

GENERAL NOTES

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S / CONTRACTOR'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN. ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL RULES, REGULATIONS AND ORDINANCES.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND SHALL COORDINATE WORK OR CONSTRUCTION BETWEEN TRADES.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION SHALL SHOW THE DESIGN DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DESIGN, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

PROVIDE 3/12" BATT SOUND INSULATION AT INTERIOR WALLS - BATHROOMS, BEDROOMS, LAUNDRY ROOMS ETC.

THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, MECHANICAL, PLUMBING AND TELEPHONE SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION.

DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEViate FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPEC.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHD TL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER IS DEMANDDED TO HAVE ESTIMATED, THEN THE MOST EXPENSIVE WAY OF PERFORMING THE WORK SHALL TAKE PRECEDENCE.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).

DO NOT SCALE THE DRAWINGS.

ALL AREA CALCULATIONS ARE APPROXIMATE.

FIELD VERIFY ALL DIMENSIONS.

ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER, UNO.

THE CONTRACTOR SHALL PROVIDE THE OWNER/ ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.

PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE. WATERPROOF ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO FORM A COMPLETE INSULATING BLANKET AROUND THE HEATED AREAS OF THE BUILDING. INSULATE ALL HEAT-BEARING PIPES, DUCTS, OR OTHER FIXTURES THAT PENETRATE THE INSULATED BLANKET. INSTALL ALL OTHER WATER PIPES IN A MANNER TO PREVENT FREEZING.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED.

FLASHING, CRICKETS, DRIPS, ETC. TO BE 16 OZ. COPPER OR SIMILAR MATERIAL TO ROOFING SYSTEM.

PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF CONCRETE SLABS. (1825' N.A.V.D. FOR GROUND LEVEL.)

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY CODE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. - NOTE ALL CEILING PENETRATIONS - LIGHTS, VENTS, ETC. TO BE SEALED & EDGES AS PER FLORIDA BUILDING CODE 2020 EDITION.

ALL CBS EXTERIOR BLOCK WALLS TO RECEIVE "COREFILL 500" BY TAILORED FOAM OF FLORIDA & APPROVED R-10 (MIN) INSULATION, WOOD STUD, (METAL STUDS) WALLS TO RECEIVE R-11 BATT, R-19 FOR 6" AND 8" WALLS INSULATION (NOTE: ROOF TO BE "CLOSED SYSTEM" USING BLOWN ON R-30 "ICYNENE" INSULATION BY "GALE INSULATION" OR EQUAL TO THE UNDERSIDE OF ROOF DECK (TYP.). NOTE: ALL "ICYNENE FOAM" TO BE PROTECTED WITH DC-315 COATING AS PER MANUFACTURE'S SPECIFICATIONS & THE FLORIDA BUILDING CODE 2020 - THERMAL BARRIER.

INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

HEPTACHLOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS. (ALL PRODUCTS TO BE NON-VOC).

DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

ALL EXTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNER, COLORS ON PLANS FOR PRICING PURPOSES ONLY. (PAINTING SUBCONTRACTOR TO PROVIDE PAINT SAMPLES).

ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE CLOSING DATE.

TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.

DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

- NOTES:
1. DO NOT SCALE DRAWINGS!
  2. FIELD VERIFY ALL DIMENSIONS!
  3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
  4. ALL AREA CALCULATIONS ARE APPROX.



APPLICABLE CODES

- 2020 FLORIDA BUILDING CODE
- 2020 FLORIDA PLUMBING CODE
- 2020 FLORIDA ELECTRICAL CODE
- 2020 FLORIDA MECHANICAL CODE

RESIDENTIAL DUPLEX LOT 1  
130, 134 & 148 SE 1ST AVENUE  
DELRAY BEACH  
PALM BEACH COUNTY, FL

OCCUPANCY CLASSIFICATION

GROUP R3 – DUPLEX

TYPE OF CONSTRUCTION

TYPE VB UNPROTECTED / UNSPRINKLERED

SHEET SCHEDULE					
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE		
	SURVEY SCALE: 1" = 20'-0"		CIVIL		
	ARCHITECTURAL				
A100E	EXISTING SITE PLAN (FOR REFERENCE ONLY) SCALE: 1" x 20'-0"	1 OF 3	CIVIL SITE IMPROVEMENTS PLAN SCALE: 1" x 20'-0"		
A100	PROPOSED SITE PLAN SCALE: 1" x 20'-0"	2 OF 3	PAVING & DRAINAGE PLAN SCALE: 1" x 10'-0"		
A101A	PROPOSED LOT 1 PLAN SCALE: 1/8" x 1'-0"	3 OF 3	PAVING & DRAINAGE PLAN SCALE: 1" x 10'-0"		
A102	ARCHITECTURAL CONTEXT PLAN SCALE: 1/32" x 1'-0"	4 OF 3	PAVING & DRAINAGE DETAILS SCALE: N.T.S.		
A200A	PROPOSED LOT 1 GROUND FLOOR PLAN SCALE: 3/16"x1'-0"	5 OF 3	PAVING & DRAINAGE DETAILS SCALE: N.T.S.		
A201A	PROPOSED LOT 1 SECOND FLOOR PLAN SCALE: 3/16"x1'-0"	6 OF 3	GENERAL NOTES SCALE: N.T.S.		
A202A	PROPOSED LOT 1 ROOF PLAN SCALE: 3/16"x1'-0"	7 OF 3	WATER & WASTEWATER DETAILS SCALE: N.T.S.		
A300A	PROPOSED LOT 1 ELEVATIONS SCALE: 3/16"x1'-0"	8 OF 3	DEMOLITION PLAN SCALE: 1" x 20'-0"		
A301A	PROPOSED LOT 1 ELEVATIONS SCALE: 3/16"x1'-0"	9 OF 3	POLLUTION PREVENTION PLAN SCALE: 1" x 20'-0"		
A302A	VISUAL COMPATIBILITY PROPOSAL SCALE: 3/16"x1'-0"	1 OF 1	COMPOSITE UTILITY PLAN SCALE: 1" x 20'-0"		
A300A	PROPOSED WINDOW AND DOOR SCHEDULE SCALE: N.T.S.				
	ELECTRICAL				
PSP-1	PROPOSED PHOTOMETRIC SITE PLAN SCALE: 1/16"x1'-0"				
	LANDSCAPE				
LC-1	COVER SHEET SCALE: N.T.S.				
LP-11	OVERALL MASTER SITE PLAN SCALE: 1" x 20'-0"				
LP-12	LANDSCAPE PLAN - LOT 1 SCALE: 1/8" x 1'-0"				
LP-13	LANDSCAPE DETAILS AND SPECIFICATIONS SCALE: N.T.S.				
TD-11	TREE DISPOSITION PLAN - LOT 1 SCALE: 1" x 20'-0"				

CONTRACTOR	SURVEYOR	CIVIL ENGINEER	LANDSCAPE ARCHITECT	PHOTOMETRICS	ARCHITECTS	
SEASIDE BUILDERS 185 NORTHEAST 4TH AVE, SUITE 104 Delray Beach, FL. 33483	ENGLE LAND SURVEYING LLC 955 N.W. 17th Ave Suite K-1 Delray Beach, FL. 33445	ENVIRODESIGN ASSOCIATES 298 PINEAPPLE GROVE WAY Delray Beach, FL. 33444	LDS Landscape Deign Studio Paul Weinstein 9581 N.W. 11th St. Plantation, FL. 33322	TYEC 902 CLIENT MOORE ROAD, SUITE 142 Boca Raton, FL. 33487	ge architecture, inc. 1045 e. atlantic ave. delray beach, fl. 33483 fl. lic. AA-26002044	<div>ge</div> <div>architecture inc.</div>
PH. (561) 272-9958 FAX (561) 272-8941	PH. (561) 276-4501 FAX (561) 276-2390	PH. (561) 274-6500 FAX (561) 274-8558	PH. (561) 254-3397 FAX (954) 846-9523	PH. (561) 274-0200	PH. (561) 276-6011 FAX (561) 276-6129	

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKSMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.

THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.

ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER / ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:

- MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK. (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
- PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE, SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
- TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
- COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
- REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER / AGENT. REMOVE ALL TRASH FROM PREMISES.
- ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.
- ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.

ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER/ ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.

CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT IN- TENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR IN- TENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

ALL DOOR FRAMES TO BE LOCATED 5' TO 6' FROM ADJACENT PARTITIONS, UNO.

ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, SANDED, PRIMED AND PAINTED W/ LEVEL V FINISH.

CONCEAL ALL FASTENERS AND ATTACHMENTS FROM VIEW.

OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION.

OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

ALL DOORS & WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS ("FGT" OR EQUAL)

ALL INTERIOR WALLS THAT RECEIVE TILE / MARBLE - TO BE BACKED W/ 5/8" "DENS-SHIELD" OR EQUAL.

ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE. (MIN. 2% - SEE CIVIL DRAWINGS).

ALL GROUND FLOOR SHOWERS TO HAVE MIN. 4" DEPRESSED SLAB. SECOND FLOOR HOLLOW-CORE PLANKS - ELIMINATE 2" TOPPING FOR ALL SECOND FLOOR SHOWERS.

ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION.

CONTRACTOR TO PROVIDE DRAWINGS TO TRUSS MANUFACTURER, MECHANICAL SUBCONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL TRUSSES, & GIRDERS SHALL BE ANCHORED TO BEARING, PARTITIONS, WALLS, AND/OR TIE BEAMS WITH APPROVED ANCHORS. - SEE STRUCTURAL DWGS.

ALL INTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNER, COLORS ON PLANS FOR PRICING PURPOSES ONLY. (NOTE: ALL PRODUCTS TO BE "NON-VOC").

NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE COATINGS: BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVOE, DUPONT, & PORTER ARE CONSIDERED EQUAL. (ALL ARE TO BE NON-VOC).

CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD "MOLD TOUGH" IN ALL BATHROOMS, KITCHEN & LAUNDRY RMS.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSALS. - NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL ABANDEN UNDER GROUND UTILITIES, PIPES, WIRES, TREE ROOTS, SEPTIC TANK ETC. - PRIOR TO COMPACTING SITE.

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	4'-25'-11"	4'-25'-11"
SIDE INTERIOR (NORTH)	7'-6"	4'-7'-8"	4'-7'-8"
SIDE STREET (SOUTH)	15'-0"	4'-15'-11"	4'-15'-11"
REAR	10'-0"	4'-13'-10"	4'-13'-10"
ALLOWABLE HT. (ABOVE FEG - FREEBOARD / ELEVATION)	35'-0" (MEAN ROOF HT.)	30'-7 1/4" (MEAN ROOF HT.)	

ZONING

OSSHAD

FLOOD ZONE: X (MIN. 18' ABOVE CROWN OF ROAD)

SCOPE OF WORK

DEMOLISH EXISTING 4-PLEX STRUCTURE & CONSTRUCT NEW TWO STORY DUPLEX-MONOLITHIC FOUNDATION, CBS MASONRY WALLS, HOLLOW CORE PLANKS & WOOD ROOF TRUSSES WITH 1HR RATED SEPARATION WALL.

REVISED 5/22/23 AS PER HPB COMMENTS:

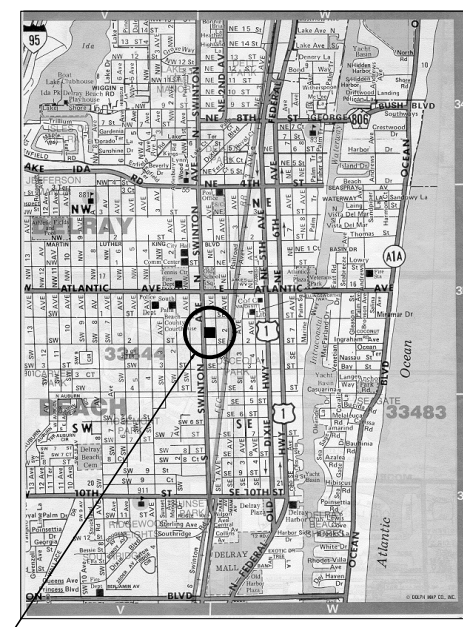
1. PROPOSED SITE PLAN FOR EACH UNIT IS NOW LISTED AS FIRST PAGE IN THE SET.

2. RELABELED DRAWINGS FROM "MASTER PLAN" TO "OVERALL" SITE PLANS.

3. PROPOSED OVERALL SITE PLAN IS NOW ONLY SHOWN AT 1" x 20'-0".

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING.





PROPOSED PROJECT IS LOCATED ON THE EAST SIDE OF SUNTON AVE.

VICINITY MAP



GENERAL NOTES:

1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSETS, ANCHORS, ANKLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND FITTINGS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
5. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

DESCRIPTION:

THE SOUTH HALF OF LOT 13 AND ALL OF LOTS 14 THROUGH 18, INCLUSIVE, BLOCK 18, AN EXTENDED PLAT OF SANDY AND CROPPER'S SUBDIVISION OF BLOCK 18, ORIGINAL TOWN OF LINTON, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 17, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, CONTAINING 47.139 SQUARE FEET OR 0.981 ACRES MORE OR LESS.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOT RE-LOCATE IF ANY DISCREPANCY IN DRAWINGS! (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

AREA CALCULATIONS (LOT 1)

TOTAL SITE AREA	8,831 S.F.
TOTAL BLDG FOOTPRINT	3,369 S.F.
TOTAL LOT COVERAGE *	3369 / 8,831 = 38.1%
TOTAL IMPERVIOUS VS PERVIOUS AREA	
TOTAL IMPERVIOUS AREA (BUILDING FOOTPRINT, PAVEMENT, POOL, ETC.)	5,769 S.F.
TOTAL PERVIOUS AREA (LANDSCAPING)	3,278 S.F.
TOTAL IMPERVIOUS AREA *	5,769 / 8,831 = 65.3%
TOTAL PERVIOUS AREA *	3,278 / 8,831 = 36.9%
TOTAL PERVIOUS VS PERVIOUS AREA *	3,278 / 3,278 = 100%
(REQUIRED OPEN SPACE 28% - PROVIDED 28.1% OPEN SPACE)	

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	4'-0"	4'-0"
SIDE INTERIOR (NORTH)	7'-6"	4'-0"	4'-0"
SIDE INTERIOR (SOUTH)	7'-6"	4'-0"	4'-0"
REAR	10'-0"	4'-0"	4'-0"
ALLOWABLE HT. (ABOVE FFC - FREEBOARD / ELEVATION)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)

ZONING O6SHAD

AREA CALCULATIONS (LOT 2 AND 4)

TOTAL SITE AREA	8,834 S.F.
TOTAL BLDG FOOTPRINT	3,364 S.F.
TOTAL LOT COVERAGE *	3364 / 8,834 = 38.1%
TOTAL IMPERVIOUS VS PERVIOUS AREA	
TOTAL IMPERVIOUS AREA (BUILDING FOOTPRINT, PAVEMENT, POOL, ETC.)	5,769 S.F.
TOTAL PERVIOUS AREA (LANDSCAPING)	3,278 S.F.
TOTAL IMPERVIOUS AREA *	5,769 / 8,834 = 65.3%
TOTAL PERVIOUS AREA *	3,278 / 8,834 = 36.9%
TOTAL PERVIOUS VS PERVIOUS AREA *	3,278 / 3,278 = 100%
(REQUIRED OPEN SPACE 28% - PROVIDED 28.1% OPEN SPACE)	

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	4'-0"	4'-0"
SIDE INTERIOR (NORTH)	7'-6"	4'-0"	4'-0"
SIDE INTERIOR (SOUTH)	7'-6"	4'-0"	4'-0"
REAR	10'-0"	4'-0"	4'-0"
ALLOWABLE HT. (ABOVE FFC - FREEBOARD / ELEVATION)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)

ZONING O6SHAD

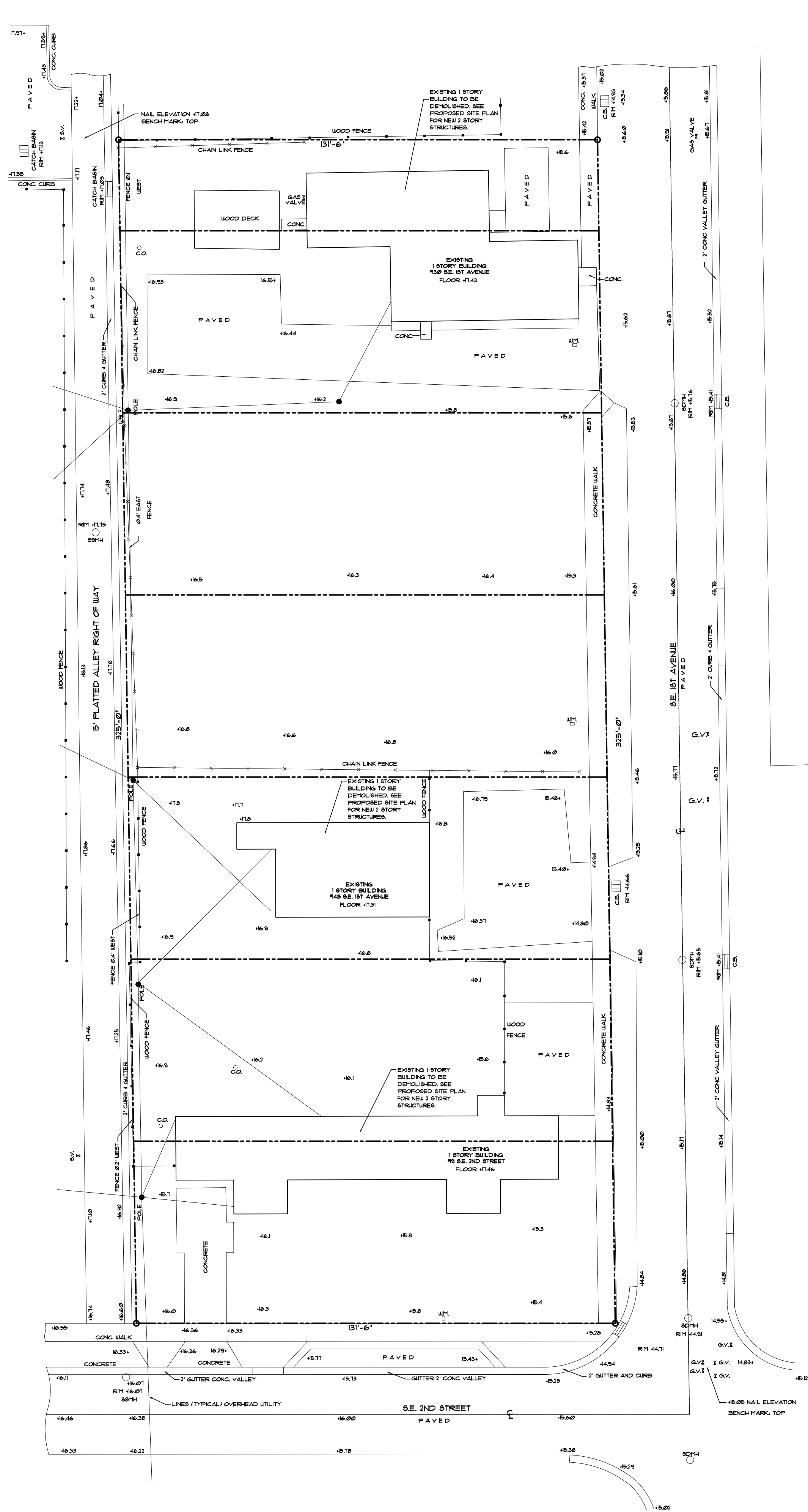
AREA CALCULATIONS (LOT 3 AND 5)

TOTAL SITE AREA	8,834 S.F.
TOTAL BLDG FOOTPRINT	3,364 S.F.
TOTAL LOT COVERAGE *	3364 / 8,834 = 38.1%
TOTAL IMPERVIOUS VS PERVIOUS AREA	
TOTAL IMPERVIOUS AREA (BUILDING FOOTPRINT, PAVEMENT, POOL, ETC.)	5,769 S.F.
TOTAL PERVIOUS AREA (LANDSCAPING)	3,278 S.F.
TOTAL IMPERVIOUS AREA *	5,769 / 8,834 = 65.3%
TOTAL PERVIOUS AREA *	3,278 / 8,834 = 36.9%
TOTAL PERVIOUS VS PERVIOUS AREA *	3,278 / 3,278 = 100%
(REQUIRED OPEN SPACE 28% - PROVIDED 28.1% OPEN SPACE)	

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	4'-0"	4'-0"
SIDE INTERIOR (NORTH)	7'-6"	4'-0"	4'-0"
SIDE INTERIOR (SOUTH)	7'-6"	4'-0"	4'-0"
REAR	10'-0"	4'-0"	4'-0"
ALLOWABLE HT. (ABOVE FFC - FREEBOARD / ELEVATION)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)	25'-0" (PEAK ROOF HT.)

ZONING O6SHAD





PROPOSED PROJECT IS LOCATED ON  
NORTH CORNER OF SE 2ND STREET AND SE  
1ST AVENUE  
VICINITY MAP

#### GENERAL NOTES:

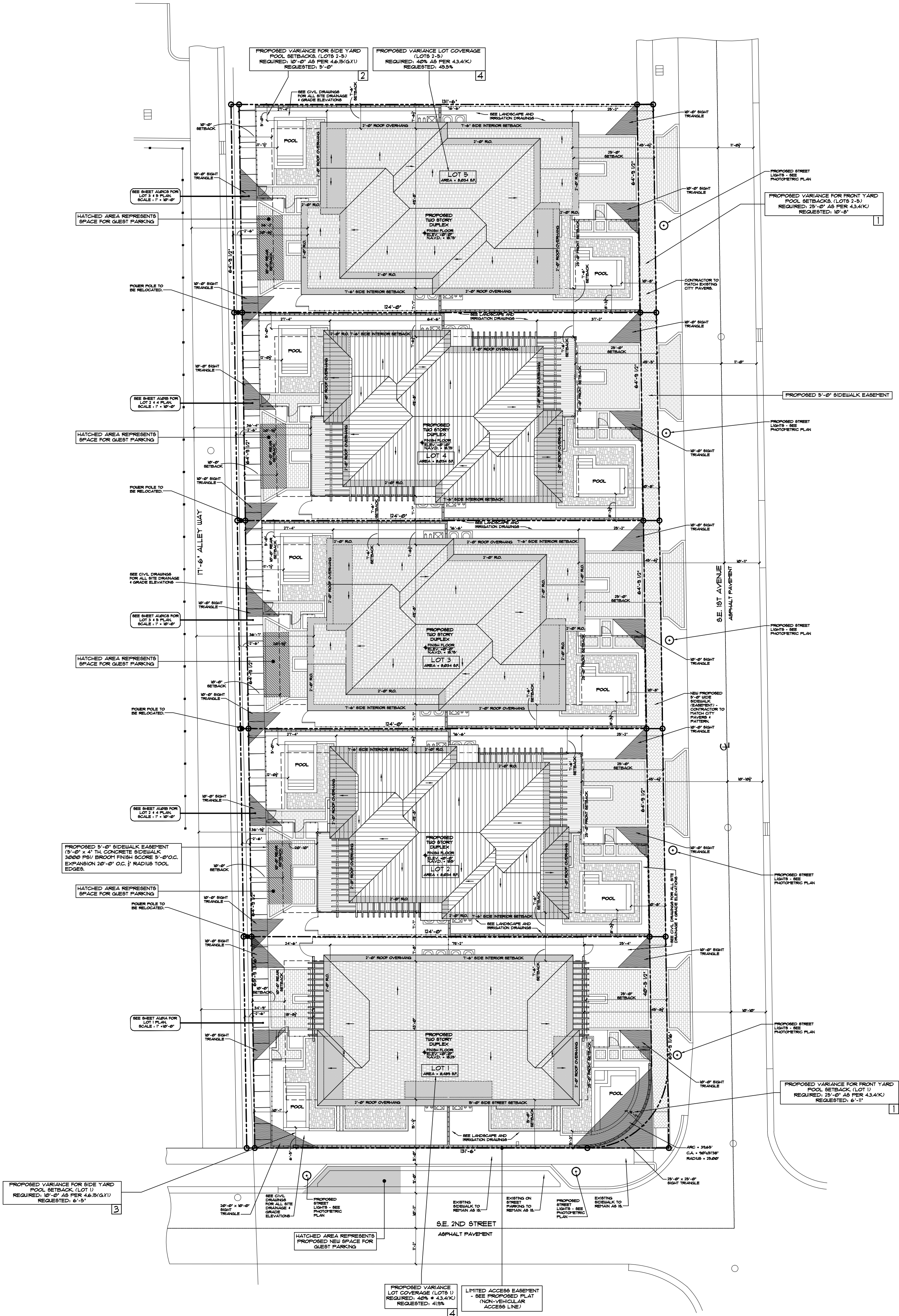
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, BELIEVE WALKERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

#### PROJECT VARIANCE REQUEST ITEMS

REQUEST	REQUIREMENT	PROPOSED REQUEST
1. FRONT YARD SETBACK	43.4' (K) - 25'	10'-0" (LOTS 2-5) & 6'-0" (LOT 1)
2. SIDE YARD SETBACK	4.6' (K) - 10'	5'-0" (LOTS 2-5)
3. SIDE YARD SETBACK	4.6' (K) - 10'	5'-0" (LOT 1)
4. LOT COVERAGE	LOT COVERAGE - 43.4% (K) - 40%	41.9% (LOT 1) 49.9% (LOTS 2-5)

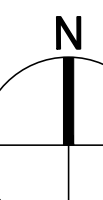
#### LEGEND:

- PROPOSED GUEST PARKING
- RIGHT TRIANGLE
- LOT 1, 2 & 3 CONCRETE ROOF TILE
- LOT 4 & 5 METAL BEAM ROOF
- PROPOSED PAVER SIDEWALK (MATCH CITY PAVEMENT PATTERNS)
- DRIVEWAY PAVEMENT
- POOL DECK

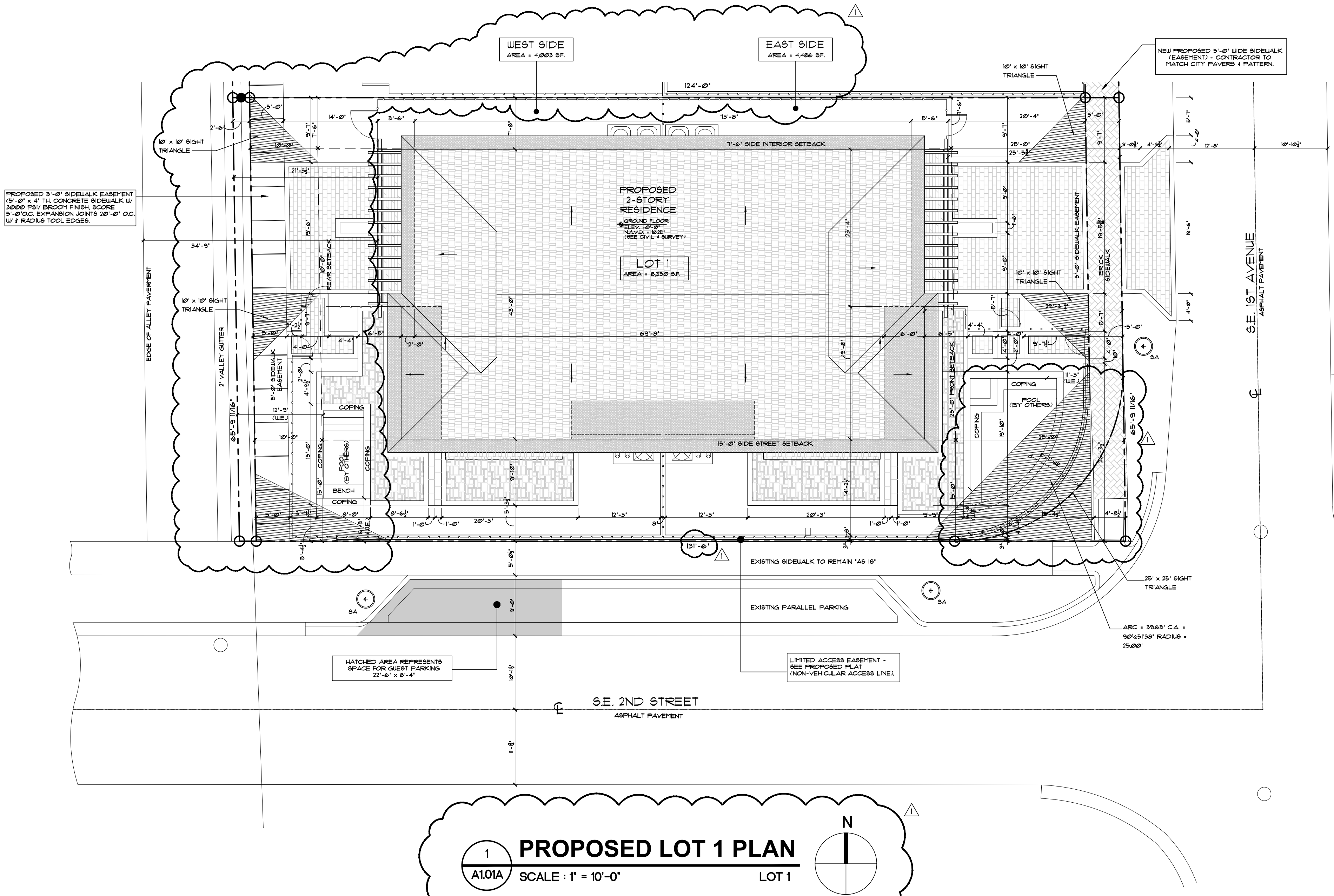
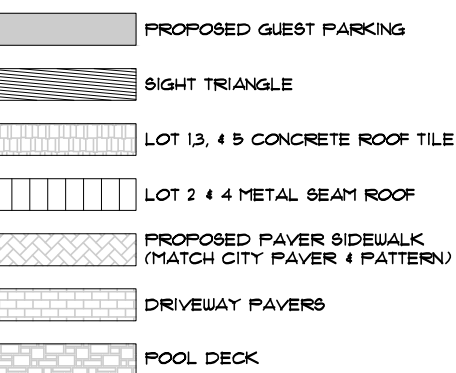


## PROPOSED SITE PLAN

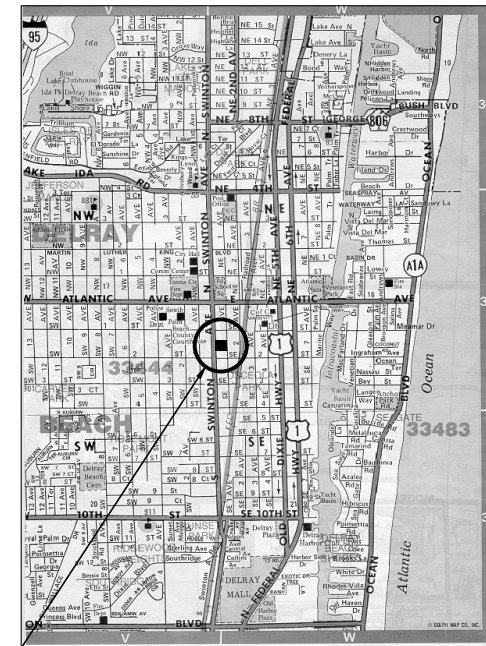
A1.00 SCALE: 1" = 20'-0"











VICINITY MAP

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. CONTRACTOR TO FIELD COORDINATE ALL ALL PROPOSED GRADE ELEVATIONS W/ CIVIL DRAWINGS.

GENERAL NOTES:

1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLE PLATES, OPENINGS, SLEEVES, HANGERS, SLAB COMPRESSIONS AND FITTERS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL, AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
5. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

AREA CALCULATIONS

TWO STORY DUPLEX (PER UNIT)

PROPOSED FIRST FLOOR AREA UNDER A/C	1202 S.F.
PROPOSED CAR GARAGE	555 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED FIRST FLOOR UNDER ROOF	1907 S.F.

PROPOSED SECOND FLOOR UNDER A/C	1242 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED TRELLIS / TERRACE PORCH	461 S.F.
PROPOSED SECOND FLOOR UNDER ROOF	1950 S.F.

TOTAL FLOOR UNDER A/C	2444 S.F.
TOTAL FLOOR UNDER ROOF	3297 S.F.

TOTAL SITE AREA	8,358 S.F.
TOTAL BLDG FOOTPRINT	3,804 S.F.
TOTAL LOT COVERAGE	3,804 / 8,358 = 45.5%

TOTAL IMPERVIOUS AREA (BUILDING FOOTPRINT, PAVERS, POOL, ETC.)	6,363 S.F.
TOTAL IMPERVIOUS AREA (LANDSCAPING)	2,095 S.F.

TOTAL IMPERVIOUS AREA *	6,263 / 8,358 = 75.0%
TOTAL IMPERVIOUS AREA *	2,095 / 8,358 = 25.0%

TOTAL IMPERVIOUS AREA *	2,095 / 8,358 = 25.0%
(REQUIRED OPEN SPACE 75% - PROVIDED 25% OPEN SPACE)	

FAR CALCULATIONS

TOTAL FLOOR AREA	6,364 S.F.
TOTAL LOT AREA	8,358 S.F.
FLOOR AREA RATIO *	6,364 / 8,358 = 0.76%

PROPOSED SETBACKS:

	REQUIRED	PROPOSED	PROPOSED
FRONT	25'-0"	GROUND FLOOR	SECOND FLOOR
SIDE INTERIOR (NORTH)	1'-6"	25'-3" TO 33'-11"	33'-11" TO 39'-4"
SIDE INTERIOR (SOUTH)	1'-6"	1'-6"	1'-6"
REAR	10'-0"	11'-1"	11'-1"
		11'-1" TO 20'-2"	20'-2" TO 25'-1"

ALLOWABLE HT. 35'-0" (MEAN ROOF HT.) 28'-0" (MEAN ROOF HT.)

(ABOVE FFC - FREEBOARD / ELEVATION)

ZONING OSSHAD

LIGHTING LEGEND:

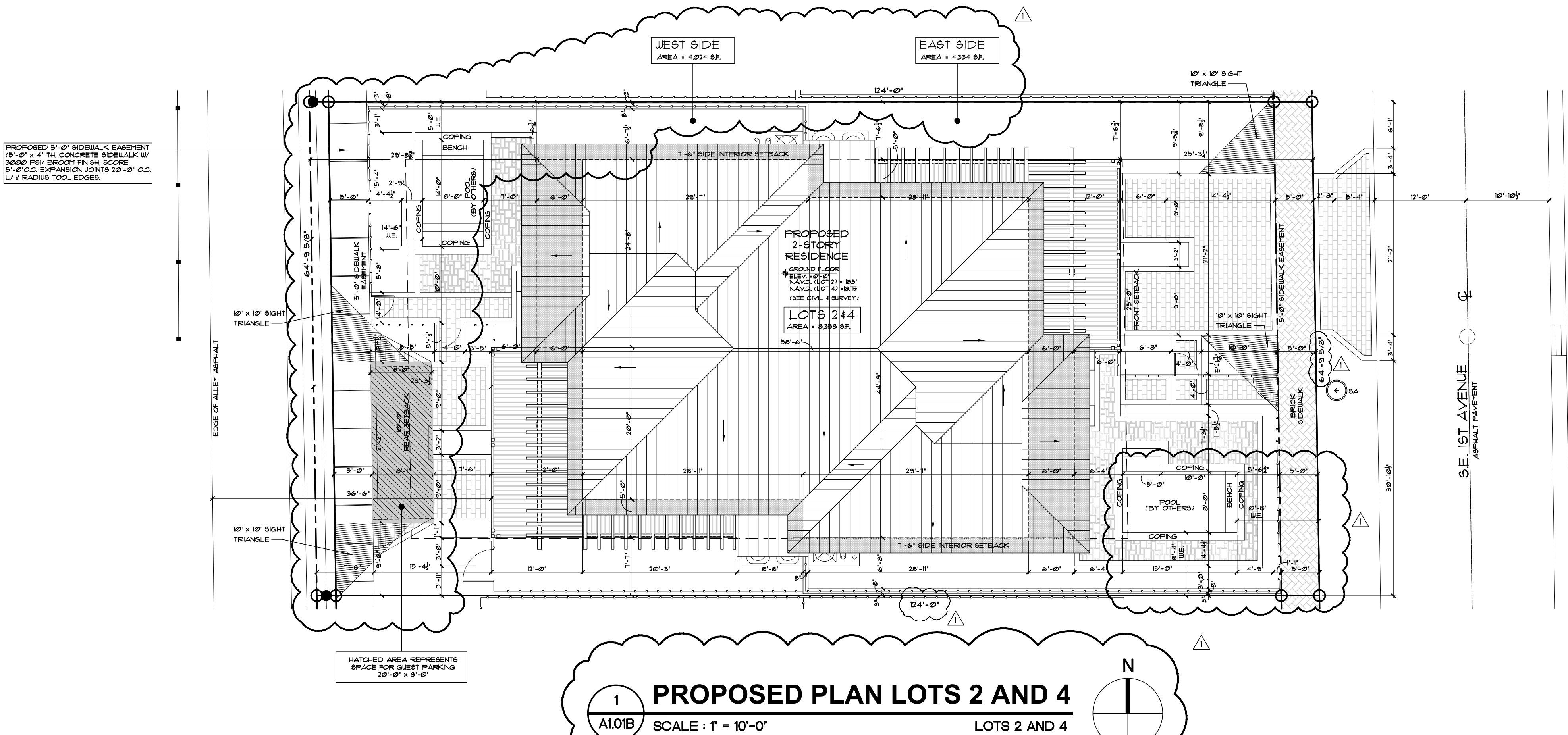
SA	MANUFACTURER: SPRING CITY
	DLR-LED99-102-40-CR3-GR18-185

PROJECT VARIANCE REQUEST ITEMS:

REQUEST CODE SECTION	REQUIREMENT	PROPOSED REQUEST
FRONT YARD SETBACK	4.3.4(K) - 25'	10'-8"
SIDE YARD SETBACK	4.6.15(G)(1) - 10'	5'-0"
REAR YARD SETBACK	4.6.15(G)(1) - 10'	5'-0"
LOT COVERAGE	LOT COVERAGE - 4.3.4(K) - 40%	45.5%
WE - WATER EDGE (POOL):		

LEGEND:

	PROPOSED GUEST PARKING
	SIGHT TRIANGLE
	LOT 1, 3, 4 5 CONCRETE ROOF TILE
	LOT 2 4 4 METAL BEAM ROOF
	PROPOSED PAVER SIDEWALK (MATCH CITY PAVER 4 PATTERN)
	DRIVEWAY PAVERS
	POOL DECK

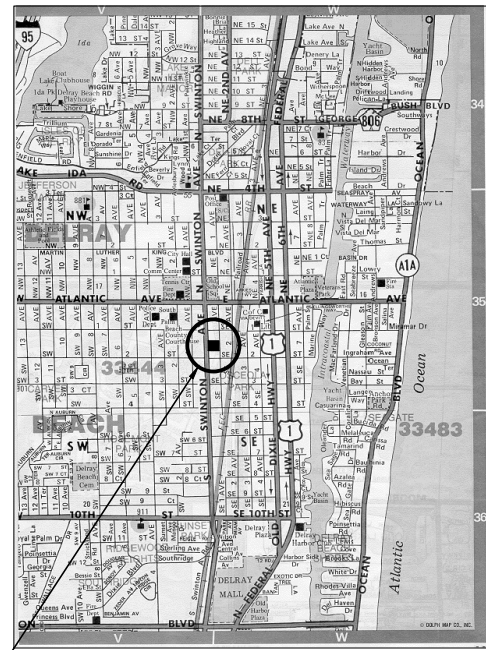


PROPOSED PLAN LOTS 2 AND 4

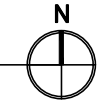
SCALE : 1" = 10'-0"

LOTS 2 AND 4





VICINITY MAP



NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. CONTRACTOR TO FIELD COORDINATE ALL ALL PROPOSED GRADE ELEVATIONS WITH CIVIL DRAWINGS.

GENERAL NOTES:

1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, ALLEYS, HANGERS, ALAB, DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHERS.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
5. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

AREA CALCULATIONS

TWO STORY DUPLEX (PER UNIT)

PROPOSED FIRST FLOOR AREA UNDER A/C	1102 S.F.
PROPOSED 2 CAR GARAGE	562 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED FIRST FLOOR UNDER ROOF	1902 S.F.

PROPOSED SECOND FLOOR UNDER A/C	1242 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED SECOND FLOOR UNDER ROOF	1390 S.F.

TOTAL FLOOR UNDER A/C	2434 S.F.
TOTAL FLOOR UNDER ROOF	3292 S.F.

TOTAL SITE AREA	8358 S.F.
TOTAL BLDG FOOTPRINT	3804 S.F.
TOTAL LOT COVERAGE =	3804 / 8358 = 45.5%

TOTAL PIPERIVIOUS VS PIPERIVIOUS AREA:	6363 S.F.
TOTAL PIPERIVIOUS AREA:	6363 S.F.
(BUILDING FOOTPRINT, PAVERS, POOL, ETC.)	

TOTAL PIPERIVIOUS AREA (LANDSCAPING)	2095 S.F.
TOTAL PIPERIVIOUS AREA =	6363 / 8358 = 76.2%

TOTAL PIPERIVIOUS AREA =	2095 / 8358 = 25.0%
TOTAL PIPERIVIOUS VS PIPERIVIOUS AREA:	2095 + 6363 = 8358 + 100%

(REQUIRED OPEN SPACE 25% - PROVIDED 25% OPEN SPACE)

FAR CALCULATIONS

TOTAL FLOOR AREA	6364 S.F.
TOTAL LOT AREA	8358 S.F.
FLOOR AREA RATIO =	6364 / 8358 = 0.76

PROPOSED SETBACKS:

	REQUIRED	PROPOSED GROUND FLOOR	PROPOSED SECOND FLOOR
FRONT	25'-0"	25'-3" TO 33'-11"	33'-11" TO 39'-4"
SIDE INTERIOR (NORTH)	7'-6"	7'-6"	7'-6"
SIDE INTERIOR (SOUTH)	7'-6"	7'-6"	7'-11"
REAR	10'-0"	11'-1" TO 20'-3"	20'-3" TO 25'-6"
ALLOWABLE HT.	35'-0" (MEAN ROOF HT.)	21'-9" (MEAN ROOF HT.)	
(ABOVE FEG - FREEBOARD / ELEVATION)			

ZONING

OSSHAD

LIGHTING LEGEND:

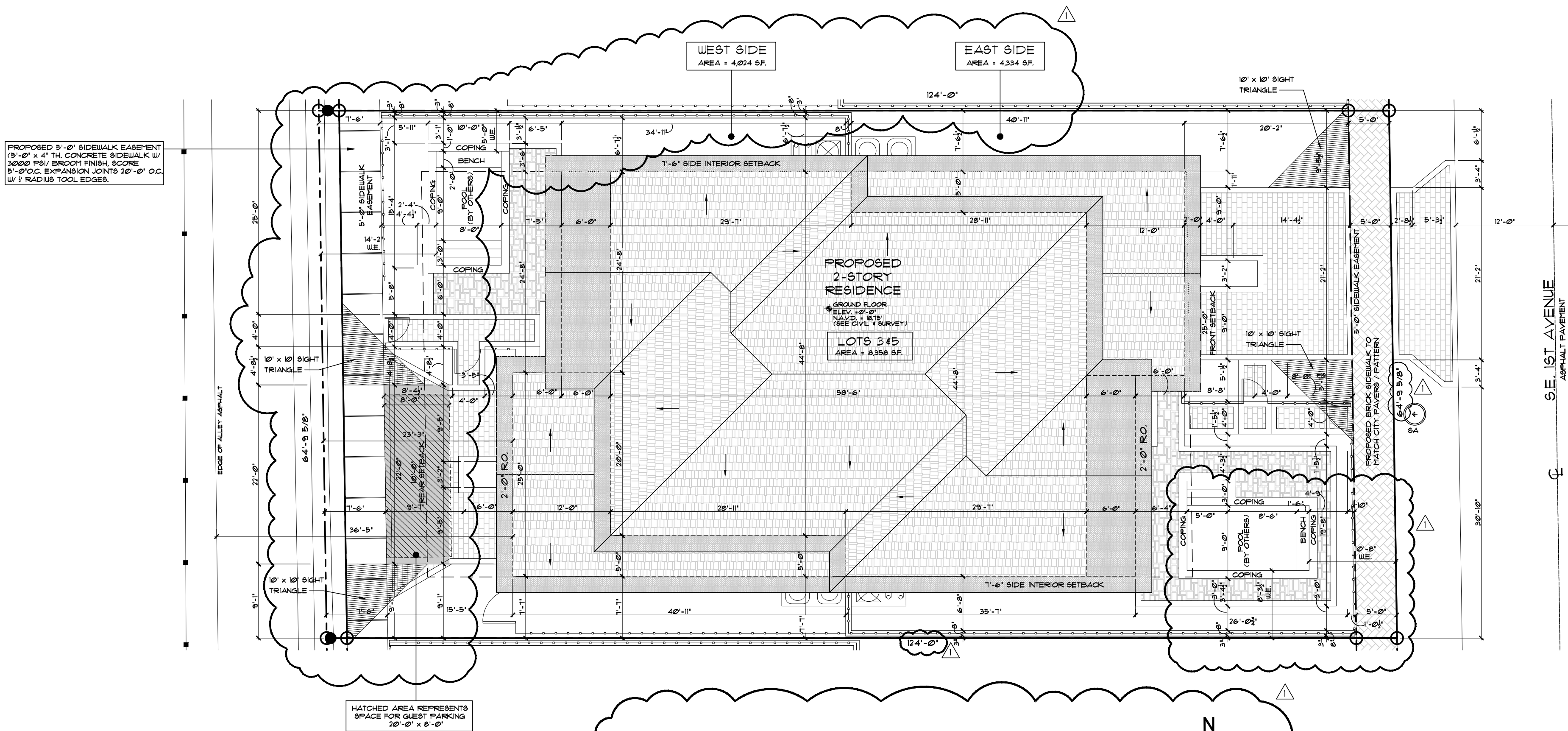
SA	MANUFACTURER: SPRING CITY "DLR-LE095-202-402-CR3-GR8-105"
----	--

PROJECT VARIANCE REQUEST ITEMS:

REQUEST	REQUIREMENT	PROPOSED REQUEST
CODE SECTION	43.4(K) - 25'	10'-8"
FRONT YARD SETBACK	43.4(K) - 25'	10'-8"
SIDE YARD SETBACK	43.4(K) - 10'	5'-0"
REAR YARD SETBACK	43.4(K) - 10'	5'-0"
LOT COVERAGE	43.4(K) - 40%	45.5%
W.E. - WATER EDGE (POOL)		

LEGEND:

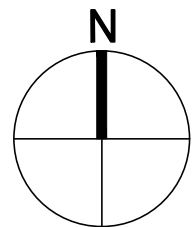
PROPOSED GUEST PARKING	PROPOSED GUEST PARKING
SIGHT TRIANGLE	SIGHT TRIANGLE
LOT 3, 4 & 5 CONCRETE ROOF TILE	LOT 3, 4 & 5 CONCRETE ROOF TILE
LOT 2 & 4 METAL SHAK ROOF	LOT 2 & 4 METAL SHAK ROOF
PROPOSED PAVES SIDEWALK (MATCH CITY PAVES & PATTERN)	PROPOSED PAVES SIDEWALK (MATCH CITY PAVES & PATTERN)
DRIVEWAY PAVERS	DRIVEWAY PAVERS
POOL DECK	POOL DECK



1 PROPOSED PLAN LOTS 3 AND 5

A1.01CS SCALE : 1" = 10'-0"

LOTS 3 AND 5







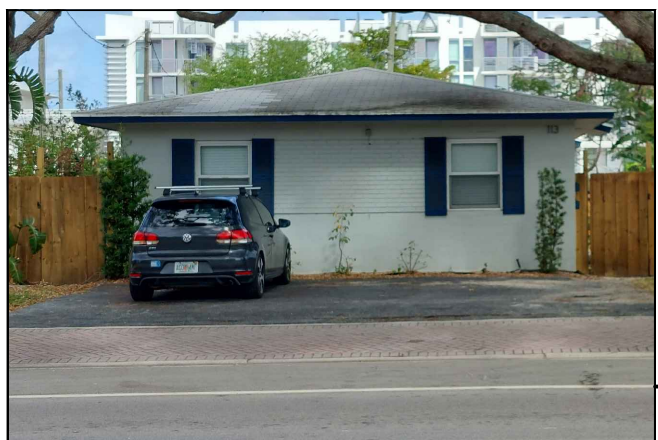
119 S. SWINTON AVE



125 S. SWINTON AVE



131 S. SWINTON AVE



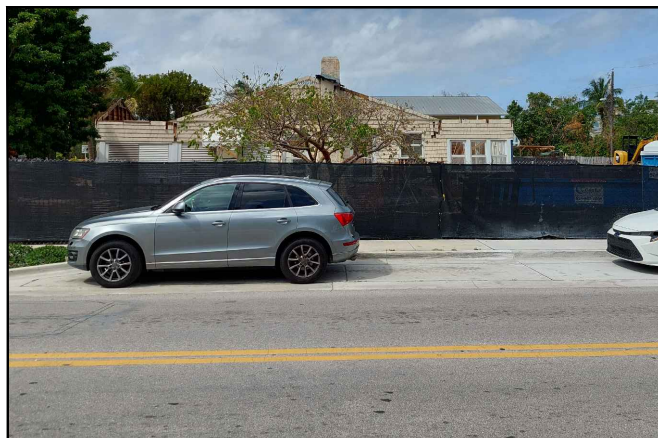
113 S. SWINTON AVE



123 S. SWINTON AVE



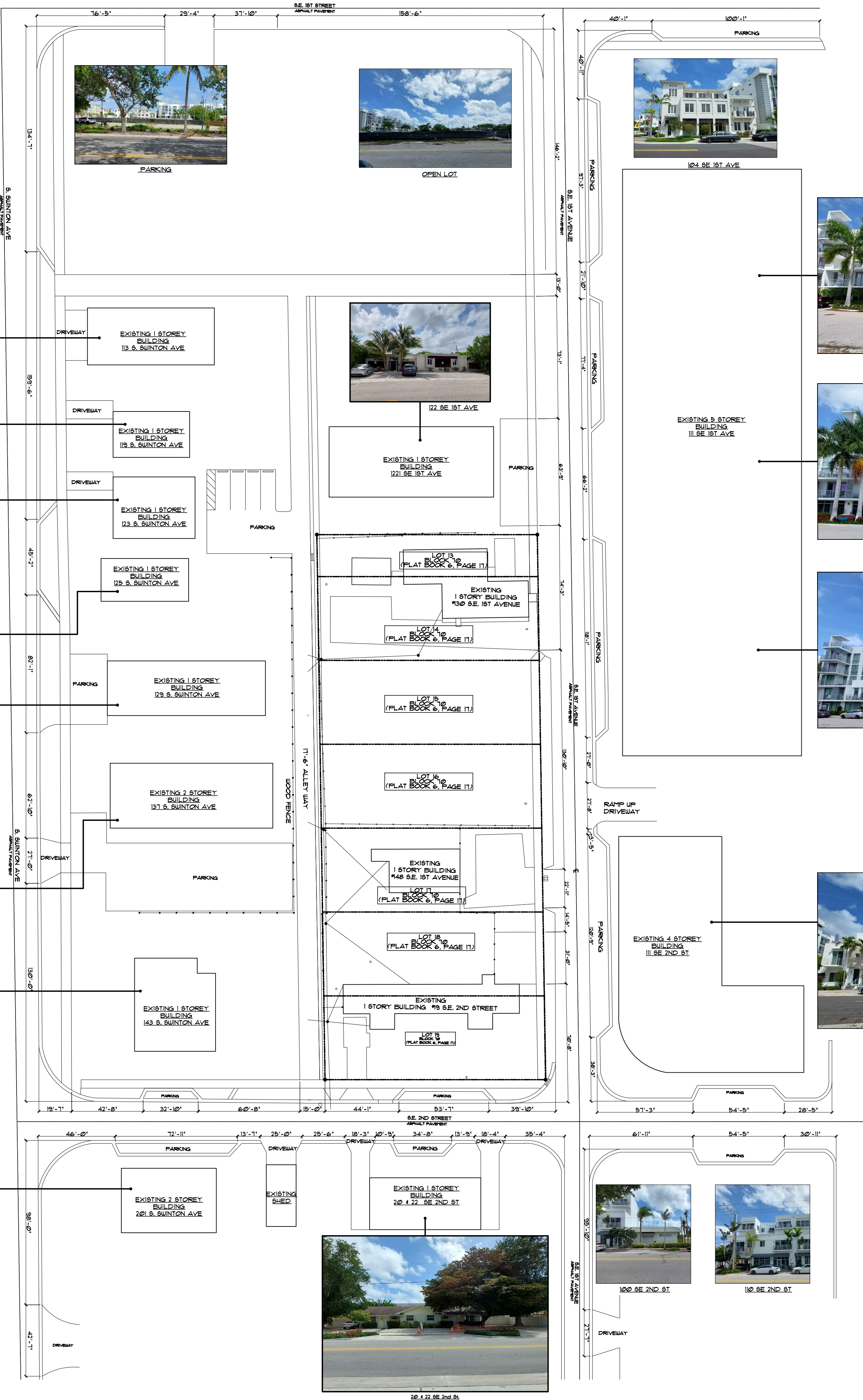
129 S. SWINTON AVE



143 S. SWINTON AVE



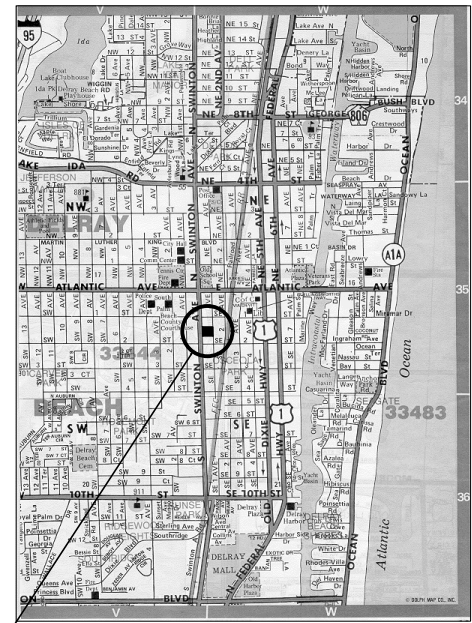
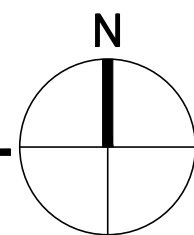
201 S. SWINTON AVE



1  
A102

## ARCHITECTURAL CONTEXT PLAN

SCALE: N.T.S.

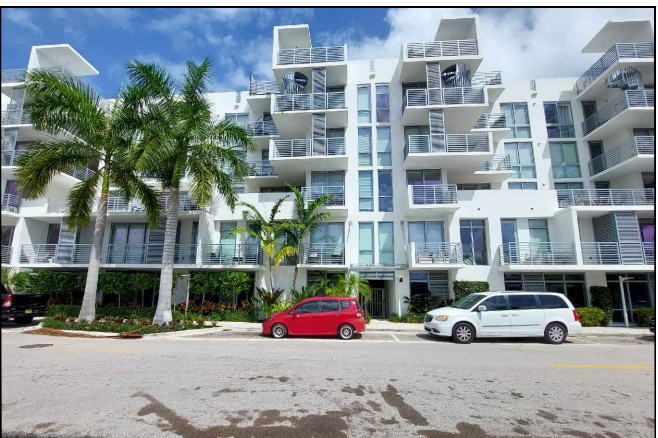


PROPOSED PROJECT IS LOCATED ON NW CORNER OF SW 2ND STREET AND SE 1ST AVE.

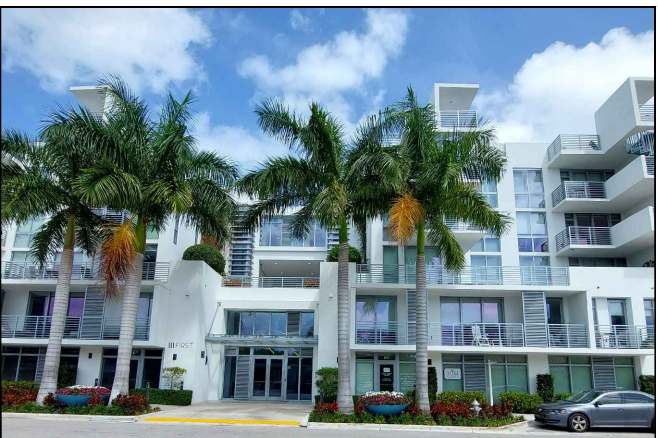
VICINITY MAP

### NOTES:

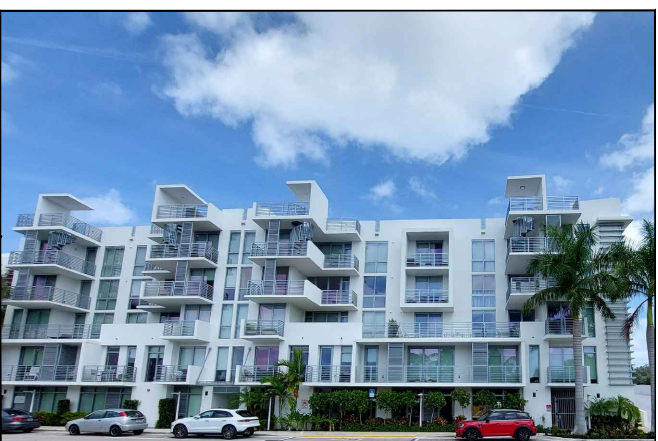
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



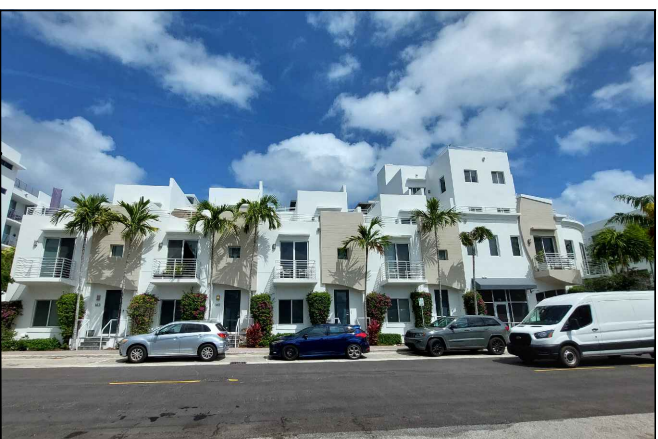
111 SE 1ST AVE



111 SE 1ST AVE



111 SE 1ST AVE



111 SE 2ND ST



100 SE 2ND ST



100 SE 2ND ST



201 SE 2ND ST

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.



architecture, planning  
and design

1045 East Atlantic Ave., Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

**RESIDENTIAL  
DUPLEX**

**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

REVISIONS

- REVISOR: 5/22/23 AS PER H.P.B. COMMENTS.
1. ROTATE PLAN TO SHOW SITE ORIENTED WITH NORTH TO THE TOP OF THE PAGE
  2. LOCATION OF DRIVEWAYS OF ADJACENT PROPERTIES HAVE BEEN LABELED.
  3. APPROXIMATE LOCATION OF SURROUNDING STRUCTURES ADDED TO DRAWING.

FILE NUMBER

109A102

DRAWING TITLE

**ARCHITECTURAL  
CONTEXT PLAN**

DATE

3.31.23

DRAWN BY

GE/BM

JOB NUMBER

20230109

DRAWING NUMBER

**A1.02**

6/30/2023 2:09:05 PM



AREA CALCULATIONS - FOR UNITS A AND B	
PROPOSED FIRST FLOOR UNDER A/C	1,075 S/F
PROPOSED 2 CAR GARAGE	558 S/F
PROPOSED FRONT COVERED PORCH	118 S/F
PROPOSED SIDE TERRACE	199 S/F
PROPOSED FIRST FLOOR UNDER ROOF	1,751 S/F
PROPOSED SECOND FLOOR UNDER A/C	1,339 S/F
PROPOSED FRONT COVERED PORCH	118 S/F
PROPOSED TRELLIS / TERRACE PORCH	128 S/F
PROPOSED SIDE COVERED PORCH	114 S/F
PROPOSED SECOND FLOOR UNDER ROOF	1,571 S/F
TOTAL FLOOR UNDER A/C	2,414 S/F
TOTAL FLOOR UNDER ROOF	3,322 S/F



architecture, planning  
and design

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR  
BIDS  
PERMIT  
CONSTRUCTION

PROJECT TITLE  
**RESIDENTIAL  
DUPLEX  
LOT 1**

**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER  
**109A200**

DRAWING TITLE  
**PROPOSED  
GROUND  
FLOOR PLAN  
LOT 1**

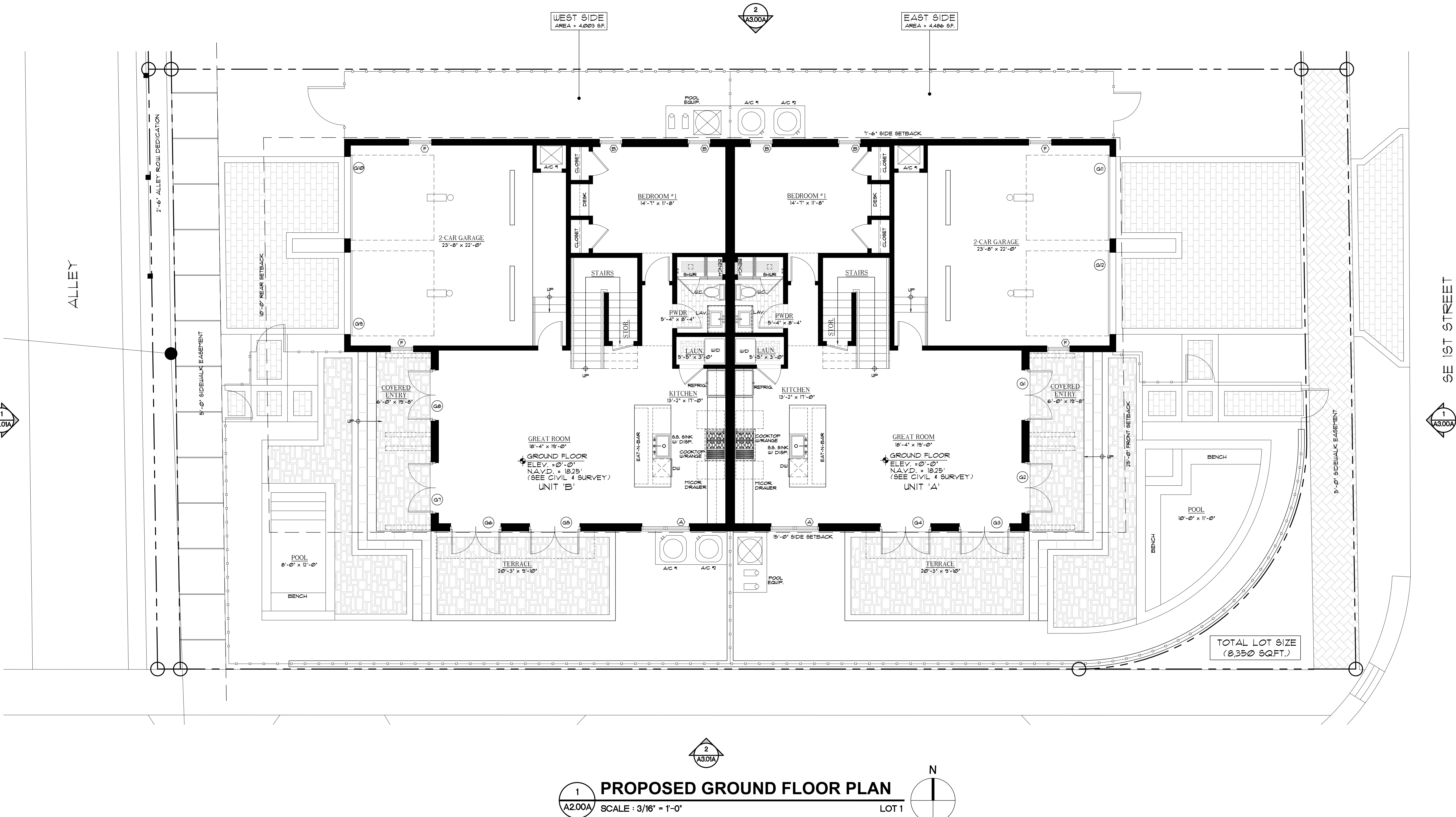
DATE  
**1-31-23**  
JOB NUMBER  
**20230109**

DRAWN BY  
**GE/MJ**

DRAWING NUMBER

**A2.00A**

- NOTES:
- DO NOT SCALE DRAWINGS!
  - FIELD VERIFY ALL DIMENSIONS!
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
  - ALL AREA CALCULATIONS ARE APPROX.



THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.



ge  
architecture.inc

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

## CONSTRUCTION

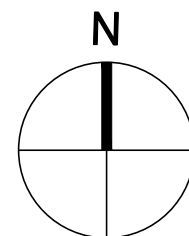
**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

## A2.01A

6/30/2023 2:08:36 PM



LOT 1



1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS.  
(SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



AREA CALCULATIONS - FOR UNITS A AND B		
PROPOSED FIRST FLOOR UNDER A/C	1202 S.F.	
PROPOSED 2 CAR GARAGE	593 S.F.	
PROPOSED FRONT COVERED PORCH	148 S.F.	
PROPOSED FIRST FLOOR UNDER ROOF	1943 S.F.	
PROPOSED SECOND FLOOR UNDER A/C	1243 S.F.	
PROPOSED FRONT COVERED PORCH	148 S.F.	
PROPOSED TRELLIS / TERRACE PORCH	401 S.F.	
PROPOSED SECOND FLOOR UNDER ROOF	1392 S.F.	
TOTAL FLOOR UNDER A/C	2,444 S.F.	
TOTAL FLOOR UNDER ROOF	3,292 S.F.	



architecture, planning  
and design

1045 East Atlantic Ave., Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

RESIDENTIAL  
DUPLEX  
LOTS 2 AND 4

130 SE 1ST AVENUE  
DELRAY BEACH, FL

REVISIONS:  
REVISED 8/22/23 AS PER H.P.D.  
COMMENTS:  
1. DUPLEX PLANS HAVE BEEN  
MODIFIED IN ORDER TO MEET 4,000  
SF DUPLEX LOT REQUIREMENT.

FILE NUMBER  
109A200B

DRAWING TITLE

PROPOSED  
GROUND  
FLOOR PLAN  
LOTS 2 AND 4

DATE  
2.15.23

DRAWN BY  
GE/MJ

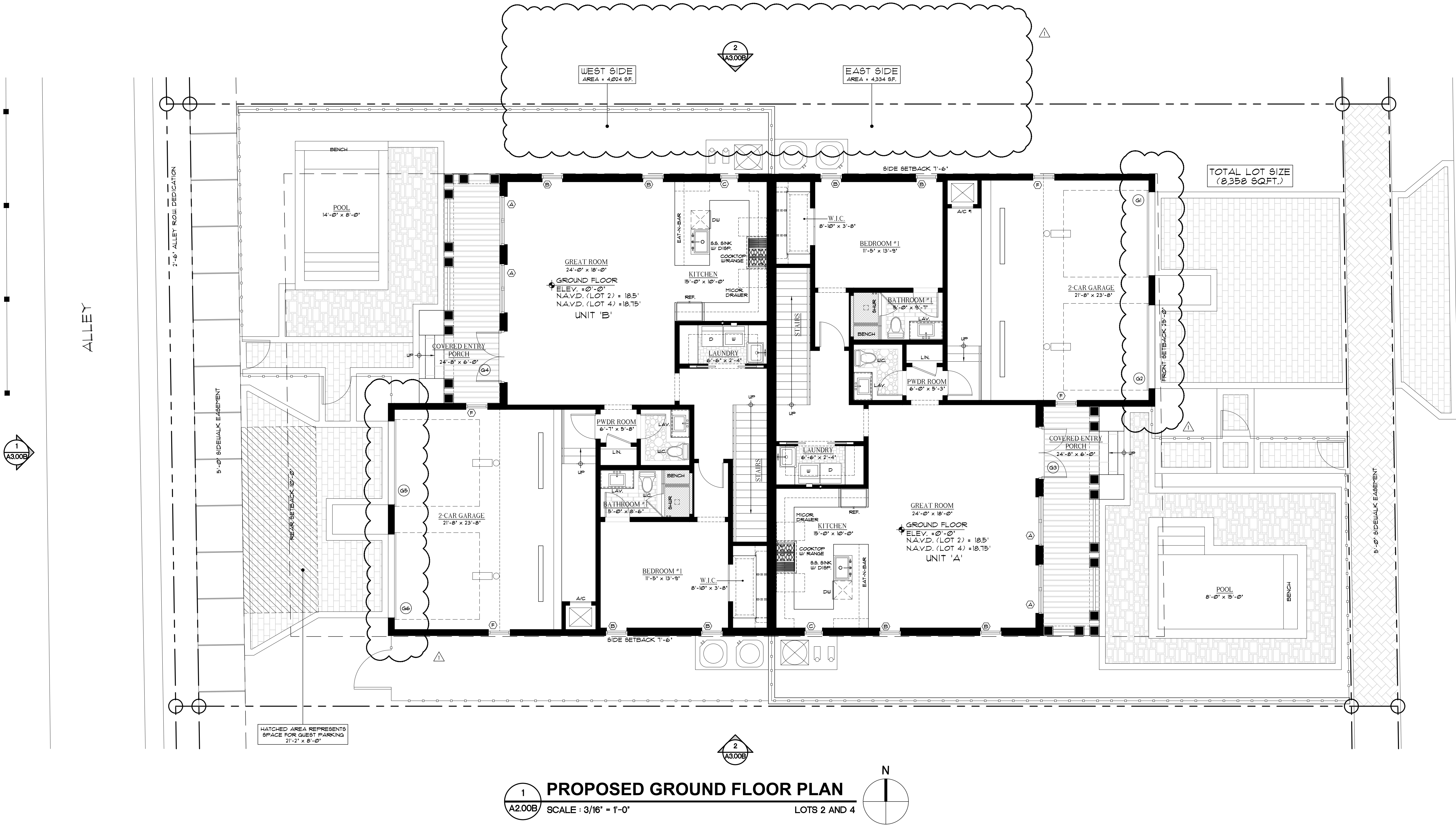
JOB NUMBER  
20230109

DRAWING NUMBER

A2.00B

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



6/30/2023 2:17:29 PM

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.



AREA CALCULATIONS	
PROPOSED FIRST FLOOR UNDER A/C	1202 S/F
PROPOSED 2 CAR GARAGE	552 S/F
PROPOSED FRONT COVERED PORCH	148 S/F
PROPOSED FIRST FLOOR UNDER ROOF	1902 S/F
PROPOSED SECOND FLOOR UNDER A/C	1242 S/F
PROPOSED FRONT COVERED PORCH	148 S/F
PROPOSED TRELLIS / TERRACE PORCH	402 S/F
PROPOSED SECOND FLOOR UNDER ROOF	1390 S/F
TOTAL FLOOR UNDER A/C	2444 S/F
TOTAL FLOOR UNDER ROOF	3292 S/F



architecture, planning  
and design

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

**RESIDENTIAL  
DUPLEX  
LOTS 2 AND 4**

**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER

109A201B

DRAWING TITLE

**PROPOSED  
SECOND  
FLOOR PLAN  
LOTS 2 AND 4**

DATE

2.15.23

DRAWN BY

GE/MJ

JOB NUMBER

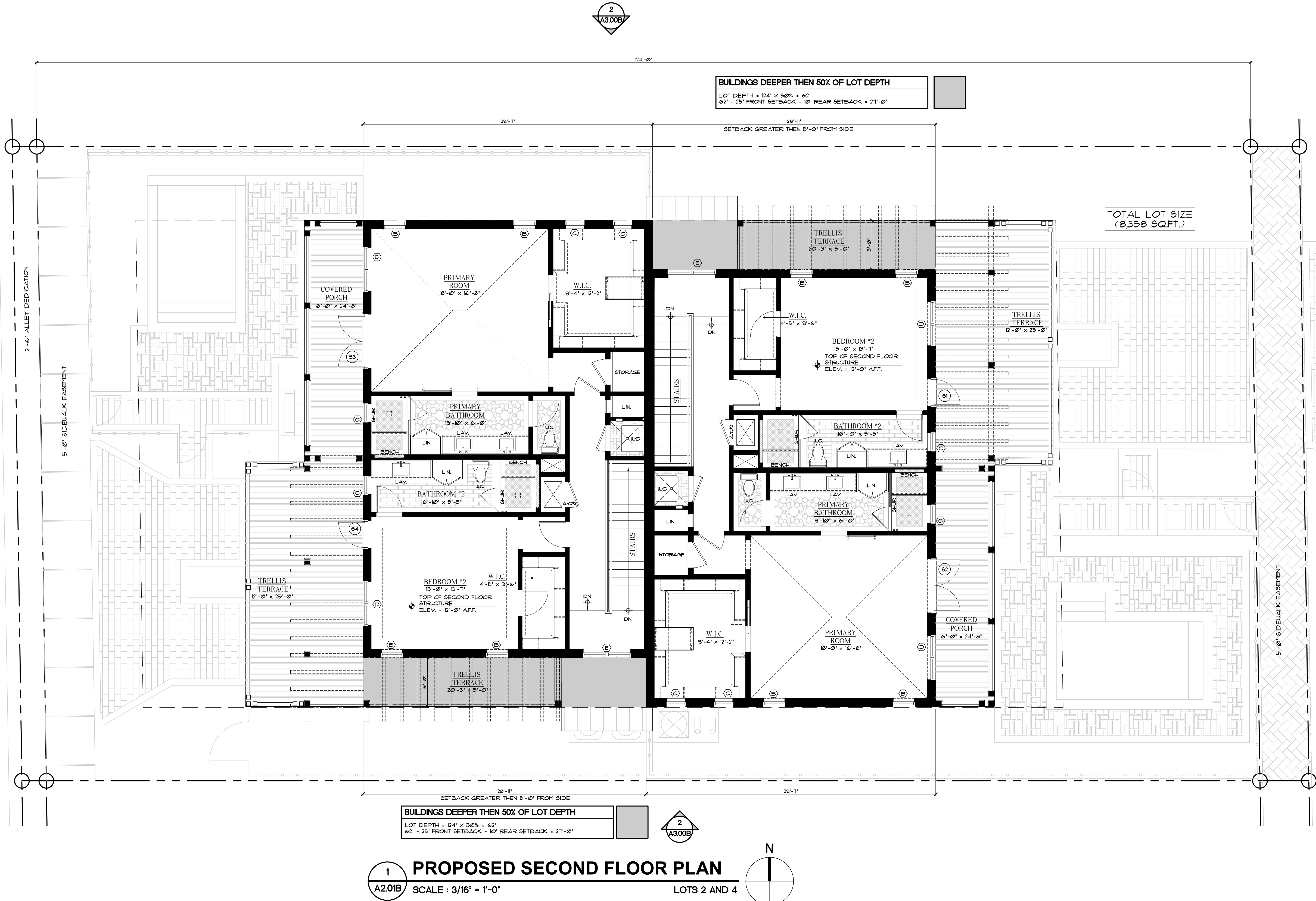
20230109

DRAWING NUMBER

**A2.01B**

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.







architecture, planning  
and design

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR  
BIDS  
PERMIT  
CONSTRUCTION

PROJECT TITLE  
**RESIDENTIAL  
DUPLEX  
LOTS 2 AND 4**

**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

REVISIONS

FILE NUMBER  
**109A201B**

DRAWING TITLE  
**PROPOSED  
ROOF PLAN  
LOTS 2 AND 4**

DATE  
**2.15.23**  
JOB NUMBER  
**20230109**

DRAWING NUMBER

**A2.02B**

6/30/2023 3:02:30 PM

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.



**1 PROPOSED B.H.P. DIAGRAM**  
SCALE : 3/16" = 1'-0"  
LOT 2 AND 4

2  
A3.00B

STANDING BEAM ROOFING SYSTEM 'DREXEL METALS' - SNAP LOCK SYSTEM W/ 1 3/4" HIGH BEAM W/240" ALUM. ALLOY #3005-H14 PANELS W/ SLATE GRAY KYNAR 500 FIN. BY 'AMETCO ROOFING' OR EQUAL (VERIFY COLOR W/ BUILDER). OVER (1) LAYER OF H.T. 'TETHSHIELD' - 'HIGH TEMP-PEEL-N-STICK'; (2) LAYER #30 FELT T.T. TO 15/32" APA. EXT. GRADE PLYWOOD SHEATHING (TYP.).

REQUESTED RELIEF FROM BUILDING HEIGHT REQUIREMENTS LISTED IN LDR SECTION 45.1.E.1.N.B.)  
HATCH REPRESENTS BUILDING HEIGHT PLANE 12'-0\"/>

DECORATIVE ALUMINUM 5' x 5' POST - TYP. AT SECOND FLOOR TERRACE W/ - ALL E.S.P. POWDER COAT FINISH (COLOR (BM) PRISMO MAC-32) - BY 'JC ORNAMENTAL IRON WORK' OR EQUAL. (NOTE: ALL CORE DRILLING INTO CONCRETE SLABS SHALL RECEIVE WATERPROOF SEALANT -SIKALASTIC 110/15 OR EQUAL - PRIOR TO INSERTION OF POST INTO STRUCTURE.)

1  
A3.00B

6 x 10 S4S CEDAR TRELLIS JOIST & 6 x 12 S4S TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL (PAINTED) - SEE STRUCT. DUGS. FOR ALL HIDDEN CONNECTIONS (TYP. W/ CONT. COPPER FLASHING @ TOP OF ALL TRELLIS MEMBERS) - CONTRACTOR TO PROVIDE ALT. PRICE FOR ALUMINUM TRELLIS - COLOR WHITE.

ALUMINUM DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR (BM) PRISMO MAC-32); TOP OF RAIL MIN. 42" WITH HORIZONTAL LOUVERED BLADES / PATTERN TO BE SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2' AFF. -TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2020 EDITION).

STANDING BEAM ROOFING SYSTEM 'DREXEL METALS' - SNAP LOCK SYSTEM W/ 1 3/4" HIGH BEAM W/240" ALUM. ALLOY #3005-H14 PANELS W/ SLATE GRAY KYNAR 500 FIN. BY 'AMETCO ROOFING' OR EQUAL (VERIFY COLOR W/ BUILDER). OVER (1) LAYER OF H.T. 'TETHSHIELD' - 'HIGH TEMP-PEEL-N-STICK'; (2) LAYER #30 FELT T.T. TO 15/32" APA. EXT. GRADE PLYWOOD SHEATHING (TYP.).

6 x 10 S4S CEDAR TRELLIS JOIST & 6 x 12 S4S TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL (PAINTED) - SEE STRUCT. DUGS. FOR ALL HIDDEN CONNECTIONS (TYP. W/ CONT. COPPER FLASHING @ TOP OF ALL TRELLIS MEMBERS) - CONTRACTOR TO PROVIDE ALT. PRICE FOR ALUMINUM TRELLIS - COLOR WHITE.

ALUMINUM DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR (BM) PRISMO MAC-32); TOP OF RAIL MIN. 42" WITH HORIZONTAL LOUVERED BLADES / PATTERN TO BE SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2' AFF. -TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2020 EDITION).

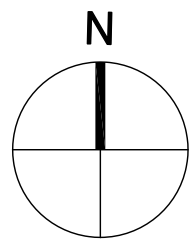
DECORATIVE ALUMINUM 5' x 5' POST - TYP. AT SECOND FLOOR TERRACE W/ - ALL E.S.P. POWDER COAT FINISH (COLOR (BM) PRISMO MAC-32) - BY 'JC ORNAMENTAL IRON WORK' OR EQUAL. (NOTE: ALL CORE DRILLING INTO CONCRETE SLABS SHALL RECEIVE WATERPROOF SEALANT -SIKALASTIC 110/15 OR EQUAL - PRIOR TO INSERTION OF POST INTO STRUCTURE.)

1  
A3.00B

**LEGEND:**  
INDICATES ROOF OVERHANG W/ DECORATIVE BRACKETS / OUTLOOKERS (SEE REFLECTIVE CEILING PLAN).  
HOUSE TO HAVE 4:12 SLOPE FOR ROOF  
NOTE: CONTRACTOR TO PROVIDE MECHANICAL AND TRUSS FABRICATOR WITH ALL THE APPROPRIATE DRAWINGS FOR COORDINATION OF DUST WORK PENETRATIONS THROUGHOUT THE STRUCTURE. (TYPICAL).  
NOTE: ROOF ATTIC SHALL COMPLY W/ F.B.C. - 2020 ED - ATTIC SPACE  
NOTE: ROOF TO BE 'CLOSED SYSTEM' USING BLOK ON R-30 'ICYNENE' INSULATION BY 'GALE INSULATION' OR EQUAL TO THE UNDERSIDE OF THE ROOF SHEATHING (TYP.).  
(NOTE: ALL 'ICYNENE FOAM' TO BE PROTECTED WITH DG-315 COATING AS PER MANUFACTURER'S SPECIFICATIONS & THE FLORIDA BUILDING CODE 2020- ONLY IF MECHANICAL EQUIP. IS INSTALLED IN ROOF ATTIC.)

**NOTES:**  
1. DO NOT SCALE DRAWINGS!  
2. FIELD VERIFY ALL DIMENSIONS!  
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).  
4. ALL AREA CALCULATIONS ARE APPROX.

**2 PROPOSED ROOF PLAN**  
SCALE : 3/16" = 1'-0"  
LOTS 2 AND 4



2  
A3.00B



ALLEY

1  
A3.000

2'-6" ALLEY DEDICATION

5'-0" SIDEWALK EASEMENT

REAR SETBACK 10'-0"

HATCHED AREA REPRESENTS  
SPACE FOR GUEST PARKING  
22'-0" x 8'-0"

BENCH  
POOL  
14'-0" x 8'-0"

COVERED ENTRY  
PORCH  
24'-8" x 6'-0"

GREAT ROOM  
24'-0" x 18'-0"  
ELEV. = 0'-0"  
N.A.V.D. = 18.15'  
(SEE CIVIL & SURVEY)  
UNIT 'B'

WEST SIDE  
AREA = 4,024 S.F.

2  
A3.000

EAST SIDE  
AREA = 4,334 S.F.

SIDE SETBACK 1'-6"

W.I.C.  
8'-10" x 3'-8"

BEDROOM #1  
11'-5" x 13'-9"

BATHROOM #1  
9'-0" x 9'-1"

PWDR ROOM  
6'-1" x 5'-3"

2-CAR GARAGE  
21'-8" x 23'-8"

TOTAL LOT SIZE  
(8,358 SQ.FT.)

FRONT SETBACK 25'-0"

5'-0" SIDEWALK EASEMENT

POOL  
8'-0" x 15'-0"

COVERED ENTRY  
PORCH  
24'-8" x 6'-0"

GREAT ROOM  
24'-0" x 18'-0"  
ELEV. = 0'-0"  
N.A.V.D. = 18.15'  
(SEE CIVIL & SURVEY)  
UNIT 'A'

KITCHEN  
15'-0" x 10'-0"

W.I.C.  
8'-10" x 3'-8"

BEDROOM #1  
11'-5" x 13'-9"

BATHROOM #1  
9'-0" x 9'-1"

PWDR ROOM  
6'-1" x 5'-3"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

LAUNDRY  
6'-6" x 2'-4"

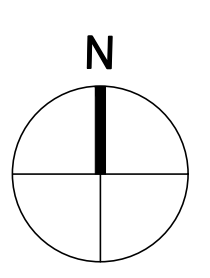
LAUNDRY  
6'-6" x 2'-4"

1  
A2.00C

PROPOSED GROUND FLOOR PLAN

SCALE : 3/16" = 1'-0"

LOTS 3 AND 5



AREA CALCULATIONS - FOR UNITS A AND B	
PROPOSED FIRST FLOOR UNDER A/C	1,192 S.F.
PROPOSED 2 CAR GARAGE	562 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED FIRST FLOOR UNDER ROOF	1,902 S.F.
PROPOSED SECOND FLOOR UNDER A/C	1,242 S.F.
PROPOSED FRONT COVERED PORCH	148 S.F.
PROPOSED SECOND FLOOR UNDER ROOF	1,390 S.F.
TOTAL FLOOR UNDER A/C	2,434 S.F.
TOTAL FLOOR UNDER ROOF	3,292 S.F.

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES.)
- ALL AREA CALCULATIONS ARE APPROX.



architecture, planning  
and design

1045 East Atlantic Ave., Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE  
**RESIDENTIAL  
DUPLEX  
LOTS 3 AND 5**

**130 SE 1ST AVENUE  
DELRAY BEACH, FL**

REVISIONS  
REVISED 5/22/23 AS PER H.P.B.  
COMMENTS:  
1. DUPLEX PLANS HAVE BEEN  
MODIFIED IN ORDER TO MEET 4,000  
SF DUPLEX LOT REQUIREMENT.

FILE NUMBER  
**109A200C**

DRAWING TITLE  
**PROPOSED  
GROUND  
FLOOR PLAN  
LOTS 3 AND 5**

DATE  
**2.15.23**

DRAWN BY  
**GE/MJ**

JOB NUMBER  
**20230109**

DRAWING NUMBER

**A2.00C**

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.

6/30/2023 2:21:32 PM



AREA CALCULATIONS (PER UNIT)	
PROPOSED FIRST FLOOR UNDER A/C	1182 S/F
PROPOSED 2 CAR GARAGE	562 S/F
PROPOSED FRONT COVERED PORCH	148 S/F
PROPOSED FIRST FLOOR UNDER ROOF	1302 S/F
PROPOSED SECOND FLOOR UNDER A/C	1242 S/F
PROPOSED FRONT COVERED PORCH	148 S/F
PROPOSED SECOND FLOOR UNDER ROOF	1390 S/F
TOTAL FLOOR UNDER A/C	2434 S/F
TOTAL FLOOR UNDER ROOF	2392 S/F



architecture, planning  
and design

1045 East Atlantic Ave, Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

RESIDENTIAL  
DUPLEX  
LOTS 3 AND 5

130 SE 1ST AVENUE  
DELRAY BEACH, FL

REVISIONS

FILE NUMBER  
109A201C

DRAWING TITLE

PROPOSED  
SECOND  
FLOOR PLAN  
LOTS 3 AND 5

DATE  
2.15.23

DRAWN BY  
GE/MJ

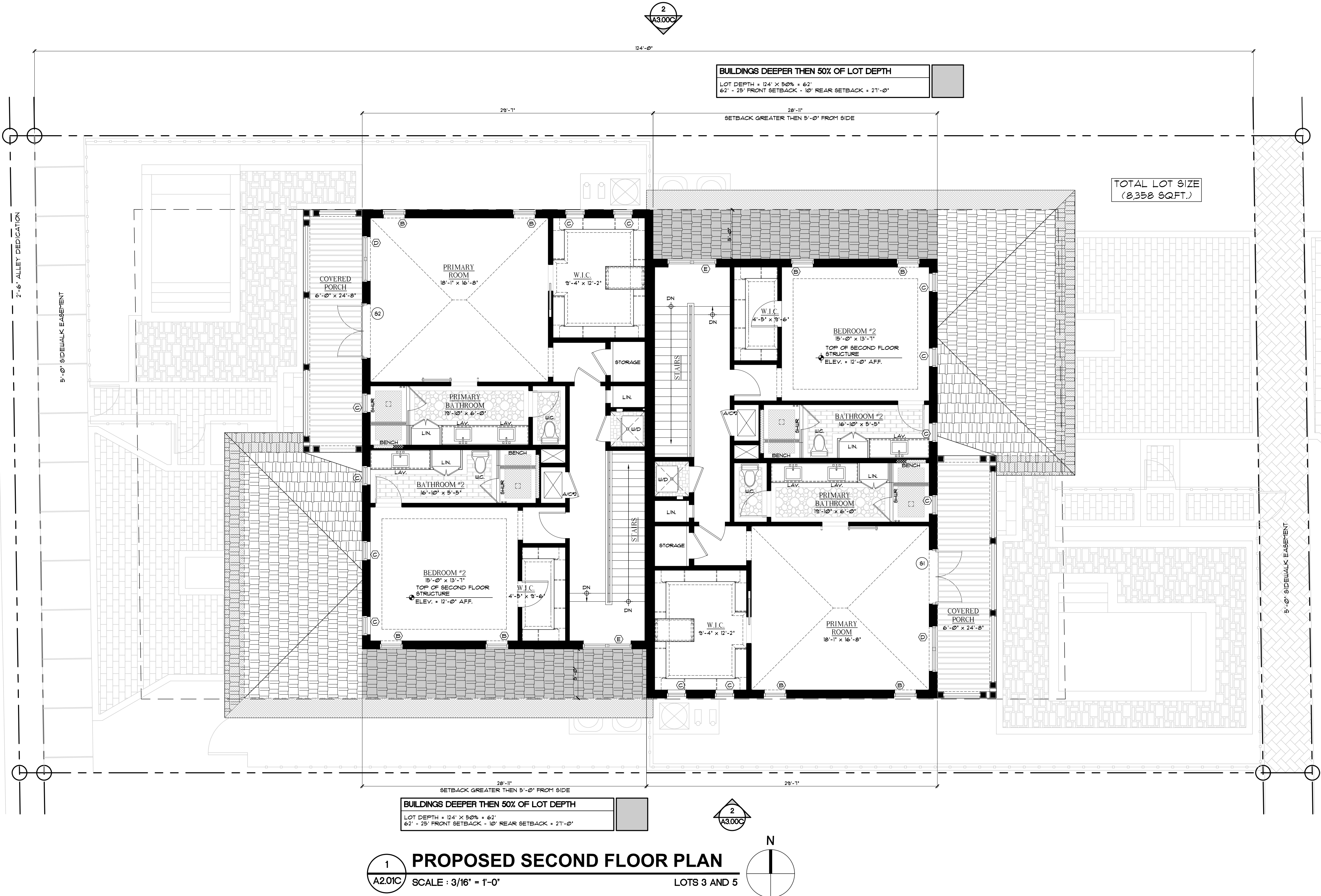
JOB NUMBER  
20230109

DRAWING NUMBER

A2.01C

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
- ALL AREA CALCULATIONS ARE APPROX.

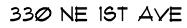
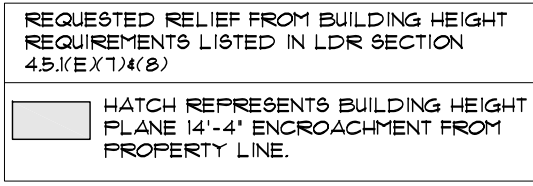


1  
A2.01C  
**PROPOSED SECOND FLOOR PLAN**  
SCALE : 3/16" = 1'-0"  
LOTS 3 AND 5

6/30/2023 2:21:10 PM

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.





(A2.02C) SCALE : 3/16" = 1'-0" LOTS 3 AND 5

SANTA PAULA - BEL AIR #4549 - COLOR THRU BY "EAGLE ROOF TILE, INC." OVER 30" FELT HOT MOPPED ON 30" FELT TIN-TAGGED TO 3/4" A.P.A. RATED EXT. GRADE PLYWD. SHEATH'G. INSTALL AS PER ROOF'G. SPEC'S. (TYP.) (NOTE: ALL HIP\$ TO HAVE MITERED CAPS). —

- SANTA PAULA - BEL AIR #4549 - COLOR THRU BY 'EAGLE ROOF TILE, INC.' OVER 30" FELT HOT MOFFED ON 30" FELT TIN-TAGGED TO 3/4" A.P.A. RATED EXT. GRADE FLYWD. SHEATH'G. INSTALL AS PER ROOF'G. SPEC'S. (TYP.) (NOTE: ALL HIPS TO HAVE MITERED CAPS).

**NOTES:**

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

architecture, planning  
and design

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

## CONSTRUCTION

PROJECT TITLE

# RESIDENTIAL DUPLEX LOTS 3 AND 5

130 SE 1ST AVENUE  
DELRAY BEACH, FL

## REVISIONS

FILE NUMBER **109A202C**

DRAWING TITLE

# PROPOSED ROOF PLAN LOTS 3 AND 5

DATE **2.15.23** | DRAWN BY **GE/MJ**

JOB NUMBER **20230109**

DRAWING NUMBER

## A2.02C

6/30/2023 3:05:06 PM



NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

LIGHT FIXTURES  
(BY TROY LIGHTING OR EQUAL)

- 1. TROY LIGHTING "LARCHMONT" OUTDOOR WALL SCONCE 4 LIGHT, OVER GARAGE DOORS, 32W, - AGED PEUTER #33213.
- 2. TROY LIGHTING "LARCHMONT" OUTDOOR WALL SCONCE 3 LIGHT, ENTRY PORCH, 25W, - AGED PEUTER #33212.
- 3. TROY LIGHTING "LARCHMONT" OUTDOOR WALL SCONCE 2 LIGHT AT SECOND FLOOR, 18W, AGED PEUTER #33311.

ALL LIGHT FIXTURES TO BE APPROVED BY BUILDER / ARCHITECT.

- ALL EXTERIOR LUMINAIRES WATTAGE TO BE BETWEEN 20 TO 90 WATTS. (NOT TO EXCEED 90 WATTS)
- ALL EXTERIOR LUMINAIRES MUST HAVE A SHIELD WHICH RESTRICTS THE LIGHT LEVELS BETWEEN 20-50 500 FT WAVELENGTH AND AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND LOT 1

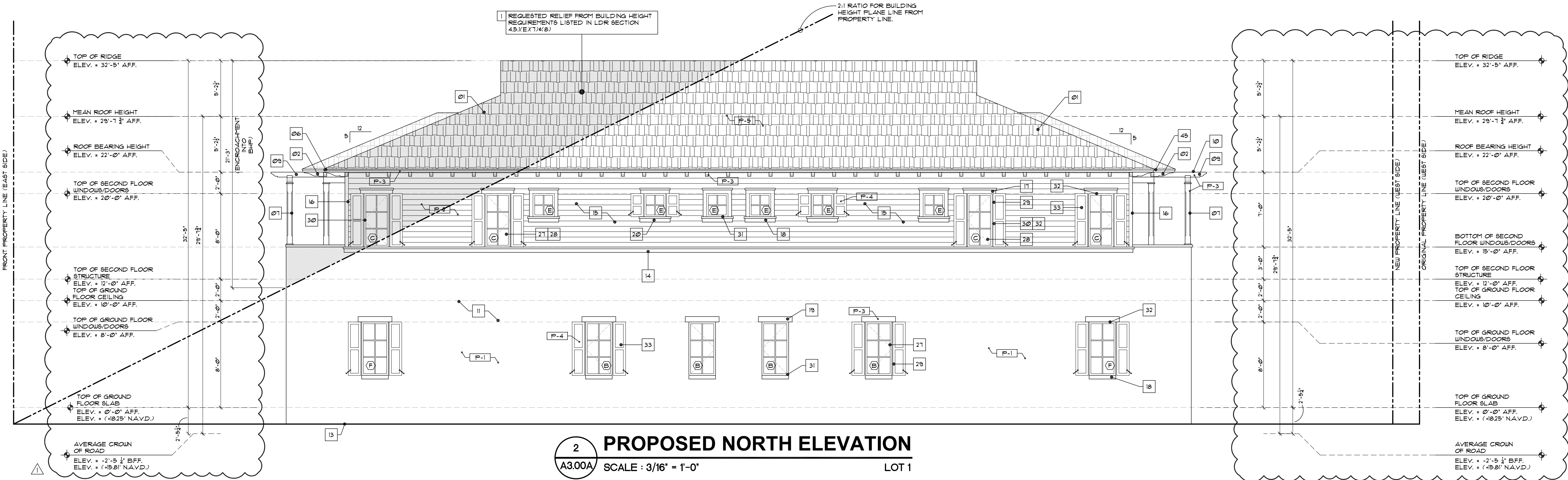
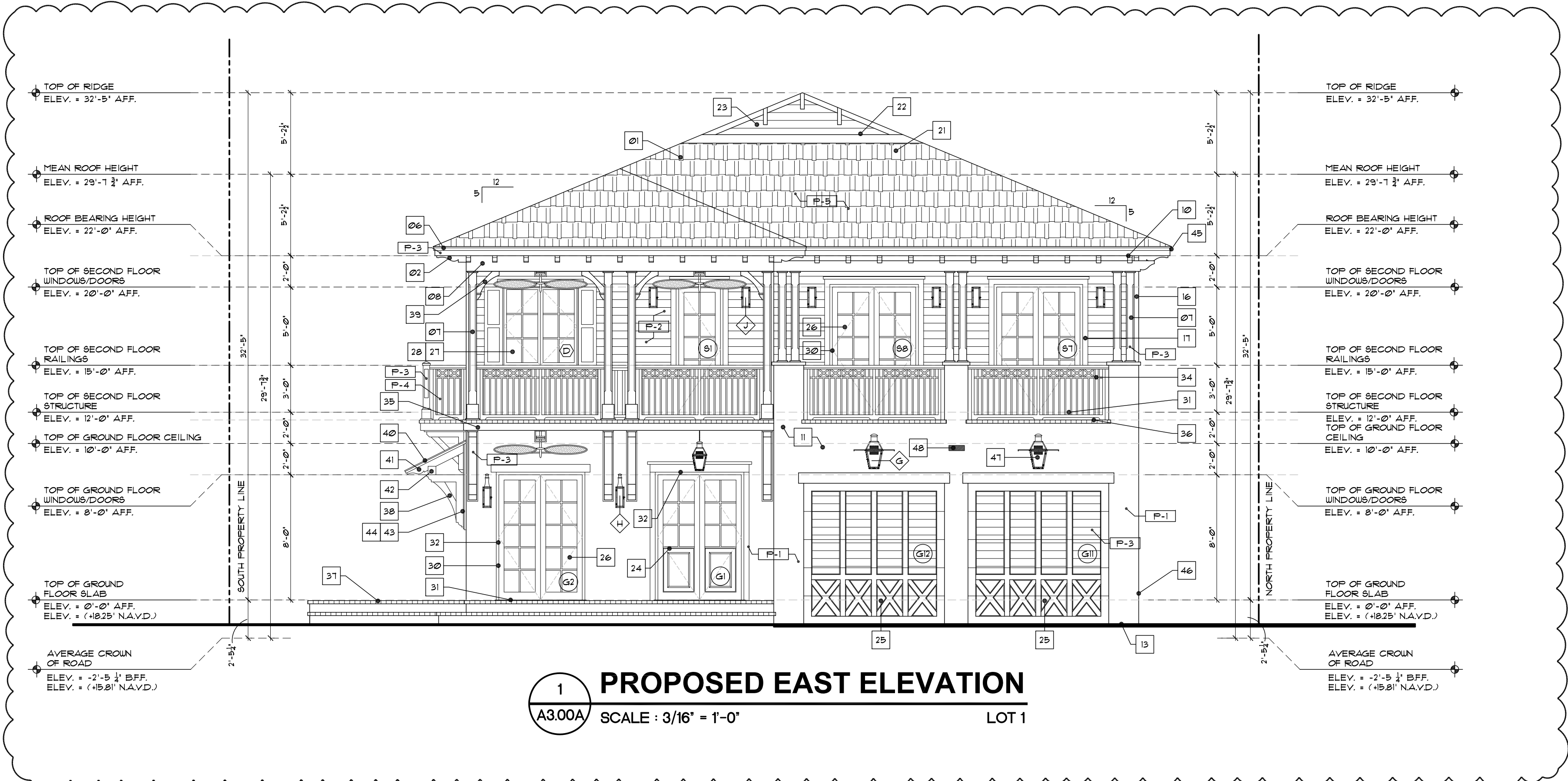
- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

- P-1 ACADIA WHITE MAC-41 - (MAIN BODY OF STRUCTURE - LOWER LEVEL SMOOTH STUCCO)
- P-2 GLACIER WHITE - OC-31 (STUCCO - LAPSIDING - AT SECOND FLOOR LEVEL)
- P-3 BRILLIANT WHITE - FASCIA BOARDS, OUTLOOKERS, COLUMNS, BRACKETS, WINDOW / DOORS AND TRELLIS.
- P-4 OLD NAVY #065-10 (DECORATIVE RAILINGS AND SHUTTERS)
- P-5 SIERRA MADRE - BEL AIR #4503 - (EAGLE ROOF TILE, INC.)

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR BUILDER APPROVAL.

- 1. REQUESTED RELIEF FROM BUILDING HEIGHT REQUIREMENTS LISTED IN LDR SECTION 4.5.1 (EX. 7.14.6.2)

HATCH REPRESENTS BUILDING HEIGHT PLANE 21'-3" ENCROACHMENT FROM PROPERTY LINE.



ELEVATION NOTES LOT 1

1. SIERRA MADRE - BEL AIR #4503 - COLOR THRU BY 'EAGLE ROOF TILE, INC.' OVER 30" FELT NOT MOFFED ON 30" FELT TIN-TAGGED TO 3/4" APA RATED EXT. GRADE PLYD SHEATHING. INSTALL AS PER ROOFING SPECS. (TYP.) (NOTE: ALL HIP'S TO HAVE MITERED CARBS).
2. 30" x 3" x 6" DECORATIVE OUTRIGGERS (NOTE: KING OUTRIGGERS 42") W/ 'CELLULOSE' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN UTC-5061 URETHANE ELASTOMER COATING OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ 'DOU ENERFOAM' FOAM SEALANT, - (UNDERSIDE OF SOFFIT TO BE 3" 3-COATS SMOOTH STUCCO FINISH W/ 1" x 6" T&G PATTERN - PAINTED - SEE REFLECTED CEILING PLAN FOR LAYOUT).
3. SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE ALL CRICKETS TO HAVE MIN 2 LAYERS SMOOTH MODIFIED PLUG A CLASS 'A' MODIFIED CAP SHEET - TYP.).
4. BLOCK WALLS ALONG 2ND FLOOR 4 ROOF CRICKETS TO BE PROTECTED W/ 'SIKA ROOFPRO' BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPECS.
5. PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
6. CONT. ALUM. DRIP EDGE ON CONT. P.T. 1 x 2 ON CONT. 2 x 4 SMOOTH CLEAR CEDAR FASCIA - PAINTED - TYP. AT
7. 6" x 6" SMOOTH CLEAR CEDAR COLUMN W/ CHAMFERED EDGES AND 1" 'AZEK' TRIM OR EQ. - SEE STRUCT. DRAWINGS FOR HIDDEN CONNECTIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
8. 6" x 12 SMOOTH CLEAR CEDAR BEAM - PAINTED (TYP. - SECOND FLOOR COVERED PORCH CONDITIONS) - SEE REFLECTED CEILING PLAN & SECTION - ALL CONNECTION TO BE HIDDEN - VERIFY W/ STRUCTURAL DUGS.
9. 6" x 10 S4S CEDAR TRELLIS JOIST 1 x 6 x 12 S4S TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL (PAINTED) - SEE STRUCT. DUGS FOR ALL HIDDEN CONNECTIONS (TYP.) W/ CONT. COPPER FLASHING - TOP OF ALL TRELLIS MEMBERS).
10. 2 x 2 S4S CLEAR CEDAR SLEEPERS - 12" O.C. - PAINTED WHITE (TYP. AT ALL TRELLIS LOCATIONS).
11. 2-COAT 5/8" SMOOTH STUCCO FINISH, PAINTED TYP.
12. CONT. 1/2" RAISED SMOOTH STUCCO BASE, 'WATER-TABLE' - TYP. AT PERIMETER OF ENTIRE HOUSE.
13. EXTERIOR STUCCO TO EXTEND A MIN 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
14. 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - TYP. AT BOTTOM OF STUCCO LAPSIDING).
15. 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH-PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP.).
16. 2" x 4" SMOOTH STUCCO - PAINTED (TYP. - ALL CORNERS AND WINDOW SURROUNDS AT STUCCO LAPSIDING).
17. 1/4" x 4" SMOOTH RAISED STUCCO WINDOW / DOOR SURROUND W/ 1" x 1/2" TH. RAISED STUCCO BANDING AT HEADER - PAINTED (TYP. AT SECOND FLOOR LAPSIDING).
18. 1" TH. x 4" HT. RAISED SMOOTH STUCCO WINDOW SILL BANDING - PAINTED (TYP.).
19. 1/4" x 6" HT. SMOOTH RAISED STUCCO WINDOW HEADER W/ 4" EXTENSION BEYOND WINDOW JAMB, PAINTED (TYP.).
20. 2" LAYER STEP SILL BANDING 3" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" HT. W/ 3/4" PROJECTION - STUCCO) - PAINTED (TYP. - WINDOWS / LAPSIDING) SLOPED FOR POSITIVE DRAINAGE.
21. 2" x 6" SMOOTH CLEAR CEDAR FACIA BOARD - PAINTED - TYP. AT ALL BOSTON HIP ROOFS (PROVIDE ALT. PRICE FOR 'AZEK' OR EQUAL).
22. (3) 3" x 12 RIDGE RAFTER TAIL - TYP. AT 'BOSTON HIP' ROOF.
23. ALL 'BOSTON HIP' END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACING TO MEET WIND CYCLING REQUIREMENTS - SEE STRUCTURAL DUGS.
24. FRONT DOOR TO BE 'SIGNATURE DOOR INC.' STAINED 'MAHOGANY' (VERIFY W/ BUILDER OR STAIN) - INSTALLED BY 'COASTAL SUPPLY' OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REQ'TS.
25. ALL OVERHEAD INSULATED GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE (TYPICAL GARAGE DOOR BY 'BDI' - OR EQUAL - OFFSET DOORS FOR DECORATIVE 'BORAL' APPLIED PANELS OR EQUAL (TO BE SELECTED BY BUILDER - SEE EXTERIOR ELEVATIONS).
26. 'F80' '150 SERIES ALUM. FRENCH DOORS' (COLOR WHITE) - W/ GRAY TINT - GLASS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE DOOR SCHEDULE.
27. 'F80' CABINET & FIXED (SEE MEANS OF EGRESS) ALUM. WINDOW W/ GRAY TINT - GLASS (ALUM. FRAME COLOR WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE WINDOW SCHEDULE FOR ALL TRANSOM WINDOW SIZES.
28. EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 5/1 80 FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
29. ALL WINDOWS TO HAVE 1" P.T. WD BUCKS ANCHORED TO CONC AS PER PRODUCT APPROVAL.
30. ALL EXTERIOR DOORS & WINDOWS TO HAVE 'SIKAFLEX '150' OR EQUAL CAULKING - BUCK/CM/ALUM. FRAME CONDITIONS (TYP.).
31. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN 'SIKAFLEX 'PRO' OR EQUAL, 4 CONC. THRESHOLD CONC. SILL.
32. ALL DOOR & WINDOW CORNERS, HDR'S, & JAMBS TO BE WRAPPED W/ 'SIKA TOP SEAL 101' OR EQ. THEN - APPLY 'SIKAFLEX 102 EVERFLASH MEMBRANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 1" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPECS BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SIKA AND OR MANUF.
33. DECOR. ALUMINUM WINDOW SHUTTERS W/ ALL CONCEALED CONNECTION AND 2 x 8 SPACERS - REAR FOR PROTECTION FROM BUILD'S W/ E&P PAINTED - (BM) KENDAL CHARCOAL - HC-166 FOR SHUTTERS AND 'BLACK SHUTTER DOGS' OR EQUAL (COLORS TO BE APPROVED BY BUILDER).
34. FINISH (COLOR (BM) KENDAL CHARCOAL - HC-166) - TOP OF RAIL, MIN. 42" WITH PLEX- GLASS INSERTS TO BLOCK PASSAGE OF 4" SPINERS (BOTTOM RAIL MAX. 2" AFF. - TYP.) - PROVIDE SHOP DRAWINGS/ SAMPLE BY 'UC ORNAMENTAL IRON WORK' OR EQUAL, PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2020 EDITION).
35. POURED IN PLACE CONC. SLAB, SEE STRUCT. DUGS (TYP.) ALL COVERED PORCHES TO SLOPE 1/4" FT.
36. CONT. 1/4" HT. x 4" COPPER DRIP EDGE - ALL BALCONIES.
37. ALL PORCHES TO RECEIVE 'STONE PAVERS' MUDSET BY 'ARTISTIC PAVERS' OR EQUAL, NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE. DECK TO BE MUDSET OVER 125' LIQUID WATERPROOFING ON CONC. DECK, 'SIKALASTIC 110/15' OR EQ. (REQ. SAMPLE FOR OWNER / INTERIOR DESIGNER APPROVAL).
38. 4" x 10 KD AT. P.T. PINE DECORATIVE BRACKET & BASE W/ ALL COUNTERSUNK & FILLED ANCHORS - PAINTED (BM) BRILLIANT WHITE (TYP. AT FRONT COVERED ENTRANCE).
39. 3" x 4 SMOOTH CLEAR CEDAR DECORATIVE BRACKETS - W/ DECORATIVE CORBELS - PAINTED (BM) BRILLIANT WHITE (TYP. AT SECOND FLOOR COVERED PORCH).
40. SIERRA MADRE - BEL AIR #4503 - COLOR THRU ROOFING SYSTEM BY 'EAGLE ROOF TILE, INC.' ON 102" WATER SHIELD OVER 30" FELT, T.T. TO 2 x 6 P.T. T&G WOOD DECKING (TYP. - AT LOWER LEVEL SHED ROOF).
41. 3 x 6 x 4' 6" LONG P.T. S4S WOOD ROOF JOIST - PAINTED (TYP. AT LOWER LEVEL SHED ROOF).
42. 4 1/2" x 4 1/2" KD AT. P.T. WOOD BEAM - PAINTED (TYP. AT LOWER LEVEL SHED ROOF).
43. 4" x 10 KD AT. P.T. PINE DECORATIVE BRACKET & BASE W/ ALL COUNTERSUNK & FILLED ANCHORS - PAINTED (BM) BRILLIANT WHITE (TYP. AT LOWER LEVEL SHED ROOF).
44. 2 x 6 KD AT. P.T. BACK PLATE - PAINTED (BM) BRILLIANT WHITE (TYP. AT EACH BRACKET).
45. CONTRACTOR TO PROVIDE PRICE FOR ENTIRE STRUCTURE TO RECEIVE 6" HALF ROUND WHITE ALUM. GUTTERS WITH DECORATIVE GUTTER HANGERS / BRACKETS) - 4" ROUND DOWNSPOUTS - RAINSAVER GUTTER SYSTEM OR EQ. PROVIDE HOSE BIBS SEE DETAIL ON PLUMBING SHIT - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER (NOTE: ALL SECOND FLOOR PORCHES TO RECEIVE HOSE BIBS).
46. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS (NOTE: ALL FIXTURES TO BE APPROVED BY BUILDER PRIOR TO PURCHASE).
47. ADDRESS NUMBERS & LOCATION TO BE SELECTED BY OWNER (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).
48. CONCRETE PRIVACY WALL TO HAVE 2" HT. W/ 1" PROJECTION SMOOTH STUCCO BANDING - SEE SITE PLAN.
49. SELF-CLOSING, SELF LATCHING LOCKING DECORATIVE ALUMINUM GATE - (MIN. 48" HT.) W/ LATCH LOCATED A MIN. OF 84" HT. ABOVE GATE - (SEE BIDDING & SPECIFICATIONS SCHEDULE (NOTE: GATE TO OPEN IN AN OUTWARD DIRECTION).
50. DECORATIVE ALUMINUM FENCE - (MIN. 48" HT.) ALONG FRONT OF DUPLEX - W/ E&P PAINTED - (BM) COLOR - WHITE VERIFY STYLE WITH BUILDER - SEE SITE PLAN.
51. SEE SITE PLAN FOR PROPOSED LOCATIONS AT PERIMETER OF PROPERTY FOR 48" MIN. HIGH CHAINLINK FENCE W/ BLACK VINYL COATING - VERIFY W/ BUILDER ON FENCE COLOR / LOCATION.



NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

LIGHT FIXTURES  
(BY TROY LIGHTING OR EQUAL)

- ◇ TROY LIGHTING "LARCH-MONT"  
OUTDOOR WALL SCONCE 4 LIGHT.  
OVER GARAGE DOORS: 32" H. -  
AGED PEUTER "B3310".
- ◇ TROY LIGHTING "LARCH-MONT"  
OUTDOOR WALL SCONCE - 3 LIGHT.  
ENTRY PORCH: 28" H. - AGED  
PEUTER "B3312".
- ◇ TROY LIGHTING "LARCH-MONT"  
OUTDOOR WALL SCONCE 2 LIGHT  
AT SECOND FLOOR: 19" H. AGED  
PEUTER "B3311".

ALL LIGHT FIXTURES TO BE APPROVED BY  
BUILDER / ARCHITECT.

- ALL EXTERIOR LUMINAIRES WATTAGE TO BE  
BETWEEN 10 TO 50 WATTS. (NOT TO EXCEED 50  
WATTS).
- ALL EXTERIOR LUMINAIRES MUST HAVE A  
SHIELD WHICH RESTRICTS THE LIGHT LEVELS  
BETWEEN 20-50, 580 NM WAVELENGTH AND  
AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND LOT 1

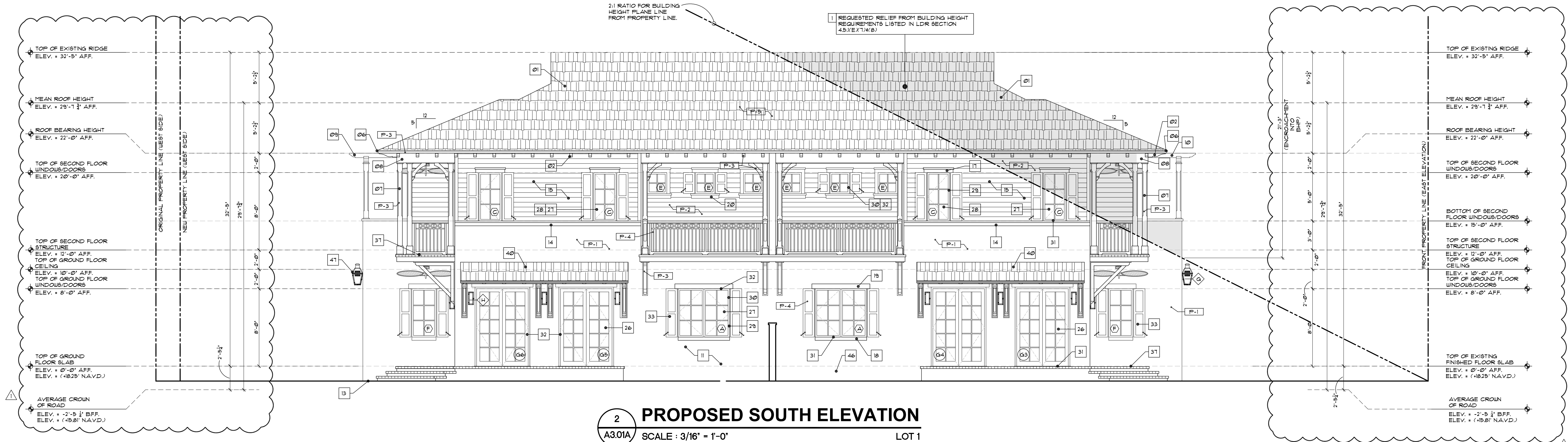
- ALL SURFACES TO BE CLEANED 1  
PRIMED AS PER BENJAMIN MOORE.

- P-1 ACADIA WHITE M2-41 - (MAIN BODY OF  
STRUCTURE - LOWER LEVEL SMOOTH  
STUCCO).
- P-2 GLACIER WHITE 100-31 (STUCCO  
LAPSIDING - AT SECOND FLOOR LEVEL).
- P-3 BRILLIANT WHITE - FASCIA BOARDS,  
OUTLOOKERS, COLUMNS, BRACKETS  
WINDOW / DOORS AND TRELLIS.
- P-4 OLD NAVY 5063-10 (DECORATIVE  
RAILINGS AND SHUTTERS).
- P-5 SIERRA MADRE - BEL AIR M503 -  
COLOR THRU BY  
"EAGLE ROOF TILE, INC."

NOTE: ALL COLORS ARE FOR PRICING PURPOSES  
ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR  
BUILDER APPROVAL.

- 1 REQUESTED RELIEF FROM BUILDING HEIGHT  
REQUIREMENTS LISTED IN LDR SECTION  
4.5(X/E)714(8).

HATCH REPRESENTS BUILDING HEIGHT  
PLANE 21'-3" ENCROACHMENT FROM  
PROPERTY LINE.



ELEVATION NOTES LOT 1

1. SIERRA MADRE - BEL AIR M503 - COLOR THRU BY "EAGLE ROOF TILE, INC." OVER 30" FELT HOT MOPPED ON 30" FELT TIN-TAGGED TO 3/4" A.P.A. RATED EXT. GRADE PLYUD. SHEATHING. INST. AS PER ROOFING SPEC'S. (TYP.) (NOTE: ALL HIPS TO HAVE MITERED CARPS).
2. 30" x 3" x 6" DECORATIVE OUTRIGGERS (NOTE: KING OUTRIGGERS 42" W/ "CELLORAM" HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN ATC-5066) UNREINFORCED ELASTOMER COATING OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ "DOU ENERFOAM" FOAM SEALANT - (UNDERSIDE OF SOPHIT TO BE 3" 3-COATS SMOOTH STUCCO FINISH W/ 1" x 6" 1/4" TAG PATTERN - PAINTED - SEE REFLECTED CEILING PLAN FOR LAYOUT).
3. SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE: ALL CRICKETS TO HAVE MIN. 2 LAYERS SMOOTH MODIFIED PLUS 4 GLASS 1/4" MODIFIED CARP SHEET - TYP.).
4. BLOCK WALLS ALONG 2ND FLOOR & ROOF CRICKETS TO BE PROTECTED W/ "SIKA ROOFPROF" BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.
5. PROVIDE KICK OUT FLASHINGS TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
6. CONT. ALUM. DRIP EDGE ON CONT. P.T. 1 x 2 ON CONT. 2 x 4 SMOOTH CLEAR CEDAR FASCIA - PAINTED - TYP. AT
7. 6" x 6" SMOOTH CLEAR CEDAR COLUMN W/ CHAMFERED EDGES AND 1" AZEK TRIM OR EQ. - SEE STRUCT. DRAWINGS FOR HIDDEN CONNECTIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
8. 6 x 12 845 SMOOTH CLEAR CEDAR BEAM - PAINTED (TYP. \* SECOND FLOOR COVERED PORCH CONDITIONS) - SEE REFLECTED CEILING PLAN & SECTION - ALL CONNECTION TO BE HIDDEN - VERIFY W/ STRUCTURAL DUGS.
9. 6 x 10 845 CEDAR TRELLIS JOIST 4 & 6 x 12 845 TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL (PAINTED) - SEE STRUCT. DUGS. FOR ALL HIDDEN CONNECTIONS (TYP. W/ CONT. COPPER FLASHING \* TOP OF ALL TRELLIS MEMBERS).
10. 2 x 2 845 CLEAR CEDAR SLEEPERS \* 12" O.C. - PAINTED WHITE (TYP. AT ALL TRELLIS LOCATIONS).
11. 2-COAT 5/8" SMOOTH STUCCO FINISH, PAINTED TYP.
12. CONT. 1/2" RAISED SMOOTH STUCCO BASE, "WATER-TABLE" - TYP. AT PERIMETER OF ENTIRE HOUSE.
13. EXTERIOR STUCCO TO EXTEND 4" MIN. 1" O.C. BELOW GRADE (TYP. \* ENTIRE PERIMETER).
14. 2" HT. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - TYP. AT BOT. OF STUCCO "LAPSIDING".
15. 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING (FVC TRIM) - FVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING-(TYP.).
16. 2" x 4" SMOOTH STUCCO - PAINTED (TYP. \* ALL CORNERS AND WINDOW SURROUNDS AT STUCCO BANDING).
17. 1"TH x 4" W SMOOTH RAISED STUCCO WINDOW / DOOR SURROUND W/ 1" x 1 1/2" TH RAISED STUCCO BANDING AT HEADER - PAINTED (TYP. AT SECOND FLOOR LAPSIDING).
18. 1" TH x 4" HT. RAISED SMOOTH STUCCO WINDOW SILL BANDING - PAINTED (TYP.).
19. 1"TH x 6" HT. SMOOTH RAISED STUCCO WINDOW HEADER W/ 4" EXTENSION BEYOND WINDOW JAMB. PAINTED (TYP.).
20. (2) LAYER STEP SILL BANDING 2" HT. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 4" HT. W/ 3/4" PROJECTION \* STUCCO) - PAINTED (TYP. \* WINDOWS / LAPSIDING) SLOPED FOR POSITIVE DRAINAGE.
21. 2" x 6" SMOOTH CLEAR CEDAR FACIA BOARD - PAINTED - TYP. AT ALL BOSTON HIP ROOFS (PROVIDE ALIF. PRICE FOR "AZEK" OR EQUAL).
22. (3) 3" x 12 RIDGE RAFTER TAIL - TYP. AT "BOSTON HIP" ROOF.
23. ALL "BOSTON HIP" END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACINGS TO MEET WIND CYCLING REQUIREMENTS - (SEE STRUCTURAL DUGS).
24. FRONT DOOR TO BE "SIGNATURE DOOR INC." STAINED MAHOGANY" (VERIFY W/ BUILDER ON STAIN) - INSTALLED BY "COASTAL SUPPLY" OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REG'TS.
25. ALL OVERHEAD INSULATED GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE (TYPICAL). GARAGE DOOR BY "EDL" OR EQUAL - OFFSET DOORS FOR DECORATIVE "BORAL" AFFIRED PANELS OR EQUAL. (TO BE SELECTED BY BUILDER - SEE EXTERIOR ELEVATIONS).
26. "FGT" 1500 SERIES ALUM. FRENCH DOORS (COLOR WHITE) - W/ GRAY TINT - GLASS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE DOOR SCHEDULE.
27. "FGT" CASEMENT 4 FIXED (SEE MEANS OF EGRESS) ALUM. WINDOWS W/ GRAY TINT - GLASS ALUM. FRAME COLOR - WHITE TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE WINDOW SCHEDULE FOR ALL TRANSOM WINDOW SIZES.
28. EGRESSES WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 57 5/8" FT. AREA AT THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
29. ALL WINDOWS TO HAVE 1" x P.T. UD. BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.
30. ALL EXTERIOR DOORS & WINDOWS TO HAVE "SIKAFLEX 1500" OR EQUAL CAULKING \* BUCK/CH/ALUM. FRAME CONDITIONS (TYP.).
31. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN "SIKAFLEX PRO" OR EQUAL 1 CONC. THRESHOLD/ CONC. SILL.
32. ALL DOOR & WINDOW CORNERS, HDR'S & JAMBS TO BE WRAPPED W/ "SIKA TOP SEAL 101" OR EQ. THEN - APPLY "SIKAFLEX 102" EVERFLASH MEMBRANE OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 12" ON THE FACE OF ALL THE OPENINGS - (REQ. SAMPLE FOR QUINER, INTERIOR DESIGNER APPROVAL). CONTRACTOR TO USE A POLYMER MODIFIED NON EPLORESCENCE MUDSET OR THINSET GROUT.
33. 4 x 10 K.D.A.T. P.T. RING DECORATIVE BRACKET 4 BASE W/ ALL COUNTERSUNK 4 FILLED ANCHORS - PAINTED (BM) BRILLIANT WHITE (TYP. AT FRONT COVERED ENTRANCE).
34. DECOR. ALUMINUM WINDOW SHUTTERS W/ ALL CONCEALED CONNECTION AND 3" x SPACERS \* REAR FOR PROTECTION FROM BUILD'G W/ E.S.P. PAINTED - (BM) KENDAL CHARCOAL - HC-166 FOR SHUTTERS AND "BLACK SHUTTER DOGS" OR EQUAL (COLORS TO BE APPROVED BY BUILDER).
35. ALUMINUM DECORATIVE "X" RAIL W/ E.S.P. POWDER COAT FINISH (COLOR (BM) KENDAL CHARCOAL - HC-166). TOP OF RAIL FIN. 42" WITH FLEX-GLASS INSERTS TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2' AFF. -TYP.) - PROVIDE SHOP DRAWINGS/ SAMPLE BY "UC ORNAMENTAL IRON WORK" OR EQUAL. PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2010 EDITION).
36. CONT. 1 1/4" HT. x 4" COPPER DRIP EDGE \* ALL BALCONIES.
37. ALL PORCHES TO RECEIVE "STONE PAVERS" MUDSET BY "ARTISTIC PAVERS" OR EQUAL. NON-SLIP W/ SQUARE EDGE AT THE OUTSIDE EDGE. DECK TO BE MUDSET OVER 125" LIQUID WATERPROOFING ON CONC. DECK. "SIKALASTIC 101/10" OR EQ. (REQ. SAMPLE FOR QUINER, INTERIOR DESIGNER APPROVAL). CONTRACTOR TO USE A POLYMER MODIFIED NON EPLORESCENCE MUDSET OR THINSET GROUT.
38. 4 x 10 K.D.A.T. P.T. RING DECORATIVE BRACKET 4 BASE W/ ALL COUNTERSUNK 4 FILLED ANCHORS - PAINTED (BM) BRILLIANT WHITE (TYP. AT FRONT COVERED ENTRANCE).
39. 3 x 4 SMOOTH CLEAR CEDAR DECORATIVE BRACKETS - W/ OUTSIDE CORBELLS - PAINTED (BM) BRILLIANT WHITE (TYP. AT SECOND FLOOR COVERED PORCH).
40. SIERRA MADRE - BEL AIR M503 - COLOR THRU ROOFING SYSTEM BY "EAGLE ROOF TILE, INC. ON "ICE 4 WATER SHIELD" OVER 30" FELT T.T. TO 2 x 6 P.T. TAG WOOD DECKING (TYP. - AT LOWER LEVEL SHED ROOF).
41. 3 x 6 x 4'-6" LONG P.T. 845 WOOD ROOF JOIST - PAINTED (TYP. AT LOWER LEVEL SHED ROOF).
42. 4 1/2" x 4 1/2" K.D.A.T. P.T. WOOD BEAM - PAINTED (TYP. AT LOWER LEVEL SHED ROOF).
43. 4 x 10 K.D.A.T. P.T. FINE DECORATIVE BRACKET 4 BASE W/ ALL COUNTERSUNK 4 FILLED ANCHORS - PAINTED (BM) BRILLIANT WHITE (TYP. AT LOWER LEVEL SHED ROOF).
44. 2 x 6 K.D.A.T. P.T. BACK PLATE - PAINTED (BM) BRILLIANT WHITE (TYP. AT EACH BRACKET).
45. CONTRACTOR TO PROVIDE PRICE FOR ENTIRE STRUCTURE TO RECEIVE 6" HALF ROUND WHITE ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS - (WITH DECORATIVE GUTTER HANGERS / BRACKETS) - 4" ROUND DOWNSPOUTS - RAINAVERS GUTTER SYSTEM INC. OR EQUAL.
46. PROVIDE HOSE BIB SEE DETAIL ON PLUMBING 6HT. - HEIGHT AND LOCATIONS TO BE COORDINATED W/ QUINER (NOTE: ALL SECOND FLOOR PORCHES TO RECEIVE HOSE BIB).
47. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY BUILDER PRIOR TO PURCHASE).
48. ADDRESS NUMBERS 1 LOCATION TO BE SELECTED BY QUINER. (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).
49. CONCRETE PRIVACY WALL TO HAVE 2" HT. W/ 1" PROJECTION SMOOTH STUCCO BANDING - SEE SITE.
50. SELF-CLOSING, SELF LATCHING LOCKING DECORATIVE ALUMINUM GATE - (MIN. 48" HT.) W/ LATCH LOCATED 4" MIN. OF 54" HT. ABOVE BOT. OF GATE - SEE SITE PLAN AND DOOR SCHEDULE (NOTE: GATE TO OPEN IN AN OUTWARD DIRECTION).
51. DECORATIVE ALUMINUM FENCE - (MIN. 48" HT.) ALONG FRONT OF DUPLEX - W/ E.S.P. PAINTED - (BM) COLOR - "WHITE" - VERIFY STYLE WITH BUILDER - SEE SITE PLAN.
52. SEE SITE PLAN FOR PROPOSED LOCATIONS AT PERIMETER OF PROPERTY FOR 48" MIN. HIGH CHAINLINK FENCE W/ BLACK VINYL COATING - VERIFY W/ BUILDER ON FENCE COLOR / LOCATION).





151 NW 1ST AVE



210 N SWINTON AVE



348 NE 1ST AVE



SUNDY VILLAGE



334 NE 1ST AVE



20 N SWINTON AVE (CRA OFFICE)



42 N SWINTON AVE



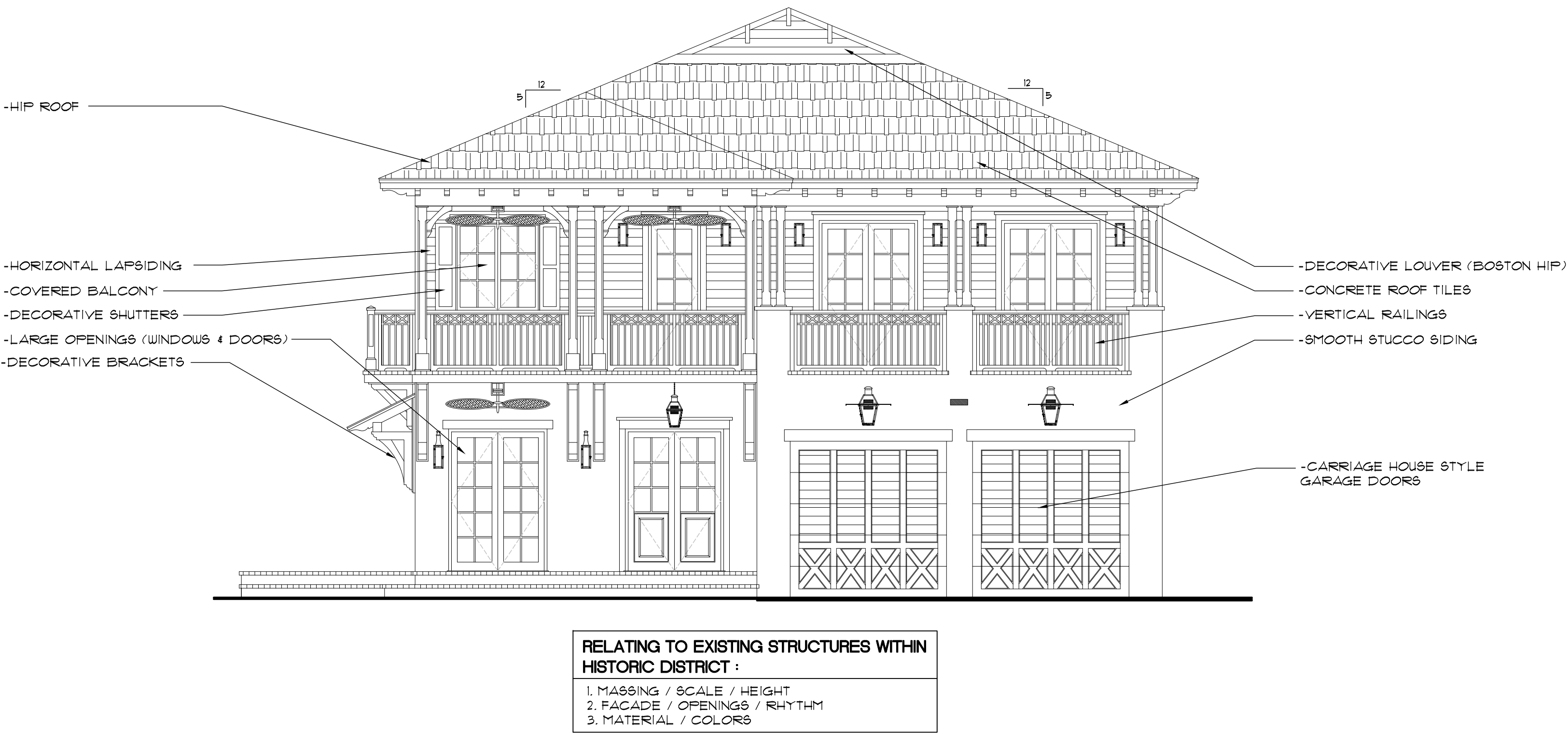
300 N SWINTON AVE



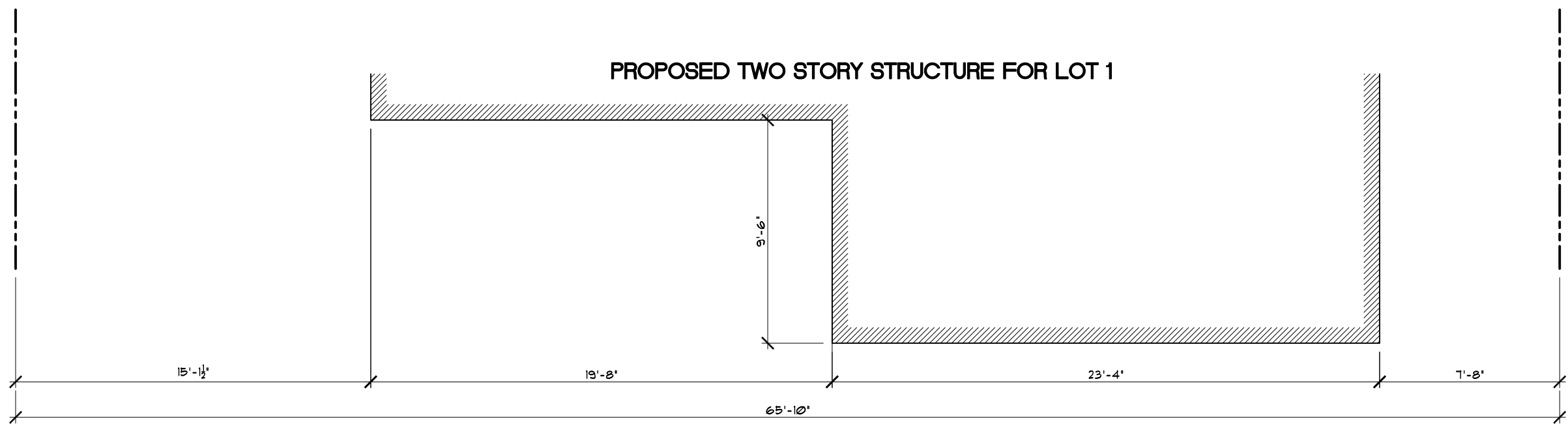
131 NE 1ST AVE



330 NE 1ST AVE



1 PROPOSED EAST ELEVATION  
A3.02A SCALE : 3/16" = 1'-0" LOT 1



$65.833' \text{ (LOT WIDTH)} \times 40\% = 26.33' - 22.5' \text{ (SIDE SETBACKS)} = 3.83' \text{ (19'-8" IS SETBACK AN ADDITIONAL 9'-6")}$

2 LOT WIDTH CALCULATION  
A3.02A SCALE : 3/16" = 1'-0" LOT 1

HISTORIC TWO STORY STRUCTURES WITHIN THE DISTRICT



NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.

LIGHT FIXTURES  
(BY LUMENS LIGHTING OR EQUAL)

- LUMENS LIGHTING "HINKLEY-ATWELL" OUTDOOR WALL SCONCE OVER GARAGE DOORS, 14.5"W x 19.25"H, - AGED ZINC "KTY666141."
- LUMENS LIGHTING "KICHLER-RIVERWOOD" OUTDOOR WALL SCONCE AT COVERED PORCHES, 6.75"W x 13.5"H, - WEATHERED ZINC "KCH4681404."

ALL LIGHT FIXTURES TO BE APPROVED BY BUILDER / ARCHITECT.

- ALL EXTERIOR LUMINAIRES WATTAGE TO BE BETWEEN 20 TO 50 WATTS (NOT TO EXCEED 50 WATTS).
- ALL EXTERIOR LUMINAIRES MUST HAVE A SHIELD WHICH RESTRICTS THE LIGHT LEVELS BETWEEN 20-50, 500 NM WAVELENGTH AND AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND LOTS 2 + 4

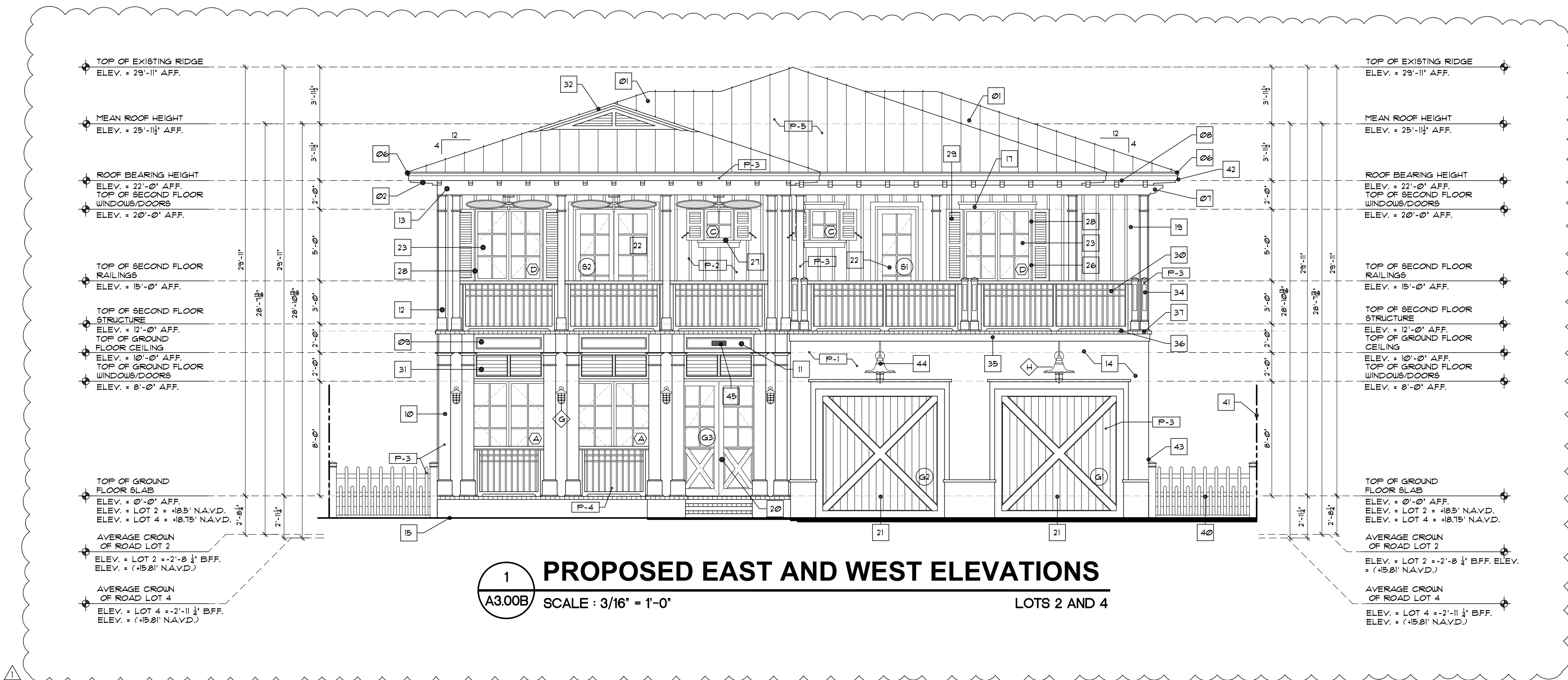
- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE

- P-1 ACACIA WHITE "MC-M" (MAIN BODY OF STRUCTURE - LOWER LEVEL SMOOTH STUCCO)
- P-2 GLACIER WHITE "OC-31" (STUCCO - BOARD-N-BATTEN - AT SECOND FLOOR LEVEL)
- P-3 BRILLIANT WHITE - "FASCIA BOARDS, OUTLOOKERS, COLUMNS, BRACKETS WINDOW / DOORS AND TRELLIS.
- P-4 BUTTER BASKET GREEN "K040-40" (DECORATIVE RAILINGS, LOUVERS AND SHUTTERS)
- P-5 STANDING SEAM ROOFING SYSTEM "DREXEL METALS" - SNAP LOCK SYSTEM W/ "SLATE GRAY" KTYNAE 5000 FIN.

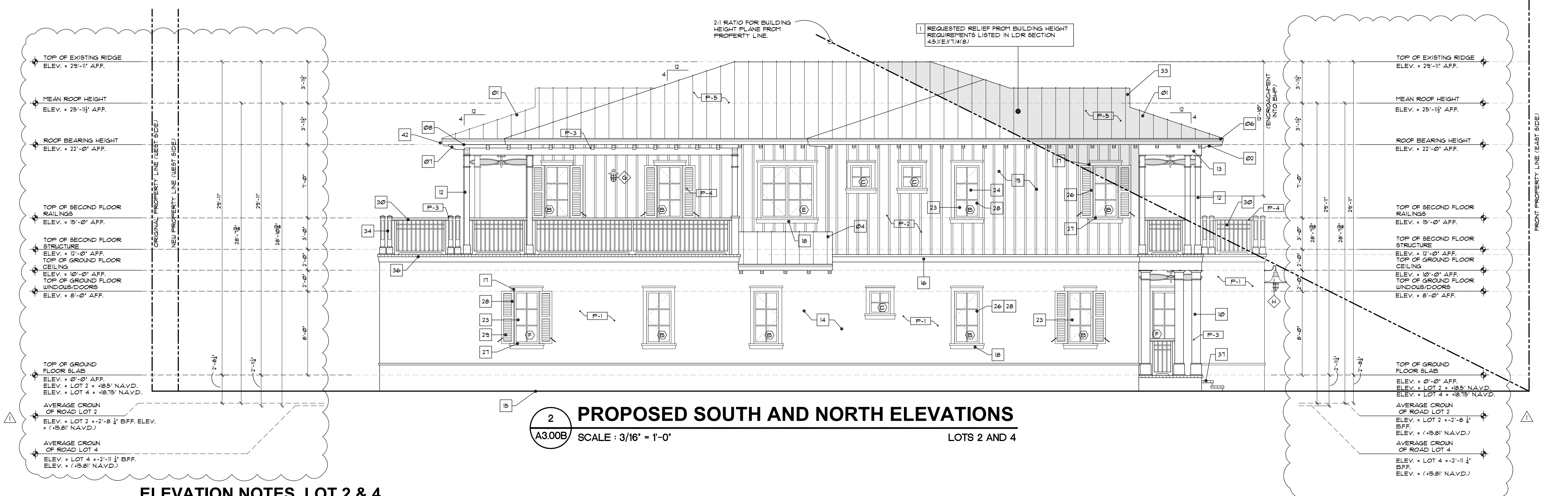
NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR BUILDER APPROVAL.

- 1 REQUESTED RELIEF FROM BUILDING HEIGHT REQUIREMENTS LISTED IN LDR SECTION 4.5.1(X.1)(4)(8)

HATCH REPRESENTS BUILDING HEIGHT PLANE 2'-10" ENCROACHMENT FROM PROPERTY LINE.



1 PROPOSED EAST AND WEST ELEVATIONS  
SCALE : 3/16\"/>



2 PROPOSED SOUTH AND NORTH ELEVATIONS  
SCALE : 3/16\"/>

ELEVATION NOTES LOT 2 & 4

- STANDING SEAM ROOFING SYSTEM "DREXEL METALS" - SNAP LOCK SYSTEM W/ 3/4" HIGH BEAM W/ 240" ALUM. ALLOY 1905-H4 PANELS W/ "SLATE GRAY" KTYNAE 5000 FIN. BY "METCO ROOFING" OR EQUAL. (VERIFY COLOR W/ BUILDER). OVER (1) LAYER OF HT. "MESHIELD" - "HIGH TEMP-FELT-N-STICK" (2) LAYER 50 FELT T.T. TO 19/32" APA EXT. GRADE PLYWOOD SHEATHING (TYP.).
- 30" x 3" x 6" DECORATIVE OUTRIGGERS (NOTE: KING OUTRIGGERS 42") W/ "CELLFOAM" HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN "KTC-506-1" URETHANE ELASTOMER COATING OR EQUAL - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ "DOU ENERFOAM" FOAM SEALANT - (UNDERSIDE OF SOFFIT TO BE 3" 3-COATS SMOOTH STUCCO FINISH W/ 1" x 6" TAG PATTERN - PAINTED - SEE REFLECTED CEILING PLAN FOR LAYOUT).
- SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE: ALL CRICKETS TO HAVE MIN. 2 LAYERS SMOOTH MODIFIED PLUS A CLASS "A" MODIFIED CAP SHEET - TYP.).
- BLOCK WALLS ALONG 2ND FLOOR & ROOF CRICKETS TO BE PROTECTED W/ "BIKA ROOFPRO" BY BIKA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.
- PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
- CONT. ALUM. DRIP EDGE ON CONT. FT. 1 & 2 ON CONT. 2 & 4 SMOOTH CLEAR CEDAR FASCIA - PAINTED - TYP. AT
- 6" x 10 9/16 CEDAR TRELLIS JOIST & 6" x 10 9/16 TRELLIS BEAMS W/ SHAPED DECORATIVE TAIL (PAINTED) - SEE STRUCT. DUGS. FOR ALL HIDDEN CONNECTIONS (TYP. W/ CONT. COPPER FLASHING @ TOP OF ALL TRELLIS MEMBERS) - CONTRACTOR TO PROVIDE ALT. PRICE FOR ALUMINUM TRELLIS - COLOR WHITE.
- 2 x 2 9/16 CEDAR SLEEPERS @ 12" O.C. - PAINTED WHITE (TYP. AT ALL TRELLIS LOCATIONS).
- 8" x 14" CONCRETE BEAM UNRAFFED W/ 1" "AZEK TRIM BOARDS AND DECORATIVE MOULDING - CENTERED OVER 10" x 10" COLUMNS BELOW.
- 10" x 10" SMOOTH CLEAR CEDAR COLUMNS W/ AZEK TRIM MOULDING TOP AND BOTTOM OR EQUAL - SEE STRUCTURAL DRAWINGS.
- DECORATIVE RECESSED PANELS IN CONCRETE BEAM W/ 1" "AZEK TRIM AT FRONT COVERED ENTRY PORCH.
- 6" x 6" SMOOTH CLEAR CEDAR COLUMNS W/ 1" "AZEK TRIM OR EQ. - SEE STRUCT. DRAWINGS FOR HIDDEN CONNECTIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
- 6" x 12 9/16 SMOOTH CLEAR CEDAR BEAM - PAINTED (TYP. - SEE REFLECTED CEILING PLAN & SECTION - ALL CONNECTION TO BE HIDDEN - VERIFY W/ STRUCTURAL DUGS.
- 2-COAT 5/8" SMOOTH STUCCO FINISH, PAINTED TYP.
- EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
- 2" HT. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING- (LOWER BAND 4" HT. W/ 3/4" PROJECTION @ STUCCO) TYP. AT BOTH OF STUCCO BOARD AND BATTEN.
- 1 1/4" x 4 1/2" SMOOTH RAISED STUCCO WINDOW / DOOR SURROUND W/ 1" x 1 1/2" TH. RAISED STUCCO BANDING AT HEADER - PAINTED (TYP.).
- (2) LAYER STEP BILL BANDS 2" HT. W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING- (LOWER BAND 4" HT. W/ 3/4" PROJECTION @ STUCCO) - PAINTED (TYP. - WINDOWS) SLOPED FOR POSITIVE DRAINAGE.
- 1/8" 3-COAT SMOOTH STUCCO W/ 1" x 2" BOARD-N-BATTEN - FINISH- PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO BOARD-N-BATTEN PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING-(TYP.).
- FRONT DOOR TO BE "SIGNATURE DOOR INC." STAINED "HARDGANY" (VERIFY W/ BUILDER OR STAIN) - INSTALLED BY "COASTAL SUPPLY" OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REQ'TS.
- ALL OVERHEAD INSULATED GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE (TYPICAL) GARAGE DOOR BY "EDL" OR EQUAL - OFFSET DOORS FOR DECORATIVE "ISORAL" APPLIED PANELS OR EQUAL (TO BE SELECTED BY BUILDER - SEE EXTERIOR ELEVATIONS).
- "ROT" 150 SERIES ALUM. FRENCH DOORS (COLOR WHITE) - W/ GRAY TINT - GLASS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE DOOR SCHEDULE.
- "ROT" CASEMENT 4 FIXED (SEE MEANS OF EGRESS) ALUM. WINDOWS W/ GRAY TINT - GLASS (ALUM. FRAME COLOR - WHITE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - SEE WINDOW SCHEDULE FOR ALL TRANSOM WINDOW SIZES.
- EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 5.7 SQ. FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
- ALL WINDOWS TO HAVE 1 x 1 FT. WD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.
- ALL EXTERIOR DOORS & WINDOWS TO HAVE "BIKAFLEX 150" OR EQUAL CAULKING @ BUCK/CHU/ALUM. FRAME CONDITIONS (TYP.).
- ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN "BIKAFLEX FRO" OR EQUAL 4 CONC. THRESHOLD (TYP.).
- ALL DOOR & WINDOW CORNERS, WDRS. & JAMBS TO BE UNRAFFED W/ "BIKA TOP SEAL 10" OR EQ. THEN - APPLY "BIKAFLEX 102 EVERFLASH MEMBRANE" OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 12" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPEC'S BY "BIKA" OR EQ. - NOTE: CONTRACTOR TO REQUEST "ADHESION TEST" BY BIKA AND OR MANUF.
- DECOR. ALUMINUM WINDOW SHUTTERS W/ ALL CONCEALED CONNECTION AND 2 x 8 BRACERS @ REAR FOR PROTECTION FROM BUILDING W/ E.S.P. PAINTED - (BM) "PRISMO MAC-32" FOR SHUTTERS AND "BLACK SHUTTER DOGS" OR EQUAL (COLORS TO BE APPROVED BY BUILDER).
- ALUMINUM DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR (BM) "PRISMO MAC-32"). TOP OF RAIL MIN. 42" WITH HORIZONTAL LOUVERED BLADES / PLATTERN TO BE SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2" AFF. (TYP. - PROVIDE SHOP DRAWINGS FOR ALL SIZES AND DESIGN SAFETY / SAMPLE (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2020 EDITION).
- DECORATIVE FIXED ALUMINUM LOUVERED TRANSOMS W/ CONCEALED CONNECTION AND SET IN A 45 DEGREE POSITION W/ E.S.P. PAINTED FIN. - COLOR (BM) "PRISMO MAC-32" - VERIFY W/ BUILDER TYP. - GROUND FLOOR COVERED ENTRY PORCH.
- DECORATIVE FIXED ALUMINUM LOUVERED VENTS, FIXED CLOSED POSITION W/ ALL E.S.P. POWDER COAT FINISH (COLOR WHITE) - VERIFY W/ BUILDER (TYP. AT BOTTOM HIP ENDS) OR EQUAL.
- ALL "BOTTOM HIP" END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACINGS TO MEET WIND CYCLING REQUIREMENTS - SEE STRUCTURAL DUGS.
- DECORATIVE ALUMINUM 5" x 5" POST - TYP. AT SECOND FLOOR TERRACE W/ - ALL E.S.P. POWDER COAT FINISH (COLOR (BM) "PRISMO MAC-32") - BY VC ORNAMENTAL (IRON WORK) OR EQUAL. (NOTE: ALL CORE DRILLING INTO CONCRETE SLABS SHALL RECEIVE WATERPROOF SEALANT - "BIKALASTIC 100/15" OR EQUAL - PRIOR TO INSERTION OF POST INTO STRUCTURE).
- POURED IN PLACE CONC. SLAB. SEE STRUCT. DUGS (TYP.) ALL COVERED PORCHES TO SLOPE 1/4" FT.
- CONT. 1 1/4" HT. x 4" COPPER DRIP EDGE @ ALL BALCONIES.
- ALL PORCHES TO RECEIVE "STONE PAVERS" MUDSET BY "ARTISTIC PAVERS" OR EQ. NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE. DECK TO BE MUDSET OVER "25" LIQUID WATERPROOFING ON CONC. DECK. "BIKALASTIC 100/15" OR EQ. (REQ. SAMPLE FOR OWNER / INTERIOR DESIGNER APPROVAL). CONTRACTOR TO USE A POLYMER MODIFIED, NON EFFLORESCENCE MUDSET OR THINSET GROUT.
- CONCRETE PRIVACY WALL TO HAVE 2" HT. W/ 1" PROJECTION SMOOTH STUCCO BANDING - SEE SITE PLAN.
- SELF-CLOSING, SELF LATCHING LOCKING DECORATIVE ALUMINUM GATE - (MIN. 48" HT. W/ LATCH LOCATED A MIN. OF 54" HT. ABOVE BOTTM. OF GATE. -SEE SITE PLAN AND DOOR SCHEDULE (NOTE: GATE TO OPEN IN AN OUTWARD DIRECTION).
- CONCRETE PRIVACY FENCE - (MIN. 48" HT.) ALONG FRONT OF DUPLEX W/ E.S.P. PAINTED - (BM) COLOR - WHITE - VERIFY STYLE WITH BUILDER - SEE SITE PLAN.
- SEE SITE PLAN FOR PROPOSED LOCATIONS AT PERIMETER OF PROPERTY FOR 48" MIN. HIGH CHAIN-LINK FENCE W/ BLACK VINYL COATING - VERIFY W/ BUILDER (TYP. AT BOTTOM HIP ENDS) OR EQUAL.
- CONTRACTOR TO PROVIDE PRICE FOR ENTIRE STRUCTURE TO RECEIVE 6" HALF ROUND WHITE ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS - (WITH DECORATIVE GUTTER HANGERS / BRACKETS) - A ROUND DOWNSPOUTS - RAIN-AVER GUTTER SYSTEM INC. OR EQUAL.
- PROVIDE HOSE BIB SEE DETAIL ON PLUMBING BHT. - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER (NOTE: ALL SECOND FLOOR PORCHES TO RECEIVE HOSE BIBS).
- SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPEC'S. (NOTE: ALL FIXTURES TO BE APPROVED BY BUILDER PRIOR TO PURCHASE).
- ADDRESS NUMBERS & LOCATION TO BE SELECTED BY OWNER (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).





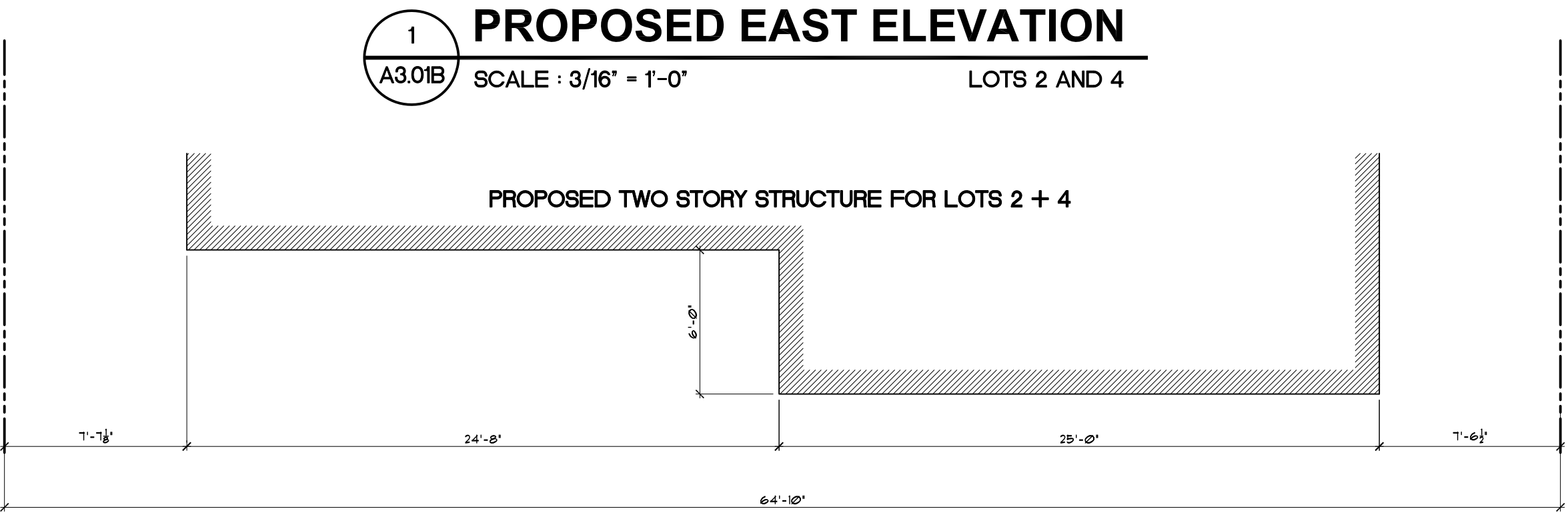
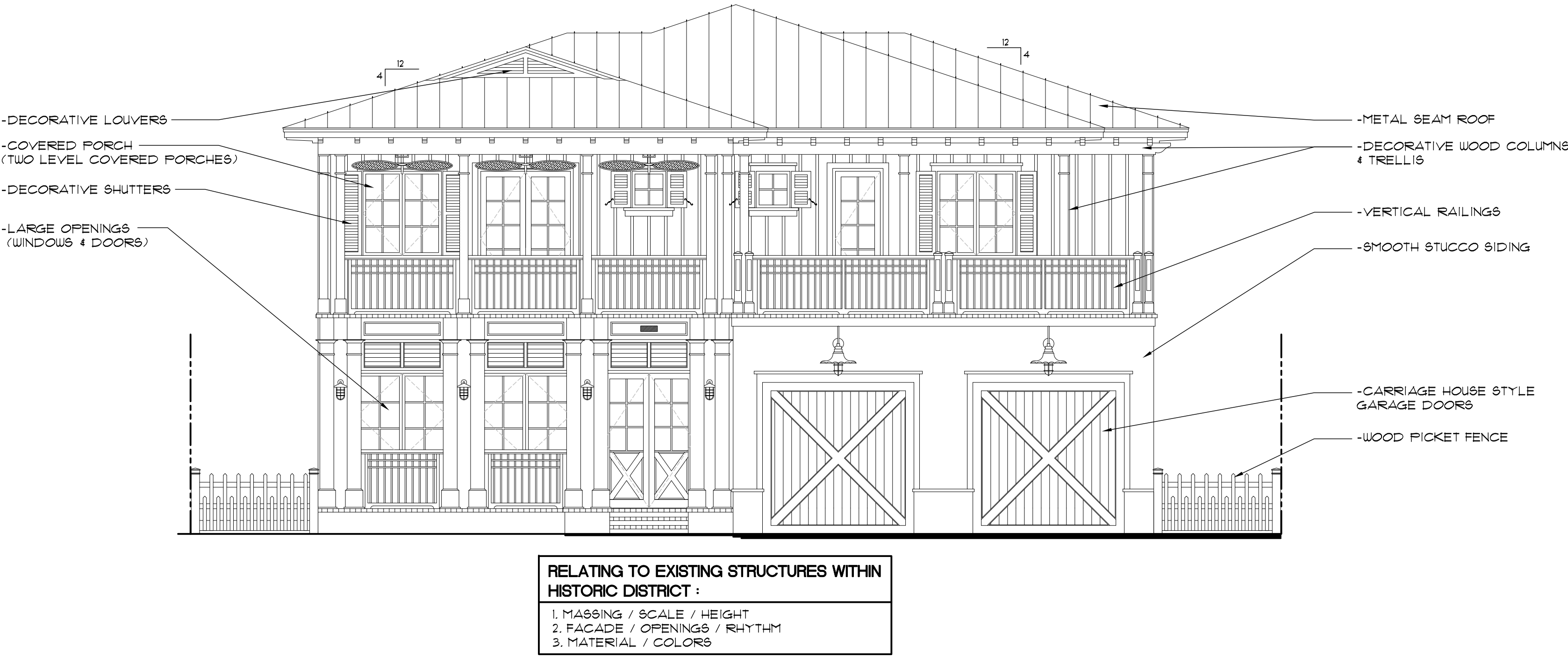
227 NW 1ST AVE



306 N SWINTON AVE



210 N SWINTON AVE



64.833' (LOT WIDTH) x 40% = 25.93' - 15' (SIDE SETBACKS) = 10.93' (24'-8" IS SETBACK AN ADDITIONAL 6'-0").  
NOTE: THIS CALCULATION IS NOT REQUIRED FOR LOTS 65'-0" OR LESS.

2 LOT WIDTH CALCULATION  
A3.01B/ SCALE : 3/16" = 1'-0" LOTS 2 AND 4

HISTORIC TWO STORY STRUCTURES WITHIN THE DISTRICT



234 BANKERS ROW



226 BANKERS ROW



20 N SWINTON AVE



150 NE 1ST AVE



338 NE 1ST AVE



300 N SWINTON AVE



NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

LIGHT FIXTURES

(BY LUMENS LIGHTING OR EQUAL)

- 1. LUMENS LIGHTING 'SLEEPLESS' OUTDOOR WALL SCONCE OVER GARAGE DOORS: 14"W x 14.63"H. - BLACK W/ Aged BRASS. - DUE1888964.
- 2. LUMENS LIGHTING 'STEAMPUNK' OUTDOOR WALL SCONCE AT COVERED PORCHES: 8.25"W x 12.75"H. - BRONZE. - MACS04131.

ALL LIGHT FIXTURES TO BE APPROVED BY BUILDER / ARCHITECT.

- ALL EXTERIOR LUMINAIRES SHALL BE BETWEEN 20 TO 50 WATTS (NOT TO EXCEED 50 WATTS).
- ALL EXTERIOR LUMINAIRES MUST HAVE A SHIELD WHICH RESTRICTS THE LIGHT LEVELS BETWEEN 20-50 580 NM WAVELENGTH AND AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND LOTS 3 + 5

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

- P-1 ACADIA WHITE MAC-41 - (MAIN BODY OF STRUCTURE - LOWER LEVEL SMOOTH STUCCO).
- P-2 GLACIER WHITE \*OC-31 (STUCCO - LAPSIDING - AT SECOND FLOOR LEVEL).
- P-3 BRILLIANT WHITE - FASCIA BOARDS, OUTDOORERS, COLUMNS, BRACKETS, GABLE ENDS, WINDOW AND DOORS.
- P-4 BRANCHPORT MAC-12 (DECORATIVE RAILINGS AND SHUTTERS).
- P-5 SANTA PAULA - BEL AIR \*4549 - COLOR THRU BY 'EAGLE ROOF TILE, INC.'

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR BUILDER APPROVAL.

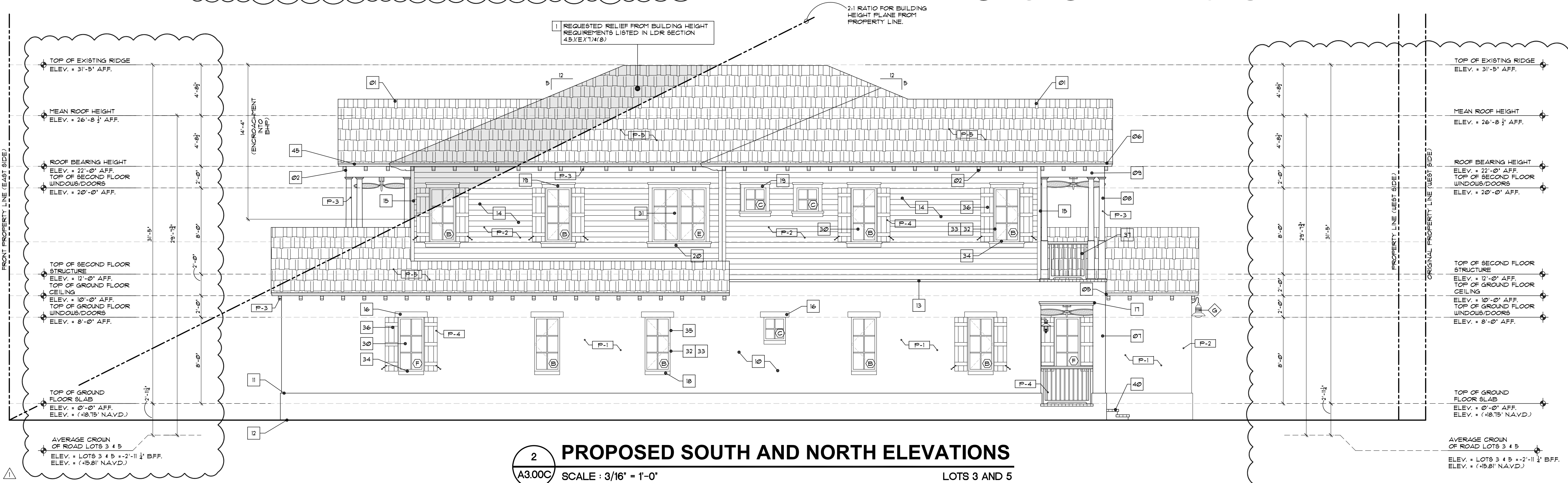
- 1. REQUESTED RELIEF FROM BUILDING HEIGHT REQUIREMENTS LISTED IN LDR SECTION 4.5.1(E)(1)(b).

HATCH REPRESENTS BUILDING HEIGHT PLANE 14'-4" ENOUGH-HEIGHT FROM PROPERTY LINE.

1 PROPOSED EAST AND WEST ELEVATIONS

A3.00C SCALE: 3/16" = 1'-0"

LOTS 3 AND 5



ELEVATION NOTES LOT 3 & 5

1. SANTA PAULA - BEL AIR \*4549 - COLOR THRU BY 'EAGLE ROOF TILE, INC.' OVER 50" FELT HOT MOFFED ON 30" FELT TIN-TAGGED TO 3/4" APA, RATED EXT. GRADE FLYD. SHEATHG. INSTALL AS PER ROOFG. SPEC'S. (TYP.) (NOTE: ALL HIPS TO HAVE MITERED GAPS).
2. 30" x 3" x 6" DECORATIVE OUTRIGGERS (NOTE: KING OUTRIGGERS 42" W/ 'CELLULOSE' HIGH DENSITY FOAM SHAPED COATED W/ POLYURETHANE RESIN \*1TC-5061 URETHANE ELASTOMER COATING OR EQUAL. - PAINTED - CONTRACTOR TO ATTACHED DECORATIVE BRACKET W/ 'DOU ENERFOAM' FOAM SEALANT. - (UNDERSIDE OF 60RIT TO BE 1/3-COATS SMOOTH STUCCO FINISH W/ 1" x 6" 1/4" PATTERN - PAINTED - SEE REFLECTED CEILING PLAN FOR LAYOUT).
3. SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE - (NOTE: ALL CRICKETS TO HAVE MIN 2 LAYERS SMOOTH MODIFIED PLUS A CLASS 'A' MODIFIED CAP SHEET - TYP.).
4. BLOCK WALLS ALONG 2ND FLOOR & ROOF CRICKETS TO BE PROTECTED W/ 'SIKA ROOFPRO' BY SIKA OR EQUAL - INSTALLED AS PER MANUF. SPEC'S.
5. PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
6. CONT. ALUM. DRIP EDGE ON CONT. RT. 1 x 2 ON CONT. 2 x 4 SMOOTH CLEAR CEDAR FASCIA - PAINTED - TYP. AT
7. 14" x 14" CONCRETE COLUMNS W/ 2-COATS 5/8" SMOOTH STUCCO PAINTED FINISH.
8. 6" x 6" SMOOTH CLEAR CEDAR TAPERED COLUMNS W/ 1" 'AZEK' TRIM OR EQ. - SEE STRUCT. DRAWINGS FOR HIDDEN CONNECTIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
9. 6 x 12 S4S SMOOTH CLEAR CEDAR BEAM - PAINTED (TYP. - SECOND FLOOR COVERED PORCH CONDITIONS) - SEE REFLECTED CEILING PLAN & SECTION - ALL CONNECTION TO BE HIDDEN - VERIFY W/ STRUCTURAL DUGS.
10. 2-COAT 5/8" SMOOTH STUCCO FINISH, PAINTED TYP.
11. CONT. 1/2" RAISED SMOOTH STUCCO BASE, 'WATER-TABLE' - TYP. AT PERIMETER OF ENTIRE HOUSE.
12. EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
13. 2" HT. W/ 1/2" PROJECTION SMOOTH STUCCO BANDING - TYP. AT BOT. OF STUCCO 'LAPSIDING'.
14. 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP.).
15. 2" x 4" SMOOTH STUCCO - PAINTED (TYP. - ALL CORNERS AND WINDOW SURROUNDS AT STUCCO LAPSIDING).
16. 1/4" x 6" HT. SMOOTH RAISED STUCCO WINDOW HEADER W/ 4" EXTENSION BEYOND WINDOW JAMB. PAINTED (TYP. AT BOT. FLOOR).
17. 2-LAYER DECORATIVE RAISED SMOOTH STUCCO BANDING OVER PORCH OPENINGS, TOP LAYER 2" HT. W/ 1/2" PROJECTION OVER LOWER LAYER 2" HT. W/ 1" PROJECTION - PAINTED (TYP. AT GROUND FLOOR).
18. 1" TH. x 4" HT. RAISED SMOOTH STUCCO WINDOW SILL BANDING - SLOPED FOR POSITIVE DRAINAGE - PAINTED (TYP.).
19. 1/4" x 4" W/ SMOOTH RAISED STUCCO WINDOW / DOOR SURROUND W/ 1" x 1 1/2" TH. RAISED STUCCO BANDING AT HEADER - PAINTED (TYP. AT SECOND FLOOR LAPSIDING).
20. 1/8" 3-COAT SMOOTH STUCCO W/ 1" x 2" BOARD-N-BATTEN - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO BOARD-N-BATTEN PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP. AT GABLE END ROOF).
21. RT. 4" x 6" SMOOTH CLEAR CEDAR FACIA BOARD W/ SHAPED ENDS - PAINTED - TYP. AT ALL GABLE ENDS (PROVIDE 1/2" FELT BETWEEN 4" x AND CHU - TYP. (PROVIDE ALT. PRICE FOR 'AZEK' OR EQUAL).
22. (3) LAYERS - 2 x 4 'AZEK' TRIM (OR EQUAL) AT PEDIMENT BASE (LOWER PORTION OF GABLE END).
23. DECORATIVE RECESSED FIXED STUCCO LOUVERED VENT. FIXED CLOSED POSITION (BACKED BY 6" CHU W/ SMOOTH RAISED STUCCO BANDING OR EQUAL - TYP. AT GABLE ENDS).
24. ALL 'BOSSON HIP' END ROOF CONDITIONS TO RECEIVE ADDITIONAL ANGLED TRUSS BRACING TO MEET WIND CYCLING REQUIREMENTS - SEE STRUCTURAL DUGS.
25. 3 x 12 RIDGE RAFTER TAIL - TYP. AT 'BOSSON HIP' ROOF.
26. FRONT DOOR TO BE 'SIGNATURE DOOR INC.' STAINED MAHOGANY' (VERIFY W/ BUILDER ON STAIN) - INSTALLED BY 'COASTAL SUPPLY' OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REGIONS.
27. ALL OVER-HEAD INSULATED GARAGE DOORS ARE TO MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE (TYPICAL) GARAGE DOOR BY 'BDI' OR EQUAL - OR SET DOORS FOR DECORATIVE 'BORAL' APPLIED PANELS OR EQUAL (TO BE SELECTED BY BUILDER - SEE EXTERIOR ELEVATIONS).
28. 1/8" 3-COAT SMOOTH STUCCO W/ 1" x 2" BOARD-N-BATTEN - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO BOARD-N-BATTEN PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP. AT GABLE END ROOF).
29. 1/8" 3-COAT SMOOTH STUCCO W/ 1" x 2" BOARD-N-BATTEN - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO BOARD-N-BATTEN PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP. AT GABLE END ROOF).
30. 1/8" 3-COAT SMOOTH STUCCO W/ 1" x 2" BOARD-N-BATTEN - FINISH - PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO BOARD-N-BATTEN PVC TRIM) - PVC TO BE AN INTEGRAL COMPONENT TO THE STUCCO SIDING (TYP. AT GABLE END ROOF).
31. EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 5.7 80 FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
32. ALL WINDOWS TO HAVE 1 x 1 FT. WD. BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.
33. ALL EXTERIOR DOORS & WINDOWS TO HAVE 'SIKAFLEX 150' OR EQUAL CAULKING - BUCK/CHU/ALUM. FRAME CONDITIONS (TYP.).
34. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN 'SIKAFLEX PRO' OR EQUAL & CONC. THRESHOLD/ CONC. SILL.
35. ALL DOOR & WINDOW CORNERS, HDR'S & JAMB'S TO BE WRAPPED W/ 'SIKA TOP SEAL 101' OR EQ. THEN - APPLY 'SIKAFLEX 150' EVERLASH MEMBRANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 12" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPEC'S BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SIKA AND OR MANUF.
36. DECOR. ALUMINUM WINDOW SHUTTERS W/ ALL CONCEALED CONNECTION AND 2 x 4 SPACERS - REAR FOR PROTECTION FROM BUILDING W/ EBP. PAINTED - (BP) 'BRANCHPORT BROWN \*1C-12' FOR SHUTTERS AND 'BLACK SHUTTER DOGS' OR EQUAL (COLORS TO BE APPROVED BY BUILDER).
37. ALUMINUM DECORATIVE RAIL W/ EBP. POWDER COAT FINISH (COLOR (BP) 'BRANCHPORT \*1C-12'). TOP OF RAIL MIN. 42" WITH VERTICAL PICKET PATTERN TO BE SPACED TO BLOCK PASSAGE OF 4" SPHERE (BOTTOM RAIL MAX. 21" AFF. - TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE. (NOTE: ALL EXTERIOR RAILINGS SHALL COMPLY W/ F.B.C. 2020 EDITION).
38. POURED IN PLACE CONC. SLAB. SEE STRUCT. DUGS (TYP.) ALL COVERED PORCHES TO SLOPE 1/4" FT.
39. CONT. 1/4" HT. x 4" COPPER DRIP EDGE - ALL BALCONIES.
40. ALL PORCHES TO RECEIVE 'STONE PAVERS' MUDSET W/ 'ARTISTIC PAVERS' OR EQUAL. NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE. CHECK TO BE MUDSET OVER 1/2" LIQUID WATERPROOFING ON CONC. DECK. 'SIKALASTIC 107/15' OR EQ. (REQ. SAMPLE FOR OWNER / INTERIOR DESIGNER APPROVAL.) CONTRACTOR TO USE A POLYMER MODIFIED NON-EFFLORESCENCE MUDSET OR THINSET GROUT.
41. CONCRETE PRIVACY WALL TO HAVE 2" HT. W/ 1" PROJECTION SMOOTH STUCCO BANDING - SEE SITE PLAN.
42. SELF-CLOSING, SELF LATCHING LOCKING DECORATIVE ALUMINUM GATE - (MIN. 48" HT.) W/ LATCH LOCATED A MIN. OF 54" HT. ABOVE BOT. OF GATE. - (SEE SITE PLAN AND DOOR SCHEDULE (NOTE: GATE TO OPEN IN AN OUTWARD DIRECTION).
43. DECORATIVE ALUMINUM FENCE - (MIN. 48" HT.) ALONG FRONT OF DUPLEX - W/ EBP. PAINTED - (BP) COLOR - 'WHITE' - VERIFY STYLE WITH BUILDER - (SEE SITE PLAN).
44. SEE SITE PLAN FOR PROPOSED LOCATIONS AT PERIMETER OF PROPERTY FOR 48" MIN. HIGH CHAIN-LINK FENCE W/ BLACK VINYL COATING - VERIFY W/ BUILDER ON FENCE COLOR / LOCATION).
45. CONTRACTOR TO PROVIDE PRICE FOR ENTIRE STRUCTURE TO RECEIVE 6" HALF ROUND WHITE ALUM. GUTTERS WITH DECORATIVE LEADER CONDUCTOR HEADS - (WITH DECORATIVE GUTTER HANGERS / BRACKETS) - 4" ROUND DOWNSPUTS - (SEE EXTERIOR ELEVATIONS) INC. OR EQUAL.
46. PROVIDE HOSE BIBS SEE DETAIL ON PLUMBING SHT. - HEIGHT AND LOCATIONS TO BE COORDINATED W/ OWNER (NOTE: ALL SECOND FLOOR PORCHES TO RECEIVE HOSE BIBS).
47. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPEC'S. (NOTE: ALL FIXTURES TO BE APPROVED BY BUILDER PRIOR TO PURCHASE).
48. ADDRESS NUMBERS & LOCATION TO BE SELECTED BY OWNER (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).





10 NE 2ND ST



306 N SWINTON AVE



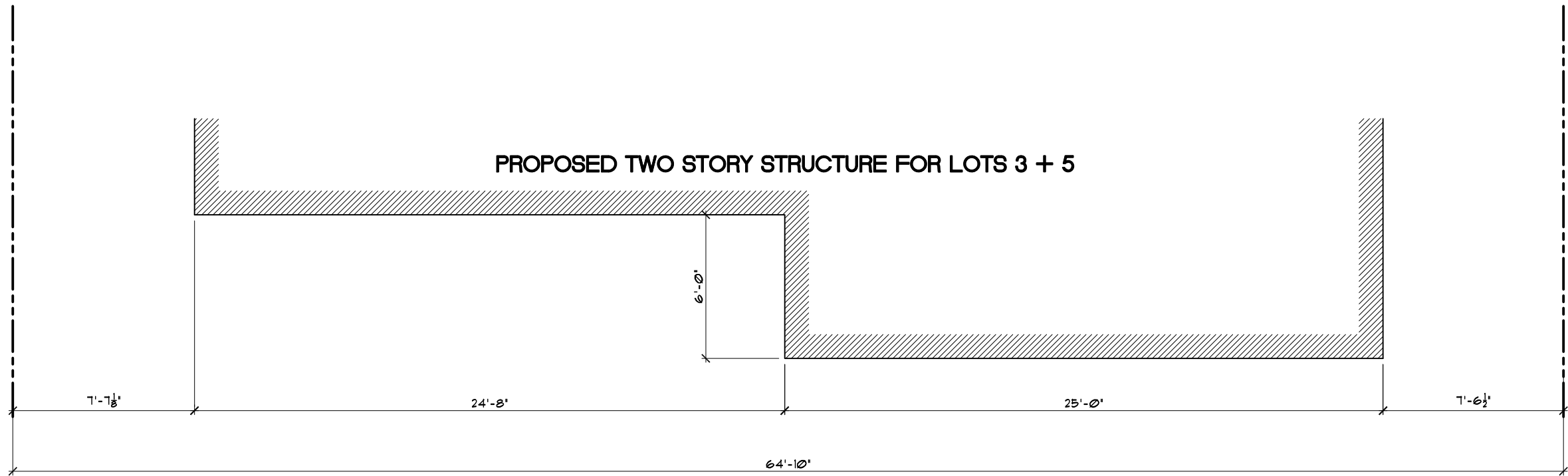
210 N SWINTON AVE



RELATING TO EXISTING STRUCTURES WITHIN HISTORIC DISTRICT :

1. MASSING / SCALE / HEIGHT  
2. FACADE / OPENINGS / RHYTHM  
3. MATERIAL / COLORS

1 PROPOSED EAST ELEVATION  
A3.01C SCALE : 3/16" = 1'-0" LOTS 3 AND 5



64.833' (LOT WIDTH) x 40% = 25.93' - 15' (SIDE SETBACKS) = 10.93' (24'-8" IS SETBACK AN ADDITIONAL 6'-0").  
NOTE: THIS CALCULATION IS NOT REQUIRED FOR LOTS 65'-0" OR LESS.

2 LOT WIDTH CALCULATION  
A3.01C SCALE : 3/16" = 1'-0" LOTS 3 AND 5



151 NW 1ST AVE



75 NW 1ST AVE



300 N SWINTON AVE



238 BANKERS ROW



SUNDY VILLAGE



226 N SWINTON AVE



architecture, planning  
and design

1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

RESIDENTIAL  
DUPLEX

130 SE 1ST AVENUE  
DELRAY BEACH, FL

REVISIONS

FILE NUMBER 109A301C

DRAWING TITLE

PROPOSED  
VISUAL  
COMPATABILITY

DATE 5.22.23 | DRAWN BY GE/MJ

JOB NUMBER 20230109

DRAWING NUMBER

A3.01C



## DOOR SCHEDULE

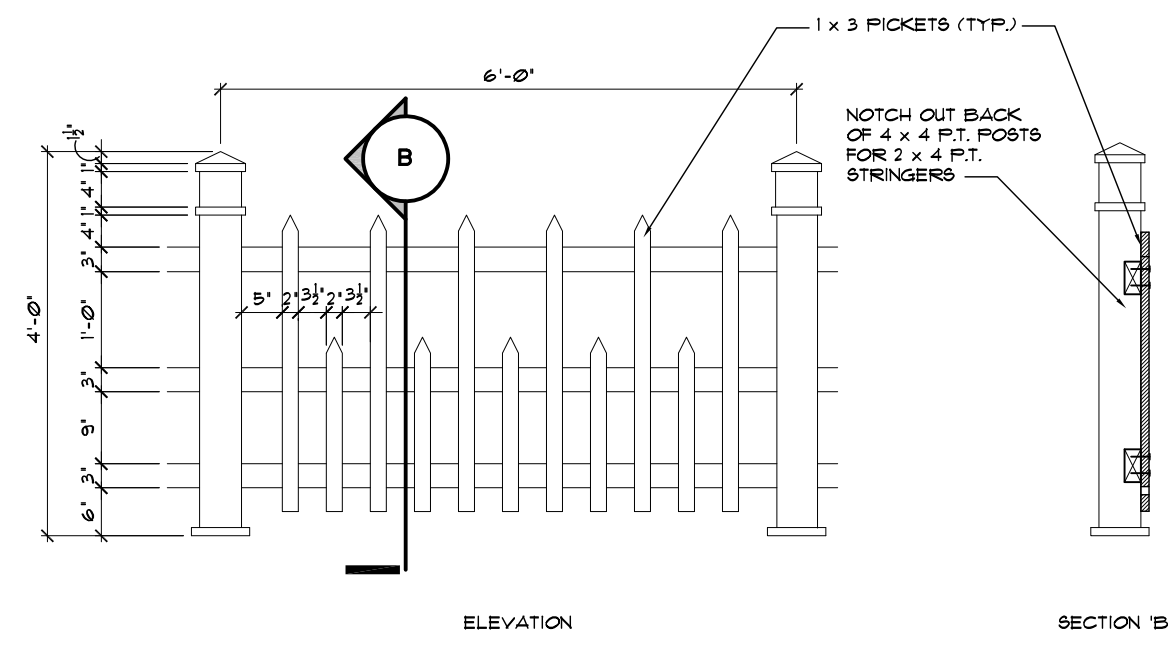
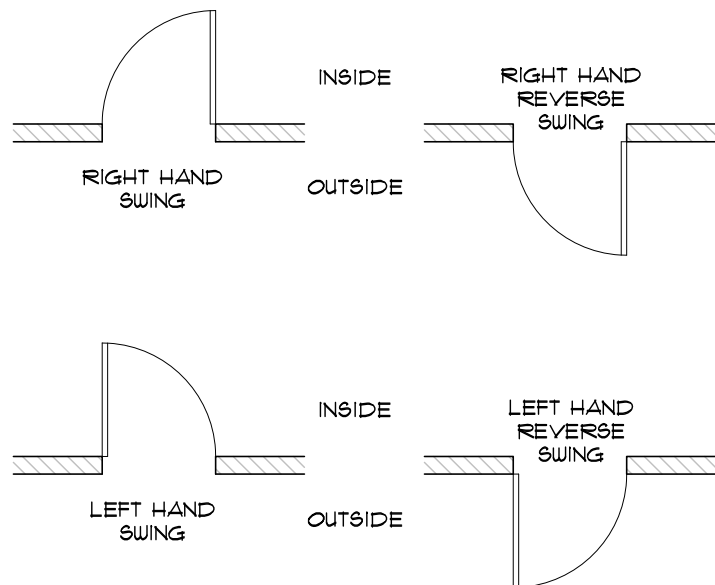
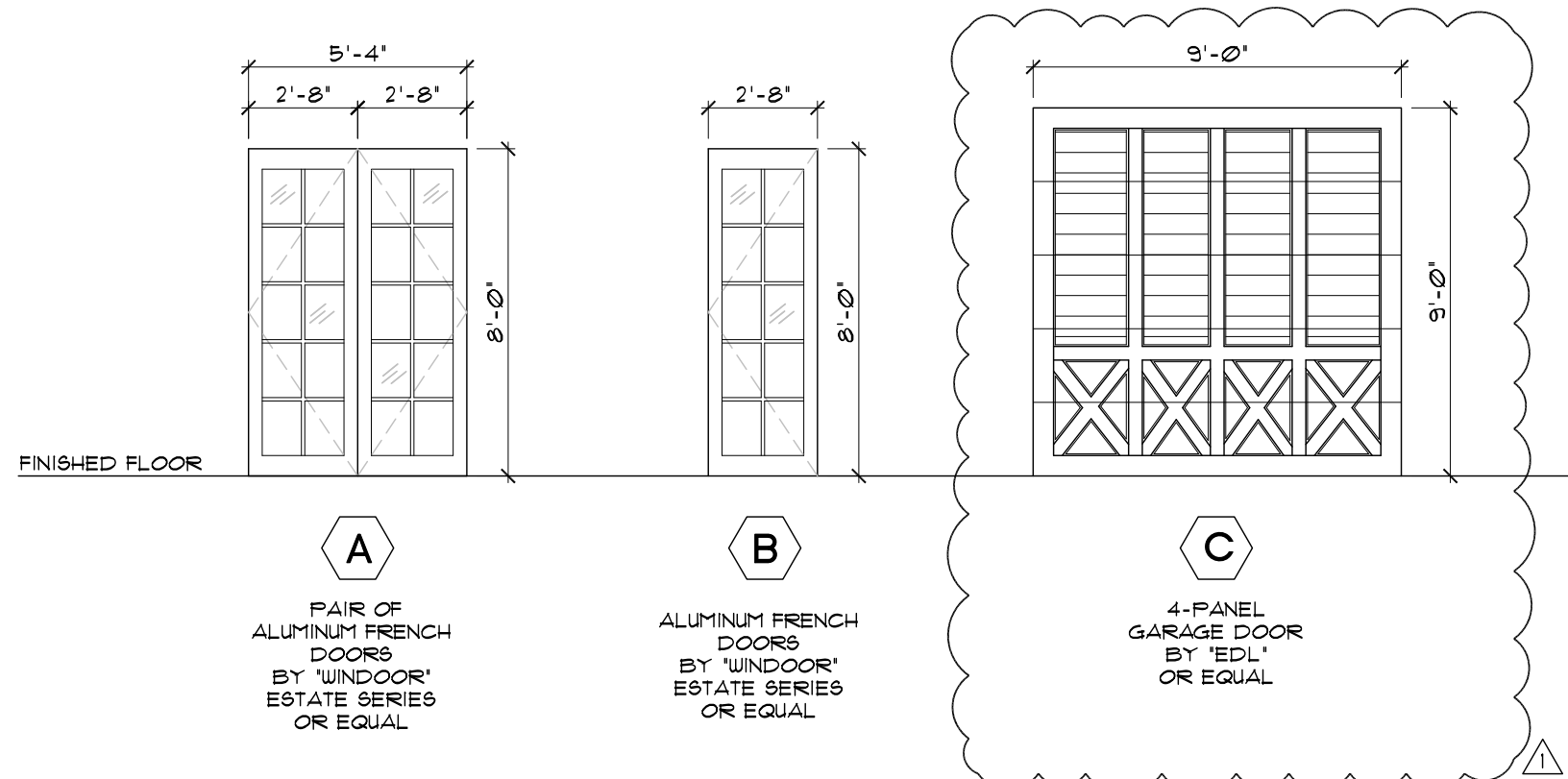
NOTE: ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY WIND LOADING & IMPACT CODES. ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS. NOTE: ALL EXTERIOR ALUMINUM DOORS/SLIDERS TO BE "WINDOOR", "VELOCITY" OR EQUAL.

NOTE: ALL HARDWARE FOR PRICING PURPOSES ONLY - TO BE APPROVED AND SELECTED BY OWNER/INTERIOR DESIGNER. NOTE: ALL INTERIOR DOORS TO BE "TRU-STILE" OR EQ.

DOOR	LOCATION	TYPE	ELEV.	SIZE (W x H x D)	ACTION	LABEL	WIND LOAD PRESSURE	THRES.	COMMENTS/HARDWARE
G1	COVERED ENTRY #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G2	COVERED ENTRY #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G3	COVERED TERRACE #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G4	COVERED TERRACE #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G5	COVERED TERRACE #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G6	COVERED TERRACE #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G7	COVERED ENTRY #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G8	COVERED ENTRY #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
G9	2-CAR GARAGE	H.M. PANEL (BY EDL)	C	9'-0" x 9'-0" x 2 1/4"	OVERHEAD	---	T.B.D.	---	4-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK". TO BE PAINTED, SEE EXTERIOR ELEVATIONS FOR COLOR. (CONTRACTOR TO VERIFY PROPER CLEARANCE REQUIRED FOR APPLIED "BORAL" DECORATIVE PANELS ON EXT. SIDE, TEXTURE : SMOOTH W/ ROUNDED EDGES)
G10	2-CAR GARAGE	H.M. PANEL (BY EDL)	C	9'-0" x 9'-0" x 2 1/4"	OVERHEAD	---	T.B.D.	---	4-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK". TO BE PAINTED, SEE EXTERIOR ELEVATIONS FOR COLOR. (CONTRACTOR TO VERIFY PROPER CLEARANCE REQUIRED FOR APPLIED "BORAL" DECORATIVE PANELS ON EXT. SIDE, TEXTURE : SMOOTH W/ ROUNDED EDGES)
G11	2-CAR GARAGE	H.M. PANEL (BY EDL)	C	9'-0" x 9'-0" x 2 1/4"	OVERHEAD	---	T.B.D.	---	4-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK". TO BE PAINTED, SEE EXTERIOR ELEVATIONS FOR COLOR. (CONTRACTOR TO VERIFY PROPER CLEARANCE REQUIRED FOR APPLIED "BORAL" DECORATIVE PANELS ON EXT. SIDE, TEXTURE : SMOOTH W/ ROUNDED EDGES)
G12	2-CAR GARAGE	H.M. PANEL (BY EDL)	C	9'-0" x 9'-0" x 2 1/4"	OVERHEAD	---	T.B.D.	---	4-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK". TO BE PAINTED, SEE EXTERIOR ELEVATIONS FOR COLOR. (CONTRACTOR TO VERIFY PROPER CLEARANCE REQUIRED FOR APPLIED "BORAL" DECORATIVE PANELS ON EXT. SIDE, TEXTURE : SMOOTH W/ ROUNDED EDGES)

S1	COVERED PORCH #1	ALUMINUM FRENCH	B	2'-8" x 8'-0" x 1 3/4"	RHR SWING	---	T.B.D.	ALUM.	10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S2	COVERED PORCH #2	ALUMINUM FRENCH	B	2'-8" x 8'-0" x 1 3/4"	LHR SWING	---	T.B.D.	ALUM.	10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S3	COVERED PORCH #2	ALUMINUM FRENCH	B	2'-8" x 8'-0" x 1 3/4"	RHR SWING	---	T.B.D.	ALUM.	10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S4	COVERED PORCH #1	ALUMINUM FRENCH	B	2'-8" x 8'-0" x 1 3/4"	LHR SWING	---	T.B.D.	ALUM.	10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S5	TRELLIS TERRACE #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S6	TRELLIS TERRACE #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S7	TRELLIS TERRACE #1	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.
S8	TRELLIS TERRACE #2	ALUMINUM FRENCH	A	(PR.) 2'-8" x 8'-0" x 1 3/4"	LHR & RHR SWING	---	T.B.D.	ALUM.	PAIR OF 10-LITE "WINDOOR" ALUM. FRENCH DOOR ESTATE SERIES OR EQUAL W/ ALUM. THRESHOLD - "EMTEK" - "HELIOS LEVER W/ SQUARE ROSETTE" - INTERIOR FINISH: CHROME; EXTERIOR FINISH: WHITE AS PER PRODUCT APPROVAL OR EQUAL. - THUMB TURN DEAD BOLT.

## DOOR ELEVATIONS



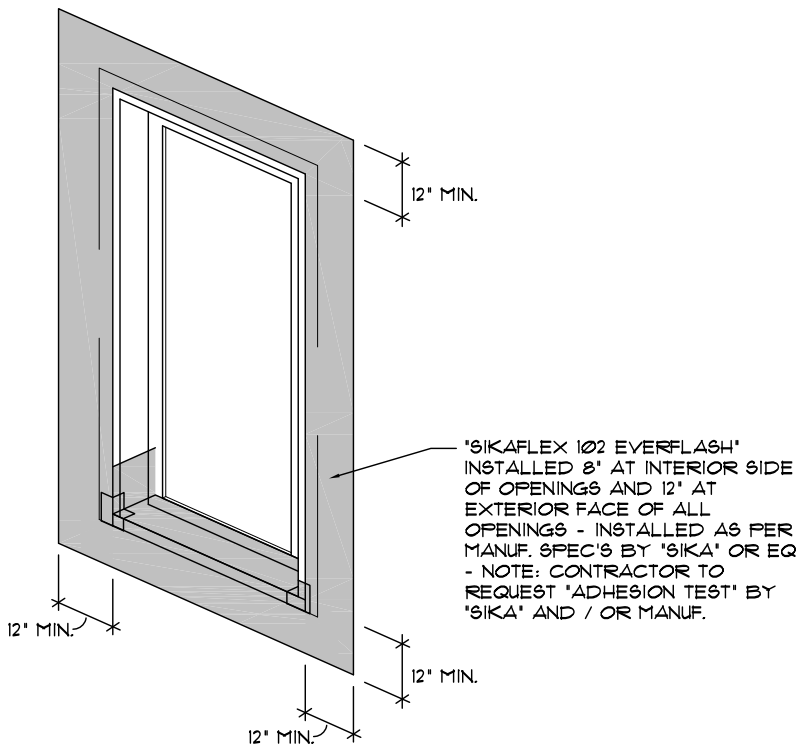
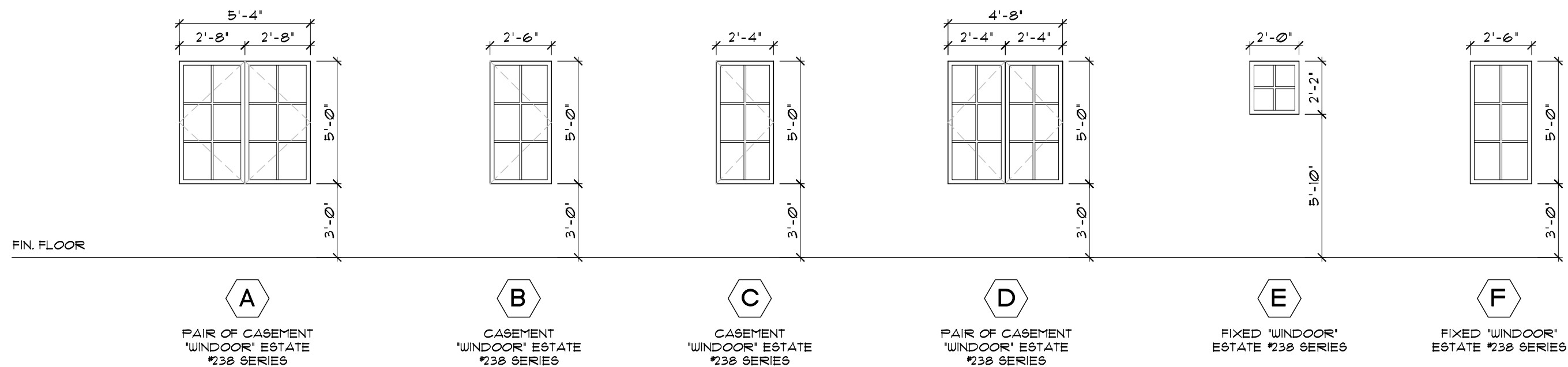
2  
A9.00A  
TYPICAL FENCE DETAIL  
SCALE : 1/2" = 1'-0"  
LOT 1

## WINDOW SCHEDULE

ALL WINDOWS TO BE "WINDOOR ESTATE" SERIES W/ WHITE FINISH OR EQUAL (CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).

WINDOW	SIZE (WxH)	QTY.	SERIES	WALL TYPE	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	(PR.) 2'-8" x 5'-0"	2	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	PAIR OF "WINDOOR" ESTATE SERIES CASEMENT W/ 6 LITE
B	2'-6" x 5'-0"	4	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	"WINDOOR" ESTATE SERIES CASEMENT W/ 6-LITE
C	2'-4" x 5'-0"	8	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	"WINDOOR" ESTATE SERIES CASEMENT W/ 6-LITE
D	(PR.) 2'-4" x 5'-0"	2	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	PAIR OF "WINDOOR" ESTATE SERIES CASEMENT W/ 6 LITE
E	2'-0" x 2'-2"	12	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	"WINDOOR" ESTATE SERIES FIXED W/ 4-LITE
F	2'-6" x 5'-0"	4	238	MASONRY	ALUM./PTD	WD/PTD	GRAY TINT /LAM	WHITE	"WINDOOR" ESTATE SERIES FIXED W/ 6-LITE

## EXTERIOR WINDOW ELEVATIONS



NOTE:  
VERIFY ALL INTERIOR DOORS & INTERIOR WINDOW TRIMS/CASING/TREATMENTS W/ OWNER / DESIGNER.

NOTE:  
WATER TEST TO BE CONDUCTED AT RANDOMLY SELECTED EXTERIOR WINDOW AND DOOR ASSEMBLIES AT INITIAL CONSTRUCTION PHASE TO CONFIRM WATER INFILTRATION ISSUES. IF WINDOW OR DOORS FAIL, CONTRACTOR WILL BE RESPONSIBLE FOR COST OF TESTS & CORRECTIONS TO DOORS & WINDOWS.

NOTE:  
- ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY IMPACT AND WIND LOADING CODES (WINDOOR OR EQUAL).  
- ALL GLAZING BELOW 18" AFF. TO BE TEMPERED SAFETY GLASS. -CONTRACTOR TO PROVIDE DATED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION.  
- VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES.  
- ALL W/ WHITE E.S.P. PAINT FINISH OR EQUAL - VERIFY W/ OWNER / DESIGNER.  
- VERIFY W/ OWNER/MEP'S IF GLASS IS LOW E.