



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD

Fifth Third Bank

Meeting	File No.	Application Type
October 25, 2023	2022-267-SPF-WAI-CL5	Class V Site Plan
Applicant / Property Owner		Authorized Agent
KP Delray LLC		BDG Architects – Benjamin Lewis

Request

Consideration of a Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for a standalone branch bank facility spanning 1,820 square feet, designated as Fifth Third Bank. The facility includes a drive-thru and a request for an exception in height to allow the parapet to exceed the maximum 4 feet to screen the rooftop equipment.

Site Data & Information

Location: 5070 West Atlantic Avenue

PCN: 12-42-46-14-24-002-0000

Property Size: 0.55 acres

Land Use Designation: General Commercial (GC)

Zoning District: Planned Commercial (PC),

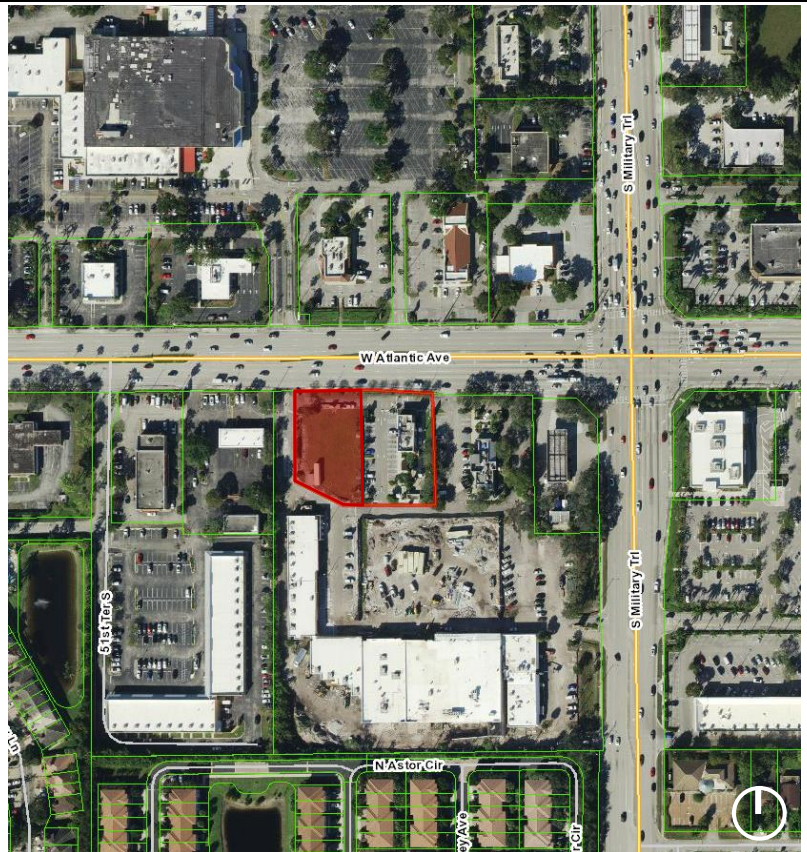
Overlay: Four Corners Overlay District

Adjacent Zoning:

- **North, South, East & West:** PC (Four Corners Overlay District)

Current Use: vacant

Proposed Use: Financing institution with drive-thru facility





Background

The subject parcel, also known as a portion of Tract 2 of the Delray Commons Shopping Center, P.B. 85, Page 183, was approved in August of 1999 to create separate, saleable tracts. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, and parking and drainage easements, as recorded on June 1, 1999, in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 square-foot of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 square-foot bank with drive-thru area and associated parking.

On September 17, 2018, the Planning and Zoning Board (PZB) approved a Master Development Plan (MDP) modification for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

On January 9, 2019, Tract 2 was approved to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking.



View from internal plaza drive aisle adjacent to Atlantic Avenue (Google Maps)

On October 27, 2021, Tract 1 was approved to develop a Sprouts grocery store and overall improvements to the entire site including parking and landscaping.

On September 26, 2023, PZB approved a modification to the MDP to add an 1,820 square-foot bank to Tract 2 with three waiver requests related to the MDP requirements for lot coverage, open space, and permitter landscape buffering, and two waiver requests associated with the bank relative to the landscape buffer requirements and minimum building size. Below are the approved requested waivers:

MDP Modification Requests Affecting the Entire Site (Tracts 1 and 2)

- **Waiver 1:** Waiver from LDR Section 4.4.9(F)(3)(c) to allow lot coverage of 77.17% where a maximum of 75% lot coverage is required.
- **Waiver 2:** Waiver from LDR Section LDR Section 4.4.9(G)(3)(e)(1) Lot Coverage and Open Space to allow 22.83% of open space where the minimum open space required is 25% for the Master Development Plan.
- **Waiver 3:** Waiver from LDR Section 4.4.9(F)(3)(d) Perimeter Buffers to allow a front yard landscape buffer of 9.5 feet where a 30-foot buffer is required when abutting an arterial street (West Atlantic Avenue) to apply to the north property line of Tract 2. The previous MDP showed a non-conforming 10-foot perimeter buffer adjacent to West Atlantic Avenue.

Waiver Requests Associated with the Bank (Tract 2)

- **Waiver 4:** Waiver from LDR Section 4.4.9(G)(3)(e)(2) Minimum Structure size to allow construction of an 1,820 square foot bank with a drive-thru that is less than the required 4,000 square feet, on the western portion of Tract 2 facing West Atlantic Avenue.
- **Waiver 5:** Waiver from LDR Section 4.4.9(F)(3)(d) Perimeter Buffers to allow the parcel's east perimeter interior landscape buffer to be 5 feet where a minimum of 10 feet is required; this waiver is interior to the MDP adjacent to Tract 1.



View from Atlantic Avenue (Google Maps)

Note: A Minor Plat application (2023-262) is currently under review.

Description of Proposal

The proposal includes the construction of a new standalone branch bank facility, Fifth Third Bank. The one-story 1,820 square-foot building equipped with a drive-thru for one VTM lane and one ATM lane. The proposal includes 12 parking spaces.

Landscape improvements are provided throughout the site. It is important to note that the landscaping in the rendering does not accurately reflect the design in the Landscape Plan.

Note: Signage is not included in this review process and will require a separate review.



Review & Analysis: Site Plan and Zoning

LDR Section 2.4.5(F)(5), Class V Site Plan

A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is a preferred zoning district for properties with the GC Land Use Map (LUM) designation. The proposed use is permitted in the PC Zoning District.



3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: An existing 8-inch water main which connects to Atlantic Avenue is located within the subject property and currently serves the retail tenant space. Sanitary sewer connections are made into an existing 8-inch main located on site. Pursuant to the Always Delray Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

Drainage: A drainage system exists on-site and has been analyzed by the City Engineer for compliance during the site plan review process.

Transportation: The Palm Beach County Traffic Division has determined that the proposed bank generates less than 20 peak hour trips, therefore, the project meets the Traffic Performance Standards of Palm Beach County.

Parks and Open Space: N/A

Solid Waste: The increase in solid waste is minimal, the proposed Bank of 1,820 square feet is calculated to generate 6.643 tons per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: N/A

3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are LDR Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and LDR Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure new development will not have a negative impact on the sounding area, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district.

The proposed building design, lighting, and landscaping are not anticipated to impact visibility or create distractions. The proposal complies with the sight visibility requirements and the minimum/maximum photometric levels. The proposed bank replaces a former bank and is not anticipated to have a negative impact on the safety and stability of nearby neighborhoods; it is a permitted use within the Four Corners Overlay District, and similar to other recent development within the area. The proposed development generally meets the applicable standards as there are no significant concerns related to the overall consistency with Article 3.2.

Comprehensive Plan

A review of the objectives and policies of the adopted Always Delray Comprehensive Plan was conducted, and the following applicable objectives or policies were noted:

Neighborhoods, Districts, and Corridors Element

Objective NDC 1.1 Land use Designation Establish compatible land use arrangements using land use categories appropriate for the diverse and different neighborhoods, districts, and corridors throughout Delray.

Policy NDC 1.1.14 Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.



Objective 2.3, Western Neighborhoods (West of Interstate-95) Protect and enhance the residential neighborhoods located west of I95, improve connectivity, and provide a mix of uses that meet daily needs of residents.

Objective NDC 2.7 Planning of Neighborhoods, Districts, and Corridors Continue to respond to unique needs and conditions of the varied neighborhoods, districts, and corridors of Delray Beach using Neighborhood and Redevelopment Plans that determine specialized planning strategies and improvement projects to implement the vision of plans.

Policy NDC 2.7.25 Evaluate the Land Development Regulations to the Four Corners Overlay District, which were adopted in 2007, to assess the vision for the area and create and adopt a redevelopment plan that implements the identified vision through the provision of guidelines and recommendations; new improvements and development shall comply with the provisions of the applicable Land Development Regulations until a Plan and associated Land Development Regulations are adopted.

The land use designation and corresponding zoning regulations within the Four Corners Overlay District support the continued redevelopment of the area by encouraging the provision of appropriate and complementary commercial activities to serve the surrounding neighborhoods. The mix of restaurants, financial services, and retailers serves the needs of both the surrounding residential development, as well as consumers from outside of the immediate area who access the plaza from both West Atlantic Avenue and Military Trail.

It is important to note that although the development standards for the Four Corners Overlay District, adopted in 2007 (Ordinance No. 08-07), anticipates the redevelopment of the four commercial nodes at the intersection of Military Trail and West Atlantic Avenue to provide for mixed-use development on properties and encourage the inclusion of residential uses by allowing a higher density and including workforce housing, there have not been significant development requests at any of the four corners since the Overlay District was established, other than the recent partial redevelopment of Delray Landing, and Delray Square, which both abut Military Trail on the south side of West Atlantic Avenue. While the proposal does not take advantage of the residential redevelopment incentives offered in the Four Corners Overlay District, the proposed modifications to the existing retail space support the continued service of the daily needs of residents.

3.1.1(D), Compliance with the LDRs:

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

Standard/Regulation	Review	
Lot Coverage 4.4.9(F)(3)(c)	Maximum: 75% Proposed: 75%	
Perimeter Buffer 4.4.9(F)(3)(d)	Required: Front (Atlantic Avenue): 30 feet Side East (internal parcel line): 10 feet Side West (internal parcel line): 10 feet Rear (internal parcel line): 10 feet	Proposed: Front (Atlantic Avenue): 9.5 feet (waiver provided in MDP approval) Side East (internal parcel line): 5 feet (waiver provided in MDP approval) Side West (internal parcel line): 11.9 feet Rear (internal parcel line): 10 feet
Building Height 4.4.9(F)(3)(e)	Maximum: 48 feet (4 feet parapet pursuant to LDR Table 4.3.4(J)(3)) Proposed: Ranges from 12 feet 1 inches to 12 feet 9 inches (measured to top of roof) Parapet ranges from 4 feet 3 inches to 4 feet 11 inches (3-11 inches above maximum)* Total height 17 feet 8.5 inches <i>*Pursuant to LDR 4.3.4(J)(3)(b): Exception types that are "Subject to Action by the Approving Body" in Table 4.3.4(J)(3), require board action by the approving body and are subject to the following procedure:</i> 1. Documentation supporting the requested height exception must be provided, such as, but not limited to, massing study, line of sight diagrams, architectural proportion analysis, or roof area	



	<p><i>calculations, and justification statement addressing the necessity of the request and the criteria for board action in Section 4.6.18(E).</i></p> <p><i>2. The approving body shall make findings that the granting of the height exception meets the standards in Section 4.6.18(E), and Section 4.5.1(E), as applicable.</i></p> <p>Review for compliance to Section 4.6.18(E) provided in Architectural Elevations Review.</p>	
<p>Setback 4.4.9(F)(3)(f)</p>	<p>Required: Front (Atlantic Avenue): 30 feet Side East (internal parcel line): 25 feet Side West (internal parcel line): 25 feet Rear (internal parcel line): 25 feet</p>	<p>Proposed: Front (Atlantic Avenue): 53.9 feet Side East (internal parcel line): 30.4 feet Side West (internal parcel line): 58.1 feet Rear (internal parcel line): 69.4 feet</p>
<p>Open Space 4.4.9(G)(3)(e)1.a.</p>	<p>Minimum: 25% Proposed: 25%</p>	
<p>Minimum Structure Size 4.4.9(G)(3)(e)2.</p>	<p>Minimum: 4,000 square feet Proposed: 1,820 square feet (waiver provided in MDP approval)</p>	

Other Requirements

Standard/Regulation	Review
<p>Lighting (Photometric Plan) 4.6.8(A)(3), Illumination Standards: Table 2</p>	<p>The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, lighting at the property line adjacent a parcel or public right-of-way, and lighting at the night deposit canopy.</p>
<p>Off-Street Parking 4.6.9(C)(3)(e)</p>	<p>Required: Shopping Center: 4 parking spaces / 1,000 gross square feet = 8 parking spaces Proposed: 12 parking spaces; one handicap space</p>
<p>Bicycle Parking Table 4.6.9(C)-1</p>	<p>Required: 2 space / 10,000 square feet = 1 Type I bicycle parking space Proposed: 4 Type I bicycle parking spaces are provided on the north portion of the lot.</p>
<p>Drive-Thru Stacking 4.6.9(D)(3)(c)3.</p>	<p>Required: 100 feet from first point of transaction for each lane Proposed: 100 feet</p>

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.



Review & Analysis: Landscape Plan

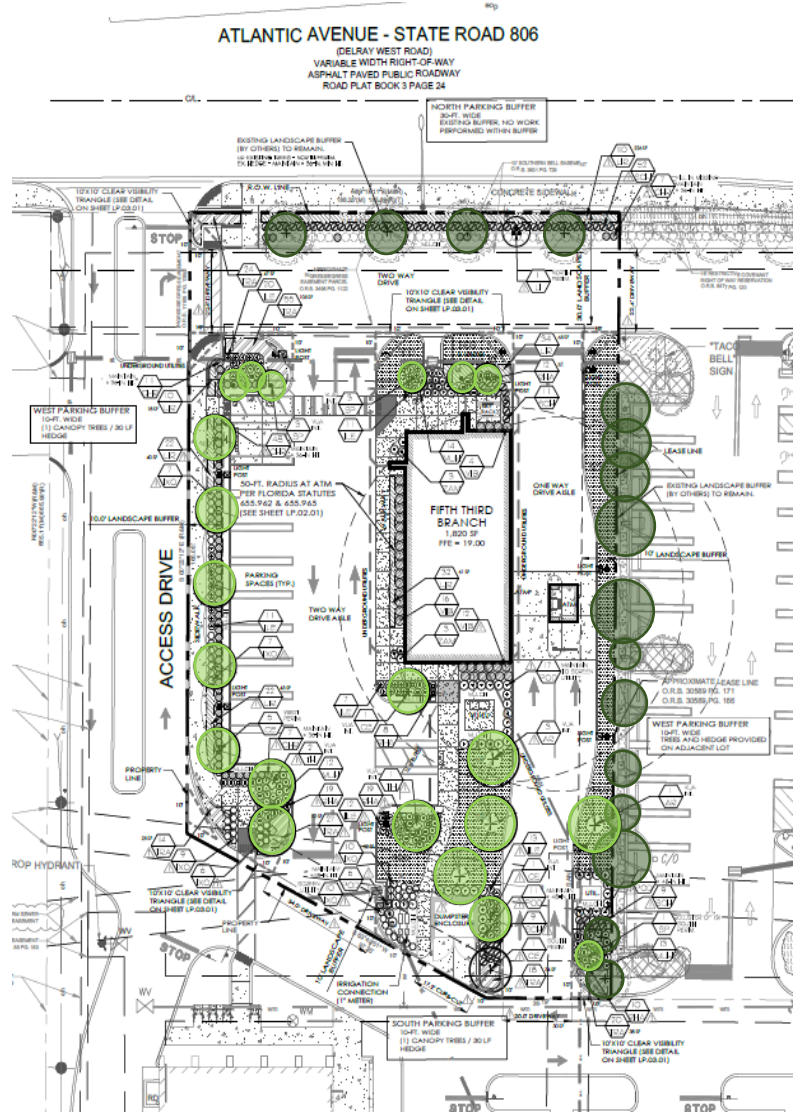
LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Landscaping improvements are provided throughout the site. Along West Atlantic Avenue, one new crape myrtle tree will be included within the landscape strip with the four existing crape myrtles. Five new green buttonwood trees are proposed to the west along one of the access drives into the plaza. One green buttonwood tree and three sabal palms are proposed along the south end of tract 2. No new trees are provided to the east of the tract as the adjacent lot contains existing trees that can be used to meet the landscape barrier requirements. Three sabal palms have been proposed for foundation landscaping and four total trees will be provided for the landscape island requirement. The landscape plan (below) has been deemed technically compliant by the Senior Landscape Planner.



Review & Analysis: Architectural Elevations

LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

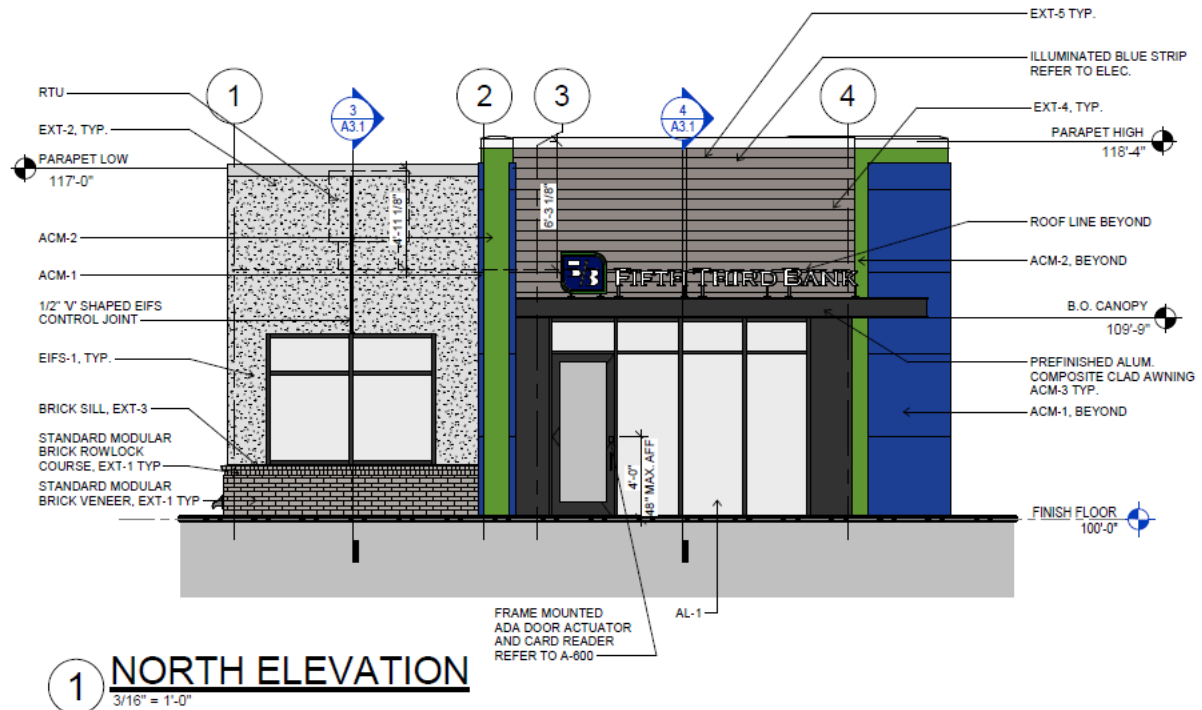
1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

In consideration of the above, the overall design shows proper design concepts. The style is Masonry Vernacular, which is a style that tends to be simple, largely unornamented, and constructed out of readily available materials. Masonry Vernacular style is consistent with the plaza and the surrounding developments.



(B) Building and structure requirements.

Pursuant to LDR Section 4.4.9(G)(3)(e)2., the Four Corners Overlay District requires that any free-standing non-residential structure be architecturally consistent with other structures in the Master Development Plan. The proposed facade elevations illustrate that the elements of the surrounding buildings have been considered. Similar design elements from adjacent structures such as similar earth tone colors and aluminum canopy awning. The proposal uses similar base colors used that are seen throughout the shopping center where the proposed structure is located and the shopping center across Atlantic Avenue.



(E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The height of the building includes a parapet that ranges from 4 feet and 3 inches to 4 feet and 11 inches to screen the roof equipment. The parapet exceeds the maximum allowed height of 4 feet pursuant to LDR Table 4.3.4(J)(3) by 3-11 inches. The requested height exception for the parapet does not exceed the maximum allowed height of 48 feet and the request does not negatively impact the surrounding area or depreciate the appearance or value of the local environment.

The elevations are generally in good taste and will not materially depreciate the surrounding environment. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E). The proposed development is generally in conformity with good taste and good design as it incorporates many elements, such as the materials and colors, of the surrounding developments.



The proposed color includes grey and the signature colors of Fifth Third, blue and green. The applicant has also proposed to do a mural within the areas shown in red below to minimize blank walls and provide interest. Taco Bell also has a mural facing the proposed Fifth Third location. The mural is not included in this review and requires a separate application and review.



Optional Board Motions

- A. Move to **approve** of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, **Fifth Third Bank**, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at **5070 W Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move to **approve, as amended**, of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, **Fifth Third Bank**, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at **5070 W Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, **Fifth Third Bank**, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at **5070 W Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to **continue with direction**.

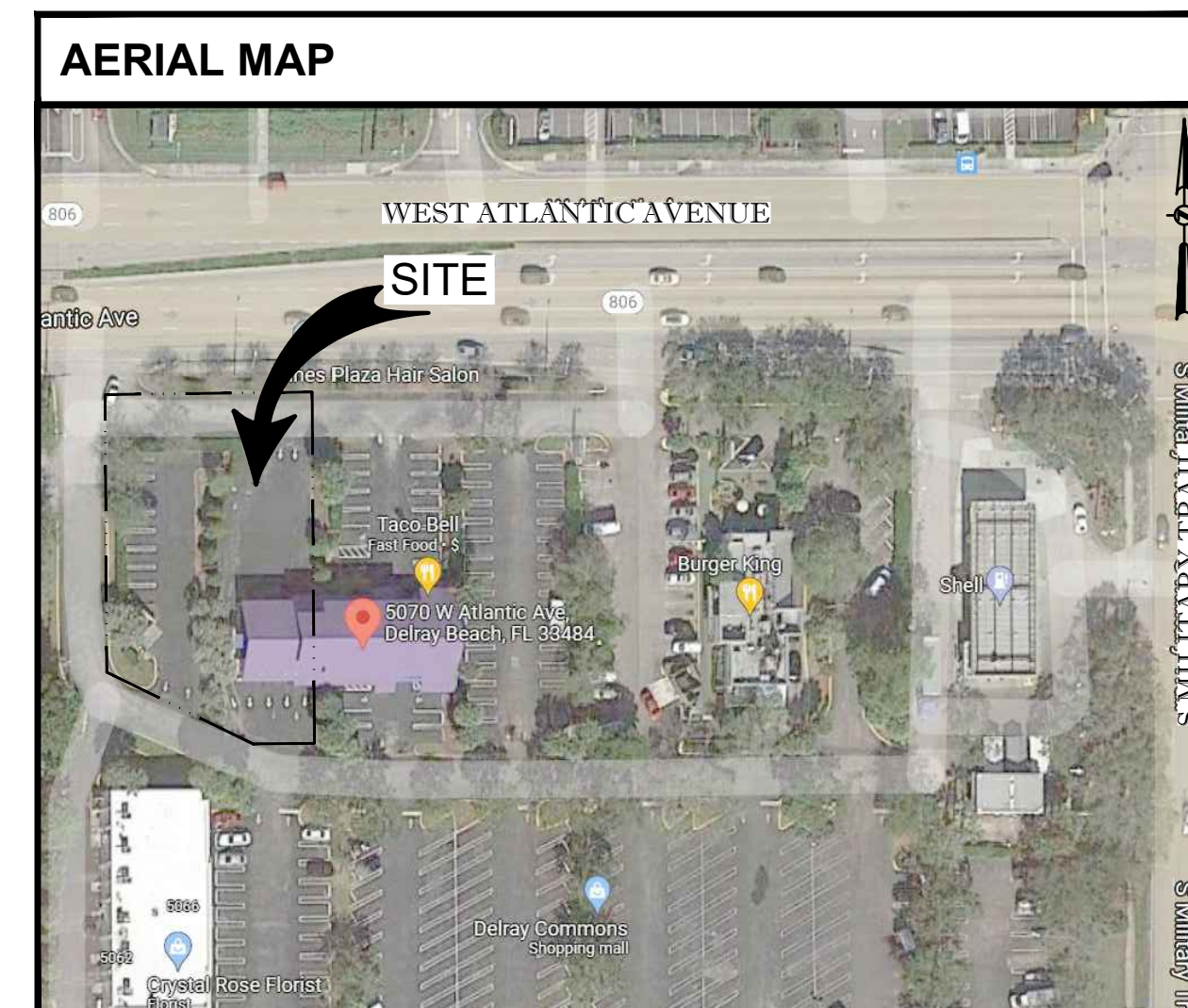
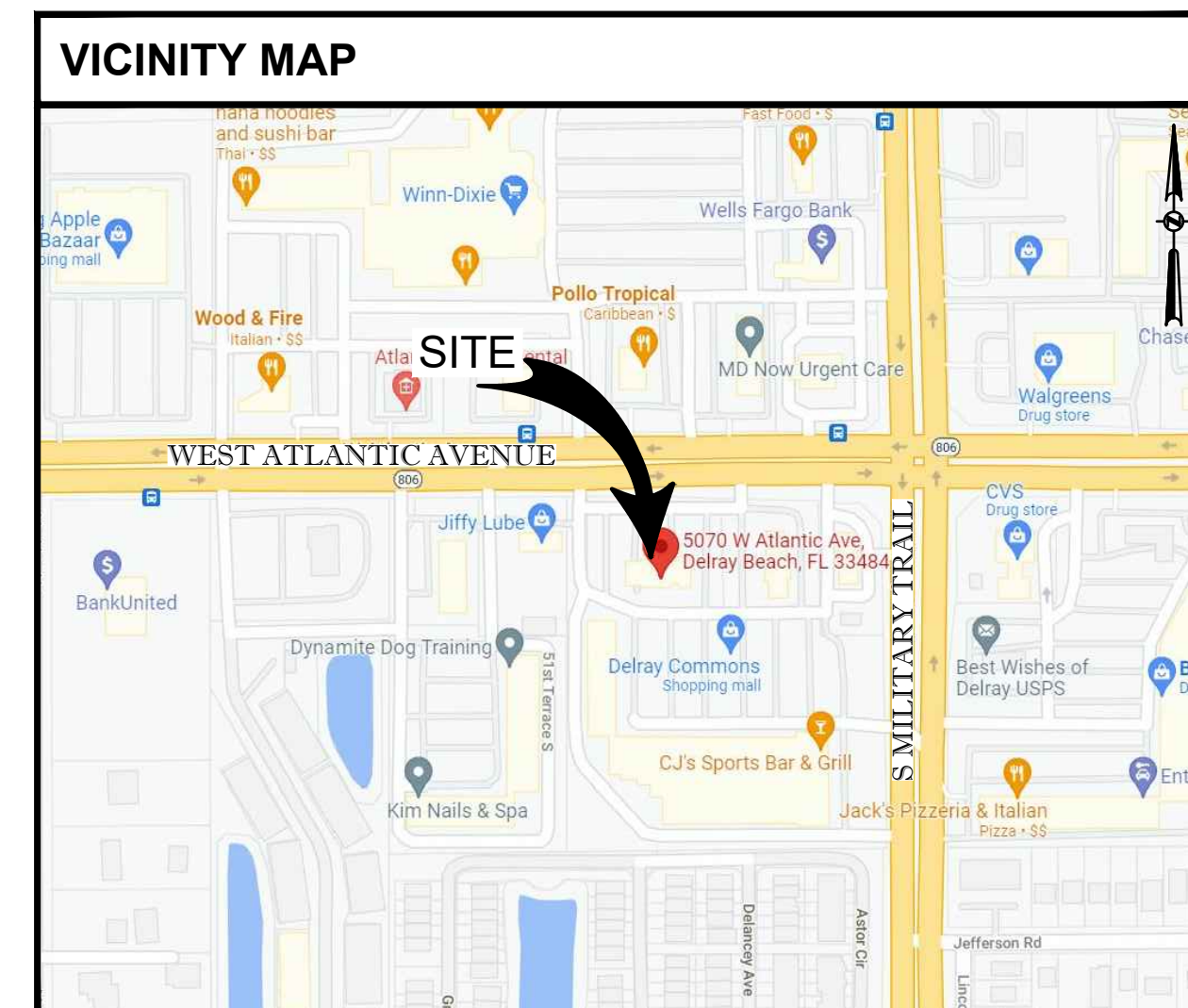
CONSTRUCTION PLANS FOR:



DELRAY COMMONS

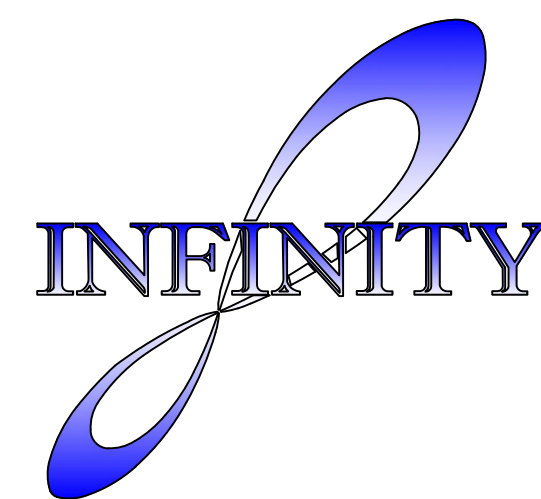
5070 W. ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33484

PROJECT TEAM	
PROPERTY OWNER/DEVELOPER: TOPVALCO INC. 1014 VINE STREET CINCINNATI, OHIO 45202 1141	CIVIL ENGINEER: INFINITY ENGINEERING GROUP, LLC 1208 EAST KENNEDY BOULEVARD SUITE 230 TAMPA, FLORIDA 33602 PH: (813) 434-4770 CONTACT: NISIT SAPPARKHAO
SURVEYORS: ELLIS SURVEYS LLC LAND SURVEYING & PLANNING P.O. BOX 160952 ALTAMONTE SPRINGS, FLORIDA 32716 PH: (407) 834-4003 CONTACT: ROBERT A. ELLIS, P.L.S. EMAIL: WWW.ELLISSURVEYS.COM	ARCHITECT: BDG ARCHITECTS 550 SOUTH CALDWELL STREET SUITE 1800 CHARLOTTE, NORTH CAROLINA 28202 PH: (704) 981-8951 CONTACT: PHIL KENNEDY
GEOTECHNICAL: INTERTEK PSI 6500 NW 12TH AVENUE, SUITE 116 FORT LAUDERDALE, FLORIDA 33309 PH: (954) 267-0965 CONTACT: (954) 267-0965	



PARCEL ID: 12-42-46-14-24-002-0000
PALM BEACH COUNTY, FLORIDA

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C00.00	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C02.02	OVERALL SITE PLAN
C03.01	GRADING PLAN
C03.02	STORM PIPING PLAN
C04.01	UTILITY PLAN
C05.01	DETAILS
C05.02	DETAILS
C05.03	DETAILS (CITY OF DELRAY BEACH)
C05.04	DETAILS (CITY OF DELRAY BEACH)
C05.05	DETAILS (CITY OF DELRAY BEACH)
C06.01	SWPPP GENERAL REQUIREMENTS
C06.02	EROSION CONTROL PLAN PHASE I
C06.03	EROSION CONTROL PLAN PHASE II
C06.04	EROSION & SEDIMENT CONTROL DETAILS
LP.01	LANDSCAPE PLAN
LP.02	TREE REPLACEMENT PLAN
LP.03	LANDSCAPE DETAILS
IR.01	IRRIGATION PLAN
IR.02	IRRIGATION DETAILS
SA01.01	SITE ACCESS PLAN
1 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY

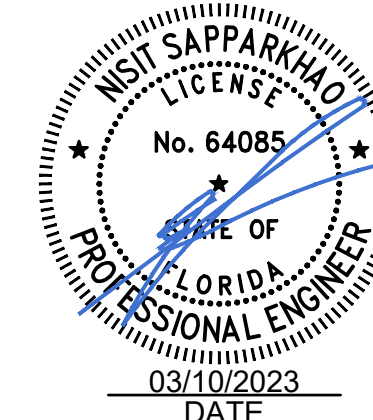


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FL Cert. of Auth. No. 27889

IEG JOB NO. 15-223.00

NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

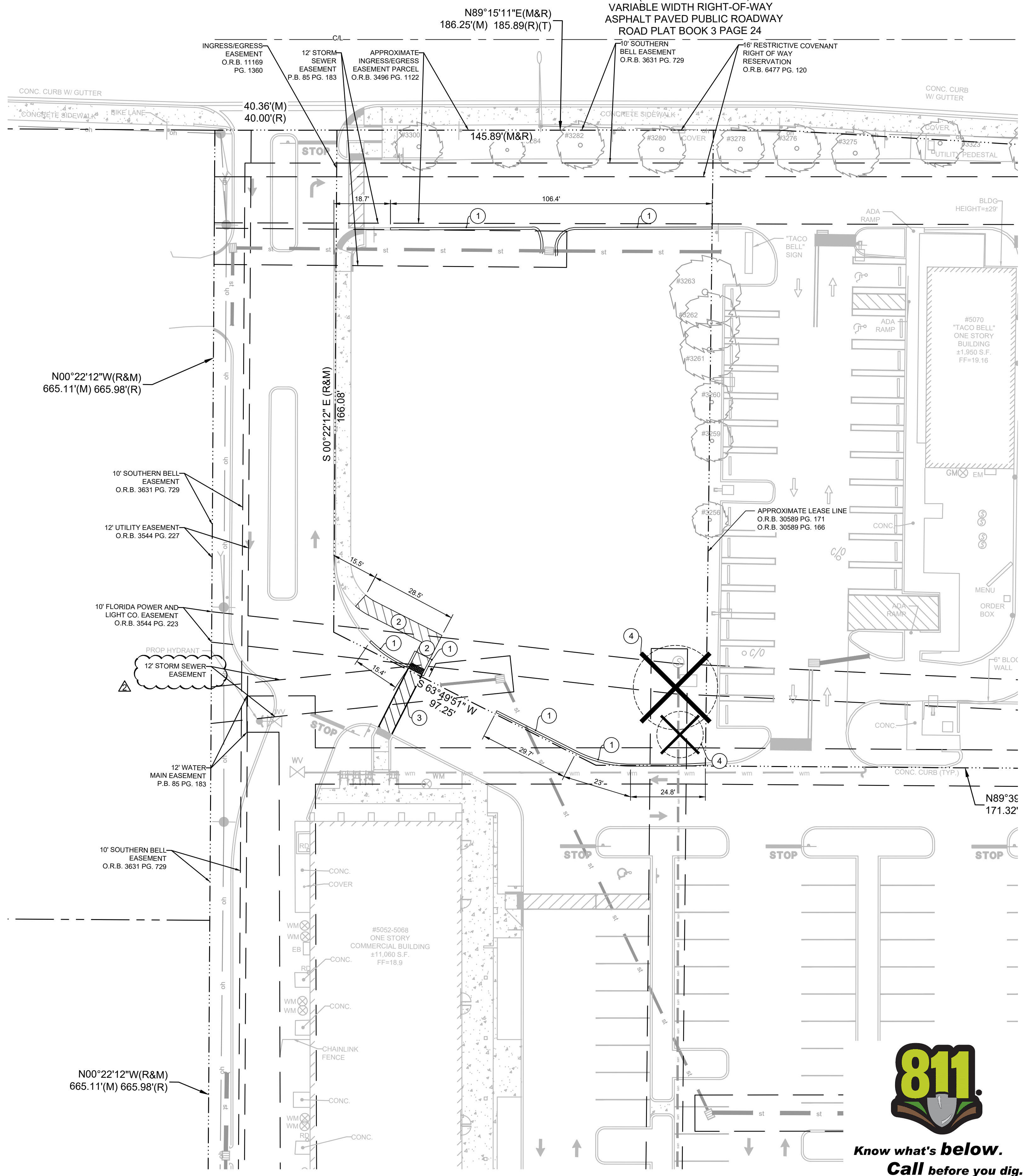


Know what's below.
Call before you dig.

BASELINE OF SURVEY, STATE ROAD 806 PER
ROAD PLAT BOOK 3 PAGE 24

ATLANTIC AVENUE - STATE ROAD 806

(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
ROAD PLAT BOOK 3 PAGE 24



KEYED NOTES	
①	EXISTING CONCRETE CURB TO BE REMOVED.
②	EXISTING CONCRETE SIDEWALK AND RAMPS TO BE SAWCUT AND REMOVED.
③	EXISTING STRIPE TO BE SEAL COATED.
④	EXISTING TREES TO BE REMOVED.

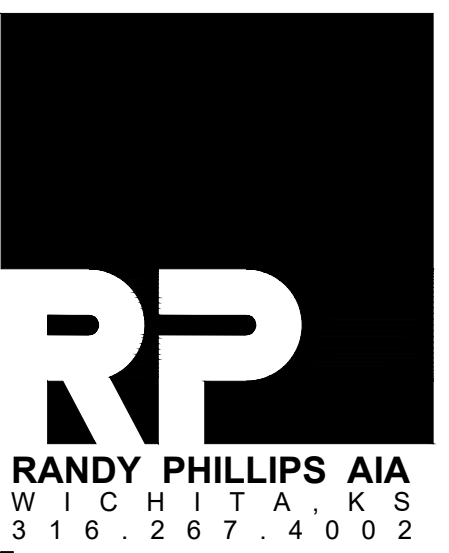
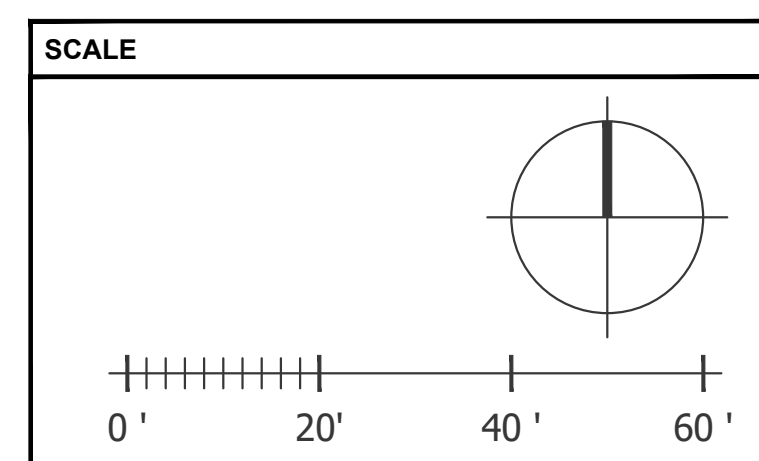
LEGEND	
---	PROPERTY LINE
▭	EXISTING CONCRETE TO REMAIN
▭	EXISTING TO REMAIN
▭	EXISTING ASPHALT/CONCRETE TO BE REMOVED
▨	EXISTING SIDEWALK TO BE REMOVED
▭	EXISTING TO BE REMOVED
---	TREE BARRIER LINE
⊗	EXISTING TREE TO BE REMOVED
gas	EXISTING GAS
san	EXISTING SANITARY
tel	EXISTING TELEPHONE
ue	EXISTING UNDERGROUND ELECTRIC
oh	EXISTING OVERHEAD LINE
wm	EXISTING WATER
-29-	EXISTING CONTOUR
⊗ 100.00'	EXISTING GRADE ELEVATION

DEMOLITION NOTES	
1.	CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
2.	ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
3.	UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 1.0 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
4.	TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
5.	THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
6.	THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION, SEE "EROSION & SEDIMENT CONTROL DETAILS".
7.	THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
8.	ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED.

TREE NOTE:
CONTRACTOR TO INSTALL TREE BARRICADES SURROUNDING ALL TREES TO REMAIN. IRRIGATE ALL LANDSCAPING AS NEEDED.

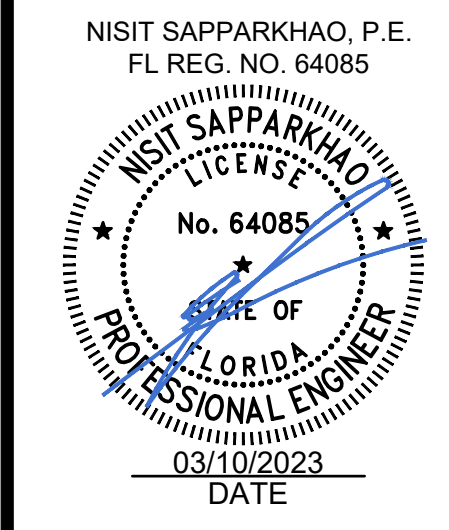


PLAN VIEW SCALE AS NOTED



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IEG JOB NO. 15-223.00

FIFTH THIRD BANK
DELRAY COMMONS
5070 WEST ATLANTIC AVE DELRAY BEACH, FL



SITE COMMENTS V2 03.10.23
PRE-PLAN REVIEW 04.25.22
DEMOLITION PLAN

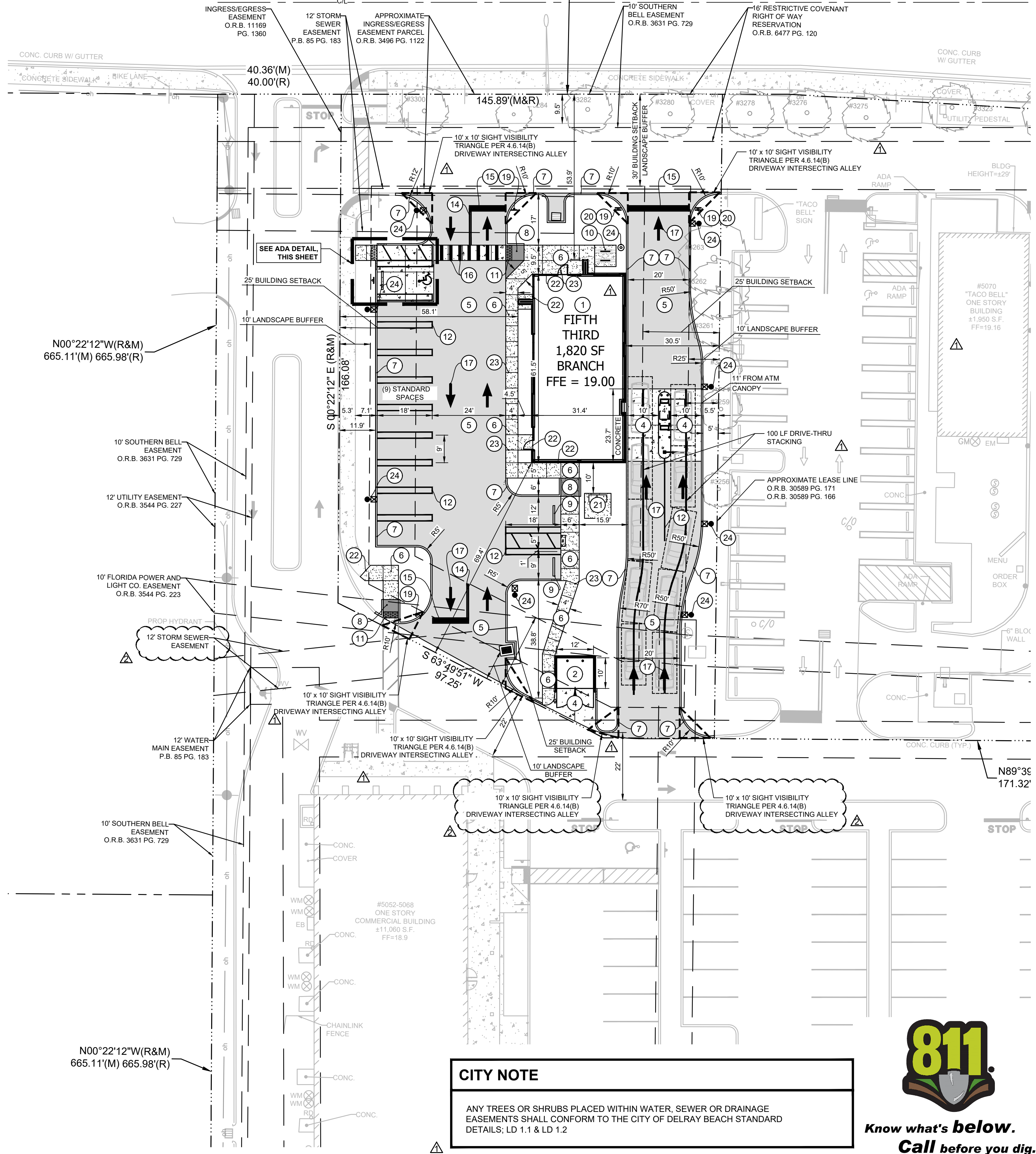
C01.01

PRE-PLAN REVIEW

BASELINE OF SURVEY, STATE ROAD 806 PER ROAD PLAT BOOK 3 PAGE 24

ATLANTIC AVENUE - STATE ROAD 806

(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
ROAD PLAT BOOK 3 PAGE 24



CITY NOTE
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2

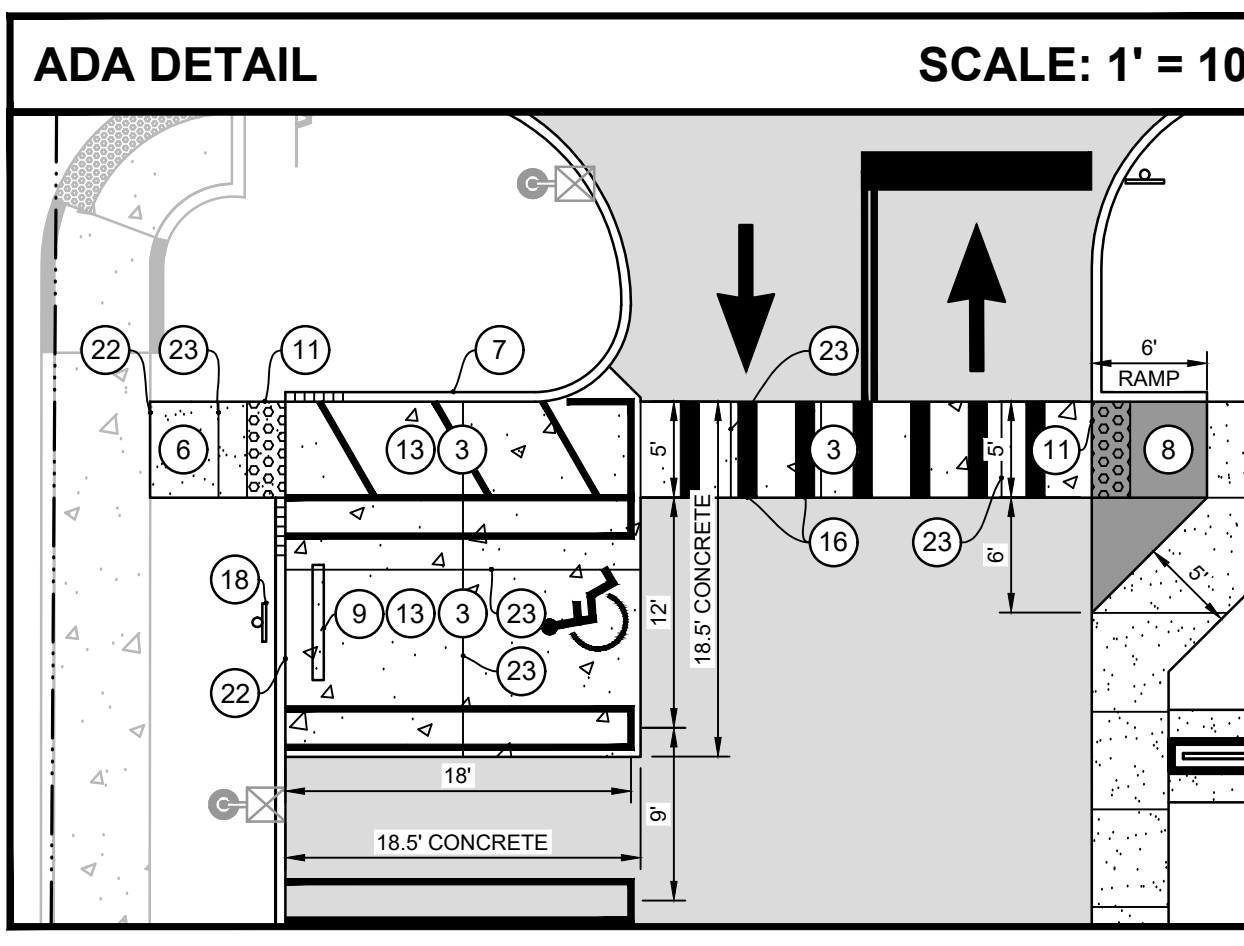


PLAN VIEW SCALE AS NOTED

KEYED NOTES	
1	NEW FIFTH THIRD BANK BUILDING. SEE ARCHITECTURAL PLANS.
2	NEW TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
3	NEW 6" BLACK TINTED CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
4	NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
5	NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
6	NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
7	NEW 6" X 18" VERTICAL CURB, 3-FOOT CURB TRANSITION AT PATHWAYS. SEE DETAILS, SHEET C05.01.
8	NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
9	NEW WHEEL STOP (TYPICAL OF 3). SEE DETAILS, SHEET C05.01.
10	NEW FIFTH THIRD STANDARD BICYCLE RACK. SEE DETAILS, SHEET C05.01.
11	NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
12	NEW 4-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT) PER CITY STANDARD RT 16.00. SEE DETAILS, SHEET C05.03.
13	NEW ACCESSIBLE PARKING SPACE AND ACCESS AISLE PER CITY DETAIL RT 16.00. SEE DETAILS, SHEET C05.03.
14	NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
15	NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
16	NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT).
17	NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT).
18	NEW ACCESSIBLE PARKING SIGN. SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
19	NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
20	NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 2). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
21	NEW TRANSFORMER PAD. SEE UTILITY PLAN, SHEET C04.01.
22	NEW EXPANSION JOINT. SEE DETAILS, SHEET C05.01.
23	NEW CONTROL JOINT. SEE DETAILS, SHEET C05.01.
24	NEW AREA LIGHT POLE/DECORATIVE LIGHT POLE. SEE ELECTRICAL SITE PLANS.

SITE PLAN GENERAL NOTES	
1.	ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
2.	EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
3.	BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL
4.	ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
5.	ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

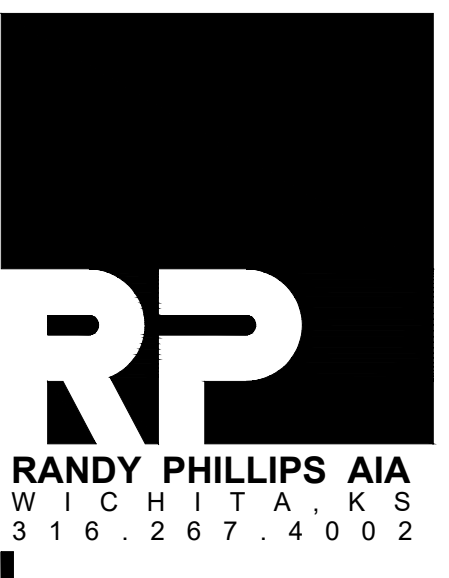
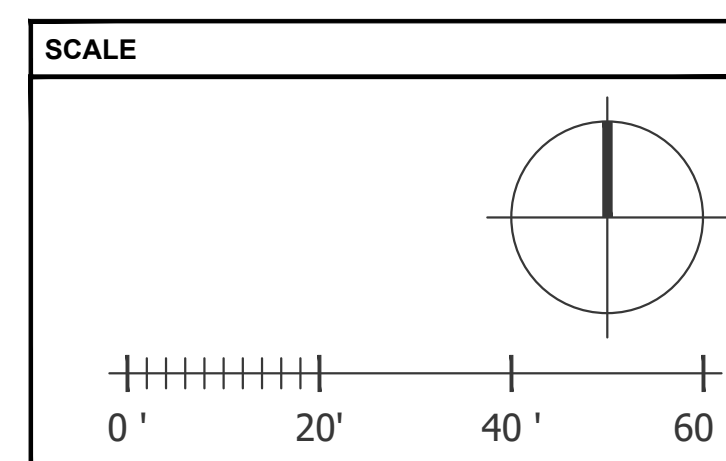
LANDSCAPE NOTE	
1.	CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
2.	CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
3.	CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



LEGEND	
	PROPERTY LINE
	EXISTING TO REMAIN
	EXISTING CONCRETE TO REMAIN
	PROPOSED CONCRETE LESS THAN 6"
	PROPOSED CONCRETE 6" OR GREATER
	NEW ASPHALT PAVEMENT
	SETBACK/BUFFER
	PROPOSED CURB

SITE DATA	
SITE ADDRESS:	5070 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33484
FOLIO:	12-42-46-14-24-002-0000
BUILDING AREA:	1,820 SF BUILDING
EXISTING ZONING:	PC (PLANNED COMMERCIAL) FOUR CORNERS OVERLAY DISTRICT
SITE AREA:	24,109 SF / 0.55 AC
TOTAL DEVELOPMENT SITE AREA:	±364,501 SF / 8.37 AC
EXISTING USE:	VACANT
FUTURE USE:	BANK WITH DRIVE THRU
OPEN SPACE OF SITE:	5,980 SF / 0.14 AC
PARKING DATA	
BANK PARKING REQUIRED:	4 SPACE PER 1,000 SF OF G.F.A. 1,820 SF x (4 / 1,000 SF) = 8 SPACES
TOTAL PARKING PROVIDED:	STANDARD PARKING = 11 SPACES HANDICAP PARKING = 1 SPACES TOTAL PARKING PROVIDED = 12 SPACES
PARKING SPACE SIZE:	9' x 18" MINIMUM
DRIVE-THRU STACKING:	100' CAR STACKING REQUIRED
BICYCLE PARKING	
REQUIRED:	2 OR 1 PER 10,000 SF BUILDING
PROVIDED:	4 SPACES
LOADING ZONE:	*NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.
BUILDING COVERAGE:	4,000 SF MINIMUM / 1,820 SF PROPOSED
BUILDING HEIGHT:	48 FT MAXIMUM / 17' - 8 1/2" PROPOSED
IMPERVIOUS ARE REQUIREMENTS:	
IMPERVIOUS AREA (75% MAX)	75% PROVIDED
LANDSCAPE REQUIREMENTS:	
LANDSCAPE BUFFER - FRONT (ATLANTIC AVENUE)	= 30' 9.5'
LANDSCAPE BUFFER - EAST (INTERIOR SIDE)	= 10' 5"
LANDSCAPE BUFFER - WEST (INTERIOR SIDE)	= 10' 11.9'
LANDSCAPE BUFFER - SOUTH (REAR)	= 10' 10.0'
BUILDING REQUIREMENTS:	
BUILDING SETBACK - FRONT (ATLANTIC AVENUE)	= 30' 53.9'
BUILDING SETBACK - EAST (INTERIOR SIDE)	= 25' 30.4' / 11"
BUILDING SETBACK - WEST (INTERIOR SIDE)	= 25' 58.1'
BUILDING SETBACK - SOUTH (REAR)	= 25' 69.4'
MAXIMUM BUILDING HEIGHT	= 48'
*ATM CANOPY	
FLOOD ZONE:	
FLOOD ZONE "X" PER FEMA MAP 12099C0978F	

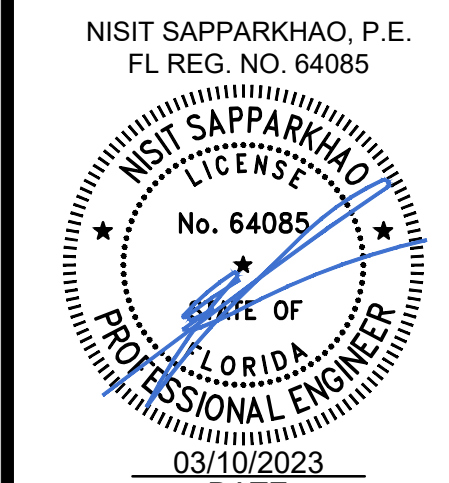
SITE AREAS			
AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	24,109	0.55	100.00%
BUILDING	1,820	0.04	8%
TOTAL IMPERVIOUS (PAVEMENT + BUILDING)	18,129	0.41	75%
TOTAL PERVIOUS	5,980	0.14	25%



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PRE-PLAN REVIEW



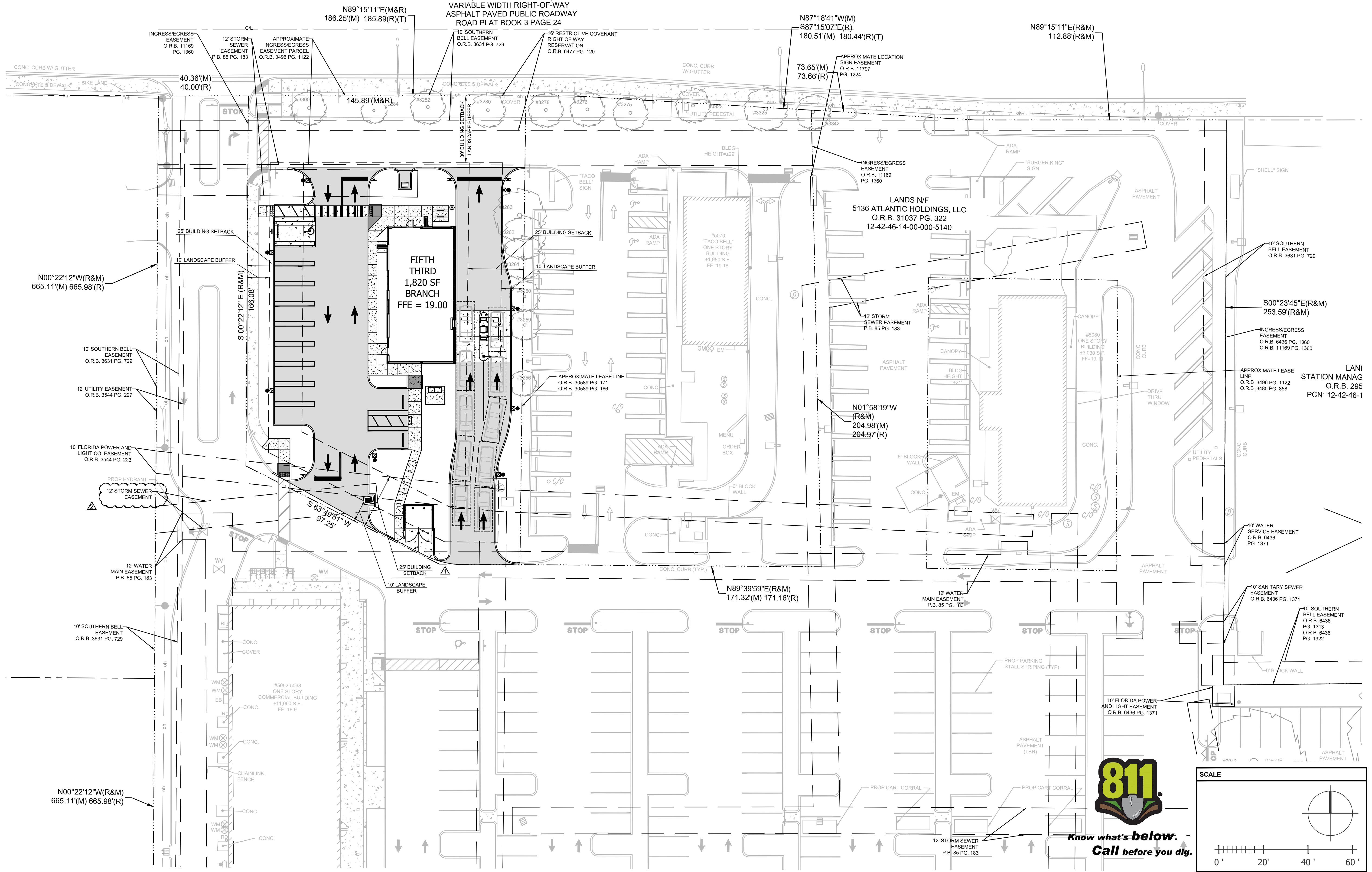
SITE COMMENTS V2 03.10.23
SITE COMMENTS V1 01.27.23
PRE-PLAN REVIEW 04.25.22
SITE PLAN

C02.01

BASELINE OF SURVEY, STATE ROAD 806 PER
ROAD PLAT BOOK 3 PAGE 24

ATLANTIC AVENUE - STATE ROAD 806

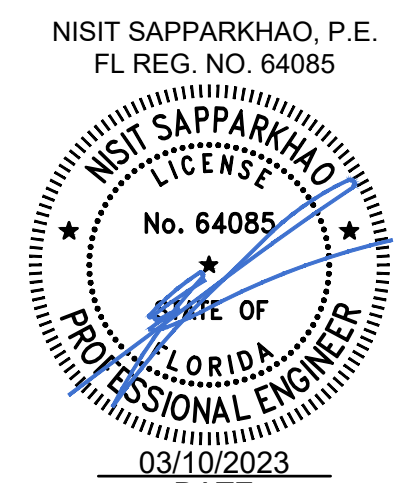
(DELRAY WEST ROAD)
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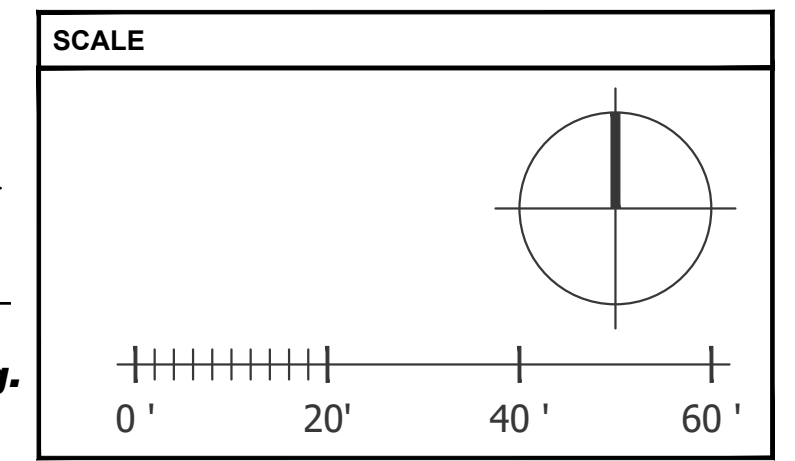
PRE-PLAN REVIEW



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OVERALL SITE PLAN

C02.02

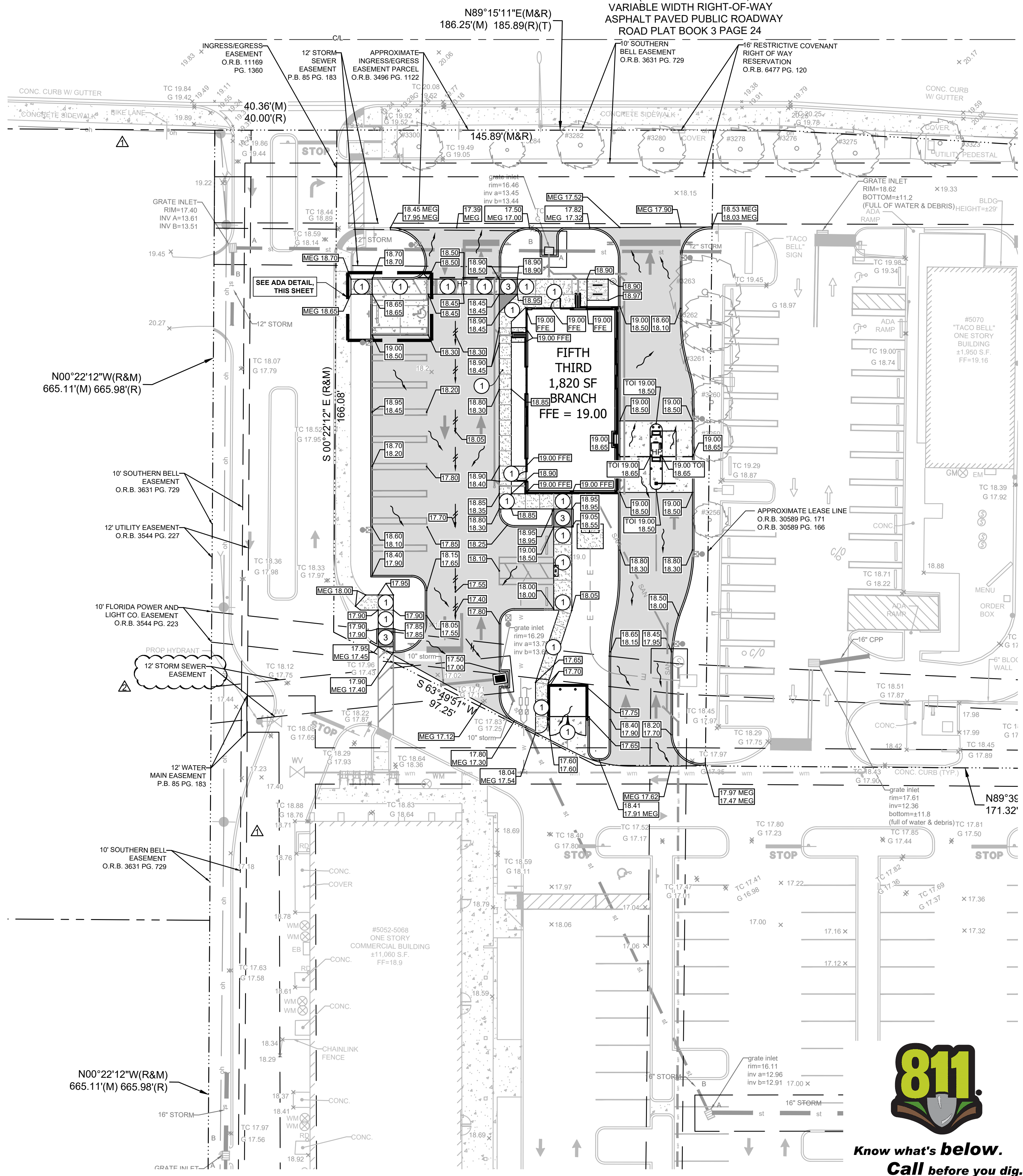


SCALE AS NOTED

BASELINE OF SURVEY, STATE ROAD 806 PER ROAD PLAT BOOK 3 PAGE 24

ATLANTIC AVENUE - STATE ROAD 806

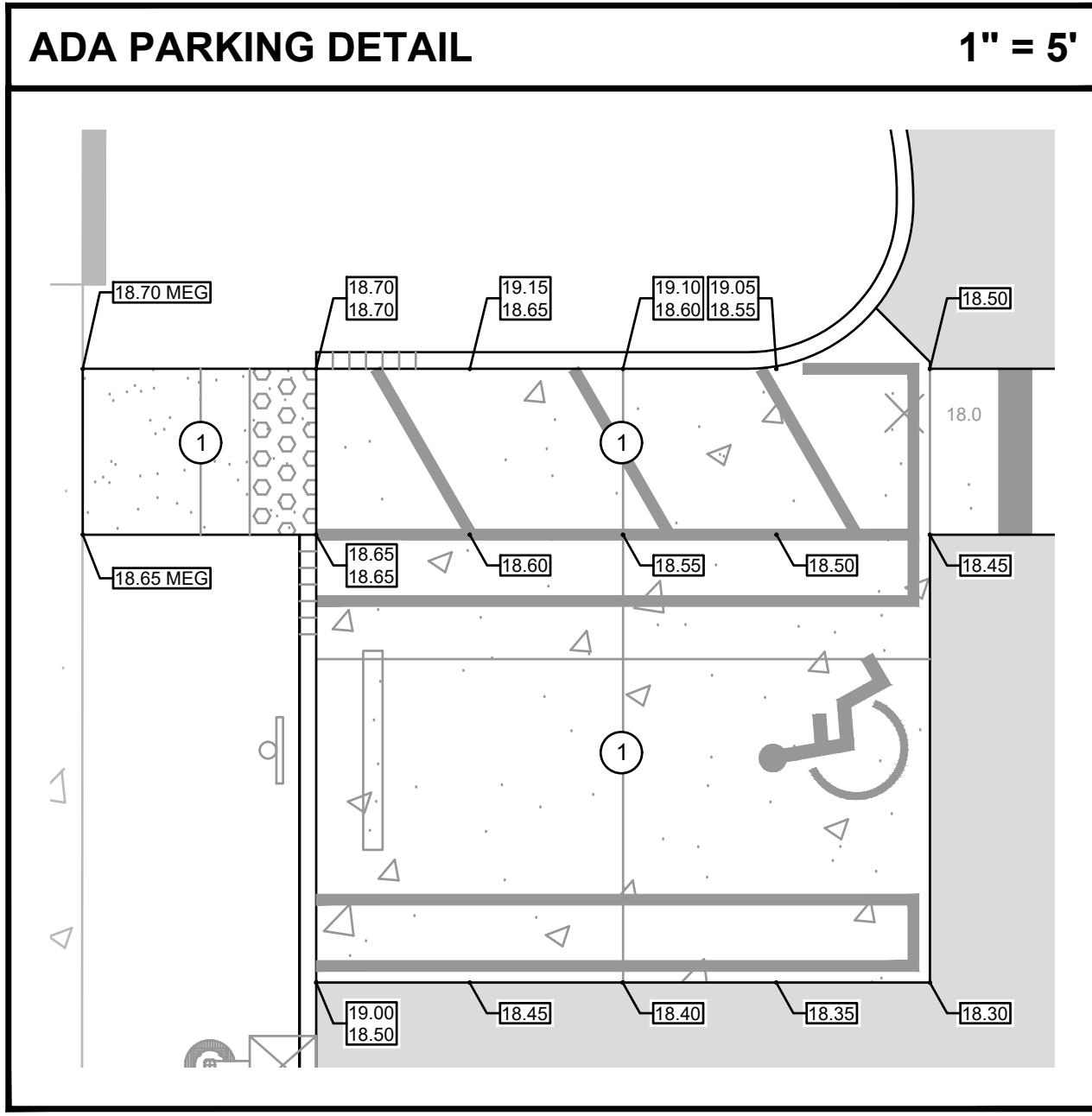
(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
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ROAD PLAT BOOK 3 PAGE 24



KEYED NOTES:	
①	SURFACE SLOPES NOT TO EXCEED 1:48 IN ALL DIRECTIONS.
②	SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:20 RUNNING.
③	SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:12 RUNNING.

ACCESSIBILITY NOTES	
1.	ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
2.	AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESS ROUTE SHALL BE A MINIMUM OF 48" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
3.	SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4.	IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
5.	ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

LEGEND	
EL	ELEVATION
TYP	TYPICAL
CO	CLEANOUT
IE	INVERT ELEVATION
SE	SUMP ELEVATION
X	EXISTING ELEVATION
0.00	PROPOSED PAVEMENT ELEVATION
0.00	TOP OF SIDEWALK/CURB EDGE OF PAVEMENT
[Symbol]	DITCH BOTTOM INLET
[Symbol]	CURB INLET
FFE	FINISH FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
HP	HIGH POINT
MEG	MATCH EXISTING GRADE
DS	BUILDING DOWN SPOUT
[Symbol]	12" OR GREATER STORMWATER PIPE
[Symbol]	LESS THAN 12" STORMWATER PIPE
[Symbol]	PROPOSED SURFACE STORMWATER FLOW
-29-	EXISTING CONTOUR
-29-	PROPOSED CONTOUR



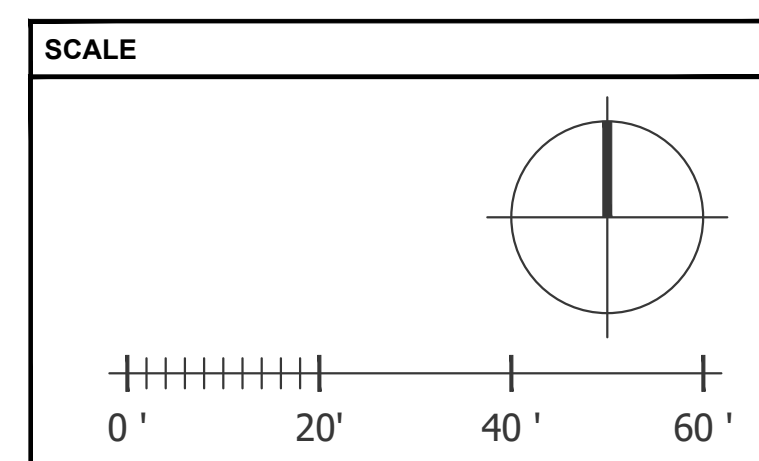
CONTROL BENCHMARKS	
ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK #1 BEING A SET NAIL AND DISK "LB 7970", WITH AN ELEVATION OF 20.10 AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM-1988 (NAVD 88).	
NOTE: CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.	

EROSION CONTROL MEASURE NOTE	
REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.	

PAVING AND GRADING GENERAL NOTES	
1.	SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
2.	SEE SITE PLAN SHEET FOR SITE DATA.
3.	SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
4.	THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
5.	ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
6.	ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
7.	CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
8.	THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.



PLAN VIEW SCALE AS NOTED



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PRE-PLAN REVIEW

NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

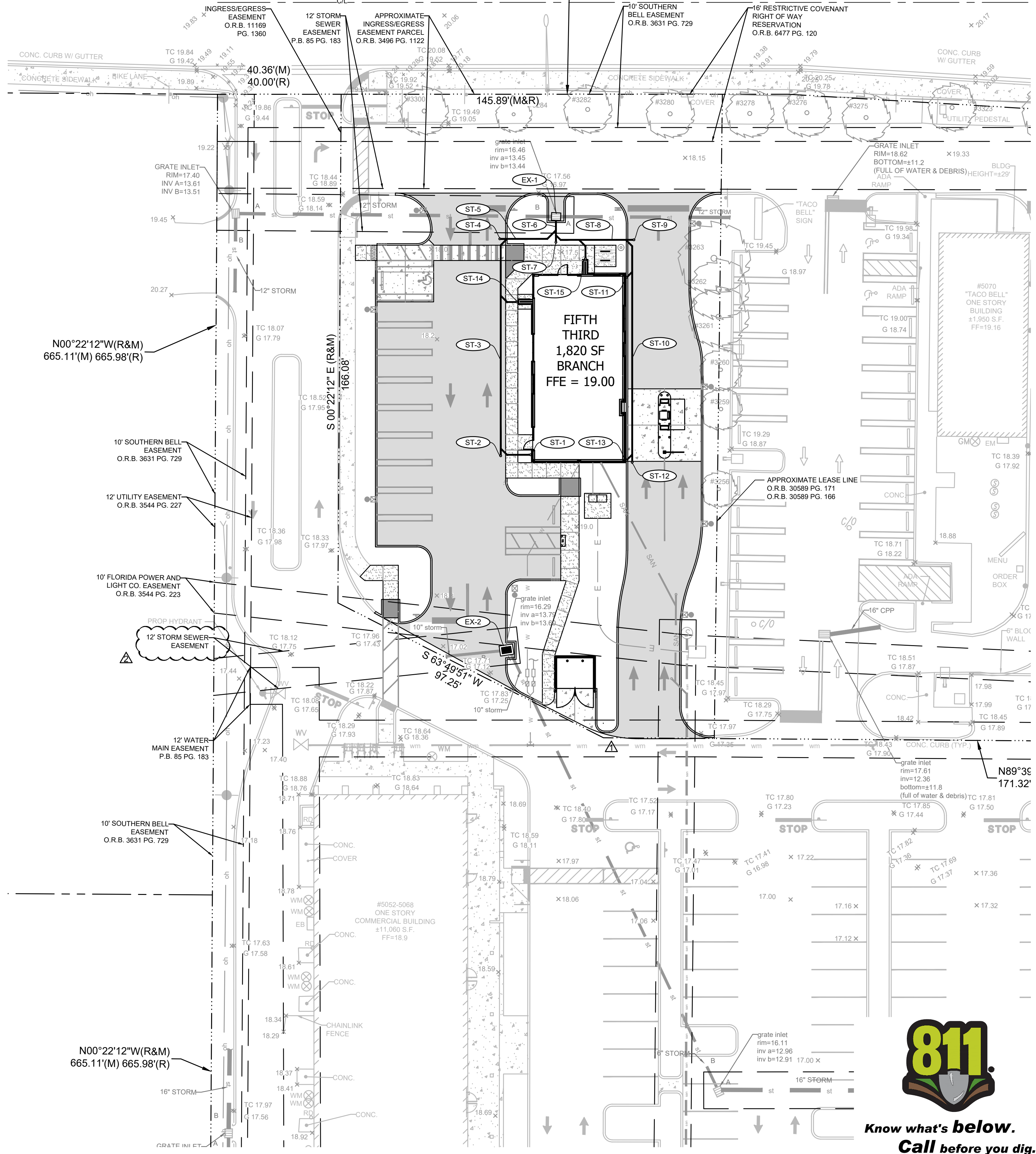
DATE: 03.10.23
 SITE COMMENTS V2: 03.10.23
 SITE COMMENTS V1: 01.27.23
 PRE-PLAN REVIEW: 04.25.22
 GRADING PLAN

C03.01

BASELINE OF SURVEY, STATE ROAD 806 PER
ROAD PLAT BOOK 3 PAGE 24

ATLANTIC AVENUE - STATE ROAD 806

(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
ROAD PLAT BOOK 3 PAGE 24



Know what's below.
Call before you dig.

PLAN VIEW SCALE AS NOTED

EXISTING STORM STRUCTURE/PIPING DATA

EX-1 EXISTING STORM CATCH BASIN GRATE = 16.46 IE (E) = 13.44 (EXISTING) IE (W) = 13.45 (EXISTING) IE (S) = 14.50 (PROPOSED) CONTRACTOR TO CORE DRILL EXISTING STRUCTURE BOTTOM AND SEAL WITH NON-SHRINK GROUT.	EX-2 EXISTING STORM STRUCTURE TO BE MODIFIED. GRATE/TOP TO BE RAISED TO EL.: 17.00 SEE DETAILS, SHEET C05.03
---	--

STORM STRUCTURE/PIPING DATA

ST-1 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 10 LF OF 4" PVC @ 1.0% MIN. SLOPE IE = 16.50	ST-10 72 LF OF 6" PVC @ 1.0% SLOPE
ST-2 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 16.40	ST-11 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 3 LF OF 4" PVC @ 1.0% MIN. SLOPE IE = 16.00
ST-3 75 LF OF 6" PVC @ 1.0% MIN. SLOPE	ST-12 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 16.47
ST-4 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 15.65	ST-13 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 3 LF OF 4" PVC @ 1.0% MIN. SLOPE IE = 16.50
ST-5 20 LF OF 6" PVC @ 5.25% SLOPE	ST-14 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 5 LF OF 4" PVC @ 2.6% SLOPE IE = 16.00
ST-6 8 LF OF 8" PVC @ 1.0% SLOPE	ST-15 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 7 LF OF 4" PVC @ 1.0% MIN. SLOPE IE = 16.00
ST-7 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 14.60	
ST-8 25 LF OF 6" PVC @ 1.0% MIN. SLOPE	
ST-9 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE IE = 15.75	

LEGEND

EL	ELEVATION
TYP	TYPICAL
CO	CLEANOUT
IE	INVERT ELEVATION
SE	SUMP ELEVATION
—	EXISTING ELEVATION
—	DITCH BOTTOM INLET
—	CURB INLET
FFE	FINISH FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
	STORM SEWER STRUCTURE NUMBER
DS	BUILDING DOWN SPOUT
—	12" OR GREATER STORMWATER PIPE
—	LESS THAN 12" STORMWATER PIPE
—	DIRECTION OF PIPE FLOW
—	EXISTING CONTOUR
—	PROPOSED CONTOUR

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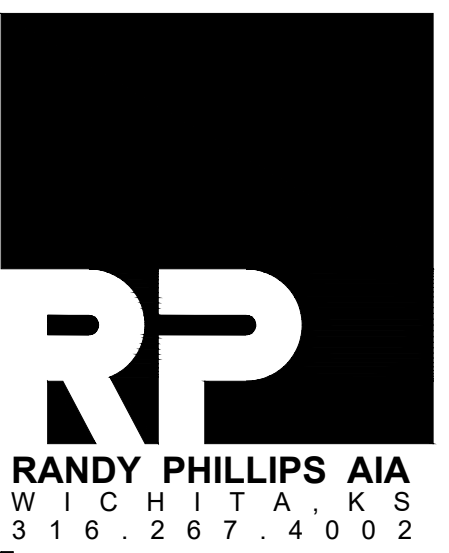
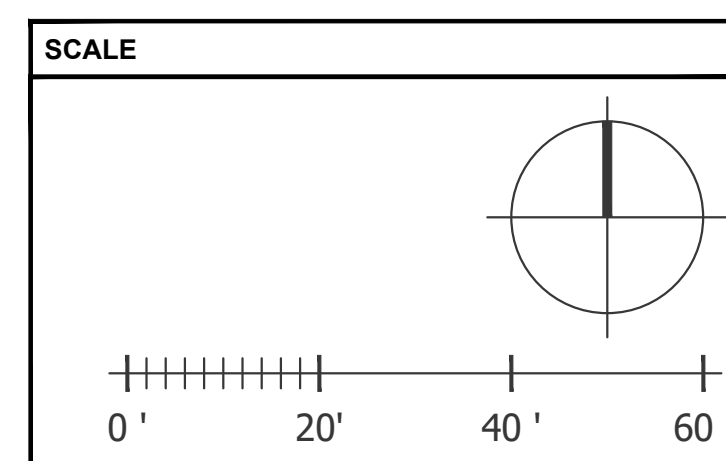
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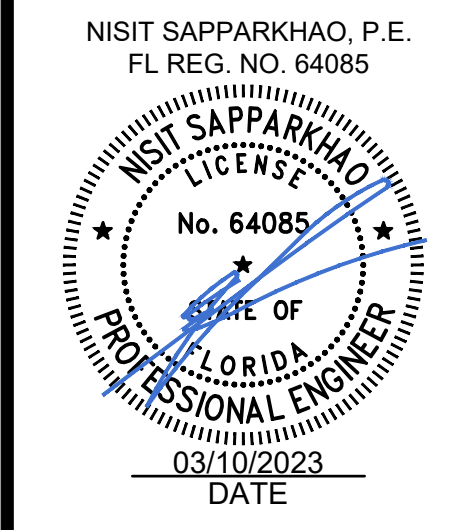


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PRE-PLAN REVIEW



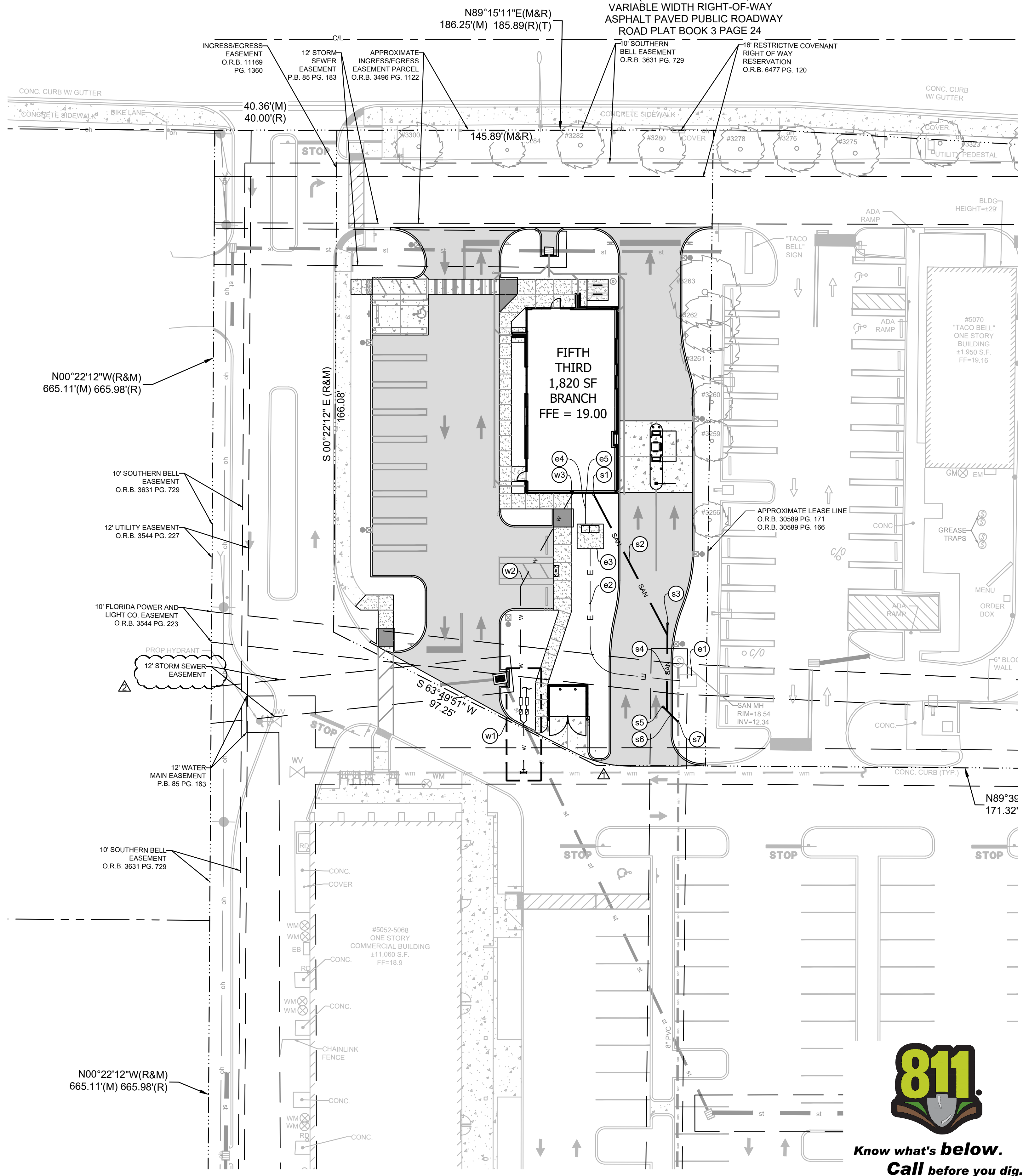
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STORM PIPING PLAN

C03.02

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ATLANTIC AVENUE - STATE ROAD 806

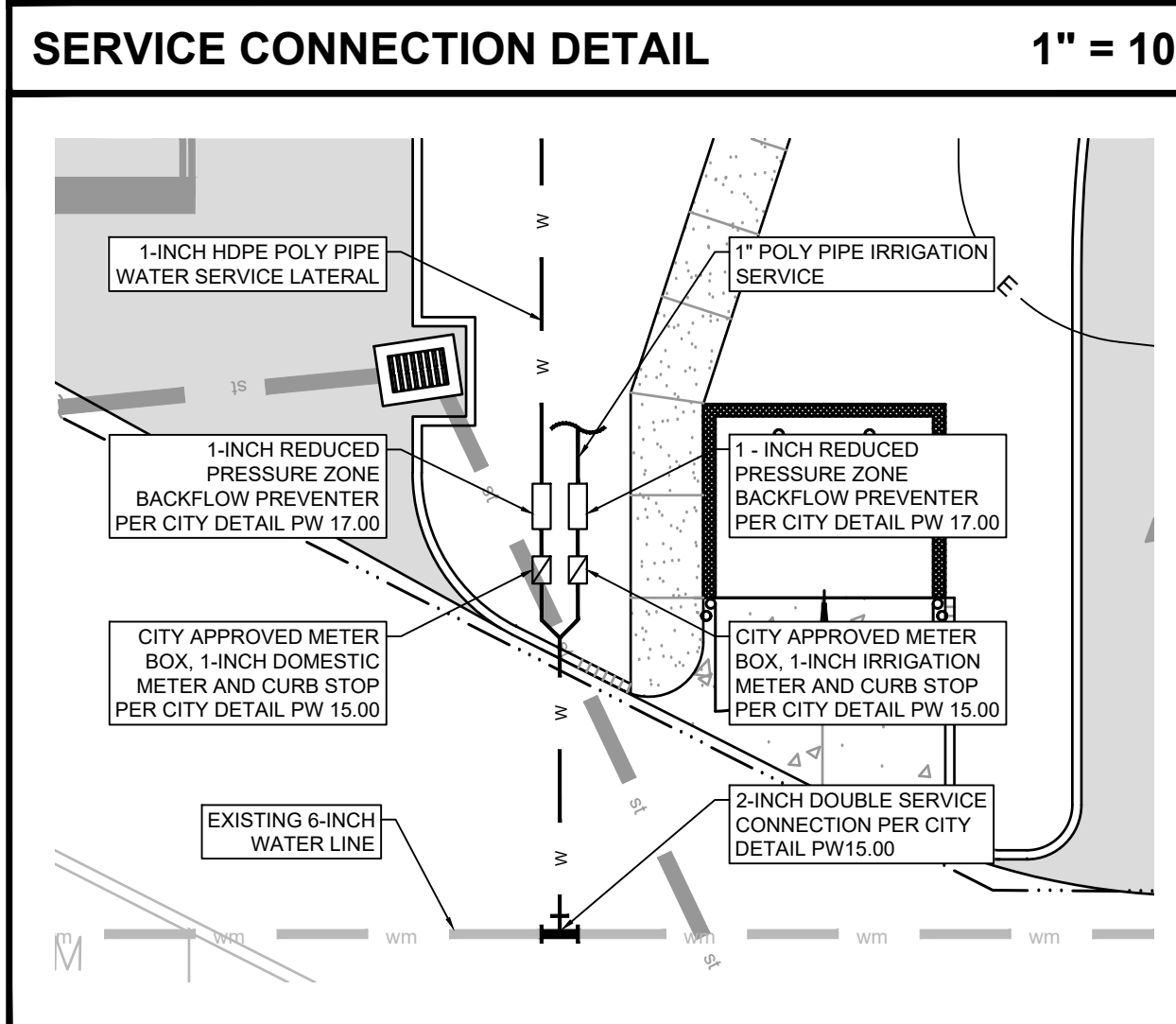
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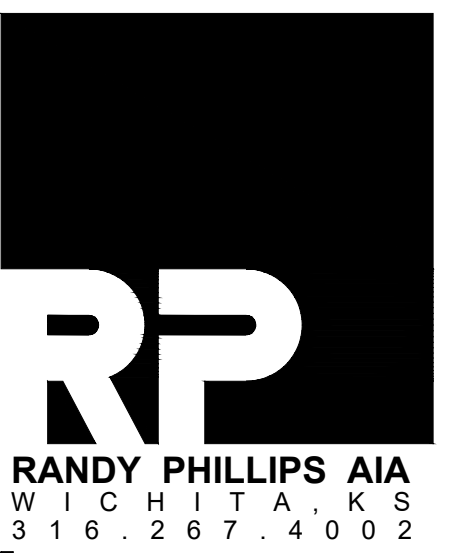
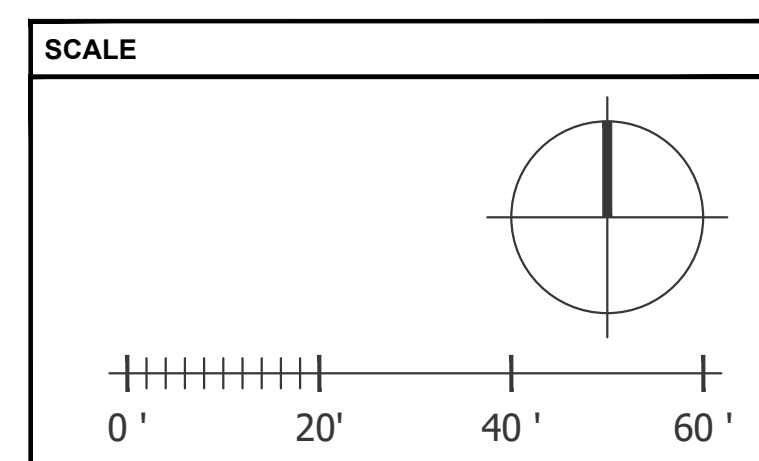
UTILITY SYSTEM DATA	
WATER	
(W1)	SEE SERVICE CONNECTION DETAIL, THIS SHEET.
(W2)	72 LF - 1" HDPE POLY PIPE WATER SERVICE LATERAL.
(W3)	POINT OF CONNECTION TO THE BUILDING. SEE PLUMBING PLAN.
SANITARY	
(S1)	6-INCH SEWER STUBOUT FROM BUILDING (BY PLUMBING CONTRACTOR). REFER TO BUILDING PLUMBING PLAN FOR EXACT LOCATION. CONSTRUCT SEWER CLEANOUT. CLEANOUT TOP ELEVATION SHALL MATCH PROPOSED GRADE ELEVATION. INV. EL. 16.00'
(S2)	53 LF - 6" SDR26 @ 4.2% SLOPE
(S3)	CONSTRUCT SEWER CLEAN OUT - IE. 13.75'
(S4)	29 LF - 6" SDR26 @ 4.2% SLOPE
(S5)	CONSTRUCT SEWER CLEAN OUT - IE. 12.53'
(S6)	7 LF - 6" SDR26 @ 4.2% SLOPE
(S7)	POINT OF CONNECTION TO EXISTING SEWER LATERAL @ IE 12.23' ±.
ELECTRIC	
(E1)	EXISTING ELECTRICAL TRANSFORMER WITHIN FLORIDA POWER AND LIGHT CO. EASEMENT. (GC SHALL COORDINATE WITH UTILITY PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS)
(E2)	NEW UNDERGROUND PRIMARY ELECTRICAL SERVICE FROM EXISTING TRANSFORMER. VERIFY LOCATION AND ROUTING WITH PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS. SEE SITE ELECTRICAL PLANS.
(E3)	NEW PAD MOUNTED TRANSFORMER. SEE ELECTRICAL PLANS (GC SHALL COORDINATE WITH POWER PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS).
(E4)	UNDERGROUND SECONDARY ELECTRICAL SERVICE. (GC SHALL COORDINATE WITH POWER PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS).
(E5)	MAIN ELECTRIC SERVICE ENTRANCE & DISCONNECT (SEE ARCHITECTURAL PLANS).

LEGEND	
TYP	TYPICAL
H/C	HANDICAP
R	RADIUS
R/W	RIGHT-OF-WAY
[Symbol]	PROPOSED CONCRETE 6" OR LESS
[Symbol]	PROPOSED CONCRETE GREATER THAN 6"
[Symbol]	NEW ASPHALT PAVEMENT
[Symbol]	PROPERTY LINE
SAN	PROPOSED SANITARY SERVICE
GW	PROPOSED GREASE WASTE
FM	PROPOSED FORCE MAIN
w	PROPOSED WATER
E	PROPOSED ELECTRIC SERVICE
GAS	PROPOSED GAS SERVICE
TEL	PROPOSED TELEPHONE SERVICE
san	EXISTING SANITARY PIPE
wm	EXISTING WATER PIPE
uh	EXISTING UNDERGROUND POWER
oh	EXISTING OVERHEAD WIRE
gas	EXISTING GAS LINE
tel	EXISTING TELEPHONE LINE

- ### UTILITY NOTES
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL MUNICIPALITIES UTILITIES DEPARTMENT.
 - CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
 - CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO PROPERTY LINE) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
 - SEE SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
 - SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL UTILITY NOTES.
 - ALL ON-SITE PVC WATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR PRESSURE RATED HDPE (POLY PIPE).
 - ALL CROSSINGS OF WATER AND SEWER LINES MUST MAINTAIN PROPER CLEARANCE (SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS).
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY/TOWNS STANDARD CONSTRUCTION AND UTILITY REQUIREMENTS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.
 - ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
 - ALL EXISTING WATER AND SEWER PIPING ARE REQUIRED TO BE INSPECTED PRIOR TO MAKING ANY CONNECTIONS TO VERIFY THE CONDITION. PROVIDE A PRE-CONSTRUCTION VIDEO INSPECTION OF EXISTING SANITARY SEWER PIPELINES WHICH NEW SEWER LINES ARE PROPOSED TO BE CONNECTED TOO. THE CITY WILL REVIEW THE SUBMITTED SEWER INSPECTION VIDEO AND DETERMINE AT THAT TIME WHETHER THE EXISTING PIPE WILL REQUIRE TO BE LINED OR REPLACED.



PLAN VIEW SCALE AS NOTED



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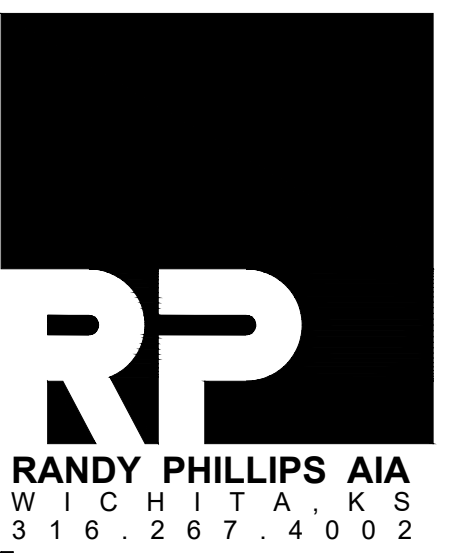
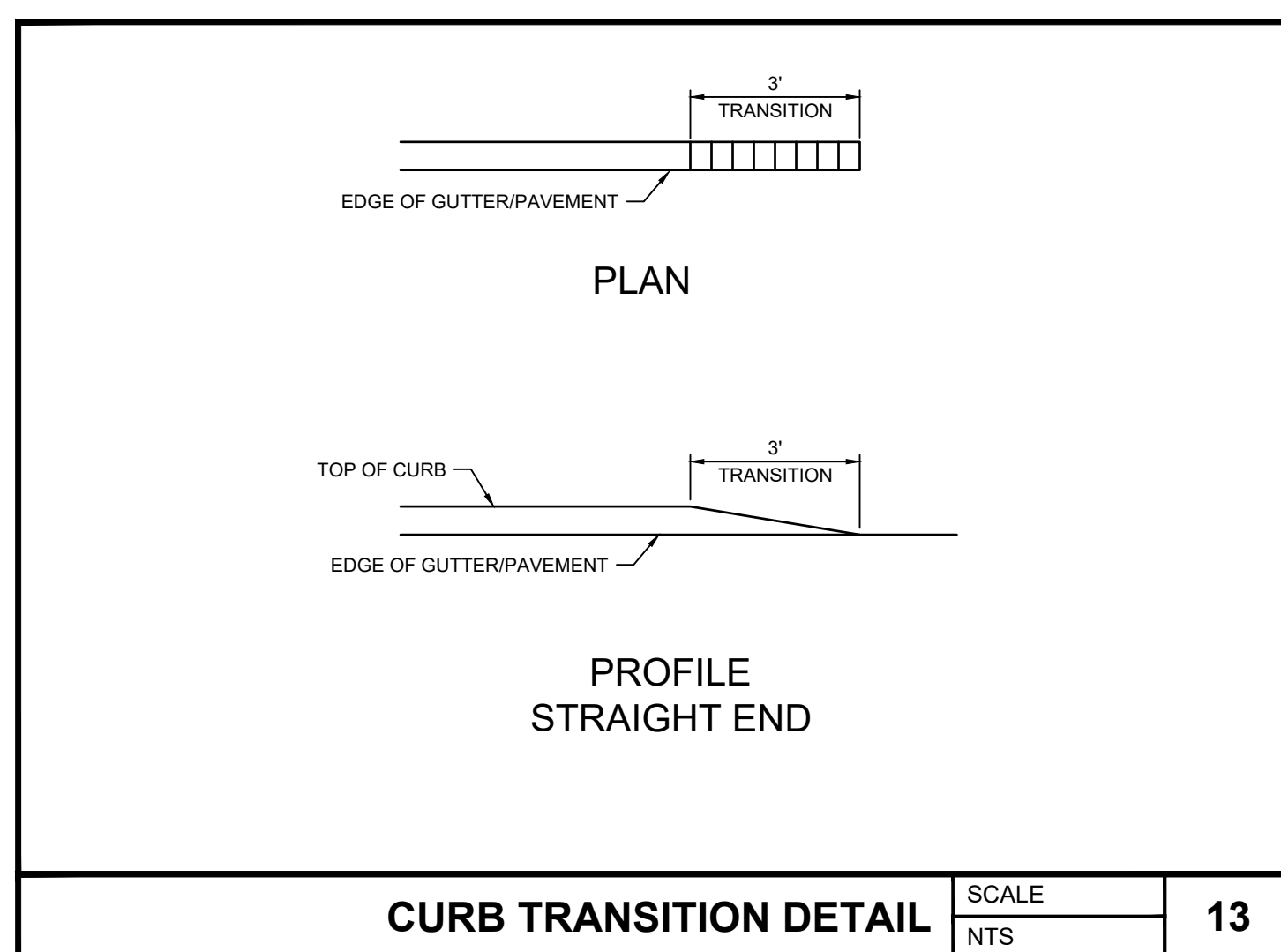
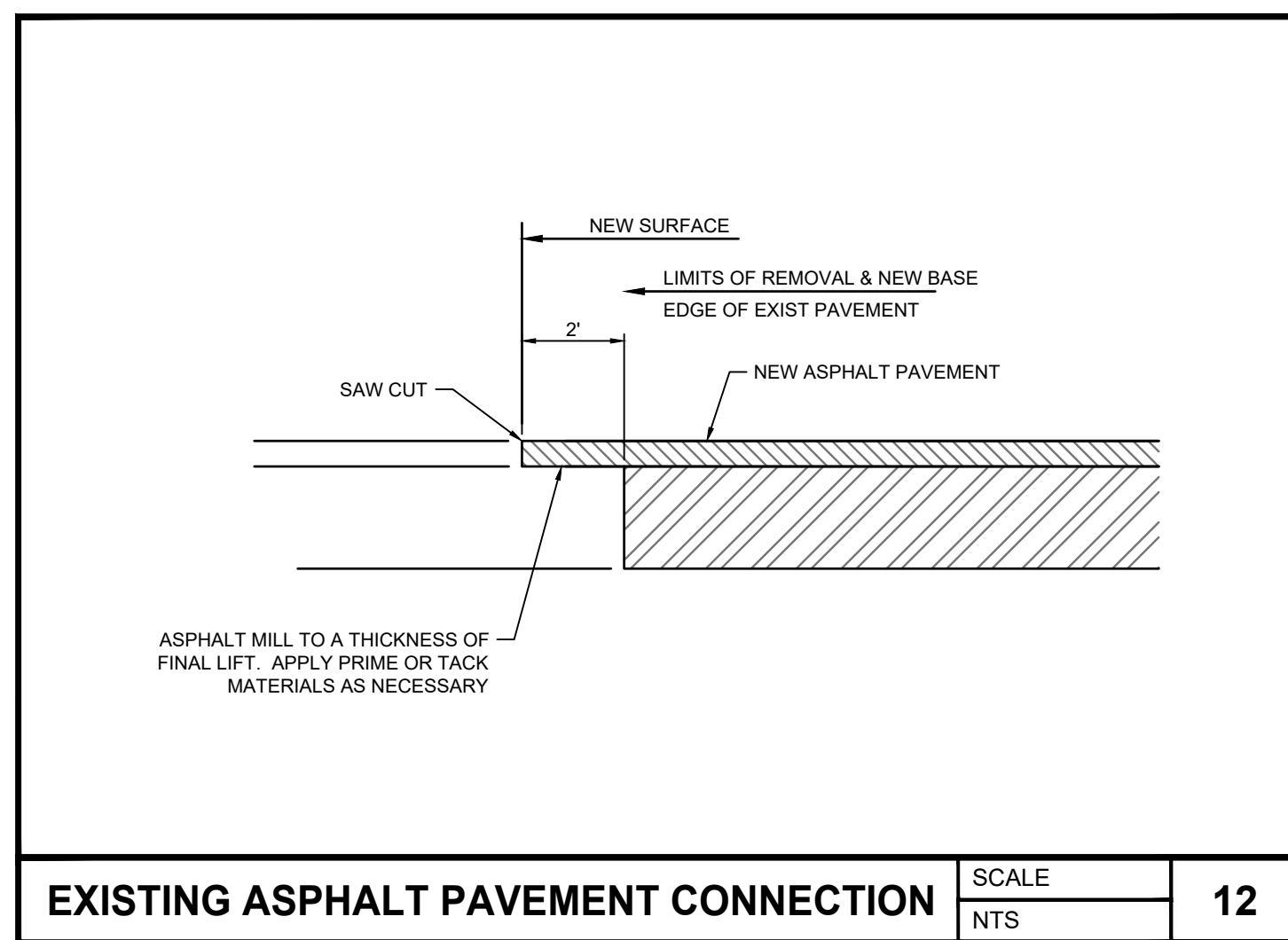
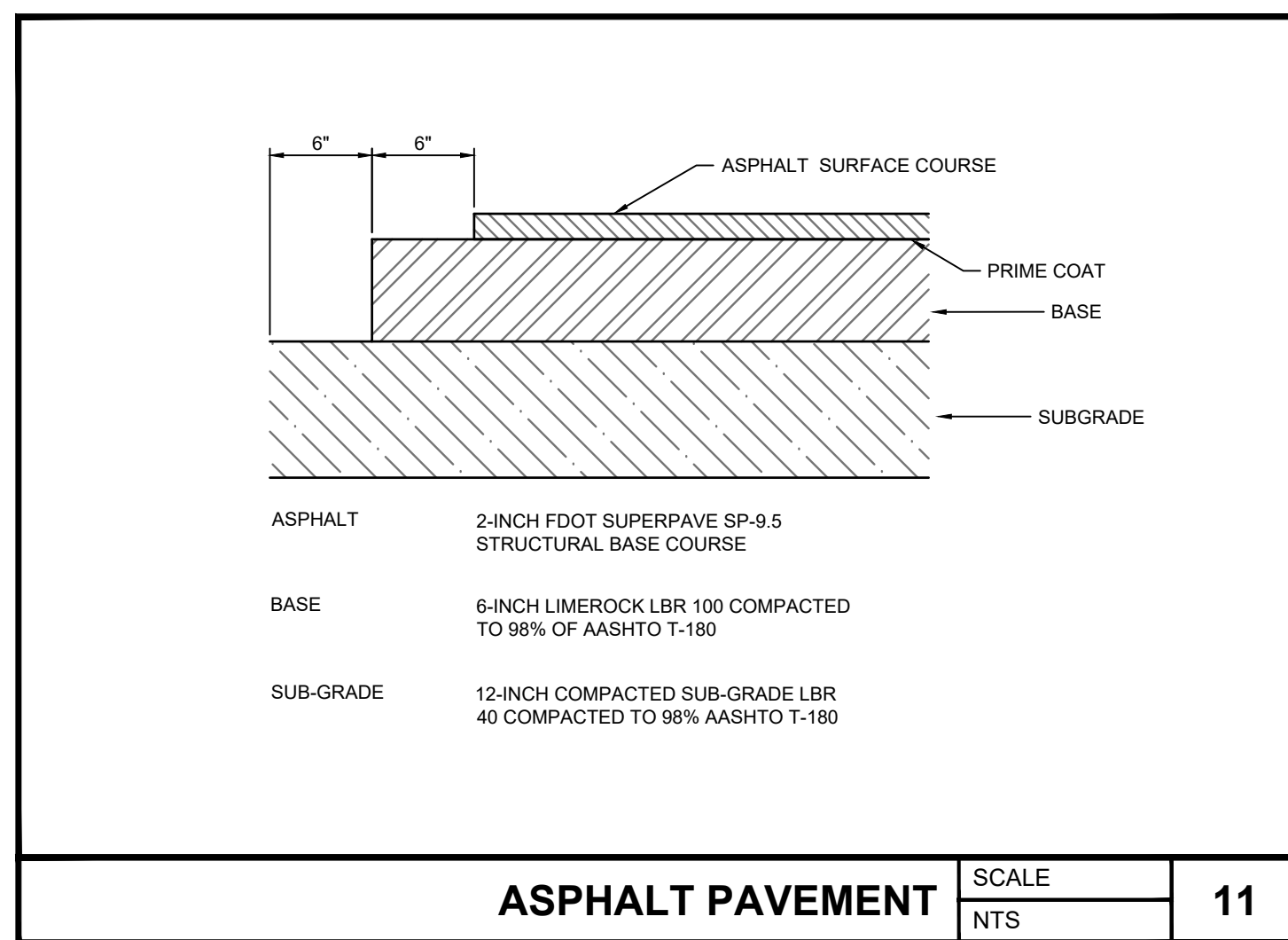
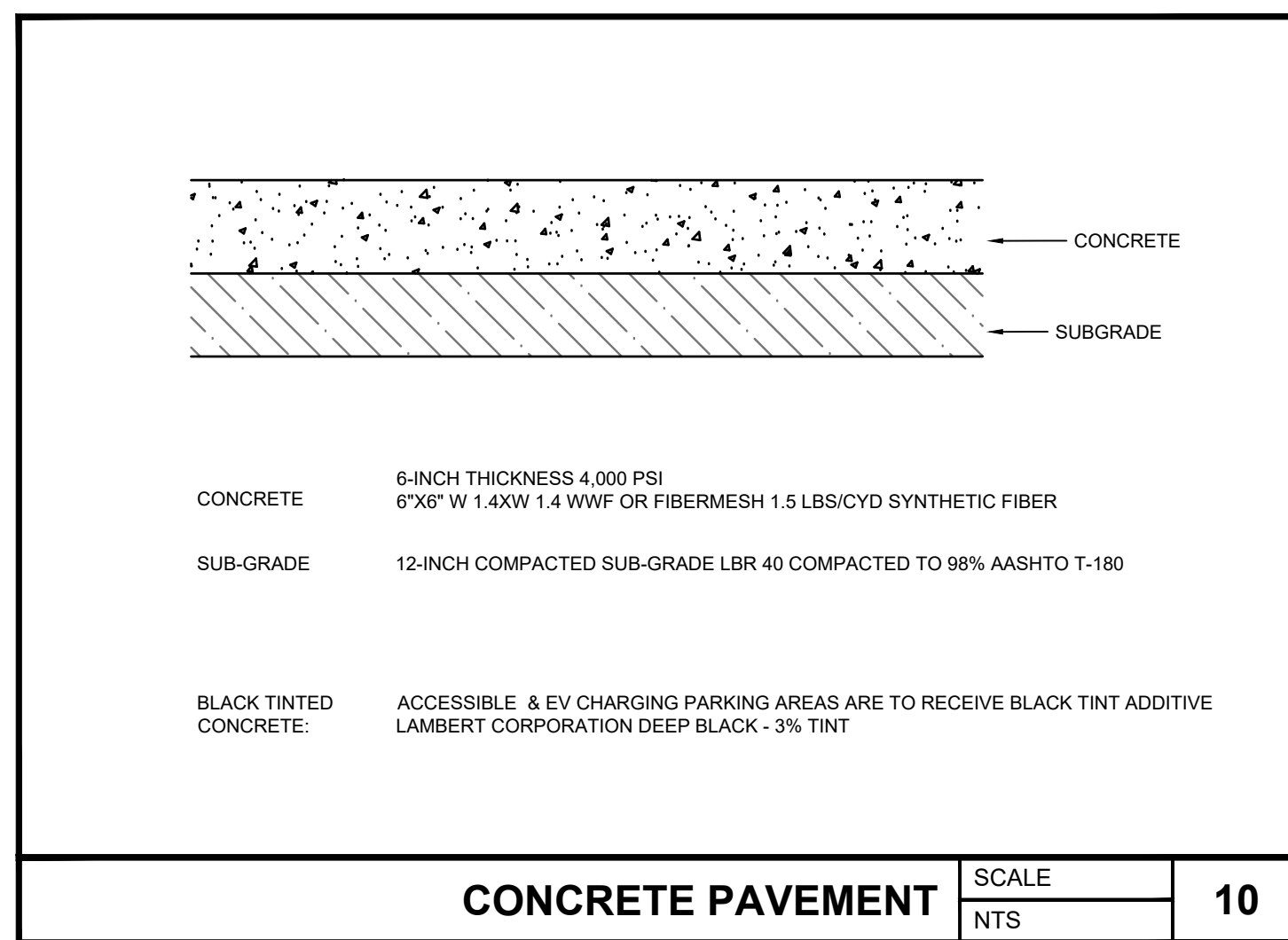
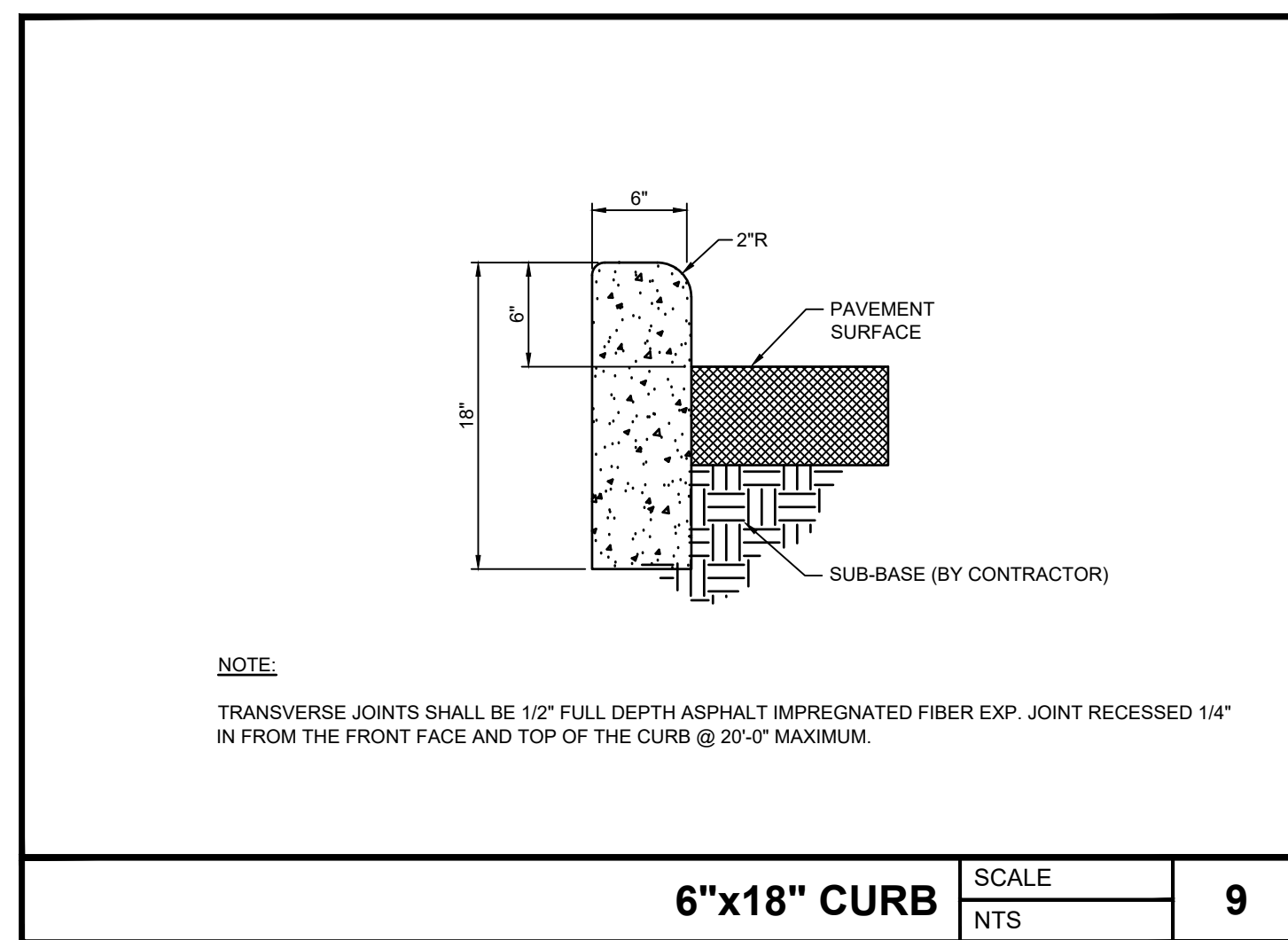
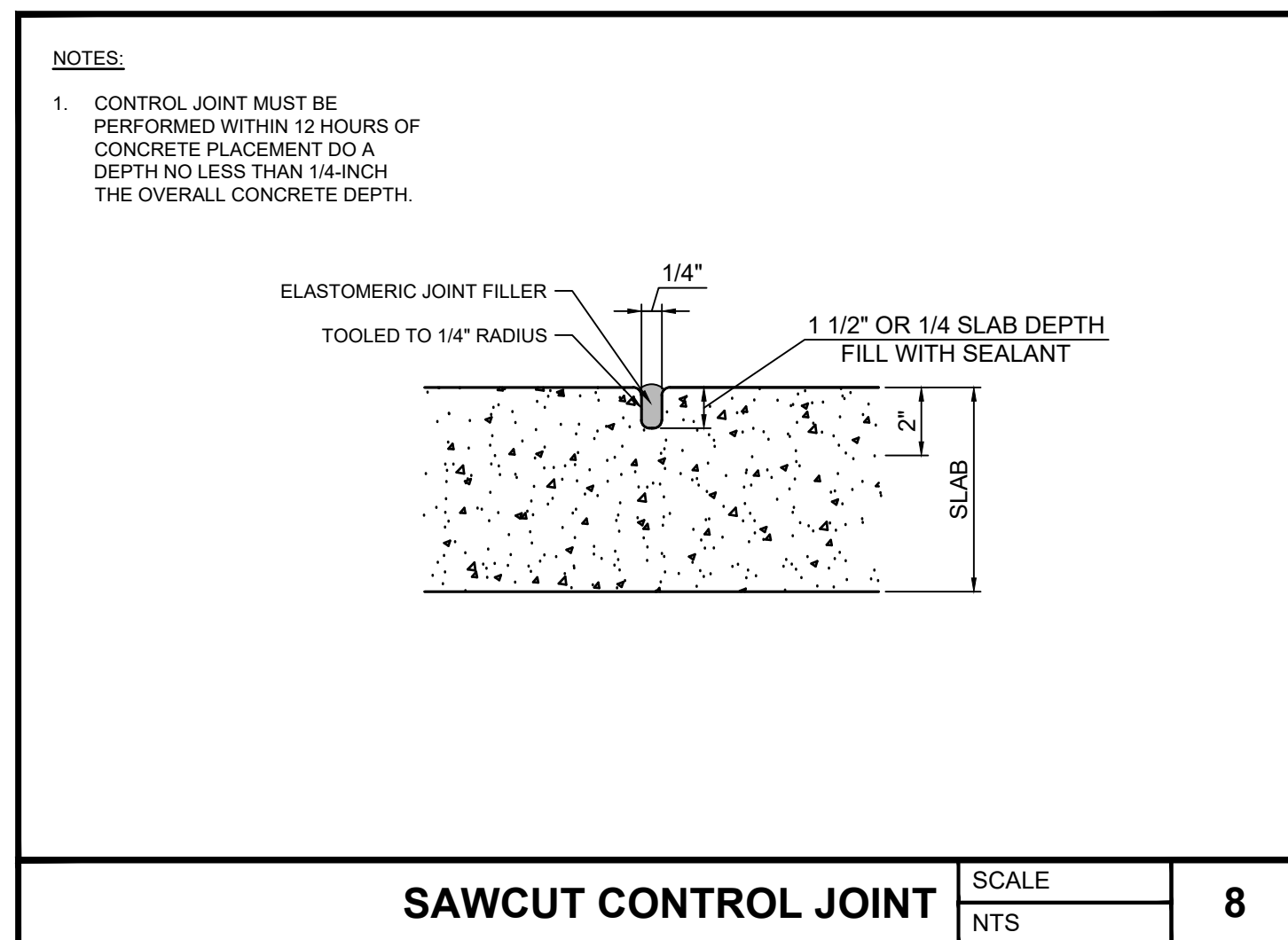
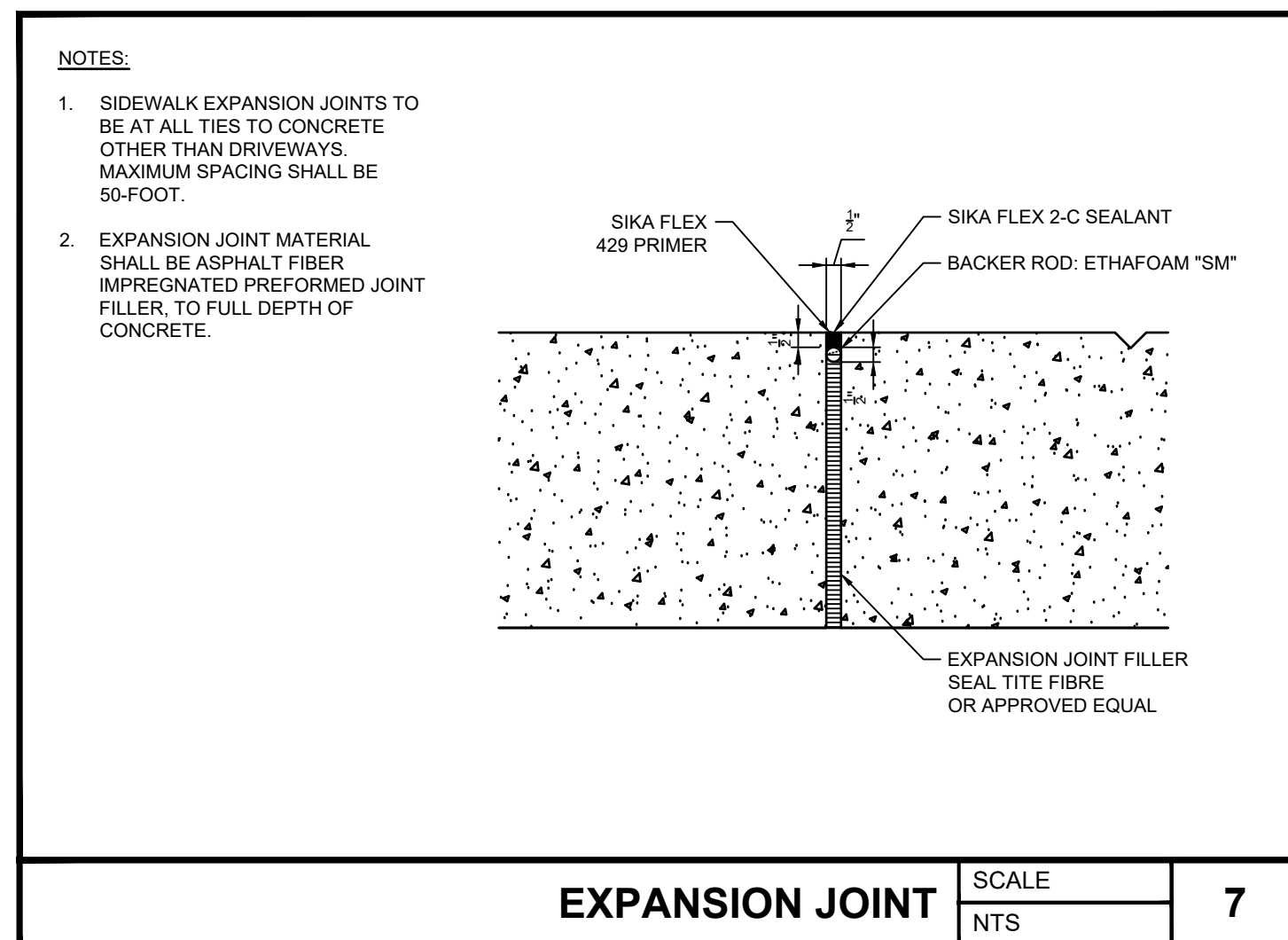
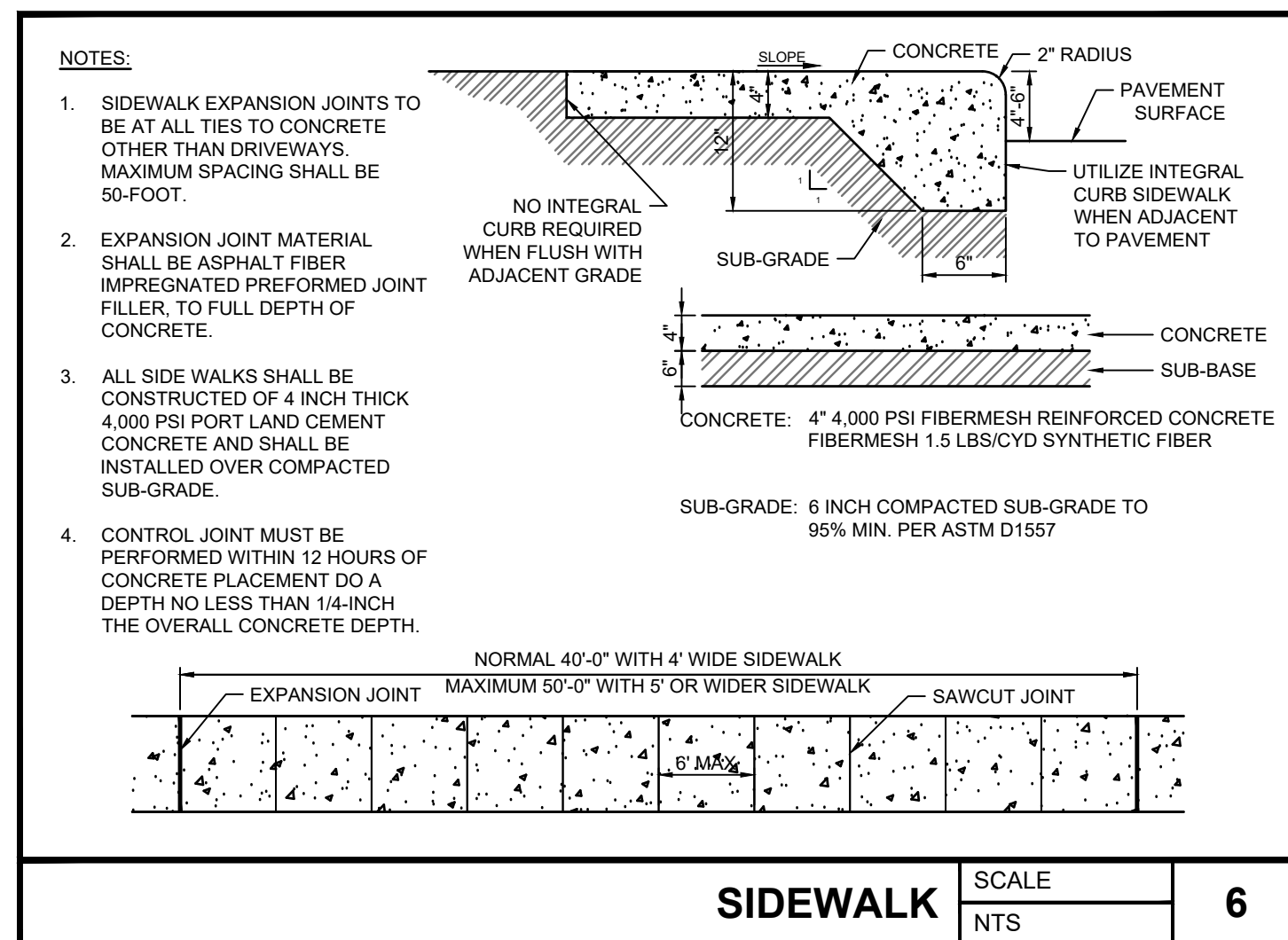
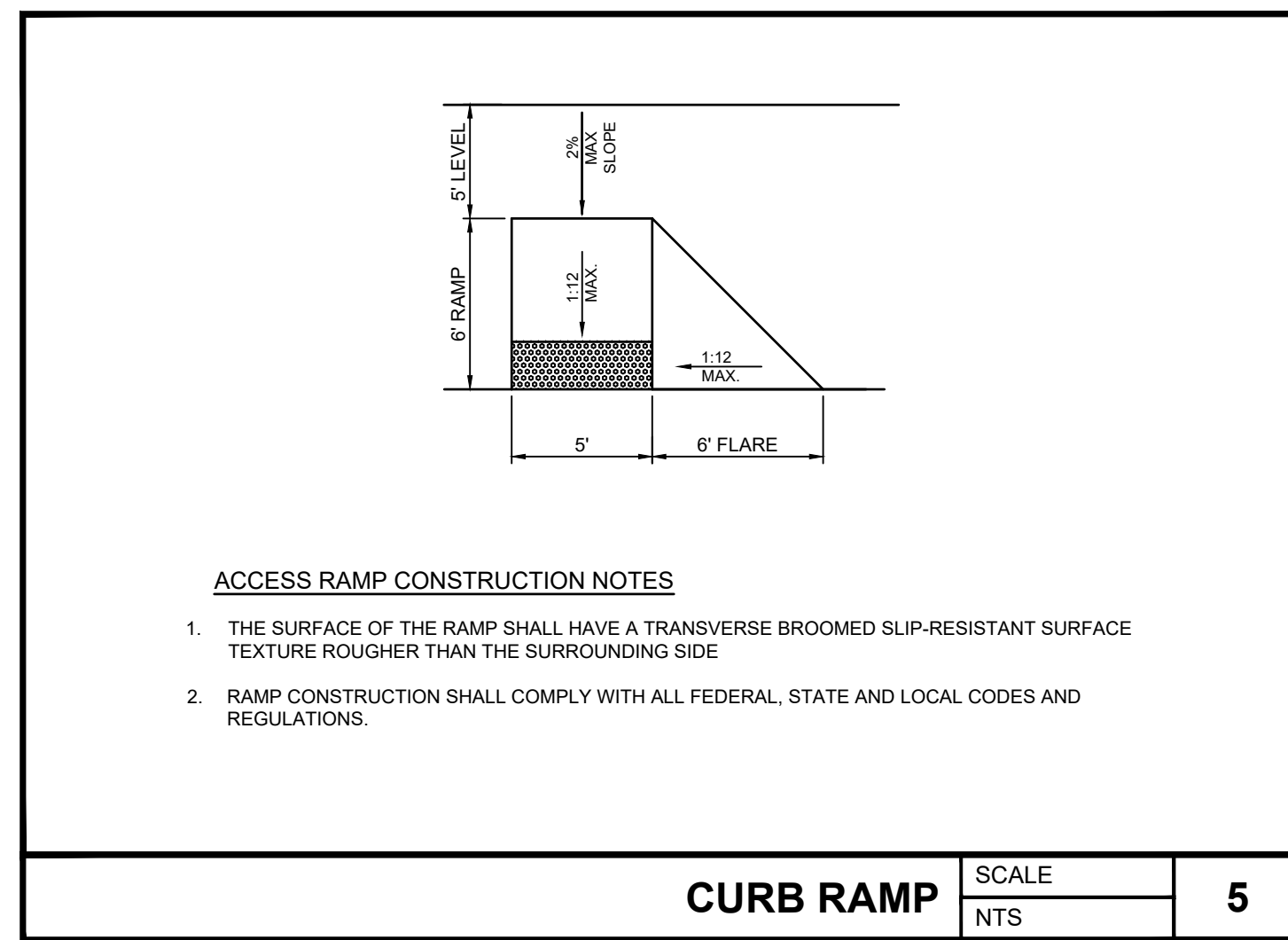
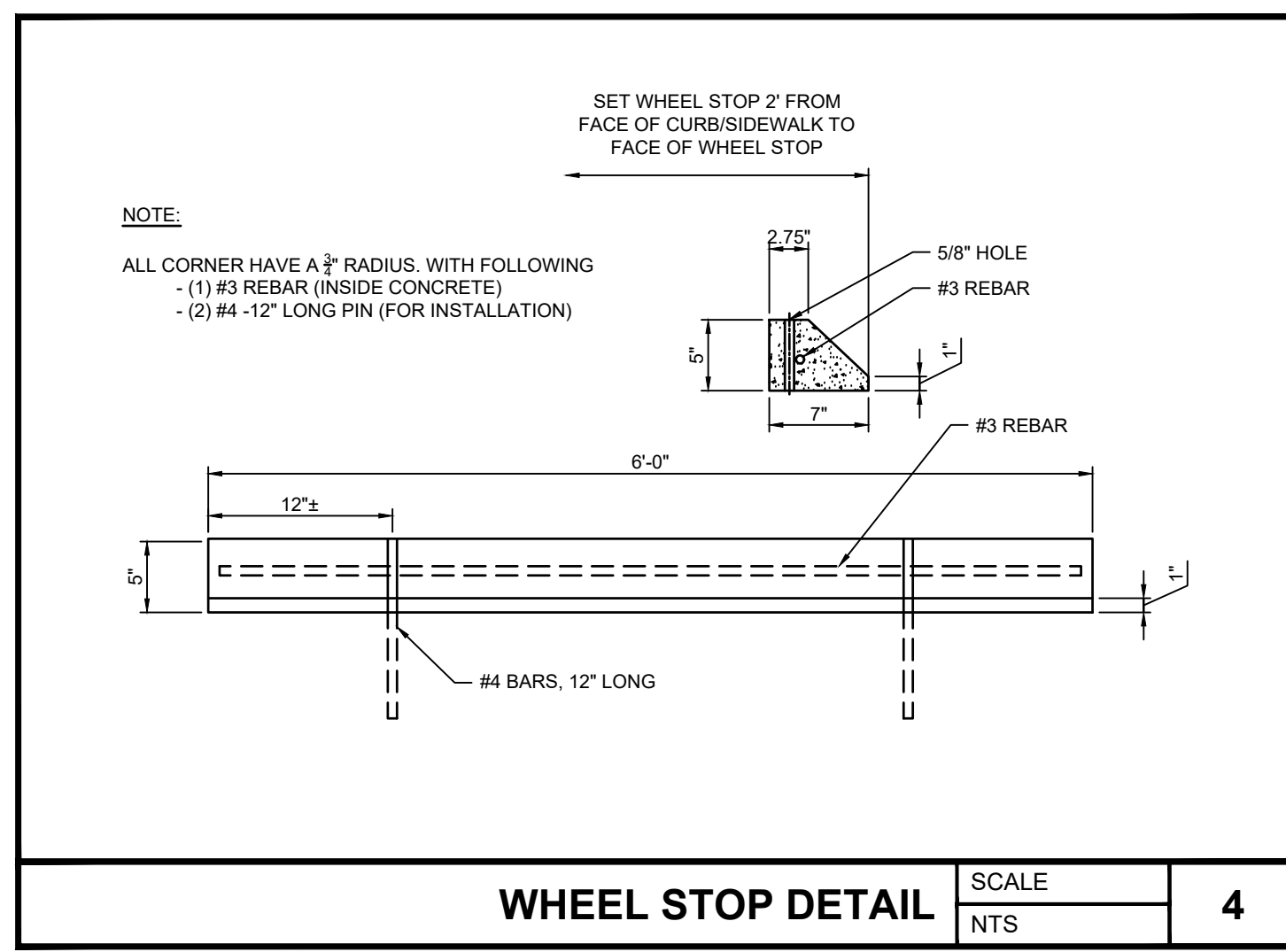
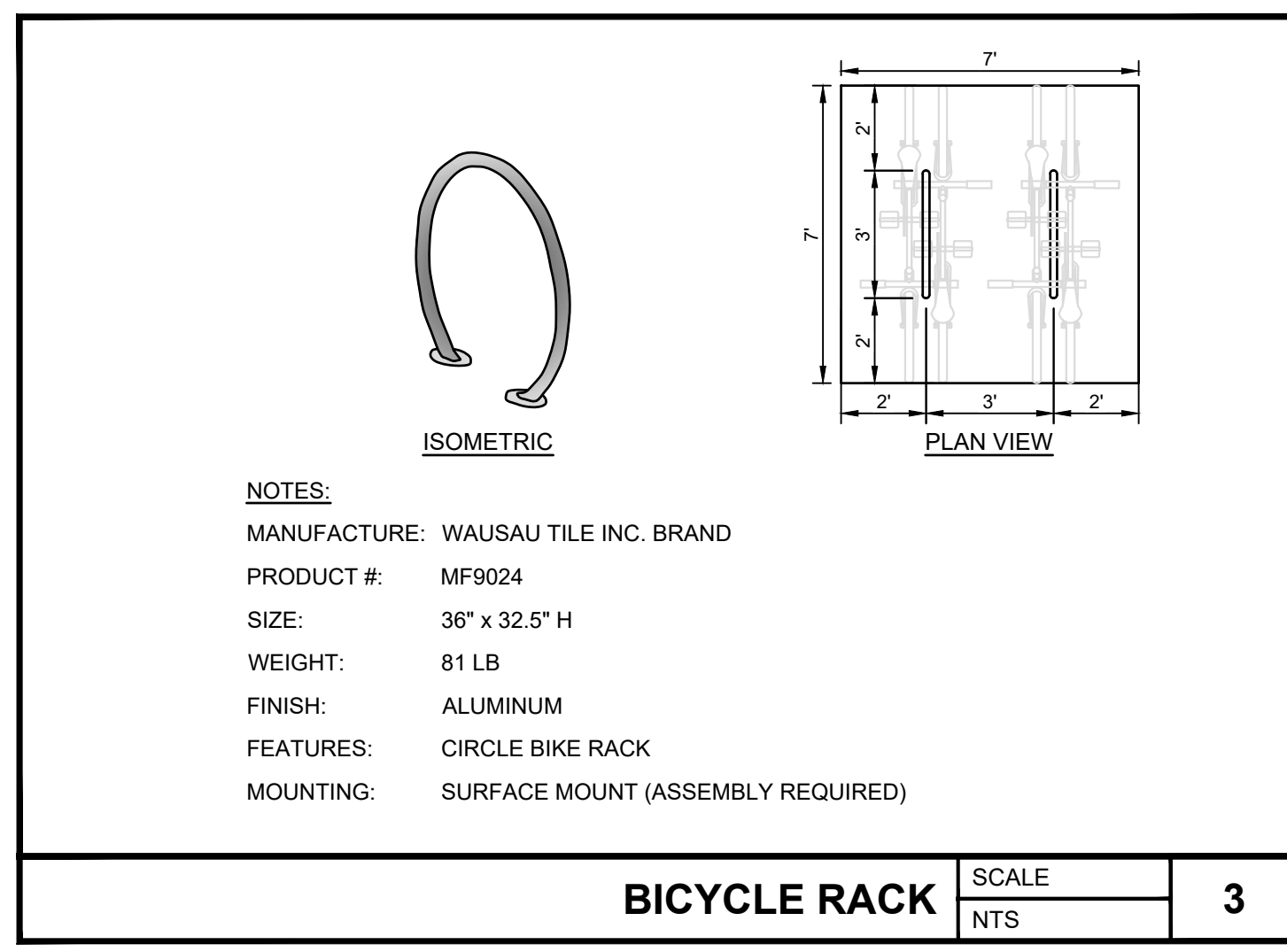
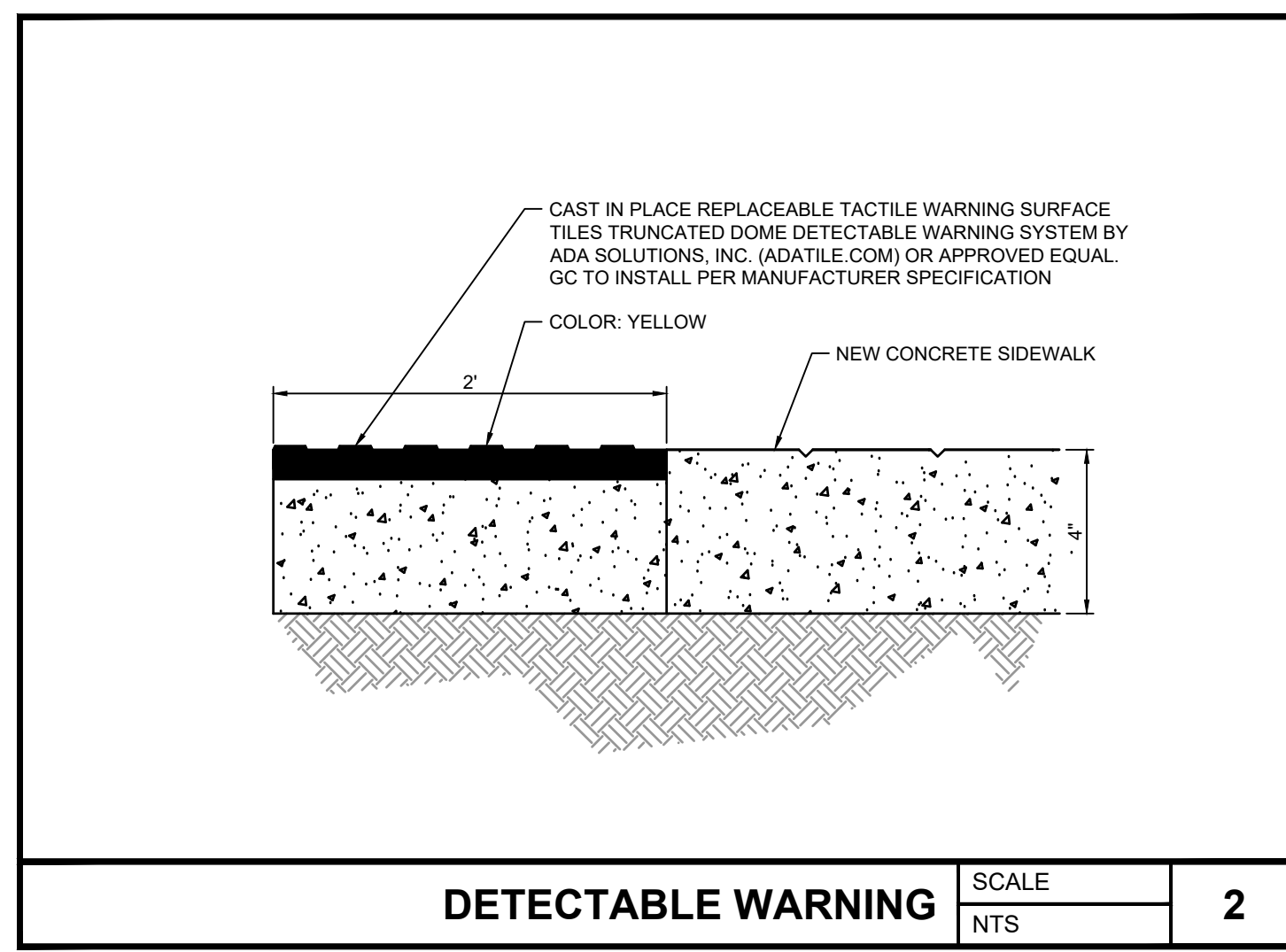
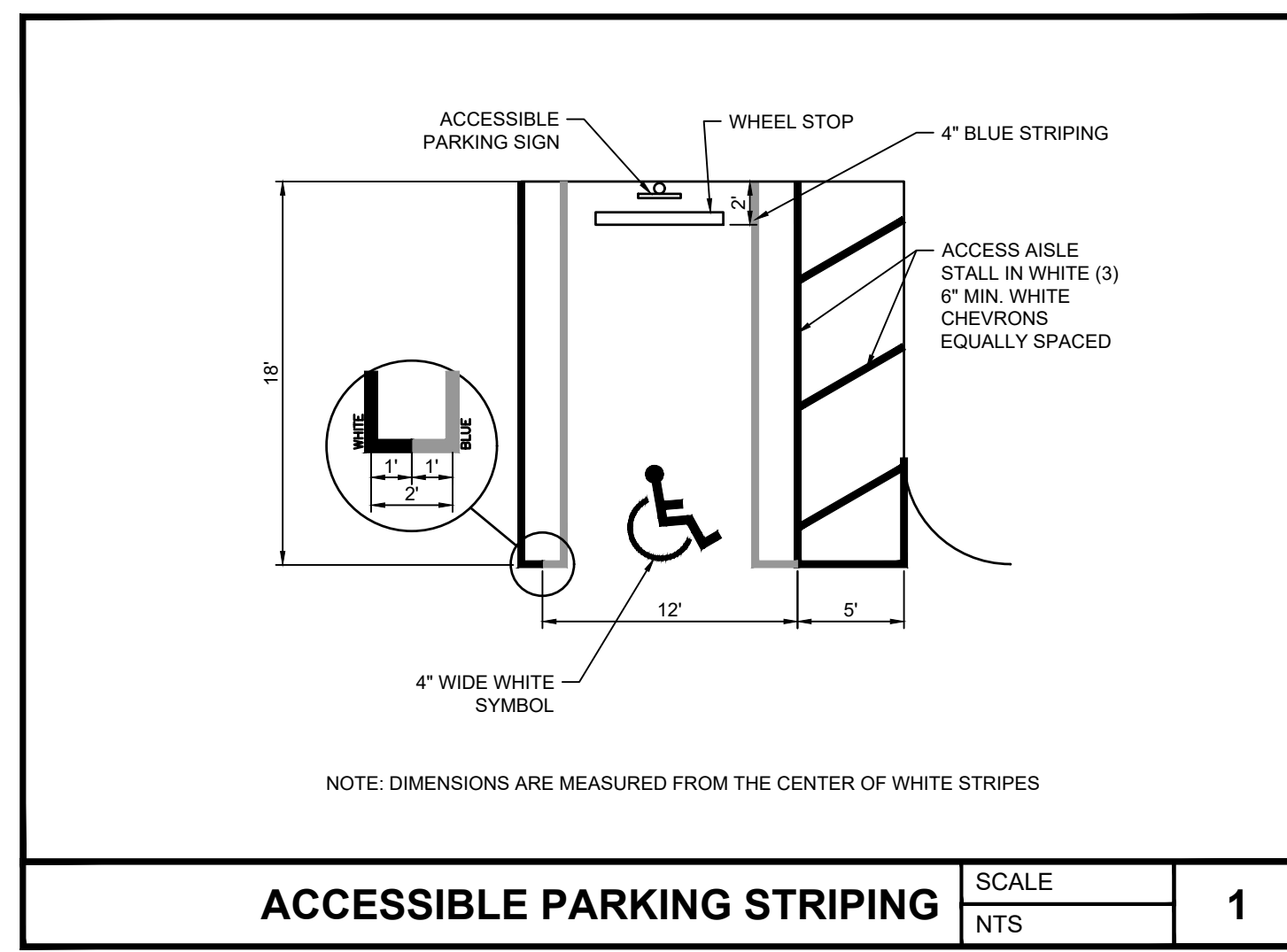
FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

DATE 03.10.23
 SITE COMMENTS V2 03.10.23
 SITE COMMENTS V1 01.27.23
 PRE-PLAN REVIEW 04.25.22
 UTILITY PLAN

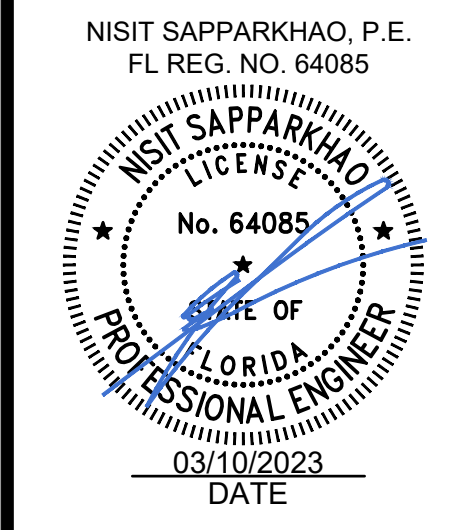
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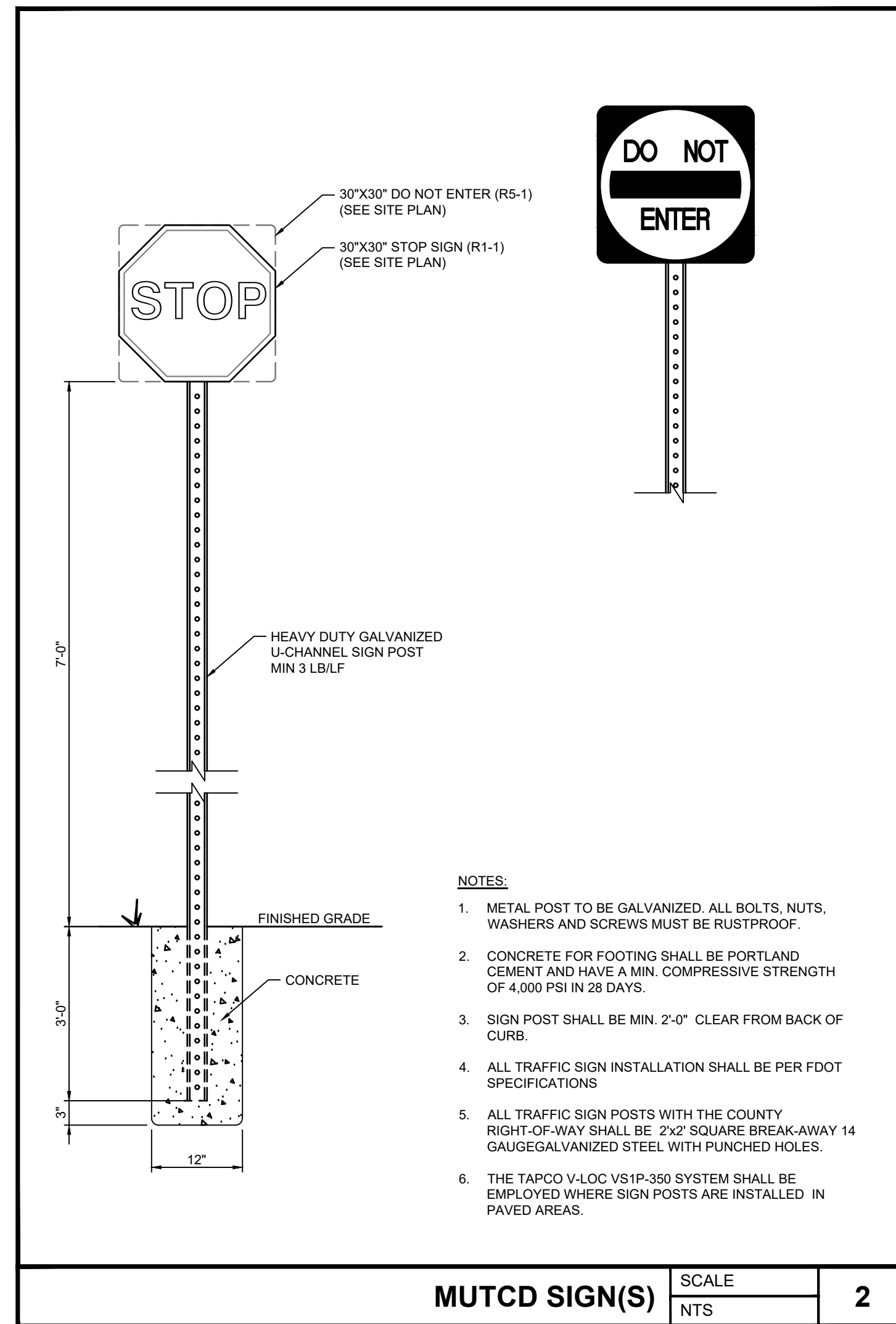
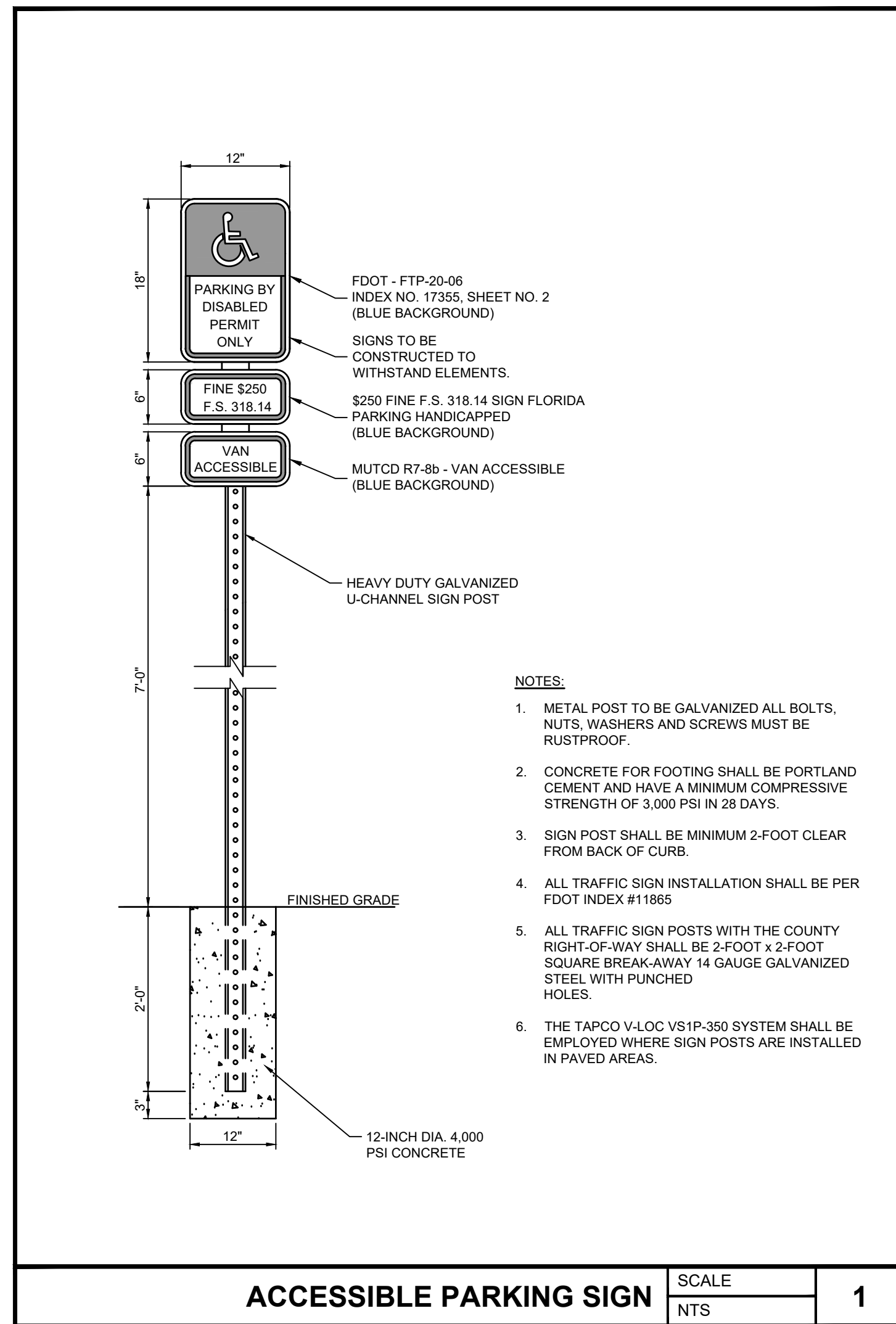
FIFTH THIRD BANK
DELRAY COMMONS
5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

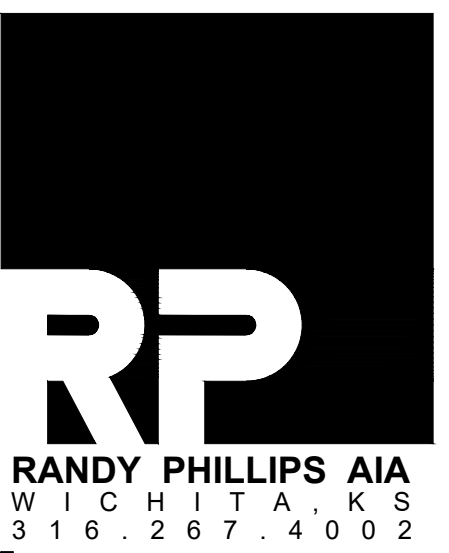


PRE-PLAN REVIEW 04.25.22
DETAILS

C05.01

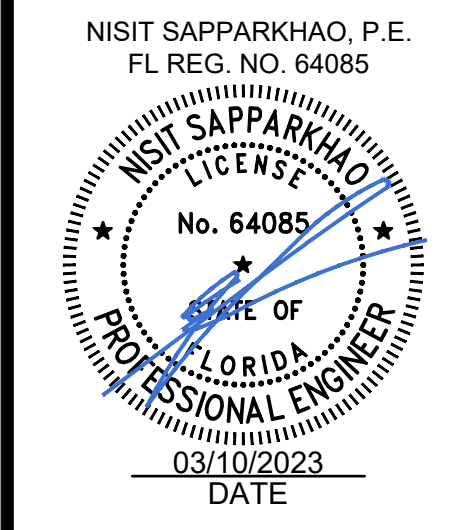


PRE-PLAN REVIEW



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PRE-PLAN REVIEW 04.25.22
 DETAILS

C05.02

△

ACCESSIBLE PARKING SIGN FTP-21-06 AND FTP-22-06 (MOUNT 60 IN. MIN. ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF SIGN)

LANDING 4' MIN.
CURB CUT RAMP PER F.D.O.T. INDEX NO. 304
PRECAST WHEEL STOP WHITE
SIDEWALK
4" BLUE STRIPE
PRECAST WHEEL STOP BLUE
ACCESS AISLE STALL RAMP IN WHITE (3) 6" MIN. WHITE CHEVRONS EQUALLY SPACED

INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE

PARKING STALL DIMENSIONS:
STANDARD 9' x 18'
COMPACT 8' x 18'
ACCESSIBLE 12' x 18' PLUS 5' ACCESS AISLE

* NOTES:
1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL ACCESSIBLE MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
3. ALL MEASUREMENTS ARE FROM CENTER LINE.
4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
5. BLUE STRIPE & INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WALKWAY ON CONCRETE.
6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1 THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1
7. CHANGES IN LEVEL ARE NOT PERMITTED IN ACCESSIBLE PARKING STALLS AND ACCESS AISLES SERVING THE STALLS. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL PARKING SPACES (1 OF 3)

DATE: 09-15-2021
RT 16.0

* NOTE: REFER TO TYPICAL PARKING SPACES DETAIL RT 16.0 & 16.2 FOR APPLICABLE NOTES.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL PARKING SPACES (2 OF 3)

DATE: 09-15-2021
RT 16.1

(2)~3" LG.X1" WIDE ANCHOR SLOT
2~#5 EACH SIDE
(2)~1" DIA. ANCHORS HOLES
1~#5 DIAGONAL
(2) NON-PENETRATING PICKHOLES
REMOVABLE NAMEPLATE

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

STORM SEWER MANHOLE FRAME & COVER

DATE: 09-15-2021
D 1.0

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.

U.S. FOUNDRY GRATE #6212 OR EQUAL
U.S. FOUNDRY GRATE #6290 OR EQUAL

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPE C & E INLET GRATE DETAIL

DATE: 09-15-2021
D8.0

WALL "B"
WALL "A"
PLAN
SECTION

CONCRETE COLLAR W/ 1 NO. 5 BAR CONTINUOUS
3" CL. TYP.
NO. 4 BARS @ 12" O.C. EACH WAY

GROUT CONCRETE COLLAR TO BASE.
VARIES
UP TO 6" DEEP
6" TO 10" DEEP
10" TO 12" OVER 10 DEEP

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'0"	3'1"	U.S. FOUNDRY NO. 6212	15" R.C.P.	24" R.C.P.
'E'	3'0"	4'6"	U.S. FOUNDRY NO. 6290	24" R.C.P.	36" R.C.P.

* SEE TYPICAL BACKFILL DETAIL GU 2.0

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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TYPE C & E INLET DETAIL

DATE: 09-15-2021
D9.0

GRASS (SOD) TYP.
3' TRANSITION (TYP.)
SEE FDOT INDEX 300, FLARED CURB AND GUTTER ENDINGS FOR ADDITIONAL INFORMATION.
20"R (TYP.)
SPEED HUMP SIGN W17-1 AND SPEED PLAQUE SIGN W13-1 POST SPEED 20 MPHROADWAY CENTERLINE
EXISTING EDGE OF PAVEMENT
EXISTING CURB ELEVATION
EXISTING CROSS SLOPE
ASPHALT RAMP
BRICK PAVERS
CONCRETE RIBBON CURB (TYP.)
MATCH EXISTING ASPHALT PAVEMENT ELEVATION (TYP.)
SPEED HUMP SIGN W17-1 AND SPEED PLAQUE SIGN W13-1 POST SPEED 20 MPH

PLAN NOT TO SCALE

BRICK PAVERS
SAND BEDDING
CONCRETE BASE
STABILIZED SUBGRADE OR BASE
CURB PER QTY DETAIL RT 19.0
CONCRETE CURB NOT TO SCALE

EXISTING ASPHALT SURFACE
SAND
BRICK PAVERS
CONCRETE BASE
12"X10" CONCRETE RIBBON CURB (TYP.)
ASPHALT RAMP
EXISTING ASPHALT PAVEMENT
EXISTING BASE MATERIAL

SECTION A-A NOT TO SCALE

*IF NEW ROADWAY CONSTRUCTION SEE DETAIL RT 26.0 FOR SECTION SPECIFICATIONS

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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SPEED HUMP / TABLE DETAIL

DATE: 09-15-2021
RT 12.0

ALL PAVEMENT MARKINGS
All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

CITY of DELRAY BEACH
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PAVEMENT MARKING SPECIFICATIONS (SHEET 2 OF 2)

DATE: 09-15-2021
RT 22.1

90° PARKING
60° AND 45° PARKING

90° PARKING			STANDARD			60°	45°
A	AISLE	24.0'	A	AISLE *	17.0'	15.0'	
S	STALL WIDTH	9.0'*	C	STALL LENGTH	10.5'	12.5'	
D	STALL DEPTH	18.0'	S	STALL WIDTH	9.0'	9.0'	
W	MODULE WIDTH	60.0'	D	STALL DEPTH	20.0'	19.0'	
			W	MODULE WIDTH	57.0'	53.0'	

* COMPACT CAR SPACES - 8.0' ACCESSIBLE SPACES - 12.0'
SEE RT 16 THROUGH RT 16.2

PARALLEL

C	STALL LENGTH	22.0'
S	STALL WIDTH	8.0'

* FOR TWO WAY FLOW A=24.0'

NOTE:
REFER TO TYPICAL PARKING SPACE DETAIL RT 16.0 THROUGH RT 16.2 FOR STRIPING INFORMATION AND ACCESSIBLE PARKING DIMENSIONS.
STOP BAR BETWEEN PARKING LOT & PUBLIC R/W MUST BE THERMOPLASTIC.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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PARKING LOTS

DATE: 09-15-2021
RT 15.0

RP

RANDY PHILLIPS AIA
WICHITA, KS
316.267.4002

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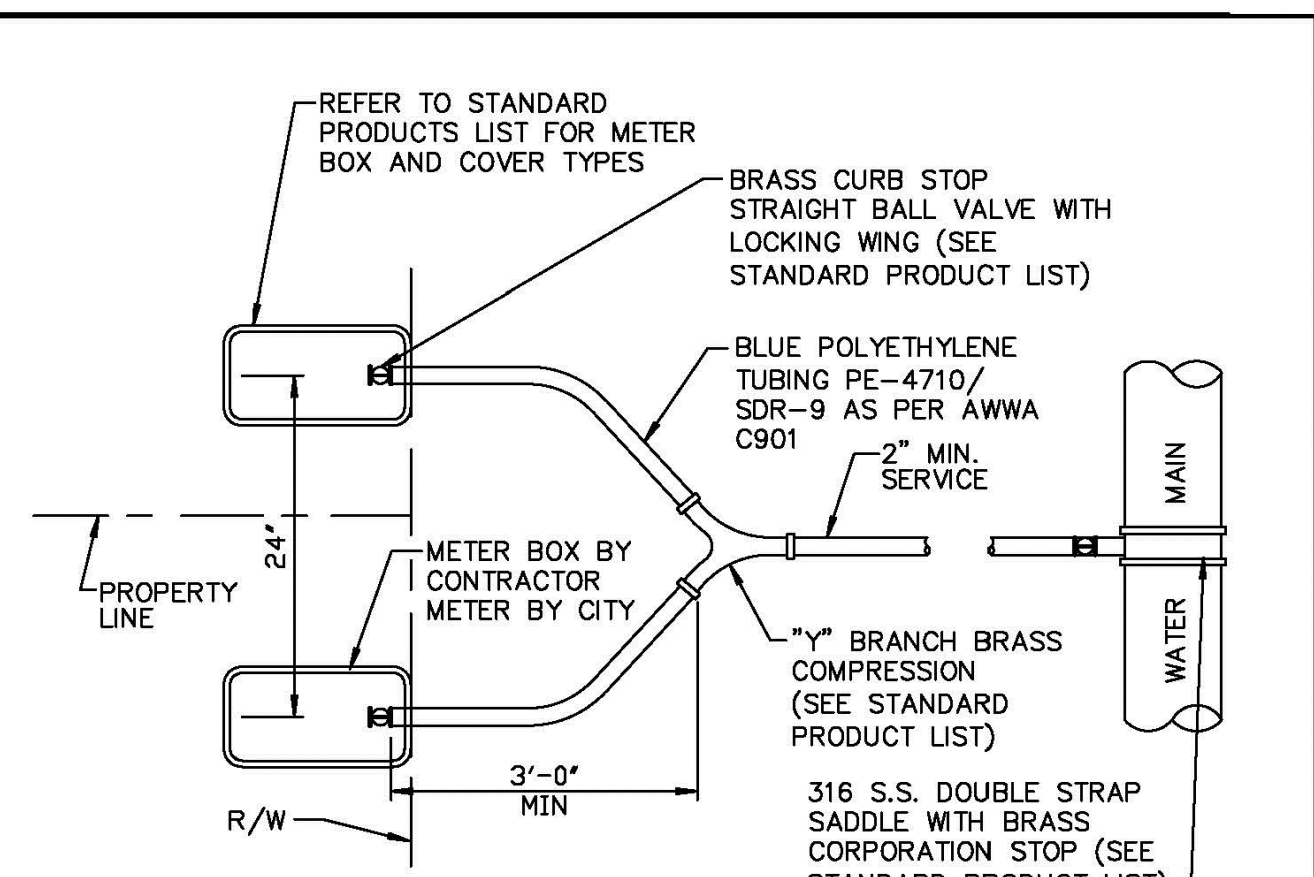
PRE-PLAN REVIEW

NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

DATE

SITE COMMENTS V1 01.27.23
PRE-PLAN REVIEW 04.25.22
DETAILS (CITY OF DELRAY BEACH)

C05.03

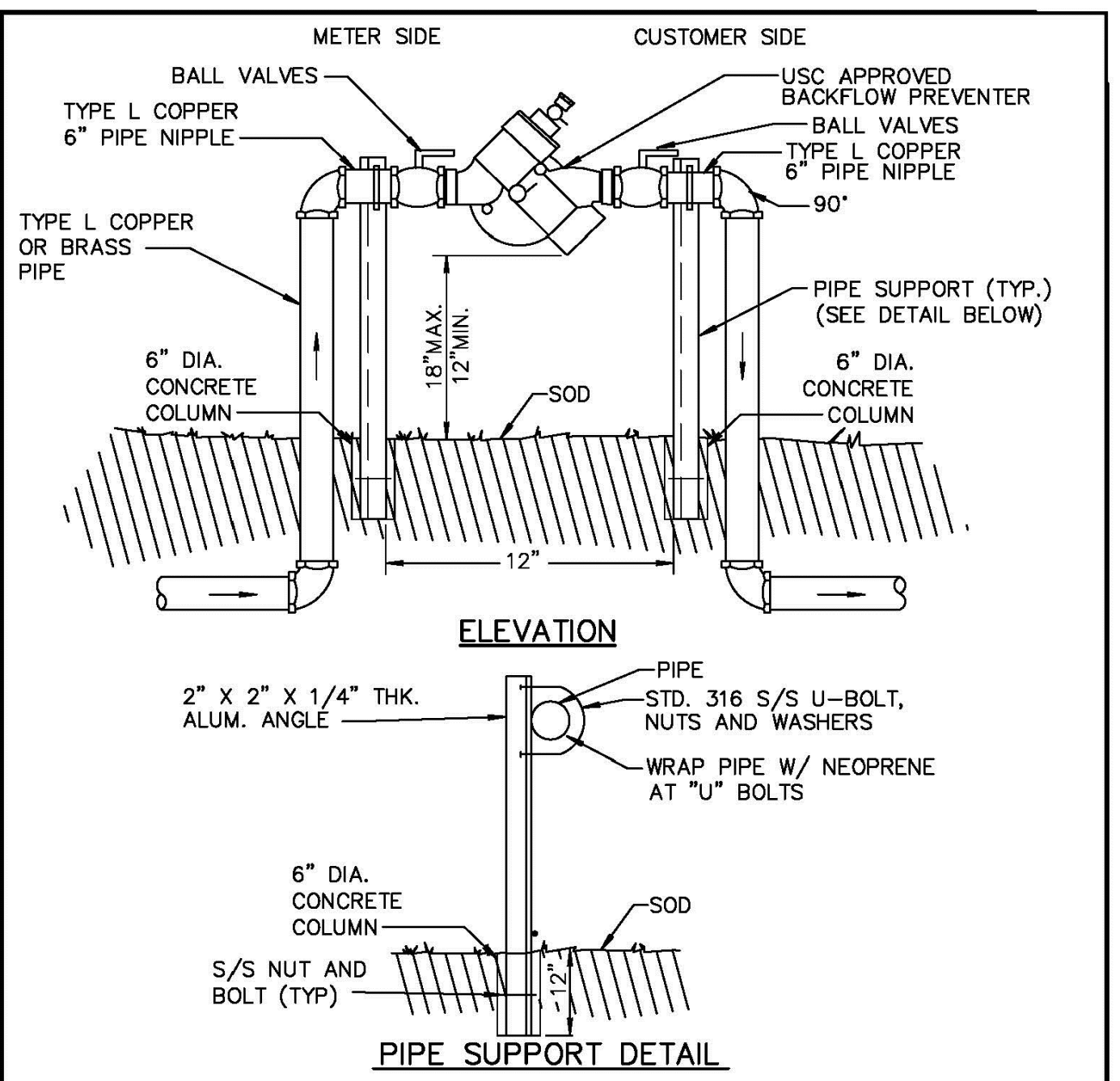


- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
 - SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
 - ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
 - NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
 - MAXIMUM SERVICE LENGTH IS 100' TO METER.
 - CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
 - MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
 - METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
 - ALL VALVES TO BE BALL VALVES.
 - METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
 - ABOVE CONFIGURATION APPLIES TO PLACEMENT AT SINGLE FAMILY RESIDENCES. FOR DOUBLE SERVICES PLACED AT MULTI-FAMILY RESIDENCES THE TWO SERVICES SHALL BE PLACED WITHIN A DOUBLE METER BOX.
 - ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO METER.

CITY of DELRAY BEACH
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TYPICAL DOUBLE SERVICE CONNECTION

DATE: 09-15-2021
PW 15.0

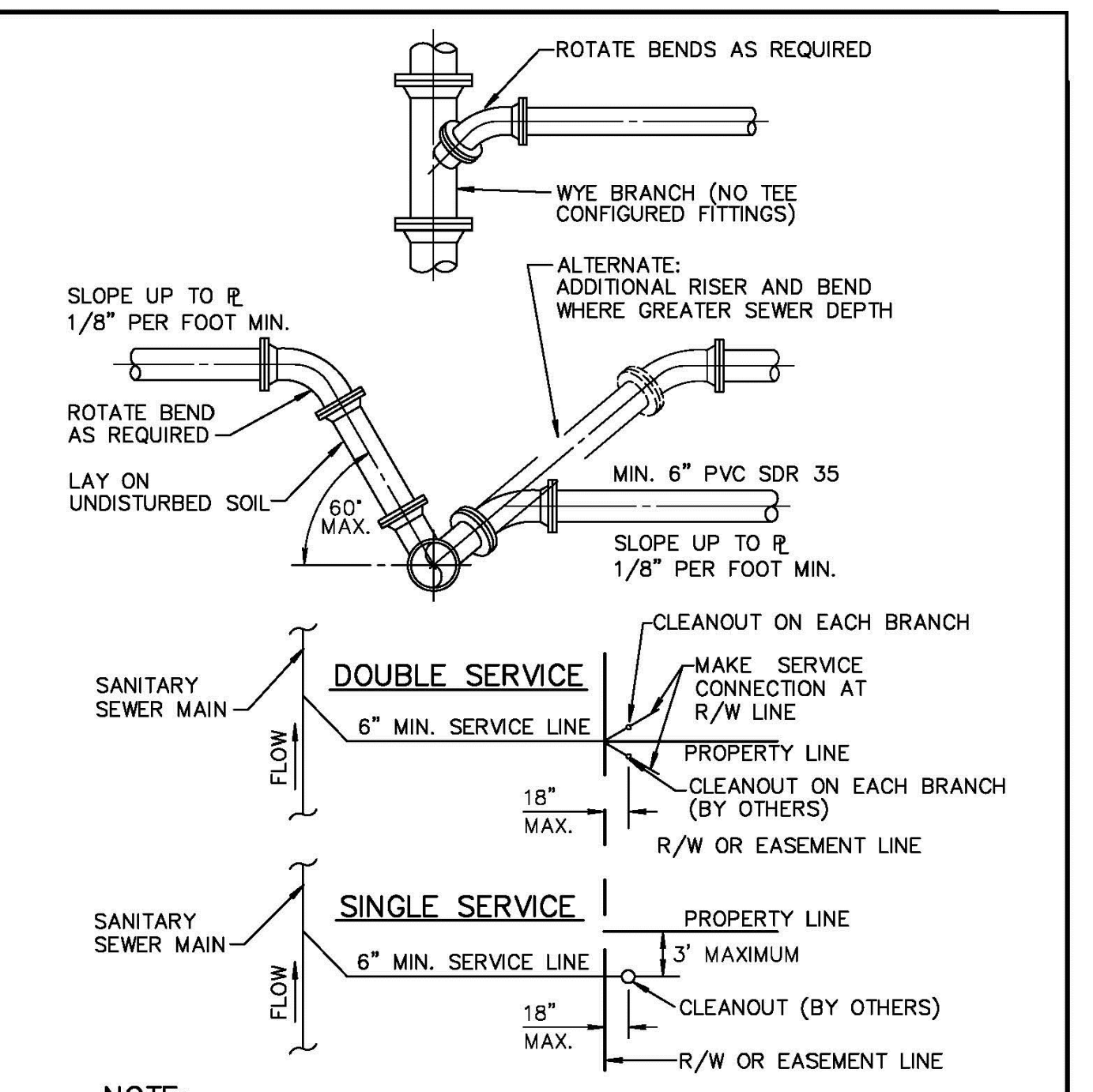


- NOTES:**
- FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
 - ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.
 - ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
 - USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.
 - USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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REDUCED PRESSURE ZONE BACKFLOW PREVENTER

DATE: 09-15-2021
PW 17.0

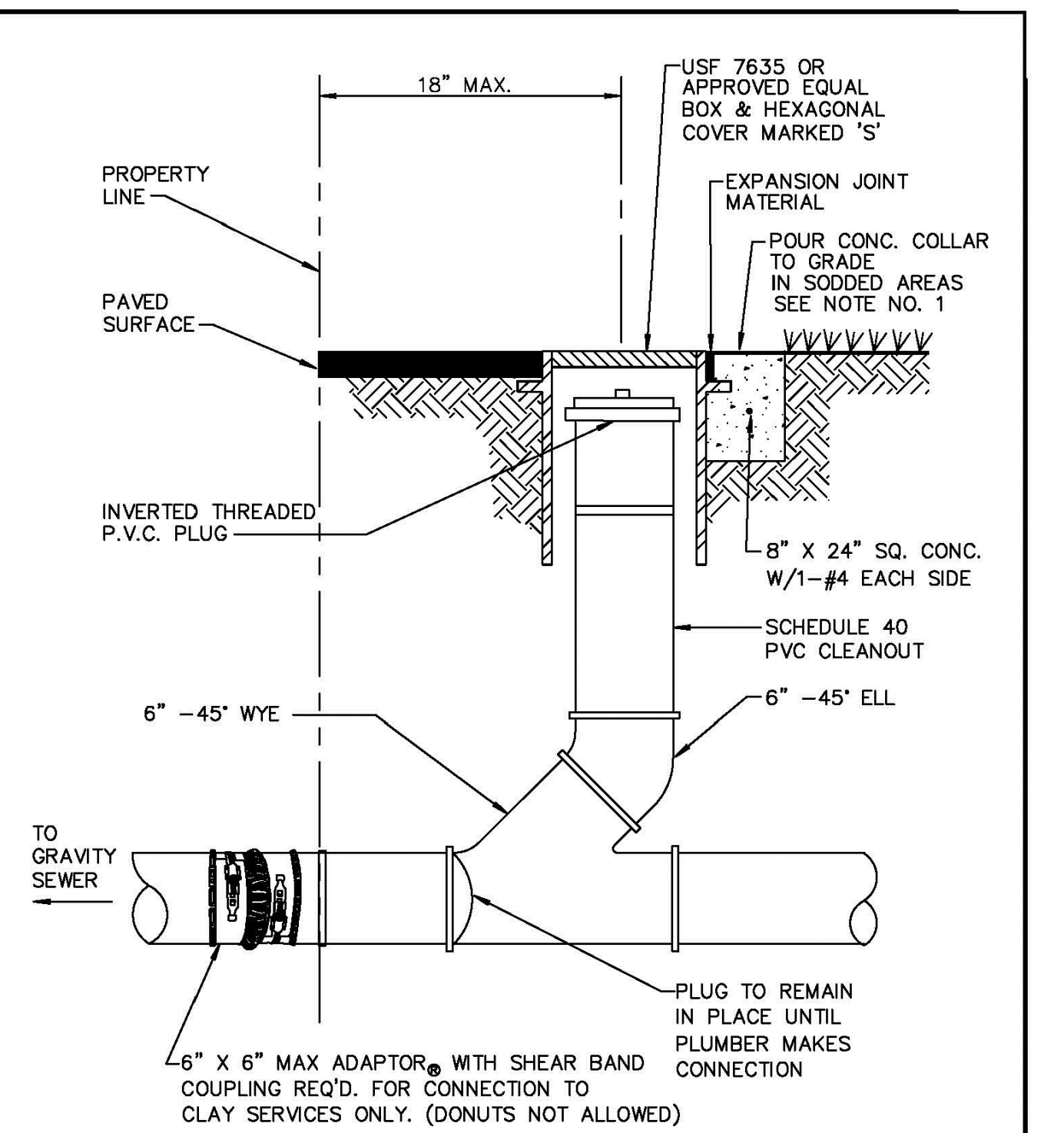


- NOTE:**
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
 - CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
 - SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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SEWER SERVICE CONNECTION

DATE: 09-15-2021
WW 8.0

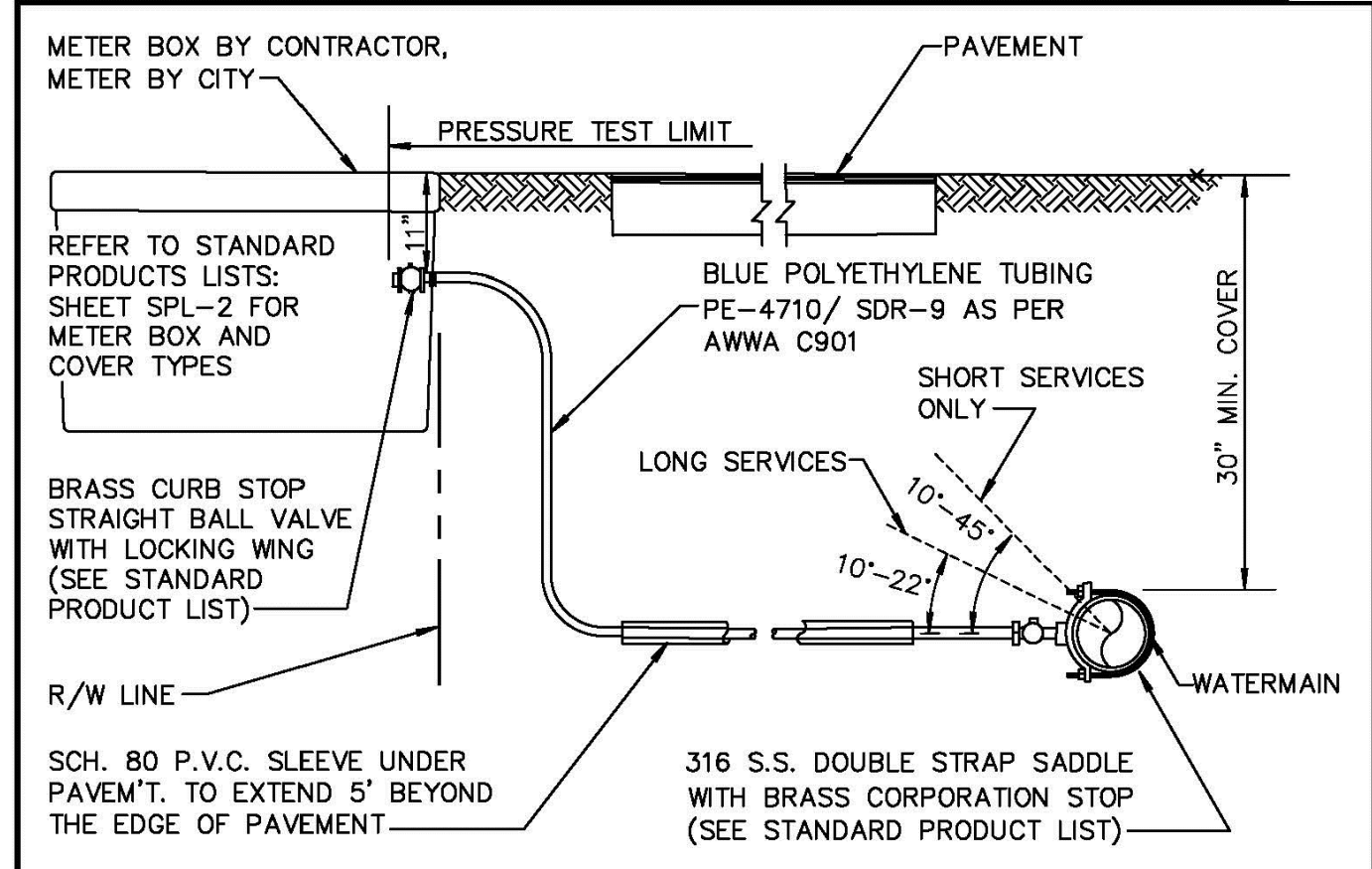


- NOTE:**
- INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
 - MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
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TYPICAL COMMERCIAL CLEANOUT

DATE: 09-15-2021
WW 10.0

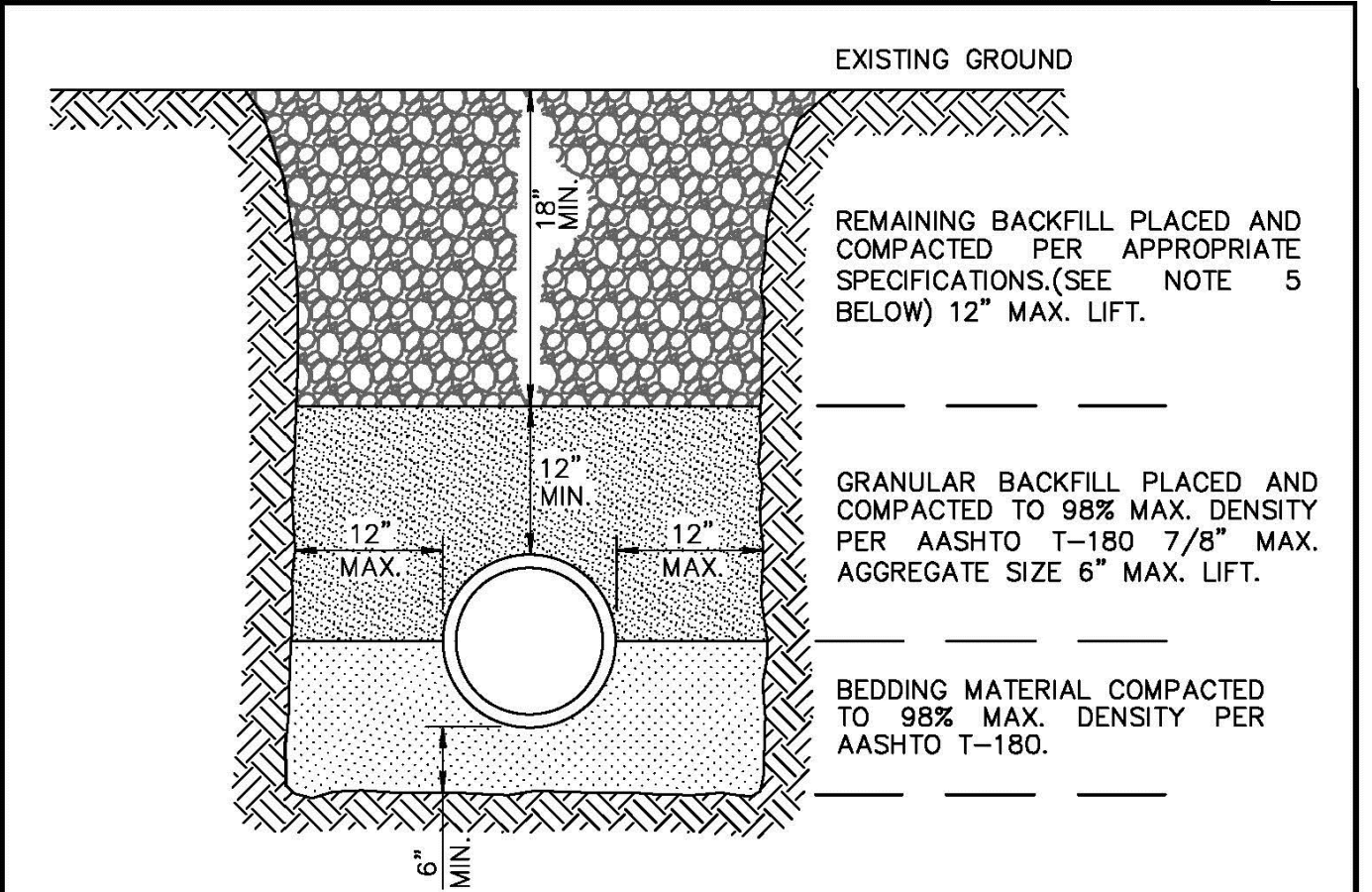


- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
 - SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
 - ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
 - NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
 - MAXIMUM SERVICE LENGTH IS 100' TO METER.
 - CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
 - MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
 - METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
 - ALL VALVES TO BE BALL VALVES.
 - METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
 - ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
 - ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
 - ALL COMMERCIAL WATER SERVICE SHALL BE A MINIMUM OF 2".
 - WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
454 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION IN DRIVEWAYS

DATE: 09-15-2021
PW 13.0



- NOTES:**
- UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
 - THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
 - COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
 - COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

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TYPICAL BACKFILL DETAIL

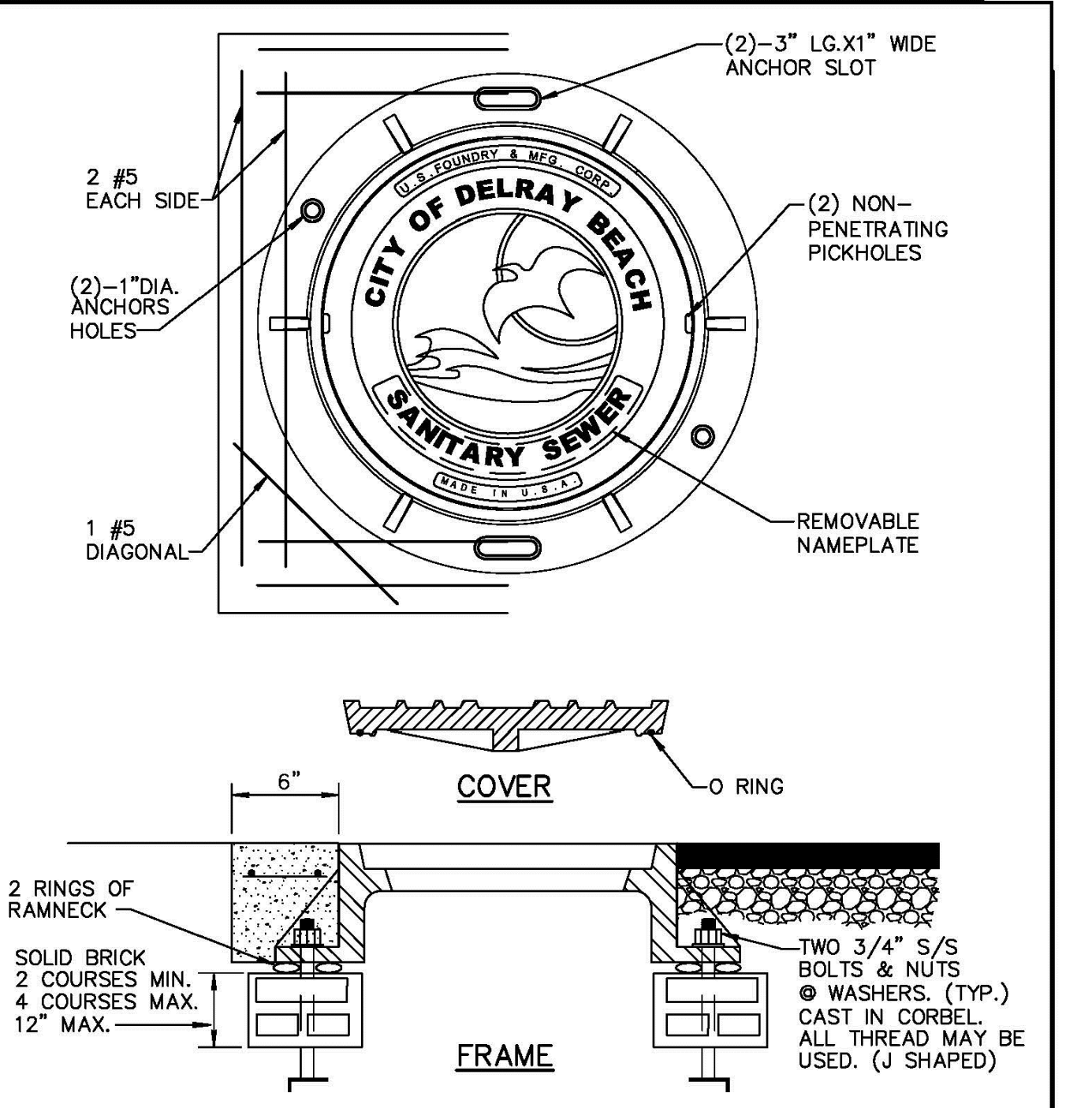
DATE: 09-15-2021
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- GRAVITY SEWER NOTES**
- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
 - ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
 - ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
 - (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
 - (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWISE APPROVED BY UTILITIES DEPARTMENT.
 - NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
 - MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
 - TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
 - PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
 - BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
 - ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
 - WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
 - UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST. AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
 - EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
 - COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
 - AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL TV, INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
 - NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
 - ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
 - ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.

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GRAVITY SEWER NOTES

DATE: 09-15-2021
WW 1.0

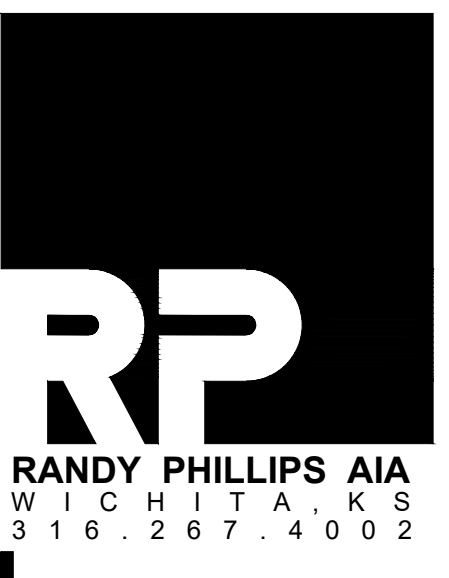


- NOTES:**
- COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.
 - COVER SHALL BE U.S. MR-ORS AND RING SHALL BE USF 576 RING WITH BITUMASTIC COAL TAR.
 - MANHOLE ADJUSTING RINGS SHALL BE CAST IRON, USF TYPE MR.

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SANITARY SEWER MANHOLE FRAME AND COVER

DATE: 09-15-2021
WW 6.0



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DELRAY COMMONS
5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

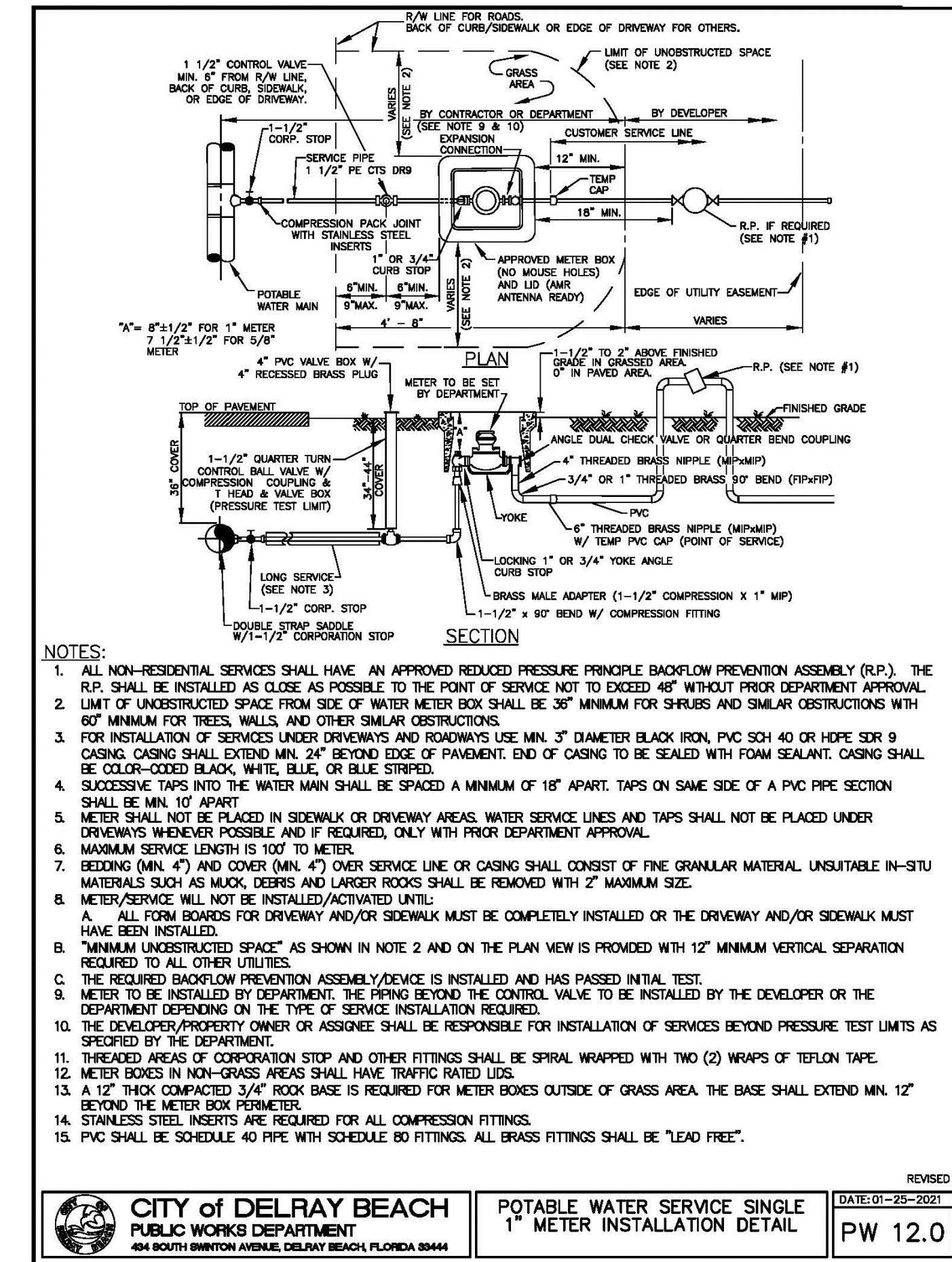
NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

NO. 64085
STATE OF FLORIDA
PROFESSIONAL ENGINEER
03/10/2023
DATE

SITE COMMENTS V1 01.27.23
PRE-PLAN REVIEW 04.25.22

DETAILS
(CITY OF DELRAY BEACH)

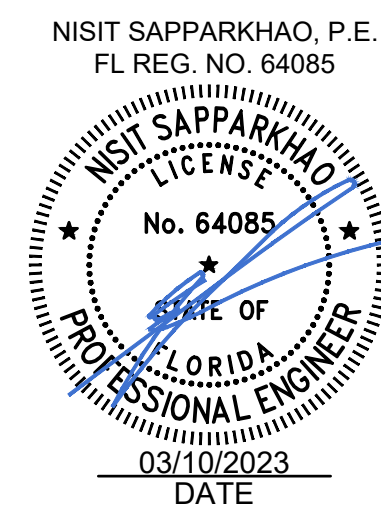
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PRE-PLAN REVIEW



SITE COMMENTS V1	01.27.23
PRE-PLAN REVIEW	04.25.22

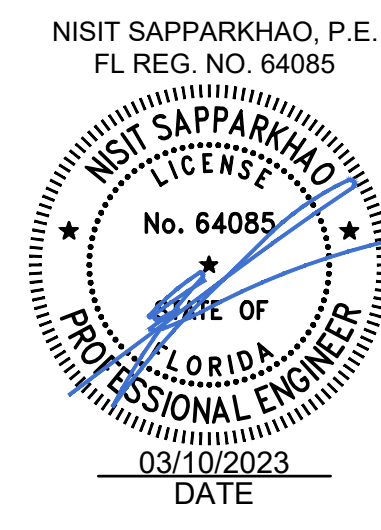
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SITE COMMENTS V2 03.10.23
 PRE-PLAN REVIEW 04.25.22
 EROSION CONTROL
 PLAN PHASE I

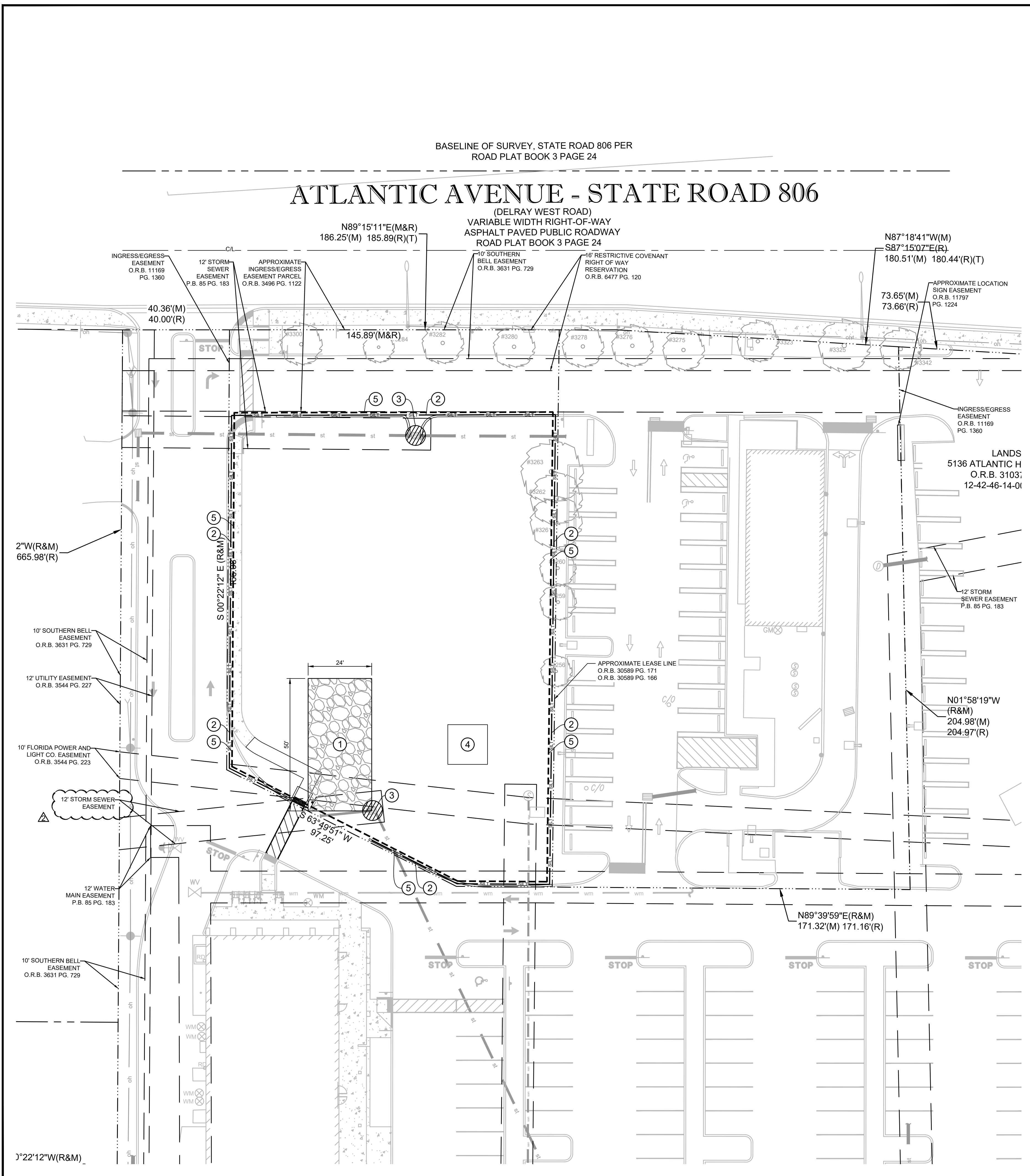
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PRE-PLAN REVIEW

LEGEND	
	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	EXISTING ASPHALT/CONCRETE TO BE REMOVED
	EXISTING SIDEWALK TO BE REMOVED
	EXISTING TO BE REMOVED
	TREE BARRIER LINE
	EXISTING TREE TO BE REMOVED
	EXISTING GAS
	EXISTING SANITARY
	EXISTING TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINE
	EXISTING WATER
	EXISTING CONTOUR
	EXISTING GRADE ELEVATION

GENERAL NOTES	
•	ALL MATERIALS INCLUDING FILL STOCKPILES SHALL NOT BE PERMANENTLY LOCATED ON THE UNDEVELOPED AREA SOUTH OF PROPOSED DEVELOPMENT.
•	ALL DISTURBED AREAS OF UNDEVELOPED PROPERTY SHALL BE HYDROMULCHED WITH SEED TO ESTABLISH TURN AND PREVENT SILT RUNOFF INTO THE STREETS.

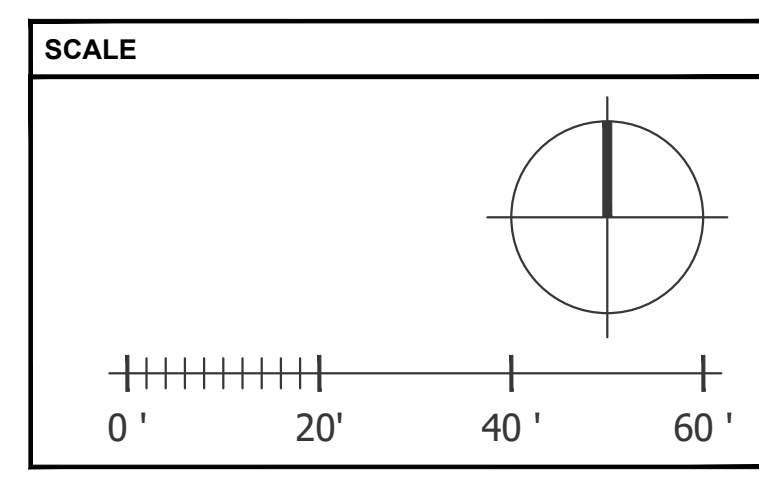
EROSION CONTROL KEYED NOTES	
①	CONSTRUCTION ENTRANCE AND CONCRETE WASHDOWN AREA. SEE EROSION AND SEDIMENT CONTROL DETAILS, SHEET C06.04.
②	PROPOSED TEMPORARY SILT FENCE. SEE EROSION AND SEDIMENT CONTROL DETAILS, SHEET C06.04.
③	INLET PROTECTION. (SEE DETAIL SHEET C06.04).
④	CONCRETE TRUCK WASHOUT AREA.
⑤	LIMITS OF DISTURBANCE (0.44 ACRES).



PLAN VIEW SCALE AS NOTED



Know what's below.
 Call before you dig.

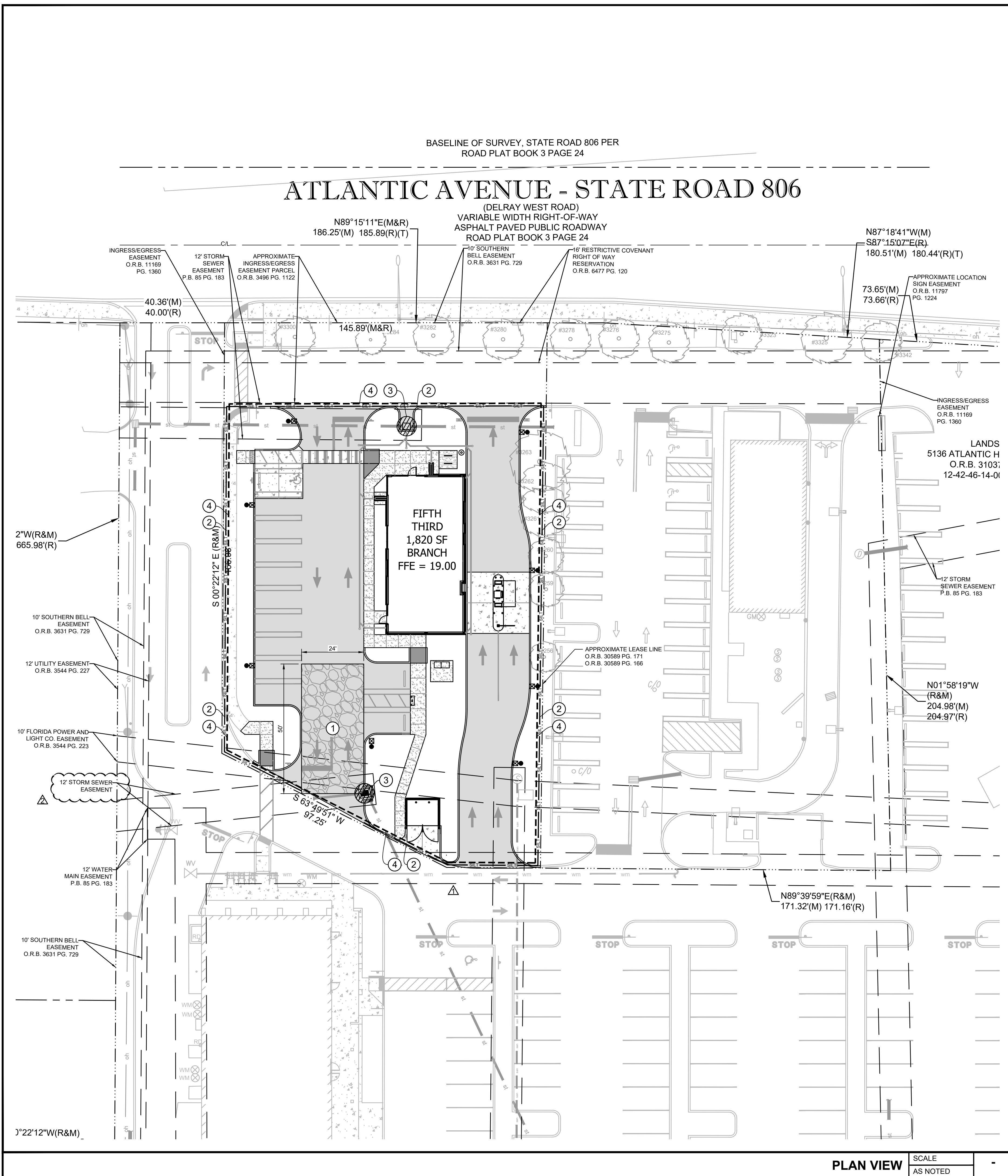


PRE-PLAN REVIEW

EROSION CONTROL KEYED NOTES	
①	CONSTRUCTION ENTRANCE AND CONCRETE WASHDOWN AREA. SEE EROSION AND SEDIMENT CONTROL DETAILS, SHEET C06.04.
②	PROPOSED TEMPORARY SILT FENCE. SEE EROSION AND SEDIMENT CONTROL DETAILS, SHEET C06.04.
③	INLET PROTECTION. (SEE DETAIL SHEET C06.04).
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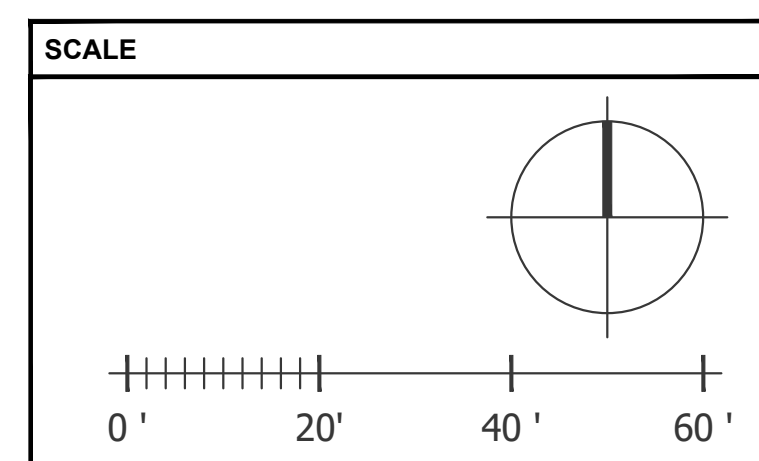
LEGEND:	
	PROPOSED CURB
	PROPOSED CONCRETE LESS THAN 6"
	PROPOSED CONCRETE 6" OR GREATER
	NEW ASPHALT PAVEMENT
	EASEMENT
	EXISTING CONCRETE
	PROPERTY LINE
	DROP INLET
	HIGH POINT
	PROPOSED SURFACE STORMWATER FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EROSION CONTROL

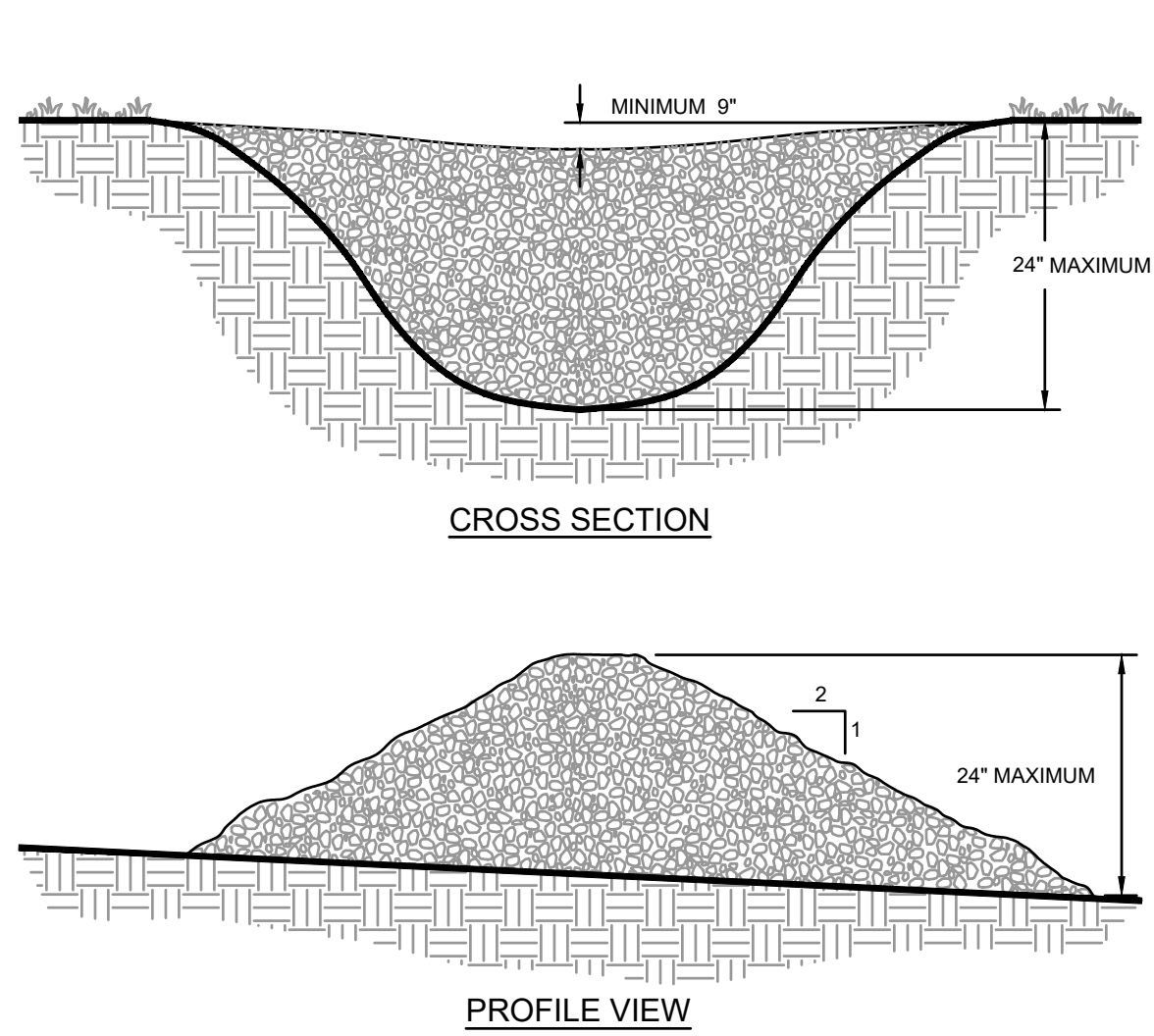


PLAN VIEW SCALE AS NOTED



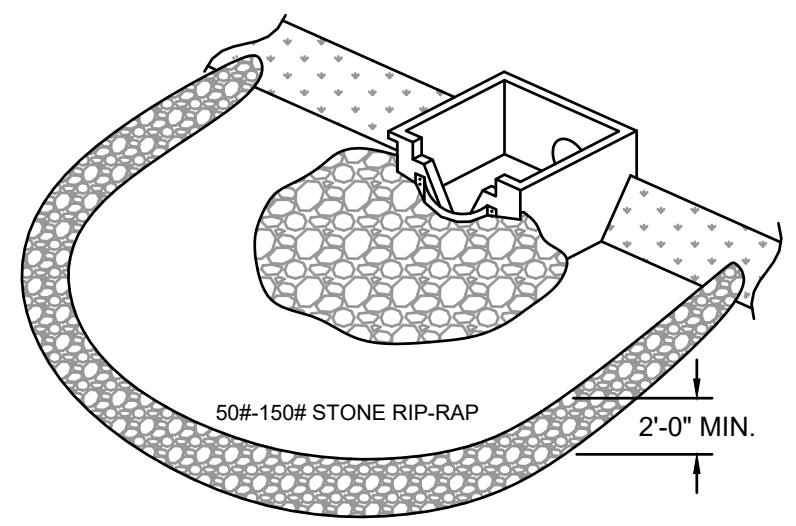
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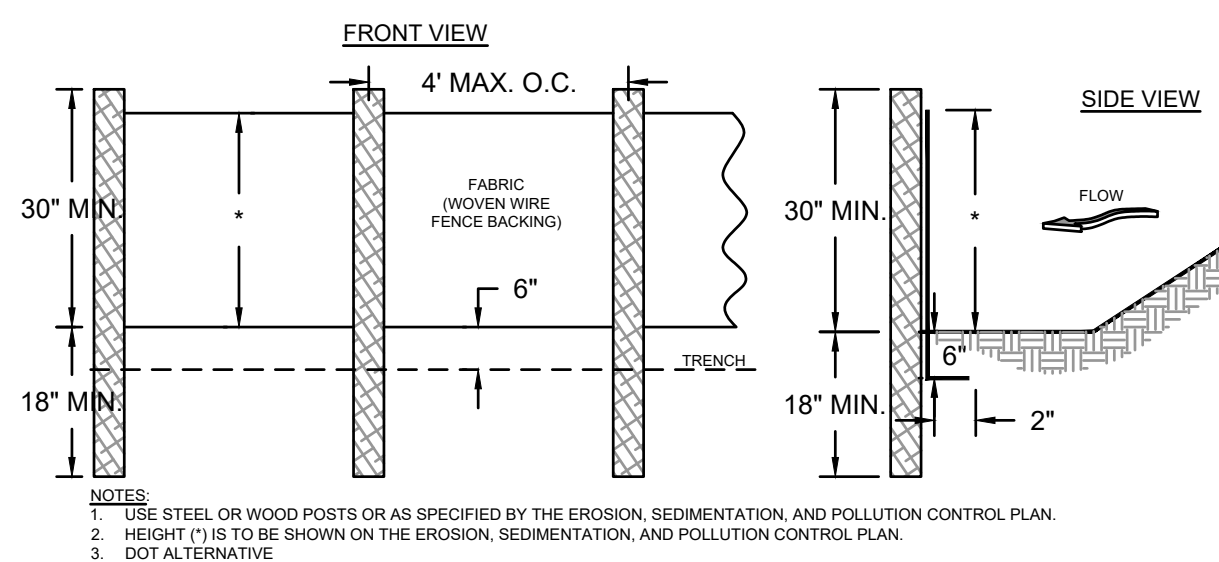
- NOTES:**
- CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
 - THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
 - THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
 - THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
 - THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
 - GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO AASHTO M288-96, SECTION 7.3, TABLE 3).

STONE CHECK DAM



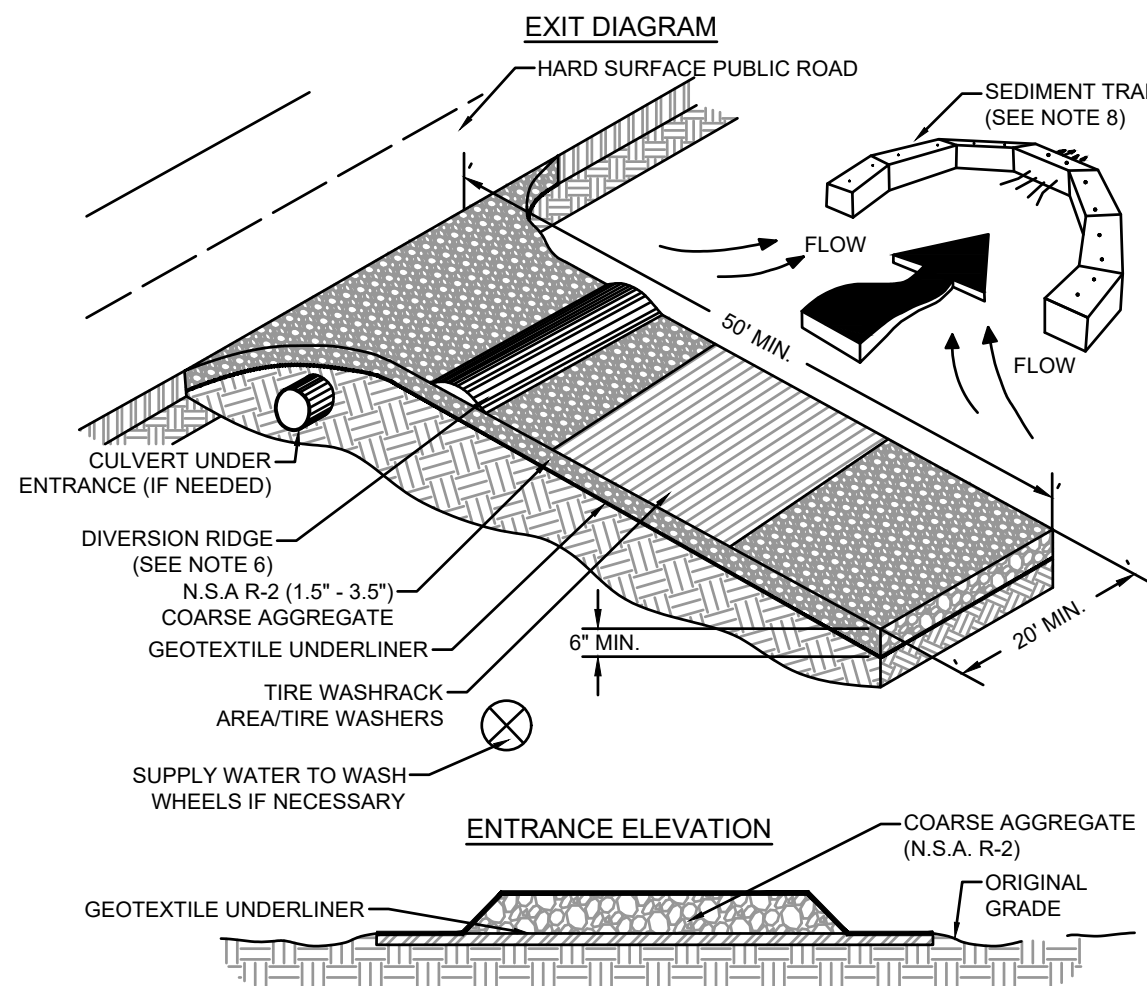
A TEMPORARY STONE BARRIER CONSTRUCTED AT STORM DRAIN INLETS AND POND OUTLETS TO REDUCE FLOW VELOCITIES, PREVENT FAILURE OF OTHER SEDIMENT CONTROL DEVICES AND TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING DRAINAGE SYSTEMS.

STONE FILTER RING



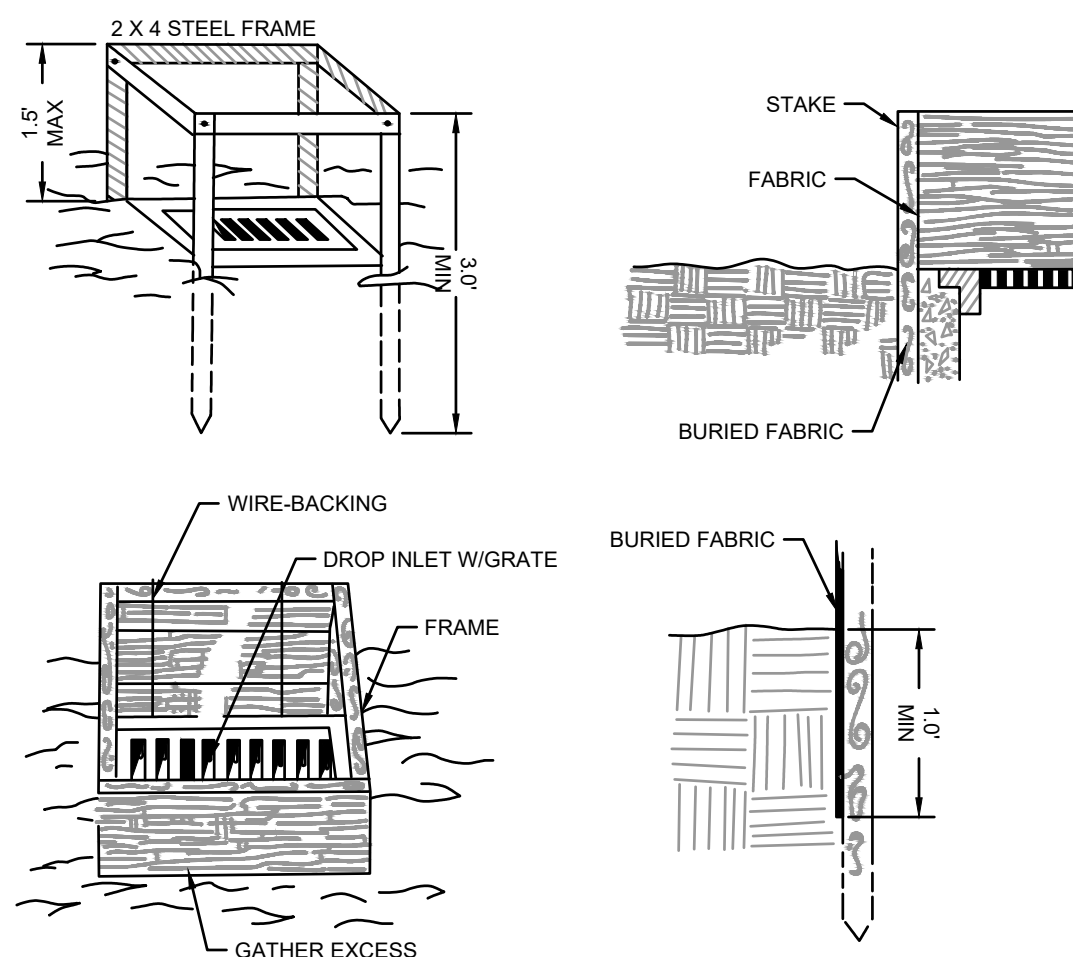
- NOTES:**
- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 - HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 - DOT ALTERNATIVE.

Sd1-S SILT FENCE - TYPE SENSITIVE

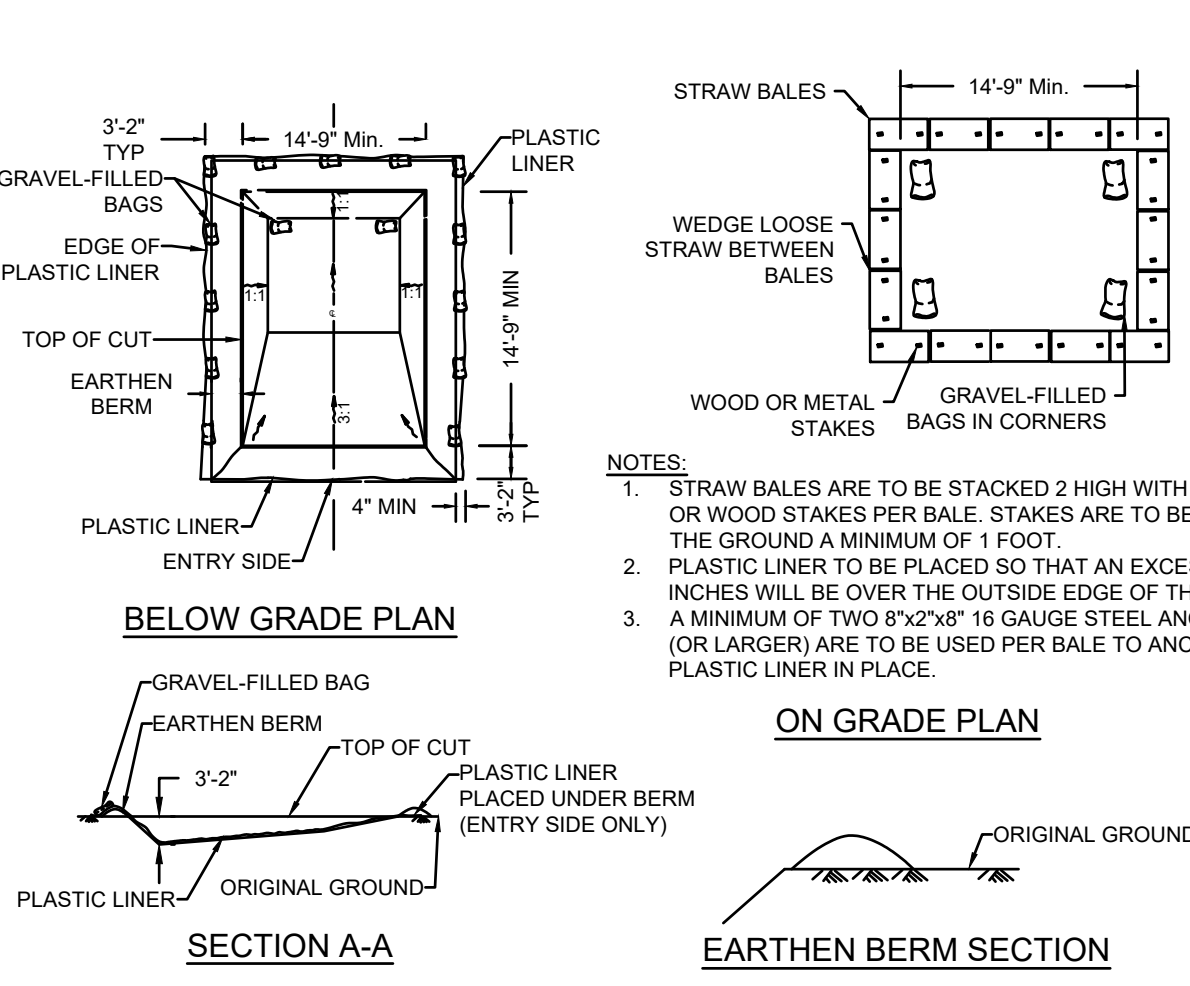


- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6\".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20\".
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERSE ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT

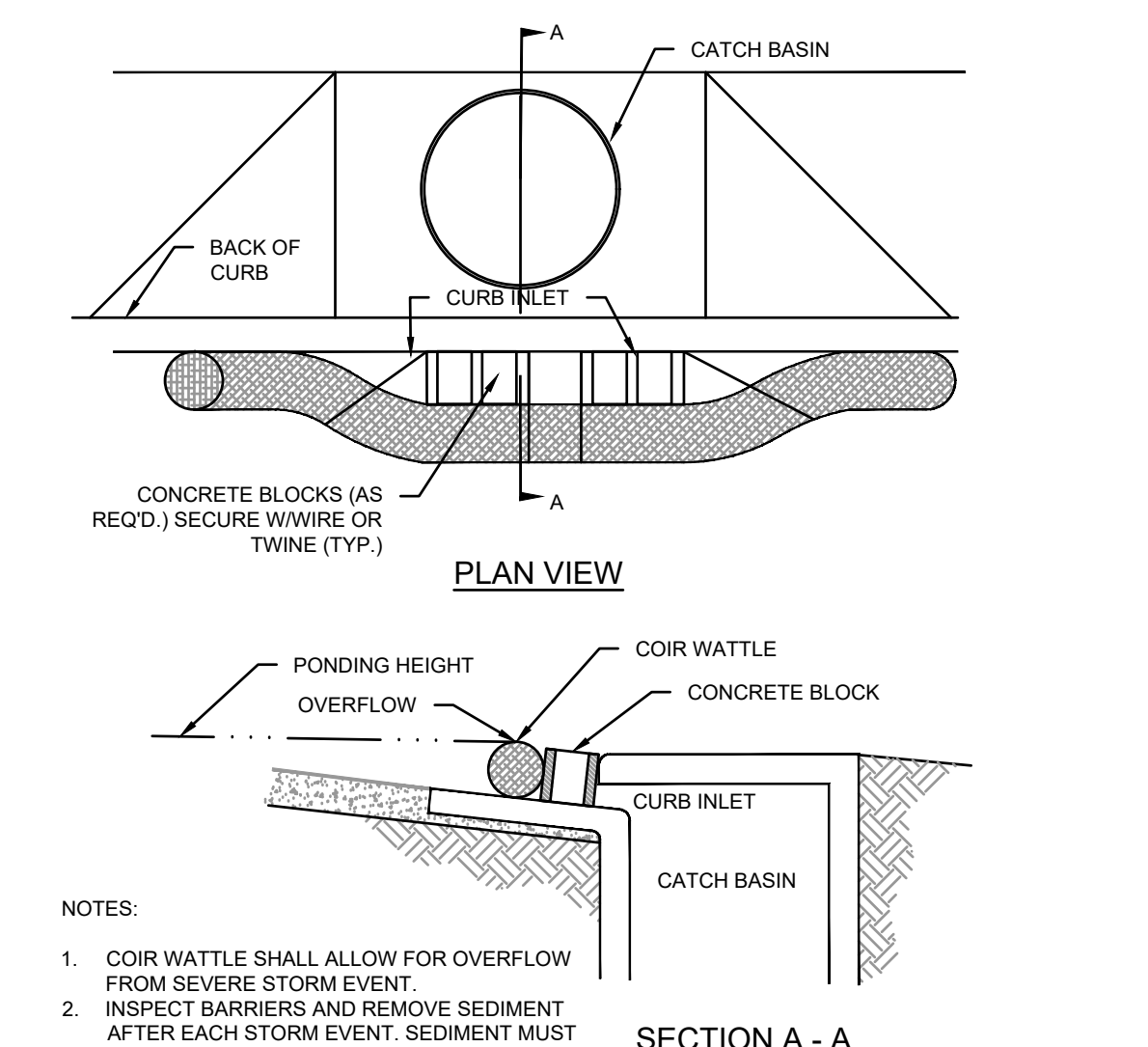


Sd2-F INLET SEDIMENT TRAP-FILTER FABRIC

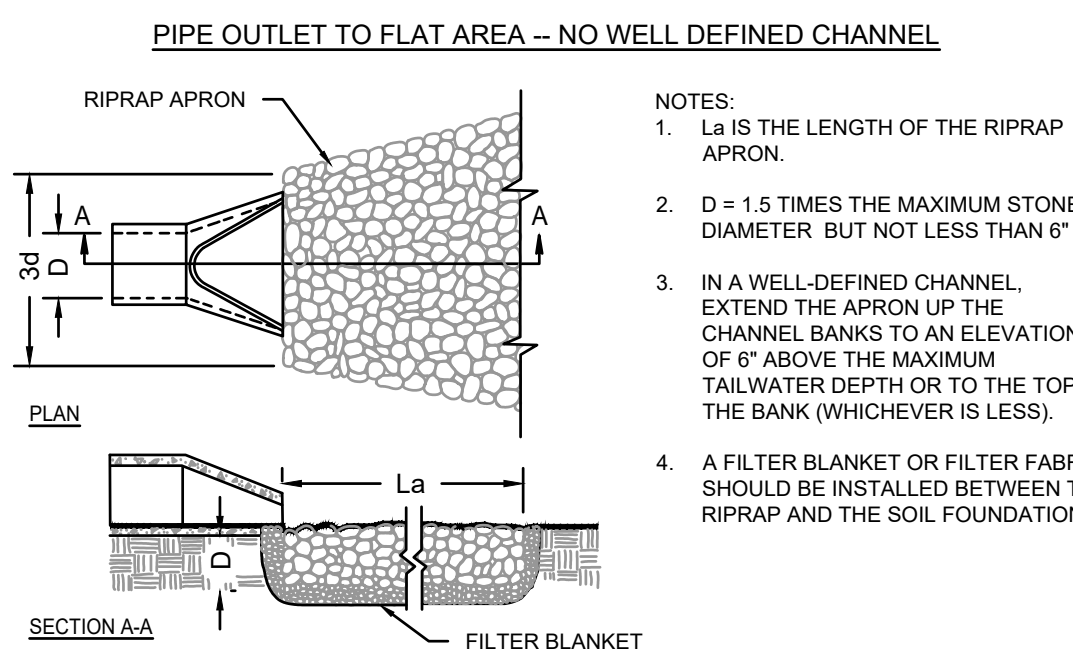


- NOTES:**
- WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
 - A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
 - A 4"x2" WHITE SIGN WITH 6" BLACK LETTERS STATING "CONCRETE WASHOUT" IS TO BE PROVIDED SO DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
 - WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS.
 - THE CONTRACTOR SHALL INSPECT THE WASH DOWN AREA INTERMITTENTLY TO ENSURE PROPER CONTAINMENT IS ACCOMPLISHED.
 - IN THE EVENT OF A SPILL OR LEAK THE CONTRACTOR SHALL IMMEDIATELY REPORT & REMEDIATE SAME IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS.

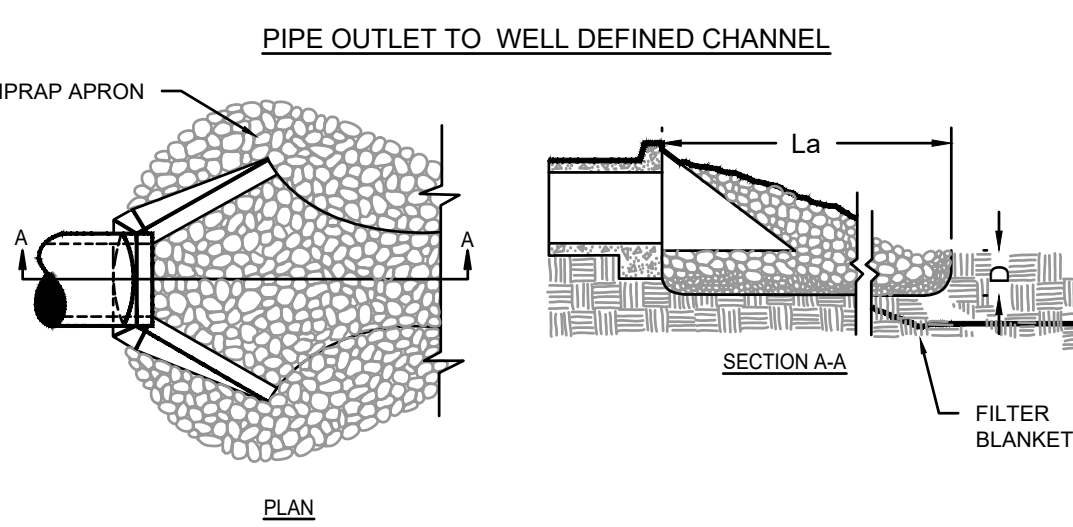
Cw TEMPORARY CONCRETE WASHOUT FACILITY



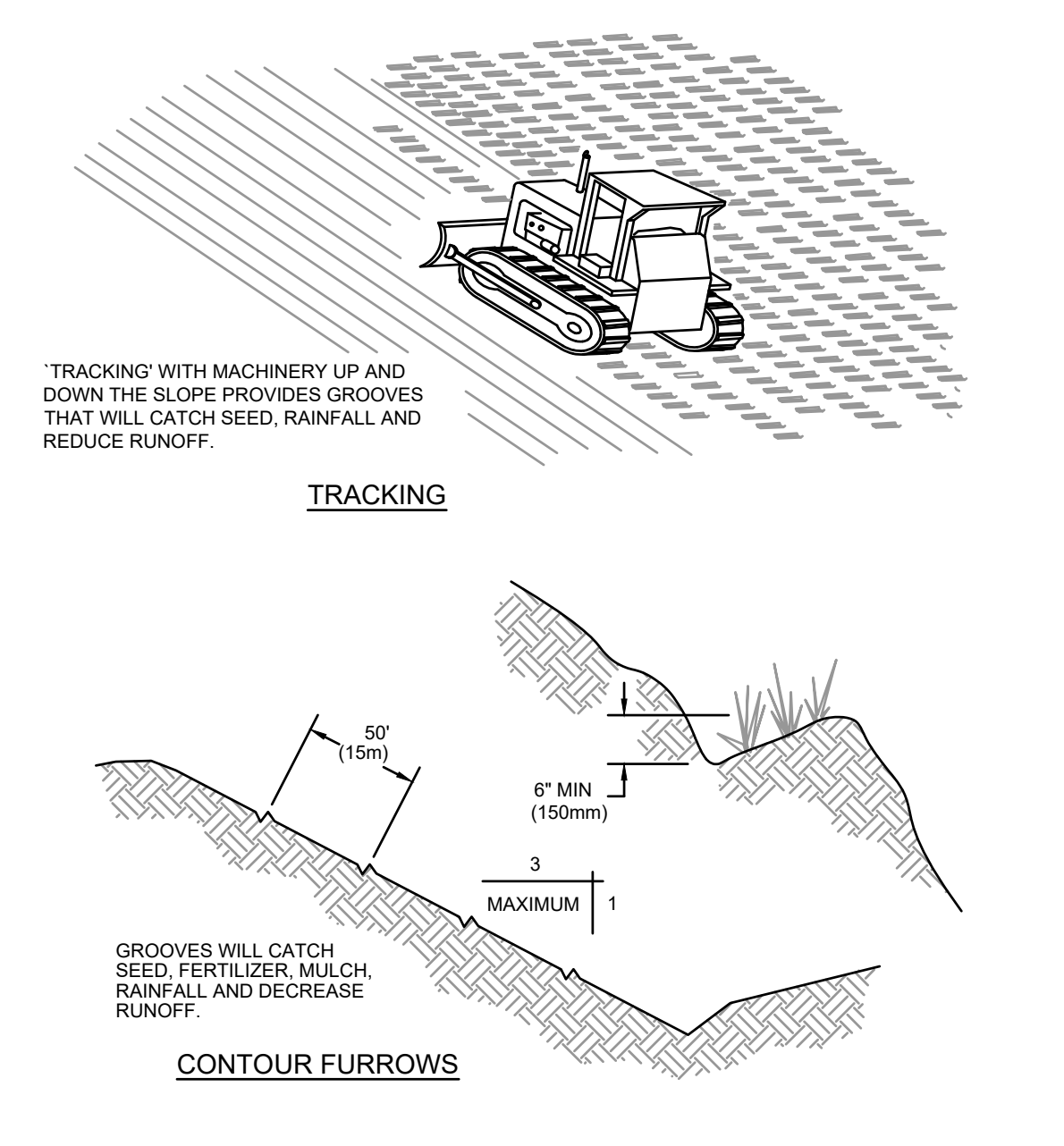
Sd2-P CURB INLET SEDIMENT BARRIER (COIR WATTLE)



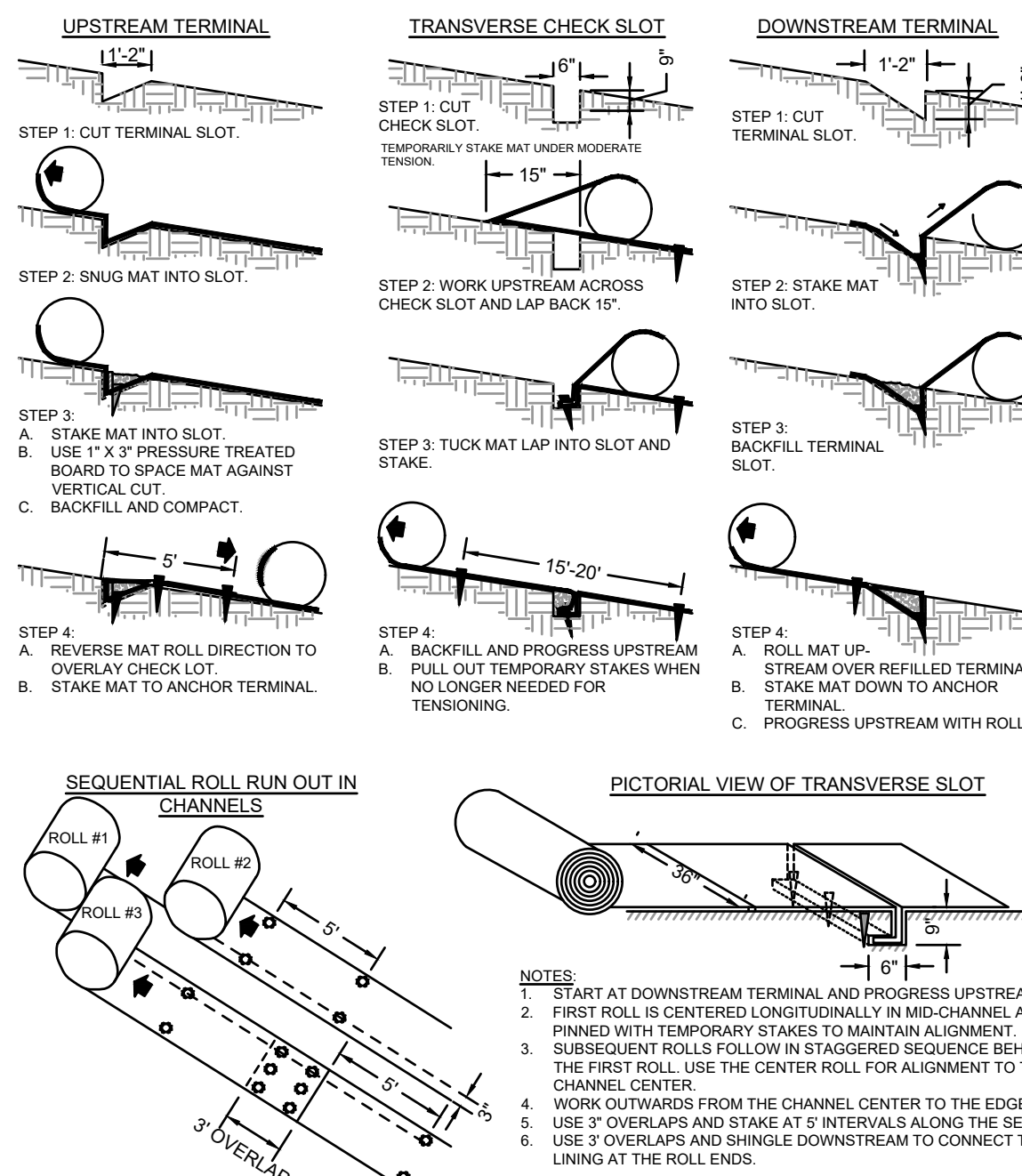
- NOTES:**
- L_a IS THE LENGTH OF THE RIPRAP APRON.
 - $D = 1.5$ TIMES THE MAXIMUM STONE DIAMETER, BUT NOT LESS THAN 6\".
 - IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6\" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
 - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.



St STORM OUTLET PROTECTION



Su SURFACE ROUGHENING



Ss EROSION BLANKETS & TURF REINFORCEMENT MATS

INSTALL NORTH AMERICAN GREEN SC-150 EROSION BLANKET OR EQUAL UNLESS OTHERWISE SPECIFIED.

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
 - THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
 - ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINED DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
 - CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
 - THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

- PRE-Construction SITE PROTECTION:**
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
 - ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
 - DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION. SILT SCREENS, SYNTHETIC BALES, AND GRASSING: ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOIL SOD.

- SITE PROTECTION:**
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
 - WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
 - SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
 - SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULVERTS DISCHARGE.
 - SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
 - ALL DEVICES INCLUDING SILT FENCE, FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.
 - ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

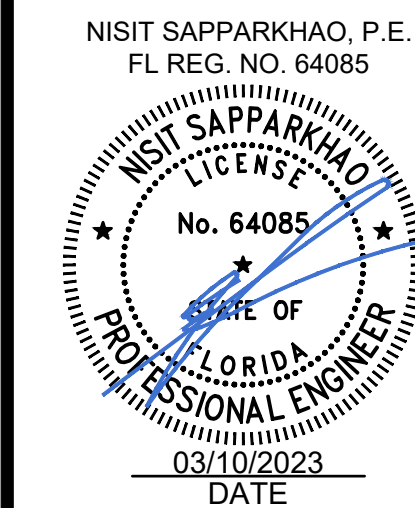
- STORM DRAIN INLET PROTECTION:**
- FILTER FABRIC SHALL BE LAID OVER INLETS SO THAT THE FABRIC EXTEND A MINIMUM OF 1 FOOT BEYOND EAST SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
 - 2 INCH - 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
 - IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.

- POST-CONSTRUCTION SITE PROTECTION:**
- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.



INFINITY ENGINEERING GROUP, LLC
1208 East Kennedy Boulevard
Suite 230
Tampa, FL 33602
(p) 813.695.4649
(f) 813.445.4211
www.ieggroup.net
Certificate No. 27889
IEG JOB NO. 15-223.00

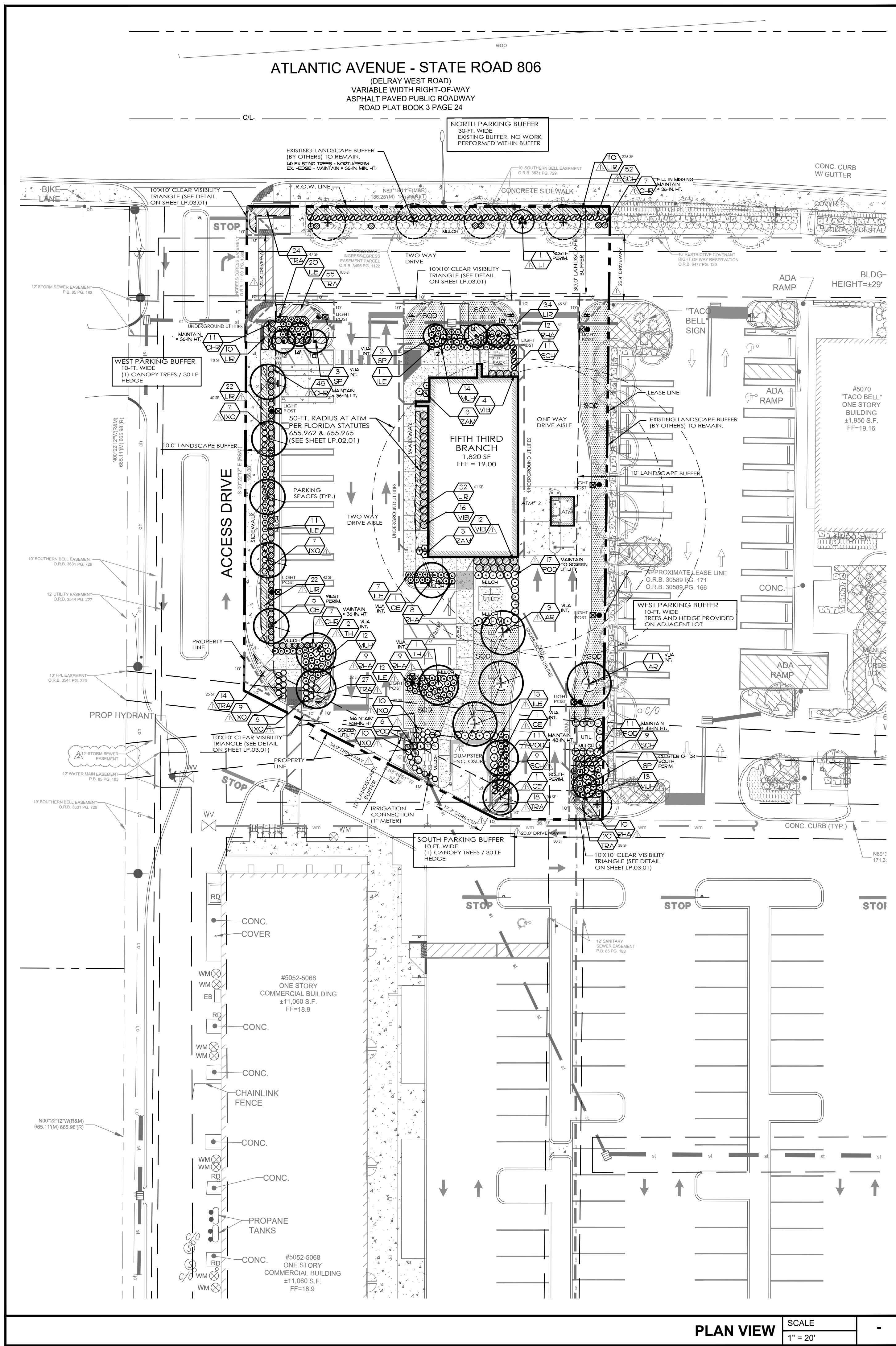
FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL



PRE-PLAN REVIEW 04.25.22
EROSION AND SEDIMENTATION CONTROL DETAILS

C06.04

PRE-PLAN REVIEW



LANDSCAPE REQUIREMENTS MULTIPLE FAMILY, COMMERCIAL, AND INDUSTRIAL DEVELOPMENT		PLANT LISTS (EXAMPLE)	
LANDSCAPE REQUIREMENT	REQUIRED	# (QUANTITY) & LIST OF TREES/PALMS	# (QUANTITY) & LIST OF SHRUBS FOR HEDGE
INTERIOR LANDSCAPING LDR SEC. 4.6.16(H)(3)(G) & (H)	REQUIRED: 10% OF 13,064 SQ. FT. OF PARKING & ACCESSWAYS. ONE TREE FOR EVERY 125 SQ. FT. PROVIDED:	1,306 SQ. FT. 11 TREES 2,854 SQ. FT. 11 TREES	4 MAPLE TREES 2 GREEN BUTTWOOD 3 PINK TABEBUIA 6 SABAL PALMS = 2 TREES
LANDSCAPE STRIP LDR SEC. 4.6.16(H)(3)(A)	REQUIRED: ONE TREE FOR EVERY 30 LINEAR FEET (L.F.) WITH CONTINUOUS HEDGE PROVIDED:	125 L.F. 5 TREES & 63 SHRUBS 125 L.F. 5 TREES & 96 SHRUBS	4 EXISTING CRAPE MYRTLE 1 CRAPE MYRTLE 52 DWARF SCHEFFLERA 37 EXISTING COCOPLUM 7 COCOPLUM
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	REQUIRED: ONE TREE FOR EVERY 30 L.F. WITH CONTINUOUS HEDGE PROVIDED:	144 L.F. (166.08 L.F. LESS 22.4 L.F. DRIVEWAY) 5 TREES & 72 SHRUBS 144 L.F. 5 TREES & 73 SHRUBS	5 GREEN BUTTWOOD 59 COCOPLUM 14 IXORA
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	REQUIRED: ONE TREE FOR EVERY 30 L.F. WITH CONTINUOUS HEDGE PROVIDED:	63 L.F. (210.35 L.F. LESS 71.2 L.F. DRIVEWAYS) 2 TREES & 32 SHRUBS 63 L.F. 2 TREES & 34 SHRUBS	1 GREEN BUTTWOOD 3 SABAL PALMS = 1 TREE 25 IXORA 9 DWARF SCHEFFLERA
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	REQUIRED: ONE TREE FOR EVERY 30 L.F. WITH CONTINUOUS HEDGE PROVIDED:	188 L.F. (210.35 L.F. LESS 22.4 L.F. DRIVEWAYS) 7 TREES & 94 SHRUBS 63 L.F. EXISTING ON ADJACENT PROPERTY: 8 TREES & CONT. SHRUBS	EXISTING ON ADJACENT PROPERTY: 2 CRAPE MYRTLES 2 PINK TABEBUIA 2 SILVER BUTTWOOD 1 PINK TABEBUIA 3 SABAL PALMS = 1 TREE EXISTING CONT. HEDGE
FOUNDATION LANDSCAPING LDR SEC. 4.6.16(H)(4)	REQUIRED: TOT. BLDG. FAÇADE LENGTH FACING ROYS PROVIDED:	31 L.F. 1 TREE & 15 SHRUBS 31 L.F. 1 TREE & 15 SHRUBS	3 SABAL PALMS = 1 TREE 11 DWARF SCHEFFLERA 4 VIBURNUM
STREET TREES LDR SEC. 4.6.16 (H)(6)	REQUIRED: ONE STREET TREE FOR EVERY 40 L.F. WITH A MINIMUM OF ONE TREE PER PROPERTY. PROVIDED:	N/A L.F. N/A TREES N/A L.F. N/A TREES & N/A SHRUBS	N/A
LANDSCAPE BUFFER PLEASE REVIEW REQUIREMENTS OF A SPECIFIC USE, ZONING DISTRICT STANDARDS, AND SEC. 4.6.16(H)(3)(E)	REQUIRED: PROVIDED:	N/A L.F. N/A TREES & N/A SHRUBS N/A L.F. N/A TREES & N/A SHRUBS	N/A
LANDSCAPE ISLAND AND STRIP FOR PARKING LOT LDR SEC. 4.6.16(H)(3)(J), (K)	REQUIRED: 4 LANDSCAPE ISLANDS ONE SHADE TREE, A MINIMUM OF 135 SQ. FT. OF PLANTING AREA, AT LEAST 9 FT. W.D. NOT INCLUDING A CURB PROVIDED:	4 TREES 4 TREES	1 GREEN BUTTWOOD 2 PINK TABEBUIA 3 SABAL PALMS = 1 TREE

General Notes

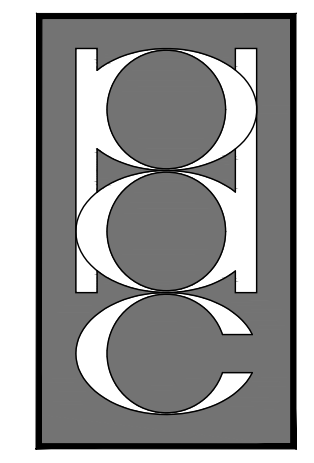
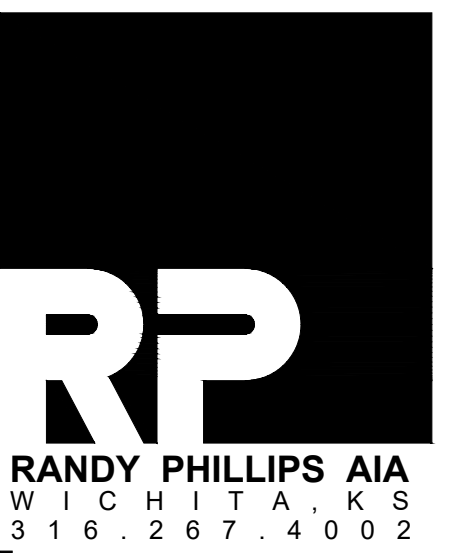
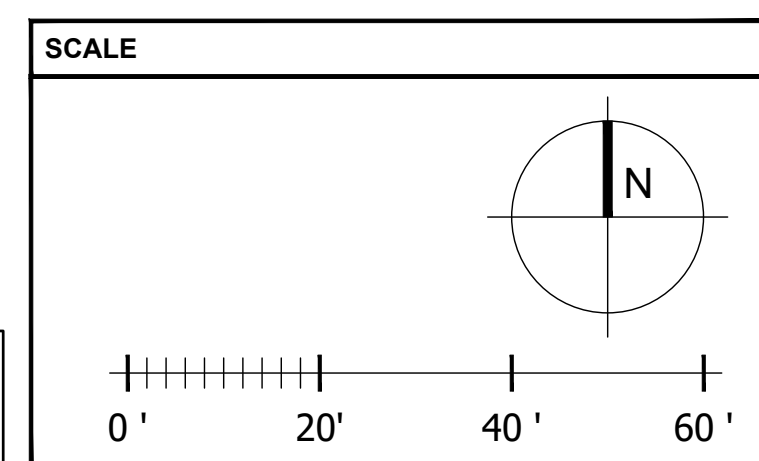
- PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II AS PREPARED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL UTILITIES THAT ARE KNOWN TO THE LANDSCAPE ARCHITECT ARE LOCATED ON THE PLAN FOR EXISTING OR PROPOSED UTILITIES.
 - NO TREE SHALL BE PLANTED WHERE IT COULD INTERFERE WITH OVER-HEAD POWER LINES AT MATURE HEIGHT.
 - NO TREE, SHRUB, HEDGE OR VINE SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER.
 - LARGE TREES HEIGHT AT MATURITY OF MORE THAN 30 FEET SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF 30 FEET FROM THE NEAREST OVER-HEAD POWERLINE.
 - MEDIUM HEIGHT TREE HEIGHT AT MATURITY BETWEEN 20 AND 30 FEET SHALL BE OFFSET AT LEAST TWENTY (20) FEET FROM POWER LINES.
 - SMALL TREES HEIGHT AT MATURITY OF LESS THAN 20 FEET REQUIRE NO OFFSET.
 - PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS 2 FEET FROM POWER LINES.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24 INCHES PRIOR TO LANDSCAPE INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL. BEFORE INSTALLATION BEGINS, EXISTING DRAINAGE PATTERN SHALL NOT BE ALTERED OR EFFECTED BY NEW LANDSCAPING.
- PLANT ALL TREES AND PALMS 12 INCH - 4 INCH ABOVE FINISHED GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP ONE-THIRD (1/3) OF THE WIRE BASKETS ON ALL B & B MATERIAL.
- ALL HEDGES AND GROUNDCOVERS TO BE PLANTED LEAVING SPACE BETWEEN PLANTS AND BUILDINGS, WALLS AND FENCES.
- ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3-INCH DEEP LAYER OF COMMERCIAL FINE BARK MULCH. CONTRACTOR SHALL INSTALL WOVEN WIRE BARRIER FABRIC IN ALL SHRUB/GROUNDCOVER BEDS.
- HAND DIGGING HOLES FOR INSTALLING PROPOSED TREES IN CLOSE PROXIMITY TO UTILITIES IS REQUIRED TO AVOID CONFLICTS.
- ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- EXISTING AND PROPOSED LANDSCAPING IS TO BE MAINTAINED PER JURISDICTION'S CLEAR SIGHT TRIANGLE REGULATIONS.
- NEW SOO SHALL BE ST. AUGUSTINE FLORITAM. THE QUANTITY SHOWN ON THE PLANT LIST IS AN ESTIMATE AND CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOO AREAS TO BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHRUBS WHETHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING. FOR COMPLIANCE WITH THE REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BARKS AND ROOT SYSTEMS, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REQUEST UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE LARGE TREE OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- ALL MINIMUMS FOR EACH PLANT SPECIFIED WITHIN THE PLANT LIST ARE REQUIRED TO BE MET.
 - THE TREE HEIGHT AND SPREAD WILL PREVAIL OVER CALIPER AND CONTAINER SIZE.
 - PERIMETER HEDGES ARE REQUIRED TO BE INSTALLED AT 30-IN. HEIGHT, AND CALCULATED AT A 36-IN. ON-CENTER (O.C.) EQUIVALENT.
 IF ANY OF THE MINIMUMS ARE NOT MET, THE INSTALLED MATERIAL MAY OR MAY NOT BE REJECTED ON A CASE BY CASE BASIS BY THE LANDSCAPE ARCHITECT, OWNER, OR JURISDICTION. FOR EXAMPLE, ALL TREE CALIPER AND CONTAINER SIZES NOTED ON THE PLANT LIST ARE A MINIMUM. CONTRACTOR TO INCREASE THE SIZE IF NECESSARY TO CONFORM TO THE PLANT SIZES AND SPECIFICATIONS.
- NO SUBSTITUTIONS WILL BE ACCEPTABLE. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT AND JURISDICTION TOGETHER WITH THE PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- IN EVENT OF DISCREPANCY, THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
- TREES TO BE STAKED ONLY IF REQUIRED AS DEEMED NECESSARY BY OWNER AND LANDSCAPE ARCHITECT TO ASSURE HEALTH, SAFETY AND WELFARE. INCLUDES BUT NOT LIMITED TO ALL CURVED CABPAGE, TALL ROYALS, CURVED AND LEANING SPECIES. ALL WOOD STAKES TO BE PAINTED FOREST GREEN. STAKING PROCEDURES SHALL BE STANDARD CONTRACTOR PRACTICE CREATING NO TRUNK DAMAGE OR FUTURE STRANGULATION OF TREE.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SOBS AG" OR AN APPROVED EQUIV. IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WHICH MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION (AUTOMATIC) COVERAGE (WITH SOO OVERLAP MINIMUM WITHIN TEN DAYS OF INITIAL INSTALLATION).
- CONTRACTOR TO INSTALL THE IRRIGATION SYSTEM PER THE JURISDICTION'S REGULATIONS TO CONFORM TO THE LANDSCAPE DESIGN.

Plant List

SYM	BOTANICAL NAME/ COMMON NAME	HEIGHT/ SPREAD	SPECIFICATION	NATIVE	DROUGHT TOLERANT	TOTAL
AR	ACER RUBRUM MAPLE	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL. 8" CT. MIN.	Y	H	4
CE	COCCOARPUS ERECTUS GREEN BUTTWOOD	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL. 8" CT. MIN.	Y	H	6
L I	LAGERSTROEMIA INDICA CRAPE MYRTLE	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL. MIN. 8" CT. MIN. SINGLE TRUNK	N	H	1
SP	SABAL PALMETTO SABAL PALM	MIN 16' HT 10' - 14' CT.	STAGGERED CLUSTER SLICK TRUNK	Y	H	7
TH	TABEBUIA HETEROPHYLLA PINK TABEBUIA	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL. 8" CT. MIN.	N	H	2
CR	CHRYSOBALANUS ICACO COCOPLUM	24' X 18'	24" O.C. FULL TO BASE	Y	H	73
IXO	IXORA MALI SEY MALI RED IXORA	24' X 18'	24" O.C. FULL TO BASE	N	H	49
POD	PODOCARPUS MACROPHYLLUS PODOCARPUS	5' HT. 2' SPR.	30" O.C. FULL TO BASE	N	H	45
SCH	SCHIFFERIA ABOVICOLA VARIEGATED ARBICOLA	24' X 18'	24" O.C.	N	H	28
VIB	VIBURNUM OBOVATUM WALTERS VIBURNUM	24' X 18'	30" O.C. FULL TO BASE	Y	H	32
ILE	ILEX VOMITORIA 'SHILLINGS' YALPON HOLLY	18' X 18'	24" O.C. FULL TO BASE	Y	H	74
LIR	LIRIOPE MUSCARI LIRIOPE	18' X 18'	1 GAL. 18" O.C. FULL TO BASE	N	M	204
MJL	MULLENBERGIA CAPILLARIS PINK MUL-LY GRASS	18' X 18'	24" O.C. FULL TO BASE	Y	H	39
RHA	RHAPLOEPIS INDICA INDIAN HAWTHORN	18' X 18'	24" O.C. FULL TO BASE	N	H	68
TRA	TRACLOSOPHYLLUM ASIATICUM DWARF ASIAN JASMINE	4' X 14'	1 GAL. 18" O.C.	N	H	158
ZAM	ZAMIA PUMILA COONTIE	18' X 18'	3 GAL. AS SHOWN	Y	H	6
SOD	STENOTAPHRUM SECUNDATUM ST. AUGUSTINE FLORITAM GRASS		DISEASE FREE LAID TIGHTLY, EVEN UNIFORM	N	M	T.B.D.

Notes as per City of Delray Beach:

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
 - MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
 - ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
 - ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED.
 - SOO AND IRRIGATION SHALL BE PROVIDED WITHIN UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
 - REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH DRAINAGE.
- Statement of Intent "as to the method and coverage of irrigation" per LRD 4.6.16(C)(1)(b)4: Per LRD 4.6.16(F) Irrigation Requirements: "All landscaped areas shall be provided with a fully automated sprinkler system that will provide complete coverage of all plant materials and grass to be maintained. All systems shall be designed to allow for head-to-head coverage (one hundred (100) percent coverage with one hundred (100) percent overlap)".**
- NOTE:**
Any trees or shrubs placed within water, sewer or drainage easements shall conform to the City of Delray Beach Standard Details, LD1.1 & LD1.2.
See Sheet LP02.1 for Standard Details.



FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW



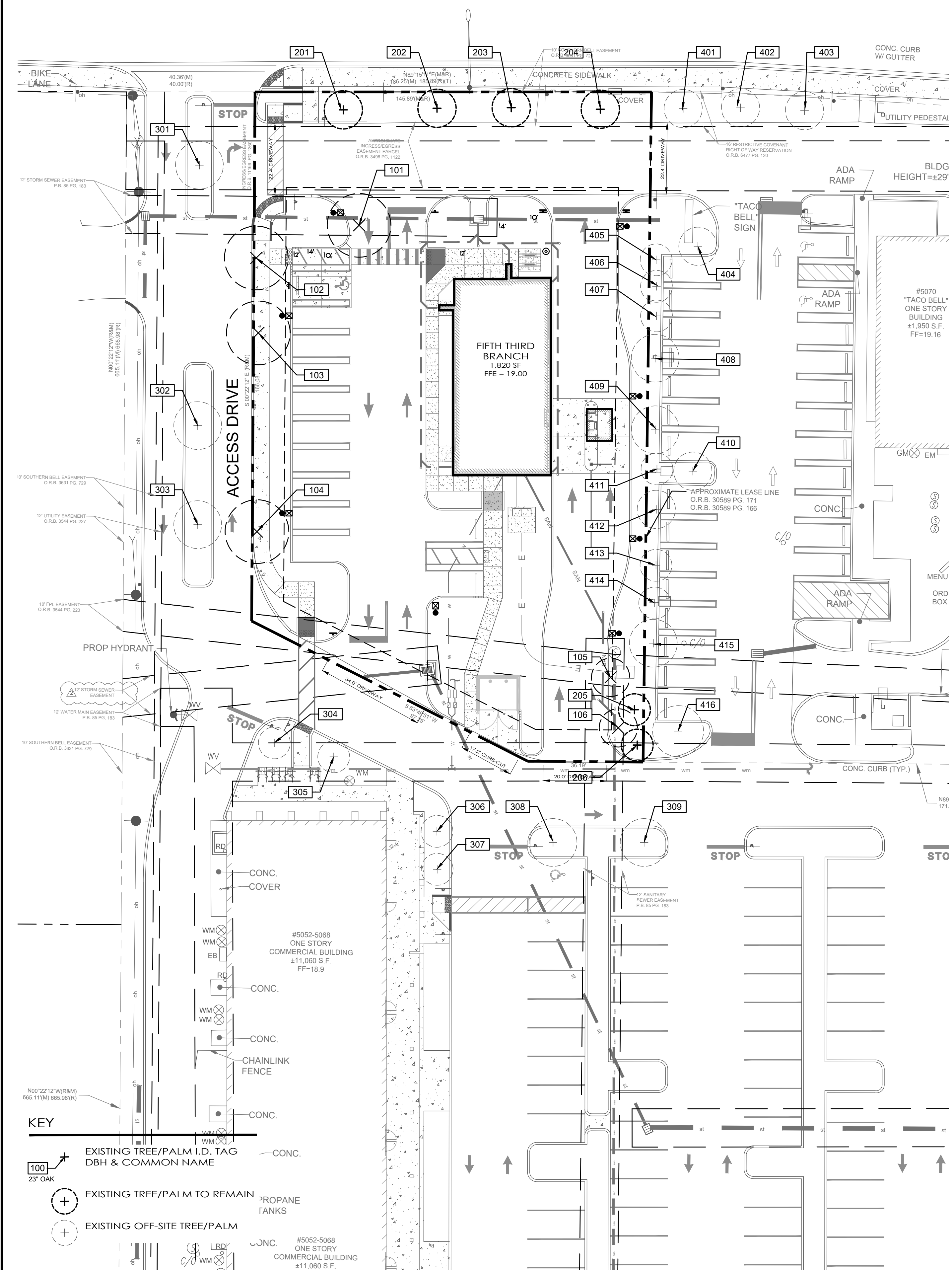
SITE COMMENTS V2 03.10.23
 SITE COMMENTS V1 01.27.23
 PRE-PLAN REVIEW 04.25.23
LANDSCAPE PLAN

LP.01

48 HOURS BEFORE DIGGING CALL TOLL FREE 811 SUNSHINE-FL.COM NOTIFICATION CENTER

ATLANTIC AVENUE - STATE ROAD 806

(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
ROAD PLAT BOOK 3 PAGE 24



EXISTING TREES: (TO BE REMOVED)

NO.	TREE SPECIES	DBH (INCH)	ACTION
101	LIVE OAK	12"	TO BE REMOVED
102	LIVE OAK	12"	TO BE REMOVED
103	LIVE OAK	12"	TO BE REMOVED
104	LIVE OAK	16"	TO BE REMOVED
105	SABAL PALM	14"	TO BE REMOVED
106	SABAL PALM	10"	TO BE REMOVED

* EXISTING TREE INFORMATION TAKEN FROM THE TREE SURVEY PREPARED BY ELLIS SURVEYS, L.L.C. (DATED 01-05-2022), GOOGLE EARTH STREETVIEW AND THE PROPOSED LANDSCAPE PLAN PREPARED BY SCOTT BARBER DESIGNS, P.A., FOR PEBB ENTERPRISES, SHOPPING CENTER PROJECT. (SHEET L-1.0, DATED 11-11-2021)

EXISTING TREES: (TO REMAIN) **

NO.	TREE SPECIES	DBH (INCH)	ACTION
201	GRAPE MYRTLE	8"	TO BE PROTECTED
202	GRAPE MYRTLE	8"	TO BE PROTECTED
203	GRAPE MYRTLE	10"	TO BE PROTECTED
204	GRAPE MYRTLE	8"	TO BE PROTECTED
205	SABAL PALM	12"	TO BE PROTECTED
206	SABAL PALM	10"	TO BE PROTECTED

** EXISTING TREE INFORMATION TAKEN FROM THE TREE SURVEY PREPARED BY ELLIS SURVEYS, L.L.C. (DATED 01-05-2022)

PROPOSED TREES: (OFF SITE - SHOPPING CENTER)

NO.	TREE SPECIES	SPEC.	ACTION
301	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
302	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
303	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
304	GRAPE MYRTLE	3" CAL/12-FT. HT.	NONE
305	FL. THATCH PALM	8-FT. HT.	NONE
306	FL. THATCH PALM	8-FT. HT.	NONE
307	FL. THATCH PALM	8-FT. HT.	NONE
308	LIVE OAK	4" CAL/16-FT. HT.	NONE
309	LIVE OAK	4" CAL/16-FT. HT.	NONE

*** PROPOSED OFF-SITE TREE INFORMATION TAKEN FROM LANDSCAPE PLAN PREPARED BY SCOTT BARBER DESIGNS, P.A., FOR PEBB ENTERPRISES, SHOPPING CENTER PROJECT. (SHEET L-1.01, DATED 11-11-2021)

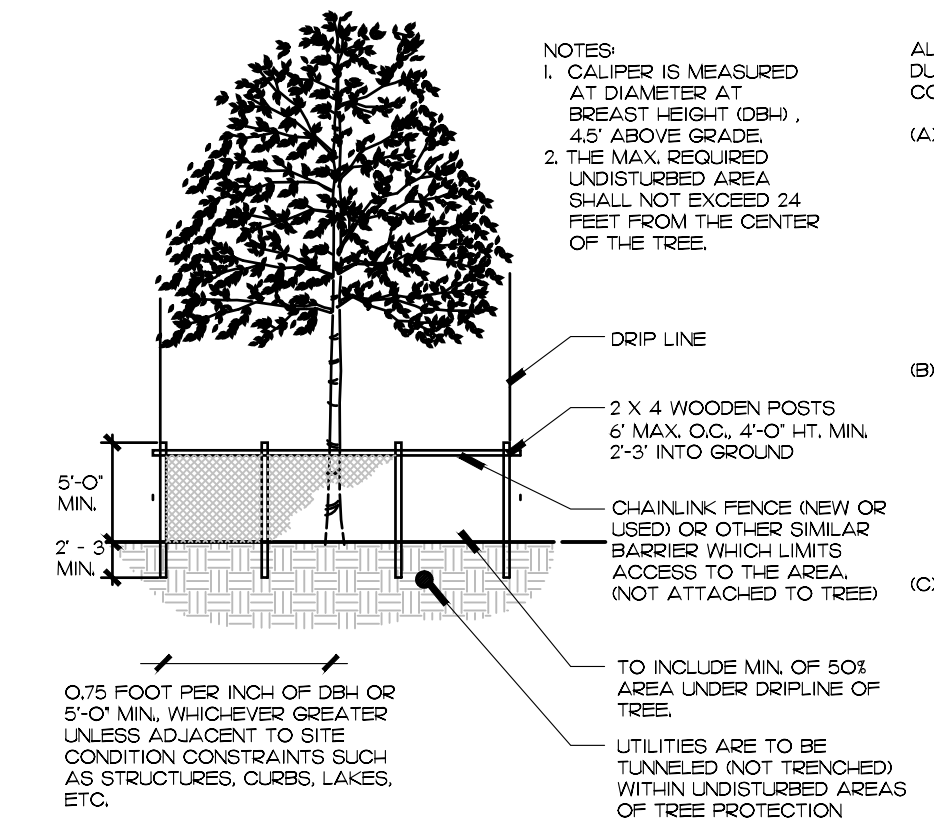
EXISTING TREES: (OFF SITE - TACO BELL) ****

NO.	TREE SPECIES	SPEC.	ACTION
401	ROYAL PALM	8" DBH	PROTECT IF NEEDED
402	GRAPE MYRTLE	8" DBH	PROTECT IF NEEDED
403	GRAPE MYRTLE	8" DBH	PROTECT IF NEEDED
404	PIGEON PLUM	16-18 FT. HT.	TO BE PROTECTED
405	SABAL PALM	20-30 FT. HT.	TO BE PROTECTED
406	SABAL PALM	20-30 FT. HT.	TO BE PROTECTED
407	SABAL PALM	20-30 FT. HT.	TO BE PROTECTED
408	GRAPE MYRTLE	16-18 FT. HT.	TO BE PROTECTED
409	GRAPE MYRTLE	16-18 FT. HT.	TO BE PROTECTED
410	PIGEON PLUM	16-18 FT. HT.	TO BE PROTECTED
411	PIGEON PLUM	16-18 FT. HT.	TO BE PROTECTED
412	PIGEON PLUM	16-18 FT. HT.	TO BE PROTECTED
413	S. BUTTWOOD	12-14 FT. HT.	TO BE PROTECTED
414	S. BUTTWOOD	12-14 FT. HT.	TO BE PROTECTED
415	PINK TABEBUIA	16-18 FT. HT.	TO BE PROTECTED
416	PIGEON PLUM	16-18 FT. HT.	TO BE PROTECTED

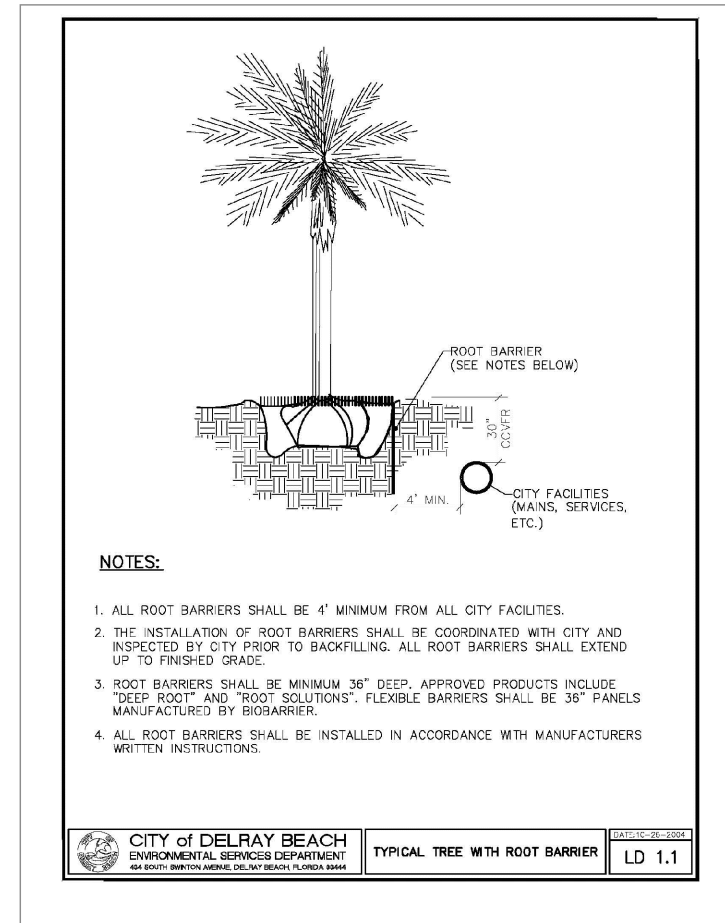
**** EXISTING TREE INFORMATION TAKEN FROM LANDSCAPE PLAN PREPARED BY RICHARD BARTLET LANDSCAPE INC., FOR TACO BELL PROJECT. (SHEET L-1, DATED 12-05-2018) AS WELL AS, THE TREE SURVEY PREPARED BY ELLIS SURVEYS, L.L.C. (DATED 01-05-2022)

Notes:

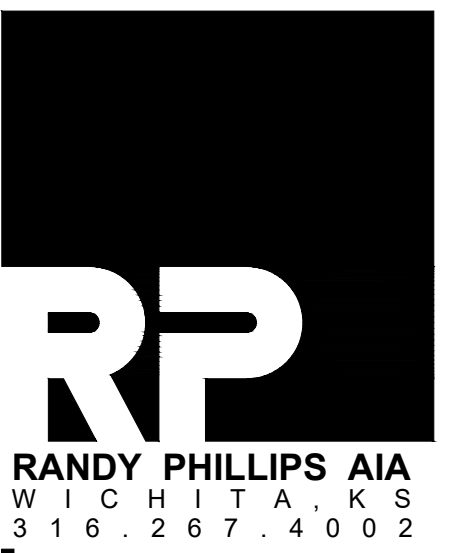
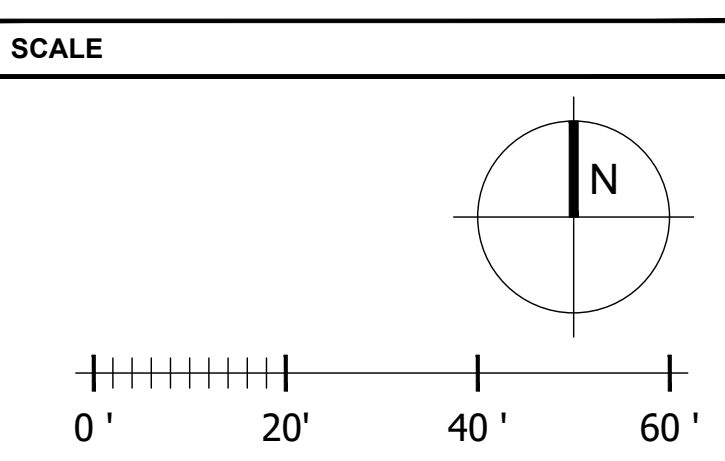
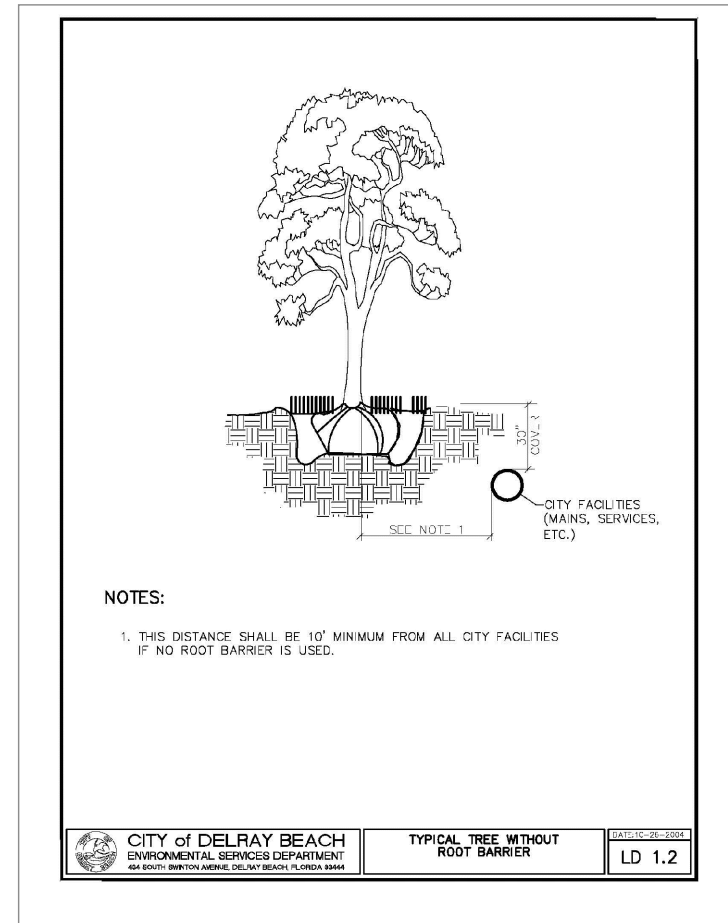
- A TREE REMOVAL PERMIT WILL BE REQUIRED PRIOR COMMENCEMENT OF DEVELOPMENT ACTIVITY.
- THE CONDITION OF THE TREES LISTED ARE BASED ON A VARIETY OF MATERIALS, AS WELL AS FIELD OBSERVATIONS, AND ARE TO BE USED AS REFERENCE ONLY AND IS NOT TO BE USED FOR TREE PERMITTING. A CERTIFIED ARBORIST, NOT THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR ANY TREE EVALUATION REQUIRED BY THE CITY.
- A CERTIFIED ARBORIST IS TO PROVIDE THE FINAL TREE DISPOSITION PLAN AT TIME OF TREE PERMITTING. THE VALUATION OF TREES SHALL BE APPRAISED USING THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS GUIDE FOR PLANT APPRAISAL, LATEST EDITION.
- TREE BARRICADES FOR TREES TO BE PRESERVED DURING CONSTRUCTION SHALL BE LOCATED AT THE DRIP LINE, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL REVIEW STAFF, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE AREA WITHIN THE DRIP LINE SHALL REMAIN UNDISTURBED.
- THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN TECH DRIP LINE OF PRESERVED TREES:
 - A. IMPROVEMENTS, FILL, MACHINERY AND VEHICLE TRAVEL OR PARKING
 - B. UNDERGROUND UTILITIES
 - C. GRADE CHANGES, COMPACTION OF SOIL, OR EXCAVATION
 - D. STORAGE OR CONSTRUCTION MATERIALS.
- THE TREE PROTECTION BARRICADES SHALL CONSIST OF CHAIN LINK FENCE (NEW OR USED) OR ORANGE SAFETY FENCE WITH A MINIMUM 5-FOOT HEIGHT, UNLESS OTHERWISE APPROVED BY THE BUILDING AND DEVELOPMENT SERVICES.
- A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NATIVE VEGETATION REMOVAL WITHIN THE DRIP LINE OF A TREE, AND/OR TREE REMOVAL. (CH. 54, ART. XVII, SECTION 54-56.4)
- NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMENT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED.
- THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE, ONLY HAND CLEARING OR MOVING IS PERMITTED WITHIN THE PROTECTED ROOT ZONE OF A CANOPY TREE TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR.



TYPICAL TREE PROTECTION DETAIL
NOT TO SCALE



TYPICAL CITY DETAILS
NOT TO SCALE



PATRICK D. CUNNINGHAM, LLC
 • land planning
 • landscape architecture
 519 Sapphire Drive
 Sarasota, FL 34234
 O: 941.351.8915
 pcunningham.llc@gmail.com

FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

PATRICK D. CUNNINGHAM
 FL REG. NO. LA0001669

 03.10.2023
 DATE

SITE COMMENTS V2 03.10.23
 PRE-PLAN REVIEW 04.25.22
 TREE REPLACEMENT PLAN

LP.02

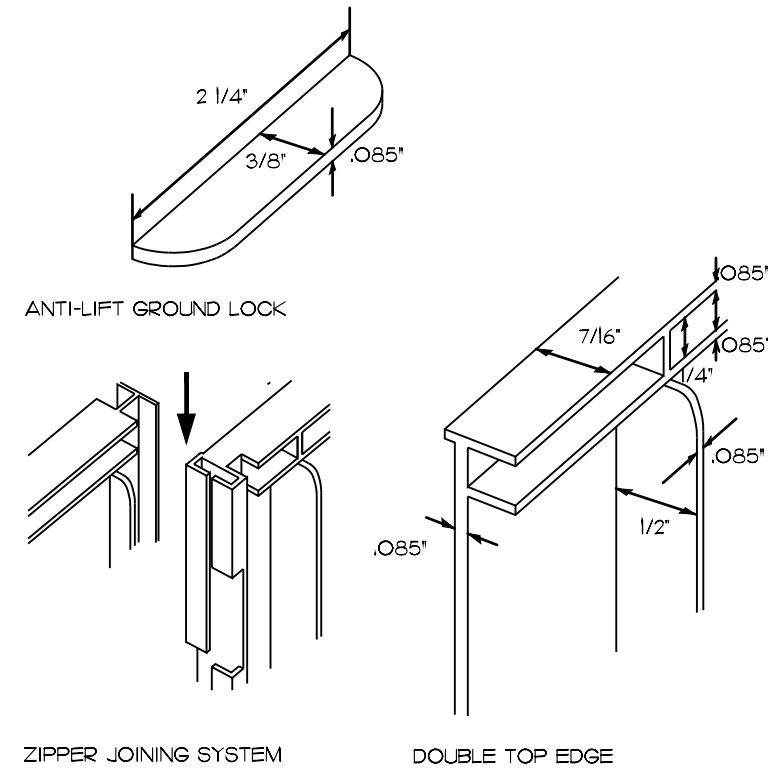
48 HOURS BEFORE DIGGING
 CALL TOLL FREE
 811
 SUNSHINE.COM
 NOTIFICATION CENTER

NOTES:

SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES, ASSEMBLED IN 2' LONG MODULES TO CREATE VARYING SIZES OF CYLINDERS FOR SURROUNDING ROOT BALLS (GROUND PLANTING STYLE) OR FOR LINEAR APPLICATIONS DIRECTLY BESIDE A HARDSCAPE ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE).

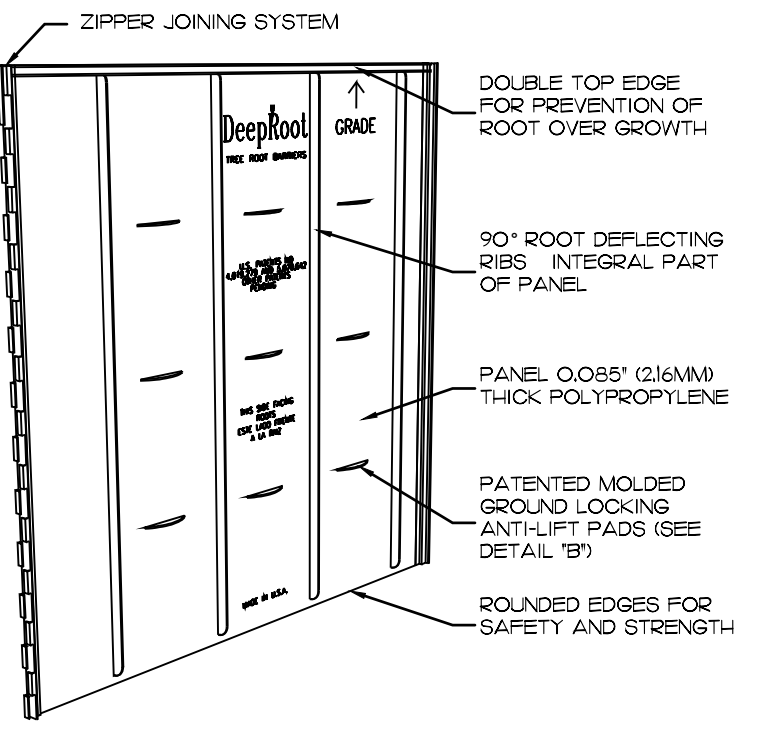
A. MATERIALS

1. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # LB 24-2, # LB 36-2 AND # LB 48-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, L.P., 345 LORTON AVE. #103, BURLINGAME, CA (800-458-7658), OR APPROVED EQUAL. THE BARRIER SHALL BE BLACK, INJECTION MOLDED PANELS, OF 0.085" WALL THICKNESS IN MODULES 24" LONG BY 24" & 48" DEEP, MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS, RECYCLABLE. EACH PANEL SHALL HAVE:

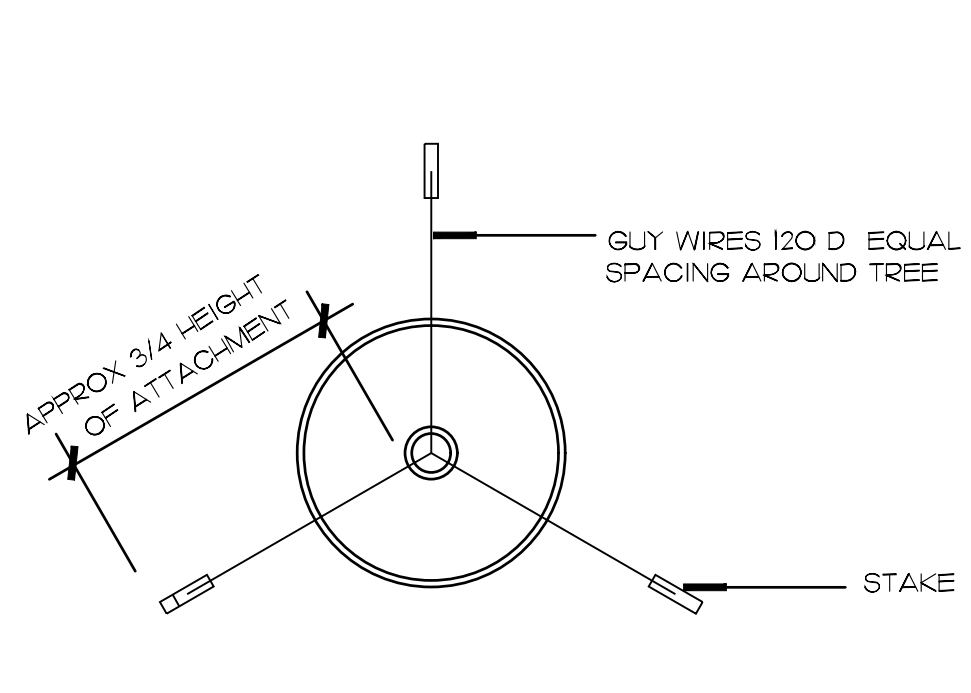


B. CONSTRUCTION AND INSTALLATION

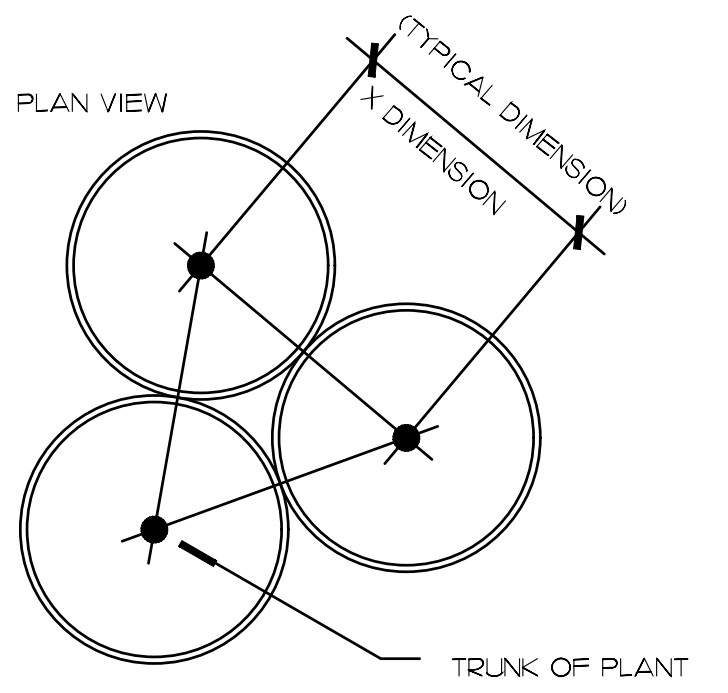
- THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE NUMBER OF PANELS AND IN THE MANNER SHOWN ON THE DRAWINGS. THE VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE. EACH OF THE REQUIRED NUMBER OF PANELS SHALL BE CONNECTED TO FORM A CIRCLE AROUND THE ROOT BALL OR WHERE SPECIFIED JOINED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HARDSCAPE. ALL STREET TREES WITH TRUNKS CLOSER THAN 4 FT. TO PAVED SURFACES SHALL BE PLANTED WITH ROOT BARRIER BETWEEN THE ROOT BALL AND PAVING. PLANTINGS WITHIN TREE WELLS REQUIRE ROOT BARRIERS ALONG ALL SIDES OF THE TREE WELL.
- EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.
- THE TREE ROOT BARRIERS SHALL BE BACK-FILLED ON THE OUTSIDE WITH 3/4" TO 1 1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS. NO GRAVEL BACK-FILL IS REQUIRED FOR A LINEAR PLANTING.



TYPICAL ROOT BARRIER INSTALLATION
NOT TO SCALE



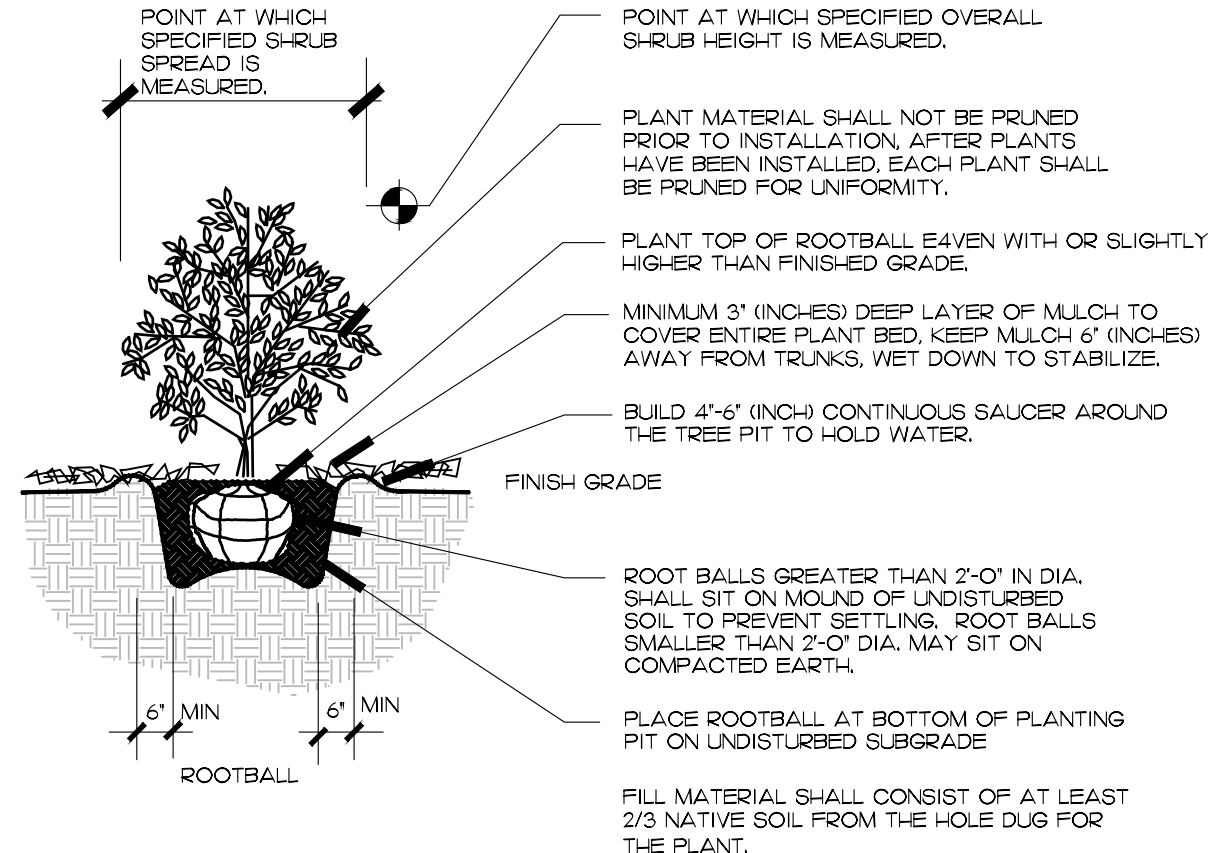
(UNDER 16'-0" HT.)
TYPICAL TREE GUYING DETAIL
NOT TO SCALE



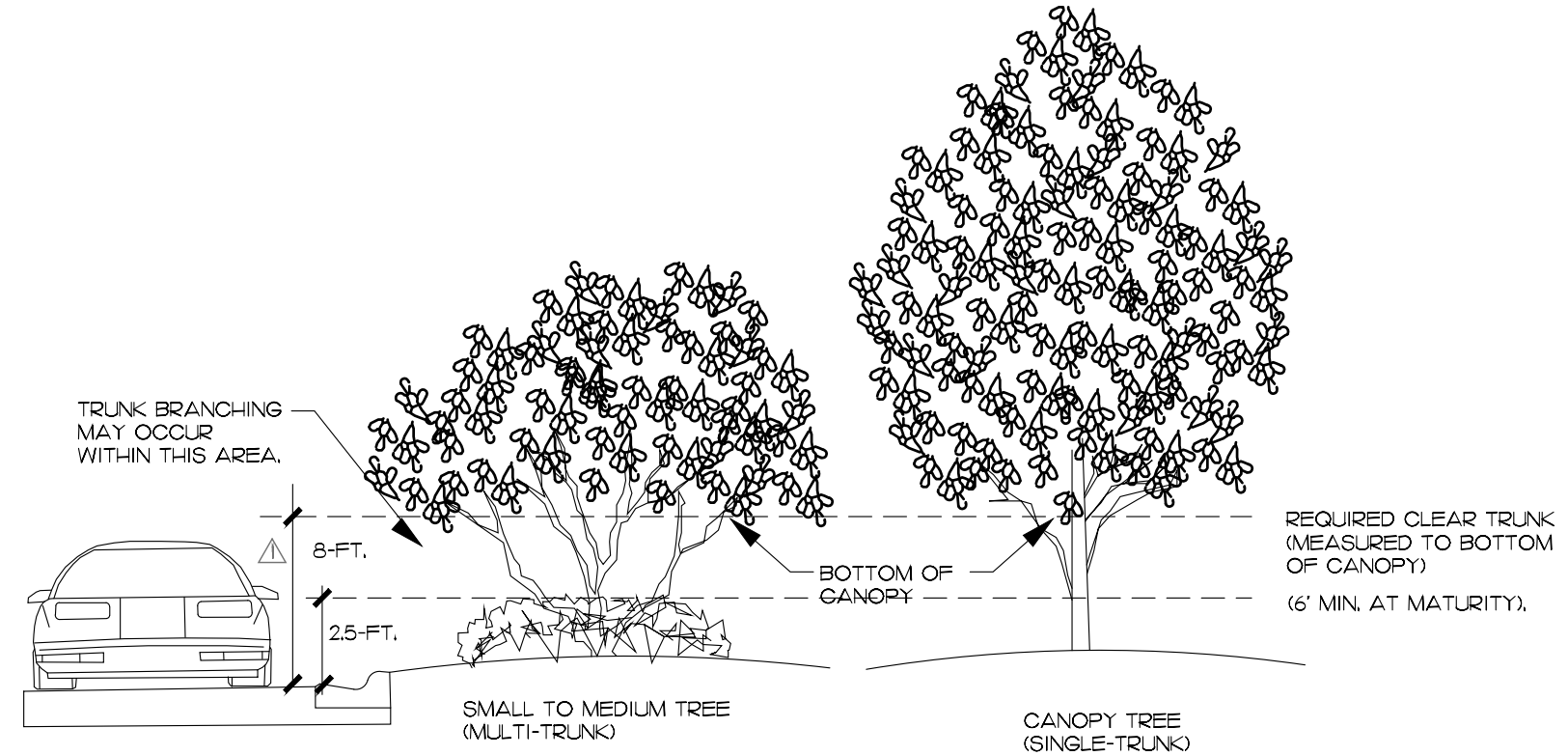
TYPICAL PLANT SPACING DETAIL
NOT TO SCALE

- 655.962 LIGHTING, MIRRORS, LANDSCAPING.
- EACH OPERATOR OR OTHER PERSON RESPONSIBLE FOR AN AUTOMATED TELLER MACHINE PURSUANT TO SS. 655.960-655.965, SHALL PROVIDE LIGHTING DURING THE HOURS OF DARKNESS WITH RESPECT TO AN OPEN AND OPERATING AUTOMATED TELLER MACHINE AND ANY DEFINED PARKING AREA, ACCESS AREA, AND THE EXTERIOR OF AN ENCLOSED AUTOMATED TELLER MACHINE INSTALLATION, AS FOLLOWS:
 - THERE SHALL BE A MINIMUM OF 10 CANDLEFOOT POWER AT THE FACE OF THE AUTOMATED TELLER MACHINE AND EXTENDING IN AN UNOBSTRUCTED DIRECTION OUTWARD 5 FEET.
 - THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER WITHIN 50 FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM THE FACE OF THE AUTOMATED TELLER MACHINE. IF THE AUTOMATED TELLER MACHINE IS LOCATED WITHIN 10 FEET OF THE CORNER OF THE BUILDING AND THE AUTOMATED TELLER MACHINE IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE, THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER ALONG THE FIRST 40 UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING.
 - THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER IN THAT PORTION OF THE DEFINED PARKING AREA WITHIN 60 FEET OF THE AUTOMATED TELLER MACHINE.
 - THE OPERATOR SHALL PROVIDE REFLECTIVE MIRRORS OR SURFACES AT EACH AUTOMATED TELLER MACHINE WHICH PROVIDE THE CUSTOMER WITH A REAR VIEW WHILE THE CUSTOMER IS ENGAGED IN USING THE AUTOMATED TELLER MACHINE.
 - THE OPERATOR OR OTHER PERSON RESPONSIBLE PURSUANT TO SS. 655.960-655.965 FOR AN AUTOMATED TELLER MACHINE, SHALL ENSURE THAT THE HEIGHT OF ANY LANDSCAPING, VEGETATION OR OTHER PHYSICAL OBSTRUCTIONS IN THE AREA REQUIRED TO BE LIGHTED PURSUANT TO SUBSECTION (1) FOR ANY OPEN AND OPERATING AUTOMATED TELLER MACHINE SHALL NOT EXCEED 3 FEET EXCEPT THAT TREES TRIMMED TO A HEIGHT OF 10 FEET AND WHOSE DIAMETERS ARE LESS THAN 2 FEET AND MANMADE PHYSICAL OBSTRUCTIONS REQUIRED BY STATUTE, LAW, CODE, ORDINANCE, OR OTHER GOVERNMENTAL REGULATION SHALL NOT BE AFFECTED BY THIS SUBSECTION.
- 655.965 PRESUMPTION, PROHIBITION. EXCEPT AS EXPRESSLY PROVIDED, THE PROVISIONS OF THIS SECTION AND SS. 655.960-655.964 SUPERSEDE AND PREEMPT ALL RULES, REGULATIONS, CODES, OR ORDINANCES OF ANY CITY, COUNTY, MUNICIPALITY, OR OTHER POLITICAL SUBDIVISION OF THIS STATE AND OF ANY LOCAL AGENCY REGARDING CUSTOMER SAFETY AT AUTOMATED TELLER MACHINES LOCATED IN THIS STATE.

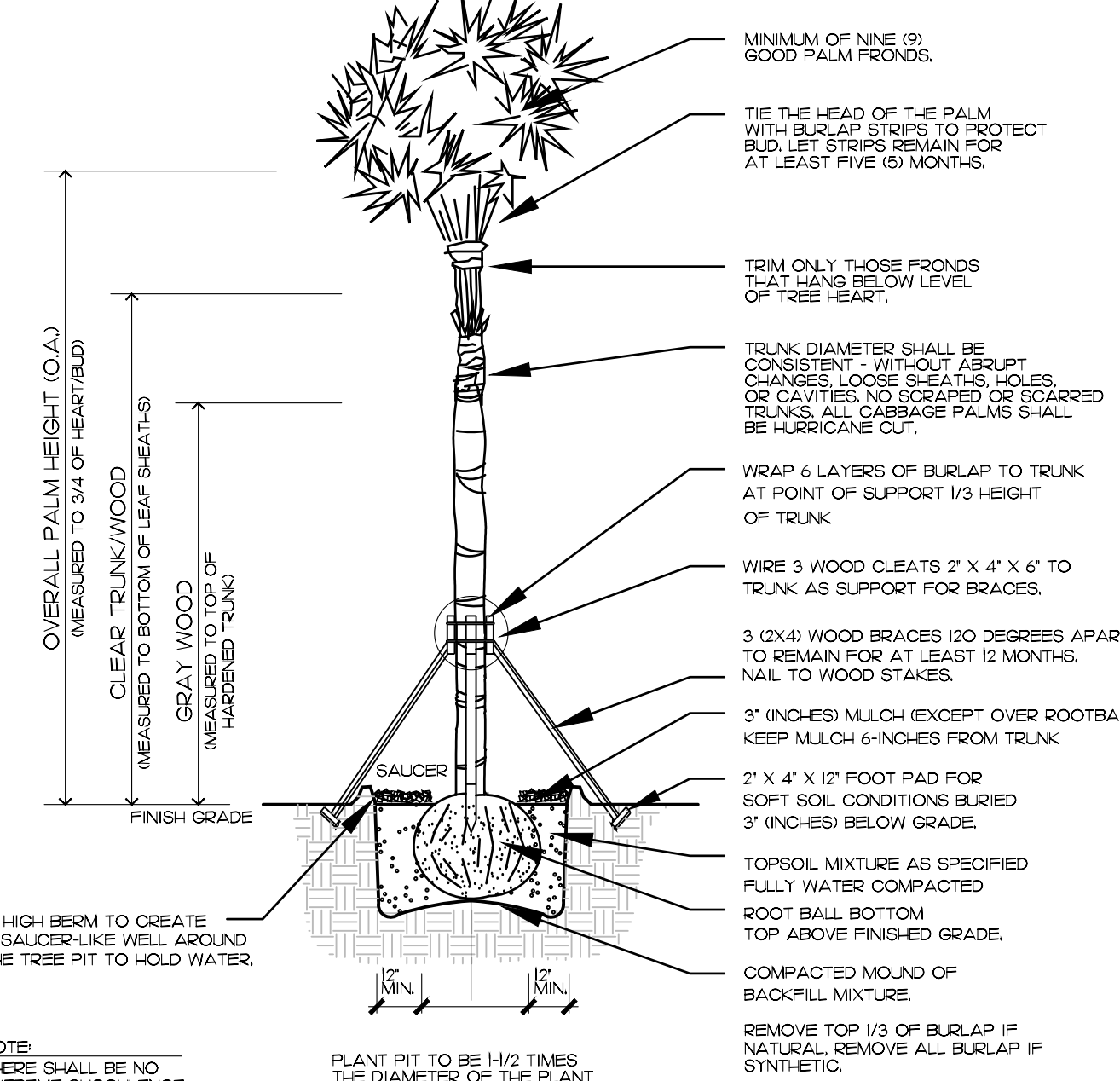
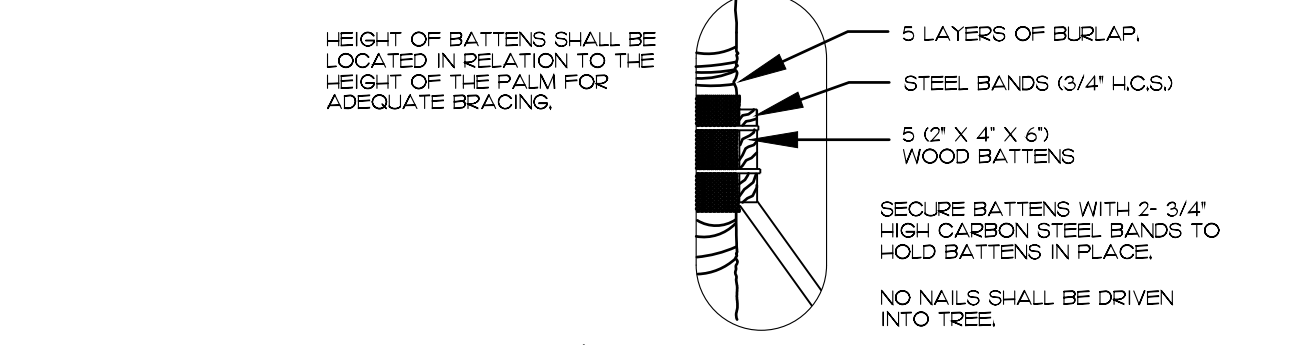
FLORIDA STATE STATUTES
NOT TO SCALE



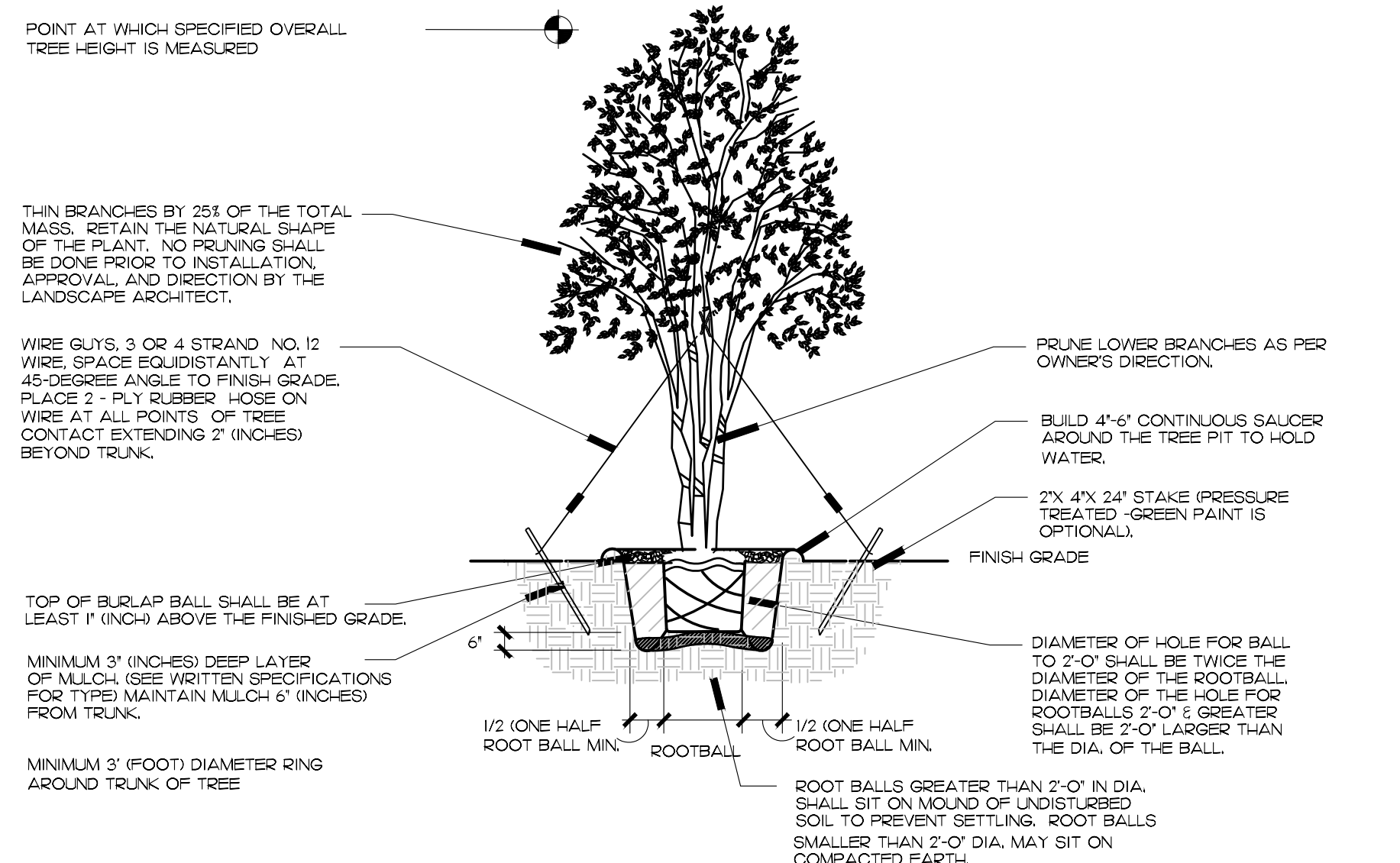
TYPICAL SHRUB/ GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



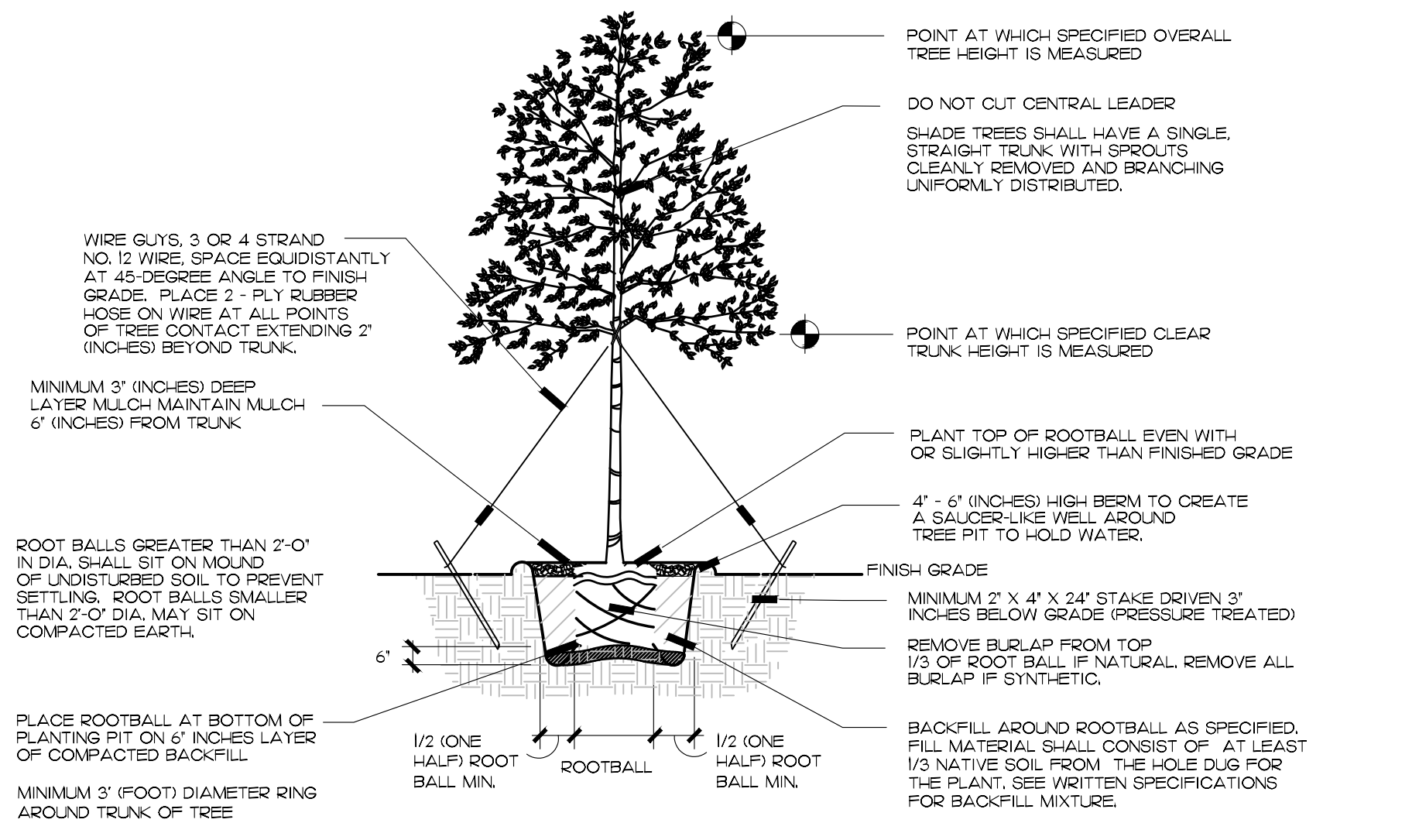
CLEAR TRUNK WITHIN SIGHT TRIANGLE DETAIL
NOT TO SCALE



TYPICAL PALM PLANTING DETAIL
NOT TO SCALE



TYPICAL IRREGULAR/MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING DETAIL
NOT TO SCALE

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Certificate No. 07889
IEG JOB NO. 15-223.00

PRE-PLAN REVIEW

PATRICK D. CUNNINGHAM
FL REG. NO. LA0001669

REGISTERED LANDSCAPE ARCHITECT
PATRICK D. CUNNINGHAM ARCHITECT
LA-0011669
STATE OF FLORIDA
03.10.2023
DATE

SITE COMMENTS V1 01.27.23
PRE-PLAN REVIEW 04.25.22
LANDSCAPE DETAILS

LP.03

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DELRAY COMMONS
5070 WEST ATLANTIC AVE DELRAY BEACH, FL

ATLANTIC AVENUE - STATE ROAD 806
(DELRAY WEST ROAD)
VARIABLE WIDTH RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
ROAD PLAT BOOK 3 PAGE 24

Irrigation Legend

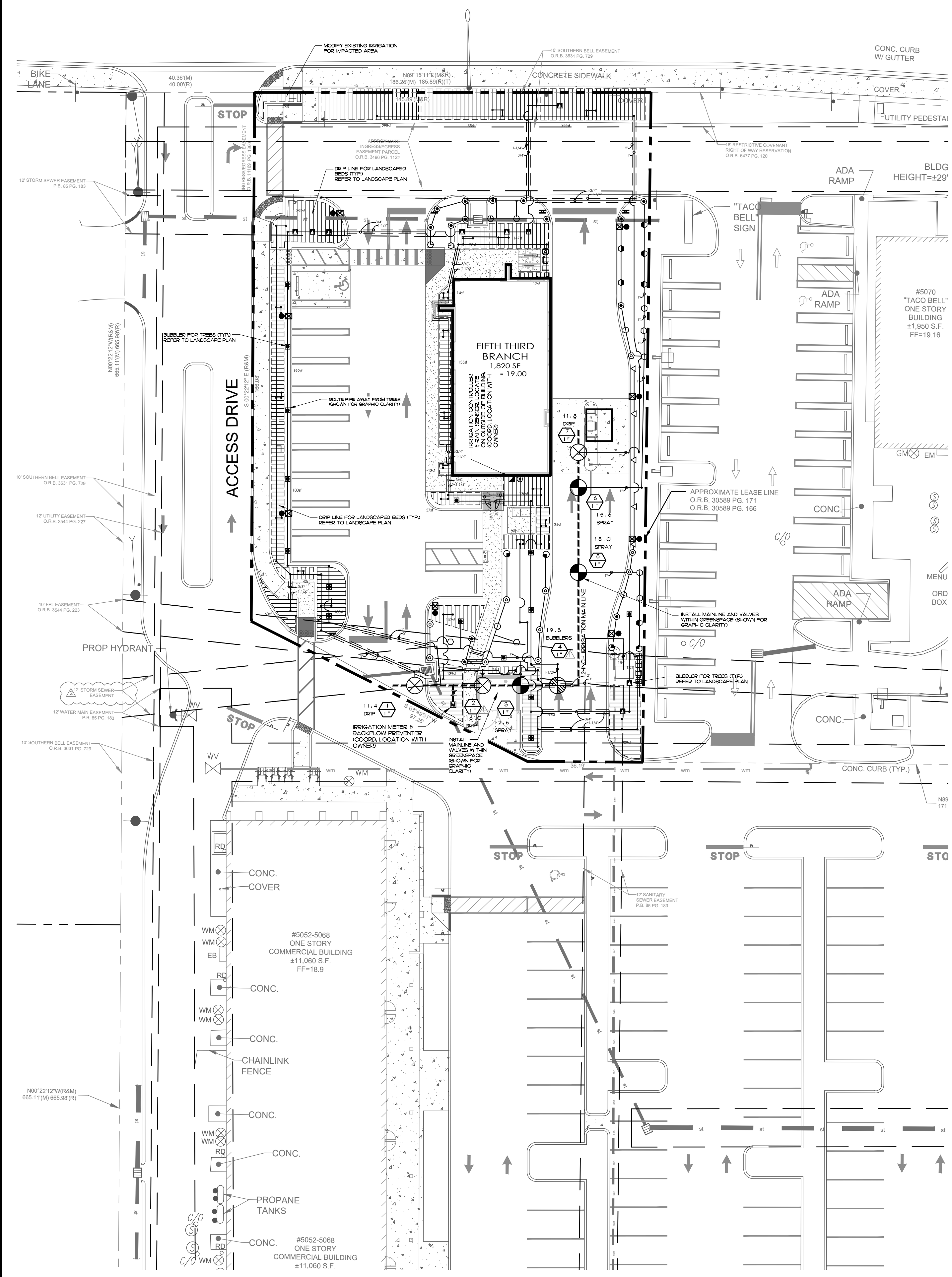
PLEASE NOTE: ALL IRRIGATION SPRAY LEADS TO BE 30 PSI REGULATED 6" POP-UP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.

- HUNTER PROS-06-PRS30 5' STRIP SPRAY
 - ▲ LCS • 0.65 GPM
 - ▲ RCS • 0.45 GPM
 - ▲ SST • 1.30 GPM
- HUNTER PROS-06-PRS30 4' RADIUS
 - ⊙ H • 0.45 GPM
- HUNTER PROS-06-PRS30 6' RADIUS
 - ⊙ Q • 0.51 GPM
 - ⊙ H • 0.98 GPM
- HUNTER PROS-06-PRS30 8' RADIUS
 - ⊙ Q • 0.34 GPM
 - ⊙ H • 0.47 GPM
 - ⊙ F • 0.97 GPM
- HUNTER PROS-06-PRS30 10' RADIUS
 - ⊙ Q • 0.42 GPM
 - ⊙ H • 0.28 GPM
 - ⊙ F • 1.59 GPM
- HUNTER PROS-06-PRS30 12' RADIUS
 - ⊙ Q • 0.67 GPM
 - ⊙ H • 1.30 GPM
 - ⊙ F • 2.70 GPM
- HUNTER PROS-06-PRS30 15' RADIUS
 - ⊙ Q • 0.97 GPM
 - ⊙ H • 1.69 GPM
 - ⊙ F • 3.75 GPM
- HUNTER PROS-06-PRS30 17' RADIUS
 - ⊙ Q • 1.15 GPM
 - ⊙ H • 2.37 GPM
- HUNTER PROS-06-PRS30 ADJ
 - ⊙ 8 • 1.76 GPM
 - ⊙ 10 • 2.00 GPM
 - ⊙ 12 • 2.52 GPM
 - ⊙ 15 • 3.72 GPM
 - ⊙ 17 • 4.60 GPM
- HUNTER PCB FLOOD BUBBLER, 1/2" FT.
 - ⊙ 50 • 0.50 GPM
 - ⊙ 10 • 1.00 GPM
- HUNTER MP3000 ROTATOR 27' RADIUS
 - ⊙ 27 • 0.76 GPM
 - ⊙ 27 • 1.58 GPM
 - ⊙ 27 • 3.15 GPM
- HUNTER MP3500 ROTATOR 34' RADIUS
 - ⊙ 34 • 1.13 GPM
 - ⊙ 34 • 2.24 GPM

- AREA TO RECEIVE DRIPLINE
 - HUNTER PLD-10-12 (18) IN-LINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH BUILT-IN CHECK VALVE, 10 GPH EMITTERS AT 120" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, UV RESISTANT.
 - HUNTER PCZ-101-25 DRIPLINE CONTROL VALVE KIT, 1" PGV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM, PRESSURE REGULATION 25PSI, FLOW RANGE 0.5 GPM TO 15 GPM, 150 MESH STAINLESS STEEL SCREEN.
 - HUNTER PGV-101G 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE, FOR RESIDENTIAL/LIGHT COMMERCIAL USE, FEMALE NPT INLET/OUTLET, GLOBE CONFIGURATION, WITH FLOW CONTROL.
 - MATCO-NORCA 514TX 1/2"-4" BRASS GATE VALVE, FULL PORT, WITH SOLID WEDGE, IPS, CROSS HANDLE, SAME SIZE AS MAINLINE PIPE.
 - FEBCO 825Y 1/2" REDUCED PRESSURE BACKFLOW PREVENTER
 - WEATHERMATIC SL600 SMARTLINE CONTROLLER// SMARTLINK AIRCARD
 - WEATHERMATIC SLW5 WIRELESS ON-SITE WEATHER SENSOR
 - IRRIGATION SOURCE 1" METER • 25 GPM AT 60 PSI REQUIRED
 - IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 PVC CLASS 315 FOR 1/2" PIPE, PVC CLASS 200 FOR 3/4" PIPE, PVC CLASS 160 SDR 26 FOR 1" AND ABOVE.
- PLEASE NOTE: ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.
- IRRIGATION MAINLINE: PVC SCHEDULE 40 IRRIGATION PIPE.
- PIPE SLEEVE: PVC SCHEDULE 40
- VALVE CALL OUT

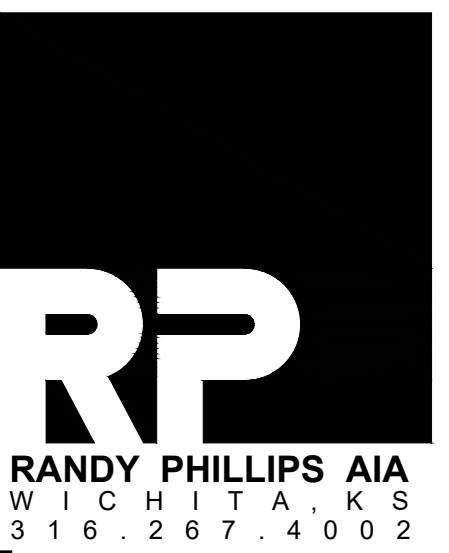
Sleeve Size Schedule

PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/4"	4"
3 - 4"	6"



PLAN VIEW SCALE 1" = 20'

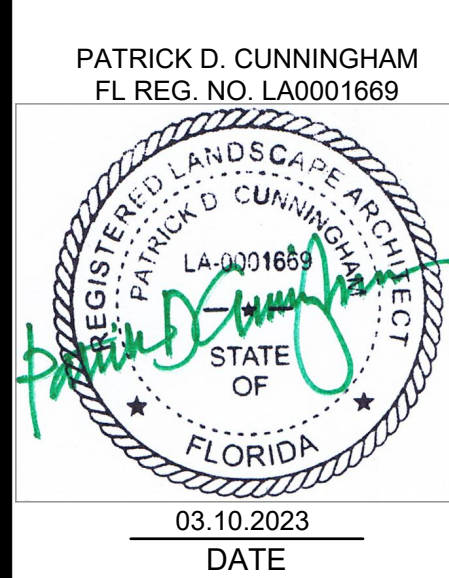
PRE-PLAN REVIEW



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IEG JOB NO. 15-223.00

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5070 WEST ATLANTIC AVE DELRAY BEACH, FL**

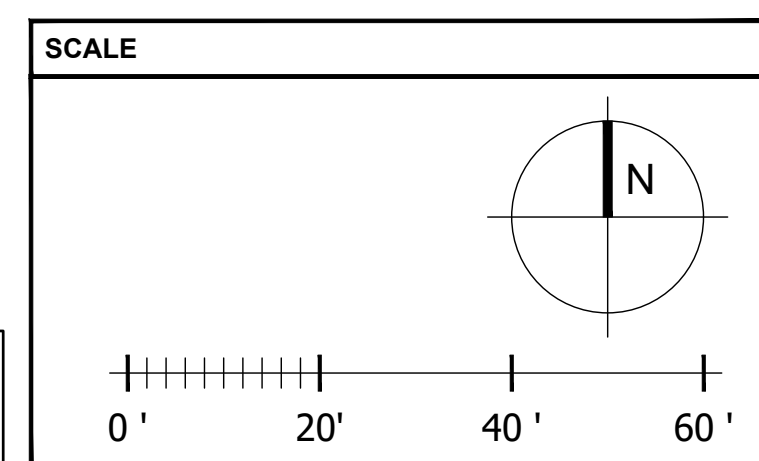


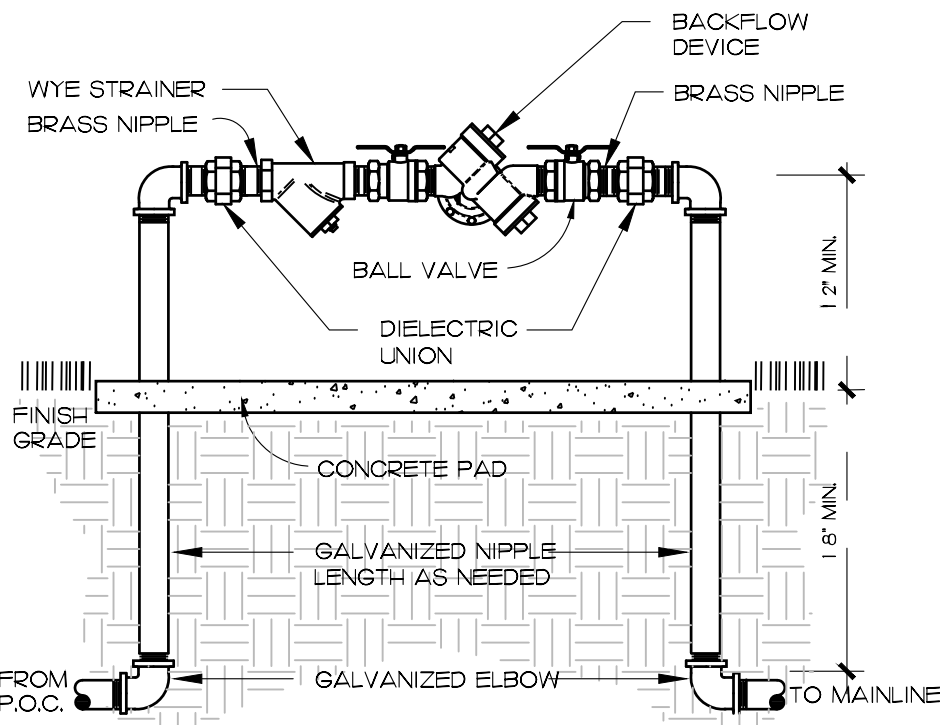
SITE COMMENTS V2	03.10.23
SITE COMMENTS V1	01.27.23
PRE-PLAN REVIEW	04.25.22

IRRIGATION PLAN

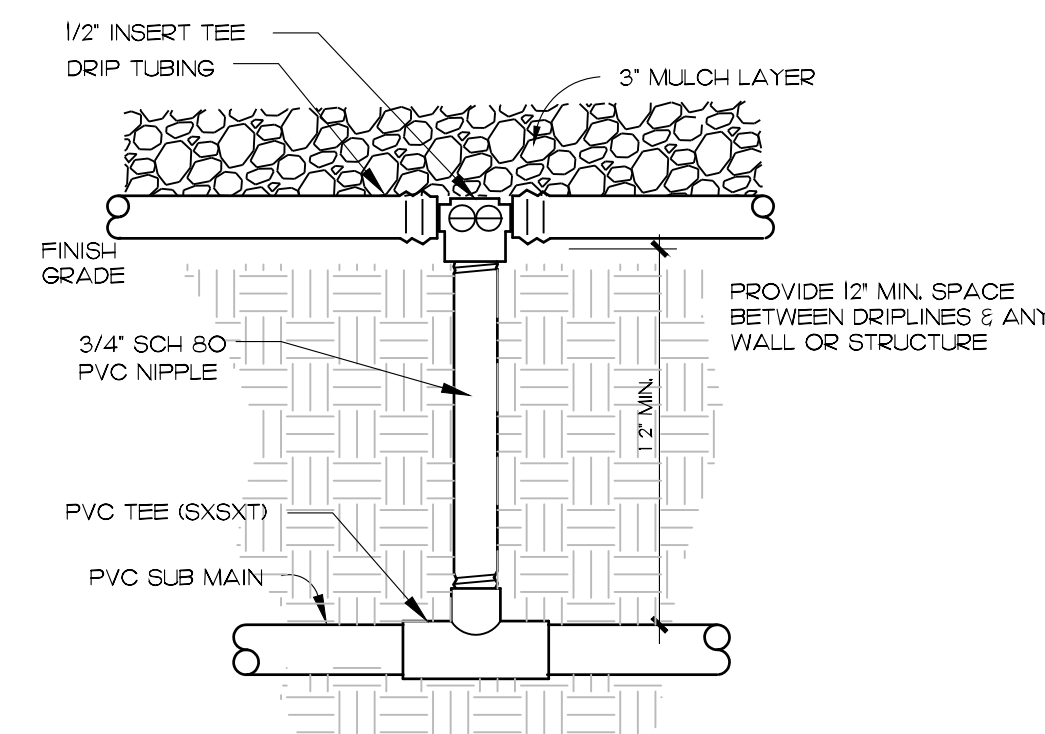
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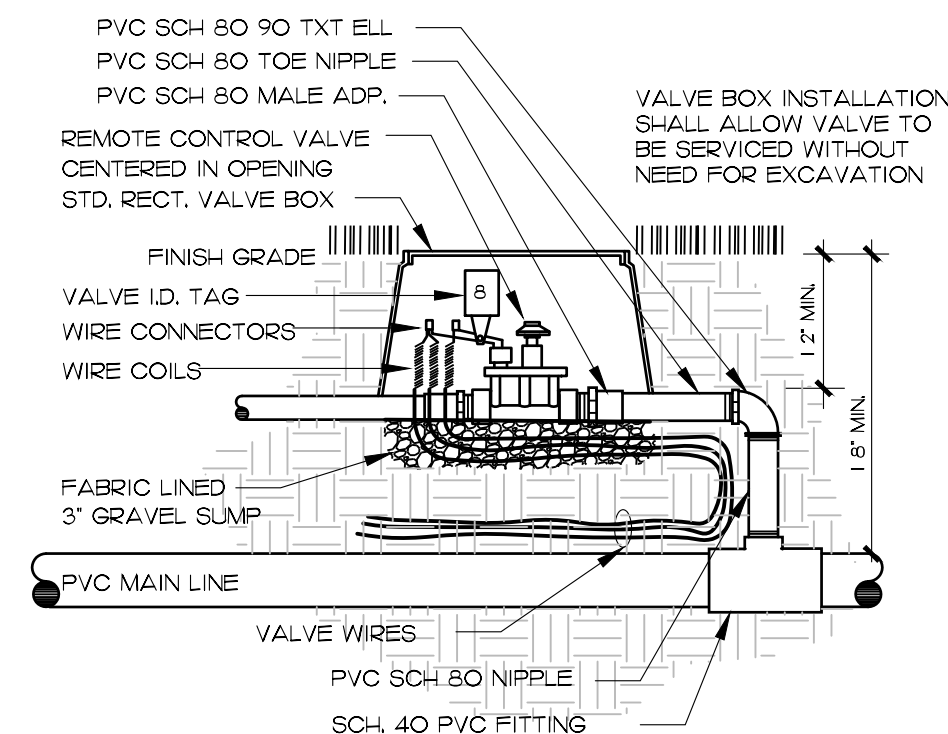




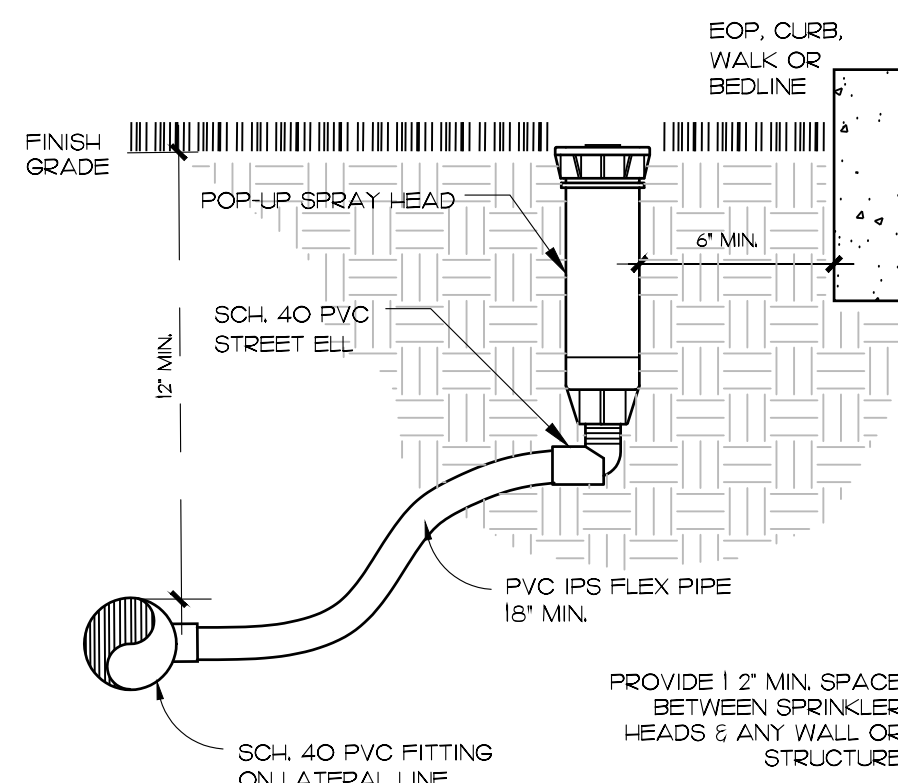
BACKFLOW PREVENTER
NOT TO SCALE



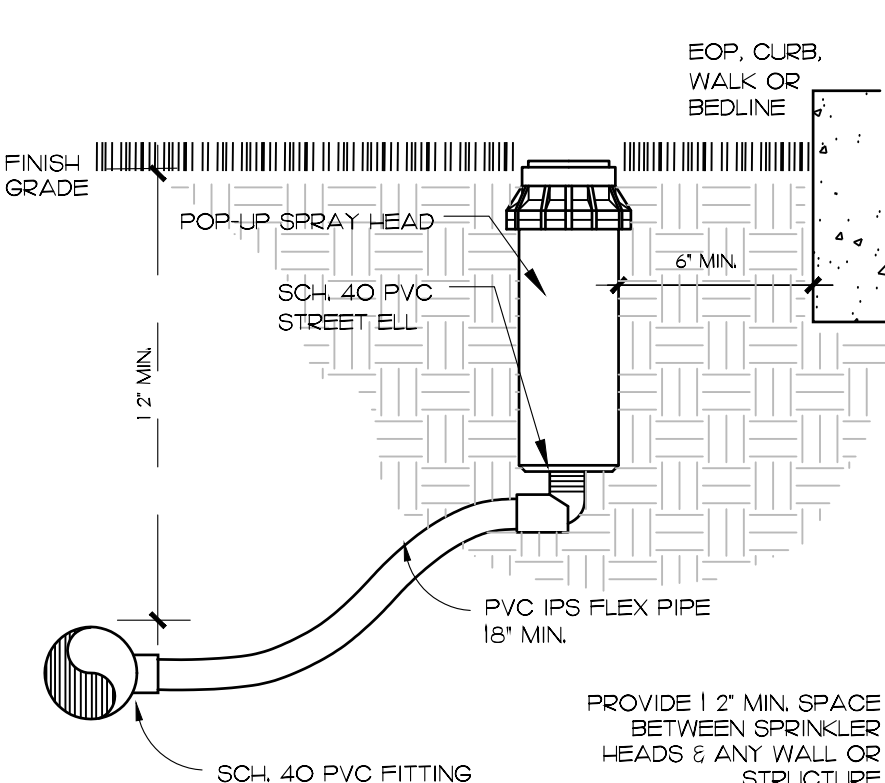
PVC - DRIP CONNECTION
NOT TO SCALE



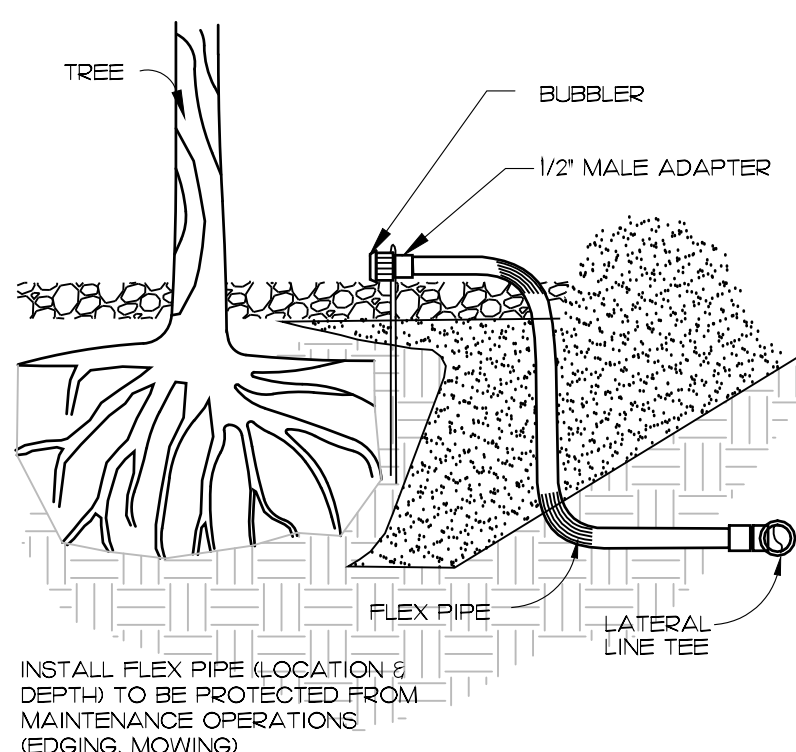
REMOTE CONTROL VALVE
NOT TO SCALE



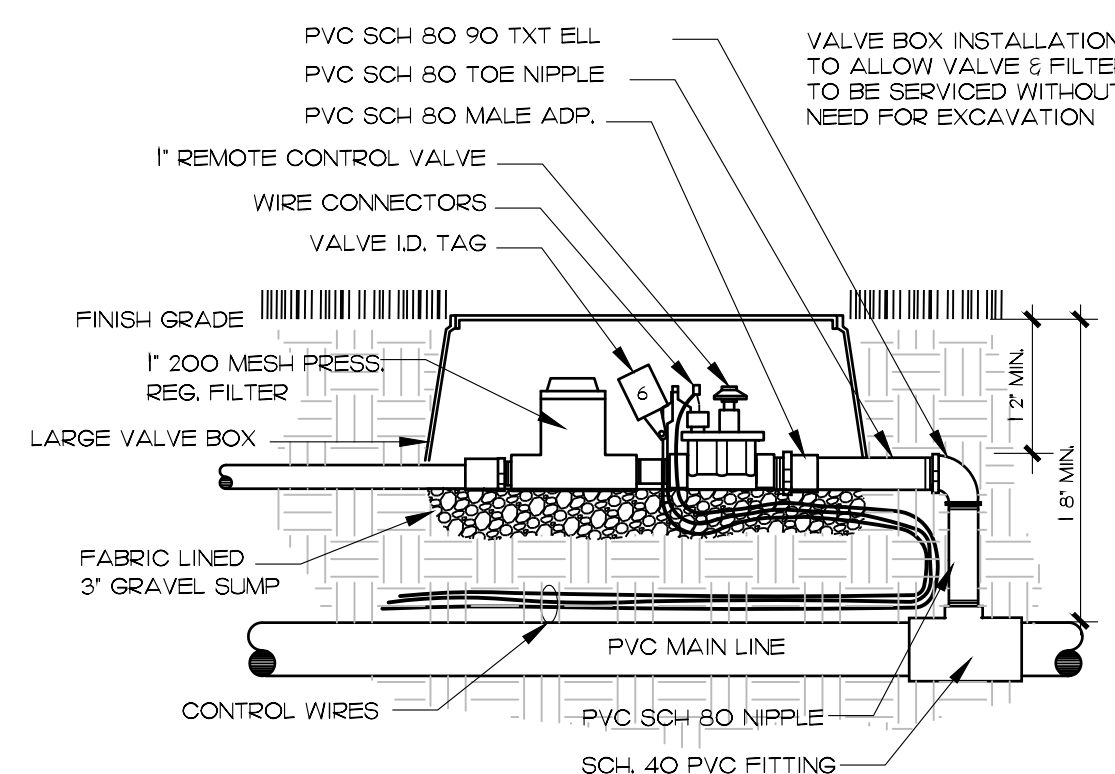
TURF SPRAY HEAD
NOT TO SCALE



TURF ROTOR HEAD
NOT TO SCALE



TREE BUBBLER
NOT TO SCALE



20 gpm DRIP ZONE CONTROL VALVE
NOT TO SCALE

ALL IRRIGATION FIXTURES/ EQUIPMENT SPECIFIED TO BE FOR RECLAIMED, RE-USE, NON-POTABLE IRRIGATION.

General Notes

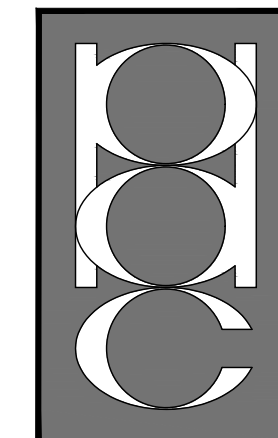
- IRRIGATION SYSTEM DESIGN REQUIREMENTS: 28 GPM * A 55 PSI AT THE POINT OF CONNECTION THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
- DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT CONDITIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN PROCESS, SUCH AS OBSTRUCTIONS, GRADE DIFFERENCES, WATER LEVELS, DIMENSIONAL DIFFERENCES, ETC. REFER TO THE LANDSCAPE PLAN TO AVOID CONFLICTS WITH PROPOSED TREES OR SHRUBS.
- PRINGS MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS I.E. UNDER BUILDINGS OR PAVEMENT, OUTSIDE OF PROPERTY LINES, IN LAKES OR DITCHES, ETC. THIS IS DONE FOR GRAPHIC CLARITY ONLY, WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN PERVIOUS AREAS.
- ALL COMPONENTS ARE SHOWN AND/OR DEPICTED ON THE PLAN SHEETS, REPRESENT APPROXIMATE LOCATION(S) ONLY, AND ARE FOR CLARIFICATION PURPOSES. THE FINAL LOCATION OF ALL COMPONENTS SHALL BE SUBJECT TO APPROVAL BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.
- DO NOT SCALE PLAN FOR EXACT HEAD LOCATION, LOCATION OF ALL SPRINKLER HEADS SHALL BE SITE ADJUSTED TO MINIMIZE WATER OVERTHROW ONTO BUILDING SURFACES AND WALKWAYS. THROTTLE VALVES ON SPRAY ZONES AS REQUIRED TO PREVENT FOGGING.
- PIPE SIZES SHALL CONFORM TO THOSE ON THE DRAWINGS. SUBSTITUTING WITH SMALLER PIPE SIZES WILL NOT BE PERMITTED.
- ALL POP-UP SPRINKLER HEADS SHALL BE INSTALLED LEVEL AND FLUSH TO GRADE.
- MAIN LINE: FITTINGS SHALL BE PVC SCH. 40 JOINT FITTINGS. PIPES PLACED IN SLEEVES SHALL BE SCH. 40 SOLVENT WELD PIPE WITH ADEQUATE RESTRAINTS. SLEEVE LOCATION ARE ACCOMPANIED WITH A 2" ELECTRICAL CHASE FOR THE CONTROL WIRING.
- MAINLINE IS TO BE INSTALLED WITH A MINIMUM OF 18-IN. DEPTH OF COVER. LATERAL LINES ARE TO BE INSTALLED WITH A MINIMUM OF 12" DEPTH OF COVER.
- UNLESS OTHERWISE INDICATED, ALL SLEEVES ARE TO BE PVC SCH 40 AND TWO (2) NOMINAL SIZES LARGER THAN THE PIPE TO BE SLEEVED. FOR EXAMPLE THE SLEEVE FOR A 2-IN. PIPE SHALL BE 3-IN.
- INSTALL VALVES IN MULCHED BEDS AND/OR IN LOW TRAFFIC AREAS. ALL VALVES, FLUSH VALVES AND WIRE SPLICES SHALL BE INSTALLED IN RAIN BIRD WIDE FLANGED, STRUCTURAL FOAM PLASTIC VALVES BOXES
- THE BOTTOM AND SIDES OF THE VALVE BOXES SHALL BE LINED WITH LANDSCAPE FABRIC. INSTALL A 3-IN. DEEP BED OF GRAVEL ON THE LANDSCAPE FABRIC TO CREATE A DRAINAGE SUMP.
- INSTALL DRIP TUBING AT GRADE AND COVER WITH MULCH. TYPICAL SPACING FOR DRIP TUBING IS 18-IN. TO 24-IN. ON CENTER. SPACING TO BE DETERMINED BY PLANT LAYOUT. REFER TO LANDSCAPE PLAN. ANCHOR TUBING EVERY 7-FT. WITH 8-IN. LONG WIRE TUBING STAKES. INSTALL FLUSH VALVE ASSEMBLIES AT ALL TUBING DEAD ENDS.
- EXACT CONTROLLER LOCATION(S) SHALL BE COORDINATED WITH AN OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE CONNECTION FROM THE POWER SOURCE TO THE CONTROLLER(S). PER MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HARD WIRING ALL ELECTRICAL SERVICE CONNECTIONS, AND SHALL RUN TWO (2) ADDITIONAL SETS OF WIRES IN EACH DIRECTION TO EACH-END OF THE MAIN FOR FUTURE USE.
- AT EACH IRRIGATION CONTROLLER, INSTALL A "SECONDARY SURGE ARRESTER" TO THE INCOMING (120 VOLT) POWER SUPPLY (INTERMATIC #AG2401 OR EQUAL).
- A WEATHER BASED SENSOR WITH INTERFACE SHALL BE CONNECTED TO IRRIGATION CONTROLLER. THE SENSOR SHALL ADJUST IRRIGATION PROGRAM BASED ON DAILY WEATHER READINGS. SENSOR SHALL BE INSTALLED TO MEET LOCAL CODES AND/OR MINIMUM MANUFACTURER'S RECOMMENDATIONS. OBSTRUCTIONS, VANDALISM AND EASE OF SERVICE SHALL BE CONSIDERED IN LOCATING THE DEVICE.
- IRRIGATION CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON REPRODUCIBLE PAPER DETAILING THE ACTUAL INSTALLATION OF THE IRRIGATION SYSTEM. THE AS-BUILT DRAWINGS SHALL LOCATE ALL MAIN LINE PIPING, CONTROL WIRES, WIRE SPLICES, SLEEVES AND VALVES BY SHOWING EXACT MEASUREMENTS FROM PERMANENT FEATURES (BUILDINGS, EDGE OF PAVEMENT, POWER POLES, FIRE HYDRANTS, ETC). INCLUDE DEPTH OF COVER ON MAINLINE AND SLEEVES.
- NO PRODUCT SUBSTITUTIONS WILL BE PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE. IRRIGATION CONTRACTOR TO PROVIDE SUBMITTALS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- ANY OTHER EQUIPMENT REQUIRED THAT IS NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE.
- THE PROPOSED IRRIGATION IS TO TIE INTO THE EXISTING SYSTEM, WHICH WILL BE RETROFITTED TO PROVIDE 100% COVERAGE.

Additional Notes

- IRRIGATION CONTROLLER IS TO HAVE AN EXTERIOR MOUNTING LOCATION.
- ELECTRICAL IS TO BE HARD-WIRED TO THE CONTROLLER, NOT AN ELECTRICAL OUTLET.
- WEATHERMATIC SL1600 SMARTLINE CONTROLLER (SEE PHOTO)
 - INSTALLS LIKE A NORMAL CONTROLLER-THE EXTERIOR OF THE BUILDING, PREFERABLY NEAR THE UTILITY ENTRANCE
 - INSTALL INSTRUCTIONS- SL1600 CONTROLLER INSTALLATION INSTRUCTIONS - WEATHERMATIC
- WEATHERMATIC SMART LINK AIRCARD (SEE PHOTO)
 - MOUNT NEAR CONTROLLER
 - INSTALL INSTRUCTIONS- [HTTPS://WWW.WEATHERMATIC.COM/DO/INLOAD/SMARTLINK-AIRCARD-INSTALLATION-QUICK-START/?WPDMDL=19376&REFRESH=628F6E895674653567202](https://www.weathermatic.com/do/inload/smartlink-aircard-installation-quick-start/?wpdmdl=19376&refresh=628f6e895674653567202)
- WEATHERMATIC SLW15 WIRELESS ON-SITE WEATHER SENSOR (SEE PHOTO)
 - MOUNT IN AN AREA WITH UNOBSTRUCTED AIRFLOW.
 - MOUNTING IS PREFERRED IN DIRECT SUNLIGHT WITH GOOD AIRFLOW.
 - THE LOCATION MUST HAVE OPEN ACCESS TO RAINFALL (CANNOT BE COVERED BY ANY OVER-HEAD OBSTRUCTION SUCH AS TREES, ROOFS, ETC).
 - MOUNT THE SLW15 AS CLOSE AS POSSIBLE TO THE CONTROLLER.
 - INSTALL INSTRUCTIONS- SLW15 WIRELESS WEATHER STATION INSTALLATION GUIDE - WEATHERMATIC
- DESIGN DRAWING SPECIFICATION -
 - WEATHERMATIC SL1600 SMARTLINE CONTROLLER W/ SMARTLINK AIRCARD
 - WEATHERMATIC SLW15 WIRELESS ON-SITE WEATHER SENSOR
- TO COMMISSION THE WEATHERMATIC SMART IRRIGATION CONTROLLER PLEASE DO THE FOLLOWING:
 - FIRST, PLEASE CONFIRM THAT ALL THREE PIECES OF EQUIPMENT (CONTROLLER, WEATHER STATION, AND AIRCARD) ARE PROPERLY INSTALLED.
 - NEXT, WEATHERMATIC NEEDS THE AIRCARD NUMBER THAT IS ON THE SIDE OF THE AIRCARD (20-DIGIT LONG NUMBER).
 - CONTACT FOR WEATHERMATIC IS CALL OR EMAIL KELSI VAQUERA WITH ANY QUESTIONS (KELSI.VAQUERA@WEATHERMATIC.COM OR 916.516.3625).
 - WHEN SHARING THIS INFORMATION WITH WEATHERMATIC, YOU SHOULD ALSO NOTE THAT THIS IS A FIFTH THIRD BANK CORPORATE LOCATION AND PROVIDE THE SITE ID NUMBER AND ADDRESS.
- COMMERCIAL LOTS ARE TO UTILIZE SMART IRRIGATION CONTROLLERS WITH SOIL MOISTURE METER SENSORS (SOIL MOISTURE SYSTEMS) TO DETERMINE OPTIMUM MOISTURE LEVELS, SHUT DOWN IRRIGATION PREVENTING WATER WASTE. THE SOIL MOISTURE SYSTEM SHALL OPERATE AS A PERMISSIVE AND NOT AS A CALL-TO-RUN. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO INSTALL, TEST, AND CERTIFY THE SOIL MOISTURE SYSTEM FOR PROPER INSTALLATION AND OPERATION PRIOR TO OCCUPANCY. SOIL MOISTURE SYSTEMS ARE TO BE SPECIFIED IN THE CONSERVATION PLAN SUBMITTAL FOR SUDJ APPROVAL. THE DEVELOPER SHALL BE RESPONSIBLE FOR SUDJ/SUDJL INSPECTION PRIOR TO OCCUPANCY.



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PATRICK D. CUNNINGHAM, LLC
 • land planning
 • landscape architecture
 519 Sapphire Drive
 Sarasota, FL 34234
 O: 941.351.8915
 pcunninghamllc@gmail.com

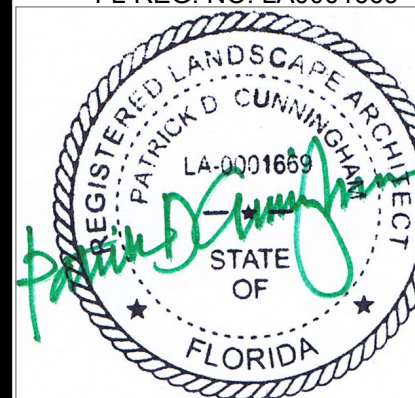


INFINITY ENGINEERING GROUP, LLC
 1208 East Kennedy Boulevard
 Suite 230
 Tampa, FL 33602
 [p]: 813.695.4649
 [f]: 813.445.4211
 www.infgroup.net
 Certificate No. 27889
 IEG JOB NO. 15-223.00

FIFTH THIRD BANK
 DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

PATRICK D. CUNNINGHAM
 FL REG. NO. LA0001669



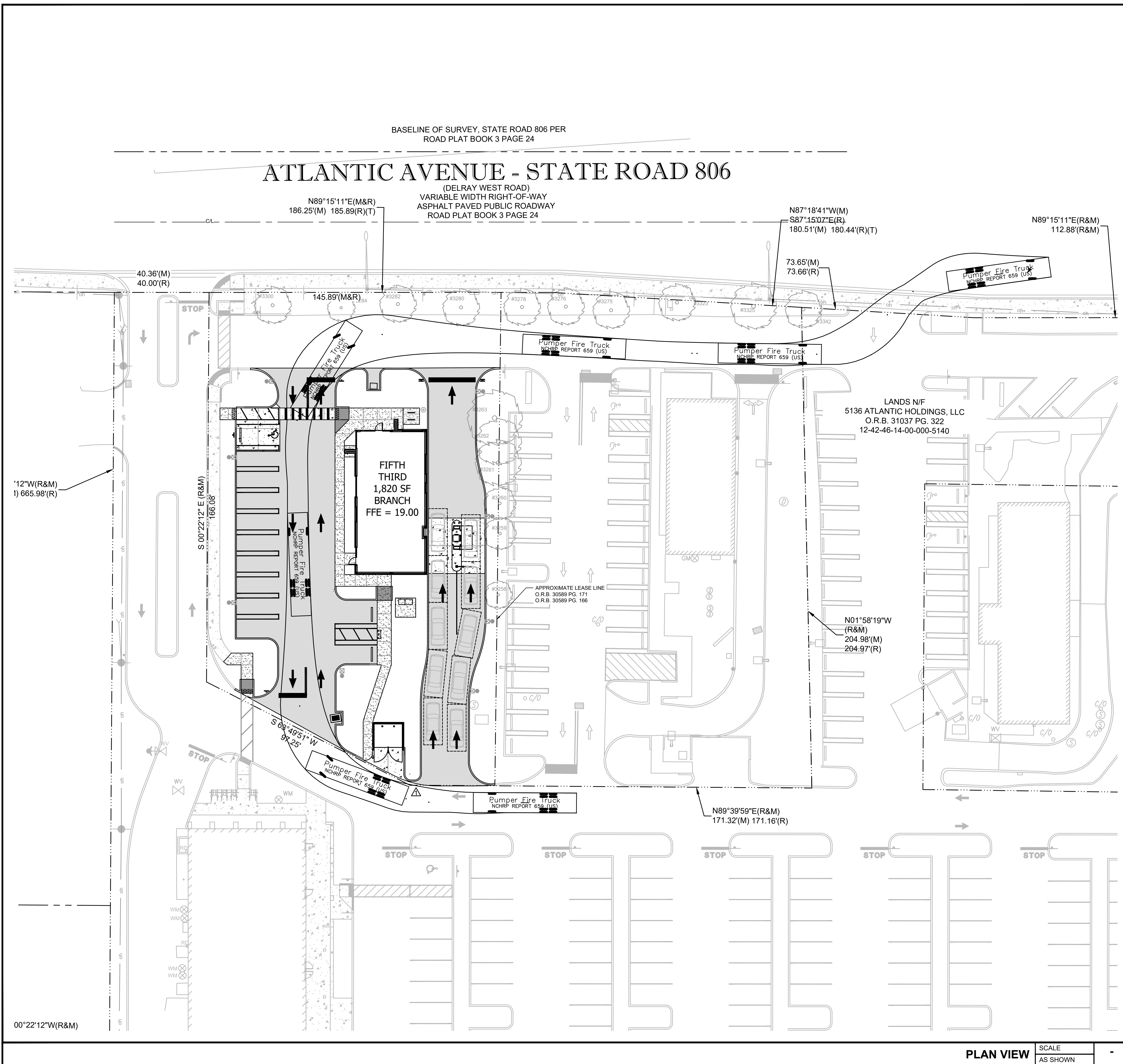
03.10.2023
 DATE

SITE COMMENTS V1 01.27.23

PRE-PLAN REVIEW 04.25.22

IRRIGATION DETAILS

IR.02



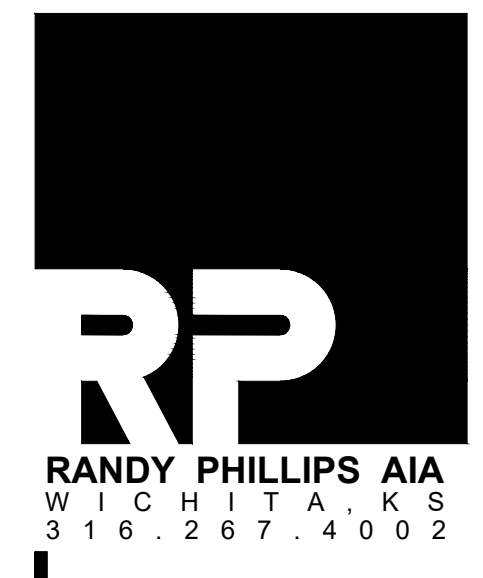
SITE PLAN LEGEND:

	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED PAVEMENT STRIPE
	PROPOSED CURB
	EXISTING CURB
	PROPERTY LINE
	NEW CONCRETE
	NEW CONCRETE
	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE

TRUCK LEGEND

Pumper Fire Truck

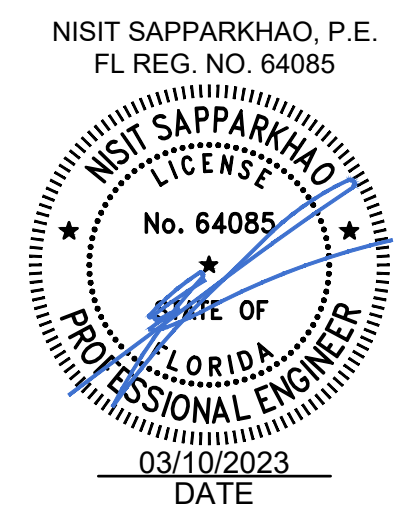
	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8



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**FIFTH THIRD BANK
 DELRAY COMMONS**
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW



PRE-PLAN REVIEW 04.25.22
 SITE ACCESS PLAN

SA01.01

PLAN VIEW SCALE AS SHOWN

BOUNDARY AND TOPOGRAPHIC SURVEY

OF TRACT 2 OF DELRAY COMMONS

AS RECORDED IN PLAT BOOK 85, PAGE 183 PUBLIC RECORDS OF PALM BEACH COUNTY, FL.

LEGAL DESCRIPTION PROVIDED:

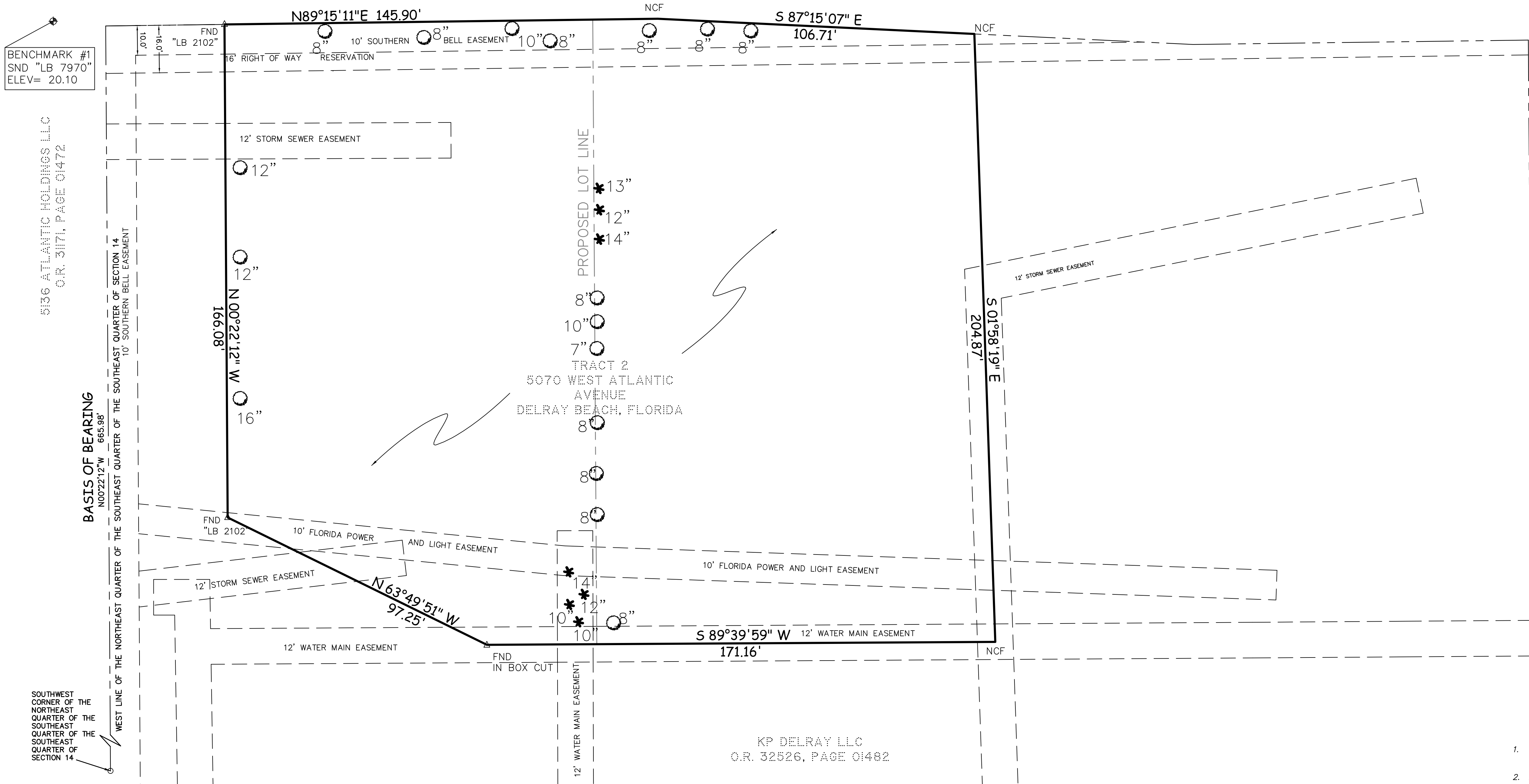
PARCEL 2:

TRACT 2, DELRAY COMMONS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 85, PAGE 183, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SEE SHEET 2 FOR TOPOGRAPHIC INFORMATION

NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER

WEST ATLANTIC AVENUE (60' RIGHT-OF-WAY)



BENCHMARK #1 SMD \"LB 7970\" ELEV= 20.10

5136 ATLANTIC HOLDINGS LLC O.R. 3871, PAGE 01472

BASIS OF BEARING N00°22'12\"/>

SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14

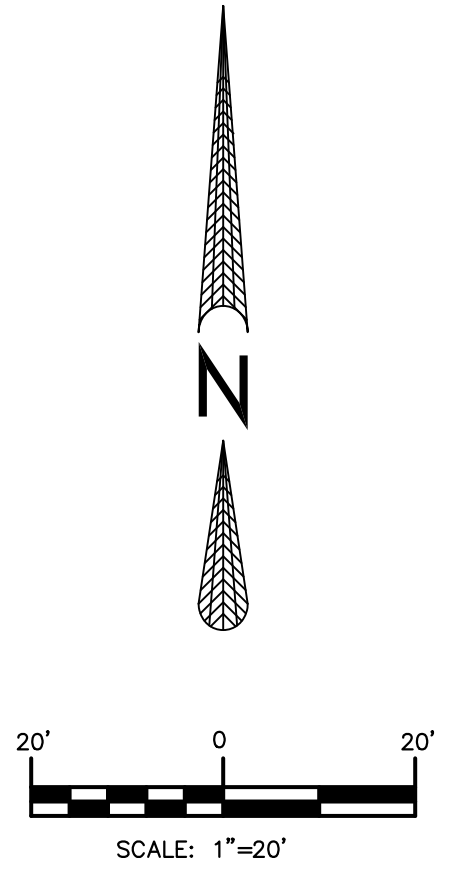
KP DELRAY LLC O.R. 32526, PAGE 01482

SURVEYOR'S NOTES:

- 1. PREPARED AS A BOUNDARY AND TOPOGRAPHIC SURVEY. DATE OF LAST FIELDWORK: 6/17/2022.
2. MAP IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS OR FREEDOM OF ENCUMBRANCES...
3. PARCEL MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD...
4. IMPROVEMENTS OTHER THAN THOSE SHOWN NOT LOCATED.
5. MAP BASED ON DESCRIPTION PROVIDED BY THE CLIENT.
6. THIS SURVEY WAS NOT INTENDED TO DELINEATE OR DEFINE ANY WETLANDS...
7. PARCEL LIES IN FLOOD ZONE \"X\", A NON-FLOOD HAZARD AREA AS SHOWN ON FEDERAL INSURANCE RATE MAP COMMUNITY PANEL 12099C0978F, DATED 10/05/2017.
8. ALL BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14...
9. SOME TOPOGRAPHIC FEATURES OR SYMBOLS MAY BE EXAGGERATED IN SCALE FOR CLARITY...
10. DIMENSIONS OF IMPROVEMENTS SHOWN SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
11. BURIED UTILITIES SHOWN HEREON WERE MARKED BY PROJECTS R&F USA, INC AND FIELD LOCATED BY THIS OFFICE.

LEGEND:

- ▲ = SET PK NAIL AND DISC (LB 7970)
● = BENCHMARK
△ = FOUND NAIL AND DISC
○ = FOUND 5/8\"/>



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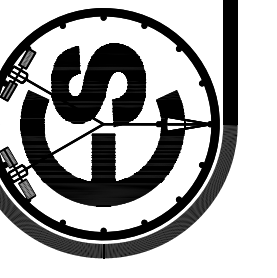
SHEET 1 OF 2 SEE SHEET 2 FOR DETAILS

REVISIONS: DATE 6/22/2022 11/25/2022
UPDATE SURVEY
UPDATE SURVEY
FOR THE FIRM

REVISIONS: DATE 6/22/2022 11/25/2022
UPDATE SURVEY
UPDATE SURVEY
FOR THE FIRM

PREPARED FOR: BDC ARCHITECTS

ELLIS SURVEYS LLC Land Surveying & Planning
P.O. Box 160952
Altamonte Springs, FL 32716
Florida Licensed Business LB-7970
P. 407-834-4003 F. 407-869-5454
www.ellisurveys.com



PROJECT NO. ZL1004
SCALE: 1\"/>

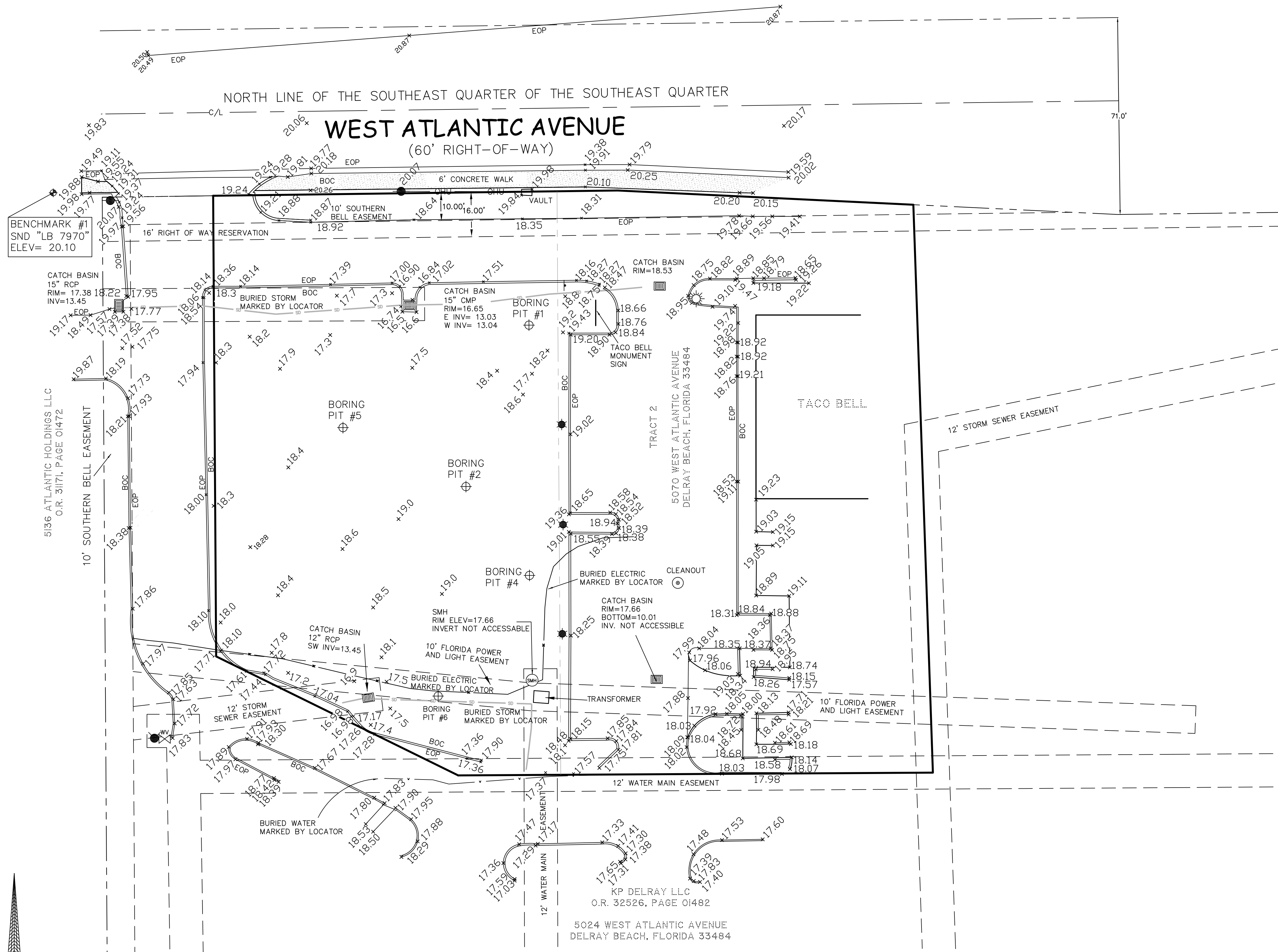
SEE SHEET 1 FOR BOUNDARY INFORMATION

TOPOGRAPHIC SURVEY
OF
TRACT 2
OF
DELRAY COMMONS
AS RECORDED IN PLAT BOOK 85, PAGE 183
PUBLIC RECORDS OF PALM BEACH COUNTY, FL.

LEGAL DESCRIPTION PROVIDED:

PARCEL 2:

TRACT 2, DELRAY COMMONS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 85, PAGE 183, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



LEGEND:

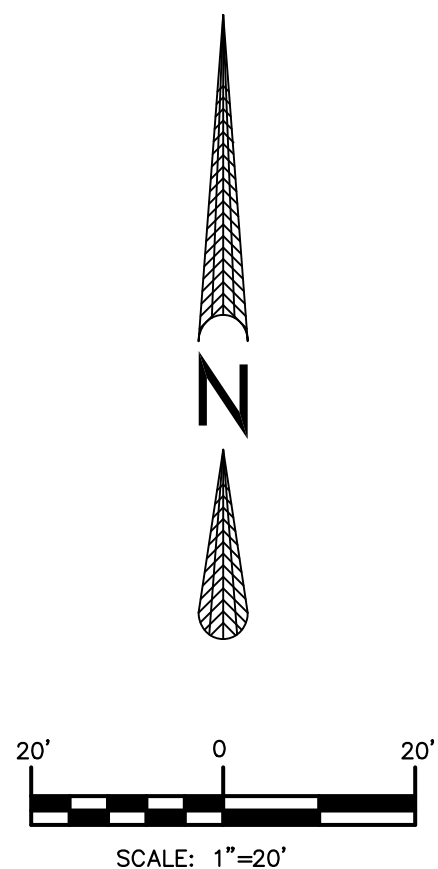
- ▲ = SET PK NAIL AND DISC (LB 7970)
- ⊕ = BENCHMARK
- △ = FOUND NAIL AND DISC
- = FOUND 5/8" IRON AND CAP (FIRC)
- = FOUND 4"x4" CONCRETE MONUMENT (FCM)
- A = ARC LENGTH
- BOC = BACK OF CURB
- (C) = CALCULATED
- D = DELTA
- C/L = CENTERLINE OF RIGHT-OF-WAY
- EDG = EDGE OF PAVEMENT
- LB = LICENSED BUSINESS
- NCF = NO CORNER FOUND
- OR = OFFICIAL RECORDS
- P.B. = PLAT BOOK
- PG. = PAGE
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- R = RADIUS
- BE = BURIED ELECTRIC
- SD = STORM DRAIN
- WD = BURIED WATER LINES
- W = TRUNCATED LINES
- T = TREE
- PT = PALM TREE
- = SPOT ELEVATION
- ⊕ = TELEPHONE RISER
- ⊕ = CONCRETE POWER POLE
- = CONCRETE
- ⊕ = LIGHT POLE
- ⊕ = FIRE HYDRANT
- ⊕ = WATER VALVE
- ⊕ = CLEAN OUT

SURVEYOR'S NOTES:

- PREPARED AS A BOUNDARY AND TOPOGRAPHIC SURVEY. DATE OF LAST FIELDWORK: 6/17/2022.
- MAP IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS OR FREEDOM OF ENCUMBRANCES AND WAS PREPARED WITHOUT BENEFIT OF ABSTRACT OF TITLE AND ALL MATTERS OF TITLE SHOULD BE REFERRED TO AN ATTORNEY AT LAW.
- PARCEL MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD. (RECORDED, UNRECORDED, WRITTEN AND UNWRITTEN).
- IMPROVEMENTS OTHER THAN THOSE SHOWN NOT LOCATED.
- MAP BASED ON DESCRIPTION PROVIDED BY THE CLIENT.
- THIS SURVEY WAS NOT INTENDED TO DELINEATE OR DEFINE ANY WETLANDS, ENVIRONMENTALLY SENSITIVE AREAS, WILDLIFE HABITATS OR JURISDICTIONAL LINES OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER ENTITY.
- PARCEL LIES IN FLOOD ZONE "X", A NON-FLOOD HAZARD AREA AS SHOWN ON FEDERAL INSURANCE RATE MAP COMMUNITY PANEL 12099C0978F, DATED 10/05/2017.
- ALL BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14 BEARING N00°22'12"W AS PER PLAT. ELEVATIONS SHOWN HEREON ARE BASED UPON BENCHMARK #1 BEING A SET NAIL AND DISK "LB 7970", WITH AN ELEVATION OF 20.10 AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SOME TOPOGRAPHIC FEATURES OR SYMBOLS MAY BE EXAGGERATED IN SCALE FOR CLARITY. THE CENTER OF THE SYMBOL OF SUCH FEATURES IS THE CORRECT LOCATION.
- DIMENSIONS OF IMPROVEMENTS SHOWN SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
- BURIED UTILITIES SHOWN HEREON WERE MARKED BY PROJECTS R&F USA, INC AND FIELD LOCATED BY THIS OFFICE.

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SHEET 2 OF 2
SEE SHEET 1 FOR BOUNDARY



1. I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY PERSONAL SUPERVISION AND THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE FLORIDA STATUTES AND THE FLORIDA ADMINISTRATIVE CODE, PERTAINING TO SURVEYING, PLANNING, AND ENGINEERING. I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA.
ROBERT F. ELLIS, P.L.L.C.
FOR THE YEAR 2022
DATE: 6/17/2022
PROJECT NO. 21-1004
SCALE: 1"=20'
DRAWN BY: AG
CHECKED BY: MGE
DATE DRAWN: 07/04/2022
FIELD BOOK/PAGE: SEE FILE

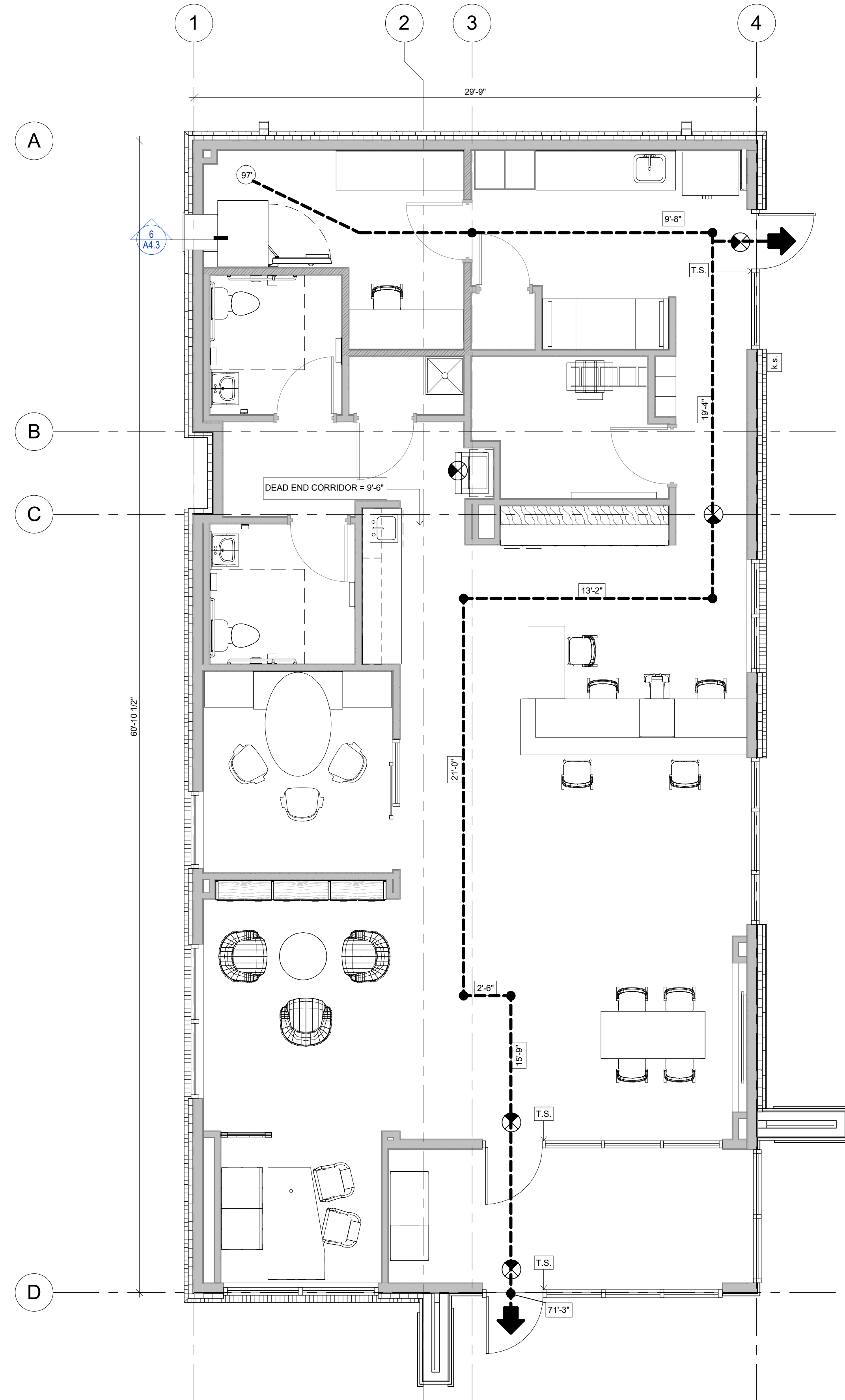
DATE: 6/17/2022
DATE: 11/08/22
REVISIONS:
UPDATE SURVEY
UPDATE SURVEY

PREPARED FOR:
BDC ARCHITECTS

ELLIS SURVEYS LLC
Land Surveying & Planning
P.O. Box 160952
Altamonte Springs, FL 32716
Florida Licensed Business LB-7970
P. 407-834-4003 F. 407-869-5454
www.ellisurveys.com



PROJECT NO. 21-1004
SCALE: 1"=20'
DRAWN BY: AG
CHECKED BY: MGE
DATE DRAWN: 07/04/2022
FIELD BOOK/PAGE: SEE FILE



1 SECURITY PLAN
 1/4" = 1'-0"

GENERAL NOTES - SECURITY

- A. PROVIDED 3/4" EMPTY CONDUIT FOR THE FOLLOWING:
 - EACH ALARM ACTIVATING DEVICE
 - EXTERIOR ATM AND NIGHT DEPOSIT
 - CCTV
- B. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. FURNITURE BY OTHERS. GC TO COORDINATE ANY FURNITURE REQUIREMENTS, INCLUDING LOCATION OF FLOOR BOXES WITH FURNITURE VENDOR.
- C. MILLWORK TO BE OWNER VENDOR PROVIDED. GC TO COORDINATE
- D. BANK EQUIPMENT TO BE SUPPLIED AND INSTALLED BY VENDOR
- E. APPLIANCES PROVIDED AND INSTALLED BY G.C.

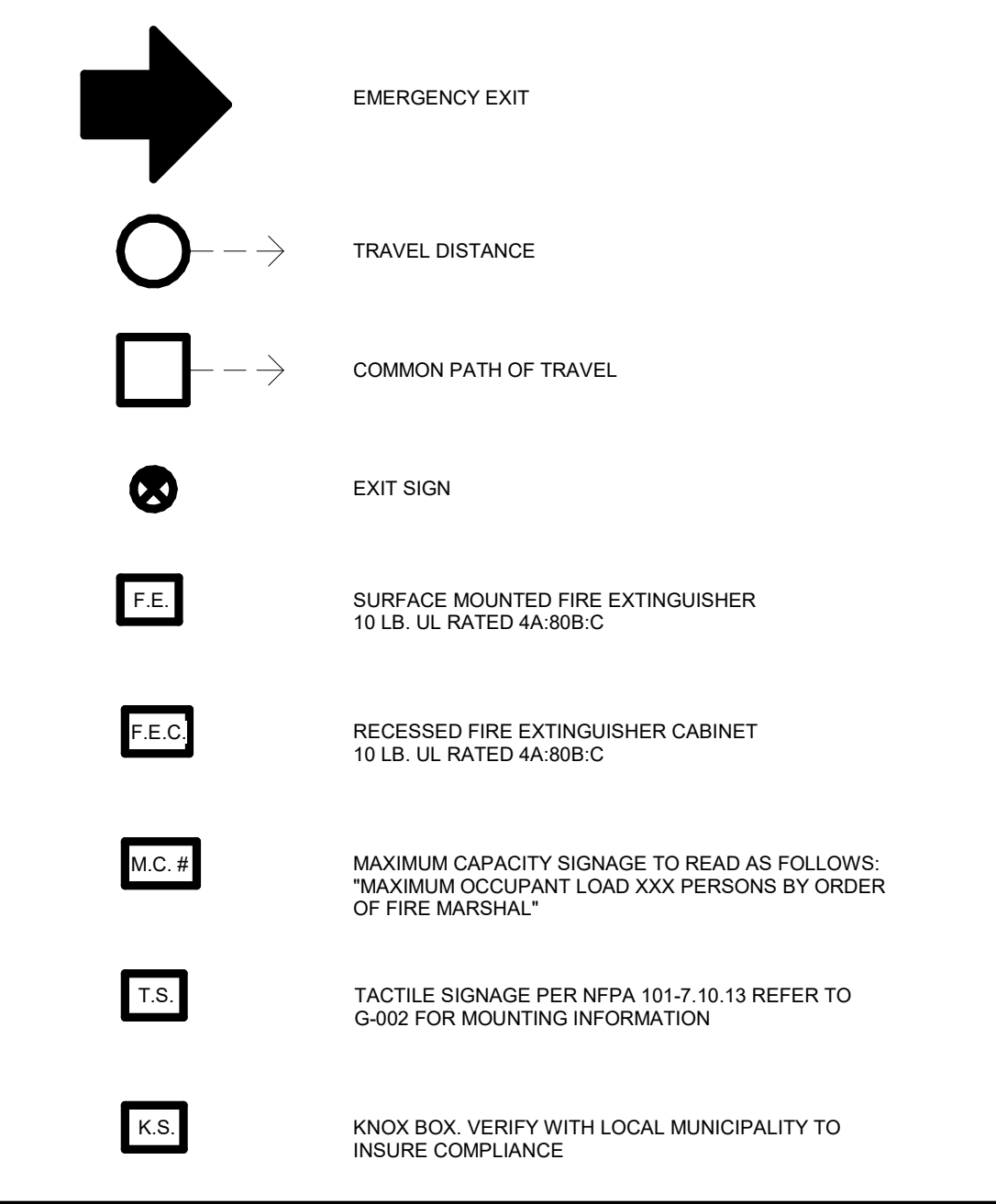
LIGHTING REQUIREMENTS

- A. MINIMUM 10 FOOT CANDLES OF LIGHT REQUIRED AT ATM AND NIGHT DROP
- B. MINIMUM 2-3 FOOT CANDLES OF LIGHT REQUIRED IN PARKING AREA

GENERAL NOTES - LIFE SAFETY

- 1. PROVIDE FIRE EXTINGUISHERS PER NFPA10 AS REQUIRED
- 2. PROVIDE 1 FOOTCANDLE FOR EMERGENCY LIGHTING

LIFE SAFETY NOTES



PROJECT DATA

OCCUPANCY	SECTION 304	B - BUSINESS	
OCCUPANCY LOAD	TBL 1004.5 / SEC. 1004.1	AREA	TOTAL
BUSINESS	1 PER 150 SF	1801 S.F.	12 OCC
TOTAL		1801 S.F.	12 OCC

MEANS OF EGRESS	REQUIRED	PROVIDED
EXIT ACCESS TRAVEL DISTANCE (1017)	200' MAX	97'-0" MAX
COMMON PATH OF TRAVEL (1014.3) TBL 1006.2.1	75' MAX	71'-3"
DEAD END CORRIDOR (1020.4)	20' MAX	9'-8"
CORRIDOR WIDTH (TBL 1020.2)	44" MIN	60"
EXIT WIDTH (1005.1)	0.2' / OCCUPANT 5" REQ'D	72"
STAIR WIDTH	0.3' / OCCUPANT 7.5" REQ'D	N/A

	PROVIDED
OCCUPANCY	BUSINESS
CONSTRUCTION TYPE	VB SPRINKLERED

FIRE RESISTANCE REQUIREMENTS	REQUIRED	PROVIDED
STRUCTURAL FRAMING	0 HOUR	0 HOUR
EXTERIOR & INTERIOR BEARING WALLS	0 HOUR	0 HOUR
EXTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR
INTERIOR NON-BEARING WALLS	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	0 HOUR
ROOF CONSTRUCTION	0 HOUR	0 HOUR

ALLOWABLE BUILDING HEIGHTS & AREA (TBK 504.3a)	FLORIDA BLDG. CODE (FBC)	PROVIDED
ALLOWABLE AREA	-	1,801 GSF
ALLOWABLE HEIGHTS	-	18'-8"
ALLOWABLE STORIES	2 STORIES	1 STORY

EXIT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM REQUIRED - TBL 1006.3.2	2 EXITS	2 EXITS

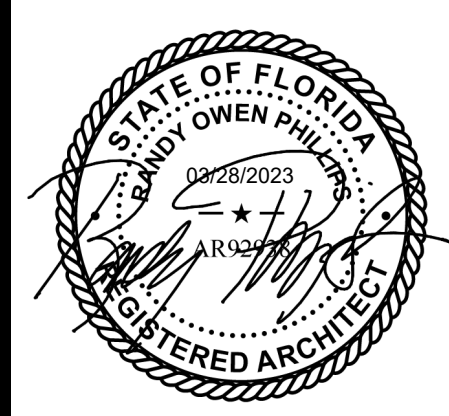
INTERIOR FINISHES	REQUIRED	PROVIDED
EXIT ENCLOSURES, EXIT PASSAGEWAYS, & CORRIDORS	803.1.1	CLASS A

FIRE PROTECTION SYSTEM	REQUIRED	PROVIDED
SPRINKLER SYSTEM	1238.3.5	1015.2.1

ARRANGEMENT OF MEANS OF EGRESS	REQUIRED	PROVIDED
	N/A	NO
	33'-0"	57'-10 1/2"

PLUMBING FIXTURE COUNT	M/F (REQUIRED)	MALE (PROVIDED)	FEMALE (PROVIDED)
WATER CLOSET (1:25)	1 PER 25 (FOR THE FIRST 50 OCCUP)	1 W.C.	1 W.C.
URINALS (2/3 SUBSTITUTION ALLOWED)	N/A	N/A	N/A
LAVATORIES (1:40)	1 PER 40 (FOR THE FIRST 80 OCCUP)	1 LAVS.	1 LAVS.
UNISEX RESTROOMS	N/A	N/A	N/A
TOTAL W.C. REQUIRED		1 W.C.	1 W.C.
DRINKING FOUNTAINS (1:500)	1 REQD	2 PROVIDED	
SERVICE SINK	1 REQD	1 PROVIDED	

FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

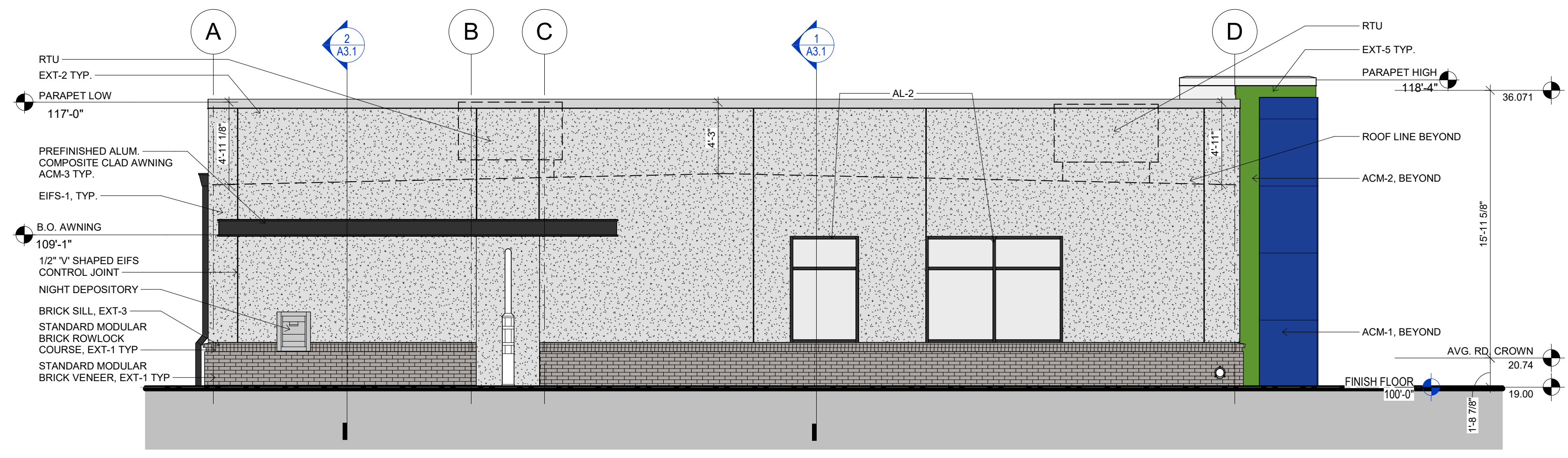


CITY COMMENTS 03.17.23
 CODE PLAN

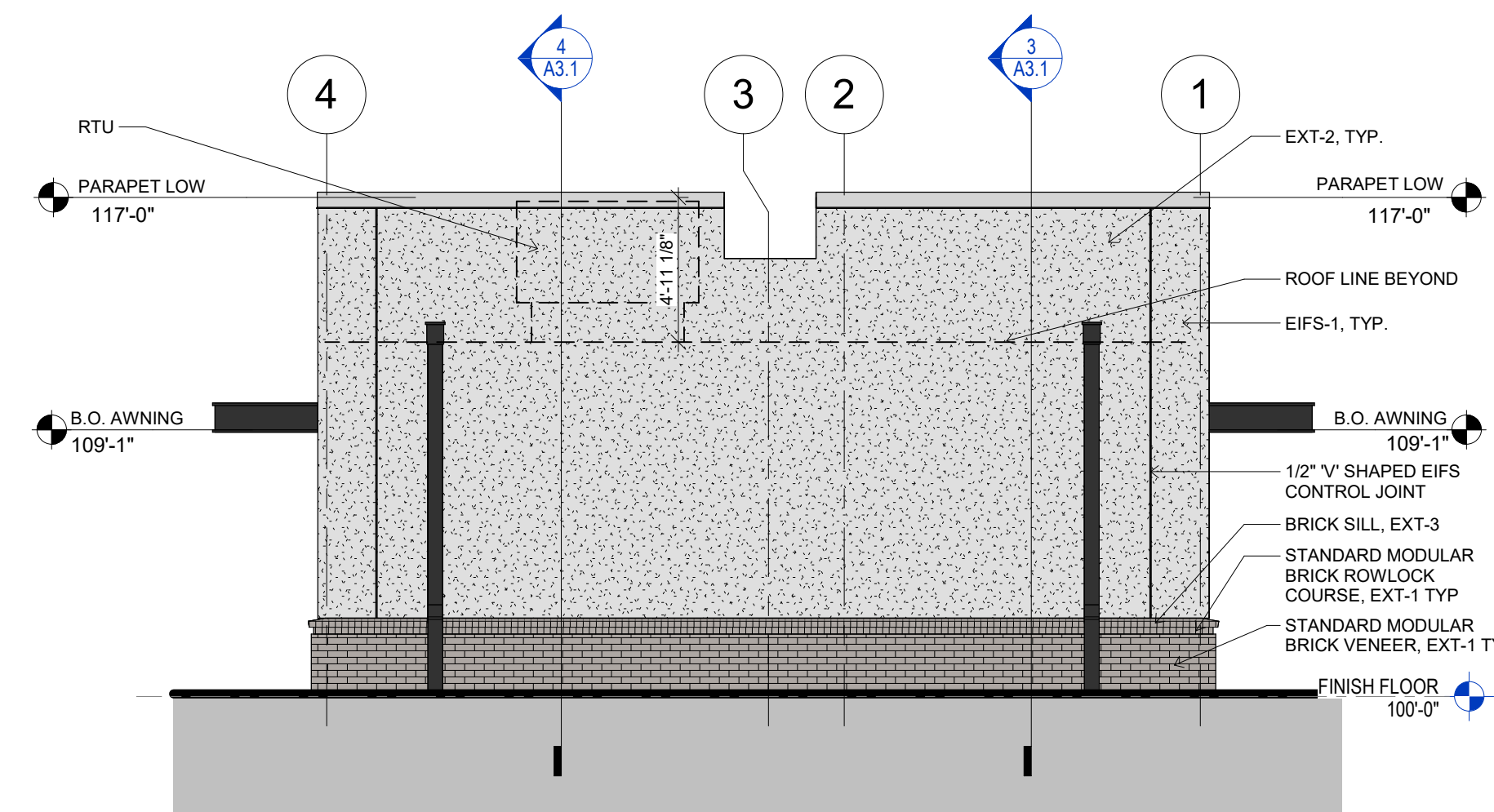
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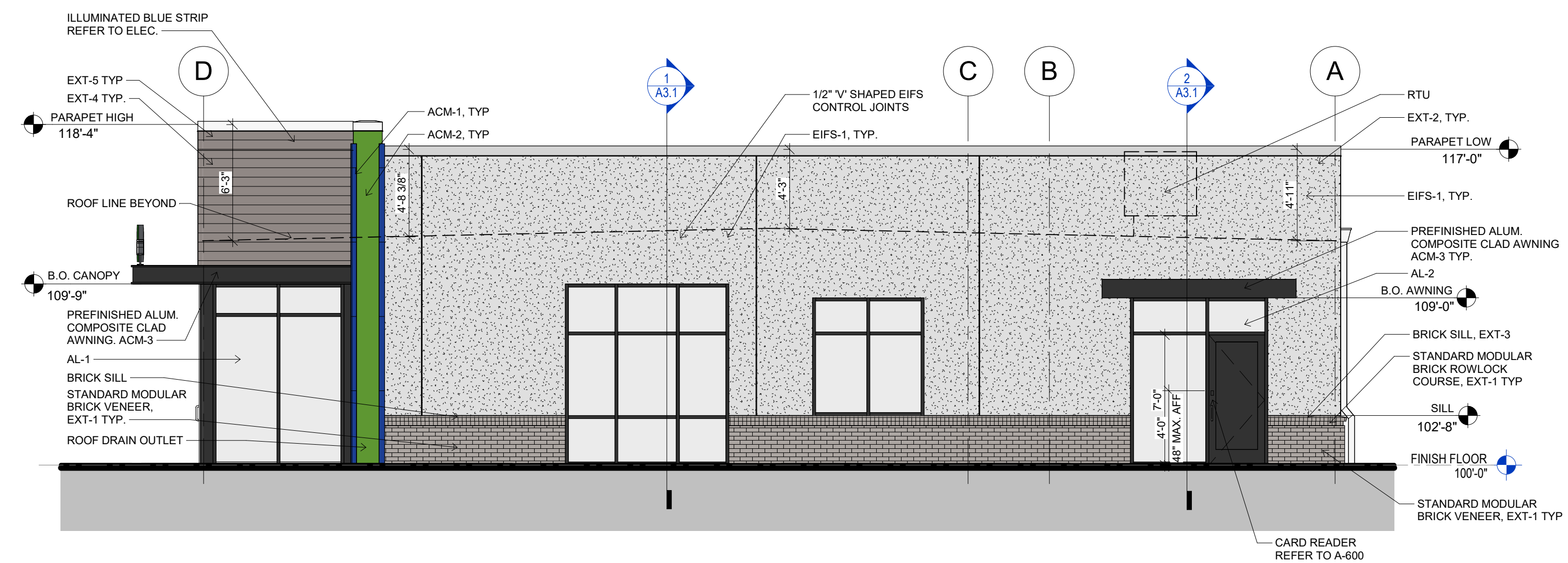
1 NORTH ELEVATION
 3/16" = 1'-0"



2 EAST ELEVATION
 3/16" = 1'-0"



3 SOUTH ELEVATION
 3/16" = 1'-0"



4 WEST ELEVATION
 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	DARK BRONZE	
AL-1	ALUMINUM CURTAINWALL SYSTEM	KAWNEER	DARK BRONZE	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	DARK BRONZE	
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	2" EIFS SYSTEM
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PREFINISHED METAL COPING	PAC-CLAD PETERSON	ANODIC CLEAR	
EXT-3	STANDARD MODULAR BRICK ROWLOCK	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-4	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD ASH	
EXT-5	PREFINISHED METAL COPING	PAC-CLAD PETERSON	MIDNIGHT BRONZE	

FIFTH THIRD BANK
DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL



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SEAL

ISSUE	BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK
JOB # 213419
DATE: 08.31.23
DRAWN BY:
CHECKED BY:

SHEET TITLE
 EXTERIOR 3D VIEW

SHEET NUMBER
 A5.20



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SEAL

ISSUE	BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK

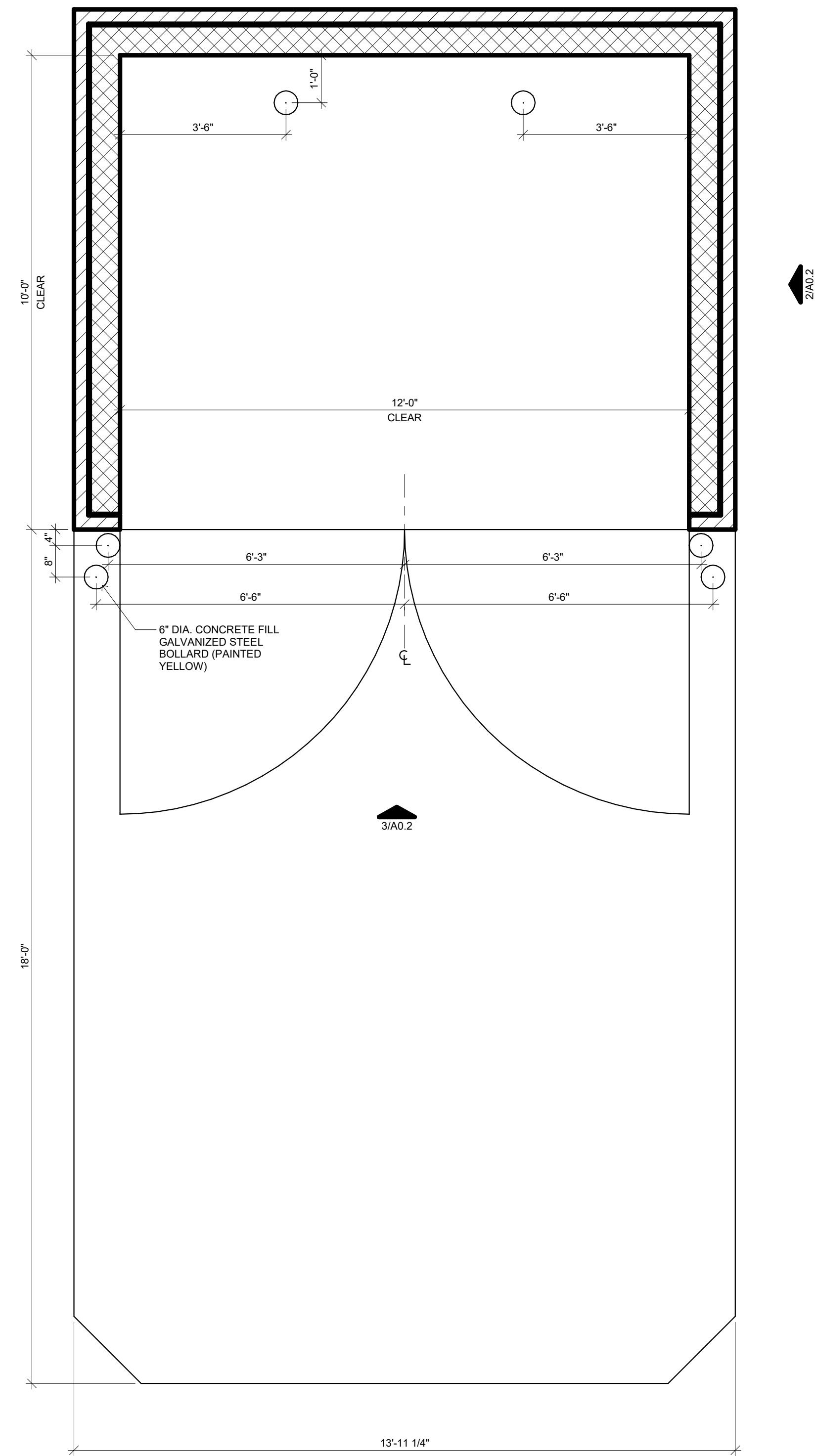
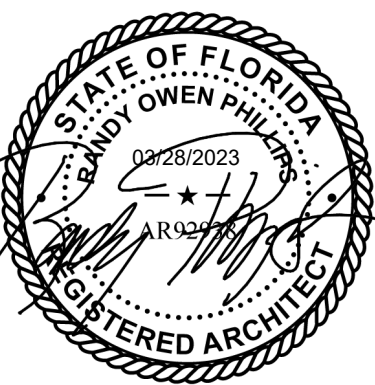
JOB # 213419
DATE: 08.31.23
DRAWN BY:
CHECKED BY:

SHEET TITLE

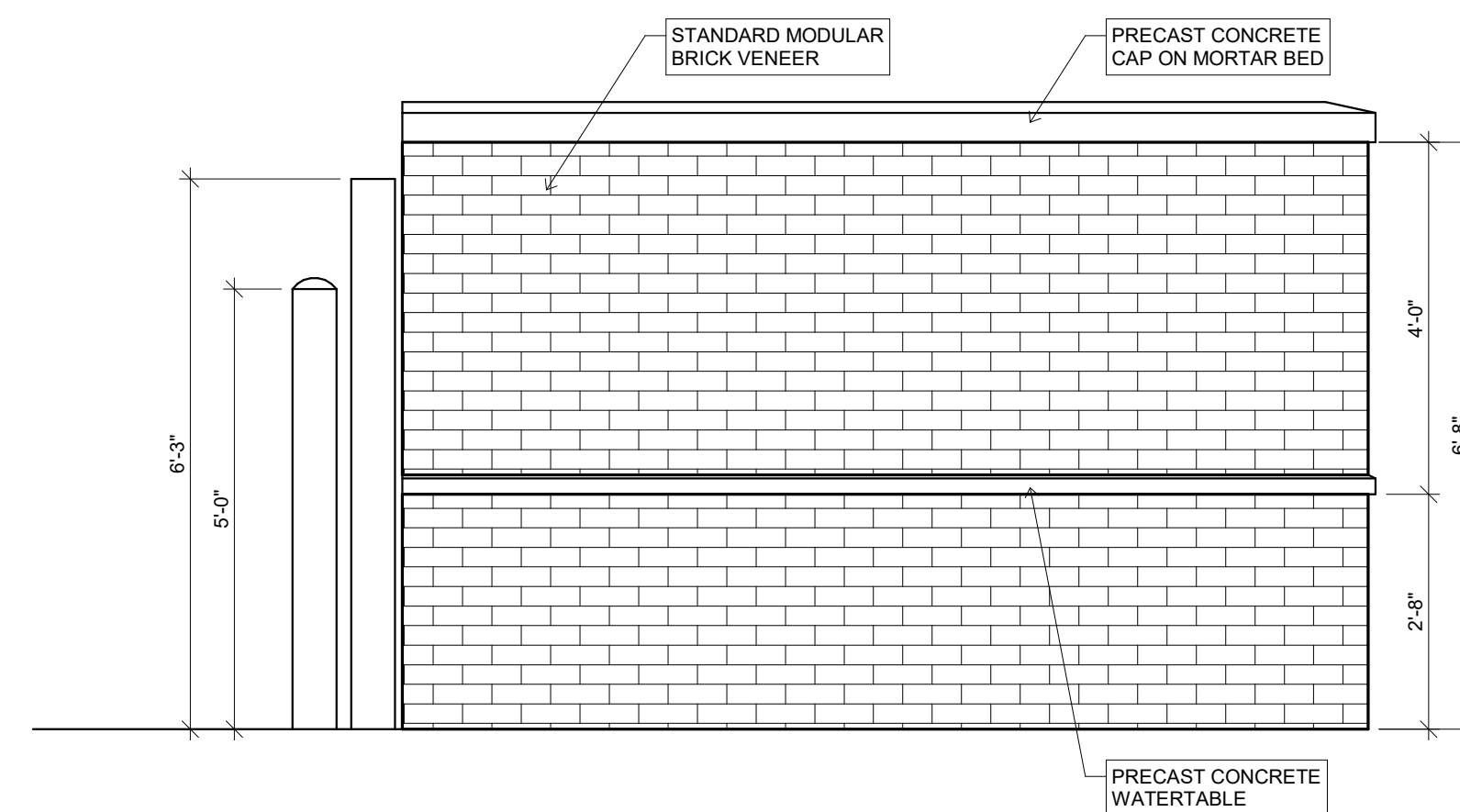
EXTERIOR 3D VIEW

SHEET NUMBER

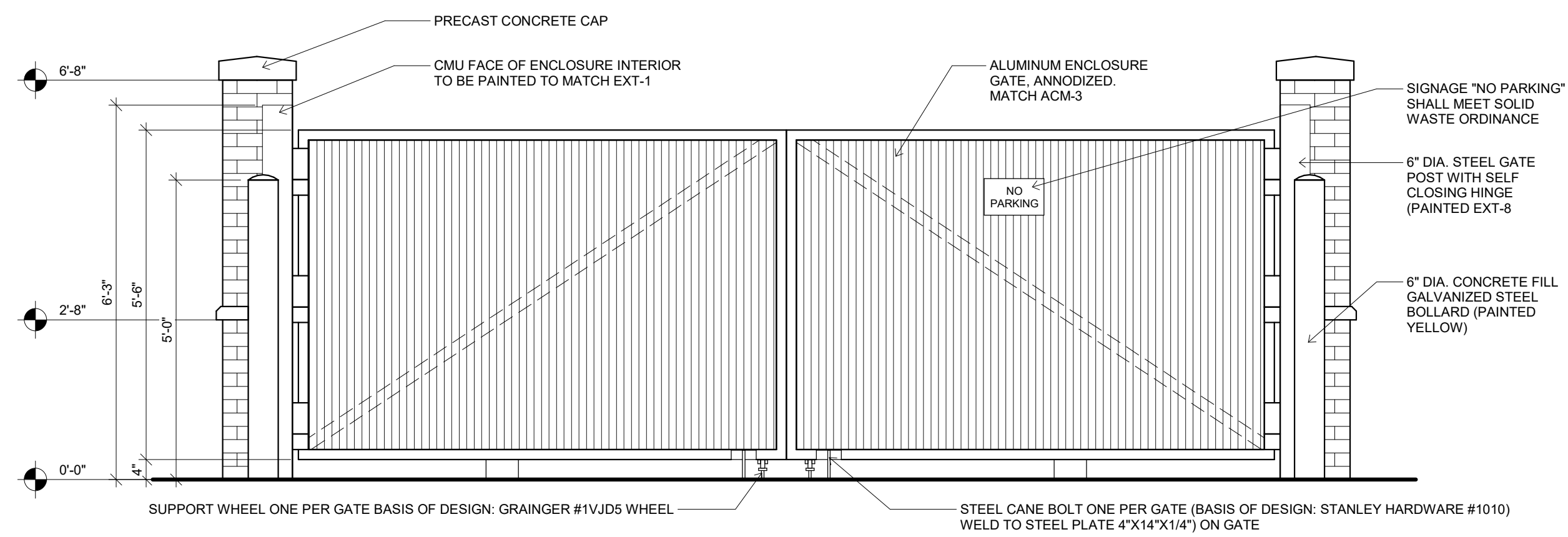
A5.21



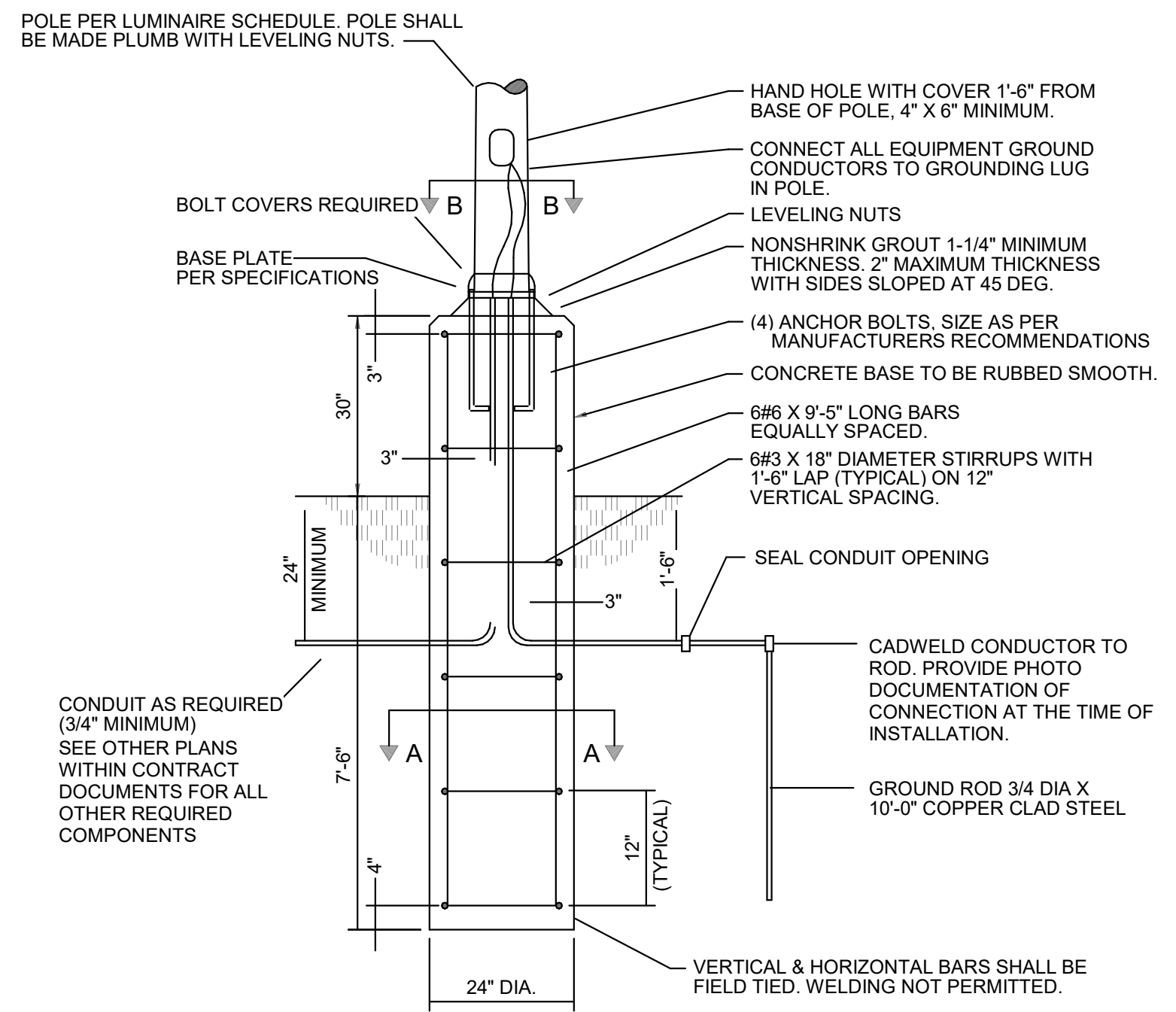
1 TRASH ENCLOSURE PLAN
 1/2" = 1'-0"



2 TRASH ENCLOSURE SIDE ELEVATION
 1/2" = 1'-0"



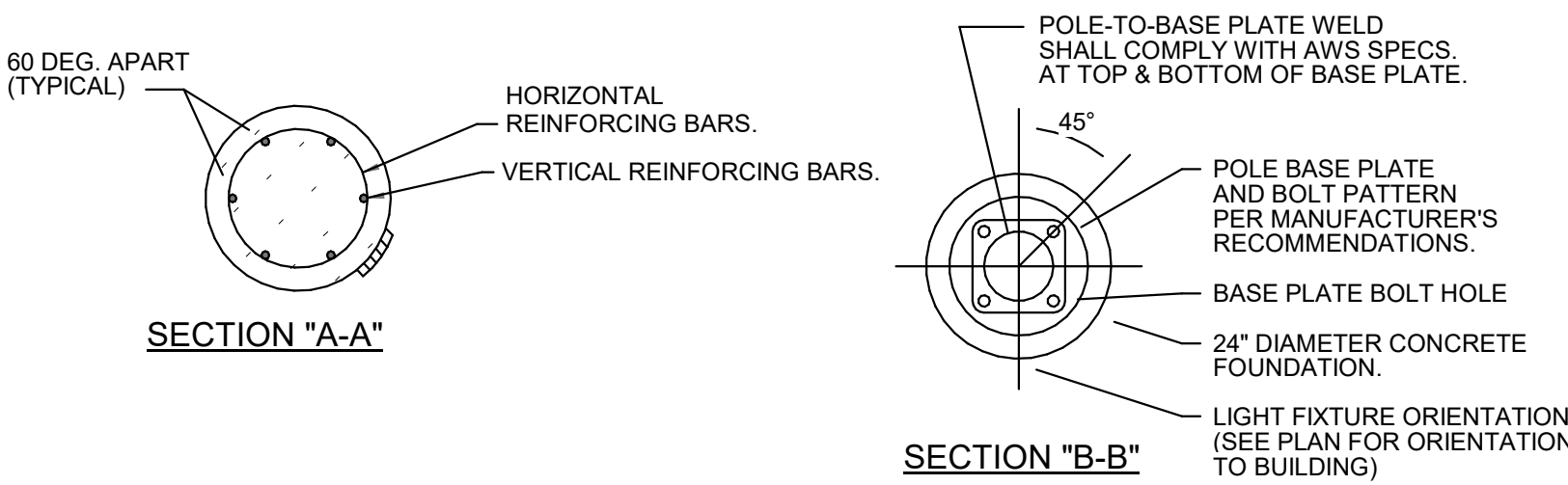
3 TRASH ENCLOSURE FRONT ELEVATION
 1/2" = 1'-0"



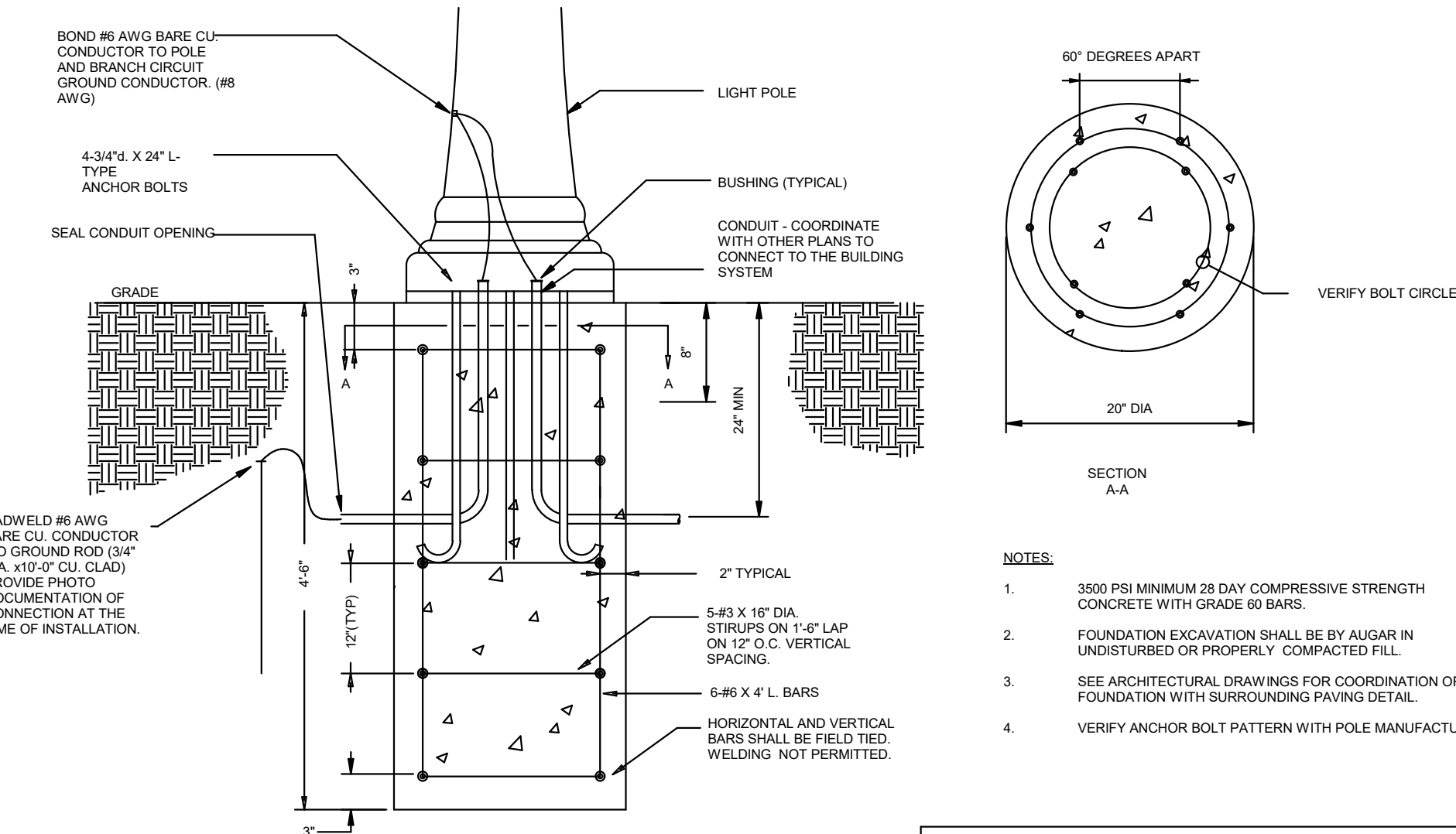
DETAIL - POLE BASE FOR LIGHTING STANDARD - FIXTURES MOUNTED 15' AND ABOVE NOT TO SCALE

NOTES:

- 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 RE-BARS.
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGAR IN UNDISTURBED OR PROPERLY COMPACTED FILL.
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE 3000 PSF. NOTIFY ENGINEER IF BEARING PRESSURE IS LESS.
- AIR ENTRAINMENT: 4 TO 6%.



DETAIL - SECTION THRU POLE BASE NOT TO SCALE



DETAIL - POLE BASE FOR H5 FIXTURE NOT TO SCALE

EXTERIOR LUMINAIRE SCHEDULE NOTES

- MANUFACTURER CATALOG NUMBERS ARE SHOWN FOR GENERAL DESCRIPTIVE PURPOSES AND TO ESTABLISH STANDARD OF QUALITY ONLY. CONTACT CHRIS YOUNG (cyoung@southernlightingsource.com) OR ADAM MAGGIO (amaggio@southernlightingsource.com) (770-242-4000) (53lights@southernlightingsource.com) SOUTHERN LIGHTING SOURCE ON LIGHTING AND LIGHTING CONTROLS. GC/EC SHALL PROVIDE LUMINAIRES COMPLETE WITH ALL OPTIONS AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALL PRODUCTS SHALL BE UL LISTED.
- POLE MANUFACTURER SHALL COORDINATE WITH LUMINAIRE MANUFACTURER TO PROVIDE ADEQUATE STRENGTH TO SUPPORT THE FIXTURE. PROVIDE APPROPRIATE MOUNTING HARDWARE, ANCHOR BOLTS, BOLT/BASEPLATE COVERS AND GROUNDING LUG. MANUFACTURER SHALL FURNISH AN ANCHOR BOLT TEMPLATE TO ENSURE PROPER MOUNTING AND LUMINAIRE ORIENTATION FOR CORRECT LIGHT DISTRIBUTION. APPROVED EQUAL POLE MANUFACTURERS: DURAGUARD AND VALMONT.
- PROVIDE FUSES FOR UNGROUNDED CONDUCTORS SUPPLYING LED DRIVERS. PROVIDE FUSE SIZED FOR RATING OF LED DRIVER.

G1 GE Current A Daintree Company LDXB4RX10T35XX_RDI4RWSDDX
 GE Current A Daintree Company test report no. 14E20870-0-F001
 lamp(s): XXX
 ballast: N/A
 candela file 'LDXB4RX10T35XX_RDI4RWSDDX.IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 9
 number locations= 14, number luminaires= 14
 kw all locations= 0.1
 Occurrences: 8 at mounting height 9 ft
 6 at mounting height 10 ft

WM4 LSI INDUSTRIES, INC XWM-FT-LED-04L-40
 LSI INDUSTRIES, INC test report no. LED-10736
 lamp(s): XXX
 candela file 'XWM-FT-LED-06L-40.IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 30
 number locations= 5, number luminaires= 5
 kw all locations= 0.1
 Occurrences: 5 at mounting height 10 ft

P5 GE LIGHTING SOLUTIONS EALS03_D5SW740
 GE LIGHTING SOLUTIONS-EAST CLEVELAND OH USA test report no. 18070622 18071621
 lamp(s): LED
 candela file 'EALS03_D5SW740...IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 64
 Outreach (from mounting axis to photometric center)= 36 in
 mounting height= 16.5 ft
 number locations= 2, number luminaires= 2
 kw all locations= 0.1

P4S GE LIGHTING SOLUTIONS - HENDERSONVILLE NC USA EALS03_C4AF740 -ELS-EAL-RBL-BLCK
 GE LIGHTING SOLUTIONS-HENDERSONVILLE NC USA test report no. 18101612
 lamp(s): LED
 candela file 'EALS03_D4AF740...ELS-EAL-RBL-BLCK.IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 50
 Outreach (from mounting axis to photometric center)= 36 in
 mounting height= 16.5 ft
 number locations= 3, number luminaires= 3
 kw all locations= 0.1

P3S GE LIGHTING SOLUTIONS EALS03_D3AW740 WITH ELS-EAL-DBL-BLCK
 GE LIGHTING SOLUTIONS-EAST CLEVELAND OH USA test report no. 18100227
 lamp(s): LED
 candela file 'EALS03_D3AW740...ELS-EAL-DBL-BLCK.IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 70
 Outreach (from mounting axis to photometric center)= 36 in
 mounting height= 16.5 ft
 number locations= 3, number luminaires= 3
 kw all locations= 0.2

H5 GE LIGHTING SOLUTIONS EPTC02_03A40 -120-277V
 GE LIGHTING SOLUTIONS-HENDERSONVILLE NC USA test report no. 18031413 18031512 18031612 18031614
 lamp(s): LEDs
 candela file 'H (TYPE 5; 3100 LM) - EPTC02_03A40...-120-277V.IES'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.700, watts per luminaire = 27
 mounting height= 10 ft
 number locations= 1, number luminaires= 1
 kw all locations= 0.0

KEYNOTES REFERENCED ON THIS SHEET:

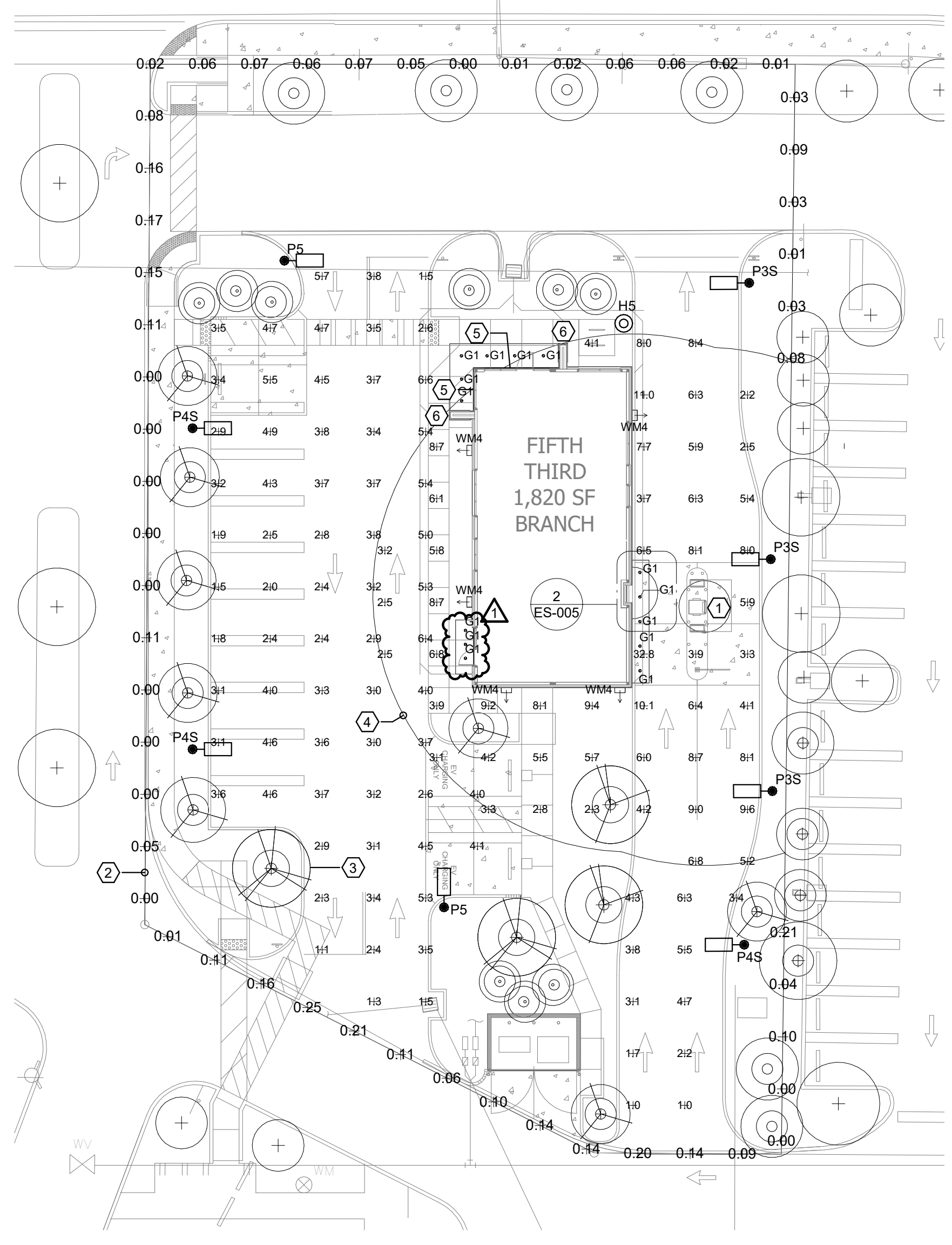
- 5' SECURITY RADIUS LIGHTING REQUIREMENTS AT ATM TO BE PROVIDED BY OWNER'S PREMANUFACTURED ATM CANOPY.
- PROPERTY LINE
- TREE, TYPICAL
- 50' SECURITY RADIUS FOR EXTERIOR ATM AND NIGHT DEPOSIT.
- APPROXIMATE LOCATION OF FIXTURE "L". SEE OTHER PLANS.
- APPROXIMATE LOCATION OF UPLIGHTS (FIXTURES "U1, U2, AND U4"). SEE OTHER FLOOR PLANS.

SECURITY LIGHTING NOTES:

- ALL LIGHTING POINTS WITHIN SECURITY RADII ARE TAKEN AT 3 FEET ABOVE GRADE.
- ALL POINTS WITHIN 50' RADIUS MEET REQUIRED MINIMUM OF 2.0 FOOTCANDLES.
- ALL POINTS WITHIN 5' RADII MEET REQUIRED MINIMUM OF 10.0 FOOTCANDLES.

GENERAL SITE LIGHTING NOTES:

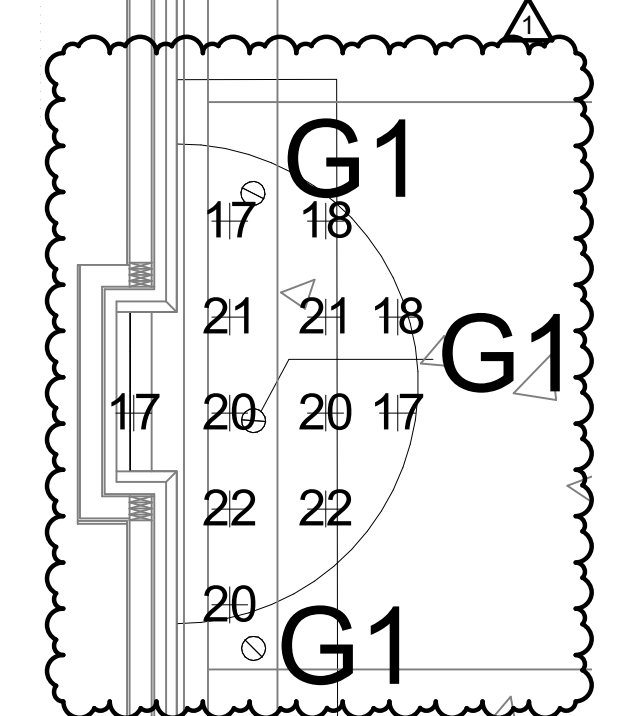
- ALL EXTERIOR SITE LIGHTING SHALL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- ALL POLE MOUNTED FIXTURES AND WALL MOUNTED EXTERIOR FIXTURES SHALL BE FULL CUTOFF
- NO LIGHT FIXTURES SHALL BE MOUNTED ABOVE 25'. SEE LUMINAIRE SCHEDULE.
- COORDINATE WITH OTHER SHEETS. SEE NOTES ON ES-001. EMERGENCY LIGHTING AT EXTERIOR EXITS SHALL BE PROVIDED PER FBC 1008.



PHOTOMETRIC SITE PLAN SCALE 1" = 20'-0" 1

SITE LIGHTING PHOTOMETRIC STATISTICS

PARKING LOT 77 points at z=0, sp 10ft by 10ft HORIZONTAL FOOTCANDLES Average 3.5 Maximum 6.6 Minimum 1.0 Avg/Min 3.51 Max:Min 6.60 REQUIREMENTS: 0.37 MIN ≥ 10.0 MAX ≤ 12.0 MAX MIN ≤ 12.0	50' SECURITY RADIUS 49 points at z=3, sp 10ft by 10ft HORIZONTAL FOOTCANDLES Average 6.5 Maximum 32.8 Minimum 2.2 Avg/Min 2.97 Max:Min 14.91 REQUIREMENT: MIN ≥ 2.0 Unit/Grad 8.41
PROPERTY LINE 53 points HORIZONTAL FOOTCANDLES Average 0.07 Maximum 0.25 Minimum 0.00 Avg/Min N/A Max:Min N/A REQUIREMENT: MAX ≤ 0.25	5' NIGHT DEPOSIT 12 points at z=0, sp 0.5ft by 2ft HORIZONTAL FOOTCANDLES Average 19 Maximum 22 Minimum 17 Avg/Min 1.14 Max:Min 1.29 REQUIREMENT: MIN ≥ 10.0 Unit/Grad 1.24



NIGHT DEPOSIT PHOTOMETRICS SCALE 1/4" = 1'-0" 2

EXTERIOR LUMINAIRE SCHEDULE

TYPE MARK	LAMP	WATTAGE	LAMP COLOR TEMP	VOLT	DESCRIPTION	COMMENTS / OPTIONS	MANUFACTURER	MODEL
G1	LED 1000 LM	9 W	3500 K	120	U.L. LISTED WET LOCATION EXTERIOR RECESSED LED OPEN ROUND DOWNLIGHT, 4" DIA. APERTURE, WIDE BEAM SPREAD, SEMI-DIFFUSED REFLECTOR FINISH.	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS	GE	LDXB-4R-0-10-T-35-V1-R-DI4R-W-SD-WT-MR-WR
H5	LED 7300 LM	65 W	4000 K	120	FULL CUTOFF WALKWAY LED, 10'-0" POLE, TYPE 3 DISTRIBUTION	U.L. LISTED WET LOCATION SEE POLE BASE DETAIL.	GE / LSI(POLE)	EPTC02_03A40-120-277V-4RP-T-SG10-10-N-BRZ-4"GB-C
L	LED GREEN	180 W	3005 K	120	TETRA CONTOUR LS LED LIGHTING SYSTEM, 2W/L. LENGTH AS SHOWN ON PLANS, GREEN LIGHT ENGINE AND GREEN LIGHT GUIDE, 180W POWER SUPPLY	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS	GE	GEGNGLE1-A
P3S	LED 10,000 LM	70 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE WITH SHIELDING, SINGLE HEAD, TYPE 3 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE, DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BASE DETAIL, PROVIDE BACK SIDE SHIELDING	GE / LSI(POLE)	EALS 03 D3 AW 7 40 X D D1 DBKZ / ELS-EAL-DBL-BLCK /4SQB5 S07G 14'-0" S BRZ -4BC
P4S	LED 10,000 LM	70 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE WITH SHIELDING, SINGLE HEAD, TYPE 4 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE, DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BASE DETAIL, PROVIDE BACK SIDE SHIELDING	GE / LSI(POLE)	EALS 03 D4 AF 7 40 X D D1 DBKZ / ELS-EAL-RBL-BLCK /4SQB5 S07G 14'-0" S BRZ -4BC
P5	LED 10,000 LM	64 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE, SINGLE HEAD, TYPE 5 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE, DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BASE DETAIL.	GE / LSI(POLE)	EALS 03 D5 SW 7 40 X D D1 DBKZ /4SQB5 S07G 14'-0" S BRZ -4BC
U1	LED 693 LM	9 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS	LUMENFACADE	LOI-RO-120-12-35K-NO-ASL
U3	LED 2079 LM	26 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS	LUMENFACADE	LOI-RO-120-36-35K-NO-ASL
U4	LED 2772 LM	34 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS	LUMENFACADE	LOI-RO-120-48-35K-NO-ASL
WM4	LED 6000 LM	45 W	4000 K	120	EXTERIOR WALL PACK LED LUMINAIRE, FORWARD THROW DISTRIBUTION, DARK BRONZE FINISH, FULL CUTOFF	SEE OTHER SHEETS WITHIN THE CONTRACT DOCUMENTS, WALL MOUNTED AT 10'-0" ABOVE FINISHED GRADE TO CENTERLINE OF FIXTURE	LSI	XWM FT LED 06L 40 UE BRZ



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 Project Number :
 50149377
 State of Florida
 Certificate of Authorization No. : 32913

FIFTH THIRD BANK
 DELRAY COMMONS
 5070 WEST ATLANTIC AVE DELRAY BEACH, FL

PRE-PLAN REVIEW

ISSUE	DATE	DESCRIPTION
-	09-23-20	Bid-Permit Set
1	03-13-23	SITE COMMENTS V2

PRE-PLAN REVIEW 04.25.22
 EXTERIOR PHOTOMETRIC PLAN



DATE: October 09, 2023
TO: Susana Rodrigues, Planner rodrigues@mydelraybeach.com
City of Delray Beach
100 NW 1st Avenue
Delray Beach, FL 33444

FROM: Benjamin Lewis, BDG Architects KP Delray LLC
PROJECT: Fifth Third Bank – Delray Commons
LOCATION: 5070 West Atlantic Avenue

RE: Justification Statement for Parapet Heights Exceeding 4'-0" Above The Building Roofline.

The attached elevations demonstrate that the parapet heights are set to shield the roof-top units (RTU's) from view. Since the crown of the is higher than the building finish floor elevation by nearly 1'-8", the design team fully screened the RTU's instead of relying on line-of-sight calculations that would decrease the screening to only very close adjacency and most likely make them visible from West Atlantic Avenue. The parapet height is a function of the site constraints requiring roof-mounted mechanical units, the need for adequate unit roof-curb height to prevent flooding at peak rainfall instances, the overall building scale, and the aforementioned building finished floor elevation.

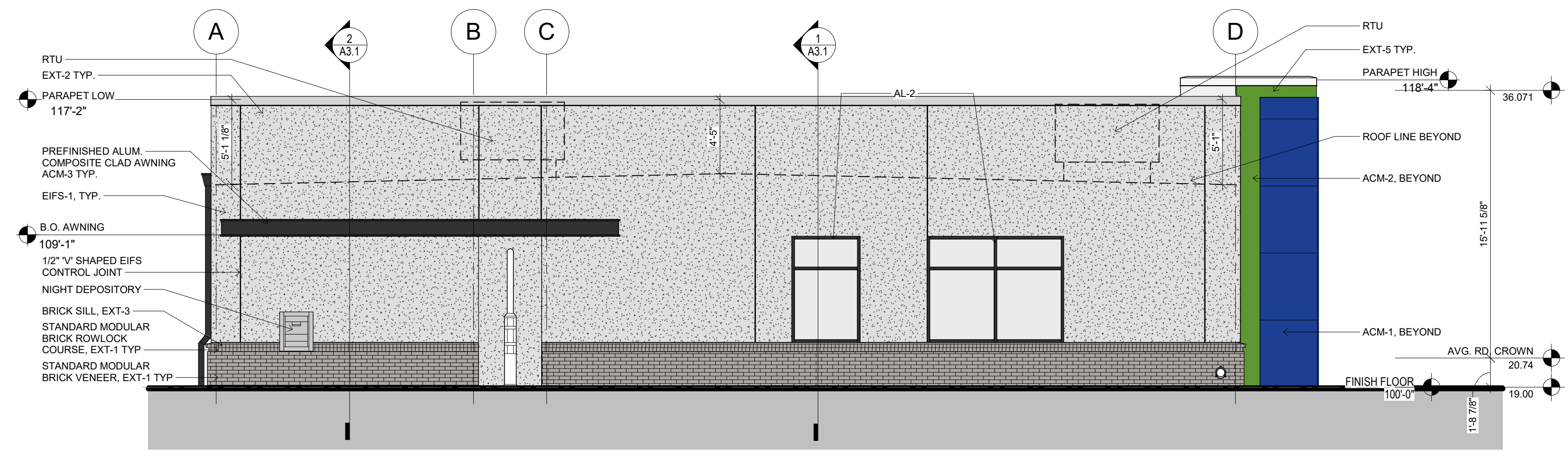
We therefore request that staff recommend acceptance of the parapet heights shown in the attached elevations "A2.1 Exterior Elevations - Fifth Third Bank Delray Commons."

Best Regards,

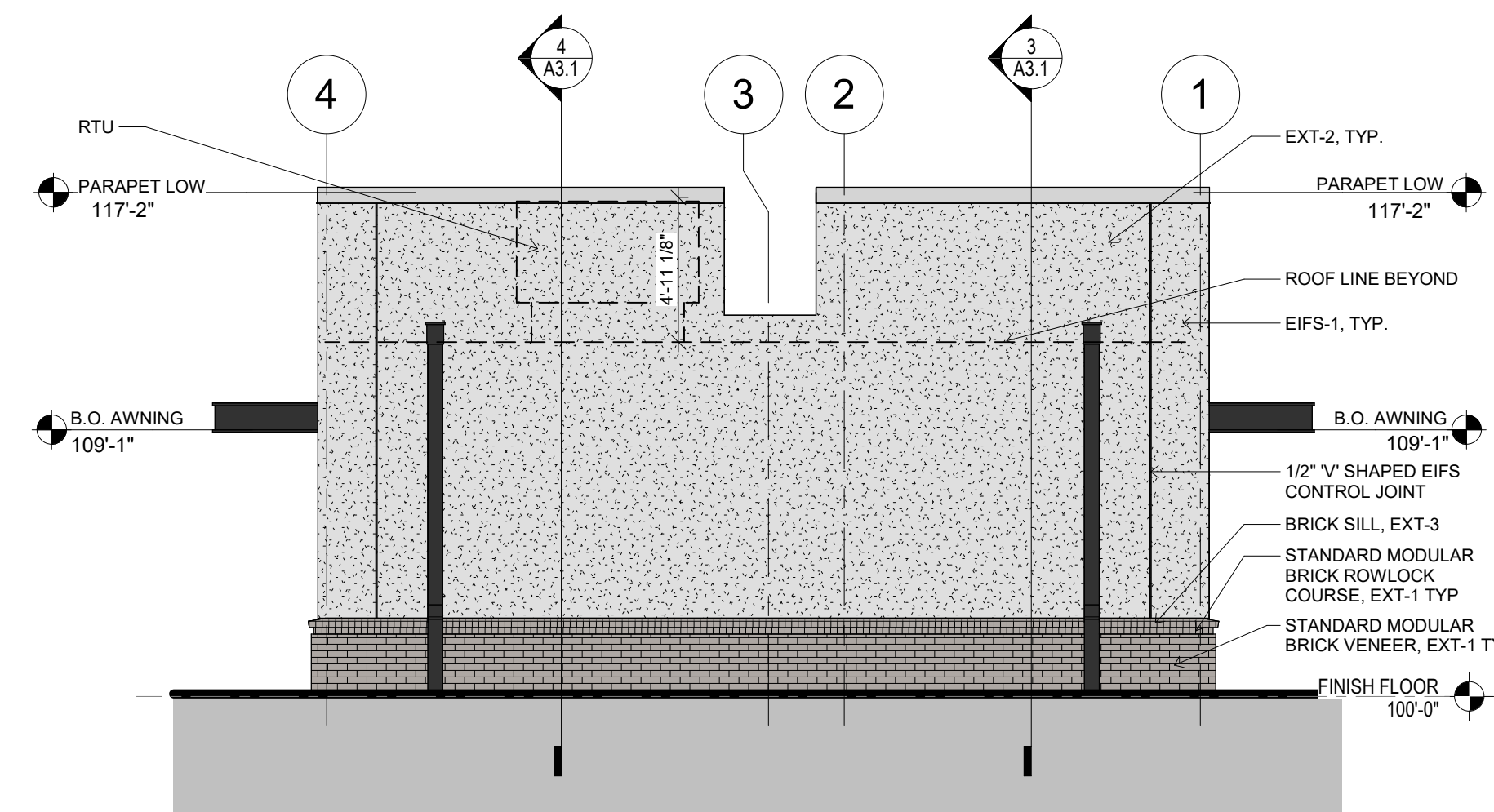
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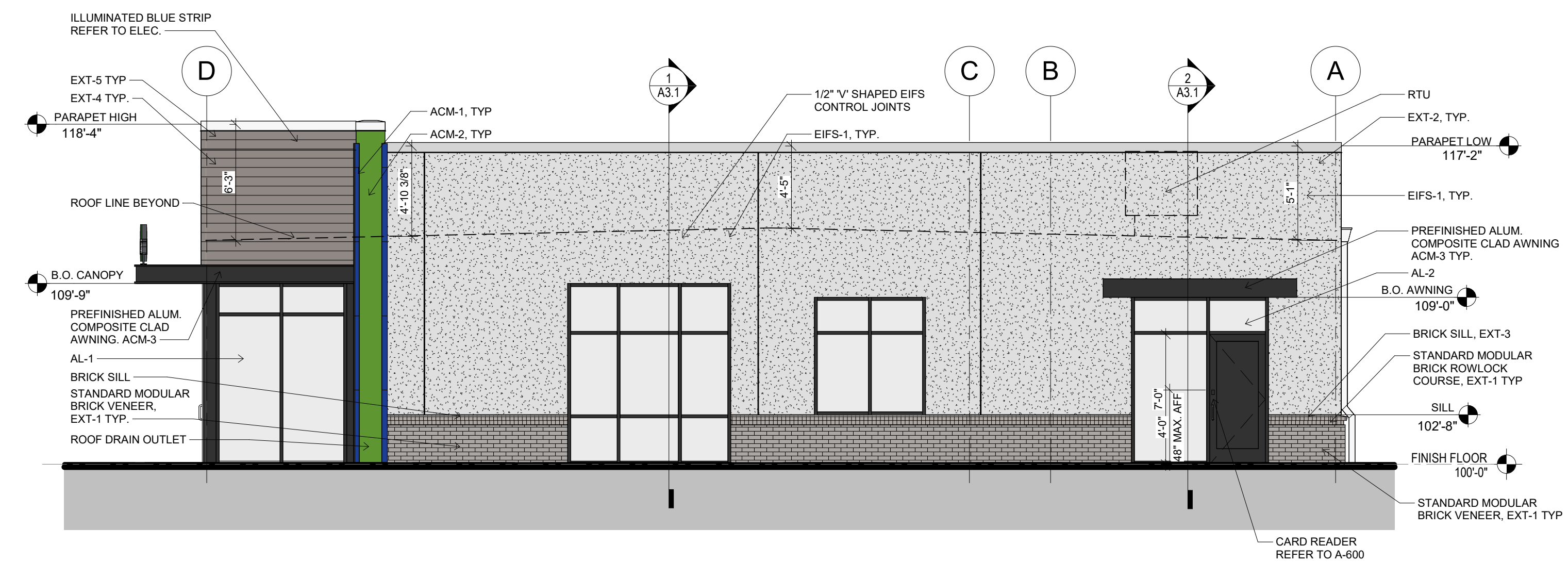
1 NORTH ELEVATION
 3/16" = 1'-0"



2 EAST ELEVATION
 3/16" = 1'-0"



3 SOUTH ELEVATION
 3/16" = 1'-0"



4 WEST ELEVATION
 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	DARK BRONZE	
AL-1	ALUMINUM CURTAINWALL SYSTEM	KAWNEER	DARK BRONZE	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	DARK BRONZE	
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	2" EIFS SYSTEM
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PREFINISHED METAL COPING	PAC-CLAD PETERSON	ANODIC CLEAR	
EXT-3	STANDARD MODULAR BRICK ROWLOCK	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-4	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD ASH	
EXT-5	PREFINISHED METAL COPING	PAC-CLAD PETERSON	MIDNIGHT BRONZE	

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