



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

Spodak Dental - Expansion

| Meeting | File No. | Application Type |
|-------------------------|------------------|-------------------|
| February 24, 2025 | 2024-258 | Level 3 Site Plan |
| Property Owner | Authorized Agent | |
| Radiant Enterprises LLC | Erika Pusillo | |

Request

Consideration of a Level 3 Site Plan Application with Landscape Plan and Architectural Elevations for a 2,668 square foot addition to an existing approximate 13,000 square foot medical office building.

Site Data & Information

Location: 3911 W Atlantic Avenue

PCN: 12-43-46-18-68-000-0010

Property Size: 2.06 acres

Land Use: Transitional (TRN)

Zoning: Professional Office District (POD)

Adjacent Zoning:

- **North:** Multifamily Residential (RM)
- **East:** Agricultural (A)
- **West:** Planned Office Center (POC)
- **South:** Low Density Residential (RL)

Existing Use: Medical Office - Dentist

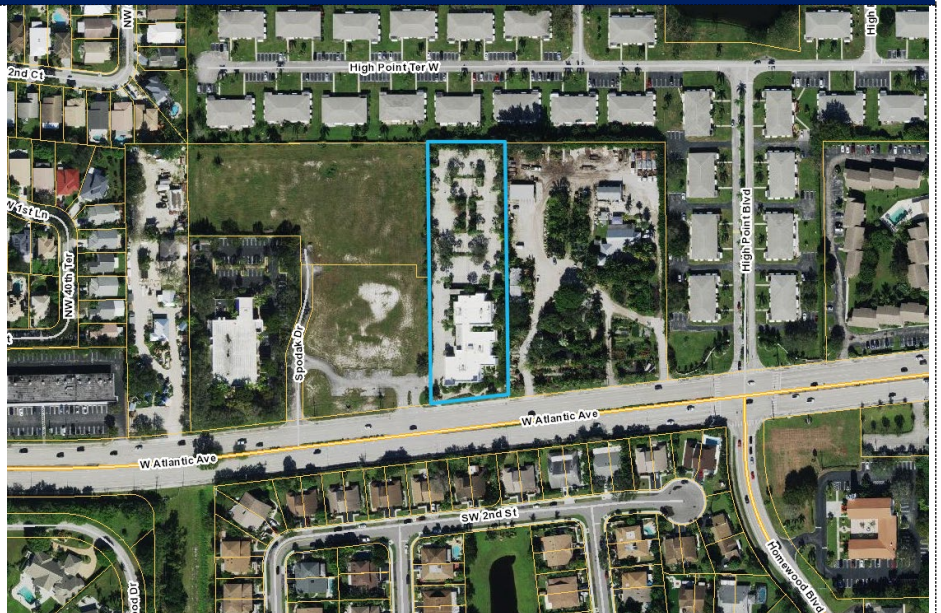
Proposed Land Use: Medical Office - Dentist

Floor Area Ratio:

- **Existing:** 0.15
- **Proposed:** 0.18
- **Maximum Allowed:** 1.0

Density:

- **Existing:** N/A



Background Information

The subject property consists of an approximate 13,000 square foot existing medical office building that was originally constructed in 2013. The project developer voluntarily sought LEED Green certification prior to the City enacting an official ordinance mandating green building implementation and the building is LEED Gold certified. The building has housed the Spodak Dental group since 2013 and the subject request under this application is for an approximate 2,600 square foot addition to the existing dental facility.

The property is zoned Professional Office District (POD) with an underlying Land Use Map (LUM) designation of Transitional (TRN). The existing office use is consistent with the permitted uses as allowed under the POD regulations. The expansion of the use remains consistent with the intent of the POD district and TRN Land Use Designation.



Project Description

The development proposal includes two additions to the existing building and other related site modifications. Specifically, an 868 square foot addition is proposed in the southeast corner of the building, where the required front and side interior setback is still maintained; and an 1,800 square foot addition is proposed in the northeast corner of the existing building, where the requisite rear and side interior setback is also maintained. The architectural style of the proposed expansion is a consistent and well-integrated continuation of the style of the existing building. The architecture is found to be in compliance with the requirements of LDR Section 4.6.18.

Modifications along the west façade of the building include the expansion of an outdoor employee lounge area partially covered by a trellis. Along the entrance drive aisle, the previous drop-off area has been converted to permanent parallel parking. The existing loading zone adjacent to the northeast addition has been removed to accommodate the expansion of the building. Pursuant to LDR Section 4.6.10, the removal of the existing loading zone and approval of the site plan is contingent on the Board making a determination of adequacy by finding that the use is able to successfully meet the expected loading demand through an alternative method when no defined loading area is proposed.

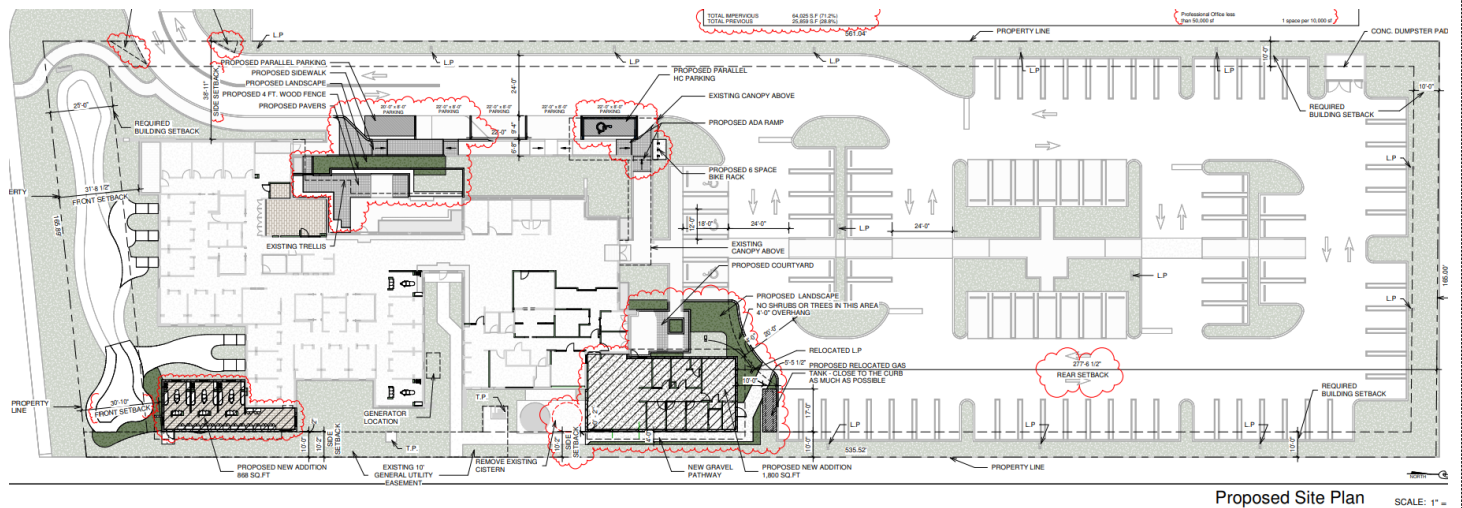
Minor landscaping modifications have been proposed in areas adjacent to the scope of work and the project has been deemed in compliance with LDR Section 4.6.16. The proposed modifications are detailed in the analysis section of the report.

Generally, the project remains in compliance with all applicable development regulations affected by the proposed scope, including height, setbacks, FAR, open space, and parking. There was an existing surplus of parking on site relative to the existing building square footage, and even with the additional square footage a surplus in parking remains. The details of the project are further discussed in the Review and Analysis section of the report.

Review and Analysis: Site Plan

The proposed site plan generally meets the applicable requirements of the Land Development Regulations. The site is configured in a logical manner that maintains the integrity and quality of the original configuration and design, while allowing for the benefit of increased operational capacity realized from the expansion. In areas where modifications have been proposed, consideration has been given to ensure that essential functionality of the site is maintained. The proposed modifications do not create any nonconformities.

LDR Section 4.6.10 recommends at least one 12-foot x 30-foot loading berth for an office of this size. The applicant has provided a justification statement that details how the loading zone was underutilized in their daily operation. During periods of loading/unloading it is likely that some of the parking lot drive-aisle will be obstructed; however, the parking configuration is designed to provide alternative paths of navigability that will allow for access to the only point of ingress/egress on Atlantic Avenue. There is sufficient area within the internal parking lot for short-term loading to occur, and while employees or patients of the establishment may be temporarily inconvenienced by short-term loading that occurs within the drive-aisle, there is no foreseen negative impact on the public street network. The square footage of the proposed building expansion is well below the 15,000 sq. ft. threshold that determines if a project requires Board consideration, however the square footage is assessed cumulatively pursuant to LDR Section 2.4.10(A)(1)(c). As such, the total cumulative area of the building - when combining the existing footprint with the area of expansion - passes the 15,000 square foot threshold that requires Board approval.



LDR Section 2.4.10(A)(3), Findings. All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

The Site Plan was reviewed according to the performance standards for site plan actions listed in **LDR Section 3.2.3** and these standards have been factored into the technical review of the application. The intent of the standards are to ensure that certain essential criteria and a level of quality are adhered to with regard to new development. The project generally complies with the performance standards.

LDR Section 3.1.1, Required Findings. Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

These findings relate to the following four areas:

(A) Land Use Map The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

As noted previously, the scope of this application is not proposing to change the use; the dental office remains in compliance and is compatible with the zoning and the TRN Land Use designation.

(B) Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Water and Sewer. The development is already connected to existing water and sewer networks as approved by the City Utilities Department.

Drainage. Drainage will be accommodated on site. All stormwater runoffs will be collected and contained within the subject property through a drainage system approved by the City Engineer.

Transportation. The submitted Traffic Statement indicates the proposed expansion will generate an additional seven AM peak hour trips and nine PM peak hour trips, which maintains compliance with Palm Beach County Traffic Performance Standards (TPS) criteria and will have an *insignificant impact on the area roadways*.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054. The scope of work does not meaningfully impact the existing levels of waste generation and method of waste disposal that is currently implemented on site.

Schools. Not Applicable.

(C) Consistency A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The following Comprehensive Plan objectives and policies are relevant to the Conditional Use request:

Neighborhoods, Districts, and Corridors Element

Objective NDC 1.3 Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.

Policy NDC 1.1.2 Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.

The dental office use services the health and wellness needs of residents of Delray Beach.

(D) Compliance with the LDRs Whenever an item is identified elsewhere in the LDR, it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

The development proposal complies with the regulations in the LDR, as summarized below.

LDR Section 4.4.16 and LDR Section 4.3.4(K)

| Standard/Regulation | Review |
|----------------------------------------------------------|---------------------------------------------------------------------|
| Height 4.3.4(K) – Development Standards Matrix | Maximum: 48 feet Proposed: 25 feet (no change) |

| | | |
|------------------------------------------------------------|------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|
| Setbacks 4.3.4(K) – Development Standards Matrix | Minimum Required Front – 25 feet Rear – 10 feet Interior – 10 feet | Provided: Front – 30'10" Side Interior (East) – 10' Side Interior (West) – 38'11" (no change) Rear – 277' |
|------------------------------------------------------------|------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|

Other Development Regulations

| Standard/Regulation | Review |
|----------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------|
| 4.6.9, Off-Street Parking | Required: 5 per 1,000 sq. ft. of gross area = 79 Provided: 96 |
| 4.6.9, Bicycle Parking | Required: Type I spaces – 1 spaces/10,000 sq. ft. = 2 spaces Type II spaces – not required Provided: Type I spaces – 6 spaces |

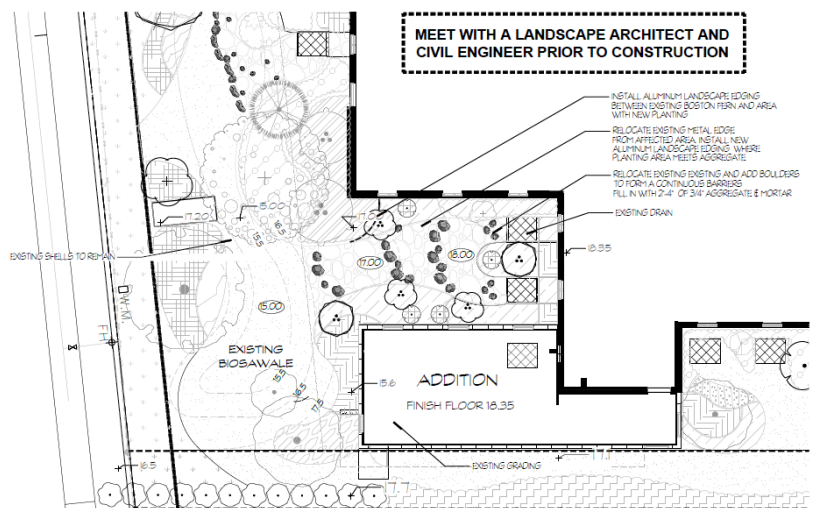
Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

A technical review of this site plan has been performed and a determination has been made that the project substantially complies with all applicable landscape regulations. Extensive landscaping is interspersed throughout the site and the proposed modifications are minor. The amount of existing landscaping on site exceeds the requirements of the LDR, and the few trees identified for removed are surplus beyond the tree requirement and do not require mitigation.

Foundation and perimeter landscaping around the addition are proposed to meet the requirements for the new area. The detail for the landscaping on the southeast corner addition is shown at right.



Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics (E), Criteria for board action

The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. *The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
2. *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
3. *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

Staff finds that the design criteria are generally met. The proposed building additions successfully integrate into, and are compatible with, the architectural style of the existing structure. The new elements of the structure are identified below relative to the existing structure.



Board Action Options

- A. Move **approval** of a Level 3 Site Plan Application request for **Spodak Dental Expansion**, including a Landscape Plan and Architectural Elevations, to construct a 2,668 square foot addition at the subject property addressed as 3911 W Atlantic Avenue, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended** of a Level 3 Site Plan Application request for **Spodak Dental Expansion**, including a Landscape Plan and Architectural Elevations, to construct a 2,668 square foot addition at the subject property addressed as 3911 W Atlantic Avenue, finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- C. Move **denial** of a Level 3 Site Plan Application request for **Spodak Dental Expansion**, including a Landscape Plan and Architectural Elevations, to construct a 2,668 square foot addition at the subject property addressed as 3911 W Atlantic Avenue, finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**

Public and Courtesy Notices

No Public Notice was required by the LDR for this application.

TENANT IMPROVEMENTS FOR: SPODAK DENTAL GROUP



PROJECT TEAM :

Architect:

GBM ARCHITECTURE, P.A.
330 HIMMARSHEE ST, SUITE 108
FORT LAUDERDALE, FL 33312
CONTACT PERSON: JACK BROWN
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JACK@GBMARCHITECTURE.COM

Civil:

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561-274-6500 Ext.103
BRIAN@ENVDESIGN.COM

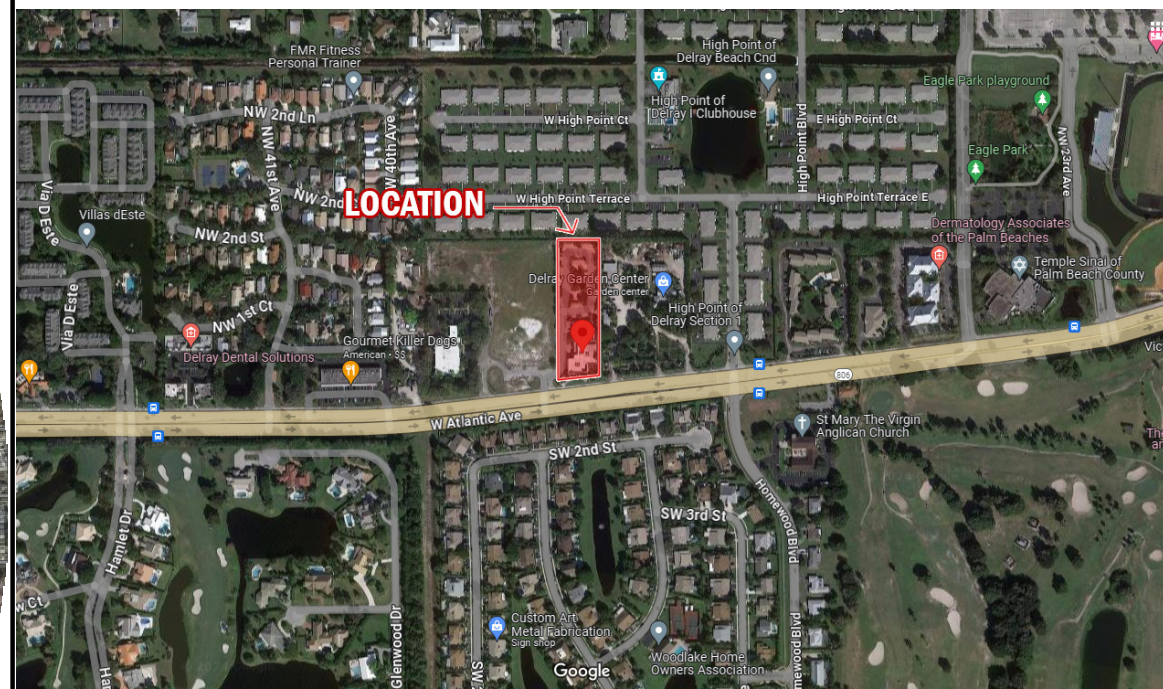
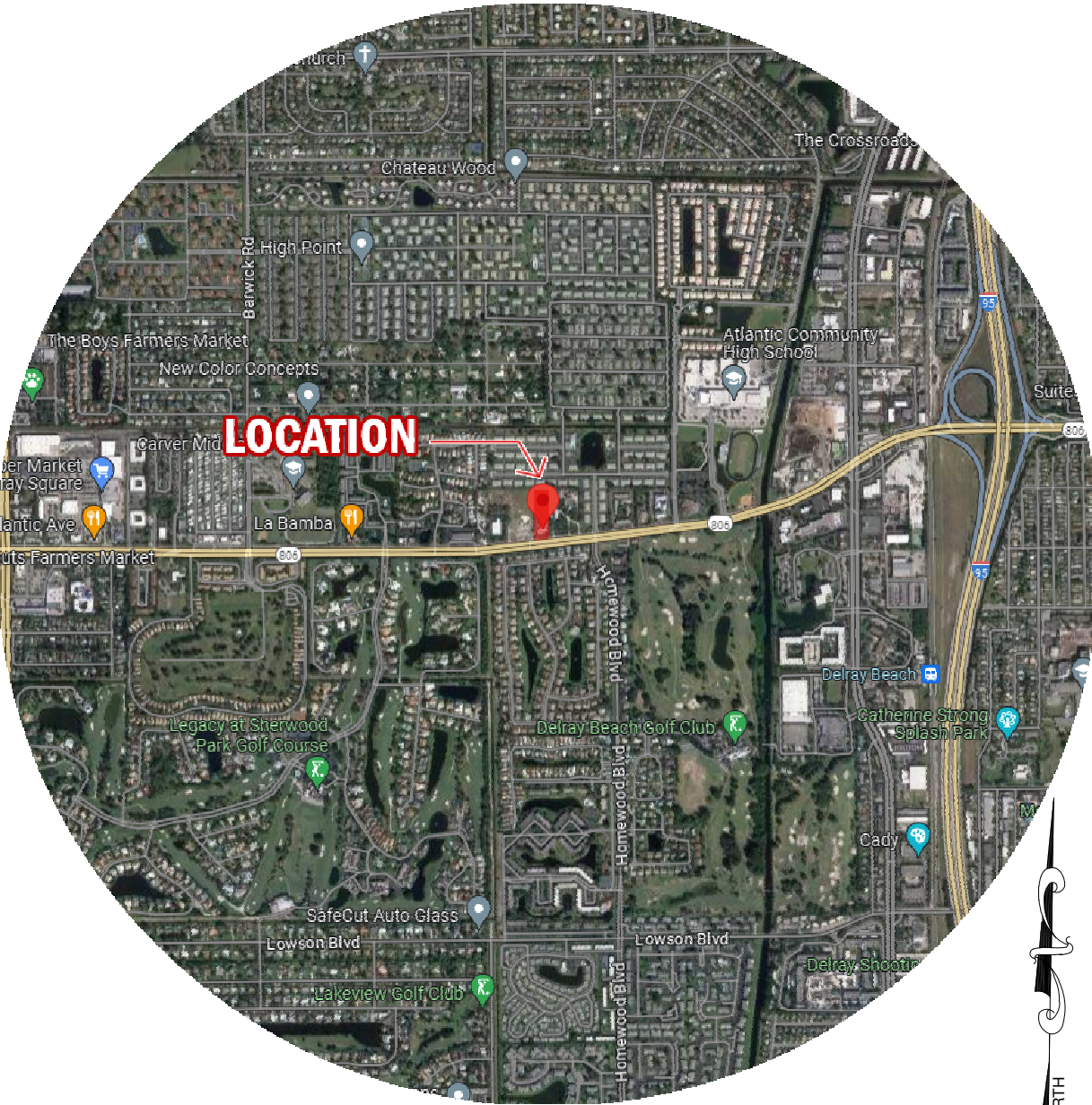
Landscape:

THE MIRROR OF PARADISE
LANDSCAPE ARCHITECTURE
2700 E OAKLAND PARK BLVD, SUITE C
FORT LAUDERDALE, FL 33306
954-478-3064
GABRIELA@THEMIRROROFPARADISE.COM

Project Description

03

- ARCHITECTURE**
A-0.0 COVER
SURVEY
A-1.0 EXISTING & PROPOSED SITE PLAN
A-2.1 EXISTING & PROPOSED ELEVATIONS
A-2.2 EXISTING & PROPOSED ELEVATIONS
A-3.1 FIRST FLOOR LIFE SAFETY PLAN
A-3.2 ROOF PLAN
A-4.2A RENDERINGS
A-4.2B RENDERINGS
- LANDSCAPE**
DT-1 EXISTING TREE CHART & PROTECTION DETAIL
DT-2 DISPOSITION PLAN
LP-1 LANDSCAPE PLAN
LP-2 LANDSCAPE SCHEDULE, NOTES & DETAILS
LP-3 DETAILS & CODE CALCULATIONS
IR-1 AS-BUILT IRRIGATION PLAN MODIFICATIONS & NOTES
IR-2 IRRIGATION NOTES & DETAILS
- CIVIL**
1 OF 5 CIVIL SITE IMPROVEMENTS PLAN
2 OF 5 PAVING & DRAINAGE DETAILS
3 OF 5 GENERAL NOTES
4 OF 5 DEMOLITION PLAN
5 OF 5 POLLUTION PREVENTION PLAN
1 OF 1 COMPOSITE UTILITY PLAN



LEGAL DESCRIPTION

LOT 1, SPODAK DENTAL OFFICE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 116, PAGES 84 AND 85, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

Index Of Drawings

05

1/2 Mile Radius Map

04

Location Plan

02

Project Information

01

CONSULTANT
STATE OF FLORIDA
REGISTERED ARCHITECT
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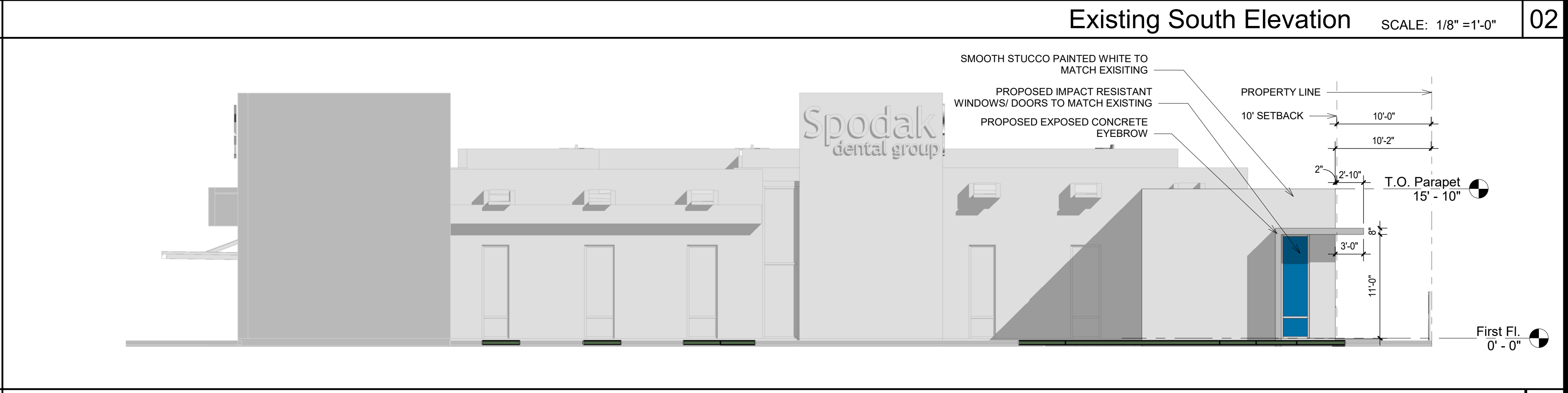
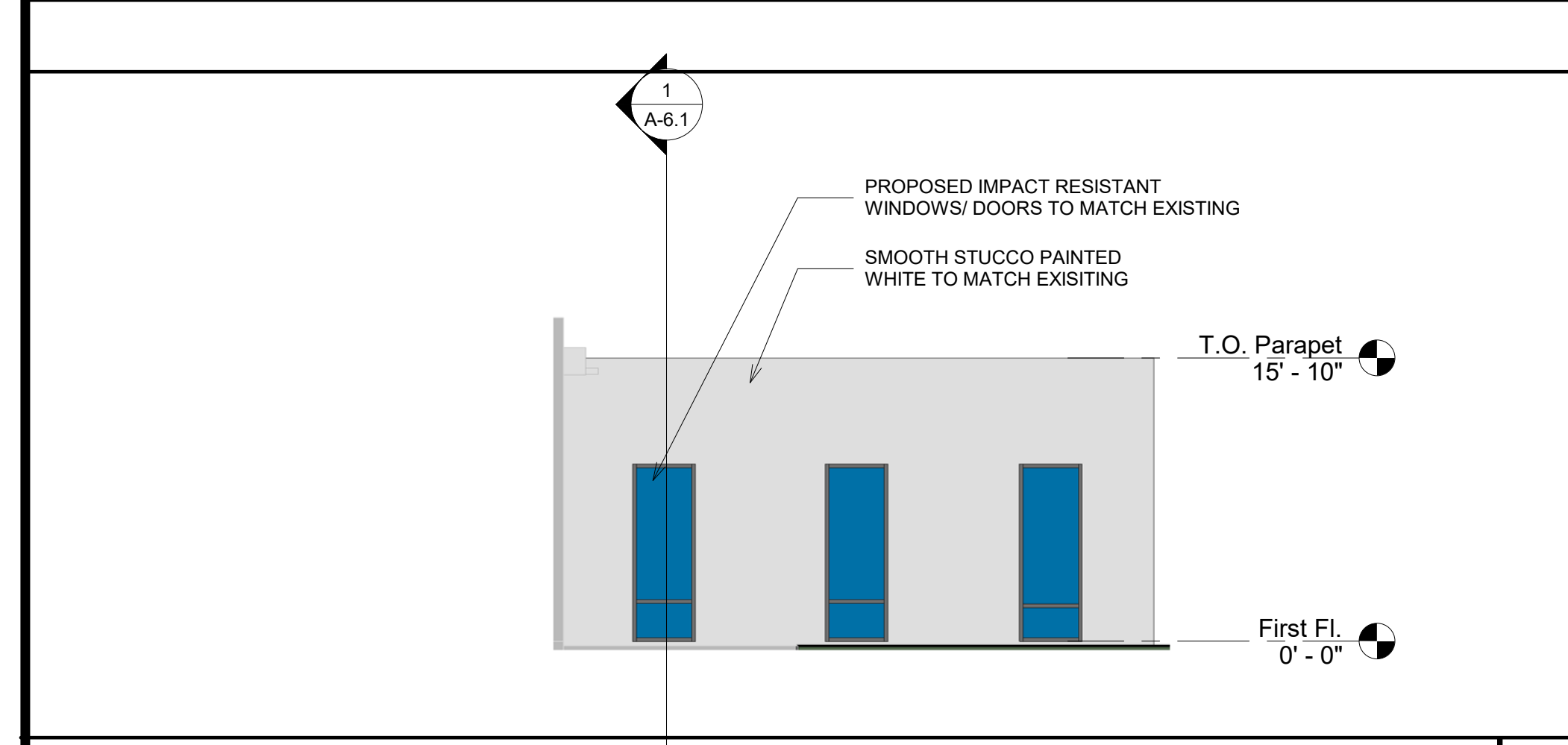
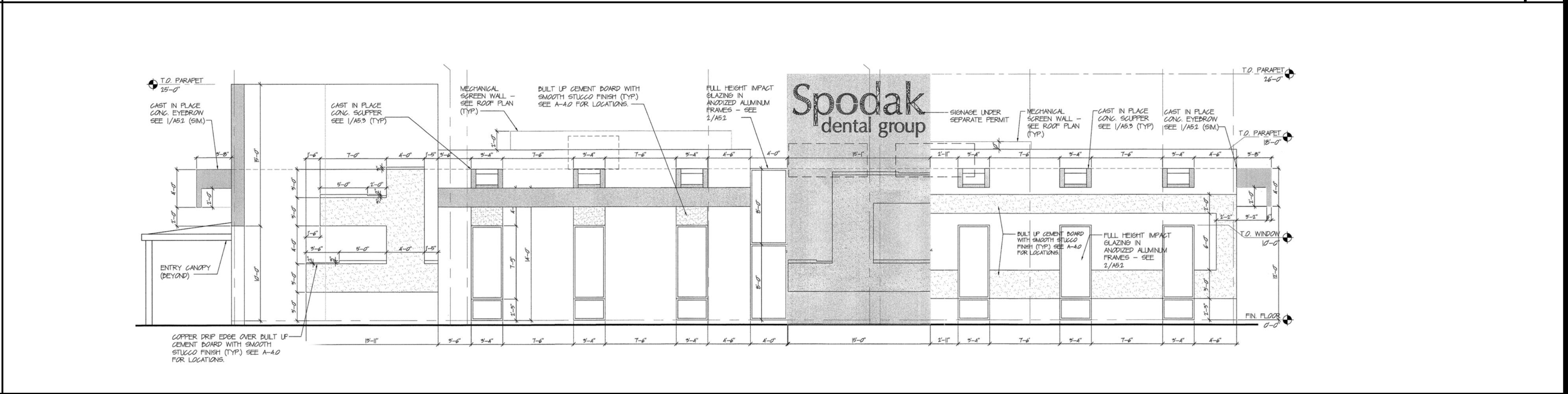
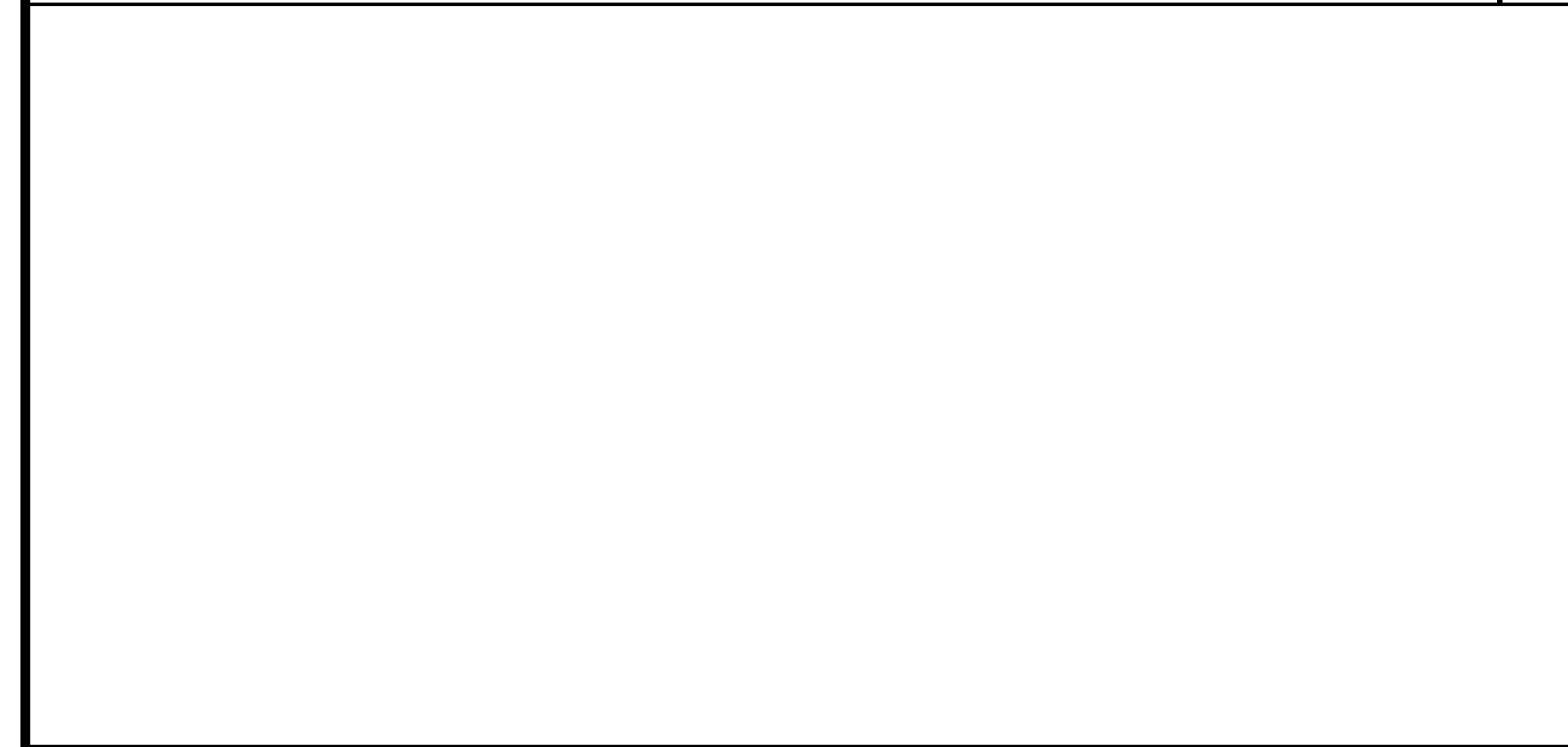
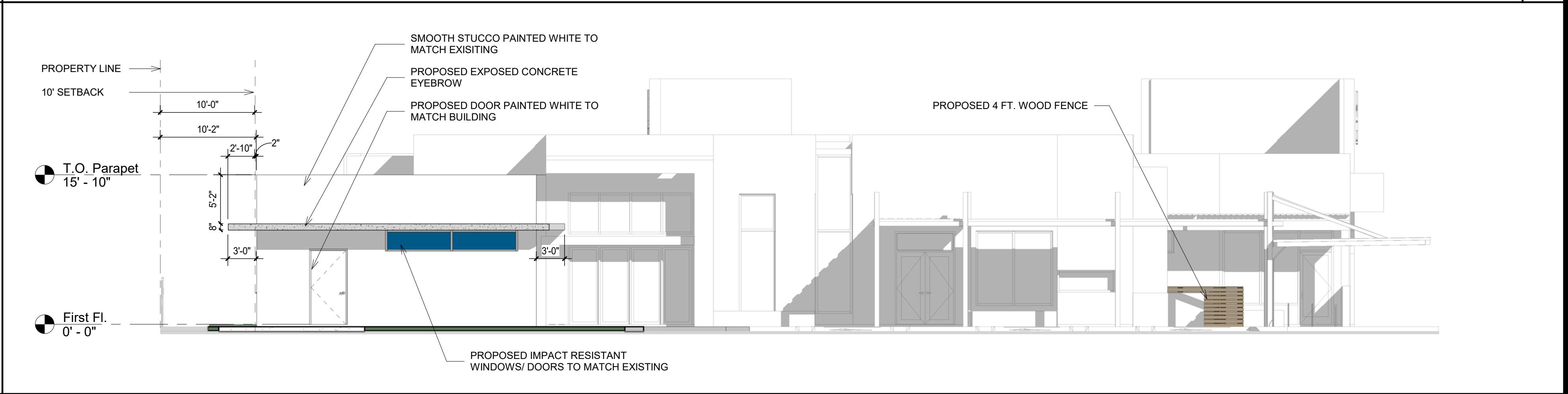
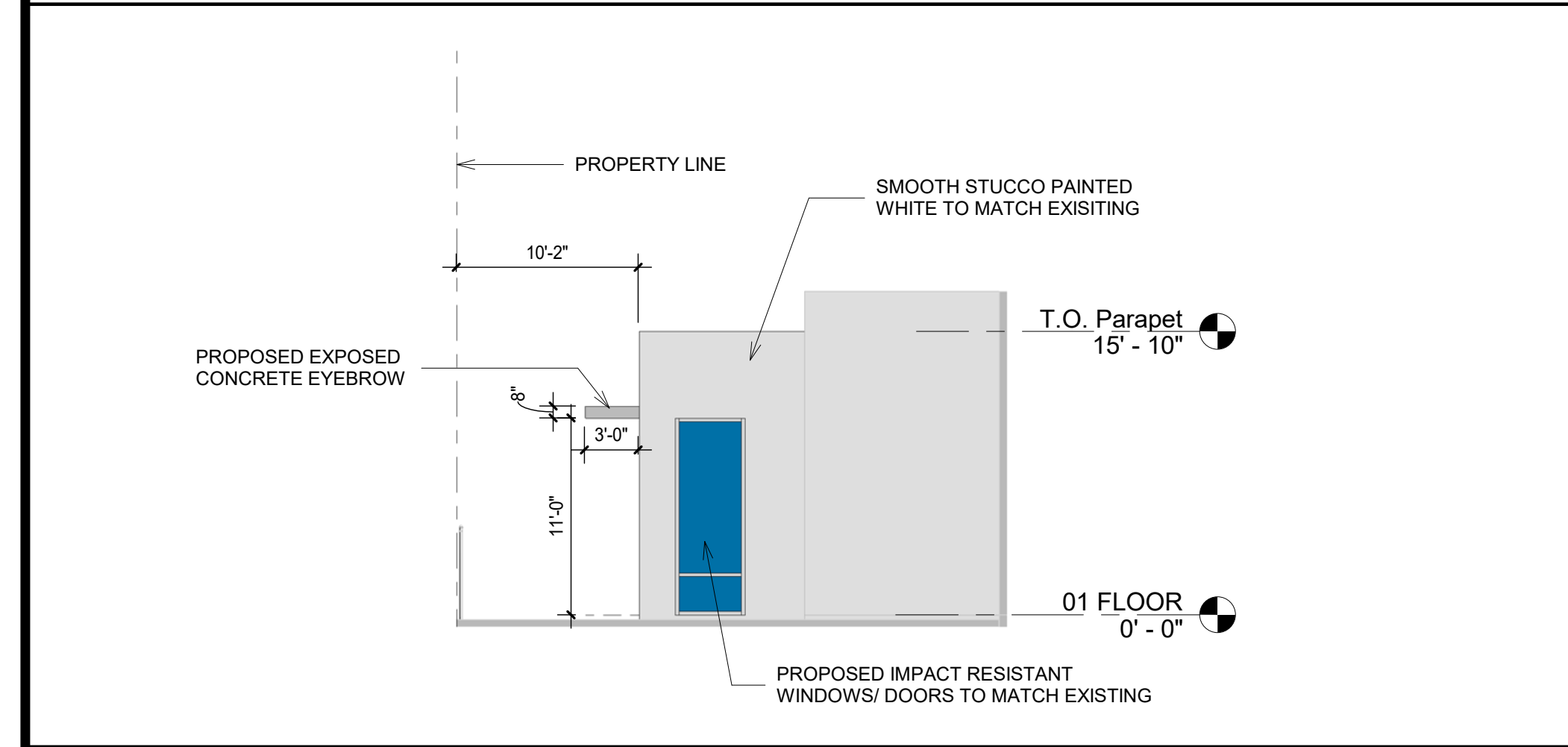
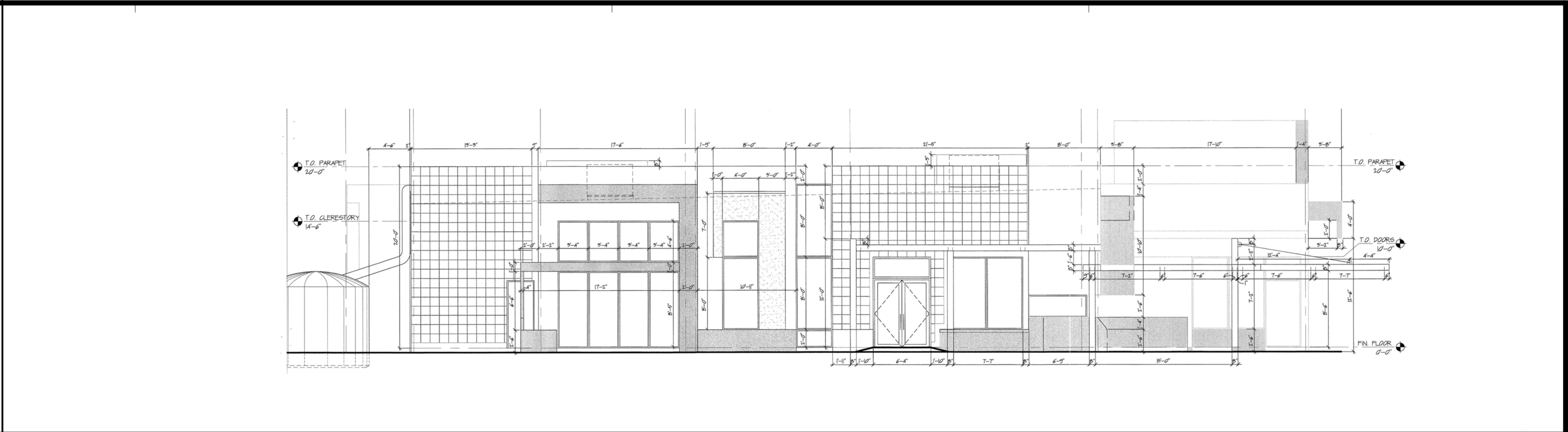
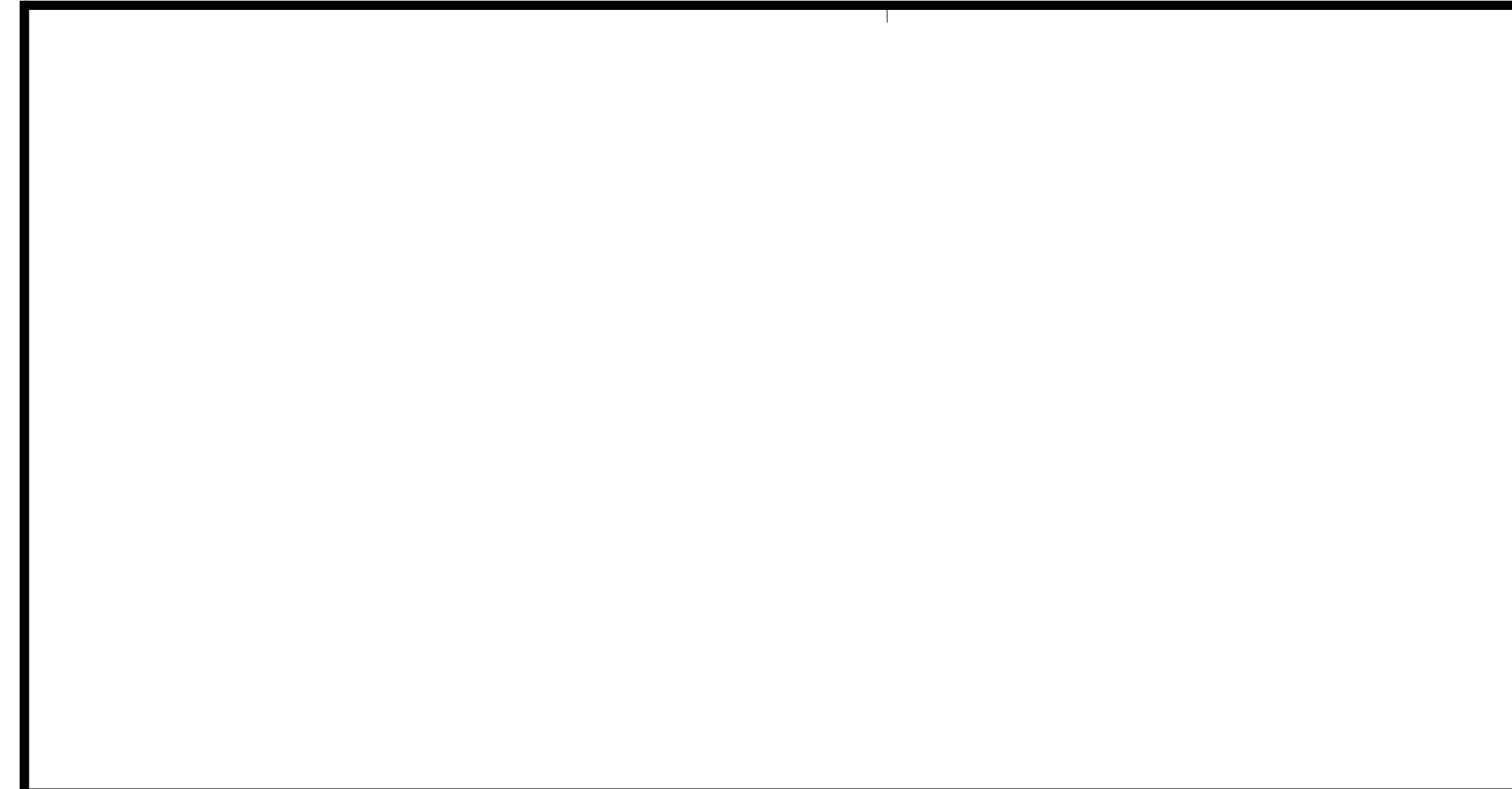
"SITE PLAN REVIEW SET – FILE NO. 2024-258"
SPODAK DENTAL GROUP
3911 W. Atlantic Ave
Delray Beach, FL 33445

DRAWING ISSUE DATES:

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Cover

SHEET
A-0.0
PROJECT 230712
DATE 11-20-24
PERMIT NO.



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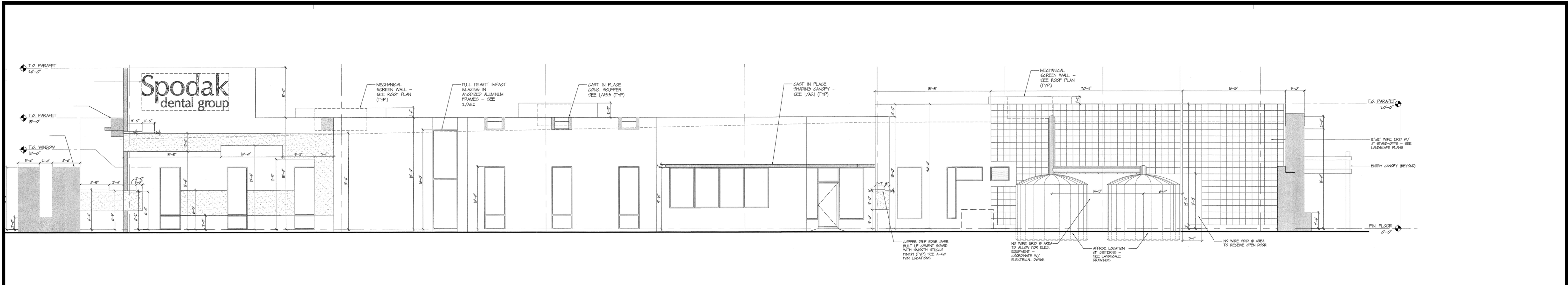
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"SITE PLAN REVIEW SET - FILE NO. 2024-258"
SPODAK DENTAL GROUP
3911 W. Atlantic Ave
Delray Beach, FL 33445

| DRAWING ISSUE DATES: |
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Existing &
Proposed
Elevations

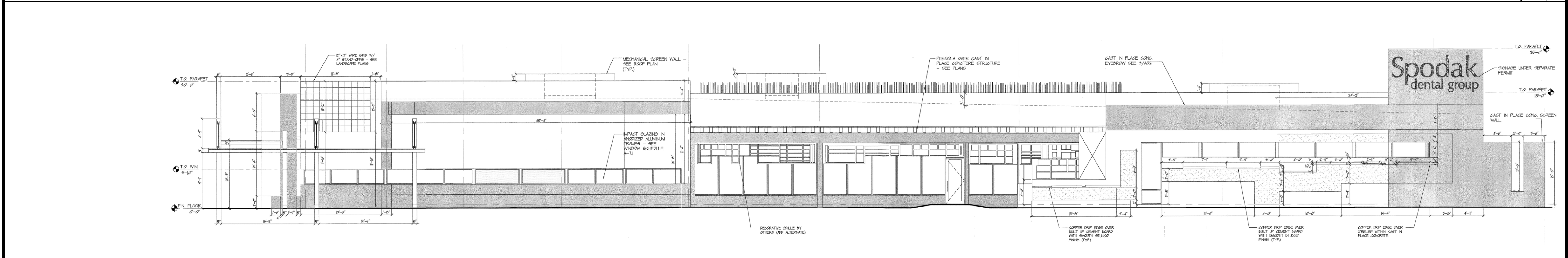
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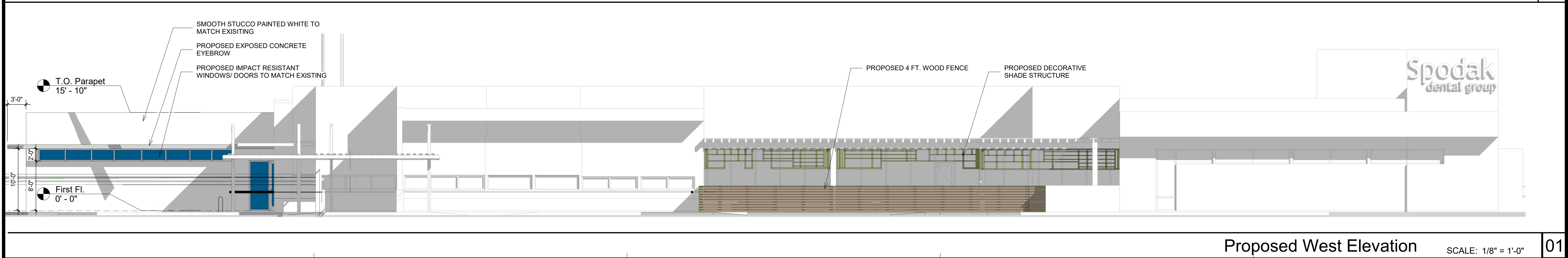
Existing East Elevation SCALE: 1/8" = 1'-0" 04



Proposed East Elevation SCALE: 1/8" = 1'-0" 03



Existing West Elevation SCALE: 1/8" = 1'-0" 02



Proposed West Elevation SCALE: 1/8" = 1'-0" 01

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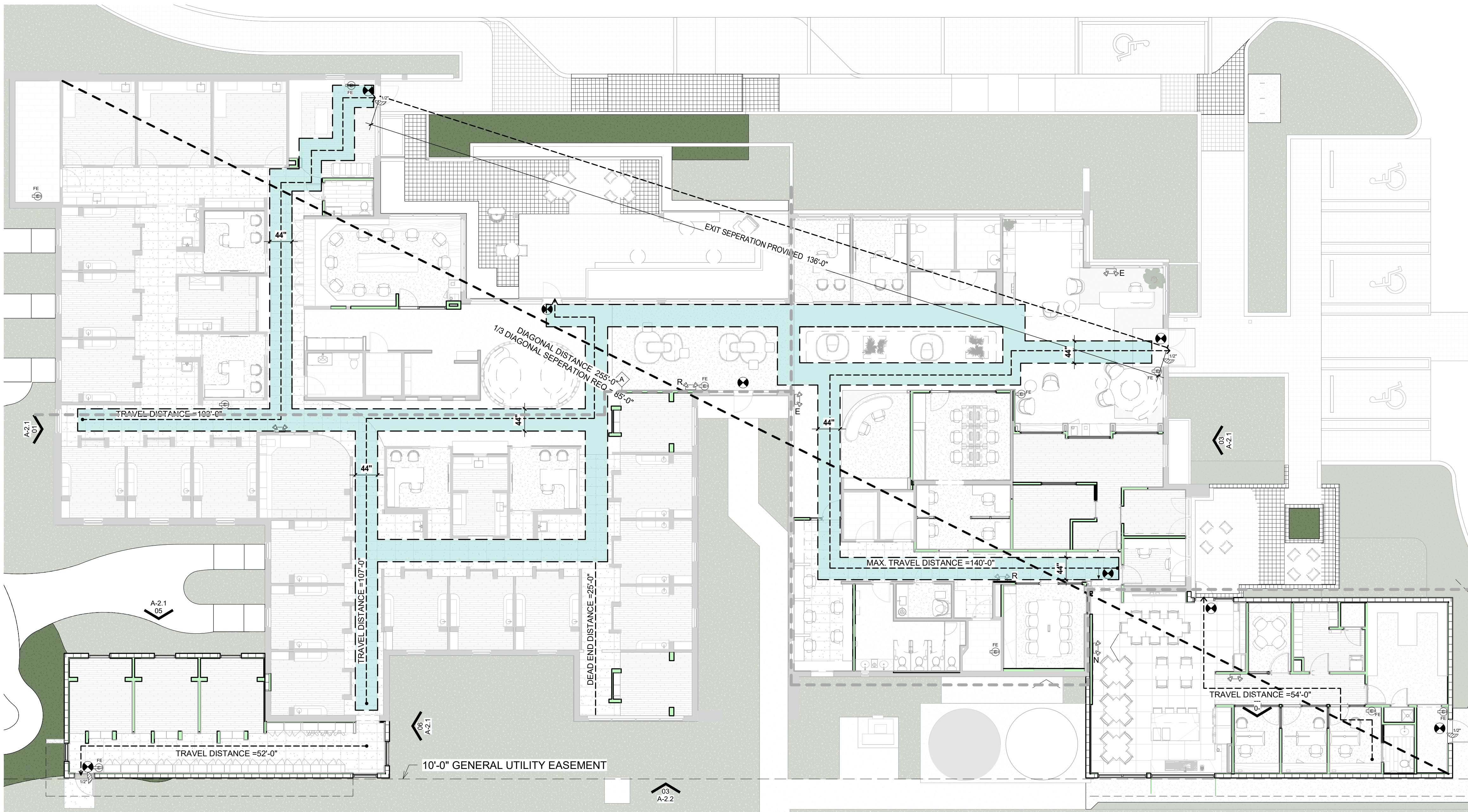
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Existing &
Proposed
Elevations

SHEET
A-2.2
PROJECT 230712
DATE 11-20-24
PERMIT NO.



LIFE SAFETY REQUIREMENTS: GROUP B EXISTING BUSINESS
CONSTRUCTION TYPE: TYPE III-B, 100% SPRINKLERED
NUMBER OF STORIES: EXISTING ONE STORY
NOTE: ONE FIRE EXTINGUISHER MUST BE LOCATED PER 2500 SQ. FT. OF FLOOR SPACE WITH A MAXIMUM OF 75' FROM ANY ONE POINT IN THE SPACE (SEE FLOOR PLAN FOR LOCATION).

| | |
|------------------------------------------------|-----------------------------------------|
| LIFE SAFETY REQUIREMENTS: FBC: | |
| 12,925 SF EXISTING PLUS (1,800 SF + 868 SF) = | 15,593 SF PROPOSED |
| TOTAL GROSS AREA OF THIS PROJECT: | 15,593 SF PROPOSED 76,000 SF ALLOWED |

GROSS SF:
TOTAL NUMBER OF OCCUPANTS BY AREA:
GROUP "B" @ 1/150 GROSS = 15,593 SF/150

| | |
|------------------------------------------------------------------------------------------|-----------------|
| TOTAL OCCUPANTS: | 104 OCC |
| FIRE SPRINKLER PROVIDED: | YES |
| FIRE ALARM PROVIDED: | YES |
| NUMBER OF MEANS OF EGRESS REQUIRED (per NFPA 39.2.4): | (2) |
| NUMBER OF MEANS OF EGRESS PROVIDED: | (7) |
| MAXIMUM TRAVEL DISTANCE ALLOWED FOR GROUP "B" | 300'-0" |
| MAXIMUM TRAVEL DISTANCE FOR THIS PROJECT | 140'-0" |
| MAXIMUM COMMON PATH ALLOWED : | 100'-0" |
| MAXIMUM COMMON PATH PROVIDED : | NFPA 39.2.5.3.1 |
| MAXIMUM DEAD END ALLOWED: GROUP "B" | 50'-0" |
| MAXIMUM DEAD END ALLOWED: PROVIDED | 25'-0" |
| MINIMUM CORRIDOR / EGRESS AISLE WIDTH REQUIRED: (FOR AREAS GREATER THAN 50 OCCUPANTS) | 44" |
| MINIMUM AISLE WIDTH REQUIRED: (FOR AREAS WITH LESS THAN 50 OCCUPANTS) | 36" |
| FIRE EXTINGUISHERS REQUIRED: (1 F.E. PER 2,500 S.F.) | 7 |
| NUMBER OF FIRE EXTINGUISHERS PROVIDED: | 10 |

FIRE SPRINKLER DRAWINGS:

BUILDING DOES HAVE FIRE SPRINKLERS

LIFE SAFETY PLAN LEGEND

- EGRESS AISLE:**
INDICATES REQUIRED MEANS OF EGRESS
- WALL OR CEILING, MOUNTED EXIT SIGN. PROVIDE**
DIRECTIONAL ARROW WHERE INDICATED ON PLAN
- CEILING / WALL MOUNTED EMERGENCY LIGHT W / BACK-UP**
BATTERY
- WALL MOUNTED FIRE EXTINGUISHER:**
FIRE EXTINGUISHER MOUNTED TO WALL W/ WALL BRACKET
W/ MP5 2A-10 BC FIRE EXTINGUISHER

FLORIDA FIRE PREVENTION CODE 6th ED 16.3.9.1 THE SUITABILITY, DISTRIBUTION, AND MAINTENANCE OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH SECTION 13.6 (241-7.7.1) 16.3.9.3 AT LEAST ONE APPROVED FIRE EXTINGUISHER ALSO SHALL BE PROVIDED IN PLAIN SIGHT ON EACH FLOOR AT EACH USABLE STAIRWAY AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES (241-7.7.3) 16.3.9.4 SUITABLE FIRE EXTINGUISHERS SHALL BE PROVIDED ON SELF-PROPELLED EQUIPMENT (241-7.7.4) NFPA 1141 SECTION 10.1.5 (2003 EDITION) AT LEAST ONE PORTABLE FIRE EXTINGUISHER HAVING A RATING OF AT LEAST 4-A:30-B:C SHALL BE WITHIN A TRAVEL DISTANCE OF 75 FT (22.86 M) OR LESS TO ANY POINT OF A STRUCTURE UNDER CONSTRUCTION. NFPA 1141 SECTION 10.1.5.1 (2003 EDITION) PERSONNEL NORMALLY ON THE CONSTRUCTION SITE SHALL BE INSTRUCTED IN THE USE OF THE FIRE EXTINGUISHERS PROVIDED.

FLORIDA FIRE PREVENTION CODE 6th ED 16.2.3.1.1 STORAGE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE IN ACCORDANCE WITH CHAPTER 66. 16.2.3.1.2 STORAGE OF CLASS I AND II LIQUIDS SHALL NOT EXCEED 60 GAL (227 L) WITHIN 50 FT (15 M) OF THE STRUCTURE. (241-5-5.1.2) 16.2.3.1.3 STORAGE AREAS SHALL BE KEPT FREE OF WEEDS, DEBRIS, AND COMBUSTIBLE MATERIALS NOT NECESSARY TO THE STORAGE. (241-5-5.1.3) 16.2.3.1.4 OPEN FLAMES AND SMOKING SHALL NOT BE PERMITTED IN FLAMMABLE AND COMBUSTIBLE LIQUIDS STORAGE AREAS. 16.2.3.1.5 SUCH STORAGE AREAS SHALL BE APPROPRIATELY POSTED AS "NO SMOKING AREAS" (241-5-5.1.5) 16.2.3.2.1 CLASS I AND CLASS II LIQUIDS SHALL BE KEPT IN APPROVED SAFETY CONTAINERS. (241-5-5.2.1) 16.2.3.2.3 CLASS I LIQUIDS SHALL BE DISPENSED ONLY WHERE THERE ARE NO OPEN FLAMES OR OTHER SOURCES OF IGNITION WITHIN THE POSSIBLE PATH OF VAPOR TRAVEL. (241-5-5.2.3) FLAMMABLE OR COMBUSTIBLE MATERIALS, IF USED DURING CONSTRUCTION SHALL BE STORED, AND HANDLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE NFPA AS STATED ABOVE.

Life Safety Schedule

02

Applicable Building Codes:

- FLORIDA BUILDING CODE - 2020 BROWARD COUNTY WITH ALL STATE & LOCAL AMENDMENTS
- FLORIDA ACCESSIBILITY CODE - 2020
- FLORIDA ENERGY CONSERVATION - 2020
- FLORIDA FUEL GAS CODE - 2020
- FLORIDA MECHANICAL CODE - 2020
- FLORIDA PLUMBING CODE - 2020
- FLORIDA TEST PROTOCOLS CODE - 2020
- NATIONAL ELECTRICAL CODE 2017
- FLORIDA FIRE PREVENTION CODE 6th ED
- NFPA 241: STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS (2003 EDITION)

Life Safety Plan

SCALE: 1" = 10'-0"

Notes

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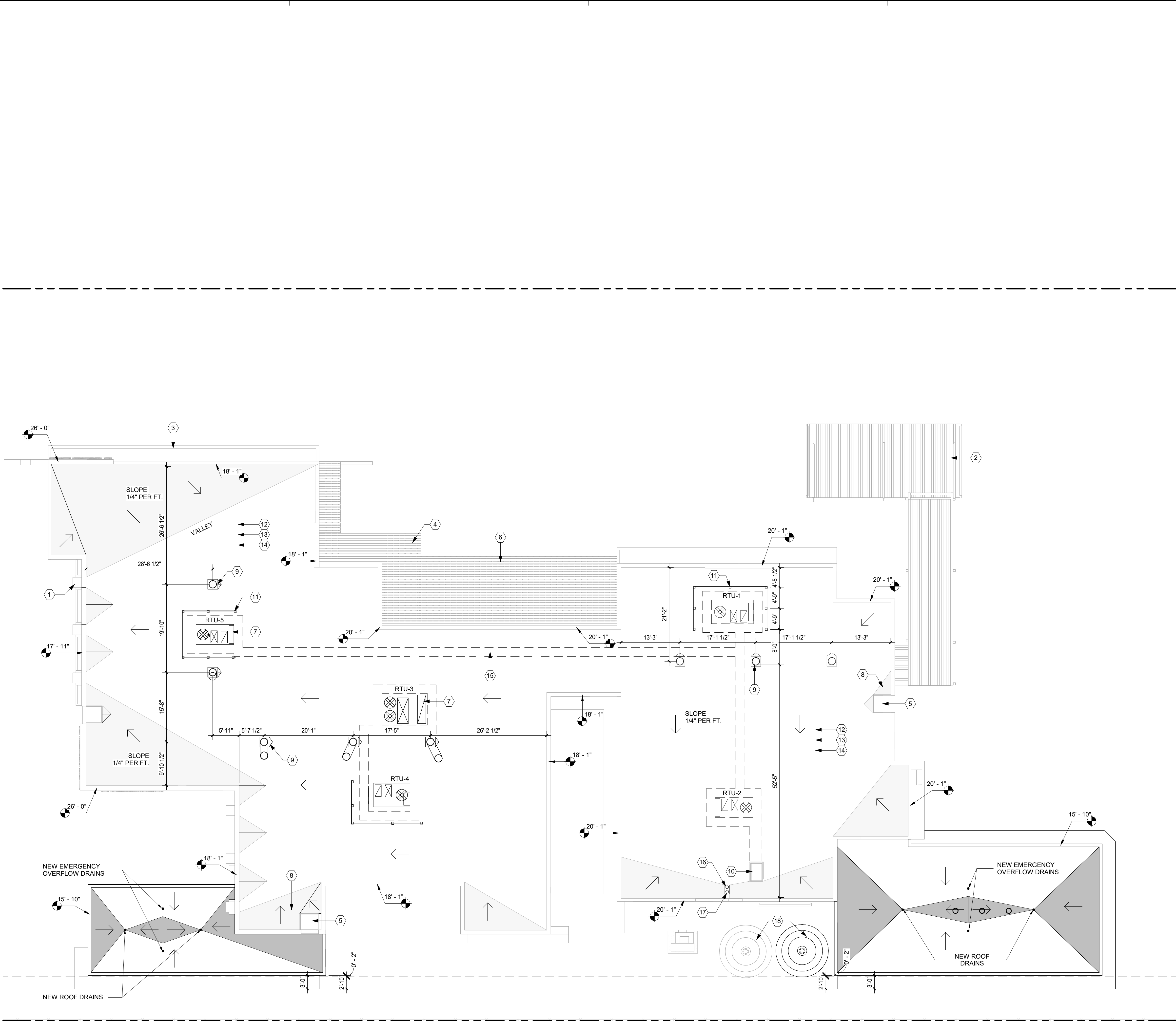
"SITE PLAN REVIEW SET - FILE NO. 2024-258"
SPODAK DENTAL GROUP
3911 W. Atlantic Ave
Delray Beach, FL 33445

DRAWING ISSUE DATES:

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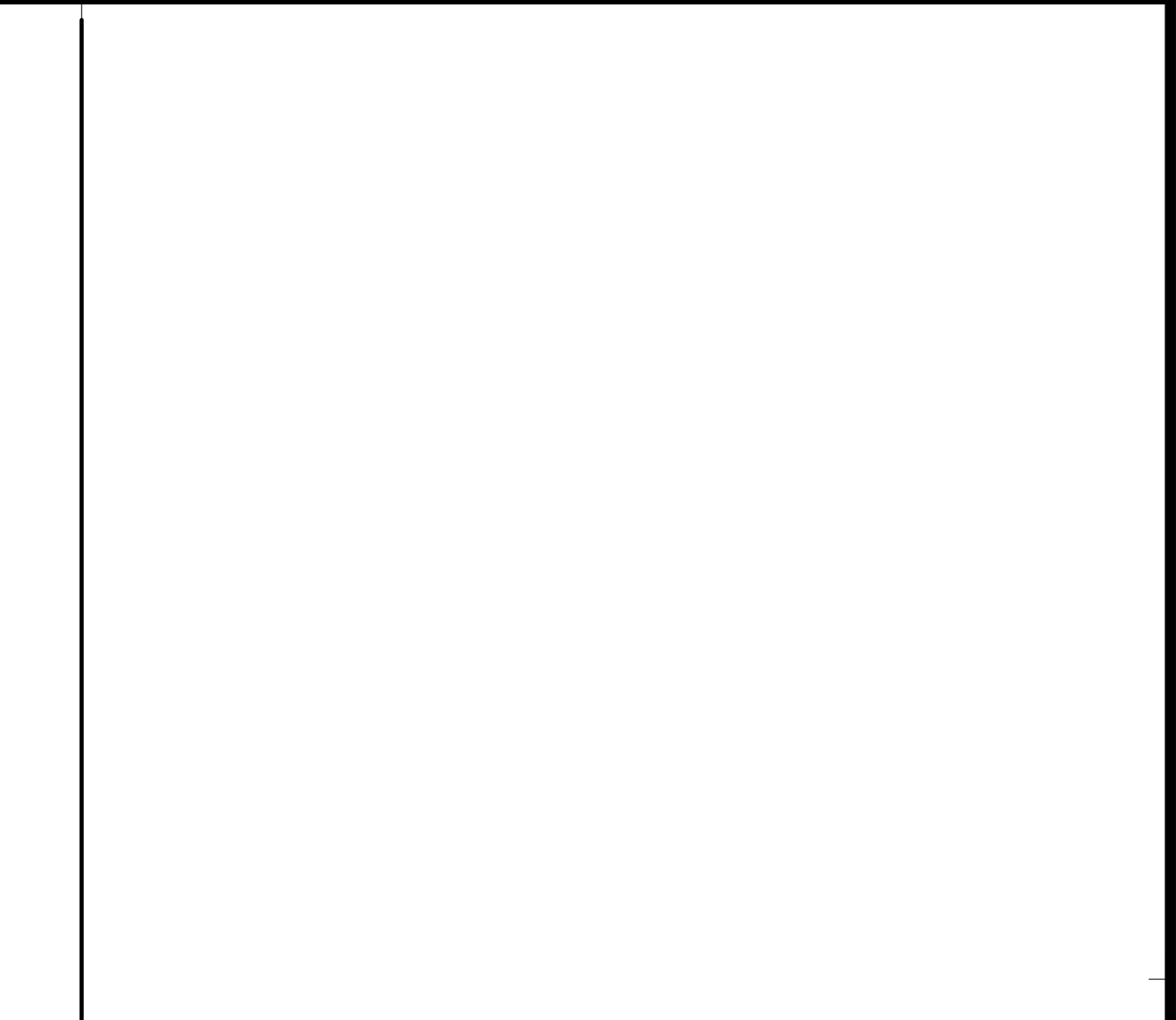
Life Safety Plan

SHEET
A-3.1
PROJECT 230712
DATE 11-20-24
PERMIT NO.



Roof Plan

SCALE: 3/32" = 1'-0"

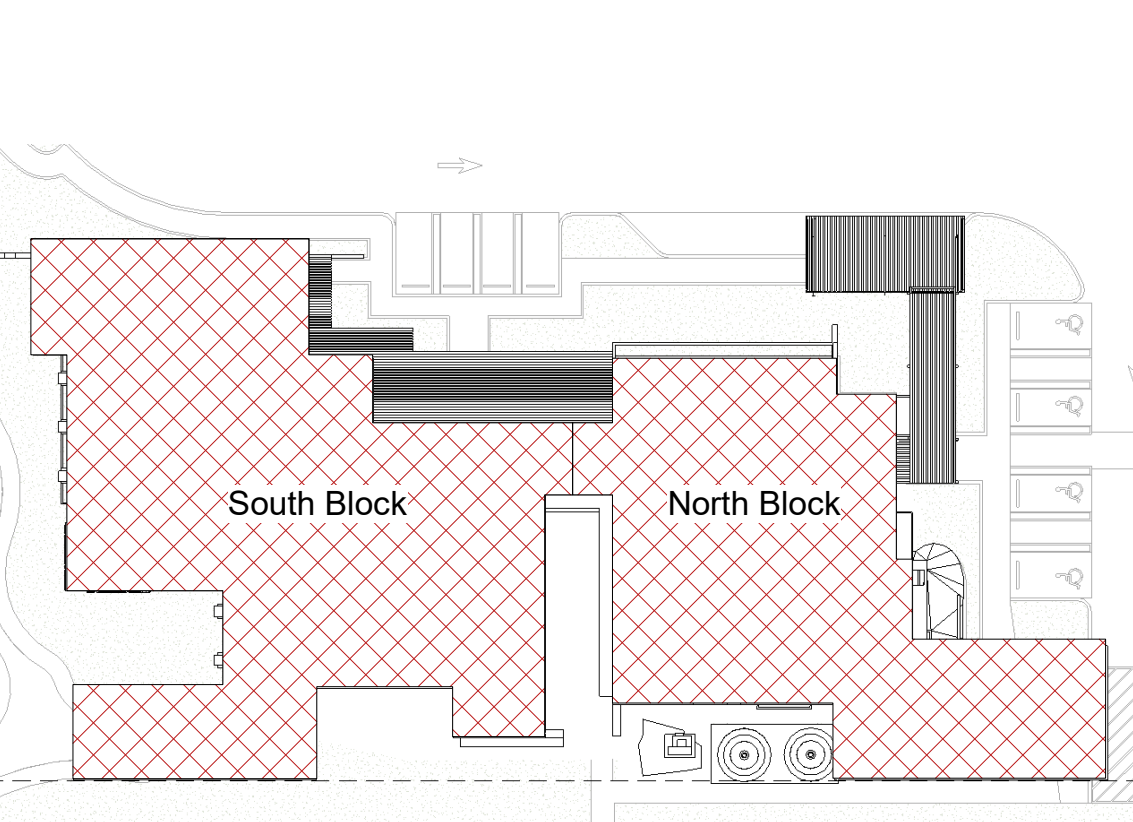


Legend

| Existing Roof Keynotes Legend | |
|-------------------------------|----------------------------------------------------------------------------------------------|
| No. | Keynote |
| 1 | OVERFLOW SCUPPERS |
| 2 | ENTRY CANOPY |
| 3 | CAST IN PLACE CONCRETE EYEBROW |
| 4 | PERGOLA |
| 5 | SKYLIGHT |
| 6 | TRELLIS CANOPY BELOW |
| 7 | MECHANICAL UNIT |
| 8 | CROCKET |
| 9 | SOLATUBE |
| 10 | BILCO TYPE NB ROOF HATCH |
| 11 | 5 FEET TALL MECHANICAL SCREEN WALL |
| 12 | 2 PLY FIBREGLASS TPO ROOF SYSTEM WITH WHITE CAP SHEET OVER 6\"/> |
| 13 | ROOFING PRODUCT TO MEET MIN. SRI OF 78 MFGR DATA AND SRI TO BE SUBMITTED WITH SHOP DRAWINGS. |
| 14 | ROOF CONTRACTOR TO COORDINATE VALLEYS AND RIDGES IN FIELD W/ ARCH AND G.C. |
| 15 | WALKWAY REINFORCEMENT |
| 16 | 6\"/> |
| 17 | 6\"/> |
| 18 | CISTERN |

Existing Roof Plan Keynotes

General Notes



Key Plan

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Roof Plan

SHEET
A-3.2
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Renderings

SHEET

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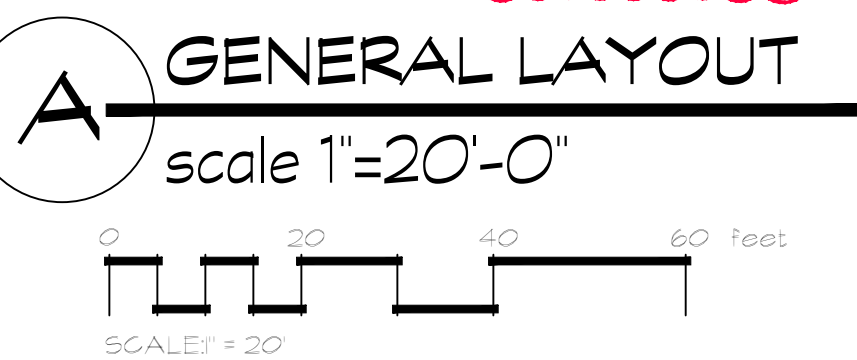
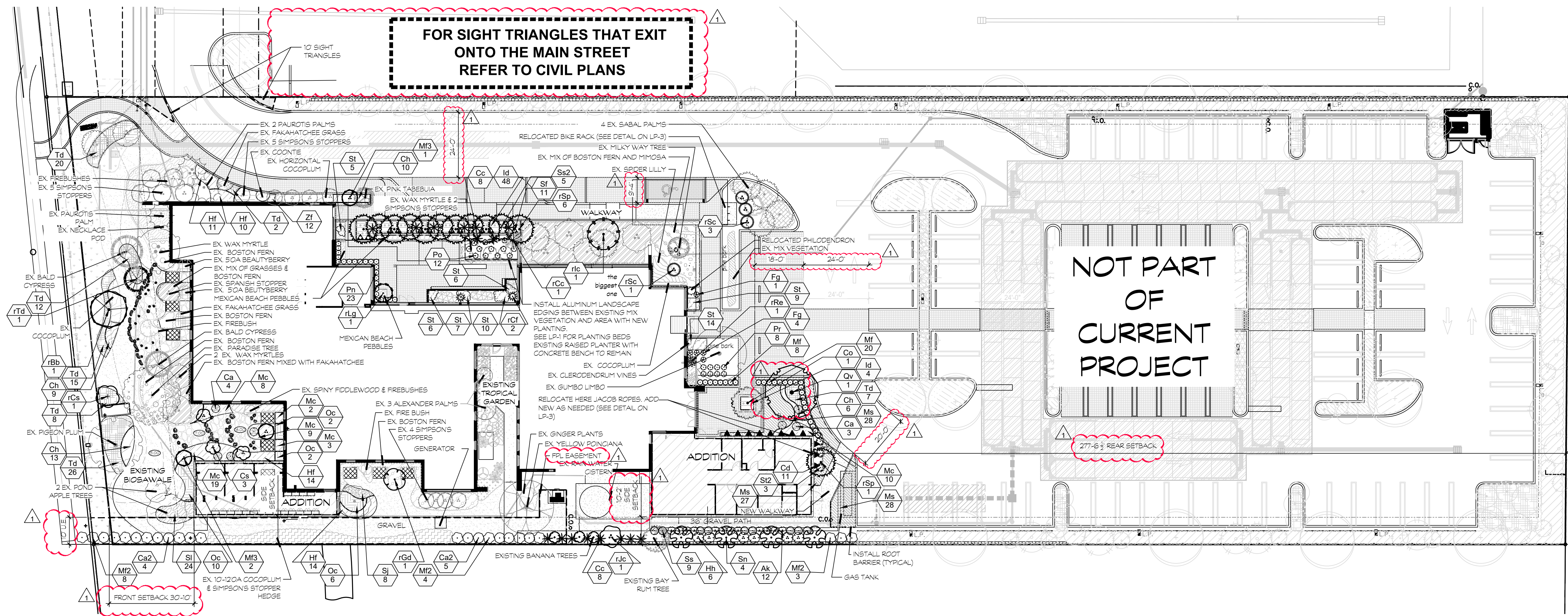
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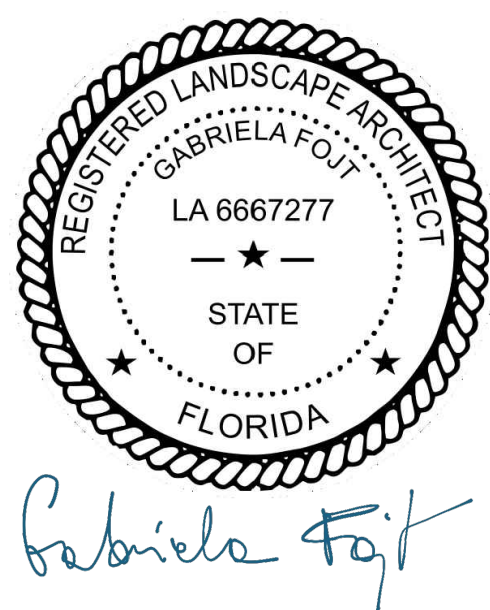


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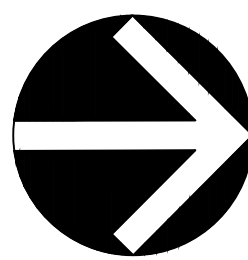
NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.

| PLANT SCHEDULE | | | | | | | | |
|-------------------------|------|-----|------------------------------------|-------------------------|------------------------------------------------|----------|--------|-----------------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | NATIVE | DROUGHT RESIST. |
| TREES | | | | | | | | |
| | Co | 1 | Chrysophyllum oliviforme | Satinleaf | 12"OA, 5' spr, 2" cal | AS SHOWN | YES | HIGH |
| | Cs | 3 | Citharexylum spinosum | Spiny Fiddlewood | 5'-6"OA, multi | AS SHOWN | YES | HIGH |
| | MF3 | 3 | Myrcianthes fragrans | Simpson's Stopper multi | 8'OA, multi-trunk | AS SHOWN | YES | HIGH |
| | Qv | 1 | Quercus virginiana | Southern Live Oak | min.16"OA x 7" spr x 8"CT, 6' str trunk, 4"dbh | AS SHOWN | YES | HIGH |
| | Ss2 | 5 | Sabal palmetto | Cabbage Palmetto | 6'CT, booted, matched | AS SHOWN | YES | HIGH |
| RELOCATED TREES & PALMS | | | | | | | | |
| | rBb | 1 | Bauhinia x blakeana | Hong Kong Orchid Tree | see DT-1 | AS SHOWN | NO | HIGH |
| | rCs | 1 | Citharexylum spinosum | Spiny Fiddlewood | see DT-1 | AS SHOWN | YES | HIGH |
| | rGd | 1 | Guapira discolor | Blolly | see DT-1 | AS SHOWN | YES | MODERATE |
| | rIc | 1 | Ilex cassine | Dahoon Holly | see DT-1 | AS SHOWN | YES | MODERATE |
| | rLg | 1 | Licuala grandis | Ruffled Fan Palm | see DT-2 | AS SHOWN | NO | MODERATE |
| | rJc | 1 | Plinia cauliflora | Jabuticaba | see DT-1 | EXISTING | NO | HIGH |
| | rSp | 7 | Sabal palmetto | Cabbage Palmetto | see DT-1 | AS SHOWN | YES | HIGH |
| | rTd | 1 | Taxodium distichum | Bald Cypress | see DT-1 | AS SHOWN | YES | HIGH |
| SHRUBS | | | | | | | | |
| | Ak | 12 | Alpinia purpurata 'Pink' | Pink Ginger | 36"OA, full | 36"OC | NO | LOW |
| | Ca | 7 | Callicarpa americana | American Beautyberry | 3 gal, full | AS SHOWN | YES | HIGH |
| | Ca2 | 9 | Chrysobalanus icaco 'Green Tip' | Green Tip Coco Plum | 4'-5"OA, ftb | 48"OC | YES | HIGH |
| | Cd | 11 | Clerodendrum thomsoniae 'Delectum' | Bleeding-Heart Vine | min.30"OA | 48"OC | NO | HIGH |
| | Cc | 16 | Cymbopogon citratus | Lemongrass | 3 gal, full | AS SHOWN | NO | MODERATE |
| | Fg | 5 | Farfugium japonicum giganteum | Giant Leopard Plant | 3 gal. | 30"OC | NO | MODERATE |

| PLANT SCHEDULE | | | | | | | | |
|------------------|------|-------|---------------------------------------------|-------------------------------|-------------------|----------|--------|-----------------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | NATIVE | DROUGHT RESIST. |
| | Hh | 6 | Heliconia caribaea x bihai 'Hot Rio Nights' | Hot Rio Nights Heliconia | 5'-6"OA, ftb | AS SHOWN | NO | MODERATE |
| | Mf | 28 | Myrcianthes fragrans | Simpson's Stopper | 3'OA, ftb | 24"OC | YES | HIGH |
| | MF2 | 15 | Myrcianthes fragrans | Simpson's Stopper | 5'OA, ftb | 48"OC | YES | HIGH |
| | Po | 12 | Peperomia obtusifolia | Baby Rubberplant | 1 gal | 30"OC | YES | MODERATE |
| | Pr | 8 | Philodendron x 'Hope' | Hope Philodendron | 3 gal | 30"OC | NO | HIGH |
| | Pn | 23 | Psychotria nervosa | Wild Coffee | 3 gal, 18"OA | 24"OC | YES | HIGH |
| | Ss | 9 | Sanchezia speciosa | Shrubby Whitevein | 3'OA, ftb | 36"OC | NO | MODERATE |
| | St2 | 3 | Sophora tomentosa | Yellow Necklacepod | 7 gal ftb | AS SHOWN | YES | HIGH |
| | Sf | 11 | Stephanotis floribunda | Madagascar Jasmine | 3 gal. trellis | AS SHOWN | NO | MODERATE |
| | Sn | 4 | Strelitzia nicolai | Giant Bird of Paradise | 6'-8"OA, full | AS SHOWN | NO | HIGH |
| RELOCATED SHRUBS | | | | | | | | |
| | rCf | 2 | Cordyline fruticosa | Ti Plant | 3'-4"OA | AS SHOWN | NO | MODERATE |
| | rCc | 1 | Cyathea cooperi | Australian Tree Fern | 8'OA | AS SHOWN | NO | LOW |
| | rRe | 1 | Rhaps excelsa | Lady Palm | 3'-4"OA, full | 4' OC | NO | MODERATE |
| | rSc | 4 | Serenoa repens 'Cinerea' | Silver Saw Palmetto | various 2.5'-5'OA | AS SHOWN | YES | HIGH |
| SHRUB AREAS | | | | | | | | |
| | Ch | 38 | Chrysobalanus icaco 'Horizontalis' | Horizontal Coco Plum | 3 gal, full | 24"OC | YES | HIGH |
| | Hf | 49 | Hamelia patens | Firebush | 3 gal, ftb | 24"OC | YES | HIGH |
| | Id | 52 | Ilex vomitoria 'Schillings Dwarf' | Schillings Dwarf Yaupon Holly | 3 gal, full | 30"OC | YES | HIGH |
| | Ms | 83 | Mimosa strigillosa | Sunshine Mimosa | 6" | 30"OC | YES | HIGH |
| | Mc | 51 | Muhlenbergia capillaris | Pink Muhly Grass | 1 gal | 30"OC | YES | HIGH |
| | Oc | 20 | Odontonema cuspidatum | Firespike | 24"OA, ftb | 36"OC | NO | MODERATE |
| | Sl | 24 | Sophora tomentosa occidentalis | Yellow Necklacepod | 3 gal, full | 24"OC | YES | HIGH |
| | St | 57 | Spathoglottis plicata 'Tropical Punch' | Tropical Punch Ground Orchid | 1 gal. full | 18"OC | NO | LOW |
| | Sj | 8 | Stachytarpheta jamaicensis | Blue Porterweed | 3 gal, full | 24"OC | YES | HIGH |
| | Td | 90 | Tripsacum floridanum | Florida Gamagrass | 1 gal | 30"OC | YES | HIGH |
| | Zf | 12 | Zamia floridana | Florida Coontie | 3 gal | 24"OC | YES | HIGH |
| GROUND COVERS | | | | | | | | |
| | Ss3 | 83 sf | Stenotaphrum secundatum | St. Augustine Grass | sod | | | |



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gabriela@themirrorofparadise.com



| | |
|-------------------|--------------|
| SCALE | 1"=20'-0" |
| DESIGNED BY | GF |
| DRAWN BY | ... |
| CHECKED BY | GF |
| CAD DWG. | |
| DATE | 06.26.2024 |
| REVISIONS | |
| per City comments | 1 12.09.2024 |

Site Plan Review Set
File No. 2024-258

SPODAK DENTAL GROUP
3911 W. ATLANTIC AVENUE
DELRAY BEACH, FL, 33445

LANDSCAPE PLAN & SCHEDULE