN.
NOTE 3: ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF BLOCK AND/OR STUDS.
NOTE 4: ALL EQUIPMENT, PLUMBING FIXTURE, FLOOR FINISHES, ROOF ASSEMBLY, WALL TYPES, ETC., ARE TAGGED ON PLANS REFER TO SCHEDULES FOR TYPE DESCRIPTION, QUANTITIES AND COMMENTS.
NOTE 5: JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS BY ALL SUB-CONTRACTORS PRIOR TO FABRICATION. ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF BLOCK AND/OR STUDS.

FINISHES NOTES:
NOTE 1: USE WATER RESISTANT GYPSUM BOARD IN BATHROOMS AND ALL OTHER WET AREAS.
NOTE 2: USE DUROCK CERAMIC TILE BACKER BOARD IN SHOWER ENCLOSURE WALLS. WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. A MOISTURE BARRIER (SUCH AS 15 POUND ROOFING FELT) SHOULD BE INSTALLED OVER WALL STUDS BEFORE INSTALLING THE CERAMIC TILE BACKER BOARD TO THE WALL.
NOTE 3: UNDER ALL FLOOR TILE, 1/2" THICK CERAMIC TILE BACKER BOARD SHALL BE INSTALLED AS AN UNDERLAYMENT.

ARCHITECTURAL WOODWORK NOTES:
NOTE 1: CONTRACTOR TO PROVIDE SOLID WOOD BACKING FOR ALL WALL-MOUNTED CABINETRY.
NOTE 2: VERIFY EXACT LOCATIONS WITH CABINET ELEVATIONS AND SHOP DRAWINGS PRIOR TO INSTALLATION OF SOLID WOOD BACKING.

Phasing Legend			
Shades		EXISTING ELEMENTS:	
		SLAB PLUMBING FIXTURE CEILING DOOR	WALL WINDOW LIGHTING FIXTURE FLOOR FINISH EQUIPMENT CASEWORK ROOF
		PROPOSED NEW ELEMENTS:	
		SLAB EQUIPMENT CASEWORK ROOF	WALL WINDOW LIGHTING FIXTURE FLOOR FINISH

Electrical Equipment Schedule			
Type Mark	Count	Description	Manufacturer & Model
E1	1	Electrical Panel	
E2	1	Electrical Meter	Existing
E3	1	Power Disconnect	

Mechanical Equipment Schedule			
Type Mark	Count	Description	Manufacturer & Model
M1	1	Compact side discharge outdoor unit	Mitsubishi Electric
M2	1	Mini-Split - Ductless Air Conditioner - Wall Mounted	Mitsubishi Electric
M3	1	Ceiling ventilating fan unit	Panasonic

Specialty Equipment Schedule			
Type Mark	Count	Description	Manufacturer & Model
SE1	1	ClassicSeries® Surface Mounted paper towel dispenser	Bobrick - B-262
SE2	1	ClassicSeries® Surface Mounted Soap Dispenser	Bobrick - B-2111
SE3	1	Fixed-Position Tilt Mirror STAINLESS STEEL CHANNEL FRAME	Bobrick - B-293 1836
SE4	1	Grab Bar 42" 30" Long	Bobrick - 30B-6806.99x30 - B-6806.99x42
SE5	1	MatrixSeries™ Surface Mounted double roll Toilet Paper Dispense ROLL PAPER TOWEL DISPENSER	Bobrick - B-2111
SE6	1	Fire Extinguisher Cabinet	Larsen's SS 2409-5R with MP-5 fire extinguisher
SE7	1	Smoke Detector	Panasonic
SE8	1	Convection Microwave Oven with 1,500 Watts, 300 CFM Venting System, Sensor Cook and 14" Turntable Diameter	LG Studio LSMC3086ST
SE9	1	Freestanding-One Door Refrigerator, bottom Freezer	LG LBN10551
SE10	1	Stacked Washer and Dryer	GE Spacemaker GUD24ESSJWW
SE11	1	Mediterranean 2 Burner Large	Kerony International, Inc - Model #: B41510
SE12	1	18" Built-in Dishwasher Energy Star	GE Appliances - Model # SD-9252SS

Plumbing Fixture Schedule			
Type Mark	Count	Description	Manufacturer & Model
PF1	1	AccuMix Electric Tankless Water Heater	Eemax Inc.
PF2	1	Wall-Mount Bathroom Sink	Kolher -GreenwichTM K-2031-L
PF3	1	Electronic 'No Touch' faucet.	Kolher -K-7515
PF4	1	Pressure-Lite® Toilet	Kolher -Highline® K-3493
PF5	1	Toilet Seat, heavy duty solid plastic open front less cover, reinforced stainless steel self-sustaining check hinge, posts, washers and nuts, for elongated bowl. Compliant to international building code S-420.	Centoco
PF6	1	Sink	
PF7	1	Hose Bidd	
PF8	1	Roll-in Shower Tray Enclosure	Freedom Shower - APFXST3838BF-625
PF9	1	Shower Head, Faucet and Mixer	

Lighting Fixture Schedule			
Type Mark	Count	Description	Manufacturer
LF1	3	Outdoor Wall Mounted Lantern	As per Page A400 - Detail #1
LF2	13	LED Shallow Recessed Lighting	RL56 LED Retrofit Module-Trim RL560WH6830
LF3	1	Ceiling Fan with Light	
LF4	1	Vapor proof -LED Shallow Recessed Lighting	



Perez Design LLC
architecture | planning | design

111 SE Second Street
Suite 102
Delray Beach, FL 33444
ph: 561-279-2008
http://www.perezarchitects.com

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No.	Description	Date

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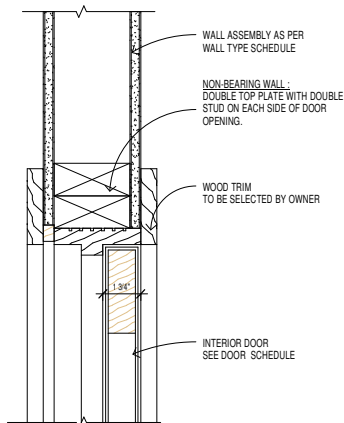
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Enlarged Area & Building Sections

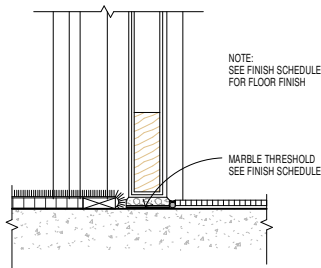
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Project number	15-612
Project Status	Project Status
Sheet Issued Date	11-19-2015

A310

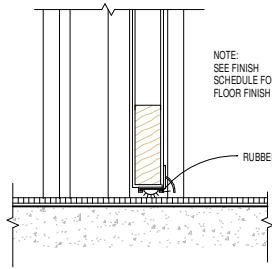
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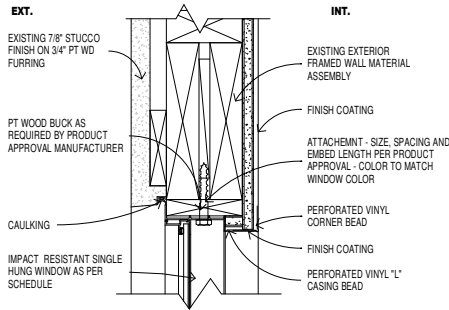
11 Interior Door Wd framed Partition Detail Typical
3" ± 1'-0"



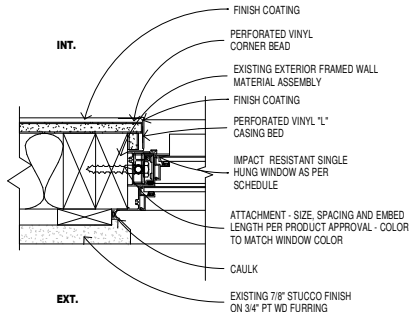
8 Threshold at Interior Door
3" ± 1'-0"



4 Single Hung Window Head Detail
3" ± 1'-0"



5 Single Hung Window Jamb Detail
3" ± 1'-0"



1 Lite Source Outdoor Wall Lantern
12" ± 1'-0"



Product Details
Adding more splendor to your outdoor environment, this sleek outdoor wall lamp will bring a timeless touch as it lights the way. Its stainless steel finish provides rustproof protection.

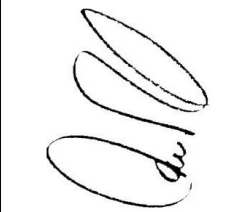
Features:

- Stainless steel finish (rustproof)
- 60W incandescent A type bulb (bulb not included)
- E-27 socket (medium base)
- Conduit pipe and hardwiring required for ground installation

Overall dimensions:

- Lamp: 11.5" H x 8.5" W
- Shade: 7" H x 3" Diameter

About Lite Source
Lite Source manufactures a beautiful selection of high quality accent lamps. From novelty lamps in unique styles to standard desk and floor lamps, a purchase from Lite Source will be a long-lasting addition to any decor and for any application.



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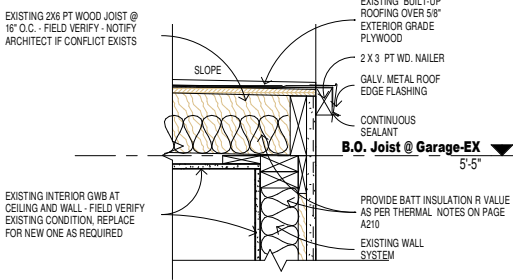
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Delray Beach, FL 33444

Architectural Details

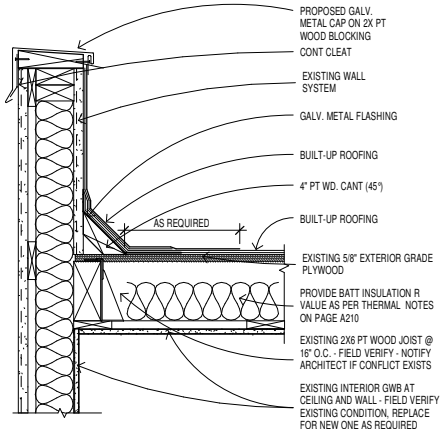
Client Name	Alison Turner
Project number	15-612
Project Status	Project Status
Sheet Issued Date	11-19-2015

A400

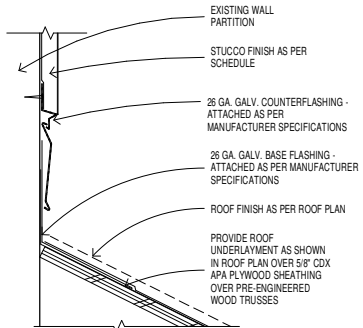
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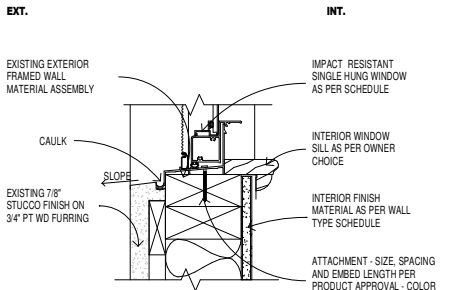
13 Flat Roof Edge Flashing Detail
1 1/2" ± 1'-0"



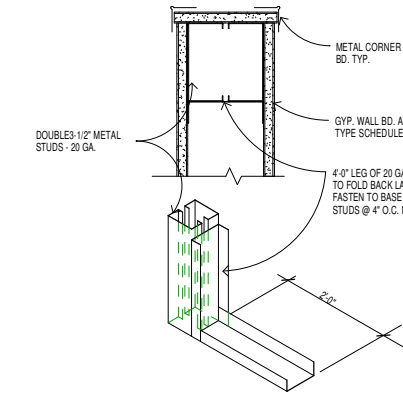
12 Metal Flashing Cap -Built-Up Bituminous Waterproofing
1 1/2" ± 1'-0"



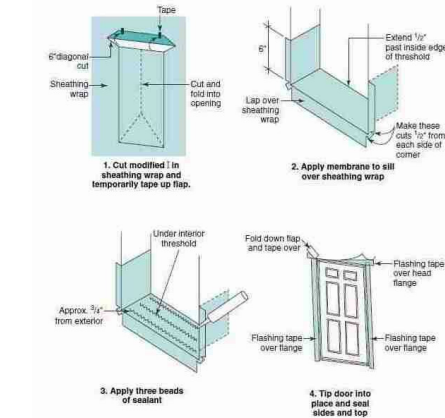
10 Metal Flashing-Stucco Wall Finish
1 1/2" ± 1'-0"



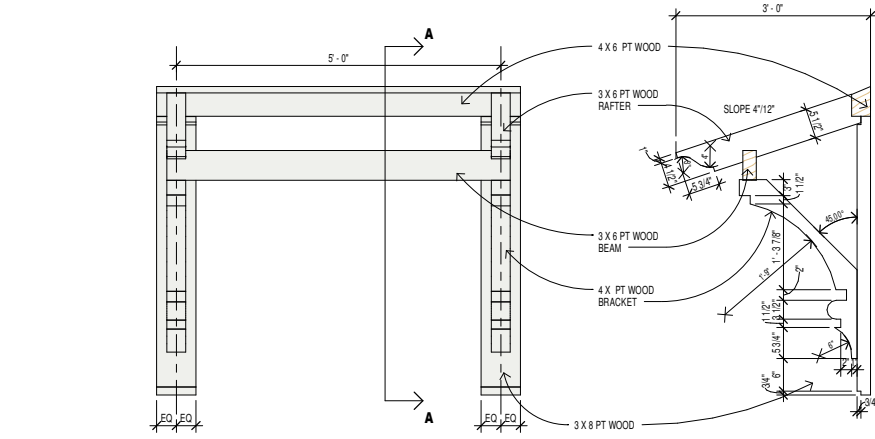
6 Single Hung Window Sill Detail
3" ± 1'-0"



7 Storefront System Sill Detail
1 1/2" ± 1'-0"



3 Peel & Stick Waterproofing
12" ± 1'-0"



Wood Bracket Detail
FRONT ELEVATION SECTION A-A