

DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

	SITE PLAN REVIEW AND APPEARANCE BOARD			
Fifth Third Bank				
	Application Type			
PF-WAI-CL5	Class V Site Plan			
	Authorized Agent			
	BDG Architects – Benjamin Lewis			
pplication, including a esignated as Fifth Th the maximum 4 feet i	a Landscape Plan and Architectural Elevations, for a standalone branch bank hird Bank. The facility includes a drive-thru and a request for an exception in to screen the rooftop equipment.			
5				
nmercial (GC)				
	PF-WAI-CL5 opplication, including esignated as Fifth Th the maximum 4 feet			

Zoning District: Planned Commercial (PC), **Overlay:** Four Corners Overlay District

Adjacent Zoning:

 North, South, East & West: PC (Four Corners Overlay District

Current Use: vacant **Proposed Use:** Financing institution with drive-thru facility





Background

The subject parcel, also known as a portion of Tract 2 of the Delray Commons Shopping Center, P.B. 85, Page 183, was approved in August of 1999 to create separate, saleable tracts. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, and parking and drainage easements, as recorded on June 1, 1999, in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 square-foot of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 square-foot bank with drive-thru area and associated parking.

On September 17, 2018, the Planning and Zoning Board (PZB) approved a Master Development Plan (MDP) modification for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

On January 9, 2019, Tract 2 was approved to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking.



View from internal plaza drive aisle adjacent to Atlantic Avenue (Google Maps)

On October 27, 2021, Tract 1 was approved to develop a Sprouts grocery store and overall improvements to the entire site including parking and landscaping.

On September 26, 2023, PZB approved a modification to the MDP to add an 1,820 square-foot bank to Tract 2 with three waiver requests related to the MDP requirements for lot coverage, open space, and permitter landscape buffering, and two waiver requests associated with the bank relative to the landscape buffer requirements and minimum building size. Below are the approved requested waivers:

MDP Modification Requests Affecting the Entire Site (Tracts 1 and 2)

- Waiver 1: Waiver from LDR Section 4.4.9(F)(3)(c) to allow lot coverage of 77.17% where a maximum of 75% lot coverage is required.
- Waiver 2: Waiver from LDR Section LDR Section 4.4.9(G)(3)(e)(1) Lot Coverage and Open Space to allow 22.83% of open space where the minimum open space required is 25% for the Master Development Plan.
- Waiver 3: Waiver from LDR Section 4.4.9(F)(3)(d) Perimeter Buffers to allow a front yard landscape buffer of 9.5 feet where
 a 30-foot buffer is required when abutting an arterial street (West Atlantic Avenue) to apply to the north property line of Tract
 2. The previous MDP showed a non-conforming 10-foot perimeter buffer adjacent to West Atlantic Avenue.

Waiver Requests Associated with the Bank (Tract 2)

- Waiver 4: Waiver from LDR Section 4.4.9(G)(3)(e)(2) Minimum Structure size to allow construction of an 1,820 square foot bank with a drive-thru that is less than the required 4,000 square feet, on the western portion of Tract 2 facing West Atlantic Avenue.
- Waiver 5: Waiver from LDR Section 4.4.9(F)(3)(d) Perimeter Buffers to allow the parcel's east perimeter interior landscape buffer to be 5 feet where a minimum of 10 feet is required; this waiver is interior to the MDP adjacent to Tract 1.





View from Atlantic Avenue (Google Maps)

Note: A Minor Plat application (2023-262) is currently under review.

Description of Proposal

The proposal includes the construction of a new standalone branch bank facility, Fifth Third Bank. The one-story 1,820 square-foot building equipped with a drive-thru for one VTM lane and one ATM lane. The proposal includes 12 parking spaces.

Landscape improvements are provided throughout the site. It is important to note that the landscaping in the rendering does not accurately reflect the design in the Landscape Plan.

Note: Signage is not included in this review process and will require a separate review.



Review & Analysis: Site Plan and Zoning

LDR Section 2.4.5(F)(5), Class V Site Plan

A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The subject property has a Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is a preferred zoning district for properties with the GC Land Use Map (LUM) designation. The proposed use is permitted in the PC Zoning District.



3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

<u>Potable Water and Sewer</u>: An existing 8-inch water main which connects to Atlantic Avenue is located within the subject property and currently serves the retail tenant space. Sanitary sewer connections are made into an existing 8-inch main located on site. Pursuant to the Always Delray Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out.

<u>Drainage</u>: A drainage system exists on-site and has been analyzed by the City Engineer for compliance during the site plan review process.

<u>Transportation</u>: The Palm Beach County Traffic Division has determined that the proposed bank generates less than 20 peak hour trips, therefore, the project meets the Traffic Performance Standards of Palm Beach County.

Parks and Open Space: N/A

<u>Solid Waste</u>: The increase in solid waste is minimal, the proposed Bank of 1,820 square feet is calculated to generate 6.643 tons per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: N/A

3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are LDR Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and LDR Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure new development will not have a negative impact on the sounding area, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district.

The proposed building design, lighting, and landscaping are not anticipated to impact visibility or create distractions. The proposal complies with the sight visibility requirements and the minimum/maximum photometric levels. The proposed bank replaces a former bank and is not anticipated to have a negative impact on the safety and stability of nearby neighborhoods; it is a permitted use within the Four Corners Overlay District, and similar to other recent development within the area. The proposed development generally meets the applicable standards as there are no significant concerns related to the overall consistency with Article 3.2.

Comprehensive Plan

A review of the objectives and policies of the adopted Always Delray Comprehensive Plan was conducted, and the following applicable objectives or policies were noted:

Neighborhoods, Districts, and Corridors Element

<u>Objective NDC 1.1</u> Land use Designation Establish compatible land use arrangements using land use categories appropriate for the diverse and different neighborhoods, districts, and corridors throughout Delray.

<u>Policy NDC 1.1.14</u> Continue to require that property be developed or redeveloped or accommodated, in a manner so that the use intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.



<u>Objective 2.3</u>, Western Neighborhoods (West of Interstate-95) Protect and enhance the residential neighborhoods located west of I95, improve connectivity, and provide a mix of uses that meet daily needs of residents.

<u>Objective NDC 2.7</u> Planning of Neighborhoods, Districts, and Corridors Continue to respond to unique needs and conditions of the varied neighborhoods, districts, and corridors of Delray Beach using Neighborhood and Redevelopment Plans that determine specialized planning strategies and improvement projects to implement the vision of plans.

<u>Policy NDC 2.7.25</u> Evaluate the Land Development Regulations to the Four Corners Overlay District, which were adopted in 2007, to assess the vision for the area and create and adopt a redevelopment plan that implements the identified vision through the provision of guidelines and recommendations; new improvements and development shall comply with the provisions of the applicable Land Development Regulations until a Plan and associated Land Development Regulations are adopted.

The land use designation and corresponding zoning regulations within the Four Corners Overlay District support the continued redevelopment of the area by encouraging the provision of appropriate and complementary commercial activities to serve the surrounding neighborhoods. The mix of restaurants, <u>financial services</u>, and retailers serves the needs of both the surrounding residential development, as well as consumers from outside of the immediate area who access the plaza from both West Atlantic Avenue and Military Trail.

It is important to note that although the development standards for the Four Corners Overlay District, adopted in 2007 (Ordinance No. 08-07), anticipates the redevelopment of the four commercial nodes at the intersection of Military Trail and West Atlantic Avenue to provide for mixed-use development on properties and encourage the inclusion of residential uses by allowing a higher density and including workforce housing, there have not been significant development requests at any of the four corners since the Overlay District was established, other than the recent partial redevelopment of Delray Landing, and Delray Square, which both abut Military Trail on the south side of West Atlantic Avenue. While the proposal does not take advantage of the residential redevelopment incentives offered in the Four Corners Overlay District, the proposed modifications to the existing retail space support the continued service of the daily needs of residents.

3.1.1(D), Compliance with the LDRs:

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

Standard/Regulation	Review		
Lot Coverage	Maximum: 75%		
4.4.9(F)(3)(c)	Proposed: 75%		
Perimeter Buffer	Required:	Proposed:	
4.4.9(F)(3)(d)	Front (Atlantic Avenue): 30 feet	Front (Atlantic Avenue): 9.5 feet (waiver	
	Side West (internal parcel line): 10 feet	Side East (internal parcel line): 5 feet (waiver	
	Rear (internal parcel line): 10 feet	provided in MDP approval)	
		Side West (Internal parcel line): 11.9 feet	
Building Height	Maximum: 48 feet (4 feet parapet pursuant to	LDR Table 4.3.4(J)(3))	
4.4.9(F)(3)(e)	Proposed: Ranges from 12 feet 1 inches to 12 feet 9 inches (measured to top of roof)		
	Parapet ranges from 4 feet 3 inches to 4 feet 11 inches (3-11 inches above maximum)*		
	I otal height 17 feet 8.5 inches		
	*Pursuant to LDR 4.3.4(J)(3)(b): Exception type	es that are "Subject to Action by the Approving Body" in	
	Table 4.3.4(J)(3), require board action by the	ne approving body and are subject to the following	
	procedure:		
	1. Documentation supporting the requested limited to, massing study, line of sight c	ed height exception must be provided, such as, but not liagrams, architectural proportion analysis, or roof area	



		calculations, and justification statement for board action in Section 4 6 18(F)	addressing the necessity of the request and the criteria
	2.	The approving body shall make finding standards in Section 4.6.18(E), and Sec	gs that the granting of the height exception meets the stion 4.5.1(E), as applicable.
	Review	for compliance to Section 4.6.18(E) pro	vided in Architectural Elevations Review.
Setback 4.4.9(F)(3)(f)	Require Fror Side Side Rea	ed: nt (Atlantic Avenue): 30 feet e East (internal parcel line): 25 feet e West (internal parcel line): 25 feet r (internal parcel line): 25 feet	Proposed: Front (Atlantic Avenue): 53.9 feet Side East (internal parcel line): 30.4 feet Side West (internal parcel line): 58.1 feet Rear (internal parcel line): 69.4 feet
Open Space	Minimu	m: 25%	
4.4.9(G)(3)(e)1.a.	Proposed: 25%		
Minimum Structure Size	e Minimum: 4.000 square feet		
4.4.9(G)(3)(e)2.	Propos	ed: 1,820 square feet (waiver provided	in MDP approval)
Other Requirements			
Standard/Regulation		Review	
Lighting (Photometric Plan)The4.6.8(A)(3), Illumination Standards:for aTable 2adja		The proposed lighting complies with the minimum and maximum illumination requirements for off-street parking illumination, lighting at the building entrance, lighting at the property line adjacent a parcel or public right-of-way, and lighting at the night deposit canopy.	
Off-Street Parking 4.6.9(C)(3)(e)		Required: Shopping Center: 4 parking spaces / 1,000 gross square feet = 8 parking spaces Proposed: 12 parking spaces; one handicap space	
Bicycle Parking Table 4.6.9(C)-1		Required: 2 space / 10,000 square feet = 1 Type I bicycle parking space Proposed: 4 Type I bicycle parking spaces are provided on the north portion of the lot.	
Drive-Thru Stacking 4.6.9(D)(3)(c)3.		Required: 100 feet from first point of t Proposed: 100 feet	ransaction for each lane

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.



Review & Analysis: Landscape Plan

LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

(a) Objectives of landscaping regulations Section 4.6.16.;(b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Landscaping improvements are provided throughout the site. Along West Atlantic Avenue, one new crape myrtle tree will be included within the landscape strip with the four existing crape myrtles. Five new green buttonwood trees are proposed to the west along one of the access drives into the plaza. One green buttonwood tree and three sabal palms are proposed along the south end of tract 2. No new trees are provided to the east of the tract as the adjacent lot contains existing trees that can be used to meet the landscape barrier requirements. Three sabal palms have been proposed for foundation landscaping and four total trees will be provided for the landscape island requirement. The landscape plan (below) has been deemed technically compliant by the Senior Landscape Planner.



Review & Analysis: Architectural Elevations

LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

- 1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- 2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

In consideration of the above, the overall design shows proper design concepts. The style is Masonry Vernacular, which is a style that tends to be simple, largely unornamented, and constructed out of readily available materials. Masonry Vernacular style is consistent with the plaza and the surrounding developments.





(E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The height of the building includes a parapet that ranges from 4 feet and 3 inches to 4 feet and 11 inches to screen the roof equipment. The parapet exceeds the maximum allowed height of 4 feet pursuant to LDR Table 4.3.4(J)(3) by 3-11 inches. The requested height exception for the parapet does not exceed the maximum allowed height of 48 feet and the request does not negatively impact the surrounding area or depreciate the appearance or value of the local environment.

The elevations are generally in good taste and will not materially depreciate the surrounding environment. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E). The proposed development is generally in conformity with good taste and good design as it incorporates many elements, such as the materials and colors, of the surrounding developments.



The proposed color includes grey and the signature colors of Fifth Third, blue and green. The applicant has also proposed to do a mural within the areas shown in red below to minimize blank walls and provide interest. Taco Bell also has a mural facing the proposed Fifth Third location. The mural is not included in this review and requires a separate application and review.



Optional Board Motions

- A. Move to **approve** of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, **Fifth Third Bank**, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at **5070 W Atlantic Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move to approve, as amended, of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, Fifth Third Bank, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at 5070 W Atlantic Avenue, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class V Site Plan Application, including a Landscape Plan and Architectural Elevations, for an 1,820 square foot freestanding branch bank facility, **Fifth Third Bank**, with a drive-thru, and a requested height exception for the parapet exceeding the maximum 4 feet to screen the roof equipment located at **5070 W Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to continue with direction.

DELRAY COMMONS 5070 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33484

PROJECT TEAM

PROPERTY OWNER/DEVELOPER: TOPVALCO INC. 1014 VINE STREET CINCINNATI, OHIO 45202 1141

SURVEYORS: ELLIS SURVEYS LLC

ELLIS SURVEYS LLC LAND SURVEYING & PLANNING P.O. BOX 160952 ALTAMONTE SPRINGS, FLORIDA 32716 PH: (407) 834-4003 CONTACT: ROBERT A. ELLIS, P.L.S. EMAIL: WWW.ELLISSURVEYS.COM

GEOTECHNICAL: INTERTEK PSI 6500 NW 12TH AVENUE, SUITE 116 FORT LAUDERDALE, FLORIDA 33309 PH: (954) 267-0965 CONTACT: (954) 267-0965

CIVIL ENGINEER: INFINITY ENGINEERING GROUP, LLC 1208 EAST KENNEDY BOULEVARD SUITE 230 TAMPA, FLORIDA 33602 PH: (813) 434-4770 CONTACT: NISIT SAPPARKHAO

ARCHITECT: BDG ARCHITECTS 550 SOUTH CALDWELL STREET SUITE 1800 CHARLOTTE, NORTH CAROLINA 28202 PH: (704) 981-8951 CONTACT: PHIL KENNEDY





Know what's **below**. **Call** before you dig.

CONSTRUCTION PLANS FOR:



PARCEL ID: 12-42-46-14-24-002-0000 PALM BEACH COUNTY, FLORIDA



1208 East Kennedy Boulevard Suite 230 Tampa, Florida 33602 [p]: 813.434.4770 [f]: 813.445.4211 www.iegroup.net FL Cert. of Auth. No. 27889 NISIT SAPPARKHAO, P.E. FL REG. NO. 64085 SAPPARKHAO, P.E. SAPPARKHAO, P.E. SAPPARKHAO, P.E. SAPPARKHAO, P.E.

IEG JOB NO. 15-223.00

DRAWIN	IG INDEX
SHEET NO.	SHEET TITLE
C00.00	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C02.02	OVERALL SITE PLAN
C03.01	GRADING PLAN
C03.02	STORM PIPING PLAN
C04.01	UTILITY PLAN
C05.01	DETAILS
C05.02	DETAILS
C05.03	DETAILS (CITY OF DELRAY BEACH)
C05.04	DETAILS (CITY OF DELRAY BEACH)
C05.05	DETAILS (CITY OF DELRAY BEACH)
C06.01	SWPPP GENERAL REQUIREMENTS
C06.02	EROSION CONTROL PLAN PHASE I
C06.03	EROSION CONTROL PLAN PHASE II
C06.04	EROSION & SEDIMENT CONTROL DETAILS
LP.01	LANDSCAPE PLAN
LP.02	TREE REPLACEMENT PLAN
LP.03	LANDSCAPE DETAILS
IR.01	IRRIGATION PLAN
IR.02	IRRIGATION DETAILS
SA01.01	SITE ACCESS PLAN
1 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY

GENERAL NOTE

- ALL CONSTRUCTION SHALL BE EXECUTED AS SHOWN ON THESE PLANS. ANY REVISIONS AND/OR DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD AND MAY RESULT IN ADDITIONAL PERMITTING EFFORTS THROUGH THE RELATED PERMITTING AGENCY. THE CONTRACTOR SHALL ACKNOWLEDGE THAT REVISIONS AND/OR DEVIATIONS MAY RESULT IN ADDITIONAL PERMITTING REQUIREMENTS AND POSSIBLY AFFECT SCHEDULING OF WORK.
- UNLESS OTHERWISE NOTED ON PLANS, OR WITHIN THE PROJECT SPECIFICATIONS, ALL MATERIALS AND CONSTRUCTION ARE TO BE IN ACCORDANCE WITH DESIGN AND CONSTRUCTION STANDARDS OF THE PERMITTING AGENCY HAVING JURISDICTION; THE LOCALLY ADOPTED BUILDING CODE; AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
- 3. PERMITS MAY BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS TO ACKNOWLEDGE AND SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- 4. THIS PARCEL OF LAND MAY BE SUBJECT TO ANY AND ALL RECORDED (AND POSSIBLY UNRECORDED) EASEMENTS, RESTRICTIONS, AND COVENANTS.
- 5. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR VERIFICATION OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. CALL AREA ONE CALL SYSTEM 48 HOURS PRIOR TO ANY EXCAVATION.
- 6. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IN A TIMELY MANNER.
- 7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS AND BENCHMARKS FROM DISTURBANCE. SURVEY MONUMENTS DISTURBED BY CONSTRUCTION ARE TO BE REPLACED AND ADJUSTED VIA A LAND SURVEYOR REGISTERED IN THE STATE FOR WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR SHALL COORDINATE WORK EFFORTS WITH THE OWNER TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF THE FACILITIES.
- 9. NO BLASTING OR BURNING IS ALLOWED ON THE PROJECT, UNLESS OTHERWISE DIRECTED OR NOTED BY THE ENGINEER.
- 10. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED. HOWEVER IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ENGINEER AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

REGULATORY STANDARDS AND

- REQUIREMENTS
- 1. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 2. COMPLY WITH ANSI A10.6, "SAFETY REQUIREMENTS FOR CONSTRUCTION AND DEMOLITION.
- 3. COMPLY WITH NFPA 241, "SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS."

DEMOLITION AND CLEARING

- 1. DEMOLITION AND CLEARING OPERATIONS SHALL CONFORM TO APPLICABLE REGULATIONS RELATING TO ENVIRONMENTAL REQUIREMENTS DISPOSAL OF DEBRIS, BURNING OF DEBRIS ON SITE, AND USE OF HERBICIDES.
- 2. DEMOLITION WASTE SHALL BE DISPOSED OF IN A LEGAL MANNER. REMOVED DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF WASTE IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. DO NOT BURY OR BURN DEMOLITION WASTE ON-SITE.
- 3. HISTORIC ITEMS, RELICS, ANTIQUES, AND SIMILAR OBJECTS, INCLUDING, BUT NOT LIMITED TO CORNERSTONES AND THEIR CONTENTS, COMMEMORATIVE PLAQUES AND TABLETS, AND OTHER ITEMS OF INTEREST OF VALUE TO OWNER THAT MAY BE UNCOVERED DURING DEMOLITION REMAIN THE PROPERTY OF THE OWNER.
- ARRANGE DEMOLITION SCHEDULE SO AS NOT TO INTERFERE WITH OWNER'S ON-SITE OPERATIONS OR OPERATIONS OF ADJACENT OCCUPIED BUILDINGS.
- 5. CONDUCT BUILDING DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
- 6. AUTHORITY FOR PERFORMING SITE CLEARING INDICATED ON PROPERTY ADJOINING OWNER'S PROPERTY MUST BE OBTAINED BY OWNER PRIOR TO COMMENCEMENT OF CLEARING. DO NOT PROCEED WITH WORK ON ADJOINING PROPERTY UNTIL DIRECTED BY ENGINEER.
- 7. PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS a. VERIFY THAT HAZARDOUS MATERIALS, IF PRESENT, HAVE BEEN REMEDIATED. b. REVIEW PROJECT RECORD DRAWINGS OF EXISTING BUILDING AND EXISTING
- SITE IMPROVEMENTS c. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND SALVAGED. TAKE DIGITAL PHOTOGRAPHS OR VIDEO OF PROJECT SITE AND
- SURROUNDING PROPERTIES, INCLUDING EXISTING ITEMS TO REMAIN DURING CONSTRUCTION OPERATIONS, RECORD CONDITIONS THAT MIGHT BE
- MISCONSTRUED AS DAMAGE CAUSED BY SALVAGE OPERATIONS. d. CLEAN, PACK, IDENTIFY, AND TRANSPORT SALVAGED ITEMS TO STORAGE
- AREA DESIGNATED BY OWNER.
- e. REMOVE REFRIGERANT FROM THE MECHANICAL EQUIPMENT ACCORDING TO 40 CFR 82 AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. f. COORDINATE ANY ADDITIONAL REQUIREMENTS FOR DEMOLISHING OR
- RELOCATING SITE MECHANICAL AND ELECTRICAL ITEMS WITH OWNER AND OTHER AUTHORITIES HAVING JURISDICTION. g. ASSURE THAT ANY REQUIRED INITIAL EROSION AND SEDIMENT CONTROL
- MEASURES ARE INSTALLED AND IN WORKING ORDER h. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP-OFF EXISTING UTILITIES SERVING BUILDINGS AND STRUCTURES TO BE DEMOLISHED. CUT AND REMOVE PIPE OR CONDUIT A MINIMUM OF 24 INCHES BELOW GRADE. CAP,
- VALVE, PLUG AND SEAL REMAINING PORTION OF PIPE OR CONDUIT. i. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTION AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- 8. PRIOR TO COMMENCEMENT OF SITE CLEARING OPERATIONS, VERIFY THE FOLLOWING:
- a. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER. b. UTILITY LOCATOR SERVICE HAS DETERMINED AND FLAGGED THE LOCATION
- OF UNDERGROUND UTILITIES. c. EXISTING SITE IMPROVEMENTS AND UTILITIES TO REMAIN HAVE BEEN
- PROTECTED. d. BENCHMARKS AND SURVEY CONTROL POINTS HAVE BEEN PROTECTED FROM
- DISTURBANCE e. TREES AND VEGETATION TO REMAIN (OR TO BE RELOCATED) HAVE BEEN
- LOCATED AND CLEARLY FLAGGED IN ACCORDANCE WITH TREE PROTECTION AND TRIMMING REQUIREMENTS.
- 9. COORDINATE UTILITY DEMOLITION AND ABANDONMENT WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION.
- 10. IN THE EVENT BUILDINGS IMMEDIATELY ADJACENT TO THE DEMOLITION AREA WILL BE OCCUPIED, CONDUCT SITE DEMOLITION SO OPERATIONS OF OCCUPIED

BUILDINGS WILL NOT BE DISRUPTED. MAINTAIN ACCESS TO AND FROM EXISTING WALKWAYS, EXITS, AND OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT BUILDINGS

- PROTECT EXISTING FACILITIES AND ADJACENT WALKWAYS, LOADING DOCKS, BUILDING ENTRIES AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS. MAINTAIN EXITS FROM EXISTING BUILDINGS.
- 12. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, AS NECESSARY, AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. WHERE OPEN EXCAVATIONS OR OTHER HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTIONS IN PLACE.
- 13. PROTECT EXISTING UTILITIES FROM DAMAGE DURING DEMOLITION OPERATIONS. MAINTAIN OPERATION OF UTILITY SERVICES TO REMAIN. PROVIDE AT LEAST 72 HOURS' NOTICE TO OCCUPANTS OF AFFECTED BUILDINGS IF SHUTDOWN OF SERVICE IS REQUIRED.
- 14. IF REMOVAL, RELOCATION, OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT OCCUPIED BUILDINGS, MAINTAIN CONTINUITY OF SERVICE TO ADJACENT BUILDINGS BY PROVIDING TEMPORARY UTILITIES THAT BYPASS BUILDINGS AND STRUCTURES TO BE DEMOLISHED. TEMPORARY BYPASS SERVICES SHALL BE PROVIDED IN ACCORDANCE WITH UTILITY COMPANY OR AUTHORITIES HAVING JURISDICTION.
- 15. TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF EXISTING IMPROVEMENTS BEING DEMOLISHED. ALL SHORING OPERATIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND INSTALLED PER OSHA REQUIREMENTS.
- 16. DEMOLITION OF STRUCTURAL FRAMING MEMBERS SHALL PROCEED SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL. COMPLETE BUILDING DEMOLITION OPERATIONS ABOVE EACH FLOOR OR TIER BEFORE DISTURBING SUPPORTING MEMBERS ON THE NEXT LOWER LEVEL. REMOVE DEBRIS FROM ELEVATED PORTIONS OF THE BUILDING BY CHUTE, HOIST, OR OTHER DEVICE THAT WILL CONVEY DEBRIS TO GRADE LEVEL IN A CONTROLLED DESCENT.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN
- 18. CLEARING AND GRUBBING:
- a. REMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. DO NOT REMOVE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR TO BE RELOCATED.
- b. CUT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A CLEAN AND CAREFUL MANNER AND ONLY WHERE SUCH ROOTS AND BRANCHES OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
- c. CLEAR UNDERGROWTH AND DEADWOOD WITHOUT DISTURBING SUBSOIL. d. GRIND STUMPS AND REMOVE ROOTS, OBSTRUCTIONS, AND DEBRIS EXTENDING TO A DEPTH BELOW EXPOSED SUBGRADE AS FOLLOWS: • FOOTINGS, SLABS ON GRADE AND BOTTOM SLABS OF STRUCTURES: 36 INCHES.
- ROADS AND PAVEMENT AREAS: 18 INCHES.
- AREAS TO BE GRASSED OR LANDSCAPED: 8 INCHES.
- AREAS TO BE FILLED: 12 INCHES.
- e. USE ONLY HAND METHODS FOR GRUBBING WITHIN TREE PROTECTION ZONES. f. CHIP REMOVED TREE BRANCHES AND DISPOSE OF OFF-SITE. g. UNLESS FURTHER EXCAVATION OF EARTHWORK IS INDICATED, FILL
- DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- 19. TOPSOIL STRIPPING a. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL
- b. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS. REMOVE SUBSOIL AND NON-SOIL MATERIALS FROM TOPSOIL. INCLUDING TRASH, DEBRIS, WEEDS, ROOTS, AND OTHER WASTE MATERIALS.
- c. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST. LIMIT HEIGHT OF TOPSOIL STOCKPILES TO 72 INCHES. DO NOT STOCKPILE TOPSOIL WITHIN TREE PROTECTION ZONES. STOCKPILE SURPLUS TOPSOIL TO ALLOW FOR RESPREADING DEEPER TOPSOIL.
- 20 SITE IMPROVEMENTS
- a. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. REMOVE SLABS, PAVING, CURBS, GUTTERS, AND AGGREGATE BASE AS INDICATED.
- b. UNLESS EXISTING FULL-DEPTH JOINTS COINCIDE WITH LINE OF DEMOLITION, NEATLY SAW-CUT LENGTH OF EXISTING PAVEMENT TO REMAIN BEFORE REMOVING EXISTING PAVEMENT. SAWCUT ALL FACES VERTICALLY.
- c. PAINT CUT ENDS OF STEEL REINFORCEMENT IN CONCRETE TO REMAIN TO PREVENT CORROSION.
- 21. DISPOSAL a. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS, INCLUDING TRASH AND
- DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. b. REMOVE AND TRANSPORT DEBRIS AND RUBBISH IN A MANNER THAT WILL PREVENT SPILLAGE ON STREETS OR ADJACENT AREAS. CLEAN UP SPILLAGE
- FROM STREETS AND ADJACENT AREAS. c. COMPLY WITH FEDERAL, STATE AND LOCAL HAULING AND DISPOSAL
- REGULATIONS.
- d. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NON-RECYCLABLE STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

TREE PROTECTION AND TRIMMING

- INSTALL TEMPORARY FENCING AROUND TREE PROTECTION ZONES TO PROTECT TREES AND VEGETATION DESIGNATED TO REMAIN FROM CONSTRUCTION DAMAGE. MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES. AND REMOVE WHEN CONSTRUCTION IS COMPLETE.
- 2. KEEP TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- 3. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL INSIDE TREE PROTECTION ZONE; OR PERMIT VEHICLES OR FOOT TRAFFIC WITHIN TREE PROTECTION ZONE, OR ALLOW FIRES WITHIN TREE PROTECTION ZONE
- PROTECT TREE ROOT SYSTEMS FROM THE FOLLOWING:
- a. DAMAGE CAUSED BY RUNOFF OR SPILLAGE OF NOXIOUS MATERIALS WHILE MIXING, PLACING, OR STORING CONSTRUCTION MATERIALS; b. DAMAGE CAUSED BY PONDING, ERODING, OR EXCESSIVE WETTING FROM DEWATERING OPERATIONS.
- UNLESS OTHERWISE INDICATED, DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES. WHERE EXCAVATION FOR NEW CONSTRUCTION IS UNAVOIDABLE, HAND CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
- WHERE UTILITY TRENCHES ARE UNAVOIDABLE WITHIN TREE PROTECTION 6. ZONES, TUNNEL UNDER OR AROUND ROOTS BY DRILLING, AUGER BORING, PIPE JACKING, OR DIGGING BY HAND. DO NOT CUT MAIN LATERAL ROOTS OR TAPROOTS
- PROMPTLY REPAIR TREES DAMAGED BY CONSTRUCTION OPERATIONS WITHIN 24 HOURS. TREAT DAMAGED TRUNKS, LIMBS, AND ROOTS ACCORDING TO

3.

ARBORIST'S WRITTEN INSTRUCTIONS

TREE PRUNING: PRUNE TREES ACCORDING TO ANSI A300 (PART 1), 'TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES (PRUNING).'

EROSION AND SEDIMENTATION

CONTROL

PRIOR TO COMMENCEMENT OF ANY CLEARING AND EXCAVATION WITHIN A WORK AREA, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND IN WORKING ORDER

PERFORM WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE AND FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND SEDIMENT CONTROL FEATURES TO PREVENT AND CONTROL SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION AREAS AND ENTERING EXISTING STORMWATER FACILITIES AND SURFACE WATERS. ADDITIONAL MEASURES BEYOND THOSE SHOWN WITHIN THESE PLANS MAY BE NECESSARY DURING CONSTRUCTION, INCLUDING TEMPORARY VEGETATIVE MEASURES AND INSTALLATION OF OTHER SILT TRAPPING MEASURES.

THE CONTRACTOR IS REQUIRED TO ADJUST THE EROSION AND SEDIMENT CONTROLS AS NECESSARY AND AS SHOWN ON THE DRAWINGS: AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO INSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

ALL BEST MANAGEMENT EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED BY THE SUPERINTENDENT. THE PERSON RESPONSIBLE FOR THE DAY TO DAY OPERATIONS; OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST EVERY OTHER WEEK AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR GREATER.

ALL BEST MANAGEMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

EARTHWORK

IN THE EVENT OF ANY UNFORESEEN CONDITIONS THAT ARE ENCOUNTERED AND NOT COVERED BY THESE NOTES DURING GRADING OPERATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND RELATED OFF-SITE WORK SO AS TO ESTABLISH THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SPECIFIED WITHIN THE PLANS.

ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION. ALL SHORING AND ASSOCIATED TEMPORARY STRUCTURES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND INSTALLED PURSUANT TO OSHA REQUIREMENTS.

SOIL MATERIALS:

UNSATISFACTORY SOILS CONSIST OF SOIL CLASSIFICATION GROUPS ML, OL, CH, MH, OH, AND PT, OR A COMBINATION OF THESE GROUPS. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.

SATISFACTORY SOILS: ASTM D 2487 SOIL CLASSIFICATION GROUPS AS IDENTIFIED ON THE DRAWINGS, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION. DEBRIS WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATERIAL.

SUBGRADE INSPECTION:

PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH HEAVY PNEUMATIC-TIRED EQUIPMENT TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES. a. COMPLETELY PROOF-ROLL SUBGRADE IN TWO DIRECTIONS, REPEATING

- PROOF ROLLING IN DIRECTION PERPENDICULAR TO FIRST DIRECTION. LIMIT VEHICLE SPEED TO 3 MPH,
- b. PROOF-ROLL WITH A LOADED 10-WHEEL, TANDEM-AXLE DUMP TRUCK WEIGHING NOT LESS THAN 15 TONS.
- c. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS. AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.

RECONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER, OR CONSTRUCTION ACTIVITIES AS DIRECTED BY ENGINEER, WITHOUT ADDITIONAL COMPENSATION.

BACKFILL:

- THE CONTRACTOR SHALL PLACE AND COMPACT BACKFILL IN EXCAVATIONS PROMPTLY, BUT NOT BEFORE COMPLETING THE FOLLOWING:
- a. CONSTRUCTION BELOW FINISH GRADE INCLUDING, WHERE APPLICABLE SUBDRAINAGE, DAMPPROOFING, WATERPROOFING, AND PERIMETER
- INSULATION b. SURVEYING LOCATIONS OF UNDERGROUND UTILITIES FOR RECORD
- DRAWINGS c. TESTING AND INSPECTING UNDERGROUND UTILITIES.
- d. REMOVING CONCRETE FORMWORK.
- e. REMOVING TRASH AND DEBRIS.
- f. REMOVING TEMPORARY SHORING AND BRACING, AND SHEETING. g. INSTALLING PERMANENT OR TEMPORARY HORIZONTAL BRACING ON HORIZONTALLY SUPPORTED WALLS.
- COMPACTION OF SOIL BACKFILLS AND FILLS:

CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8-INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4-INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.

2. PLACE BACKFILL AND FILL SOIL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.

COMPACT SOIL MATERIALS TO NOT LESS THAN THE PLAN SPECIFIED PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 OR ASTM D 1557. (SEE CIVIL DETAILS FOR SUMMARY OF TRENCH BACKFILL AND BEDDING MATERIALS AND PLACEMENT SPECIFICATIONS).

GRADING

- GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE. FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO DETAILED/INDICATED CROSS-SECTIONS. LINES, AND ELEVATIONS INDICATED IN PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
- a. LAWN OR UNPAVED AREAS: PLUS OR MINUS ONE (1) INCH. b. WALKS: PLUS OR MINUS ONE (1) INCH.
- c. PAVEMENTS: PLUS OR MINUS ONE-HALF (1/2) INCH.
- d. GRADING INSIDE BUILDING LINES: FINISH SUBGRADE TO A TOLERANCE OF

ONE-HALF (1/2) INCH WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE.

- SUBBASE AND BASE COURSES: a. PLACE SUBBASE AND BASE COURSE ON SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE.
- b. PLACE SUBBASE AND BASE COURSE 6 INCHES OR LESS IN COMPACTED THICKNESS IN A SINGLE LAYER.
- c. PLACE SUBBASE AND BASE COURSE EXCEEDING 6 INCHES IN COMPACTED THICKNESS IN LAYERS OF EQUAL THICKNESS, WITH NO COMPACTED LAYER
- MORE THAN 6 INCHES THICK OR LESS THAN 3 INCHES. COMPACT SUBBASE AND BASE COURSE AT OPTIMUM MOISTURE CONTENT TO
- REQUIRED GRADES, LINES. CROSS SECTIONS. AND THICKNESS ACCORDING TO ASTM D 698 OR ASTM D 1557, AS INDICATED ON THE DRAWING DETAILS.

FIELD QUALITY CONTROL:

- 1. THE TESTING AGENCY WILL INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. CONTRACTOR SHALL PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.
- FOOTING SUBGRADE: AT FOOTING SUBGRADES, AT LEAST ONE TEST OF EACH SOIL STRATUM WILL BE PERFORMED TO VERIFY DESIGN BEARING CAPACITIES. SUBSEQUENT VERIFICATION AND APPROVAL OF OTHER FOOTING SUBGRADES MAY BE BASED ON A VISUAL COMPARISON OF SUBGRADE WITH TESTED SUBGRADE WHEN APPROVED BY ENGINEER.
- THE TESTING AGENCY WILL TEST COMPACTION OF SOILS IN PLACE ACCORDING TO ASTM D 1556, ASTM D 2167, ASTM D 2922, AND ASTM D 2937, AS APPLICABLE TESTS WILL BE PERFORMED AT THE FOLLOWING LOCATIONS AND FREQUENCIES: a. PAVED AND BUILDING SLAB AREAS: AT SUBGRADE AT EACH COMPACTED FILL
- AND BACKFILL LAYER, AT LEAST 1 TEST FOR EVERY 10,000 SQ. FT. OR LESS OF PAVED AREA OR BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS. b. FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH, BUT NO FEWER
- THAN 2 TESTS. c. TRENCH BACKFILL: AT EACH COMPACTED INITIAL AND FINAL BACKFILL LAYER, AT LEAST 1 TEST FOR EACH 150 FEET OR LESS OF TRENCH LENGTH, BUT NO FEWER THAN 2 TESTS.
- IF THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- ALL FIELD QUALITY CONTROL TESTS THAT FAIL TO MEET THE SPECIFIED COMPACTION DENSITY SHALL BE REPORTED TO THE ENGINEER.

GENERAL UTILITY NOTES

- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR VERIFICATION OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. CALL THE AREA ONE CALL SYSTEM 48 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- THE CONTRACTOR SHALL COORDINATE WORK EFFORTS WITH THE OWNER TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF THE FACILITIES.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS AND BENCHMARKS FROM DISTURBANCE. SURVEY MONUMENTS DISTURBED BY CONSTRUCTION ARE TO BE REPLACED AND ADJUSTED VIA A LAND SURVEYOR REGISTERED IN THE STATE FOR WHICH THE PROJECT IS LOCATED.
- EXISTING UTILITIES SHOWN HEREIN ARE BASED ON AVAILABLE RECORDS AND FIELD INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO EXCAVATION WITHIN WORK AREAS. THE ENGINEER SHALL BE NOTIFIED UPON DISCOVERY OF ANY DISCREPANCIES THAT WILL AFFECT INSTALLATION OF WORK OR DISCOVERY OF JNCHARTED UTILITIES WHICH MAY REQUIRE RELOCATION. NOTIFICATION SHALL BE DONE IN A TIMELY MANNER.
- WHERE APPLICABLE, THE CONTRACTOR SHALL MAINTAIN ALL FENCING, SIGNS, DETOURS, FLAGMEN, SIGNALS, ETC., FOR ANY OPEN TRENCHES, HOLES OR PITS. ALL TRENCHES, HOLES OR PITS SHALL BE CLOSED OR PROTECTED BY BARRICADES AT THE END OF THE DAY.
- PERMITS MAY BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE 5. CONTRACTOR IS TO ACKNOWLEDGE AND SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR WORK WITHIN PUBLIC RIGHT-OF-WAY.
- 8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW THE CONSTRUCTED CONDITIONS OF ALL WORK INSTALLED. SEE "AS-BUILT" REQUIREMENTS FOR ADDITIONAL INFORMATION.
- 9. ALL VALVE BOXES, METER BOXES, VAULTS, CLEANOUTS, HOLE COVERS, FIRE HYDRANTS AND OTHER APPURTENANCES THAT ARE TO REMAIN IN SERVICE WITHIN THE PROJECT AREA SHALL BE ADJUSTED TO CONFORM TO FINISHED GRADE
- 10. ALL UNDERGROUND UTILITIES MUST BE IN PLACE, TESTED AND INSPECTED AS REQUIRED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- 11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
- ALL UTILITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING SHOULD BE CONTACTED BY THE CONTRACTOR: GAS
- TELEPHONE
- CABLE
- POWER CITY/COUNTY WATER AND SEWER
- CITY/COUNTY/STATE TRAFFIC SIGNAL UTILITY (FIBER, HARDWIRE TRAFFIC SIGNAL INTERCONNECT)
- 13. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS ACCURACY. UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE OF THESE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 14. COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES
 - WHITE PROPOSED EXCAVACTION. PINK TEMPORARY SURVEY MARKINGS. RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES. YELLOW - GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS. ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT. BLUE - POTABLE WATER. PURPLE - RECLAIMED WATER, IRRIGATION AND SLURRY LINES. GREEN - SEWERS AND DRAIN LINES.

WATER SYSTEM NOTES

- A VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN SANITARY SEWERS AND WATER MAINS. IF CLEARANCE CANNOT BE ACHIEVED BY ADJUSTING WATER MAINS THE SANITARY SEWER SHALL BE CONSTRUCTED PER SANITARY NOTE No. 1 BELOW.
- A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- STANDARDS AND SPECIFICATIONS.
- 5. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.
- ALL BURIED DUCTILE IRON PIPE SHALL BE CLASS 53 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C150) AND ANSI A 21.51 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8 OR A 21.51 AND SHALL BE MORTAR LINED, STANDARD THICKNESS, AND BITUMINOUS SEALED IN ACCORDANCE WITH ANSI A (AWWA C 104-71).
- ALL BURIED FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104.
- CONTRACTOR TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
- THRUST BLOCKING AND/OR RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.
- 10. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241, AND COLOR CODED BLUE.
- 11. ALL FITTINGS 3" AND SMALLER SHALL BE CLASS 160 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.
- 12. ALL WATER MAINS AND WATER SERVICES TO BE INSTALLED UNDER ROAD UNDERDRAIN SHALL MAINTAIN 18" SEPARATION.
- 13. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY DEPARTMENT OF PUBLIC UTILITIES.
- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT AND AWWA SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- 5. CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING REQUIRED TO OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM THROUGH LOCAL REGULATORY AGENCIES. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

SANITARY SEWER NOTES

ADVANCE TO SCHEDULE INSPECTION.

PARTIES IS CONTRACTOR'S RESPONSIBILITY.

THE SITE GEOTECHNICAL REPORT

- A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER.
- 2. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE, SDR 26 AND COLOR CODED GREEN.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- PVC PIPE AND FITTINGS SHALL CONFORM WITH A.S.T.M. SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 26. INSTALLATION OF SDR PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF A.S.T.M. SPECIFICATION DESIGNATION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- ALL PVC FORCE MAINS WITHIN PUBLIC R/W SHALL BE CLASS 200, SDR 18, WITH MECHANICAL JOINTS, AND HAVE A GREEN MAGNETIC TAPE A MINIMUM OF 3" WIDE, PLACED 24" BELOW THE PROPOSED GRADE. THE PRINT ON THE MAGNETIC 3. DO NOT APPLY ASPHALT MATERIALS IF SUBGRADE IS FROZEN, WET, OR TAPE SHOULD READ "FORCE MAIN"
- ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE D.I.P. ARE TO BE POLYLINED OR EPOXY LINED.
- 8. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING. SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF THREE (3) FEET AND SHALL BE INSTALLED ACCOMPANIED BY A METAL TAPE SIMILAR TO "TERRATAPE"

- 4. ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY

- COLORED GREEN AND LAID ONE FOOT ABOVE THE PIPE. 10. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN
- 11. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
- 12. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL COORDINATION AND NOTIFICATION OF ALL
- **GEOTECHNICAL NOTE** CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES OUTLINED IN

STORM DRAINAGE

- UNLESS OTHERWISE SHOWN ON PLANS, ALL PVC PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING:
- a. PVC SEWER PIPE AND FITTINGS, NPS 15-INCH AND SMALLER ASTM D 3034, SDR 35, WITH BELL-AND-SPIOT ENDS FOR GASKETED JOINTS USING ASTM F 477, ELASTOMERIC SEALS. b. PVC SEWER PIPE AND FITTINGS, NPS 18-INCH AND LARGER: ASTM F 679, T-1
- WALL THICKNESS, WITH BELL-AND-SPIGOT ENDS FOR GASKETED JOINTS USING ASTM F 477, ELASTOMERIC SEALS. c. PIPE JOINTS SHALL BE WATER-TIGHT.
- 2. UNLESS OTHERWISE SHOWN ON THE PLANS, ALL REINFORCED CONCRETE PIPE (RCP) AND FITTINGS SHALL CONFORM TO THE FOLLOWING: a. ASTM C 76, WITH BELL-AND-SPIGOT OR GROOVE AND TONGUE ENDS AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
- b. RCP PIPE SHALL BE CLASS III, WALL B. c. WHEN LOCATED IN TRAFFIC AREAS WITH LESS THAN 2 FEET OF COVER, RCP PIPE SHALL BE CLASS IV. WALL B.
- d. WHEN LOCATED UNDER AIRCRAFT RAMPS OR RAILROAD OPERATIONS, RCP PIPE SHALL BE CLASS V, WALL B WITH O-RING JOINTS.
- e. PIPE CLASS SHALL BE CLEARLY "STAMPED" ON EACH SEGMENT OF RCP PIPE DELIVERED TO THE PROJECT. f. PIPE JOINTS SHALL BE WATER-TIGHT.
- CONTRACTOR SHALL HANDLE AND STORE PIPE, FITTINGS, GASKETS, AND RELATED APPURTENANCES IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 4. CONTRACTOR SHALL HANDLE MANHOLES. DROP INLETS, CURB INLETS, PIPE END COMPONENTS AND RELATED APPURTENANCES ACCORDING TO MANUFACTURER'S WRITTEN RIGGING INSTRUCTIONS.
- 5. PVC PLASTIC PIPE AND FITTINGS SHALL NOT BE STORED IN DIRECT SUNLIGHT.
- 6. ALL PIPE. FITTINGS, GASKETS, AND SEALS SHALL BE PROTECTED FROM DIRT AND DAMAGE.
- ALL STORM SEWER LINES SHALL BE TELEVISED AND THE VIDEO REPORTS SUBMITTED TO THE ENGINEER FOR REVIEW a. VIDEO REPORTS ARE TO BE SUBMITTED ON CD-ROM OR DVD COMPACT DISKS. b. ALL LINES MUST BE FLUSHED AND CLEANED WITH POTABLE WATER PRIOR TO
- TELEVISING c. FOR SUBMERGED SYSTEMS, POND WATER LEVELS SHALL BE LOWERED (PUMPED DOWN) BELOW THE LOWEST PIPE ENTRANCE INVERT.
- d. VIDEO REPORTS WILL BE USED TO VIEW THE CONDITION OF THE STORM SEWER PIPE PRIOR TO ACCEPTANCE. WORKMANSHIP AND CLEANLINESS OF THE INSTALLATION WILL BE CHECKED.
- AS-BUILT SURVEY: THE CONTRACTOR SHALL VERIFY STORM SEWER IMPROVEMENTS ALIGNMENT BY PROVIDING AN "AS-BUILT" SURVEY OF CONSTRUCTED CONDITIONS FROM A LICENSED SURVEYOR REGISTERED IN THE STATE OF PROJECT LOCATION. THE "AS-BUILT" SURVEY SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION PERTAINING TO THE INSTALLATION OF THE STORM SEWER SYSTEM PIPING AND STRUCTURES. DATUM ELEVATION AND BENCHMARK LOCATIONS SHALL BE INDICATED. INFORMATION TO BE INCLUDED IS AS FOLLOWS:
- a. PIPE TYPE, SIZE. AND INVERT ELEVATIONS. b. MANHOLE, DROP INLET, CURB INLET, YARD DRAIN, AND POND CONTROL STRUCTURE LOCATIONS WITH ELEVATIONS OF BOTTOM, RIM OR GRATE ELEVATION SHOWN.
- c. POND CONTROL STRUCTURES: SHOW INFORMATION ON ALL FLOW CONTROL APPURTENANCES AND OUTLET PIPING.

ASPHALT PAVING

- 1. THE CONTRACTOR IS TO PROVIDE BARRICADES, SIGNS, FLASHERS, AND FLAG PERSONNEL AS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION IS TO CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES": LATEST EDITION.
- 2. ALL ASPHALT PAVING MATERIALS, WORKMANSHIP, AND INSTALLATION REQUIREMENTS SHALL COMPLY WITH THE STANDARD SPECIFICATIONS OF THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) FOR THE STATE IN WHICH THE WORK OCCURS WITH SOME EXCLUSIONS. THE DOT PAYMENT PROCEDURES AND SAFETY REQUIREMENTS SHALL GENERALLY NOT APPLY. a. COARSE AGGREGATE. FINE AGGREGATE AND MINERAL FILLERS: IN
- ACCORDANCE WITH D.O.T. MATERIAL STANDARDS AND ASSOCIATED CONSTRUCTION SPECIFICATIONS.
- b. ASPHALT BINDER, ASPHALT CEMENT, PRIME COAT, AND TACK COAT: IN ACCORDANCE WITH D.O.T. MATERIAL STANDARDS AND ASSOCIATED CONSTRUCTION SPECIFICATIONS
- c. JOINT SEALANT: ASTM 0 6690 OR AASHTO M 324. TYPE II OR III, HOT APPLIED, SINGLE COMPONENT, POLYMER-MODIFIED BITUMINOUS SEALANT.
- d. PAVEMENT-MARKING PAINT: IN ACCORDANCE WITH D.O.T. MATERIAL STANDARDS AND ASSOCIATED CONSTRUCTION SPECIFICATIONS. COLORS AS INDICATED.
- EXCESSIVELY DAMP; OR IF RAIN IS IMMINENT OR EXPECTED BEFORE TIME REQUIRED FOR ADEQUATE CURE. APPLY ONLY AT D.O.T. RECOMMENDED SURFACE TEMPERATURE.
- 4. INSTALLATION TOLERANCES:
- a. PAVEMENT THICKNESS: THE AVERAGE OF THE MEASURED THICKNESS OF THE PAVEMENT LAYERS SHALL MEET OR EXCEED THE REQUIRED THICKNESS FOR THOSE LAYERS, AND THE MINIMUM THICKNESS IN ANY ONE AREA SHALL NOT BE LESS THAN 0.25 INCHES BELOW THE REQUIRED THICKNESS.
- b. PAVEMENT SURFACE SMOOTHNESS: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS:
- BASE COURSE: 1/4 -INCH SURFACE COURSE: 1/4 -INCH
- c. CROWNED SURFACES: TEST WITH CROWNED TEMPLATE CENTERED AND AT RIGHT ANGLE TO CROWN. MAXIMUM ALLOWABLE VARIANCE FROM TEMPLATE IS 1/4 -INCH.
- 5. PAVEMENT MARKINGS SHALL BE MADE WITH NON-THERMOPLASTIC ACRYLIC MARKING PAINT MEETING THE DOT MATERIAL REQUIREMENTS. ALLOW PAVING TO AGE FOR 30 DAYS BEFORE STARTING PAVEMENT MARKING. PROCEED VVITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS AND COLORS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS AND ONLY AT MANUFACTURER'S RECOMMENDED AMBIENT AND SURFACE TEMPERATURES.

AS-BUILT SURVEY

- 1. UPON COMPLETION OF THE WORK, THE SITEWORK SUB-CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL LAND SURVEYOR TO PERFORM AN "AS-BUILT" SURVEY. THE "AS-BUILT" SURVEY SHALL INCLUDE LOCATION AND ELEVATION DATA FOR ALL CONSTRUCTED IMPROVEMENTS. SPECIFIC INFORMATION INCLUDED IN THE SURVEY SHALL BE AS FOLLOWS: a. ALL PAVEMENT SURFACES INCLUDING CURBS, WALKS, RAMPS, PADS, ETC.
- b. ALL SANITARY SEWER c. ALL STORM SEWER
- d. ALL STORM DETENTION, RETENTION, AND WATER QUALITY POND GRADING e. EMBANKMENT AND LAWN AREA GRADING
- f. BUILDING FINISH FLOOR ELEVATION
- g. BUILDING CORNER LOCATIONS
- h. OUT BUILDINGS, IF APPLICABLE
- i. WATER, GAS, BURIED ELECTRIC AND BURIED TELECOM LINES j. LIGHT POLE LOCATIONS
- k. STRIPING AND PAVEMENT MARKINGS
- I. TREE LOCATIONS WITH SIZE AND SPECIES





GROUP, PLI 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602

> [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

S

Σ

Ο

Ш

 \mathbf{m}

R

LL





KEYED NOTES			
1	EXISTING CONCRETE CURB TO BE REMOVED.		
2	EXISTING CONCRETE SIDEWALK AND RAMPS TO BE SAWCUT AND REMOVED.		
3	EXISTING STRIPE TO BE SEAL COATED.		
4	EXISTING TREES TO BE REMOVED.		

LEGEND	
	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	EXISTING ASPHALT/CONCRETE TO BE REMOVED
	EXISTING SIDEWALK TO BE REMOVED
	EXISTING TO BE REMOVED
	TREE BARRIER LINE
\bigotimes	EXISTING TREE TO BE REMOVED
gas	EXISTING GAS
san	EXISTING SANITARY
tel	EXISTING TELEPHONE
ue	EXISTING UNDERGROUND ELECTRIC
oh	EXISTING OVERHEAD LINE
wm	EXISTING WATER
<u> </u>	EXISTING CONTOUR
× 108.05'	EXISTING GRADE ELEVATION

DEMOLITION NOTES

- 1. CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
- ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
- 3. UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 1.0 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
- TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION, SEE "EROSION & SEDIMENT CONTROL DETAILS".
- 7. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- 8. ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED.

TREE NOTE:

CONTRACTOR TO INSTALL TREE BARRICADES SURROUNDING ALL TREES TO REMAIN. IRRIGATE ALL LANDSCAPING AS NEEDED.







GROUP, PLLC 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602

[p]: 813.695.4649 [f]: 813.445.4211 Certificate No. 27889 IEG JOB NO. 15-223.00

> () S Ш NOWW Ω ELRAY Δ 0 ш > **J** П WEST 5070

ANK

M

Ľ

Ξ

H

3

ĹШ

 $\mathbf{\Omega}$



SITE COMMENTS V2 03.10.23 PRE-PLAN REVIEW 04.25.22 DEMOLITION PLAN

C01.01



KEY	ED NOTES
1	NEW FIFTH THIRD BANK BUILDING. SEE ARCHITECTURAL PLANS.
2	NEW TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
3	NEW 6" BLACK TINTED CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
4	NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
5	NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
6	NEW 4" CONCRETE SIDEWALK, SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
7	NEW 6" X 18" VERTICAL CURB, 3-FOOT CURB TRANSITION AT PATHWAYS. SEE DETAILS, SHEET C05.01.
8	NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
9	NEW WHEEL STOP (TYPICAL OF 3). SEE DETAILS, SHEET C05.01.
(10)	NEW FIFTH THIRD STANDARD BICYCLE RACK. SEE DETAILS, SHEET C05.01.
(11)	NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
(12)	NEW 4-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT) PER CITY STANDARD RT 16.00. SEE DETAILS, SHEET C05.03.
(13)	NEW ACCESSIBLE PARKING SPACE AND ACCESS AISLE PER CITY DETAIL RT 16.00. SEE DETAILS, SHEET C05.03.
(14)	NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
(15)	NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
(16)	NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT).
(17)	NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT).
(18)	NEW ACCESSIBLE PARKING SIGN. SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
(19)	NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
20	NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 2). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
21)	NEW TRANSFORMER PAD. SEE UTILITY PLAN, SHEET C04.01.
22	NEW EXPANSION JOINT. SEE DETAILS, SHEET C05.01.
23	NEW CONTROL JOINT. SEE DETAILS, SHEET C05.01.
24)	NEW AREA LIGHT POLE/DECORATIVE LIGHT POLE. SEE ELECTRICAL SITE PLANS.

SITE PLAN GENERAL NOTES

- 1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- 2. EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
- 3. BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL
- 4. ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
- 5. ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

LANDSCAPE NOTE

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
- 2. CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
- CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



LEGEND

____.

4.

- 🕰

PROPERTY LINE EXISTING TO REMAIN

EXISTING CONCRETE TO REMAIN

PROPOSED CONCRETE LESS THAN 6"

PROPOSED CONCRETE 6" OR GREATER

NEW ASPHALT PAVEMENT

5070 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33484

PC (PLANNED COMMERCIAL)

FOUR CORNERS OVERLAY DISTRICT

12-42-46-14-24-002-0000

1,820 SF BUILDING

24,109 SF / 0.55 AC

±364,501 SF / 8.37 AC

BANK WITH DRIVE THRU

4 SPACE PER 1,000 SF OF G.F.A.

100' CAR STACKING REQUIRED

2 OR 1 PER 10,000 SF BUILDING

1,820 SF x (4 / 1,000 SF) = 8 SPACES

TOTAL PARKING PROVIDED = 12 SPACES

*NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT

MAXIMUM

75%

<u>PROVIDED</u>

 \leq

ш

 \mathbf{M}

Ζ

Ш

2

75%

4,000 SF MINIMUM / 1,820 SF PROPOSED

48 FT MAXIMUM / 17' - 8 ¹/₂" PROPOSED

= 11 SPACES

= 1 SPACES

5,980 SF / 0.14 AC

STANDARD PARKING

HANDICAP PARKING

9' x 18' MINIMUM

4 SPACES

OF MAIN ENTRANCE.

VACANT

SETBACK/BUFFER

PROPOSED CURB

SITE DATA

SITE ADDRESS:	
FOLIO:	
BUILDING AREA:	

EXISTING ZONING:

SITE AREA: TOTAL DEVELOPMENT: SITE AREA

EXISTING USE: FUTURE USE: OPEN SPACE OF SITE:

PARKING DATA

BANK PARKING REQUIRED:

TOTAL PARKING PROVIDED:

PARKING SPACE SIZE: DRIVE-THRU STACKING:

BICYCLE PARKING REQUIRED:

PROVIDED:

LOADING ZONE:

BUILDING COVERAGE:

BUILDING HEIGHT:

IMPERVIOUS ARE REQUIREMENTS:

IMPERVIOUS AREA (75% MAX)

ANDSCAPE REQUIREMENTS: REQUIRED <u>PROVIDED</u> LANDSCAPE BUFFER - FRONT (ATLANTIC AVENUE) = 30' 9.5' * LANDSCAPE BUFFER - EAST (INTERIOR SIDE) 5' * = 10' LANDSCAPE BUFFER - WEST (INTERIOR SIDE) 11.9' = 10' LANDSCAPE BUFFER - SOUTH (REAR) 10.0' = 10' **BUILDING REQUIREMENTS:** PROVIDED <u>REQUIRED</u> BUILDING SETBACK - FRONT (ATLANTIC AVENUE) = 30' 53.9' BUILDING SETBACK - EAST (INTERIOR SIDE) 30.4' / 11' * = 25' BUILDING SETBACK - WEST (INTERIOR SIDE) = 25' 58.1' BUILDING SETBACK - SOUTH (REAR) = 25' 69.4' MAXIMUM BUILDING HEIGHT = 48' *ATM CANOPY

FLOOD ZONE:

FLOOD ZONE "X" PER FEMA MAP 12099C0978F

SITE AREAS			
AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	24,109	0.55	100.00%
BUILDING	1,820	0.04	8%
	18 120	0.41	75%
	10,129	0.41	15%
TOTAL PERVIOUS	5,980	0.14	25%

)-
· · · · · ·	+





GROUP, PLLO 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649

[f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

> m

Ш

ш

ST

70

O

D

U, Ζ C 4 ΣN 0 R Ň

NISIT SAPPARKHAO, P.E. FL REG. NO. 64085 SAPPARK CENS No. 64085 AFE OF LORIC SIONAL 03/10/2023 SITE COMMENTS V2 03.10.23 SITE COMMENTS V1 01.27.23 PRE-PLAN REVIEW 04.25.22 SITE PLAN







KEYED NOTES:

1	SURFACE SLOPES NOT TO EXCEED 1:48 IN ALL DIRECTIONS.
2	SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:20 RUNNING.
3	SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:12 RUNNING.

ACCESSIBILITY NOTES

- I. ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESS ROUTE SHALL BE A MINIMUM OF 48" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- 5. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



LEGEN

ND		
	EL	ELEVATION
	TYP	TYPICAL
	СО	CLEANOUT
	IE	INVERT ELEVATION
	SE	SUMP ELEVATION
	★ 108.05	EXISTING ELEVATION
	0.00	PROPOSED PAVEMENT ELEVATION
	0.00	TOP OF SIDEWALK/CURB EDGE OF PAVEMENT
		DITCH BOTTOM INLET
		CURB INLET
	FFE	FINISH FLOOR ELEVATION
	RCP	REINFORCED CONCRETE PIPE
	<u>_ HP _</u>	HIGH POINT
	MEG	MATCH EXISTING GRADE
	DS	BUILDING DOWN SPOUT
		12" OR GREATER STORMWATER PIPE
		LESS THAN 12" STORMWATER PIPE
	\sim	PROPOSED SURFACE STORMWATER FLOW
	<u> </u>	EXISTING CONTOUR
	<u> </u>	PROPOSED CONTOUR

CONTROL BENCHMARKS

ELEVATIONS SHOWN HEREON ARE BASED ON BENHMARK #1 BEING A SET NAIL AND DISK "LB 7970", WITH AN ELEVATION OF 20.10 AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM-1988 (NAVD 88).

CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

EROSION CONTROL MEASURE NOTE

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.

PAVING AND GRADING GENERAL NOTES

- . SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
- 2. SEE SITE PLAN SHEET FOR SITE DATA.
- 3. SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- 4. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- 5. ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- 6. ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- 7. CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
- 8. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.









[f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

FIFTH THIRD BANK DELRAY COMMONS

3

 \mathbf{M}

 $\overline{}$

70 WEST ATLANTIC AVE DELRAY BEACH

O

Ñ



C03.01



EXISTING STORM STRUCTURE/PIPING DATA

EX-1 EXISTING STORM CATCH BASIN GRATE = 16.46 = 13.44 (EXISTING) IE (E) = 13.45 (EXISTING) IE (W) IE (S) = 14.50 (PROPOSED) CONTRACTOR TO CORE DRILL EXISTING STRUCTURE BOTTOM AND SEAL WITH NON-SHRINK GROUT.

EX-2 EXISTING STORM STRUCTURE TO BE MODIFIED. GRATE/TOP TO BE RAISED TO EL.: 17.00 SEE DETAILS, SHEET C05.03

STORM STRUCTURE/PIPING DATA

ST-1

BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 10 LF OF 4" PVC @ 1.0% MIN. SLOPE = 16.50

ST-2 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE = 16.40 IE

ST-3 75 LF OF 6" PVC @ 1.0% MIN. SLOPE

ST-4 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE = 15.65 IE

ST-5 20 LF OF 6" PVC @ 5.25% SLOPE

ST-6 8 LF OF 8" PVC @ 1.0% SLOPE

ST-7 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE = 14.60 IE

ST-8 25 LF OF 6" PVC @ 1.0% MIN. SLOPE

ST-9 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE = 15.75 IE

ST-10 72 LF OF 6" PVC @ 1.0% SLOPE

ST-11 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 3 LF OF 4" PVC @ 1.0% MIN. SLOPE = 16.00

ST-12 CONSTRUCT CLEANOUT TOP TO BE SET AT GRADE = 16.47 IE

ST-13 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 3 LF OF 4" PVC @ 1.0% MIN. SLOPE = 16.50

ST-14 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 5 LF OF 4" PVC @ 2.6% SLOPE IE = 16.00

ST-15 BUILDING DOWNSPOUT AND CLEANOUT TOP TO MATCH PROPOSED GRADE 7 LF OF 4" PVC @ 1.0% MIN. SLOPE IE = 16.00

LEGEND	
EL	ELEVATION
TYP	TYPICAL
СО	CLEANOUT
IE	INVERT ELEVATION
SE	SUMP ELEVATION
× 49.58	EXISTING ELEVATION
	DITCH BOTTOM INLET
	CURB INLET
FFE	FINISH FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
	STORM SEWER STRUCTURE NUMBER
DS	BUILDING DOWN SPOUT
	12" OR GREATER STORMWATER PIPE
	LESS THAN 12" STORMWATER PIPE
	DIRECTION OF PIPE FLOW
29	EXISTING CONTOUR
29	PROPOSED CONTOUR
	LEGEND EL TYP CO IE SE * * * * * * * * * * * * * * * * * *

CONTROL BENCHMARKS

ELEVATIONS SHOWN HEREON ARE BASED ON BENHMARK #1 BEING A SET NAIL AND DISK "LB 7970", WITH AN ELEVATION OF 20.10 AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM-1988 (NAVD 88).

NOTE: CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

EROSION CONTROL MEASURE NOTE

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND INITIATION OF CIVIL PENALTY PROCEDURES.

PAVING AND GRADING GENERAL NOTES

- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
- 2. SEE SITE PLAN SHEET FOR SITE DATA.
- 3. SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
- 4. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- 6. ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.







GROUP, PLLC 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649

[f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

()S Ш NOWW Ω DELRAY 0 Ш >ШО ST Ш Х

70

O

Ñ

ANK

m

Ľ

Ţ

3

 \mathbf{M}



SITE COMMENTS V2 03.10.23 PRE-PLAN REVIEW 04.25.22 **STORM PIPING PLAN**

C03.02



UTILITY	SYSTEM DATA
	WATER
(w1)	SEE SERVICE CONNECTION DETAIL, THIS SHEET.
w2	72 LF - 1" HDPE POLY PIPE WATER SERVICE LATERAL.
(w3)	POINT OF CONNECTION TO THE BUILDING. SEE PLUMBING PLAN.
	SANITARY
(s1)	6-INCH SEWER STUBOUT FROM BUILDING (BY PLUMBING CONTRACTOR). REFER TO BUILDING PLUMBING PLAN FOR EXACT LOCATION. CONSTRUCT SEWER CLEANOUT. CLEANOUT TOP ELEVATION SHALL MATCH PROPOSED GRADE ELEVATION. INV. EL 16.00'
s2	53 LF - 6" SDR26 @ 4.2% SLOPE
s 3	CONSTRUCT SEWER CLEAN OUT - IE. 13.75'
(s4)	29 LF - 6" SDR26 @ 4.2% SLOPE
(\$5)	CONSTRUCT SEWER CLEAN OUT - IE. 12.53'
<u>(s6)</u>	7 LF - 6" SDR26 @ 4.2% SLOPE
(s7)	POINT OF CONNECTION TO EXISTING SEWER LATERAL @ IE 12.23' ±.
	ELECTRIC
el	EXISTING ELECTRICAL TRANSFORMER WITHIN FLORIDA POWER AND LIGHT CO. EASEMENT. (GC SHALL COORDINATE WITH UTILITY PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS)
e2	NEW UNDERGROUND PRIMARY ELECTRICAL SERVICE FROM EXISTING TRANSFORMER. VERIFY LOCATION AND ROUTING WITH PROVIDER FOR RESPONSIBILITY AND CONSTRUCTION REQUIREMENTS. SEE SITE ELECTRICAL PLANS.
e3	NEW PAD MOUNTED TRANSFORMER. SEE ELECTRICAL PLANS. (GC SHALL COORDINATE WITH POWER PROVIDER FOR RESPONSIBILITY AN CONSTRUCTION REQUIREMENTS).
(e4)	UNDERGROUND SECONDARY ELECTRICAL SERVICE. (GC SHALL COORDINATE WITH POWER PROVIDER FOR RESPONSIBILITY AN CONSTRUCTION REQUIREMENTS).
e5	MAIN ELECTRIC SERVICE ENTRANCE & DISCONNECT (SEE ARCHITECTURAL PLANS).
SERVIC	E CONNECTION DETAIL 1" = 1

| SERVICE CONNECTION DETAIL



	TYP	TYPICAL	
	H/C	HANDICAP	
	R	RADIUS	
[]	R/W	RIGHT-OF-WAY	
	al an	PROPOSED CONCRETE 6" OR LESS	
4		PROPOSED CONCRETE GREATER THAN 6"	
		NEW ASPHALT PAVEMENT	
		PROPERTY LINE	
	SAN	PROPOSED SANITARY SERVICE	3 1 6 . 2 6 7 . 4
	GW	PROPOSED GREASE WASTE	
	FM	PROPOSED FORCE MAIN	
		PROPOSED WATER	
	—— E ———	PROPOSED ELECTRIC SERVICE	
	GAS ———	PROPOSED GAS SERVICE	INFINI
	TEL	PROPOSED TELEPHONE SERVICE	
	san	EXISTING SANITARY PIPE	
	wm	EXISTING WATER PIPE	INFINITY ENGINE
	ue	EXISTING UNDERGROUND POWER	GROUP, PLLC
	oh	EXISTING OVERHEAD WIRE	1208 East Kennedy B Suite 230
	gas	EXISTING GAS LINE	Tampa, FL 336
	tel	EXISTING TELEPHONE LINE	[p]: 813.695.4 [f]: 813 445 4:
UT 1.	CONTRACTOR TO V	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND	Certificate No. 3 IEG JOB NO. 15
UT 1.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF ONFLICTS IMMEDIATELY.	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT.	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF ONFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT.	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF ONFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT.	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4. 5.	CONTRACTOR TO V UTILITIES WITHIN TH RECORD OF ANY CO CONTRACTOR SHAH MUNICIPALITIES UT CONTRACTOR SHAH MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS.	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF ONFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4. 5.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. SOORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES.	SUSTICATION AND A CONTRACT OF
UT 1. 2. 3. 4. 5. 6. 7.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES.	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL INITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL INITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL INITIES DEPARTMENT. OORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4. 5. 6. 7. 8.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES. ALL ON-SITE PVC W PRESSURE RATED	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LOORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL WATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR HDPE (POLY PIPE).	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4. 5. 6. 7. 8. 9.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES. ALL ON-SITE PVC W PRESSURE RATED IN ALL CROSSINGS OF CLEARANCE (SEE C	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. OORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL PATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR HDPE (POLY PIPE).	Certificate No. 2 IEG JOB NO. 15-
UT 1. 2. 3. 4. 5. 6. 7. 8. 9. 10.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES. ALL ON-SITE PVC W PRESSURE RATED IN ALL CROSSINGS OF CLEARANCE (SEE C	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. OORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL PATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR HOPE (POLY PIPE). WATER AND SEWER LINES MUST MAINTAIN PROPER IVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS). ESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE DARD CONSTRUCTION AND UTILITY REQUIREMENTS.	A A COMMONS IEG JOB NO. 15-
UT 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES. ALL ON-SITE PVC W PRESSURE RATED ALL CROSSINGS OF CLEARANCE (SEE C CONTRACTOR IS RE CITY/TOWNS STANE	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILLITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. UNTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILLITIES DEPARTMENT. OORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL MATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR HDPE (POLY PIPE). WATER AND SEWER LINES MUST MAINTAIN PROPER INVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS). ESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE DARD CONSTRUCTION AND UTILITY REQUIREMENTS. BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.	LEG JOB NO. 15-
UT 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12.	CONTRACTOR TO V UTILITIES WITHIN TI RECORD OF ANY CO CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR SHAI MUNICIPALITIES UT CONTRACTOR TO C WITH LOCAL ELECT CONTRACTOR TO IN PROPERTY LINE) AN OPERATIONS. SEE SURVEY FOR L SEE CIVIL SPECIFIC UTILITY NOTES. ALL ON-SITE PVC W PRESSURE RATED IN ALL CROSSINGS OF CLEARANCE (SEE C CONTRACTOR IS RE CITY/TOWNS STAND	ERIFY THE LOCATION OF ALL EXISTING UNDERGROUND HE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF DNFLICTS IMMEDIATELY. LL NOTIFY AND COORDINATE WATER SERVICE WITH LOCAL ILITIES DEPARTMENT. LL NOTIFY AND COORDINATE SEWER SERVICE WITH LOCAL ILITIES DEPARTMENT. COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE RIC COMPANY. NSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO ND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OCATION OF OTHER EXISTING UTILITIES. ATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL VATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR HDPE (POLY PIPE). WATER AND SEWER LINES MUST MAINTAIN PROPER INIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS). ESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE DARD CONSTRUCTION AND UTILITY REQUIREMENTS. BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN. P ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.	ELRAY COMMONS ELLAY COMMONS



3

К Ш

0

NISIT SAPPARKHAO, P.E.

FL REG. NO. 64085

SAPPARK

CENSA

No. 64085

)/ONA/

03/10/2023

DAT

SITE COMMENTS V2 03.10.23 SITE COMMENTS V1 01.27.23

PRE-PLAN REVIEW 04.25.22

UTILITY PLAN

C04.01











Tampa, FL 33602

[p]: 813.695.4649 [f]: 813.445.4211

Www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00















ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyd thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right—of—way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

		24	4
	CITY of DEL BAY DEACH	DAVEMENT MARKING SPECIFICATIONS	DATE: 09-15-2021
17 53	CITT OF DELINAT DEACH	CUEET O OF O	
	PUBLIC WORKS DEPARTMENT	(SHEET Z UF Z)	RT 221
	434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	00.1 67	



()

ш

Ω

RAY

ш

ш

>

TIC

S

Ш Х

Ο

0

S



⁰^{WIN}

	ROTATE BENDS AS REQUIRED
BALL VALVES	
6" PIPE NIPPLE 90'	WYE BRANCH (NO TEE CONFIGURED FITTINGS)
PIPE SUPPORT (TYP.) (SEE DETAIL BELOW)	SLOPE UP TO PL 1/8" PER FOOT MINING ALTERNATE: ADDITIONAL RISER AND BEND WHERE GREATER SEWER DEPTH
SOD 6" DIA. CONCRETE	
	ROTATE BEND AS REQUIRED
	UNDISTURBED SOIL
	SANITARY DOUBLE SERVICE
WRAP PIPE W/ NEOPRENE AT "U" BOLTS	6" MIN. SERVICE LINE PROPERTY LINE
	$\frac{18^{\prime\prime}}{MAX.} = (BY \text{ OTHERS})$ $\frac{18^{\prime\prime}}{MAX.} = (BY \text{ OTHERS})$ $R/W \text{ OR EASEMENT LINE}$
-SOD	SANITARY SEWER MAIN
	6" MIN. SERVICE LINE 3' MAXIMUM 18" CLEANOUT (BY OTHERS)
L SUFFURI DETAIL	NOTE:
THAN OR EQUAL TO 2" DIA. ALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.	1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
LL BE MADE WITH 95/5 SOLDER. CKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH TH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.	2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
CKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL ESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.	J. SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.
ACH REDUCED PRESSURE ZONE DATE: 09-15-2021	
HDA 33444 BACKFLOW PREVENTER PW 17.0	PUBLIC WORKS DEPARTMENT 494 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 39444
	GRAVITY SEWER NOTES
	ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTUE
REMAINING BACKFILL PLACED AND	CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY. 3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
SPECIFICATIONS.(SEE NOTE 5 BELOW) 12" MAX. LIFT.	 (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATES REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS. (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWIS APPROVED BY UTILITIES DEPARTMENT.
	 NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED RESIDENTIAL DRIVEWAYS. MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM (
12" GRANULAR BACKFILL PLACED AND COMPACTED TO 98% MAX. DENSITY 12" PER AASHTO T-180 7/8" MAX.	TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALE WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING. 8. TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO I
MAX AGGREGATE SIZE 6" MAX. LIFT.	INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIA IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL. 9. PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHN
BEDDING MATERIAL COMPACTED TO 98% MAX. DENSITY PER	MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILIT TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER. 10. BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLAST MATERIAL ERFE OF ALL DERRIS LUMPS AND ORGANIC MATTER BACKFILL MATERI.
	PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN AN STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONE LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
	11. ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED A THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO TH CONTRACTOR LEAVING THE SITE.
MATERIALS SUCH AS MUCK, DEBRIS AND LARGE REMOVED OFF SITE AND DISPOSED IN A PROPER	 WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILIT EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY. UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUA
A LERIAL AND BACKFILL CONSISTING OF WASHED AND (8" -7/8" SIZING.	INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT (ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDE RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEE
TH APPROPRIATE COMPACTION UNDER THE PIPE	BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE. 14. EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS. 15. COMPLETE "AS PLUET" INFORMATION DELATIVE TO MANUAL SEC. VALVES OF STREET
STRUCTURE SHALL BE PLACED IN A DRY TRENCH. FREE OF UNSUITABLE MATERIAL SUCH AS LARGE	PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED T THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
TO 98% DENSITY UNDER PAVEMENT AND TO 95%	T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTION TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
DENSITY TESTS SHALL BE COMPLETED DURING S, CONTRACTORS NOT FOLLOWING THIS PROCEDURE.	 NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE ON 10-FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY. ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMAST
SONS, SHALL BE REQUIRED TO RE-EXCAVATE THE DOWN TO THE BEDDING MATERIAL, THEN BACKFILL E PROCEDURES.	OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUA APPLIED INTERNALLY.
A CLI	19. ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINE WITH SEWPER COAT OR APPROVED EQUAL.
TYPICAL BACKFILL DETAIL GU 2.0	GRAVITY SEWER NOTES WWW 1.0
l	

/∆ -

POTABLE WATER SERVICE SINGLE 1" METER INSTALLATION DETAIL PW 12.0 CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 494 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

GROUP, PLLC 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602

[p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

> CH, Щ Β DELRAY AVE NTIC 4 WEST 5070

LL_

S

NOMMO

Ш

ANK

m

RD

Ī

μ

SAPPARKA CENSE No. 64085 CE OF

PONAL SITE COMMENTS V1 01.27.23 PRE-PLAN REVIEW 04.25.22

> DETAILS (CITY OF DELRAY BEACH)

C05.05

OWNER'S REQUIREMENTS

SITE DESCRIPTION	GENERAL	
STIE DESCRIPTION PROJECT NAME: SPROUTS OUTLET (DELRAY COMMON) PROPERTY OWNER: TOPVALCO INC. 1014 VINE STREET CINCUNNATI, OHIO 45020 1141 SITE ADDRESS: S070 W. ATLANTIC AVENUE DELRAY BEACH, FLORIDA 33484 DESCRIPTION: CONSTRUCT NEW BUILDING AND PARKING LOT. CONSTRUCTION OF FACILITY SOILS: SEE SOIL REPORT SITE MAPS: *SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS *SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION. NAME OF RECEIVING WATERS: EXISTING INLET THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND AND STORMWATERS EXISTING INLET THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND PREMARENT STABILIZATION. THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND PREMARENT STABILIZATION. MAME OF RECEIVING WATERS: EXISTING INLET TURBIDITY CAUSED BY STORMWATER RUIN OFF. AN EROSION AND MAINTAIN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALLA MAINTAIN THE CONTROLS FOR REQUIREMENTS FOR TEMPORARY AND PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO RAY EMBAL DESCRIPTION OF THE PROPER PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS THAT MAY BE IMPLEMENTED. STORMWATER MANAGEMENTE STORMWATER MANAGEMENTE STORMWATER MANAGEMENTEL STORMWATER MANAGEMENTEL STORMWATER MANAGEMENTEL STORMWATER MANAGEMENTEL STORMWATER MANAGEMENTELY STORMWATER MANAGEME	GENEKAL THE CONTRACTOR'S SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE ECOSITO AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARS, DEPENDING ON THE ANTURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCULLANTS TO THE RETENTION SYSTEM PROR TO PLACING THE SYSTEM INTO OPERATION. SEQUENCE OF MAJOR ACTIVITIES THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS: INSTALL STABILIZED CONSTRUCTION ENTRANCE INSTALL STABILIZED CONSTRUCTION ENTRANCE INSTALL STABILIZED CONSTRUCTION ENTRANCE INSTALL SULT FENCES AND HAY BALES AS REQUIRED IC CONSTRUCT SEDIMENTATION BASIN CONSTRUCT SEDIMENTATION BASIN CONSTRUCT SEDIMENTATION BASIN CONSTRUCT SEDIMENTATION BASIN SCONTINUE CLEARING AND GRUBBING STOCK PILE TOP SOL IF REQUIRED IPERFORM PRELIMINARY GRADING ON SITE AS REQUIRED STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE INSTALL STORM SEWER AND IRRIGATION. COMPLETE GRADING AND IRRIGATION. COMPLETE GRADING AND IRRIGATION. COMPLETE GRADING AND IRRIGATION INCLE STABILIZED CONSTRUCTION ACTIVITY IS COMPLETE AND THE SEEDING'SOD AND PLANTING INCLE STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALESDIMENT BASIS STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIS WILL BE CONSTRUCTION ENTRANCE AND SEDIMENT BASIS AND RESEEDISOD AS REQUIRED CHAINED AREAS AND RESEEDISOD AS RECUIRED CHAINED AREAS AND RESEEDISOD AS RECUIRED CHAINES AND RESEEDISOD AS RECUIRED TIMING OF CONTROL SYMENT WILL BE CONSTRUCTION ENTRANCE AND SEMDHER BASIN WILL BE CONSTRUCTION ENTRANCE AND SUMALESDIMENT THILE BE STABILIZED OREMAINENTLY IN AN AREA, THAT AREA WILL BE STABILIZED DERMA	
BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT DETENTION BASIN. THE DRY DETENTION SYSTEM IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THIS TYPE OF DEVELOPMENT AT THE TIME IT WAS CONSTRUCTED.	MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.	9. 10.
TIMING OF CONTROLS/MEASURES	SPILL PREVENTION	
REFER TO " CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF CONTROL/MEASURES.	MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT. * AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. * ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. * PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. * SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. * WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. * MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.	11. 12. 13. 14.

CONTRACTO	R'S REQUIREMENTS	
STABILIZATION PRACTICES EROSION AND SEDIMENT CONTROLS	OTHER CONTROLS	HAZARDOUS PRO
AY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW ISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION /ITH THE FOLLOWING LIMITATIONS: WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT	WASTE DISPOSAL WASTE MATERIALS ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLD WASTE MANAGEMENT	THESE PRACTICES ARE USED TO REDUCE WITH HAZARDOUS MATERIALS. * PRODUCTS WILL BE KEPT IN ORIGINAL CO ARE NOT RESEALABLE.
IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM	ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT	* ORIGINAL LABELS AND MATERIAL SAFETY RETAINED; THEY CONTAIN IMPORTANT PRO
ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3	PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO	* IF SURPLUS PRODUCT MUST BE DISPOSE OR LOCAL AND STATE RECOMMENDED ME DISPOSAL WILL BE FOLLOWED.
MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF	MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.	PRODUCT SPECIFIC PRACTICES THE FOLLO
STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO	HAZARDOUS WASTE	
UTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE SED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL ROSION WITH THE FOLLOWING LIMITATIONS: WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33	ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE	RECEIVE REGULAR PREVENTIVE MAINTONE RECEIVE REGULAR PREVENTIVE MAINTEN/ CHANCE OF LEAKAGE. PETROLEUM PRODU TIGHTLY SEALED CONTAINERS WHICH ARE ASPHALT SUBSTANCES USED ONSITE WILL TO THE MANUFACTURER'S RECOMMENDAT
PERCENT.	FOLLOWED.	FERTILIZERS
CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2. ACRES. RUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY E USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND ILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS	ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.	AMOUNTS RECOMMENDED BY THE MANUF APPLIED, FERTILIZER WILL BE WORKED INT EXPOSURE TO STORMWATER. STORAGE W AREA. THE CONTENTS OF ANY PARTIALLY FERTILIZER WILL BE TRANSFERRED TO A S AVOID SPILLS.
VAILABLE ON SITE. EVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE	OFFSITE VEHICLE TRACKING	PAINTS
EDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND IVERTED AWAY FROM THE GRADED AREAS ONTO NDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES NLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE PPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER AN BE APPLIES ONLY IN THOSE SITUATIONS WHERE THE PREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL	A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.	CONTAINERS WILL BE TIGHTLY SEALED AN REQUIRED FOR USE. EXCESS PAINT WILL N THE STORM SEWER SYSTEM BUT WILL BE ACCORDING TO MANUFACTURERS' INSTRU LOCAL REGULATIONS.
ND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE ATER SHOULD NOT BE ALLOWED TO RECONCENTRATE FTER RELEASE.	INVENTORY FOR POLLUTION PREVENTION PLAN	CONCRETE TRUCKS
TOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE TOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF IRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER	THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO	SITE.
ODY OR STORMWATER COLLECTION FACILITY.		IN ADDITION TO THE GOOD HOUSEKEEPING MANAGEMENT PRACTICES DISCUSSED IN 1
AW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING PERATIONS OR EXCAVATION AND FILLING OPERATIONS HALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE (AIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL	Concrete Fertilizers Wood Asphalt Petroleum Based Products Masonry Blocks Tar Cleaning Solvents Roofing Materials	OF THIS PLAN, THE FOLLOWING PRACTICE FOR SPILL PREVENTION AND CLEANUP: MANUFACTURERS' RECOMMENDED METHO
LAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL REAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT F SEDIMENTS.	Detergents Paints Metal Studs	WILL BE CLEARLY POSTED ON SITE AND SI MADE AWARE OF THE PROCEDURES AND T INFORMATION AND CLEANUP SUPPLIES.
ILET PROTECTION: INLETS AND CATCH BASINS WHICH ISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM EDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF LL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE EDIMENT TO THE INLET.		MATERIALS AND EQUIPMENT NECESSARY BE KEPT IN THE MATERIAL STORAGE AREA AND MATERIALS WILL INCLUDE BUT NOT B DUST PANS, MOPS, RAGS, GLOVES, GOGGI (i.e. KITTY LITTER OR EQUAL), SAND, SAWD
EMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION PERATIONS AND THAT ARE NOT ANTICIPATED TO BE E-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING REATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK ROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY	 TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGEWAY AT A STORM DRAIN INLET OR AT 	TRASH CONTAINERS SPECIFICALLY FOR TH ALL SPILLS WILL BE CLEANED UP IMMEDIA THE SPILL AREA WILL BE KEPT WELL VENT WILL WEAR APPROPRIATE PROTECTIVE CL INJURY FROM CONTACT WITH A HAZARDOI
OVER DURING THE SEASON IN WHICH IT IS PLANTED AND /ILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.	OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION	SPILL OF TOXIC OR HAZARDOUS MATERIAL THE APPROPRIATE STATE OR LOCAL GOVE REGARDLESS OF THE SIZE OF THE SPILL
HAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN ARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE ULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF ULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA	DIKE: 1. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERELOW	THE SPILL PREVENTION PLAN WILL BE ADJ MEASURES TO PREVENT THIS TYPE OF SPI AND HOW TO CLEAN UP THE SPILL IF THER
DEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH. EMPORARY GRASSING: THE SEEDED OR SEEDED AND ULCHED AREA(S) SHALL BE ROLLED AND WATERED OR	CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. 2 GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE	DESCRIPTION OF THE SPILL, WHAT CAUSE MEASURES WILL ALSO BE INCLUDED. THE RESPONSIBLE FOR THE DAY-TO-DAY SITE THE SPILL PREVENTION AND CLEANUP CO
YDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED O ASSURE OPTIMUM GROWING CONDITIONS FOR THE STABLISHMENT OF A GOOD GRASS COVER. TEMPORARY RASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR ERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.	WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.	DESIGNATE AT LEAST ONE OTHER SITE PE RECEIVE SPILL PREVENTION AND CLEANUF INDIVIDUALS WILL EACH BECOME RESPON PHASE OF PREVENTION AND CLEANUP. TH RESPONSIBLE SPILL PERSONNEL WILL BE
EMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING, HE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A INIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA /ILL BE REWORKED AND ADDITIONAL SEED APPLIED	3. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING	STORAGE AREA AND IF APPLICABLE, IN THE ONSITE. MAINTENANCE/INSPECTION
UFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. AINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED	4 OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES	EROSION AND SEDIMENT CONTROL INSPEC
ND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT HALL BE MAINTAINED DURING THE LIFE OF THE ONSTRUCTION SO AS TO FUNCTION AS THEY WERE RIGINALLY DESIGNED AND CONSTRUCTED.	AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON	THE FOLLOWING ARE INSPECTION AND MA THAT WILL BE USED TO MAINTAIN EROSION CONTROLS.
ERMANENT EROSION CONTROL: THE EROSION CONTROL ACILITIES OF THE PROJECT SHOULD BE DESIGNED TO	THE OUTLET PROTECTION DETAIL. 5. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON	* NO MORE THAN 10 ACRES OF THE SITE W TIME WITHOUT WRITTEN PERMISSION FRO
ERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN ISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE EEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM EGETATION AND RAPID GROWTH SEASONAL VEGETATION.	DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORMWATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF	* ALL CONTROL MEASURES WILL BE INSPE SUPERINTENDENT, THE PERSON RESPONS DAY SITE OPERATION OR SOMEONE APPOI SUPERINTENDENT, AT LEAST ONCE A WEE STORM EVENT OF 0.25 INCHES OR GREATE
LOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED R SODDED.	STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE	* ALL TURBIDITY CONTROL MEASURES WIL GOOD WORKING ORDER; IF A REPAIR IS NE INITIATED WITHIN 24 HOURS OF REPORT.
	DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL ALL SEDIMENT COLLECTED IN PERMANENT OR	* BUILT UP SEDIMENT WILL BE REMOVED F HAS REACHED ONE-THIRD THE HEIGHT OF
	TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.	* SILT FENCE WILL BE INSPECTED FOR DEF TEARS, TO SEE IF THE FABRIC IS SECUREL

* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.

* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

RODUCTS	MAIN	TENA	NCE/I	NSPE	ECTIO	ON PI	ROCE	EDURES	_	
JCE THE RISKS ASSOCIATED	* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OF AT THE END OF									
L CONTAINERS UNLESS THEY	THE JOE	S 10 PER 3, WHICHE	VER CO	MES FIR	SIGN C/ ST. SEEDING	APACITY GAND PL				
ETY DATA WILL BE PRODUCT INFORMATION.	* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH									
OSED OF, MANUFACTURER'S METHODS FOR PROPER	INSPECT THE INS DURING	FION. A CO PECTOR I CONSTRU	PY OF T S ATTAC JCTION /	HE REP HED. TH	ORT FO IE REPC	RM TO E RTS WII UPON R	E COMF L BE KE EQUEST	PLETED BY PT ON SITE TO THE		RANDY PHILLIPS AIA
OLLOWING PRODUCT /ED ONSITE:	OWNER APPRON MANAGE AS PAR THREE AND THI IDENTIE	, ENGINEE /ING SEDII EMENT PL/ T OF THE YEARS FR E NOTICE Y ANY INC	R OR AN MENT AN ANS. THI WATER OM THE OF TERM IDENTS	NY FEDE ND AND I E REPOF POLLUT DATE TH MINATIO	RAL, ST. EROSIOI RTS SHA ION PRE HAT THE N IS SUE -COMPI	ATE OR N PLANS LL BE M VENTIO SITE IS BMITTED IANCE	LOCAL A 6, OR ST ADE AN N PLAN FINALL THE RE	AGENCY ORMWATER D RETAINED FOR AT LEAST Y STABILIZED PORTS SHALL		3 1 6 . 2 6 7 . 4 0 0 2
DRED FOR LEAKS AND TENANCE TO REDUCE THE CODUCTS WILL BE STORED IN ARE CLEARLY LABELED. ANY WILL BE APPLIED ACCORDING IDATIONS.	* THE SI WHO WI REPAIR MAINTEI	TE SUPER LL BE RES ACTIVITIE NANCE RE	INTENDI PONSIB S, AND F PORT.	ENT WIL LE FOR FILLING (L SELEC INSPEC DUT THE	T UP TO TIONS, N INSPEC) THREE /AINTEN CTION AI	INDIVIDUALS IANCE AND ND		INFINITY
NLY IN THE MINIMUM NUFACTURER. ONCE D INTO THE SOIL TO LIMIT GE WILL BE IN A COVERED LLY USED BAGS OF D A SEALABLE PLASTIC BIN TO	* PERSC RESPON SUPERII AND MA EROSIO ORDER. NON-STO	ONNEL SEL ISIBILITIES NTENDEN INTENANC N AND SEI ORMWATE	ECTED S WILL R T. THEY E PRAC DIMENT COMENT R DISCH	FOR INS ECEIVE WILL BE TICES N CONTRO HARGES	PECTIO TRAININ TRAINE ECESSA DLS USE WING NO	N AND M IG FROM D IN ALL ARY FOR D ONSIT	iainten 1 The Si 1 The In: 1 Keepin 1 In GC 1 In GC	ANCE TE. SPECTION IG THE OD WORKING		INFINITY ENGINEEING GROUP, PLLC 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889
	DISCHAI CONSTF	RGES WILI RUCTION F	_ OCCUF PERIOD:	RFROM	THE SIT	E DURIN	G THE			IEG JOB NO. 15-223.00
D AND STORED WHEN NOT ILL NOT BE DISCHARGED TO BE PROPERLY DISPOSED OF STRUCTIONS OR STATE AND	* WATEF *PAVEM OR HAZ * UNCOM EXCAVA	R FROM W. ENT WASH ARDOUS N NTAMINAT .TION).	ATER LIN I WATEF IATERIA ED GRO	NE FLUS RS (WHE LS HAVE UNDWA ⁻	HING RE NO S E OCCUF FER (FR	SPILLS C RRED). OM DEW	R LEAK	S OF TOXIC G		
	ALL NON SEDIME	N-STORMV NT BASIN	VATER D PRIOR T	ISCHAR O DISCH	ge will Iarge.	. BE DIR	ECTED 1	TO THE		L .
OWED TO WASH OUT OR DRUM WASH WATER ON THE	С	ONTF	RACT	OR'S	S CE	RTIF	ICAT	ION	-	ц Н Н
PING AND MATERIAL IN THE PREVIOUS SECTIONS TICES WILL BE FOLLOWED	I CERTIF AND TH/ GENERI ACTIVIT THIS CE	TY UNDER AT AUTHO C PERMIT Y FROM TI RTIFICATI	PENALT RIZES T WATER HE CONS ON.	Y OF LA HE STOF DISCHAI STRUCT	W THAT RM CON RGES AS ION SITE	I UNDEF DITIONS SSOCIAT E IDENTI	RSTAND OF THE ED WIT FIED AS	THE TERMS DEP H INDUSTRIAL PART OF		NNK DNS AY BEAO
THODS FOR SPILL CLEANUP D SITE PERSONNEL WILL BE ND THE LOCATION OF THE S.		XDUTIES	RACTOR	TOR	TOR	TOR	TOR			
RY FOR SPILL CLEANUP WILL REA ONSITE. EQUIPMENT DT BE LIMITED TO BROOMS, DGGLES, LIQUID ABSORBENT AWDUST, PLASTIC AND METAL PR THIS PURPOSE.		SPONSIBLE FOF	JERAL CONTR	JB-CONTRAC	JB-CONTRAC	JB-CONTRAC	JB-CONTRAC			THIR AY CO NTIC AVE
EDIATELY AFTER DISCOVERY. ENTILATED AND PERSONNEL E CLOTHING TO PREVENT RDOUS SUBSTANCE.		s RES	CEN GEN	S	าร	S	S			
RIAL WILL BE REPORTED TO OVERNMENT AGENCY, LL.		ND ADDRES & ALL SUBS								FII DE WEST
SPILL FROM REOCCURRING HERE IS ANOTHER ONE. A JSED IT, AND THE CLEANUP THE SITE SUPERINTENDENT ITE OPERATIONS, WILL BE COORDINATOR. HE/SHE WILL PERSONNEL WHO WILL ANUP TRAINING. THESE PONSIBLE FOR A PARTICULAR		BUSINESS NAME AN OF CONTRACTOR							N	5070
BE POSTED IN THE MATERIAL THE OFFICE TRAILER									ш	
ON PROCEDURES		JRE								NISIT SAPPARKHAO, P.E. FL REG. NO. 64085
SPECTION AND MAINTENANCE		SNATI							Ш	ICENS - O
MAINTENANCE PRACTICES SION AND SEDIMENT		SIC								No. 64085
TE WILL BE DENUDED AT ONE FROM THE ENGINEER.									Z	SIONAL ENGINITIE
SPECTED BY THE ONSIBLE FOR THE DAY TO PPOINTED BY THE WEEK AND FOLLOWING ANY EATER.										<u>03/10/2023</u> DATE PRE-PLAN REVIEW 04.25.22
WILL BE MAINTAINED IN S NECESSARY, IT WILL BE RT.										SWPPP GENERAL

* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

EQUIREMENTS C06.01

GENERAL NOTES

- ALL MATERIALS INCLUDING FILL STOCKPILES SHAL PERMANENTLY LOCATED ON THE UNDEVELOPED A PROPOSED DEVELOPMENT.
- ALL DISTURBED AREAS OF UNDEVELOPED PROPER HYDROMULCHED WITH SEED TO ESTABLISH TURN A RUNOFF INTO THE STREETS.

EROS	ON CONTROL KEYED NO
1	CONSTRUCTION ENTRANCE AND CONCRE SEE EROSION AND SEDIMENT CONTROL D C06.04.
2	PROPOSED TEMPORARY SILT FENCE. SEE EROSION AND SEDIMENT CONTROL D C06.04.
3	INLET PROTECTION. (SEE DETAIL SHEET C
4	CONCRETE TRUCK WASHOUT AREA.
(5)	LIMITS OF DISTURBANCE (0.44 ACRES).

	LEGEND	
NOT BE	····	PROPERTY LINE
REA SOUTH OF		EXISTING CONCRETE TO REMAIN
TY SHALL BE ND PREVENT SILT		EXISTING TO REMAIN
		EXISTING ASPHALT/CONCRETE TO BE REMOVED
ES		EXISTING SIDEWALK TO BE REMOVED
ASHDOWN AREA.		EXISTING TO BE REMOVED
		TREE BARRIER LINE
LS, SHEET	\otimes	EXISTING TREE TO BE REMOVED
4).	gas	EXISTING GAS
,	san	EXISTING SANITARY
	tel	EXISTING TELEPHONE
	ue	EXISTING UNDERGROUND ELECTRIC
	oh	EXISTING OVERHEAD LINE
	wm	EXISTING WATER
	<u> </u>	EXISTING CONTOUR
	× 108.05'	EXISTING GRADE ELEVATION

S BANK NOMM RD 0 T Ĭ DE

CH CH ВЩ DELRAY **VE** 0 WEST

З Ш

К Ш

 $\overline{}$

PRE-PLAN REVIEW 04.25.22 **EROSION CONTROL** PLAN PHASE I

C06.02

EROSION CONTROL KEYED NO CONSTRUCTION ENTRANCE AND CONCRE SEE EROSION AND SEDIMENT CONTROL D C06.04. PROPOSED TEMPORARY SILT FENCE. SEE EROSION AND SEDIMENT CONTROL D

2 C06.04. 3 INLET PROTECTION. (SEE DETAIL SHEET ((4)LIMITS OF DISTURBANCE (0.44 ACRES).

GENERAL NOTES

- ALL MATERIALS INCLUDING FILL STOCKPILES S PERMANENTLY LOCATED ON THE UNDEVELOPE PROPOSED DEVELOPMENT.
- ALL DISTURBED AREAS OF UNDEVELOPED PRO HYDROMULCHED WITH SEED TO ESTABLISH TU SILT RUNOFF INTO THE STREETS.

ES	LEGEND:	
E WASHDOWN AREA. FAILS, SHEET		PROPOSED CURB
	$\begin{cases} \frac{1}{2} (1 - 1)^{-1} + \frac{1}{2} (1 - 1)^{-$	PROPOSED CONCRETE LESS THAN 6"
AILS, SHEET		PROPOSED CONCRETE 6" OR GREATER
.04).		NEW ASPHALT PAVEMENT
		EASEMENT
		EXISTING CONCRETE
		PROPERTY LINE
		DROP INLET
ALL NOT BE AREA SOUTH OF	<u>HP</u>	HIGH POINT
		PROPOSED SURFACE STORMWATER FLOW
ERTY SHALL BE	29	EXISTING CONTOUR
N AND PREVENT	29	PROPOSED CONTOUR
	SILT	EROSION CONTROL

CH. S ВЩ NOMMO DELRAY **VE** П WEST 5070

BANK

RD

T

Ĭ

<u>З</u>Ш

К Ш

7

 $\overline{}$

C06.03

PLAN PHASE II

STORM OUTLET PROTECTION St

EXIT DIAGRAM

EROSION BLANKETS & TURF REINFORCEMENT MATS NSTALL NORTH AMERICAN GREEN SC-150 EROSION BLANKET OR EQUAL U.N.O. INSTALL PER MANUFACTURES SPECIFICATIONS

<u>SURFACE ROUGHENING</u>

GENERAL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- 2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- 3. ADDTIONAL PROTECTION ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- 4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES. ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- PRE-Construction SITE PROTECTION:
- 8. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- 9. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- 10. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 11. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER OR INLET. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 12. ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION. SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.

SITE PROTECTION:

- 13. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY, A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIER IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKING FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
- 14. WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- 15. SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
- 16. SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES. AROUND INLETS OR ABOVE/ BELOW WHERE CULVERTS DISCHARGE.
- 17. SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
- 18. ALL DEVICES INCLUDING SILT FENCE. FILTER BARRIERS. SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS. END RUNS AND UNDERCUTTING BENEATH BARRIERS.
- 19. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 20, SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- STORM DRAIN INLET PROTECTION:
- 21. FILTER FABRIC SHALL BE LAID OVER INLETS SO THAT THE FABRIC EXTEND A MINIMUM OF 1 FOOT BEYOND EAST SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- 22. 2 INCH 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- 23. IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- POST-CONSTRUCTION SITE PROTECTION:
- 24. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- 25. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE. NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 26. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- 27. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

GROUP, PLI 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649

[f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

U H U S Ш Ω Ζ \succ 0 Σ Ш 0 Ш Ш S ш 0

0

S

Ζ

4

M

R

LL

APPLICATION RATE (GAL/AC)	
1200	
235	
300	
N AVAILABLE	I

LANDSCAPE REQUIREMENTS MULTIPLE FAMILY, COMMERCIA	AL, AND INDUSTRIAL DEVELOPMENT			
			PLANT L	ISTS (EXAMPLE)
INTERIOR LANDSCAPING LDR SEC. 4.6.16.(H)(3)(G) & (H)	REQUIRED: 10% OF 13,054 SQ.FT. OF PARKING & ACCESSWAYS, ONE TREE FOR EVERY 125 SQ FT	1,306 SQ.FT. <u>11</u> TREES	# (QUANTITY) & LIST OF TREES/PALMS	# (QUANTITY) & LIST OF SHRUBS FOR HEDGE
	PROVIDED:	2,854 SQ.FT. <u>11</u> TREES	 4 MAPLE TREES 2 GREEN BUTTONWOOD 3 PINK TABEBUIA 6 SABAL PALMS = 2 TREES 	
LANDSCAPE STRIP	REQUIRED:	<u>125</u> L.F. 5 TREES & 63 SHRUBS	# (QUANTITY) & LIST OF TREES/PALMS	# (QUANTITY) & LIST OF SHRUBS FOR HEDGE
NORTH PROPERTY LINE	(L.F.) WITH CONTINUOUS HEDGE PROVIDED:	H.225 & SHRUBS	4 EXISTING CRAPE MYRTLE 1 CRAPE MYRTLE	 52 DWARF SCHEFFLERA 37 EXISTING COCOPLUM 7 COCOPLUM
		144 L.F. (166.08 LF LESS 22.4 LF DRIVEWAY)	# (QUANTITY) & LIST OF TREES/PALMS:	# (QUANTITY) & LIST OF SHRUBS FOR HEDGE
WEST PROPERTY LINE	CONTINUOUS HEDGE	IREES & <u></u> SHRUBS	5 GREEN BUTTONWOOD	59 COCOPLUM 14 IXORA
	PROVIDED:	<u>144</u> L.F. 		
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	REQUIRED: ONE TREE FOR EVERY 30 L.F. WITH CONTINUOUS HEDGE	63_ L.F. (133.44 LF LESS 71.2 LF DRIVEWAYS) 2 TREES & 32 SHRUBS	# (QUANTITY) & LIST OF TREES/PALMS:	# (QUANTITY) & LIST OF SHRUBS AND/OR GROUND COVERS
SOUTH PROPERTY LINE	PROVIDED:	63L.F. TREES & _34 SHRUBS	 1 GREEN BUTTONWOOD 3 SABAL PALMS = 1 TREE 	 25 IXORA 9 DWARF SCHEFFLERA
LANDSCAPE BARRIER LDR SEC. 4.6.16(H)(3)(D)	REQUIRED: ONE TREE FOR EVERY 30 L.F. WITH	<u>188</u> L.F. (210.35 LF LESS 22.4 LF DRIVEWAYS) TREES & _ <u>94</u> SHRUBS	<u># (QUANTITY)</u> & LIST OF TREES/PALMS:	# (QUANTITY) & LIST OF SHRUBS AND/OR GROUND COVERS
EAST PROPERTY LINE	PROVIDED: LANDSCAPING NOT REQUIRED, EXISTING BUFFER ON ADJACENT PROPERTY	63 L.F. EXISTING ON ADJACENT PROPERTY: 8 TREES & <u>CONT.</u> SHRUBS	EXISTING ON ADJACENT PROPERTY: 2 CRAPE MYRTLES 2 PIDGEON PLUM 2 SILVER BUTTONWOOD 1 PINK TABEBUIA 3 SABAL PALMS = 1 TREE	EXISTING CONT. HEDGE
FOUNDATION LANDSCAPING LDR SEC. 4.6.16 (H)(4)	REQUIRED: TOT. BLDG. FAÇADE LENGTH FACING ROWS	<u>31</u> L.F.	<u># (QUANTITY)</u> & LIST OF TREES/PALMS:	# (QUANTITY) & LIST OF SHRUBS AND/OR GROUND COVERS
	PROVIDED:	<u>31</u> L.F. TTREE & <u>15</u> SHRUBS	• 3 SABAL PALMS = 1 TREE	 11 DWARF SCHEFFLERA 4 VIBURNUM
STREET TREES LDR SEC. 4.6.16. (H)(6)	REQUIRED: ONE STREET TREE FOR EVERY 40 L.F.	<u>N/A</u> L.F. <u>N/A</u> TREES	<u># (QUANTITY)</u> & LIST OF TREES:	
	PROPERTY. PROVIDED:	<u>N/A</u> L.F. <u>N/A</u> TREES & <u>N/A</u> SHRUBS	• N/A	
LANDSCAPE BUFFER PLEASE REVIEW	REQUIRED:	<u>N/A</u> L.F. <u>N/A</u> TREES & <u>NA</u> SHRUBS	<u># (QUANTITY)</u> & LIST OF TREES/PALMS	<u># (QUANTITY)</u> & LIST OF SHRUBS AND/OR GROUND COVERS
REQUIREMENTS OF A SPECIFIC USE, ZONING DISTRICT STANDARDS, AND SEC. 4.6.16(H)(3)(E)	PROVIDED:	<u>N/A</u> L.F. N/A TREES & N/A SHRUBS	• N/A	
LANDSCAPE ISLAND AND	4 LANDSCAPE ISLANDS		# (QUANTITY) & LIST OF TREES:	
STRIP FOR PARKING LOT LDR SEC. 4.6.16(H)(3)(I), (J), (K)	ONE SHADE TREE, A MINIMUM OF 135 SQ.FT. OF PLANTING AREA, AT LEAST 9 FT WD, NOT INCLUDING A CURB		 1 GREEN BUTTONWOOD 2 PINK TABEBUIA 3 SABAL PALMS = 1 TREE 	
	PROVIDED:	4 TREES		

General Notes

I. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. I, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS Ι ξ ΙΙ AS PREPARED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES,

- 2, ALL UTILITIES THAT ARE KNOWN TO THE LANDSCAPE ARCHITECT ARE LOCATED ON THE PLAN, FOR EXISTING OR PROPOSED UTILITIES: A, NO TREE SHALL BE PLANTED WHERE IT COULD CONFLICT WITH OVERHEAD POWER LINES AT MATURE HEIGHT, B, NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR-PAD MOUNTED TRANSFORMER. LARGE TREES (HEIGHT AT MATURITY OF MORE THAN 30 FEET SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL
- DISTANCE OF 30 FEET FROM THE NEAREST OVERHEAD POWERLINE, D. MEDIUM HEIGHT TREE (HEIGHT AT MATURITY BETWEEN 20 AND 30 FEET) SHALL BE OFFSET AT LEAST TWENTY 20 FEET. SMALL TREES (HEIGHT AT MATHRITY OF LESS THAN 20 FEET) REQUIRE NO OFESE
- F. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS 2 FEET FROM POWER LINES. 3. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH,
- CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24 INCHES PRIOR TO LANDSCAPE INSTALLATION.
- 4, IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS, EXISTING DRAINAGE PATTERN SHALL NOT BE ALTERED OR EFFECTED BY NEW LANDSCAPING.
- 5. PLANT ALL TREES AND PALMS (2 INCH 4 INCH) ABOVE FINISHED GRADE, TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD, REMOVE THE TOP ONE-THIRD (1/3) OF THE WIRE BASKETS ON ALL B & B MATERIAL.
- 6. ALL HEDGES AND GROUNDCOVERS TO BE PLANTED LEAVING SPACE BETWEEN PLANTS AND BUILDINGS, WALLS AND FENCES,
- 7. ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3-INCH DEEP, LAYER OF COMMERCIAL PINE BARK NUGGETS, CONTRACTOR SHALL INSTALL WOVEN WEED BARRIER FABRIC IN ALL SHRUB/GROUNDCOVER BEDS,
- 8. HAND DIGGING HOLES FOR INSTALLING PROPOSED TREES IN CLOSE PROXIMITY TO UTILITIES IS REQUIRED TO AVOID CONFLICTS.

9, ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. IO. EXISTING AND PROPOSED LANDSCAPING IS TO BE MAINTAINED PER JURISDICTION'S CLEAR SIGHT TRIANGLE REGULATIONS.

Plant List

iunit.							
SYM	BOTANICAL NAME/ COMMON NAME	HEIGHT/ SPREAD	SPECIFICATION	NATIVE	DROUGHT TOLERANT	TOTAL	
AR	ACER RUBRUM MAPLE	16' HT. 7' SPR,	FIELD GROWN, B&B 3" CAL, 8' CT, MIN,	Y	н	4	Ź
CE	CONOCARPUS ERECTUS GREEN BUTTONWOOD	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL, 8' CT, MIN,	Y	н	8	
LI	LAGERSTROEMIA INDICA CRAPE MYRTLE	16' HT 7' SPR,	FIELD GROWN, B&B 3" CAL, MIN., 8' C.T. MIN. SINGLE TRUNK) N	н	1	_
SP	SABAL PALMETTO	МІЛ. 16' НТ 10' - 14' СТ.	STAGGERED CLUSTER SLICK TRUNK	Y	н	7	_
ТН	TABEBUIA HETEROPHYLLA PINK TABEBUIA	16' HT. 7' SPR.	FIELD GROWN, B&B 3" CAL, 8' CT, MIN,	N	н	2	_
CHR	CHRYSOBALANUS ICACO COCOPLUM	24" X I8"	24" O.C. FULL TO BASE	Ŷ	н	73	
IXO	IXORA 'MAUI RED' MAUI RED IXORA	24" X I8"	24" O,C, FULL TO BASE	Ν	н	49	Ź
POD	PODOCARPUS MACROPHYLLUS PODOCARPUS	5' HT. 2' SPR.	30" O.C. FULL TO BASE	Ν	н	4 5	Źi
SCH	SCHEFFLERA ABORICOLA 'TRINETTE' VARIEGATED ARBICOLA	24" X I8"	24" O,C,	Ν	н	28	Ź
VIB	VIBURUM OBOVATUM WALTERS VIBURNUM	24" X I8"	30' O.C. FULL TO BASE	Y	н	32	Ĺ
ILE	ILEX VOMITORIA 'SHILLINGS' YAUPON HOLLY	18" X 18"	24" O.C. FULL TO BASE	Y	Н	74	ŹÌ
LIR	LIRIOPE MUSCARI LIRIOPE		I GAL., 18' O.C. FULL TO BASE	Ν	М	204	ŹÌ
MUH	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	18" X 18"	24" O.C. FULL TO BASE	Y	н	39	<u>/ì</u>
RHA	RHAPIOLEPIS INDICA INDIAN HAWTHORN	18" X 18"	24" O.C. FULL TO BASE	Ν	н	68	ŹÌ
TRA	TRACELOSPERMUM ASIATICUM 'MINIMA' DWARF ASIAN JASMINE	4" X 4"	I GAL,, 18" O.C.	Ν	н	158	Źi
ZAM	ZAMIA PUMILA COONTIE	18" X 18"	3 GAL, AS SHOWN	Y	н	6	
SOD	STENOTAPHRUM SECUNDATUM ST, AUGUSTINE FLORITAM GRASS		DISEASE FREE, LAID TIGHTLY, EVEN UNIFORM	Ν	М	T.B.D.	

PATRICK D. CUNNINGHAM, LLC	mail.com
 land planning landscape architecture 	LLC@0
519 Sapphire Drive Sarasota, FL 34234	ningham
O: 941.351.8915	pcunr

GROUP, PLI 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

> ш Ш RAY ш Ш > S Ш 0

0 PATRICK D. CUNNINGHAM FL REG. NO. LA0001669 OR 03.10.2023 DATE SITE COMMENTS V2 03.10.23 SITE COMMENTS V1 01.27.23 PRE-PLAN REVIEW 04.25.22 LANDSCAPE PLAN

NEW SOD SHALL BE ST, AUGUSTINE FLORITAM. THE QUANTITY SHOWN ON THE PLANT LIST IS AN ESTIMATE AND CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD, SOD AREAS TO BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.

. THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHRUBS WHETHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING, FOR COMPLIANCE WITH THE REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY FIME DURING PROGRESS OF WORK, REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE,

13, ALL MINIMUMS FOR EACH PLANT SPECIFIED WITHIN THE PLANT LIST ARE REQUIRED TO BE MET. A. THE TREE HEIGHT AND SPREAD WILL PREVAIL OVER CALIPER AND CONTAINER SIZE.
 B. PERIMETER HEDGES ARE REQUIRED TO BE INSTALLED AT 30-IN. HEIGHT, AND CALCULATED AT A 36-IN. ON-CENTER <u>O,C,) EQUIVALENT</u>

IF ANY OF THE MINIMUMS ARE NOT MET, THE INSTALLED MATERIAL MAY OR MAY NOT BE REJECTED ON A CASE BY CASE BASIS BY THE LANDSCAPE ARCHITECT, OWNER, OR JURISDICTION, FOR EXAMPLE, ALL TREE CALIPER AND CONTAINER SIZES NOTED ON THE PLANT LIST ARE A MINIMUM, CONTRACTOR TO INCREASE THE SIZE IF NECESSARY TO CONFORM TO THE PLANT SIZES AND SPECIFICATIONS.

14. NO SUBSTITUTIONS WILL BE ACCEPTABLE, IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT AND JURISDICTION TOGETHER WITH THE PROPOSAL FOR USE OF EQUIVALENT MATERIAL, 15, IN EVENT OF DISCREPANCY, THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.

16, TREES TO BE STAKED ONLY IF REQUIRED AS DEEMED NECESSARY BY OWNER AND LANDSCAPE ARCHITECT TO ASSURE HEALTH, SAFETY AND WELFARE (INCLUDES BUT NOT LIMITED TO ALL CURVED CABBAGE, TALL ROYALS, CURVED AND LEANING SPECIMEN), ALL WOOD STAKES TO BE PAINTED FOREST GREEN, STAKING PROCEDURES SHALL BE STANDARD CONTRACTOR PRACTICE CREATING NO TRUNK DAMAGE OR FUTURE STRANGULATION OF TREE.

17, ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SORB AG" OR AN APPROVED EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION, 18. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WHICH MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE

LAND DEVELOPMENT REGULATIONS. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION (AUTOMATIC) COVERAGE (WITH 50% OVERLAP MINIMUM) WITHIN TEN DAYS OF INITIAL INSTALLATION. 19, CONTRACTOR TO INSTALL THE IRRIGATION SYSTEM PER THE JURISDICTION'S REGULATIONS TO CONFORM TO THE LANDSCAPE DESIGN,

Notes as per City of Delray Beach:

- I, ALL PLANT MATERIAL SHALL BE FLORIDA # I GRADE OR BETTER
- 2, MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
- 3, ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE,
- 4. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED,
- 5. SOD AND IRRIGATION SHALL BE PROVIDED WITHIN UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE,
- 6, REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AN AS A SEPARATOR BEWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH DRAINAGE,

Statement of Intent "as to the method and coverage of irrigation" per LRD 4.6.16(C)(1)(b)4: Per LRD 4.6.16(F) Irrigation Requirements: "All landscaped] areas shall be provided with a fully automated sprinkler system that will provide complete coverage of all plant materials and grass to be maintained. All systems shall be designed to allow for head-to-head coverage (one hundred (100) percent coverage with one hundred (100) percent overlap)".

Any trees or shrubs placed within water, sewer or drainage easements shall conform to the City of Delray Beach Standard Details, LD1.1 & LD1.2. See Sheet LP02.1 for Standard Details.

SCALE

40 '

60

48 HOURS BEFORE DIGGING CALL TOLL FREE 8-I-I SUNSHINE811.COM NOTIFICATION CENTER

╉┼┼┼┼┼┼┼ 20'

EXISTING TREES: (TO BE REMOVED)

٥٥.	TREE SPECIES	DBH (INCH)	ACTION
01 02 03 04 05 06	LIVE OAK LIVE OAK LIVE OAK LIVE OAK SABAL PALM SABAL PALM	12" 12" 12" 16" 14" 10"	TO BE REMOVED TO BE REMOVED TO BE REMOVED TO BE REMOVED TO BE REMOVED TO BE REMOVED

* EXISTING TREE INFORMATION TAKEN FROM THE TREE SURVEY PREPARED BY ELLIS SURVEYS, LLC. (DATED 01-05-2022), GOOGLE EARTH STREETVIEW AND THE PROPOSED LANDSCAPE PLAN PREPARED BY SCOTT BARBER DESIGNS, PA., FOR PEBB ENTERPRISES, SHOPPING CENTER PROJECT. (SHEET L-1.0, DATED 11-11-2021)

EXISTING TREES: (TO REMAIN) **				
NO.	TREE SPECIES	DBH (INCH)	ACTION	
201	CRAPE MYRTLE	8 ''	TO BE PROTECTED	
202	CRAPE MYRTLE	8 "	TO BE PROTECTED	
203	CRAPE MYRTLE	10 "	TO BE PROTECTED	
204	CRAPE MYRTLE	8 "	TO BE PROTECTED	
205	SABAL PALM	12 "	TO BE PROTECTED	

** EXISTING TREE INFORMATION TAKEN FROM THE TREE SURVEY PREPARED BY ELLIS SURVEYS, LLC. (DATED 01-05-2022)

10 "

TO BE PROTECTED

PROPOSED TREES: (OFF SITE - SHOPPING CENTER)

SABAL PALM

206

NO.	TREE SPECIES	SPEC.	ACTION
301	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
302	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
303	ROYAL PALM	12-FT. GW.	PROTECT IF NEEDED
304	CRAPE MYRTLE	3"CAL/12-FT. HT.	NONE
305	FL. THATCH PALM	8-FT. HT.	NONE
306	FL. THATCH PALM	8-FT. HT.	NONE
307	FL. THATCH PALM	8-F1. H1.	NONE
308	LIVE OAK	4"CAL/16-FT.HT.	NONE
309	LIVE OAK	4"CAL/16-FT.HT.	NONE

*** PROPOSED OFF-SITE TREE INFORMATION TAKEN FROM LANDSCAPE PLAN PREPARED BY SCOTT BARBER DESIGNS, PA., FOR PEBB ENTERPRISES, SHOPPING CENTER PROJECT. (SHEET L-1.01, DATED 11-11-2021)

EXISTING TREES: (OFF SITE - TACO BELL) ****	

NO.	TREE SPECIES
401	CRAPE MY
402	CRAPE MY
403	CRAPE MY
404	PIGEON PL
405	SABAL PAL
406	SABAL PAL
407	SABAL PAL
408	CRAPE MY
409	CRAPE MY
410	PIGEON PL
411	PIGEON PL
412	PIGEON PL
413	S. BUTTON
414	S. BUTTON
415	PINK TARFF

**** EXISTING TREE INFORMATION TAKEN FROM LANDSCAPE PLAN PREPARED BY RICHARD BARTLET LANDSCAPE INC., FOR TACO BELL PROJECT. (SHEET L-1, DATED 12-05-2018) AS WELL AS, THE TREE SURVEY PREPARED BY ELLIS SURVEYS, LLC. (DATED

01-05-2022

416

Notes:

- I, A TREE REMOVAL PERMIT WILL BE REQUIRED PRIOR COMMENCEMENT OF DEVELOPMENT ACTIVITY,
- 2. THE CONDITION OF THE TREES LISTED ARE BASED ON A VARIETY OF MATERIALS, AS WELL AS FIELD OBSERVATIONS, AND ARE TO BE USED AS REFERENCE ONLY AND IS NOT TO BE USE FOR TREE PERMITTING. A CERTIFIED ARBORIST, NOT THE LANDSCAPE ARCHITECT IS RESPONSIBLE FOR ANY TREE EVALUATION REQUIRED BY THE CITY.
- 3. A CERTIFIED ARBORIST IS TO PROVIDE THE FINAL TREE DISPOSITION PLAN AT TIME OF TREE PERMITTING, THE VALUATION OF TREES SHALL BE APPRAISED USING THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS GUIDE FOR PLANT APPRAISAL, LATEST EDITION,
- 4, TREE BARRICADES FOR TREES TO BE PRESERVED DURING CONSTRUCTION SHALL BE LOCATED AT THE DRIP LINE, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL REVIEW STAFF, PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5, THE AREA WITHIN THE DRIP LINE SHALL REMAIN UNDISTURBED,
- 6. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN TECH DRIP LINE OF PRESERVED TREES:
- A. IMPROVEMENTS, FILL, MACHINERY AND VEHICLE TRAVEL OR PARKING B. UNDERGROUND UTILITIES C, GRADE CHANGES, COMPACTION OF SOIL, OR EXCAVATION D. STORAGE OR CONSTRUCTION MATERIALS,
- 7, THE TREE PROTECTION BARRICADES SHALL CONSIST OF CHAIN LINK FENCE (OR USED) OR ORANGE SAFETY FENCE WITH A MINIMUM 5-FOOT HEIGHT, UNL
- OTHERWISE APPROVED BY THE BUILDING AND DEVELOPMENT SERVICES.
- 8. A TREE PERMIT WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION, NAT VEGETATION REMOVAL WITHIN THE DRIP LINE OF A TREE, AND/OR TREE REMOV (CH., 54, ART. XVII, SECTION 54-584
- NO CLEARING WITH HEAVY EQUIPMENT, FILLING, OR PLACEMNT OF IMPROVEMENTS OR UTILITY LINES SHALL OCCUR WITHIN THE PROTECTED ROOT ZONE OF ANY CANOPY TREE TO BE SAVED.
- 10, THE PROTECTED ROOT ZONE IS DEFINED AS THE DRIPLINE OF THE TREE, ONLY HAND CLEARING OR MOWING IS PERMITTED IWTHIN THE PROTECTED ROOT ZONE OF A CANOPY TREES TO BE SAVED IF AUTHORIZED BY THE ADMINISTRATOR,

FOOT PER INCH OF DBH OR MIN., WHICHEVER GREATER SS ADJACENT TO SITE DITION CONSTRAINTS SUCH RUCTURES, CURBS, LAKES,

TYPICAL TREE PROTECTION DETAIL NOT TO SCALE

TYPICAL CITY DETAILS NOT TO SCALE

	2' - 3 MIN.
(NEW ILESS	
ATIVE DVAL.	0,75 F0 5'-0" M UNLES CONDI
ENTS	AS STE ETC,

48 HOURS BEFORE DIGGING CALL TOLL FREE 8-I-I SUNSHINE811.COM NOTIFICATION CENTER

SCALE

+++++++++**+** 20' 40 '

ALL EXISTING TREES TO BE PROTECTED

OPERATIONS, TEMPORARY BARRIERS

SHALL BE INSTALLED AROUND ALL TREES TO REMAIN WITHIN THE LIMITS OF LAND

CLEARING OR CONSTRUCTION AND SHALL

REMAIN UNTIL THE COMPLETION OF THE

TREE PROTECTION SHALL COMPLY WITH THE JURISDICTION'S REGULATIONS,

NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS OR PERMITS SHALL BE ATTACHED TO A

(C) PROTECTED TREES SHALL BE PRUNED TO RESTORE THIS NATURAL SHAPE AND FERTILIZED AS NECESSARY TO COMPENSATE FOR ANY LOSS OF ROOTS

ANY DAMAGE TO TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED

IMMEDIATELY AFTER DAMAGE OCCURS,

AND TO STIMULATE ROOT GROWTH,

DURING ANY LAND CLEARING AND/OR CONSTRUCTION AS FOLLOWS:

(A) PRIOR TO ANY LAND CLEARING

PROTECTED AREAS.

PROTECTED TREE,

WORK.

R

60

PATRICK D. CUNNINGHAM 03.10.2023 DATE SITE COMMENTS V2 03.10.23 PRE-PLAN REVIEW 04.25.22 TREE REPLACEMENT PLAN

FL REG. NO. LA0001669

LP.02

U) ш m Ζ Ζ DELRAY 0 4 Ň M Ч И 0 R Ц Ś Ш 3 Ο

r

50

E MYRTLE 8 '' DBH PROTECT IF NEEDED PROTECT IF NEEDED E MYRTLE 8 " DBH PROTECT IF NEEDED E MYRTLE 8 " DBH ON PLUM 16-18 FT. HT. TO BE PROTECTED 20-30 FT. HT. TO BE PROTECTED - PALM 20-30 FT. HT. TO BE PROTECTED PALM PALM 20-30 FT. HT. TO BE PROTECTED E MYRTLE 16-18 FT. HT. TO BE PROTECTED E MYRTLE 16-18 FT. HT. TO BE PROTECTED ON PLUM 16-18 FT. HT. TO BE PROTECTED 16-18 FT. HT. TO BE PROTECTED ON PLUM 16-18 FT. HT. TO BE PROTECTED ON PLUM TONWOOD 12-14 FT. HT. TO BE PROTECTED TONWOOD 12-14 FT. HT. TO BE PROTECTED [ABEBUIA 16-18 FT. HT. TO BE PROTECTED 16-18 FT. HT. TO BE PROTECTED PIGEON PLUM

NOTES

· Entra

I. CALIPER IS MEASURED

AT DIAMETER AT BREAST HEIGHT (DBH)

UNDISTURBED AREA SHALL NOT EXCEED 24

FEET FROM THE CENTER

-2 X 4 WOODEN POSTS

6' MAX, O,C,, 4'-0" HT, MIN, 2'-3' INTO GROUND

- CHAINLINK FENCE (NEW OR USED) OR OTHER SIMILAR

(NOT ATTACHED TO TREE)

TO INCLUDE MIN, OF 50%

AREA UNDER DRIPLINE OF

- UTILITIES ARE TO BE TUNNELED (NOT TRENCHED)

WITHIN UNDISTURBED AREAS OF TREE PROTECTION

BARRIER WHICH LIMITS

ACCESS TO THE AREA.

4,5' ABOVE GRADE,

2, THE MAX, REQUIRED

OF THE TREE,

- DRIP LINE

TREE,

ACTION

SPEC.

PATRICK D. CUNNINGHAM, LLC land planning landscape architecture 519 Sapphire Drive Sarasota, FL 34234

O: 941.351.8915

INFINITY ENGINEEIN GROUP, PLL 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

C H

NOTES:

SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES, ASSEMBLED IN 2' LONG MODULES TO CREATE VARYING SIZES OF CYLINDERS FOR SURROUNDING ROOT BALLS (SURROUND PLANTING STYLE) OR FOR LINEAR APPLICATIONS DIRECTLY BESIDE A HARDSCAPE ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE),

A. MATERIALS

- I. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # UB 24-2, # UB 36-2 AND # UB 48-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, L.P. 345 LORTON AVE. #103, BURLINGAME, CA (800-458-7668), OR APPROVED EQUAL. THE BARRIER SHALL BE BLACK, INJECTION MOLDED PANELS, OF 0.085" WALL THICKNESS IN MODULES 24" LONG BY 24" & 48" DEEP MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS, RECYCLABLE, EACH PANEL SHALL HAVE:
- B. CONSTRUCTION AND INSTALLATION
- I. THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE NUMBER OF PANELS AND IN THE MANNER SHOWN ON THE DRAWINGS, THE VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE, EACH OF THE REQUIRED NUMBER OF PANELS SHALL BE CONNECTED TO FORM A CIRCLE AROUND THE ROOT BALL OR WHERE SPECIFIED JOINED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HARDSCAPE, ALL STREET TREES WITH TRUNKS CLOSER THAN 4 FT, TO PAVED SURFACES SHALL BE PLANTED WITH ROOT BARRIER BETWEEN THE ROOT BALL AND PAVING, PLANTINGS WITHIN TREE WELLS REQUIRE ROOT BARRIERS ALONG ALL SIDES OF THE TREE WELL.
- 2, EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.
- 3. THE TREE ROOT BARRIERS SHALL BE BACKFILLED ON THE OUTSIDE WITH 3/4" TO 1 1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS. NO GRAVEL BACKFILL IS REQUIRED FOR A LINEAR PLANTING

TYPICAL ROOT BARRIER INSTALLATION

NOT TO SCALE

DOUBLE TOP EDGE

NOT TO SCALE

MINIMUM 3' (FOOT) DIAMETER RING AROUND TRUNK OF TREE

POINT AT WHICH SPECIFIED OVERALL TREE HEIGHT IS MEASURED

THIN BRANCHES BY 25% OF THE TOTAL MASS. RETAIN THE NATURAL SHAPE OF THE PLANT, NO PRUNING SHALL BE DONE PRIOR TO INSTALLATION, APPROVAL, AND DIRECTION BY THE LANDSCAPE ARCHITECT,

WIRE GUYS, 3 OR 4 STRAND NO. 12 WIRE, SPACE EQUIDISTANTLY AT 45-DEGREE ANGLE TO FINISH GRADE. PLACE 2 - PLY RUBBER HOSE ON WIRE AT ALL POINTS OF TREE CONTACT EXTENDING 2" (INCHES) BEYOND TRUNK,

TOP OF BURLAP BALL SHALL BE AT _____ LEAST I" (INCH) ABOVE THE FINISHED GRADE, FOR TYPE) MAINTAIN MULCH 6" (INCHES) FROM TRUNK,

MINIMUM 3' (FOOT) DIAMETER RING AROUND TRUNK OF TREE

TYPICAL TREE GUYING DETAIL

(UNDER 16'-0" HT,)

NOT TO SCALE

PLAN VIEW TRUNK OF PLANT

TYPICAL PLANT SPACING DETAIL NOT TO SCALE

POINT AT WHICH SPECIFIED OVERALL SHRUB HEIGHT IS MEASURED,

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION, AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY.

PLANT TOP OF ROOTBALL E4VEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE, MINIMUM 3" (INCHES) DEEP LAYER OF MULCH TO

COVER ENTIRE PLANT BED, KEEP MULCH 6" (INCHES) AWAY FROM TRUNKS, WET DOWN TO STABILIZE.

BUILD 4"-6" (INCH) CONTINUOUS SAUCER AROUND THE TREE PIT TO HOLD WATER.

ROOT BALLS GREATER THAN 2'-O' IN DIA. SHALL SIT ON MOUND OF UNDISTURBED SOLL TO PREVENT SETTLING, ROOT BALLS MALLER THAN 2'-O" DIA, MAY SIT ON COMPACTED EARTH. PLACE ROOTBALL AT BOTTOM OF PLANTING PIT ON UNDISTURBED SUBGRADE

FILL MATERIAL SHALL CONSIST OF AT LEAST 2/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT

TYPICAL SHRUB/ GROUNDCOVER PLANTING DETAIL NOT TO SCALE

CLEAR TRUNK WITHIN SIGHT TRIANGLE DETAIL NOT TO SCALE

NOT TO SCALE

TYPICAL IRREGULAR/MULTI-TRUNK TREE PLANTING DETAIL NOT TO SCALE

655,962 LIGHTING, MIRRORS, LANDSCAPING, (I) EACH OPERATOR, OR OTHER PERSON RESPONSIBLE FOR AN AUTOMATED TELLER MACHINE PURSUANT TO SS. 655,960-655,965, SHALL PROVIDE LIGHTING DURING THE HOURS OF DARKNESS WITH RESPECT TO AN OPEN AND OPERATING AUTOMATED TELLER MACHINE AND ANY DEFINED PARKING AREA, ACCESS AREA, AND THE EXTERIOR OF AN ENCLOSED AUTOMATED TELLER MACHINE INSTALLATION, AS FOLLOWS:

- (A) THERE SHALL BE A MINIMUM OF IO CANDLEFOOT POWER AT THE FACE OF THE AUTOMATED TELLER MACHINE AND EXTENDING IN AN UNOBSTRUCTED DIRECTION OUTWARD 5 FEET.
- (B) THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER WITHIN 50 FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM THE FACE OF THE AUTOMATED TELLER MACHINE, IF THE AUTOMATED TELLER MACHINE IS LOCATED WITHIN 10 FEET OF THE CORNER OF THE BUILDING AND THE AUTOMATED TELLER MACHINE IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE, THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER ALONG THE FIRST 40 UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING,
- (C) THERE SHALL BE A MINIMUM OF 2 CANDLEFOOT POWER IN THAT PORTION OF THE DEFINED PARKING AREA WITHIN 60 FEET OF THE AUTOMATED TELLER MACHINE,
- (2) THE OPERATOR SHALL PROVIDE REFLECTIVE MIRRORS OR SURFACES AT EACH AUTOMATED TELLER MACHINE WHICH PROVIDE THE CUSTOMER WITH A REAR VIEW WHILE THE CUSTOMER IS ENGAGED IN USING THE AUTOMATED TELLER MACHINE,
- (3) THE OPERATOR, OR OTHER PERSON RESPONSIBLE PURSUANT TO SS. 655,960-655,965 FOR AN AUTOMATED TELLER MACHINE, SHALL ENSURE THAT THE HEIGHT OF ANY LANDSCAPING, VEGETATION, OR OTHER PHYSICAL OBSTRUCTIONS IN THE AREA REQUIRED TO BE LIGHTED PURSUANT TO SUBSECTION (I) FOR ANY OPEN AND OPERATING AUTOMATED TELLER MACHINE SHALL NOT EXCEED 3 FEET, EXCEPT THAT TREES TRIMMED TO A HEIGHT OF 10 FEET AND WHOSE DIAMETERS ARE LESS THAN 2 FEET AND MANMADE PHYSICAL OBSTRUCTIONS REQUIRED BY STATUTE, LAW, CODE, ORDINANCE, OR OTHER GOVERNMENTAL REGULATION SHALL NOT BE AFFECTED BY THIS SUBSECTION.
- 655,965 PREEMPTION, PROHIBITION, EXCEPT AS EXPRESSLY PROVIDED, THE PROVISIONS OF THIS SECTION AND SS, 655,960-655,964 SUPERSEDE AND PREEMPT ALL RULES, REGULATIONS, CODES, OR ORDINANCES OF ANY CITY, COUNTY, MUNICIPALITY, OR OTHER POLITICAL SUBDIVISION OF THIS STATE, AND OF ANY LOCAL AGENCY REGARDING CUSTOMER SAFETY AT AUTOMATED TELLER MACHINES LOCATED IN THIS STATE.

FLORIDA STATE STATUTES NOT TO SCALE

POINT AT WHICH SPECIFIED OVERALL TREE HEIGHT IS MEASURED

DO NOT CUT CENTRAL LEADER SHADE TREES SHALL HAVE A SINGLE, STRAIGHT TRUNK WITH SPROUTS CLEANLY REMOVED AND BRANCHING UNIFORMLY DISTRIBUTED.

POINT AT WHICH SPECIFIED CLEAR TRUNK HEIGHT IS MEASURED

PLANT TOP OF ROOTBALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE 4" - 6" (INCHES) HIGH BERM TO CREATE A SAUCER-LIKE WELL AROUND TREE PIT TO HOLD WATER,

INISH GRADE MINIMUM 2" X 4" X 24" STAKE DRIVEN 3" INCHES BELOW GRADE (PRESSURE TREATED)

REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL IF NATURAL, REMOVE ALL BURLAP IF SYNTHETIC,

BACKFILL AROUND ROOTBALL AS SPECIFIED, FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT, SEE WRITTEN SPECIFICATIONS FOR BACKFILL MIXTURE,

TYPICAL TREE PLANTING DETAIL

PATRICK D. CUNNINGHAM, LLC	mail com
land planninglandscape architecture	
519 Sapphire Drive Sarasota, FL 34234	medoni
O: 941.351.8915	

GROUP, PLL 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

S XZ NOWW 4 0 R I $\mathbf{\Omega}$ Ш

 \leq

M

Ш Ш \succ RA ш ш S ш 0 50

LL

CH H

_P.03

Irrigation Legend

HUNTER PRO	OS-O6-PRS3O 5' STRIP SPRAY	HUNTER PROS-06-PRS301/ RAL	NU
	CS © 0.65 GPM CS © 0.65 GPM ST © 1.30 GPM	 Q ● 1.15 GPM ⊖ H ● 2.37 GPM 	
HUNTER PRO	OS-O6-PRS3O 4' RADIUS • 0.45 GPM	HUNTER PROS-06-PRS30 ADJ (0) 8 © 1.76 GPM (0) 10 © 2.00 GPM	
HUNTER PRO	OS-O6-PRS3O 6' RADIUS	 ⊙ 12 ∘ 2.52 GPM ⊙ 15 ∘ 3.72 GPM √ 17 ∘ 4.60 GPM 	
	 0.51 GPM 0.98 GPM 0.98 GPM 	HUNTER PCB: FLOOD BUBBLER,	1/2
	 0.24 GPM 0.47 GPM 	 ▲ 50 @ 0,50 GPM ● 10 @ 1.00 GPM 	
HUNTER PRO	• 0,97 GPM OS-06-PRS30 10' RADIUS	HUNTER MP3000: ROTATOR 27'	RA
(С) Q С) H С H	 0.42 GPM 0.88 GPM 159 CPM 		
	0S-06-PRS30 12' RADIUS	HUNTER MP3500: ROTATOR 34'	RA
н О О Г	 I.30 GPM 2.70 GPM 		
HUNTER PRO	05-06-PRS30 15' RADIUS • • 0.97 GPM		
О н Ф F	I.69 GPM3.75 GPM		
	AREA TO RECEIVE DRIPLINE		
	IN-LINE PRESSURE COMPE DRIPLINE WITH BUILT-IN C EMITTERS AT 12.0" O.C. D SPACED AT 18.0" APART, OFFSET FOR TRIANGULA RESISTANT,	ENSATING LANDSCAPE CHECK VALVE, I.O GPH DRIPLINE LATERALS , WITH EMITTERS .R PATTERN. UV	
\otimes	HUNTER PCZ-101-25 DRIP CONTROL VALVE KI WITH 1" HY100 FILTER SYS REGULATION: 25PSI, FLO 15 GPM, 150 MESH STAINL	T. I" PGV GLOBE VALVE STEM. PRESSURE DW RANGE: 0.5 GPM TO LESS STEEL SCREEN.	
	HUNTER PGV-101G I" PLASTIC ELECTRIC REM FOR RESIDENTIAL/LIGHT FEMALE NPT INLET/OUTLE CONFIGURATION, WITH FL	MOTE CONTROL VALVE, COMMERCIAL USE. ET. GLOBE LOW CONTROL.	
X	MATCO-NORCA 514TX 1/2"-4" BRASS GATE VALV SOLID WEDGE, IPS, CROS AS MAINLINE PIPE,	'E, FULL PORT, WITH IS HANDLE, SAME SIZE	
- B	FEBCO 825Y 1-1/2" REDUCED PRESSURE BAC	CKFLOW PREVENTER	
	WEATHERMATIC SLI600 SMAR SMARTLINK AIRCARD	RTLINE CONTROLERW/	
\bigotimes	WEATHERMATIC SLW5 WIRELE WEATHER SENSOR	-55 ON-511E	
	I" METER © 28 GPM AT 60 IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26) PSI REQUIRED	
	PVC CLASS 315 FOR 1/2" F PVC CLASS 200 FOR 3/2 PVC CLASS 160 SDR 26 F	PIPE, 4" PIPE, FOR 1" AND ABOVE.	
	PLEASE NOTE: ONLY LATERAL TRANSITION ABOVE ARE INDICATED ON OTHERS BEING 3/4" IN SIZ	ON PIPE SIZES I" AND DN THE PLAN, WITH ALL ZE,	
	IRRIGATION MAINLINE: PVC SCHEDULE 40 IRRIG	ATION PIPE,	
	PIPE SLEEVE: PVC SCHEDULE 40		
	VALVE CALL OUT		
	\rangle		

Sleeve Sl	ze Schedu
PIPE SIZE	SLEEVE SIZ
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/4"	4"
3 - 4"	6"

D6-PRS30 17' RADIUS 1.15 GPM

LOOD BUBBLER, 1/2" FIPT, 0,50 GPM

DO: ROTATOR 27' RADIUS 0.76 GPM

O: ROTATOR 34' RADIUS I.13 GPM

INFINITY ENGINEEING GROUP, PLLC 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

> Ш Ω DELRAY AVE ∢ WEST 5070

S BANK NOMMO RD H Ω ĬL

DE

IR.01

48 HOURS BEFORE DIGGING CALL TOLL FREE 8-1-1 SUNSHINE811.COM NOTIFICATION CENTER

 \square

PRE

PATRICK D. CUNNINGHAM, LLC Iand planning landscape architecture 519 Sapphire Drive Sarasota, FL 34234

O: 941.351.8915

ALL IRRIGATION FIXTURES/ EQUIPMENT SPECIFIED TO BE FOR RECLAIMED, RE-USE, NON-POTABLE IRRIGATION,

General Notes

- IRRIGATION SYSTEM DESIGN REQUIREMENTS: 28 GPM A 55 PSI AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
- 2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT CONDITIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN PROCESS, SUCH AS OBSTRUCTIONS, GRADE DIFFERENCES, WATER LEVELS, DIMENSIONAL DIFFERENCES, ETC. REFER TO THE LANDSCAPE PLAN TO AVOID CONFLICTS WITH PROPOSED TREES OR SHRUBS,
- 3. PIPING MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS: I.E., UNDER BUILDINGS OR PAVEMENT, OUTSIDE OF PROPERTY LINES, IN LAKES OR DITCHES, ETC. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN PERVIOUS AREAS.
- 4. ALL COMPONENTS ARE SHOWN AND/OR DEPICTED ON THE PLAN SHEETS REPRESENT APPROXIMATE LOCATION(S) ONLY, AND ARE FOR CLARIFICATION PURPOSES. THE FINAL LOCATION OF ALL COMPONENTS SHALL BE SUBJECT TO APPROVAL BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.
- 5. DO NOT SCALE PLAN FOR EXACT HEAD LOCATION, LOCATION OF ALL SPRINKLER HEADS SHALL BE SITE ADJUSTED TO MINIMIZE WATER OVERTHROW ONTO BUILDING SURFACES AND WALKWAYS, THROTTLE VALVES ON SPRAY ZONES AS REQUIRED TO PREVENT FOGGING.
- 6. PIPE SIZES SHALL CONFORM TO THOSE ON THE DRAWINGS, SUBSTITUTING WITH SMALLER PIPE SIZES WILL NOT BE PERMITTED.

"DEAD ENDS",

- 7. ALL POP-UP SPRINKLER HEADS SHALL BE INSTALLED LEVEL AND FLUSH TO GRADE.
- 8, MAIN LINE: FITTINGS SHALL BE PVC SCH. 40 JOINT FITTINGS, PIPES PLACED IN SLEEVES SHALL BE SCH. 40 SOLVENT WELD PIPE WITH ADEQUATE RESTRAINTS, SLEEVE LOCATION ARE ACCOMPANIED WITH A 2" ELECTRICAL CHASE FOR THE CONTROL WIRING.
- 9. MAINLINE IS TO BE INSTALLED WITH A MINIMUM OF 18-IN. DEPTH OF COVER, LATERAL LINES ARE TO BE INSTALLED WITH A MINIMUM OF 12" DEPTH OF COVER,
- 10. UNLESS OTHERWISE INDICATED, ALL SLEEVES ARE TO BE PVC SCH 40 AND TWO (2) NOMINAL SIZES LARGER THAN THE PIPE TO BE SLEEVED. FOR EXAMPLE: THE SLEEVE FOR A 2-IN. PIPE SHALL BE 3-IN. II. INSTALL VALVES IN MULCHED BEDS AND/OR IN LOW TRAFFIC AREAS, ALL VALVES , FLUSH VALVES AND WIRE
- SPLICES SHALL BE INSTALLED IN RAIN BIRD WIDE FLANGED, STRUCTURAL FOAM "PLASTIC" VALVES BOXES 12, THE BOTTOM AND SIDES OF THE VALVE BOXES SHALL BE LINED WITH LANDSCAPE FABRIC, INSTALL A 3-IN.
- DEEP BED OF GRAVEL ON THE LANDSCAPE FABRIC TO CREATE A DRAINAGE SUMP, 13. INSTALL DRIP TUBING AT GRADE AND COVER WITH MULCH. TYPICAL SPACING FOR DRIP TUBING IS 18-IN, TO 24-IN, ON CENTER, SPACING TO BE DETERMINED BY PLANT LAYOUT, REFER TO LANDSCAPE PLAN, ANCHOR TUBING EVERY 7-FT. WITH 8-IN. LONG WIRE TUBING STAKES. INSTALL FLUSH VALVE ASSEMBLIES AT ALL TUBING
- 14. EXACT CONTROLLER LOCATION(S) SHALL BE COORDINATED WITH AN OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE CONNECTION FROM THE POWER SOURCE TO THE CONTROLLER(S), PER MANUFACTURER'S SPECIFICATIONS,
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HARD WIRING ALL ELECTRICAL SERVICE CONNECTIONS, AND SHALL RUN TWO (2) ADDITIONAL SETS OF WIRES IN EACH DIRECTION TO EACH END OF THE MAIN FOR FUTURE USE.
- 16. AT EACH IRRIGATION CONTROLLER, INSTALL A "SECONDARY SURGE ARRESTER" TO THE INCOMING (120 VOLT) POWER SUPPLY (INTERMATIC #AG2401 OR EQUAL),
- 17. A WEATHER BASED SENSOR WITH INTERFACE SHALL BE CONNECTED TO IRRIGATION CONTROLLER. THE SENSOR/ SHALL ADJUST IRRIGATION PROGRAM BASED ON DAILY WEATHER READINGS, SENSOR SHALL BE INSTALLED TO MEET LOCAL CODES AND/OR MINIMUM MANUFACTURER'S RECOMMENDATIONS, OBSTRUCTIONS, VANDALISM AND EASE OF SERVICE SHALL BE CONSIDERED IN LOCATING THE DEVICE.
- 18. IRRIGATION CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON REPRODUCIBLE PAPER DETAILING THE ACTUAL INSTALLATION OF THE IRRIGATION SYSTEM, THE AS-BUILT DRAWINGS SHALL LOCATE ALL MAIN LINE PIPING, CONTROL WIRES, WIRE SPLICES, SLEEVES AND VALVES BY SHOWING EXACT MEASUREMENTS FROM PERMANENT FEATURES (BUILDINGS, EDGE OF PAVEMENT, POWER POLES, FIRE HYDRANTS, ETC.). INCLUDE DEPTH OF COVER ON MAINLINE AND SLEEVES.
- 19, NO PRODUCT SUBSTITUTIONS WILL BE PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE, IRRIGATION CONTRACTOR TO PROVIDE SUBMITTALS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION,
- 20, ANY OTHER EQUIPMENT REQUIRED THAT IS NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE,
- 21. THE PROPOSED IRRIGATION IS TO TIE INTO THE EXISTING SYSTEM, WHICH WILL BE RETROFITTED TO PROVIDE 100% COVERAGE. <u>***</u>
- 22. IF RE-USE WATER IS USED FOR IRRIGATION, ALL EQUIPMENT IS TO BE SPECIFIED / MARKED AS SUCH IF REQUIRED BY THE JURISDICTION, (PURPLE LATERALS, HEADS, ETC.)
- 23. AN AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED THAT MEETS OR EXCEEDS THE FULL REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS.
- 24. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION (AUTOMATIC) COVERAGE (WITH 50% OVERLAP MINIMUM) WITHIN TEN DAYS OF INITIAL INSTALLATION, THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO INSURE 100% COVERAGE.

△Additional Notes

- I. IRRIGATION CONTROLLER IS TO HAVE AN EXTERIOR MOUNTING LOCATION.
- 2. ELECTRICAL IS TO BE HARD-WIRED TO THE CONTROLLER, NOT AN ELECTRICAL OUTLET.
- 3. WEATHERMATIC SL 1600 SMARTLINE CONTROLLER (SEE PHOTO) A. INSTALLS LIKE A NORMAL CONTROLLER -- THE EXTERIOR OF THE BUILDING, PREFERABLY NEAR THE UTILITY ENTRANCE) B. INSTALL INSTRUCTIONS: <u>SLI600 CONTROLLER INSTALLATION INSTRUCTIONS - WEATHERMATIC</u>
- 4, WEATHERMATIC SMART LINK AIRCARD (SEE PHOTO) A. MOUNT NEAR CONTROLLER
- B. INSTALL INSTRUCTIONS: HTTPS://WWW.WEATHERMATIC.COM/DOWNLOAD/SMARTLINK-AIRCARD-INSTALLATION-QUICK-START/? WPDMDL=193768REFRESH=628F6EE2B567616535672O2
- 5. WEATHERMATIC SLW5 WIRELESS ON-SITE WEATHER SENSOR (SEE PHOTO) A. MOUNT IN AN AREA WITH UNOBSTRUCTED AIRFLOW.
- 3. MOUNTING IS PREFERRED IN DIRECT SUNLIGHT WITH GOOD AIRFLOW. C. THE LOCATION MUST HAVE OPEN ACCESS TO RAINFALL (CANNOT BE COVERED BY ANY OVERHEAD
- OBSTRUCTION SUCH AS TREES, ROOFS, ETC.), D, MOUNT THE SLW5 AS CLOSE AS POSSIBLE TO THE CONTROLLER,
- E. INSTALL INSTRUCTIONS: <u>SLW5 WIRELESS WEATHER STATION INSTALLATION GUIDE WEATHERMATIC</u> 6. DESIGN DRAWING SPECIFICATION -
- A. WEATHERMATIC SLI600 SMARTLINE CONTROLER W/ SMARTLINK AIRCARD B. WEATHERMATIC SLW5 WIRELESS ON-SITE WEATHER SENSOR
- 7. TO COMMISSION THE WEATHERMATIC SMART IRRIGATION CONTROLLER PLEASE DO THE FOLLOWING: A. FIRST, PLEASE CONFIRM THAT ALL THREE PIECES OF EQUIPMENT (CONTROLLER, WEATHER STATION, AND
- AIRCARD) ARE PROPERLY INSTALLED, B. NEXT, WEATHERMATIC NEEDS THE AIRCARD NUMBER THAT IS ON THE SIDE OF THE AIRCARD (20-DIGIT LONG NUMBER). I) CONTACT FOR WEATHERMATIC IS CALL OR EMAIL KELSI VAQUERA WITH ANY QUESTIONS
- (KELSI, VAQUERA®WEATHERMATIC, COM OR 316, 516, 3625), C. WHEN SHARING THIS INFORMATION WITH WEATHERMATIC, YOU SHOULD ALSO NOTE THAT THIS IS A FIFTH THIRD BANK CORPORATE LOCATION AND PROVIDE THE SITE ID NUMBER AND ADDRESS.
- 8. COMMERCIAL LOTS ARE TO UTILIZE SMART IRRIGATION CONTROLLERS WITH SOIL MOISTURE METER SENSORS (SOIL MOISTURE SYSTEMS) TO DETERMINE OPTIMUM MOISTURE LEVELS, SHUT DOWN IRRIGATION, PREVENTING WATER WASTE, THE SOIL MOISTURE SYSTEM SHALL OPERATE AS A PERMISSIVE AND NOT AS A CALL-TO-RUN, IT SHALL BE THE BUILDER'S RESPONSIBILITY TO INSTALL, TEST, AND CERTIFY THE SOIL MOISTURE SYSTEM FOR PROPER INSTALLATION AND OPERATION PRIOR TO OCCUPANCY, SOIL MOISTURE SYSTEMS ARE TO BE SPECIFIED IN THE CONSERVATION PLAN SUBMITTAL FOR SJCUD APPROVAL, THE DEVELOPER SHALL BE RESPONSIBLE FOR SJC/SJCUD INSPECTION PRIOR TO OCCUPANCY.

GROUP. PL 1208 East Kennedy Boulevard Suite 230 Tampa, FL 33602 [p]: 813.695.4649 [f]: 813.445.4211 www.iegroup.net Certificate No. 27889 IEG JOB NO. 15-223.00

> m Δ S ш 0 0

PATRICK D. CUNNINGHAM FL REG. NO. LA0001669 03.10.2023 DATE SITE COMMENTS V1 01.27.23 PRE-PLAN REVIEW 04.25.22 **IRRIGATION DETAILS**

PATRICK D. CUNNINGHAM, LLC
 land planning landscape architecture
519 Sapphire Drive Sarasota, FL 34234
O: 941.351.8915

PLAN VIEW AS SHOWN

SCALE: 1"=20'

LEGEND:

- $\dot{\Delta}$ = FOUND NAIL AND DISC \odot = FOUND 5/8" IRON AND CAP (FIRC)
- \Box = FOUND 4"x4" CONCRETE MONUMENT (FCM)
- A = ARC LENGTH BOC = BACK OF CURB
- (C) = CALCULATED
- D = DELTA C/L = CENTERLINE OF RIGHT-OF-WAYEOP = EDGE OF PAVEMENT
- LB = LICENSED BUSINESS
- NCF = NO CORNER FOUND OR = OFFICIAL RECORDS P.B. = PLAT BOOK
- PG. = PAGE POB = POINT OF BEGINNING POC = POINT OF COMMENCEMENT R = RADIUS
- \rightarrow = GUY WIRE 🗴 = LIGHT POLE ---- OVERHEAD UTILITY LINE SANITARY MANHOLE $\mathbf{M} = \text{STORM CATCH BASIN}$ $\mathbf{M} = \text{SIGN}$ $\times^{0^{0^{9}}}$ = SPOT ELEVATION $\hat{(T)}$ = TELEPHONE RISER - - CONCRETE POWER POLE CONCRETE ÷∰= LIGHT POLE 💓 = FIRE HYDRANT 🕅 = WATER VALVE • = CLEAN OUT

C/L = CENTER LINE

GENERAL NOTES - SECURITY

- A. PROVIED 3/4" EMPTY CONDUIT FOR THE FOLLOWING: EACH ALARM ACTIVATING DEVICE EXTERIOR ATM AND NIGHT DEPOSIT
- EXTERIOR ATM AND NIGHT DEPOSIT
 CCTV.
 B. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. FURNITURE BY OTHERS. GC TO COORDINATE ANY FURNITURE REQUIREMENTS, INCLUDING LOCATION OF FLOOR BOXES WITH FURNITURE VENDOR.
 C. MILLWORK TO BE OWNER VENDOR PROVIDED, GC TO COORDINATE
 D. BANK EQUIPMENT TO BE SUPPLIED AND INSTALLED BY VENDOR
 E. APPLIANCES PROVIDED AND INSTALLED BY G.C.

LIGHTING REQUIREMENTS

A. MINIMUM 10 FOOT CANDLES OF LIGHT REQUIRED AT ATM AND NIGHT DROPB. MINIMUM 2-3 FOOT CANDLES OF LIGHT REQUIRED IN PARKING AREA

GENERAL NOTES - LIFE SAFETY 1. PROVIDE FIRE EXTINGUISHERS PER NFPA10 AS REQUIRED 2. PROVIDE 1 FOOTCANDLE FOR EMERGENCY LIGHTING LIFE SAFETY NOTES

	EMERGENCY EXIT
$O \rightarrow$	TRAVEL DISTANCE
$\square - \rightarrow$	COMMON PATH OF TRAVEL
∞	EXIT SIGN
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER 10 LB. UL RATED 4A:80B:C
F.E.C.	RECESSED FIRE EXTINGUISHER CABINET 10 LB. UL RATED 4A:80B:C
M.C. #	MAXIMUM CAPACITY SIGNAGE TO READ AS FOLLOWS: "MAXIMUM OCCUPANT LOAD XXX PERSONS BY ORDER OF FIRE MARSHAL"
T.S.	TACTILE SIGNAGE PER NFPA 101-7.10.13 REFER TO G-002 FOR MOUNTING INFORMATION
K.S.	KNOX BOX. VERIFY WITH LOCAL MUNICIPALITY TO INSURE COMPLIANCE

PRC
OCCUPANO
OCCUPANO
BUSINESS
TOTAL
MEANS OF
EXIT ACCE
COMMON F
DEAD END
CORRIDOR
EXIT WIDTH
STAIR WID
OCCUPANO
FIRE RESIS
STRUCTUR
EXTERIOR
EXTERIOR
FLOOR COI
ROOF CON
ALLOWABI
ALLOWABL
ALLOWABL
ALLOWABL
EXIT REQU
MINIMUM R
INTERIOR F
EXIT ENCLO & CORRIDO
FIRE PROT
SPRINKLEF
ARRANGEN
PLUMBING
-
WATER CL

URINALS (2 ALLOWED)

LAVATORI

UNISEX RE TOTAL W.C

DRINKING F

DJECT	DATA				
ICY	SECTION 304		B - BUS	SINESS	
ICY LOAD	TBL 1004.5 / SEC. 100	04.1	AREA	TOTAL	
3	1 PER 150 SF		1801 S.F.	12 OCC	
			1801 S.F.	12 OCC	
FEGRESS		RI	EQUIRED	PROVIDED	
ESS TRAVEL DISTA	NCE (1017)	2	00' MAX	97'-0" MAX	
PATH OF TRAVEL (1	014.3) TBL 1006.2.1	-	75' MAX	71'-3'	
CORRIDOR (1020.4	L)	:	20' MAX	9'-8"	
R WIDTH (TBL 1020	2)		44" MIN	60"	
⁻ H (1005.1)		0.2" /	OCCUPANT " REQ'D	72"	
)ТН		0.3" /	OCCUPANT 5" REQ'D	N/A	
			PR	OVIDED	
CY			BU	SINESS	
CTION TYPE			VB SPRINKLERED		
STANCE REQUIREN	MENTS	RE	QUIRED	PROVIDED	
RAL FRAMING		() HOUR	0 HOUR	
& INTERIOR BEARI	NG WALLS) HOUR	0 HOUR	
NON-BEARING WA	LLS	() HOUR	0 HOUR	
NON-BEARING WAL	LS) HOUR	0 HOUR	
NSTRUCTION		() HOUR	0 HOUR	
ISTRUCTION		() HOUR	0 HOUR	
		·			
LE BUILDING HEIGI (TBK 504.3a)	HTS & AREA	FLORID	A BLDG. CODE (FBC)	PROVIDED	
			-		
			-	1,801 GSF	
LE HEIGHTS			-	18'-8"	
LE STORIES		2	STORIES	1 STORY	
JIREMENTS					
REQUIRED - TBL 100)6.3.2		2 EXITS	2 EXITS	
FINISHES			803.1.1		
OSURES, EXIT PAS	SAGEWAYS,	C	CLASS A	CLASS A	
TECTION SYSTEM		1	2/38.3.5	1015.2.1	
R SYSTEM			N/A	NO	
MENT OF MEANS O		33'-0"	57'-10 1/2"		
FIXTURE COUNT	M/F (REQUIRED)	(PI	MALE ROVIDED)	FEMALE (PROVIDED)	
		1			

FIXTURE COUNT	(REQUIRED)	(PROVIDED)	(PROVIDED)	
	-	-	-	
OSET (1:25)	1 PER 25 (FOR THE FIRST 50 OCCUP)	1 W.C.	1 W.C.	
2/3 SUBSTITUTION)	N/A	N/A	N/A	
ES (1:40)	1 PER 40 (FOR THE FIRST 80 OCCUP)	1 LAVS.	1 LAVS.	
STROOMS N/A		N/A	N/A	
C. REQUIRED		1 W.C.	1 W.C.	
FOUNTATINS (1/500)	1 REQD	2 PROVIDED		
SINK	1 REQD	1 PROVIDED		

ШÌ Ξ DELRAY AVE WES 5070

SOMMONS DEL

BANK IRD FIFTH

A1.3

B (C) A (2) (A3.1) A3.1 RTU — PARAPET HIGH 118'-4" EXT-2 TYP. -— AL-2 — _ _ _ _ _ _ _ PREFINISHED ALUM. ——— COMPOSITE CLAD AWNING ACM-3 TYP. 4 리뷰 중 듯 뜻 법정권 EIFS-1, TYP. -B.O. CANOPY 109'-9" B.O. AWNING 109'-1" — PREFINISHED ALUM. COMPOSITE CLAD AWNING ACM-3 TYP. 1/2" 'V' SHAPED EIFS CONTROL JOINT ------NIGHT DEPOSITORY -BRICK SILL, EXT-3 — STANDARD MODULAR BRICK ROWLOCK COURSE, EXT-1 TYP — STANDARD MODULAR BRICK VENEER, EXT-1 TYP —

EXTERIOR FINISH SCHEDULE						
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS		
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE			
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN			
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	DARK BRONZE			
AL-1	ALUMINUM CURTAINWALL SYSTEM	KAWNEER	DARK BRONZE			
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	DARK BRONZE			
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	2" EIFS SYSTEM		
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY		
EXT-2	PREFINISHED METAL COPING	PAC-CLAD PETERSON	ANODIC CLEAR			
EXT-3	STANDARD MODULAR BRICK ROWLOCK	ACME BRICK	SLATE GRAY	MORTAR MANUF: COOSA. MORTAR COLOR: OLD LIME PUTTY		
EXT-4	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD ASH			
EXT-5	PREFINISHED METAL COPING	PAC-CLAD PETERSON	MIDNIGHT BRONZE			

FINISH FLC

LL

CH,

ВШ

AVE DELRAY

TIC

ATLAN

WEST

5070

03.17.23 CITY COMMENTS EXTERIOR ELEVATIONS

5070 WEST ATLANTIC AVE DELRAY BEACH, I

DELRAY COMMONS

FIFTH THIRD BANK

TRASH ENCLOSURE PLAN AND ELEVATIONS

A0.2

POLE PER LUMINAIRE SCHEDULE. POLE SHALL BE MADE PLUMB WITH LEVELING NUTS.

DETAIL - POLE BASE FOR LIGHTING STANDARD - FIXTURES MOUNTED 15' AND ABOVE NOT TO SCALE

NOTES:

- 1. 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 RE-BARS.
- 2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGAR IN UNDISTURBED OR PROPERLY COMPACTED FILL. 3.
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE 3000 PSF. NOTIFY ENGINEER IF BEARING PRESSURE IS LESS. 4.
- 5. AIR ENTRAINMENT: 4 TO 6%.

DETAIL - SECTION THRU POLE BASE NOT TO SCALE

A-A

VERIFY BOLT CIRCLE

- NOTES:
- 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 BARS.
- FOUNDATION EXCAVATION SHALL BE BY AUGAR IN UNDISTURBED OR PROPERLY COMPACTED FILL.
- SEE ARCHITECTURAL DRAWINGS FOR COORDINATION OF FOUNDATION WITH SURROUNDING PAVING DETAIL.
- VERIFY ANCHOR BOLT PATTERN WITH POLE MANUFACTURER.

EXTERIOR LUMINAIRE SCHEDULE NOTES

- MANUFACTURER CATALOG NUMBERS ARE SHOWN FOR GENERAL DESCRIPTIVE PURPOSES AND TO ESTABLISH STANDARD OF QUALITY ONLY. CONTACT CHRIS YOUNG (cyoung@southernlightingsource.com) OR ADAM MAGGIO (amaggio@southernlightingsource.com) (770-242-4000) (53lights@southernlightingsource.com) SOUTHERN LIGHTING SOURCE ON LIGHTING AND LIGHTING CONTROLS. GC/EC SHALL PROVIDE LUMINAIRES COMPLETE WITH ALL OPTIONS AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALL PRODUCTS SHALL BE UL LISTED.
- POLE MANUFACTURER SHALL COORDINATE WITH LUMINAIRE MANUFACTURER TO PROVIDE ADEQUATE 2 STRENGTH TO SUPPORT THE FIXTURE. PROVIDE APPROPRIATE MOUNTING HARDWARE, ANCHOR BOLTS, BOLT/BASEPLATE COVERS AND GROUNGING LUG. MANUFACTURER SHALL FURNISH AN ANCHOR BOLT TEMPLATE TO ENSURE PROPER MOUNTING AND LUMINAIRE ORIENTATION FOR CORRECT LIGHT DISTRIBUTION. APPROVED EQUAL POLE MANUFACTURERS: DURAGUARD AND VALMONT.
- PROVIDE FUSES FOR UNGROUNDED CONDUCTORS SUPPLYING LED DRIVERS. PROVIDE FUSE SIZED 3. FOR RATING OF LED DRIVER.

\sim	$\sim\sim\sim$	
Gi	GE Curre GE Curre lamp(s): ballast: I candela fi 1 lamp(s) Light Los number lo kw all loc Occurren	ent A Daintree Company LDXB4RX10T35XX_RDI4RWSDXX ent A Daintree Company test report no. 14E20870-0-F001 XXX V/A V/A lile 'LDXB4RX10T35XX_RDI4RWSDXX.IES' per luminaire, photometry is absolute s Factor = 0.700, watts per luminaire = 9 Docations= 14, number luminaires= 14 ations= 0.1 ces: 8 at mounting height 9 ft 6 at mounting height 10 ft
₩M4	LSI INDU LSI INDU lamp(s): candela fi 1 lamp(s) Light Loss number lo kw all locs Occurren	JSTRIES, INC XWM-FT-LED-04L-40 JSTRIES, INC test report no. LED-10736 XXX ile 'XWM-FT-LED-06L-40.ies' per luminaire, photometry is absolute s Factor = 0.700, watts per luminaire = 30 pocations= 5, number luminaires= 5 ations= 0.1 ces: 5 at mounting height 10 ft
P5	GE LIGH GE LIGH lamp(s): 1 candela fil 1 lamp(s) Light Loss Outreach (mounting I number loo kw all loca	TING SOLUTIONS EALS03_D5SW740 TING SOLUTIONS-EAST CLEVELAND OH USA test report no. 18070622 18071621 LED e 'EALS03_D5SW740IES' per luminaire, photometry is absolute Factor = 0.700, watts per luminaire = 64 (from mounting axis to photometric center)= 36 in height= 16.5 ft cations= 2, number luminaires= 2 tions= 0.1
P4S	GE LIGH GE LIGH lamp(s): candela fi 1 lamp(s) Light Los: Outreach mounting number lo kw all loca	ITING SOLUTIONS - HENDERSONVILLE NC USA EALS03_C4AF740ELS-EAL-RBL-BLCK ITING SOLUTIONS-HENDERSONVILLE NC USA test report no. 18101612 LED ile 'EALS03_D4AF740ELS-EAL-RBL-BLCK.IES' per luminaire, photometry is absolute s Factor = 0.700, watts per luminaire = 50 (from mounting axis to photometric center)= 36 in height= 16.5 ft pocations= 3, number luminaires= 3 ations= 0.1
P3S	GE LIGH GE LIGH lamp(s): candela fi 1 lamp(s) Light Los: Outreach mounting number lo kw all loc:	TING SOLUTIONS EALS03_D3AW740WITH ELS-EAL-DBL-BLCK ITING SOLUTIONS-EAST CLEVELAND OH USA test report no. 18100227 LED ile 'EALS03_D3AW740ELS-EAL-DBL-BLCK.IES' per luminaire, photometry is absolute s Factor = 0.700, watts per luminaire = 70 (from mounting axis to photometric center)= 36 in height= 16.5 ft pocations= 3, number luminaires= 3 ations= 0.2
® H5	GE LIGHT GE LIGHT lamp(s): L candela file 1 lamp(s) p Light Loss mounting h number loc kw all loca	TING SOLUTIONS EPTC02_03A40120-277V TING SOLUTIONS-HENDERSONVILLE NC USA test report no. 18031413 18031512 18031612 18031614 EDs = 'H (TYPE 5; 3100 LM) - EPTC02_03A40120-277V.IES' per luminaire, photometry is absolute Factor = 0.700, watts per luminaire = 27 height= 10 ft cations= 1, number luminaires= 1 tions= 0.0
		KEYNOTES REFERENCED ON THIS SHEET:
	$\langle 1 \rangle$	5' SECURITY RADIUS LIGHTING REQUIREMENTS AT ATM TO BE PROVIDED BY OWNER'S PREMANUFACTURED ATM CANOPY.
	2	PROPERTY LINE
	3	TREE, TYPICAL
	$\langle 4 \rangle$	50' SECURITY RADIUS FOR EXTERIOR ATM AND NIGHT DEPOSIT.
	$\langle 5 \rangle$	APPROXIMATE LOCATION OF FIXTURE "L". SEE OTHER PLANS.
	<u>(6</u>)	APPROXIMATE LOCATION OF UPLIGHTS (FIXTURES "U1, U2, AND U4"). SEE OTHER FLOOR PLANS.
		SECURITY LIGHTING NOTES:
		A. ALL LIGHTING POINTS WITHIN SECURITY RADII ARE TAKEN AT 3 FEET ABOVE GRADE.
		B. ALL POINTS WITHIN 50' RADIUS MEET REQUIRED MINIMUM OF 2.0 FOOTCANDLES. C. ALL POINTS WITHIN 5' RADII MEET REQUIRED MINIMUM OF 10.0 FOOTCANDLES.
		GENERAL SITE LIGHTING NOTES:
		A. ALL EXTERIOR SITE LIGHTING SHALL BE DESIGNED TO PREVENT OFF-SITE GLARE.
		B. ALL POLE MOUNTED FIXTURES AND WALL MOUNTED EXTERIOR FIXTURES SHALL BE FULL CUTOFF
		C. NO LIGHT FIXTURES SHALL BE MOUNTED ABOVE 25'. SEE LUMINAIRE SCHEDULE.
		D. COORDINATE WITH OTHER SHEETS. SEE NOTES ON ES-001. EMERGENCY LIGHTING AT EXTERIOR EXITS SHALL BE PROVIDED PER FBC 1008.

┢	$\sim\sim\sim\sim\sim$	$\sim\sim\sim\sim\sim$	\sim
	SITE LIGHTING	PHOTOMET	RIC STATISTIC
· · ·	PARKING LOT 77 points at z=0, sp HORIZONTAL FOC Average Maximum Minimum Avg:Min Max:Min REQUIREMENTS: MIN \ge_1 10.0 MAX \le 12.0 MAX:MIN \le 12.0	0 10ft by 10ft DTCANDLES 3.5 6.6 1.0 3.51 6.60 0.37 2.54	50' SECURITY RA 49 points at z=3, s HORIZONTAL FO Average Maximum Minimum Avg:Min Max:Min REQUIREMENT: M UnifGrad
	PROPERTY LINE 53 points HORIZONTAL FOO Average Maximum Minimum Avg:Min Max:Min REQUIREMENT: MA	TCANDLES 0.07 0.25 0.00 N/A N/A X ≤ €0.25	5' NIGHT DEPOSIT 12 points at z=0, sp HORIZONTAL FOC Average Maximum Minimum Avg:Min Max:Min REQUIREMENT: M UnifGrad

TYPE MARK	LAMP	WATTAGE	LAMP COLOR TEMP	VOLT	DESCRIPTION	
\sim	\sim	\sim	\sim	\sim	$ \begin{tabular}{cccccccccccccccccccccccccccccccccccc$	$\sim\sim\sim\sim$
G1	LED 1000 LM	9 W	3500 K	120	U.L. LISTED WET LOCATION EXTERIOR RECESSED LED OPEN ROUND DOWNLIGHT, 4" DIA. APERTURE, WIDE BEAM SPREAD, SEMI-DIFFUSED REFLECTOR FINISH.	SEE OTHER SH DOCUMENTS
H5	LED 7300 LM	65 W	4000 K	120	FULL CUTOFF WALKWAY LED, 10'-0" POLE, TYPE 3 DISTRIBUTION	U.L. LISTED WE
L	LED GREEN	180 W	3005 K	120	TETRA CONTOUR LS LED LIGHTING SYSTEM, 2W/ft, LENGTH AS SHOWN ON PLANS, GREEN LIGHT ENGINE AND GREEN LIGHT GUIDE 180W POWER SUPPLY	SEE OTHER SH DOCUMENTS
P3S	LED 10,000 LM	70 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE WITH SHIELDING, SINGLE HEAD, TYPE 3 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE: DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BASI SHIELDING
P4S	LED 10,000 LM	70 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE WITH SHIELDING, SINGLE HEAD, TYPE 4 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE: DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BAS
P5	LED 10,000 LM	64 W	4000 K	208	LED FULL CUTOFF AREA LUMINAIRE, SINGLE HEAD, TYPE 5 DISTRIBUTION, ALUMINUM HOUSING, 14'-0" SQUARE STRAIGHT STEEL POLE ON A 2'-6" BASE: DARK BRONZE FINISH. UL LISTED FOR WET LOCATION.	SEE POLE BAS
U1	LED 693 LM	9 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SH DOCUMENTS
U3	LED 2079 LM	26 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SH DOCUMENTS
U4	LED 2772 LM	34 W	3500 K	120	INGROUND LED, WALK-OVER COMPLIANT, IP68 RATED, ASYMMETRIC WALLWASH WITH ANTI-SLIP LENS.	SEE OTHER SH DOCUMENTS
WM4	LED 6000 LM	45 W	4000 K	120	EXTERIOR WALL PACK LED LUMINAIRE, FORWARD THROW DISTRIBUTION, DARK BRONZE FINISH. FULL CUTOFF	SEE OTHER SH DOCUMENTS. V FINISHED GRAI

Dewberry | DMONDS 2 Riverchase Office Plaza Suite 205 Hoover, AL 35244 (205) 988-2069 www.dewberry.com Project Number 50149377 State of Florida Certificate of Authorization No.: 3291 C, NK Z 4 \geq 5 RD O I エ Ŷ ШО Ś ш \leq 0 SSUE DATE DESCRIPTION 09-23-20 Bid-Permit Set 03-10-23 SITE COMMENTS V2 PRE-PLAN REVIEW 04.25.22 EXTERIOR PHOTOMETRIC PLAN

2

Ω

ES-005

DATE: October 09, 2023 TO: Susana Rodrigues, Planner <u>rodriguess@mydelraybeach.com</u> City of Delray Beach 100 NW 1st Avenue

Delray Beach, FL 33444

FROM:Benjamin Lewis, BDG Architects KP Delray LLCPROJECT:Fifth Third Bank – Delray CommonsLOCATION:5070 West Atlantic Avenue

RE: Justification Statement for Parapet Heights Exceeding 4'-0"Above The Building Roofline.

The attached elevations demonstrate that the parapet heights are set to shield the roof-top units (RTU's) from view. Since the crown of the is higher than the building finish floor elevation by nearly 1'-8", the design team fully screened the RTU's instead of relying on line-of-sight calculations that would decrease the screening to only very close adjacency and most likely make them visible from West Atlantic Avenue. The parapet height is a function of the site constraints requiring roof-mounted mechanical units, the need for adequate unit roof-curb height to prevent flooding at peak rainfall instances, the overall building scale, and the aforementioned building finished floor elevation.

We therefore request that staff recommend acceptance of the parapet heights shown in the attached elevations "A2.1 Exterior Elevations - Fifth Third Bank Delray Commons."

Best Regards,

Benjamin Lewis Development Services BDG Architects 400 N. Ashley Drive, Suite 600, Tampa, Florida 33602 [office] 813.323.9233 [direct] 813.599.6894 benjamin.lewis@bdgllp.com www.bdgllp.com

	EXTERIOR FINISH SCHEDULE						
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS			
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE				
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN				
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	DARK BRONZE				
AL-1	ALUMINUM CURTAINWALL SYSTEM	KAWNEER	DARK BRONZE				
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	DARK BRONZE				
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	2" EIFS SYSTEM			
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUF.: COOSA, MORTAR COLOR: OLD LIME PUTTY			
EXT-2	PREFINISHED METAL COPING	PAC-CLAD PETERSON	ANODIC CLEAR				
EXT-3	STANDARD MODULAR BRICK ROWLOCK	ACME BRICK	SLATE GRAY	MORTAR MANUF: COOSA. MORTAR COLOR: OLD LIME PUTTY			
EXT-4	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD ASH				
EXT-5	PREFINISHED METAL COPING	PAC-CLAD PETERSON	MIDNIGHT BRONZE				

COMMONS **THIRD BANK** \succ DELRA FIFTH

LL

CH,

ВШ

AVE DELRAY

TIC

ATLAN

WEST

5070

10.03.23 CITY COMMENTS EXTERIOR ELEVATIONS

