SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Valhalla Condominiums

Meeting File No.		Application Type			
August 23, 2023	2022-189-SPF-SPR-CLV	Class V Site Plan			
Property Owner		Agent			
SIR II Development, LLC		Josh Nichols of Schmidt Nichols Landscape Architecture and Urban Planning			

Request

Consideration of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a four-story, mixed-use development, including ground floor non-restaurant commercial space and seven residential units, located at 235 SE 5th Avenue.

Site Data & Information

Location: 235 SE 5th Avenue ("The Property")

PCN: 12-43-46-16-01-111-0041

Property Size: 0.32 acres (13,760 square feet)

Land Use Designation: CC (Commercial Core)

Zoning: Central Business District (CBD), Central Core Sub-

district

Adjacent Zoning:

 North, East, South, and West: CBD, Central Core Subdistrict

Existing Use: 2,309 square foot office with associated parking

Proposed Use: +/- 27,135 square foot, four-story, mixed-use development with 568 square feet of retail and seven residential units

Floor Area Ratio:

Existing: 0.16Proposed: 1.97Maximum Allowed: 3.0

Density:

Proposed: 22 du/ac (7 units)

Maximum Allowed: 30 du/ac (9 units)

CBD Central Core Sub-district

o **SE 5**th **Avenue**: Primary Street





Background

The Property currently contains a 2,309 square foot office with associated parking. To the north of The Property is a one-story office with an accessory two-story apartment, to the west is the Aloft Hotel, to the south is a one-story chiropractic office, and to the east is a multi-tenant commercial building. The Property is located within Sub Area 2 of the City's Community Redevelopment Area, and the Downtown Development Agency (DDA) district boundaries.

Based on City records, the Property was previously addressed as 225 and 237 SE 5th Avenue. Below is an outline of The Property's development history:

- 225 SE 5th Avenue (S 3' of Lot 4, Lot 5, Lot 6, Block 111)
 - 1928-1949 a single family residence was constructed
 - 1956-1957 two additions were completed at the rear of the residence, one 140.4 square feet and one 216 square feet)
 - 1957-1991 the structure was demolished
 - January 4, 2021 a Class V Site Plan was submitted to develop a four-story mixed-use building; the application was closed out due to no action.



- Current the address is now 235 SE 5th Avenue (unified with Lots 7, Lot 8, and N 3' of Lot 9, Less W 5' RW, BLK 111) and is developed with a 2,309 square foot commercial/office building
- 237 SE 5th Avenue (Lots 7, Lot 8, and N 3' of Lot 9, Less W 5' RW, Block 111)
 - 1928-1962 a single family residence was constructed with a 168 square foot carport
 - 1983 the 168 square foot carport was demolished
 - 1983-1991 the structure was modified to a 2,309 square foot commercial/office building
 - January 4, 2021 a Class V Site Plan was submitted to develop a four-story mixed use building; the application was closed out due to no action
 - Current the address is now 235 SE 5th Avenue (unified with S 3' of Lot 4, Lot 5, Lot 6, BLK 111) and is currently licensed for Palm Financial Services and AES Interiors & associates Inc.

Update

The subject request was reviewed by the Board at its June 28, 2023, meeting. The Board voted 7-0 to continue the request with direction due to concerns identified during the Board's discussion, which included the execution of the Masonry Modern architectural style, specifically, the need for more elements of interest and creativity, further enhancing and articulating the tower feature, and softening design treatments to reflect a more residential character.





Description of Proposal

The proposal is for the construction of a new Masonry Modern, four-story, mixed-use development, containing 568 square feet of ground floor non-restaurant commercial space and seven residential units (total gross floor area of 27,135 square feet). The units include one two-bedroom unit and six three-bedroom units, ranging from 1,584 square feet to 3,119 square feet. The residential lobby and building manager's office is located on the ground floor, and the pool and pool deck are located on the second floor along the east side of the building. The two units on the fourth floor each have access to a private rooftop terrace.

A 17-space covered parking area is provided to the rear (east) of the property. Ingress and egress to the parking garage is provided from the improved alley that connects with SE 2nd Street and SE 3rd Street. The property owner has provided a two-foot Right-of-Way dedication along the east alley to widen the alley from 16 feet to 18 feet (the alley has a 20-foot ultimate right-of-way).

The development incorporates a tower element on the northwest corner of the budling, which serves as a stairway and elevator shaft connecting to the main lobby. The ground floor utilizes a Porch with Storefront frontage type that runs along SE 5th Avenue. The Property fronts a portion of South Federal Highway that is not under the City's jurisdiction and is controlled by the Florida Department of Transportation (FDOT). Based on FDOT's restrictions, buildings may not encroach into their right-of-way. Therefore, while the Porch frontage type is most commonly associated with residential uses, the CBD regulations allow the Porch to be incorporated with commercial uses as well. To provide a shaded walkway while not encroaching into FDOT's right-of-way, a Porch with Storefront frontage type is proposed in lieu of an Arcade with Storefront frontage type.

NOTE: The applicant has indicated that there will be no restaurant uses on the floor plan. Therefore, if a restaurant use is proposed at the site in the future, parking would be reassessed using the restaurant parking ratio (six spaces per 1,000 square feet of gross floor area).

Based on the discussion at the June 28, 2023 Board meeting, the applicant has amended the elevations by including the following:

- Accentuating the top of the tower feature;
- Solidifying the upper-story awnings;
- Darkening and thickening the trim around the windows and doors;
- Adding aluminum privacy shading with faux wood finish to the south elevation.

The rendering at right reflects the applicant's modifications.



Review & Analysis: Site Plan and Zoning

LDR Section 2.4.5(F)(5), Class V Site Plan

A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



3.1.1(A), Land Use Map

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The property has a Land Use Map designation of CC, and a zoning designation of CBD, which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is the preferred zoning district to implement the CC land use designation. Pursuant to LDR Table 4.4.13(A), multi-family residential and various commercial uses are permitted in the Central Core Sub-district of the CBD. Therefore, the resulting use of land is compatible with the underlying land use.

3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

<u>Potable Water and Sewer</u>: Water and sewer services will be provided through connection to existing water and sewer lines. Pursuant to the Always Delray Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out. As the project is adjacent to FDOT roadway, prior to the issuance of a building permit, a Hold Harmless Agreement with FDOT may be required if water or sewer connections are made in the FDOT right-of-way.

<u>Drainage.</u> Drainage and water run-off will be addressed through on-site retention (e.g. using catch basins in the covered parking area), which should not impact the level of service standard.

<u>Transportation:</u> A Traffic Performance Standards (TPS) letter from Palm Beach County, dated June 1, 2022, and a Traffic Impact Statement, performed by JFO Group Inc., has been provided indicating that the project will result in 78 new daily trips and nine peak hour trips. The TPS letter also states that the proposed development meets the TPS of Palm Beach County. Because less than 20 peak hour trips will be generated, a traffic study is not required.

<u>Parks and Open Space:</u> Given that the site area is less than 20,000 square feet, it does not meet the threshold requiring the provision of civic open space. Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit.

<u>Solid Waste</u>: Based on the Waste Generation Rates for Palm Beach County, the proposed development will generate approximately 6.53 tons (2.89 tons + 3.64 tons) of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

<u>Schools</u>: The applicant has submitted a School Capacity Availability Determination application with the Palm Beach County School District. The School District stated that based on the findings and evaluation of the proposed development, there will be no negative impact on the School District of Palm Beach County public school system.

3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure that new development will not have a negative impact on the sounding area, provide any requisite amenities to enhance the quality of life for its residents when residential units are provided, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards, as there are no identified concerns related to the overall consistency with Article 3.2.

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT



Comprehensive Plan

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

<u>Objective NDC 1.3, Mixed-Use Land Use Designations:</u> Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.

<u>Policy NDC 2.2.7:</u> Within the Commercial Core, locate and design off-street parking areas in a manner that does not detract from the character by providing standards in the Land Development Regulations, such as locating parking to the side or rear of buildings, limiting size of lots, and landscaping and façade requirements. Large fields of parking between building facades and streets are generally not desirable.

<u>Policy HOU 3.1.2</u>: Protect existing established residential neighborhoods from the encroachment of nonresidential uses, except for strategic locations where such transition is planned in support of multimodal improvements, mixed-use development, or an adopted neighborhood plan.

<u>Policy HOU 3.1.4</u>: Encourage development of vacant or underdeveloped land for housing and mixed-uses, and promote rehabilitation of underutilized housing into desirable places to live.

<u>Policy HOU 1.1.6</u>: Promote good design in new housing construction and rehabilitation that highlights beauty, flexibility, and innovation, and respects existing neighborhood character.

<u>Policy MBL 2.6.1</u>: The City shall not abandon alley rights-of-way and recognizes the important functions alleys provide by dispersing traffic, diversifying access points to properties, providing for multimodal access, and facilitating local trips.

<u>Policy MBL 2.6.2</u>: The City shall maintain the existing network of alleys in the downtown, which provide multiple benefits that enhance the quality of the area:

- Providing access for sanitation collection
- Providing locations for utilities
- Minimizing commercial deliveries from occurring in the primary street network
- Reducing pedestrian-vehicular conflict points on the sidewalk

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element, the Housing Element, and the Mobility Element. The Plan speaks to the provision of diverse housing types throughout the City, the development of underutilized property, and the utilization of alleys to disperse traffic, provide access for sanitation collection, and diversify access points to properties. The proposal for the redevelopment of The Property is within the parameters of the CBD form-based regulations that encourage developments at a scale consistent with the development pattern found throughout the downtown area.

<u>Policy NDC 2.7.18</u>: Consider the vision and strategies in the Osceola Park Redevelopment Plan Update (2019) when assessing rezoning requests, reviewing development applications, and planning public infrastructure projects.

The subject property is across the street from the Osceola Park plan area. The Osceola Park Redevelopment Plan was adopted by the City Commission on December 6, 2004, and more recently updated in 2019. The primary focus of the redevelopment plan is to address deterioration, provide adequate parking and services for the existing industrial and commercial areas, and accommodate housing that is compatible with the other uses throughout the neighborhood. Although the site is not within the Plan's study area, the project implements some of the Plan's key visions by adding to the City's housing inventory and providing for an appropriate transition between the nearby single-family neighborhood from the more intense development allowed under the adjacent CBD zoning.



3.1.1(D), Compliance with the LDRs:

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

Section 4.4.13, Central Business District

Standard/Regulation	Review
Height Table 4.4.13(C)	Maximum: 54 feet, 4 stories Proposed: 49 feet, 4 stories to top of roof; 54 feet and 6 inches to top of parapet*; 60 feet to top of stairwells** Rooftop Covered Area: 16% covered area above maximum number of stories (at 60 ft)*** *Parapets for roof screening may exceed up to 4 feet above the maximum height allowance. **Elevator overruns and stairways are not limited by the number of stories and shall not exceed 10 feet above the maximum overall building height (4.4.13(D)(1)(a)(12)). ***Covered structures located above the max allowed number of stories are permitted to cover a max of 25% of rooftop terrace area (does not include elevator shafts or stair towers).
Setbacks	Required: Front: 10-15 feet Front Above 3 rd Story: 20 feet Side: 0-5 feet Rear: 10 feet Proposed: Front: 11 ft 6 in to 14 ft ½ in Front Above 3 rd Story: 20 feet* Side: 5 feet Rear: 10 feet *Tower feature encroaches into setback above 3 rd story; see architectural review.
Dwelling Unit Standards, Diverse Unit Types 4.4.13(D)(1)(d)1.	Residential development with less than 12 units are not required to provide a mix of units type, "however, a mix of unit types and sizes is encouraged." The request includes seven residential units, comprised of one two-bedroom unit and six three-bedroom units, ranging from 1,584 square feet to 3,119 square feet.
Streetscape Standards 4.4.13(E)(2)	The project complies with the minimum requirements of the CBD streetscape standards.



Minimum Streetscape Width	Required: 15 ft Curb Zone: 4 ft (min.) Ped. Clear Zone: 6 ft (min.) Remaining Front Setback Area: up to 15 ft Provided: 27 feet (total) Curb Zone: 10 ft 8 in to 10 ft 10 in, includes street trees and street lighting Ped. Clear Zone: 6 ft Remaining Front Setback Area: 10 ft 2 in to 12 ft 10 in PEAL DU 1/4" = 1'-U" SETBACK 5'-4" ENCROACHMENT
	10'-9" 6'-0" 2'-9" 1'-0" 8'-2" CURB ZONE (INCLUDES CITY LTS) PED. ZONE 1'-0" PORCH COL.
Remaining Front Setback Area 4.4.13(E)(2)(a)3.	Required: Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed. Proposed: The remaining front setback area contains hardscape mixed with ground plantings
	(Cocoplum) and Montgomery Palms along the columns.
Frontage Type: Porch with Storefront 4.4.13(E)(4)(a) & (e)	Required: Building Setback: 10 to 15 ft Depth: 8 to 12 ft Width: 40% - 100% of the façade Floor Elevation: 0.5 – 4 ft Allowable Encroachment: maximum 8 ft* *May not encroach into the curb zone or pedestrian clear zone Storefront Base: 9 in to 3 ft Glazing Height: minimum 8 ft Required Openings: minimum 80% Awning Projection: minimum 5 ft
	Proposed: Building Setback: 11 ft 6 in to 14 ft ½ in Storefront Base: 2 ft 6 in Glazing Height: 9 ft Required Openings (Commercial Space): 89.4% Porch Depth: 8 ft 2 in Porch Width: 80% (80 ft) Porch Floor Elevation: 1 ft ½ in Porch Encroachment: 5 ft 4 in
Architectural Elevations 4.4.13(F)	A review of the CBD architectural requirements is provided under the Architectura Elevations section of the report.
Civic Open Space	Required: Not applicable because the site is less than 20,000 square feet





Other Requirements	
Standard/Regulation	Review
Lighting (Photometric Plan) 4.6.8(A)(3), Illumination Standards: Table 2	Illumination spillover is limited to the maximum degree feasible given the minimum illumination requirements for street lighting, off-street parking illumination, and lighting at the building entrance.
Off-Street Parking	Required: 17 parking spaces total with at least one space designated for EV parking Retail = 1 space Multi-family = 12 spaces Guest = 4 spaces
	Provided: 17 parking spaces are provided on site, including two compact spaces and two for electric vehicles.
Bicycle Parking LDR Table 4.4.13(M)	Required: 2 Type 1 Spaces, 1 Type 2 Space
	Provided: 2 Type 1 Spaces, 2 Type 2 Spaces

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.

Review & Analysis: Landscape Plan

LDR Section 2.4.5(H)(5), Findings

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

A total of 11 trees (Green Buttonwoods, Motgomery Palms, and Japense Blueberry) are proposed for removal. As eight of the 11 trees have a condition rating under 50 percent, pursuant to LDR Section 4.6.19(E)(5), those are exempt from DBH/caliper inch-for-inch replacement, but are required to be mitigated on a tree-for-tree or palm-for-palm basis.

The project contains landscape improvements to the site, including the addition of Simpson Stopper, Blueberry Flax Lilly, and Green Island Ficus in the right-of-way. There are two existing Palms in the right-of-way as well, spaced at about 45 feet to centerline. As there is not sufficient space to add another street tree in the right-of-way without moving the existing Palms, the applicant has staggered three Montgomery Palms adjacent to the Porch columns on the west side of the building. Clusia hedges are proposed on the north and south interior side property lines with Green Buttonwoods and Japanese Bluebrry also lining the north proeprty line. A mix of Motgomery Palms, Japanese Blueberry trees, Clusia, and Green Island Ficus fill the rear landscaping along the alleyway.

The second floor terrace incorporates a mix of Christmas Palms, Foxtail Agave, Cat Palms, Bougainvillea, and Green Island Ficus, mainly situated on the north and south ends of the terrace. The rooftop terrace, providing a private patio to each of the fourth-floor units provide a mix of natural plantings and synthetic turf. Clusia is proposed in raised planters along the central four-foot high parapet wall separating the two patios.

The rooftop terraces comply with the minimum 10 percent landscaping requirement outlined in LDR Section 4.4.13 (C)(4)(g)(3); the synthetic turf is not counted towards meeting the 10 percent rooftop landscaping.



Review & Analysis: Architectural Elevations

LDR Section 2.4.5(I)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, **Section 4.6.18.** An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.



LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

- 1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- 2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

The proposed front elevations provided below have been reviewed for compliance with both Section 4.6.18 and the architectural standards in 4.4.13.





EAST ELEVATION - SPRAB

WEST ELEVATION





SOUTH ELEVATION



(B) Building and structure requirements.

The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. The architectural style of Masonry Modern is an anticipated design in the CBD and commonly found in new construction throughout the CBD. Pursuant to the Delray Beach CBD Architectural Design Guidelines, stone and wood details are often used to soften the stark modern forms of the building mass. Further, exterior finishes in the Masonry Modern language are typically stucco, and the color palette in Florida for this style is typically comprised of whites and creams. The proposed development applies white smooth stucco with wood-finished elements, a flat roof with an accentuated stair/elevator tower and uses simple geometrics to emphasize the solidity of the structure.

Further, the project utilizes glazing patterns and setbacks that differentiate the base from the middle and the top. The base is emphasized with glass through a Porch with Storefront frontage, the middle portion of the building provides a mix of smooth stucco and glass with concrete sunshades and aluminum privacy shading with a wood finish. The top is characterized by different glazing patterns and setback with a four-foot parapet above the fourth floor.

Based on the modifications proposed after the June 28, 2023, SPRAB meeting, the Board should consider keeping the dimensions of the frames similar to the previous proposal, as the color and thickness of the frames on the tower and second through fourth story add weight to the building and do not necessarily help soften the stark forms of the Masonry Modern architecture.

(E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed development is generally in conformity with good taste and good design as it incorporates many elements of the Masonry Modern architectural style outlined in the Delray Beach CBD Architectural Guidelines. The overall design and quality appearance is not anticipated to "materially depreciate" the adjacent properties or other properties in the vicinity. Further, there are no specific design elements identified that are not in keeping with the architectural style or the intent of the Criteria for Board Action.

The Board can consider if additional architectural detailing would assist in further enhancing the Masonry Modern style.

LDR Section 4.4.13(F), Architectural Standards.

To ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

Standard/Regulation	Review		
Façade Composition Tripartite Composition: Base Middle, Top 4.4.13(F)(2)	The improvements meet the intent of the building composition requirements. The glazing patterns, detailing, and setbacks differentiate the base from the middle and the top. The base is emphasized with glass through a Porch with Storefront frontage, the middle portion of the building provides a mix of smooth stucco and glass with concrete sunshades and aluminum shading systems with a faux wood finish. The top is characterized with different glazing patterns and setback with a four-foot parapet above the fourth floor.		
Appropriate Architectural Styles 4.4.13(F)(3)	Proposed Style: Masonry Modern Style Details Utilized: Use of stucco with faux wood-finished elements (shading systems), flat roof with an accentuated stair/elevator tower, use of white as a primary color, ratio of glass to wall and use of simple geometrics emphasize solidity of the structure.		





Walls 4.4.13(F)(4)	Required: Maximum two primary material's appropriate to architectural style Provided: Smooth stucco
	Required: Maximum four base wall colors Provided: One base wall color (SW#7005 Pure White); Interior elevator shaft mural to be determined
Openings 4.4.13(F)(5)	Transparency requirement has been met. A technical note has been added requiring the property owner to provide documentation to ensure the windows meet the City's definition of transparent.
	Primary entrance is identified from SE 5 th Avenue.
Roofs 4.4.13(F)(6)	Flat roof and rooftop equipment are screened by a four-foot parapet appropriate to the Masonry Modern style. There is a rooftop terrace on the second floor, which houses the pool and pool deck. A rooftop terrace is also provided on the fourth floor – one for each of the fourth-floor units.
Parking Garages 4.4.13(F)(8)	The development includes a ground floor parking garage with 17 parking spaces. Vehicular ingress and egress to the garage is provided from the alleyway to the east of The Property.
Reduction of Urban Heat Islands 4.4.13(F)(9)	Based on the Landscape Plan provided, 57 percent of the non-roofed impervious space will be landscaped and shaded. Shade trees are provided on site in the form of Silver Buttonwoods, Japanese Blueberries, and Crape Myrtles. Additional landscape is provided through a variety of shrubs and groundcover.
	The roofed area will be required to utilize Energy Star roof-compliant, high-reflectance and high emissivity roofing for a minimum of 75 percent of the roof's surface. Roofing details to ensure compliance with this requirement will need to be submitted at time of building permit.
	A total of 1,368 square feet of synthetic turf is proposed across the rooftop patios. The applicant has acknowledged that the fibers in synthetic turf absorb and retain more heat compared to natural grass. However, the applicant stresses that turf heat is not a safety issue, but rather, a comfort issue; research has shown that while the fibers are hot, creating higher temperatures at ground and knee level, surface heat dissipates when it rises to chest and head levels.
Green Building Practices 4.4.13(F)(10) and Ordinance No. 30-22	Green building certification is required for developments containing 15,000 square feet or greater. As the proposed building has a gross floor area of 27,135 square feet, the building shall achieve at least the minimum level of certification from a green building certification entity. Documentation explaining how the green building certification will be achieved shall be provided at time of permit.

Delray Beach Central Business Architectural Design Guidelines

Masonry Modern is defined by its rational load bearing construction technique, its system of punched openings (versus large expansive walls of windows) and its limited ornament. Stucco is the prevalent building finish in the Masonry Modern style. Stone and wood details are used to soften the stark moderns forms of the building mass.

The proposed building design exhibits characteristics of the Masonry Modern style. Pursuant to the Delray Beach CBD Architectural Design Guidelines, Masonry Modern features include flat roofs (often used for terraces), stucco finish, punched openings, vertically proportioned windows, and sculpted stairway access rooms. Additionally, the color palette in Florida for this style is typically comprised of whites and creams. The proposed development applies white smooth stucco with faux wood-finished elements, a flat roof with an accentuated stair/elevator tower and uses simple geometrics to emphasize the solidity of the structure.



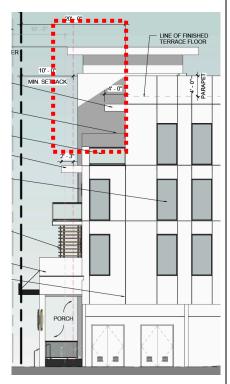
Darker hues may highlight the bases of buildings or emphasize deeper recesses of porches or loggias. As the applicant has amended the elevations to darken and thicken the trim around the doors and windows, the Board should consider whether the color and thickness of the trim is harmonious with the building's design and whether it helps implement the Masonry Modern style.

Tower Feature

Pursuant to LDR Section 4.4.13(K)(2)(b), SPRAB may provide relief from the additional setback required above the third story for building entries, lobbies, and vertical circulation areas configured as tower elements consistent with the architectural character of the building. The applicant is requesting the approval of a tower feature, located on the northwest corner of the building that is setback between a range of 8 feet and 6 inches to 11 feet from the front property line instead of the required 20-foot front setback above the third floor.

As with many other architectural styles, towers can be incorporated as a prominent feature typically to accentuate a main entrance or create a point of interest at the corner of a building or with a stairwell. The proposed tower, finished with smooth stucco and comprised mostly of glass, wraps around the northwest corner of the building and emphasizes the stairway and elevator shaft. A mural is presently included inside the west and north side of the tower to add an artistic element that, while interior to the building, will be a highlight along the streetscape. Based on the Delray Beach CBD Architectural Guidelines, the composition of a Masonry Modern building should reflect the solidity of the structural system, using simple geometrics, and include spaces carved from the mass to create entries or terraces.

As part of the tower consideration in providing relief from the additional setback required above the third story, the Board should determine whether the tower is configured as a prominent feature and whether the tower is consistent with the Masonry Modern architectural style of the building, further emphasizing the solidity of the structure.



Review by Others

The Community Redevelopment Agency (CRA) reviewed the Class V Site Plan request in its March 10, 2023 CRA report.

The **DDA** reviewed the full Class V Site Plan at its meeting of March 13, 2023. A recommendation to approve the proposed Class V Site Plan was carried 5 to 0. The DDA Memo is attached and provides additional information.

Optional Board Motions

- A. **Move approval** of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for **Valhalla Condominiums**, a four-story mixed-use development located at **235 SE 5**th **Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. **Move approval, as amended,** of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for **Valhalla Condominiums**, a four-story mixed-use development located at **235 SE 5**th **Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move denial of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for Valhalla Condominiums, a four-story mixed-use development located at 235 SE 5th Avenue, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to continue with direction.



Courtesy Notices

X Courtesy Notices were sent to:

- Osceola Park
- Marina Historic District
- Mallory Square

Technical Notes

Prior to the site plan certification, the following must be completed:

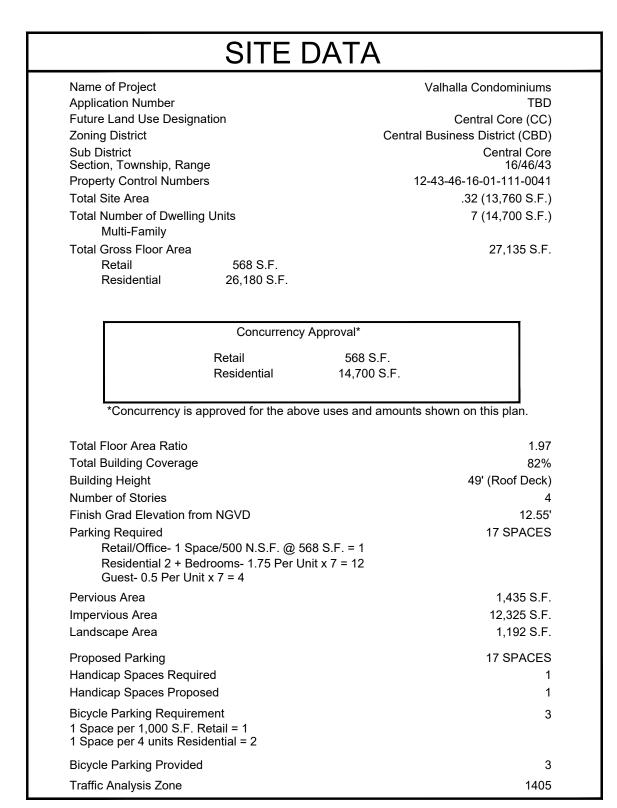
- 1. Ensure that sheet SP-1 and SPA1.00 are consistent, specifically regarding the labeling of the electric vehicle (EV) parking spaces.
- 2. Ensure that the streetscape diagram on sheet SPA1.00 reflects the same dimensions on the first floor plan on sheet SPA1.00.
- 3. Add a note to Sheet SPA1.08 and provide documentation to demonstrate the windows used to meet the minimum opening requirements meet the definition of transparent as outlined in LDR Section 4.4.13(F)(5)(a), meaning non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent.

Prior to the issuance of a building permit, the following must be completed:

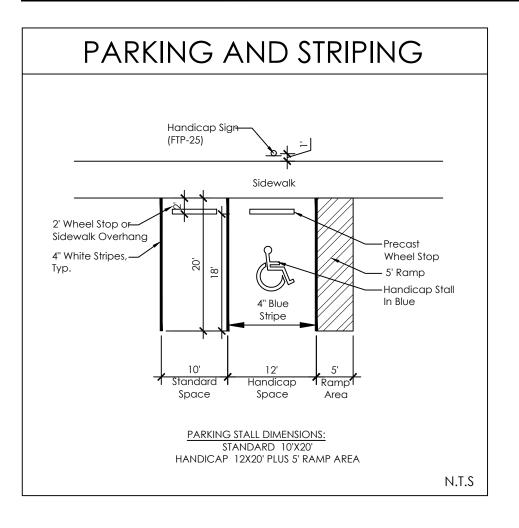
- 4. The property owner shall enter into a Hold Harmless Agreement with FDOT to make any water or sewer connections, as well as other improvements, in the FDOT Right-of-Way.
- 5. Provide the requisite information to ensure compliance with Construction Parking and Staging, and the Maintenance of Traffic (MOT) Plan, as anticipated, to accommodate the subject development.
- 6. Pursuant to LDR Section 4.4.13 (E)(2)(a)(2), as a portion of the pedestrian clear zone is within the front setback, prior to building permit issuance, a pedestrian clear zone easement agreement will be required.
- 7. Provide details of the generator to ensure compliance with LDR Section 4.3.4(H)(4)(k), restricting the generator height to 4.5 feet, as it is located within the rear setback.
- 8. The property owner shall complete a right-of-way deed process to dedicate the required two feet of alleyway.
- 9. The property owner shall submit documentation to demonstrate that the roofed area is Energy Star roof-compliant, high-reflectance and high emissivity roofing for a minimum of 75 percent of the roof's surface, and indicate on the site plan.
- 10. As the proposed development exceeds 15,000 square feet of Gross Floor Area, but less than 50,000 square feet, the building shall achieve at least the minimum level of certification from a green building certification entity. Documentation explaining how the green building certification will be achieved shall be provided at time of permit.

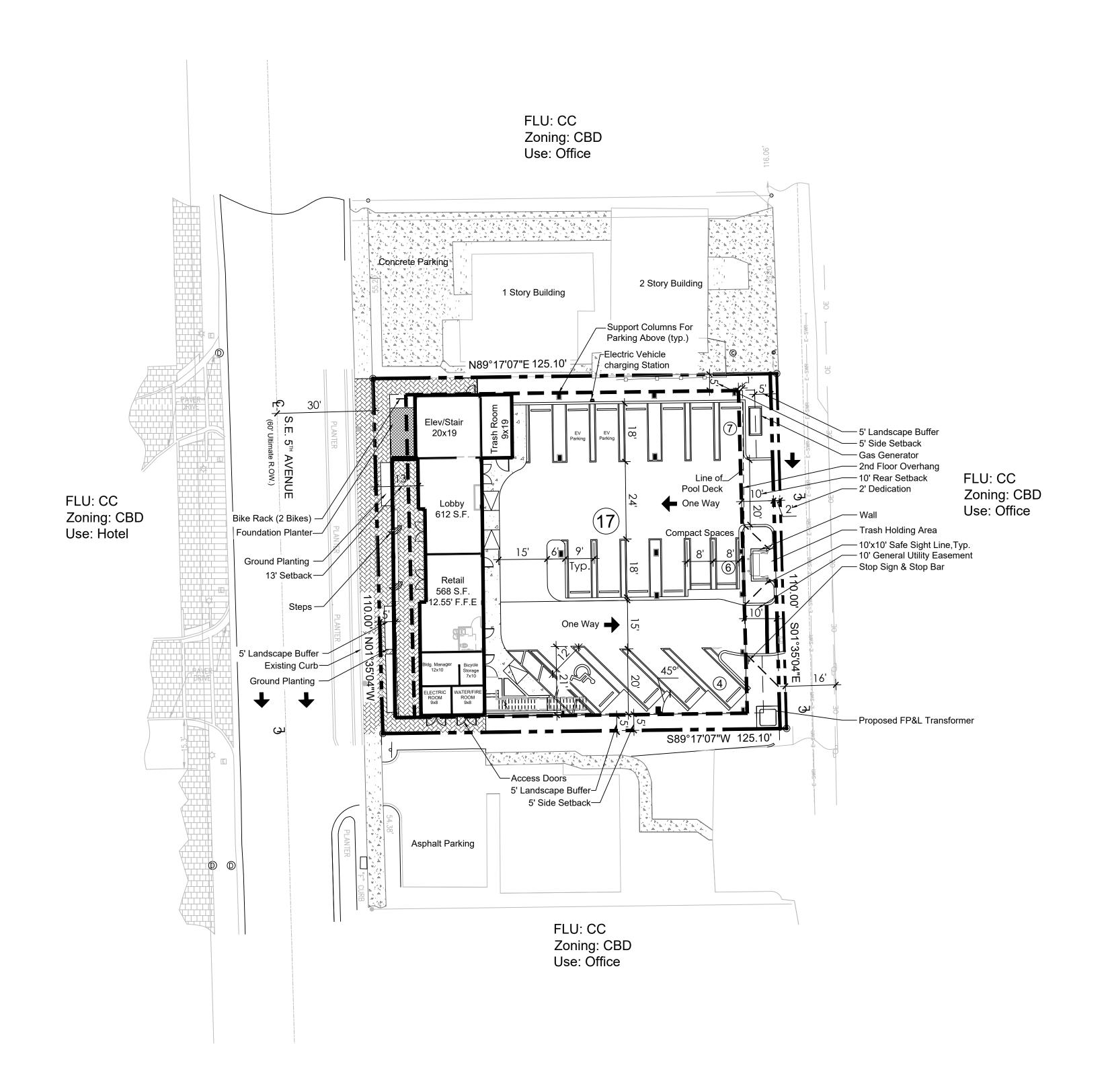
Note: Submit separate application for review and approval of signage; not included with the subject request per LDR.

LOCATION N	MAP NTS
S.E. FIRST STREET SOUTH BOUND)	(NORTH BOUND)
FED ERAL HWY	FEDERAL HWY
S.E. THIRD STREET	SITE



	DEVELOPMENT REGULATIONS										
	ZONING	М	INIMUM LOT	DIMENSIONS		DENOITY	MAY	S	SETBACKS/SEPA	RATIONS	
	DISTRICT	SIZE	WIDTH	FRONTAGE	DEPTH	DENSITY/ GFA	MAX. FAR	FRONT	SIDE	SIDE STREET	REAR
CODE	Central Core	2000 S.F.	20'	20'	N/A	30 du/ac.	N/A	10' min 15' max 4th Floor 20'	Min 5' or 10' Separation	N/A	10'
PROP.	Central Core	.32 AC.	110'	110'	125'	22 du/ac	1.97	13'	5'	N/A	10'







LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

al Condo

Florida

Beach,

Delray

 Date:
 03/31/22

 Scale:
 1" =20'-0"

 Design By:
 JN

 Drawn By:
 JJH

 Checked By:
 JN

 File No.
 1084.01

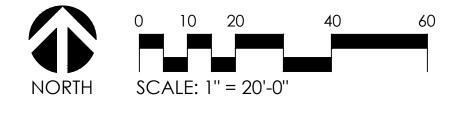
 Job No.
 22-10

REVISIONS / SUBMISSIONS

05/18/22 Original Submittal 06/02/22 Submittal 02/17/23 Resubmittal

SITE PLAN

SP-1

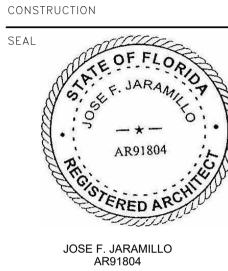




Architecture, Planning, Interiors, & Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :



PROJECT TITLE 235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM.
DESCRIPTION
DATE

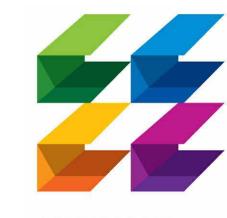
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

RENDERING

DATE DRAWN BY KB/JF/JT JOB NUMBER **2**11101

07/



Architecture, Planning, Interiors, & Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

PERMIT

CONSTRUCTION

JOSE F. JARAMILLO AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

RENDERING

DATE DRAWN BY KB/JF/JT JOB NUMBER

211101

07/





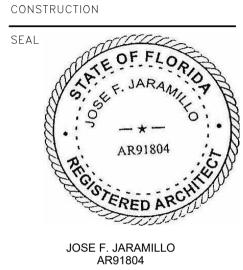
Architecture, Planning, Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT



PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

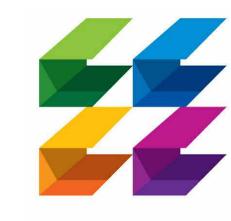
REVISIONS

NUM.
DESCRIPTION
DATE

THESE DRAWINGS ARE PREPARED PER
ESTABLISHED INDUSTRY STANDARDS AND
REPRESENT THE ARCHITECT AND
ENGINEERS DESIGN CONCEPT. THEY ARE
NOT INTENDED TO PROVIDE EVERY
DETAIL OR CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FULLY RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
WHETHER INDICATED ON THE PLANS OR
NOT.

DRAWING TITLE

DATE DRAWN BY KB/JF/JT JOB NUMBER 211101



Architecture, Planning, Interiors, & Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT

JOSE F. JARAMILLO
AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

RENDERING

DATE | DRAWN BY | KB/JF/JT | DRAWN BY | DRAW

SPAO.3





CURRIE SOWARDS

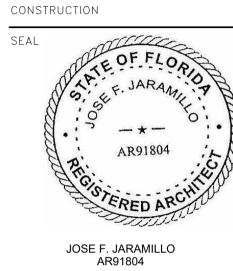
AGUILA
architects
Architecture, Planning,
Interiors, &
Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT



PROJECT TITLE

235 on FIFTH

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS | DESCRIPTION | DATE

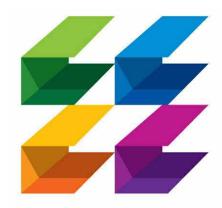
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

RENDERING

DATE DRAWN BY KB/JF/JT JOB NUMBER 211101





CURRIE SOWARDS

AGUILA architects
Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584

185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

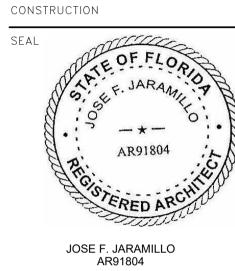
T:(561) 276-4951 F:(561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT

CONST



PROJECT TITLE

235 on FIFTH

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

 NUM.
 DESCRIPTION
 DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

RENDERING

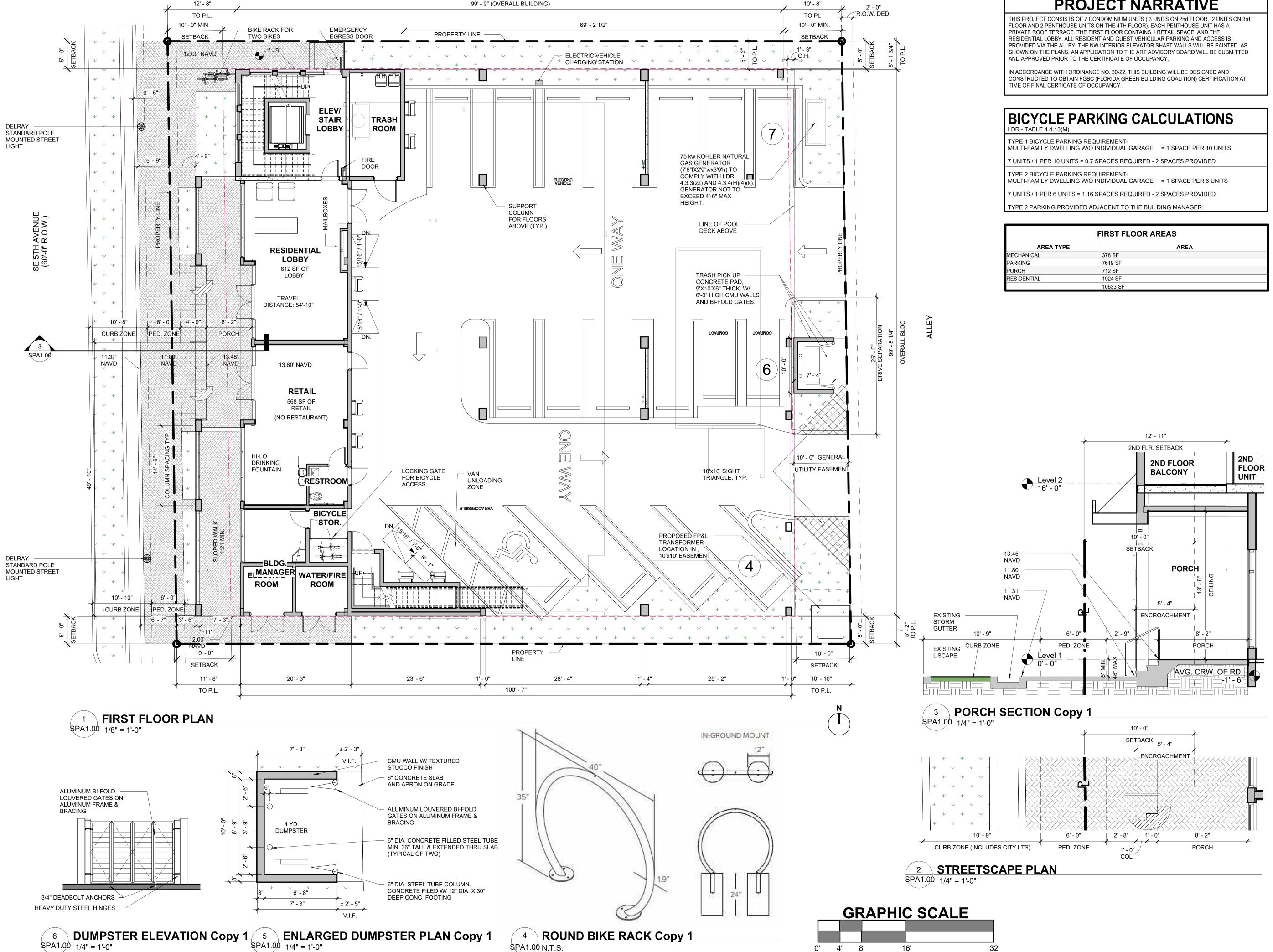
DATE DRAWN BY KB/JF/JT JOB NUMBER

JOB NUMBER

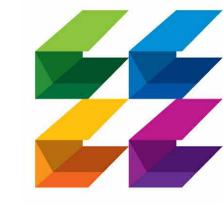
211101

DRAWING NUMBER

SPA0.5



PROJECT NARRATIVE



CURRIE SOWARDS AGUILA

architects Architecture, Planning,

> Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483

T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR:

SPA BIDS

PERMIT

CONSTRUCTION

JOSE F. JARAMILLO AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE

DELRAY BEACH, FL

NUM. DESCRIPTION DATE

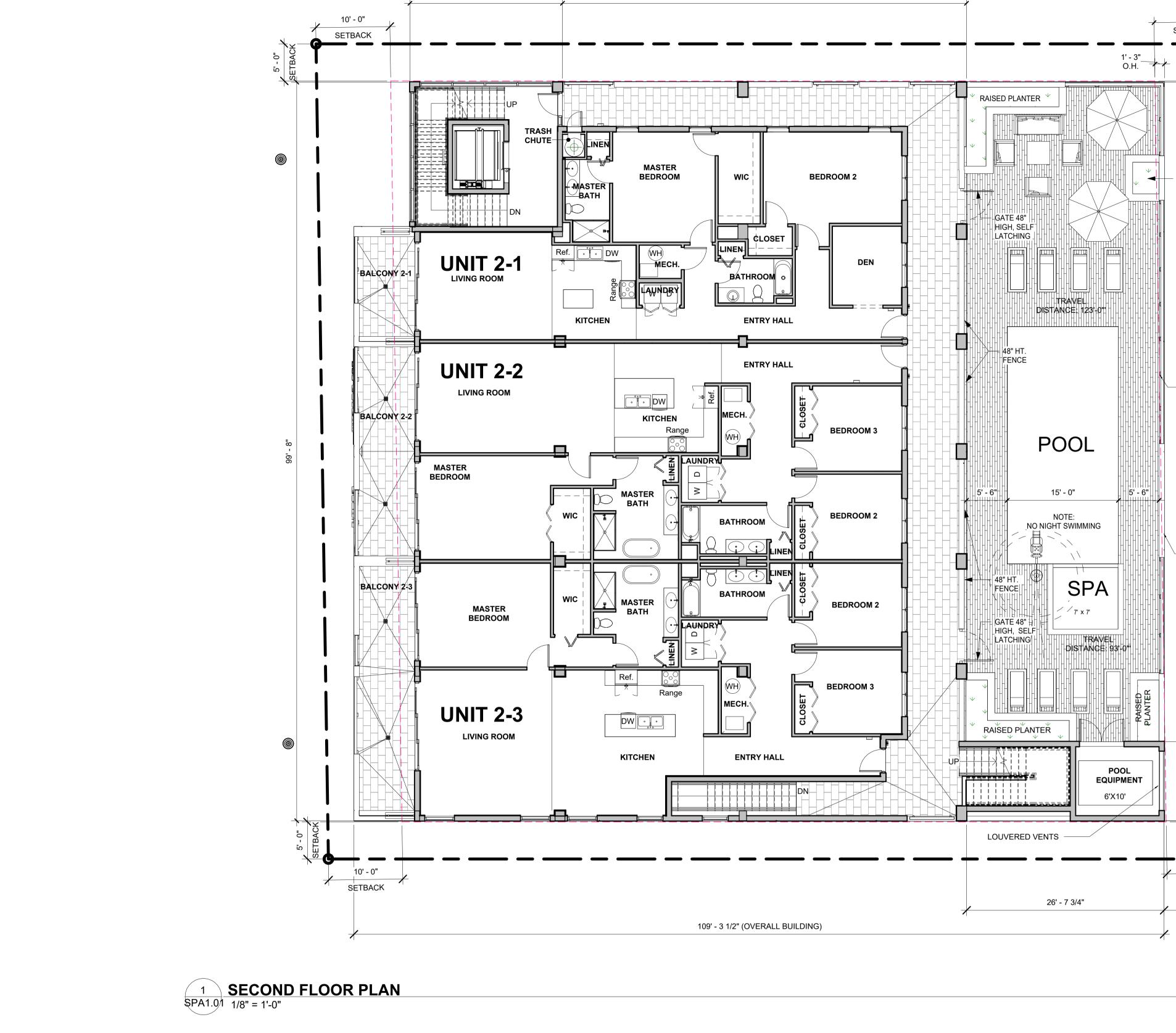
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE

CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FULLY RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
WHETHER INDICATED ON THE PLANS OR DRAWING TITLE

ARCHITECTURAL SITE PLAN

07/18/23 KB/JF/JT JOB NUMBER

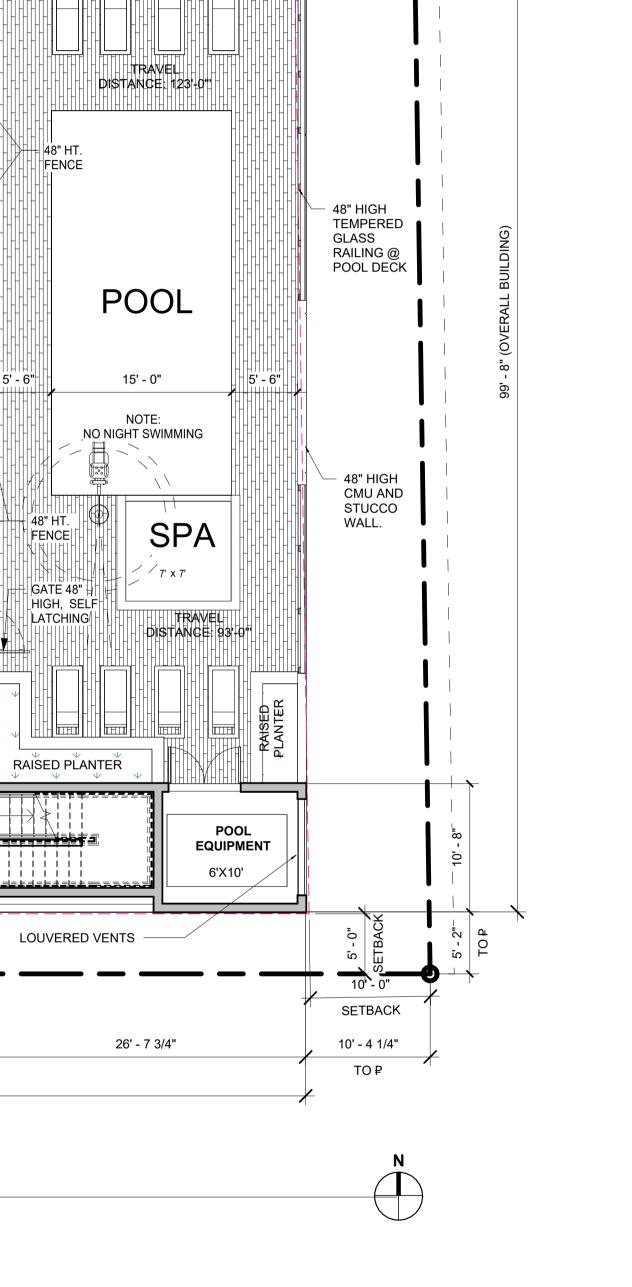
211101



THIS DOCUMENT IS THE PRO 5/11/2023 10:37:53 AM

20' - 7"

54' - 6"



SETBACK

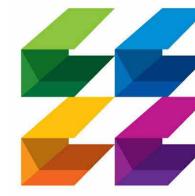
PLANTER



UNIT 2-2 AREA			
Name	Area	Comments	
UNIT 2-2	1951 SF	RESIDENTIAL	
UNIT 2-2 BALCONY	244 SF	RESIDENTIAL	
	2195 SF		

UNIT 2-3 AREA			
Name	Area	Comments	
JNIT 2-3	2075 SF	RESIDENTIAL	
UNIT 2-3 BALCONY	288 SF	RESIDENTIAL	
	2363 SF		

Name	AREA	AREA TYPE
CORRIDOR (EXTERIOR)	1252 SF	COMMON AREA
LOBBY	156 SF	COMMON AREA
PLANTER	226 SF	COMMON AREA
POOL	571 SF	COMMON AREA
POOL DECK	1523 SF	COMMON AREA
	3728 SF	
EQUIPMENT	120 SF	MECHANICAL
	120 SF	
UNIT 2-1	1584 SF	RESIDENTIAL
UNIT 2-1 BALCONY	127 SF	RESIDENTIAL
UNIT 2-2	1951 SF	RESIDENTIAL
UNIT 2-2 BALCONY	244 SF	RESIDENTIAL
UNIT 2-3	2075 SF	RESIDENTIAL
UNIT 2-3 BALCONY	288 SF	RESIDENTIAL
_	6270 SF	
	10119 SF	



CURRIE SOWARDS AGUILA

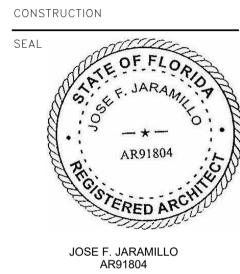
architects Architecture, Planning, Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS

PERMIT



PROJECT TITLE

235 SE 5TH AVE. CONDOMINIUMS

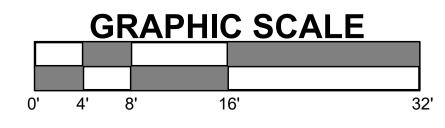
235 SE 5TH AVENUE DELRAY BEACH, FL

NUM. DESCRIPTION DATE

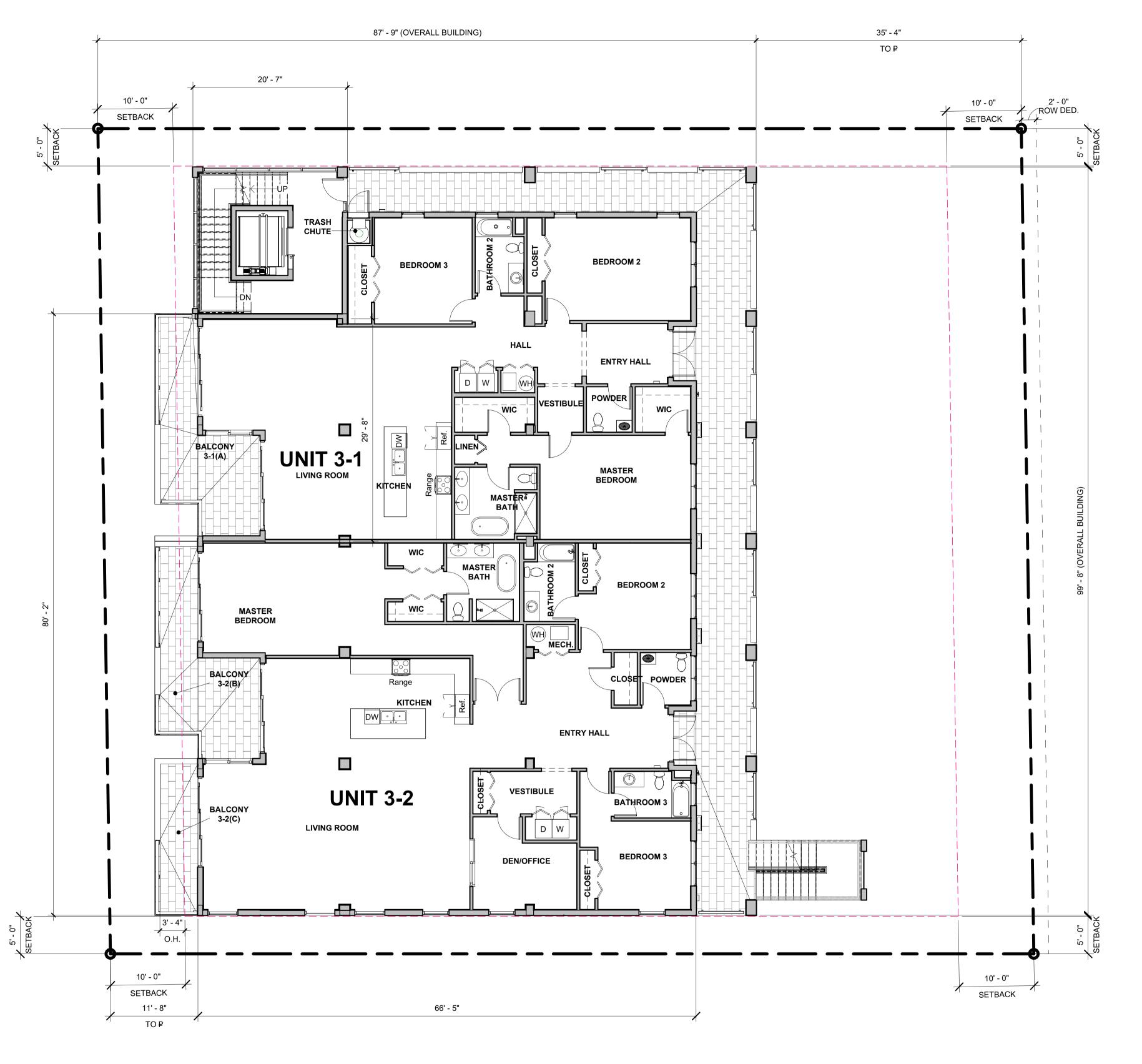
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

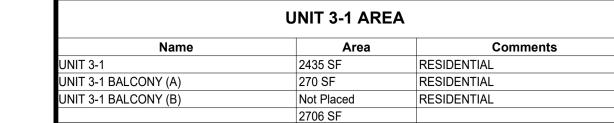
SECOND FLOOR
PLAN

M 5/11/2023 | KB/JF/JT JOB NUMBER 211101



1 THIRD FLOOR PLAN SPA1.02 1/8" = 1'-0"





	UNIT 3-2 AREA			
Name	Area	Comments		
UNIT 3-2	3119 SF	RESIDENTIAL		
UNIT 3-2 BALCONY (A)	268 SF	RESIDENTIAL		
UNIT 3-2 BALCONY (B)	120 SF	RESIDENTIAL		

THIRD FLOOR AREAS						
Name	Area	Comments				
CORRIDOR	1164 SF	COMMON AREA				
LOBBY	195 SF	COMMON AREA				
	1359 SF					
UNIT 3-1	2435 SF	RESIDENTIAL				
UNIT 3-1 BALCONY (A)	270 SF	RESIDENTIAL				
UNIT 3-2	3119 SF	RESIDENTIAL				
UNIT 3-2 BALCONY (A)	268 SF	RESIDENTIAL				
UNIT 3-2 BALCONY (B)	120 SF	RESIDENTIAL				
	6212 SF					
	7572 SF					



CURRIE SOWARDS AGUILA

architects Architecture, Planning, Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT

CONSTRUCTION

JOSE F. JARAMILLO AR91804

PROJECT TITLE 235 SE 5TH AVE.

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

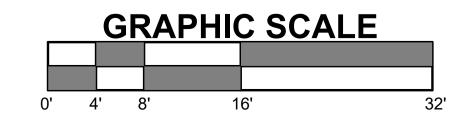
REVISIONS

NUM.
DESCRIPTION
DATE

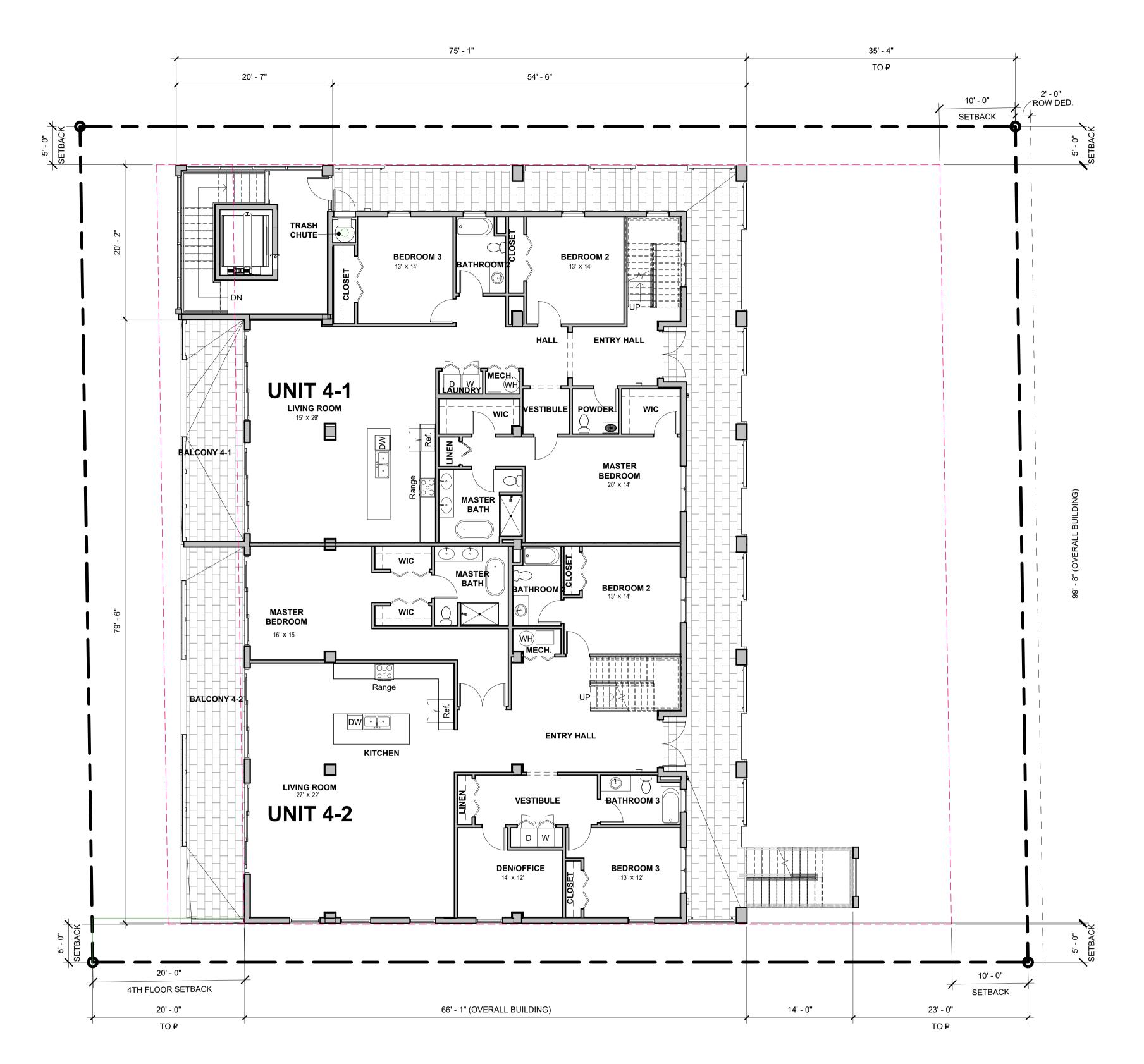
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

THIRD FLOOR
PLAN

M 5/11/2023 KB/JF/JT JOB NUMBER
211101



1 FOURTH FLOOR PLAN SPA1.03 1/8" = 1'-0"



UNIT 4-1 AREA						
Name Area Comments						
4-1 LANDING	95 SF					
UNIT 4-1	2346 SF	RESIDENTIAL				
UNIT 4-1 BALCONY	247 SF	RESIDENTIAL				
UNIT 4-1 ROOF DECK	1907 SF	<varies></varies>				
	4596 SF					

UNIT 4-2 AREA						
Name	Area	Comments				
4-2 LANDING	43 SF					
UNIT 4-2	2873 SF	RESIDENTIAL				
UNIT 4-2 BALCONY	415 SF	RESIDENTIAL				
UNIT 4-2 ROOF DECK	2363 SF	<varies></varies>				
	5694 SF					

FOURTH FLOOR AREAS									
Name Area Comments									
CORRIDOR	1121 SF	COMMON AREA							
LOBBY	198 SF	COMMON AREA							
	1319 SF								
UNIT 4-1	2346 SF	RESIDENTIAL							
UNIT 4-1 BALCONY	247 SF	RESIDENTIAL							
UNIT 4-2	2873 SF	RESIDENTIAL							
UNIT 4-2 BALCONY	415 SF	RESIDENTIAL							
	5882 SF								
	7201 SF								



CURRIE

AGUILA architects Architecture, Planning, Interiors, & Sustainable Design

Sustainable Design

AA26001584

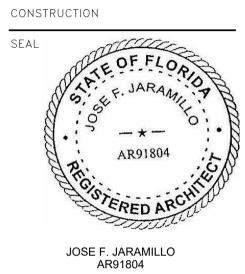
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T:(561) 276-4951 F:(561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT



PROJECT TITLE

235 SE 5TH AVE.

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

FOURTH FLOOR

FOURTH FLOOR
PLAN

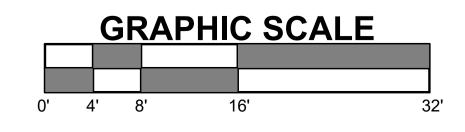
DATE

5/11/2023 | KB/JF/JT

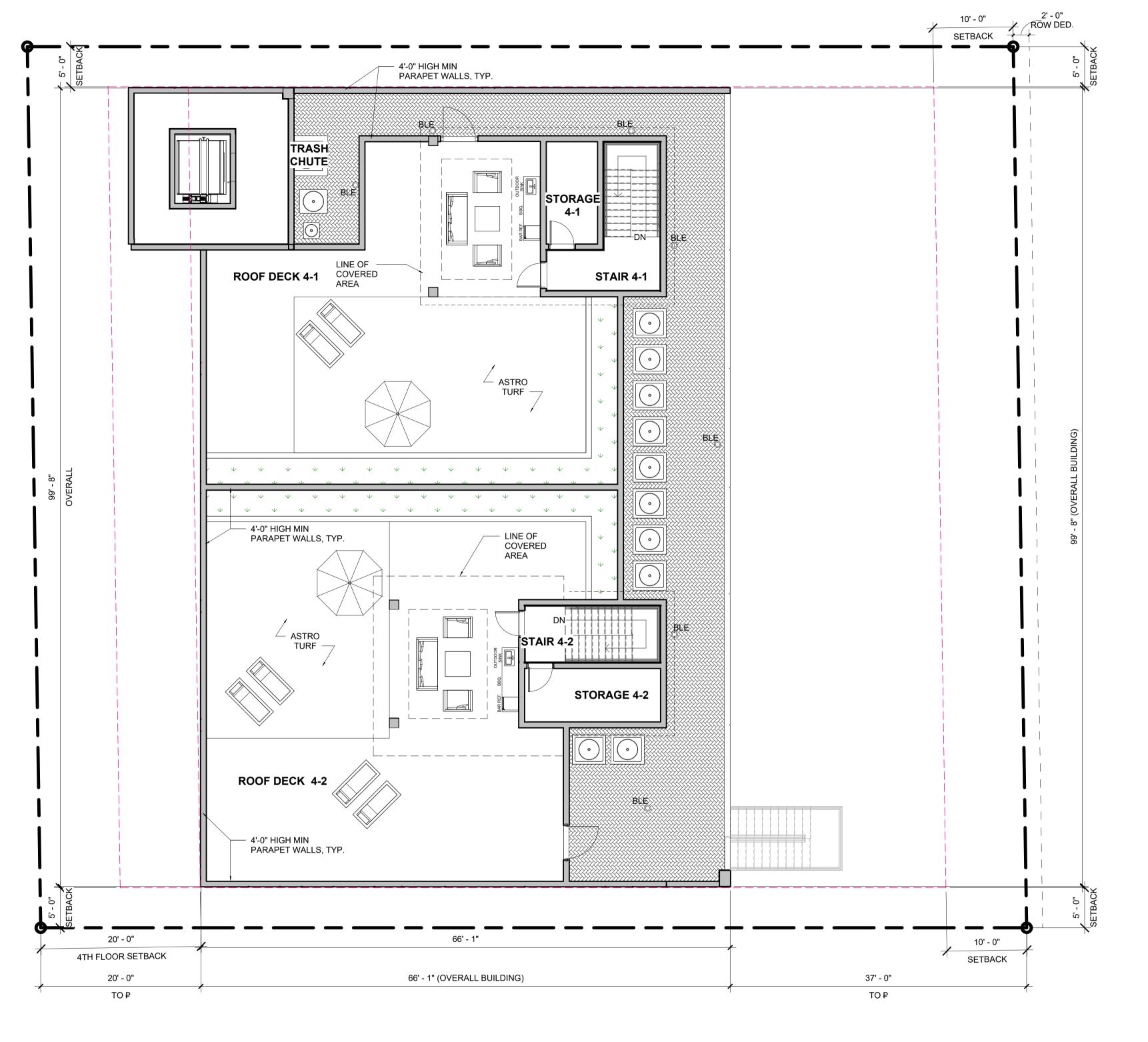
O 211101

DRAWING NUMBER

SPA1.03



1 MAIN ROOF PLAN \$PA1.04 1/8" = 1'-0"



ROOF DECK						
Area Use	Area	Comments				
STAIR	95 SF					
	95 SF					
STAIR	43 SF					
	43 SF					
COMMON	1614 SF					
	1614 SF					
TRASH	25 SF					
	25 SF					
UNIT 4-1 COVERED AREA	383 SF	20.1% (Max 25% = 476.7 SF)				
UNIT 4-1 LANDSCAPE	282 SF	14.8% (Min 10% = 190.7 SF)				
UNIT 4-1 ROOF DECK	1243 SF					
	1907 SF					
UNIT 4-2 COVERED AREA	581 SF	24.6% (Max 25% = 590.7 SF)				
UNIT 4-2 LANDSCAPE	243 SF	10.3% (Min 10% = 236.3 SF)				
UNIT 4-2 ROOF DECK	1538 SF					
	2363 SF					
	6048 SF					

ROOF NOTES

NO EXTERIOR LIVE MUSIC OR DISC JOCKEY TO BE ALLOWED AT EXTERIOR SPACES. LDR 4.4.13(C)(4)(g)2.b.ii
OUTDOOR ROOFTOP ACTIVITIES(NOT WITHIN ENCLOSED AREAS) WILL BE LIMITED TO MONDAY-THURSDAY 7AM-10PM AND FRIDAY-SATURDAY FROM 7AM-11PM TO COMPLY WITH LDR 4.4.13(C)4(g)2.B.iv

COMMON

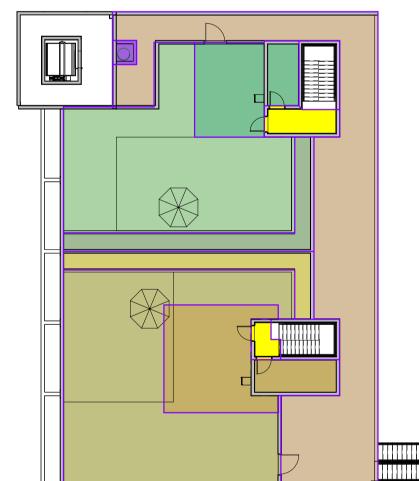
TRASH

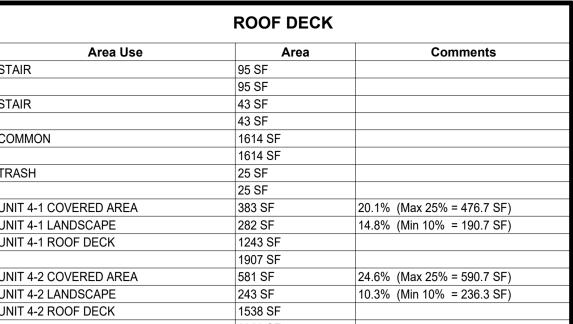
UNIT 4-1 COVERED AREA

UNIT 4-1 LANDSCAPE

UNIT 4-1 ROOF DECK

UNIT 4-2 COVERED AREA



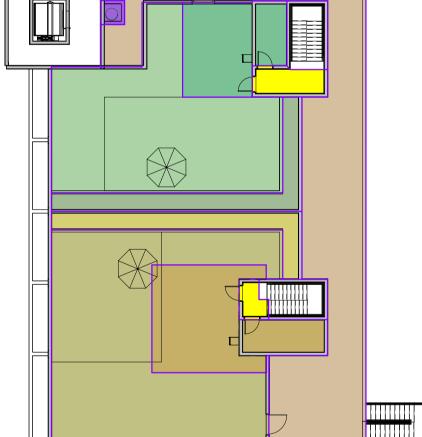


Building Area Legend

STAIR

UNIT 4-2 LANDSCAPE

UNIT 4-2 ROOF DECK



2 ROOF TOP TERRACE DIAGRAM
SPA1.04 1" = 20'-0"

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

ROOF PLAN

CURRIE

SOWARDS

AGUILA architects

Architecture, Planning, Interiors, & Sustainable Design

AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483

T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

JOSE F. JARAMILLO AR91804

235 SE 5TH AVE.

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM.
DESCRIPTION
DATE

ISSUED FOR :

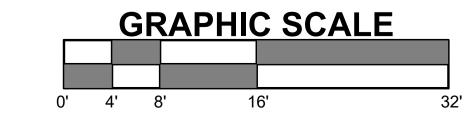
SPA BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

M 5/11/2023 KB/JF/JT JOB NUMBER 211101

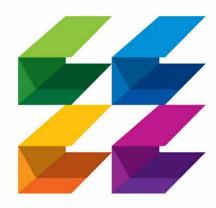












CURRIE SOWARDS AGUILA

architects Architecture, Planning, Interiors, & Sustainable Design

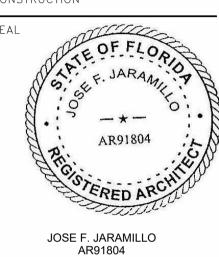
AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT

CONSTRUCTION SEAL



PROJECT TITLE

235 on FIFTH CONDOMINIUMS

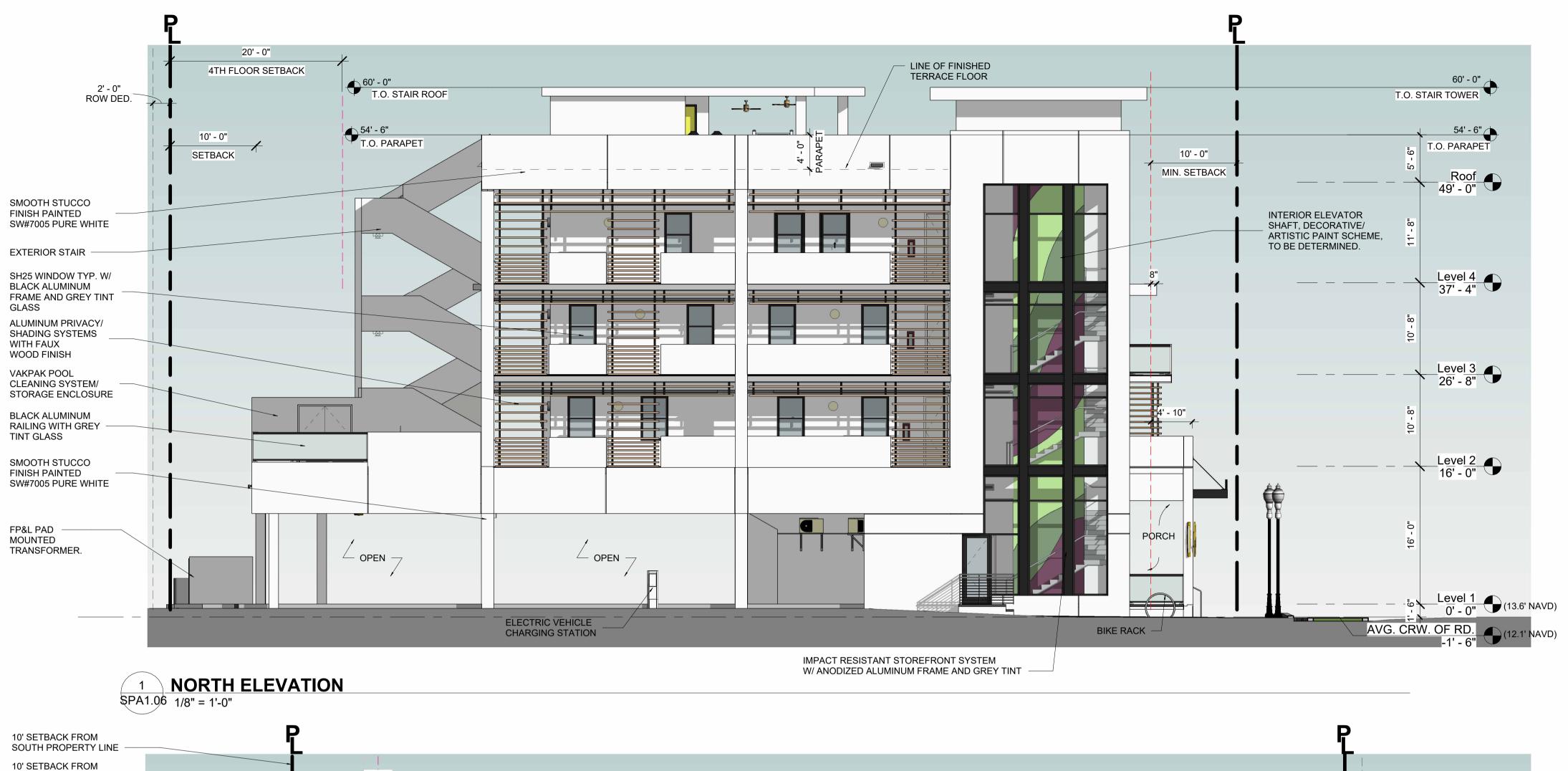
235 SE 5TH AVENUE DELRAY BEACH, FL

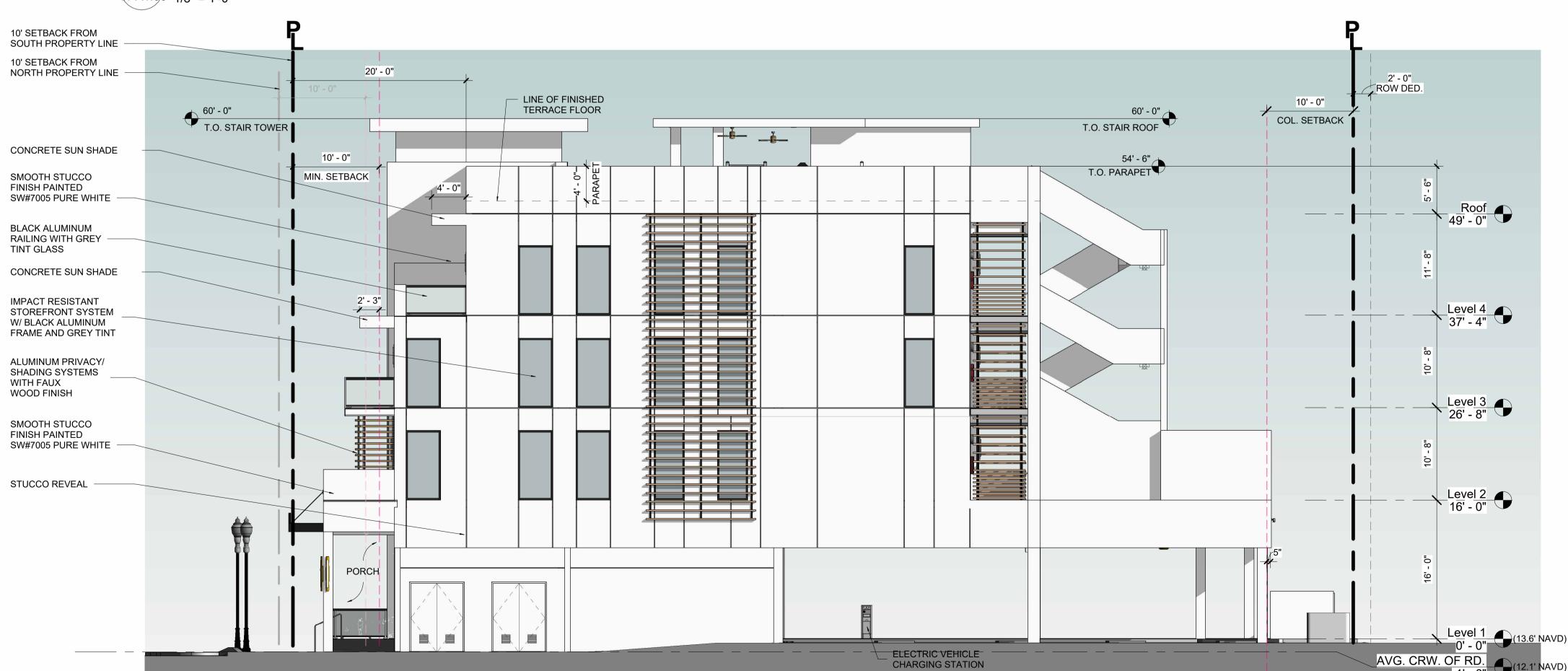
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT. DRAWING TITLE

EXTERIOR σ _{ELEVATIONS}

07/18/23 KB/JF/JT JOB NUMBER **~** 211101









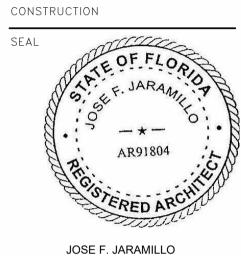
Architecture, Planning, Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT



AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

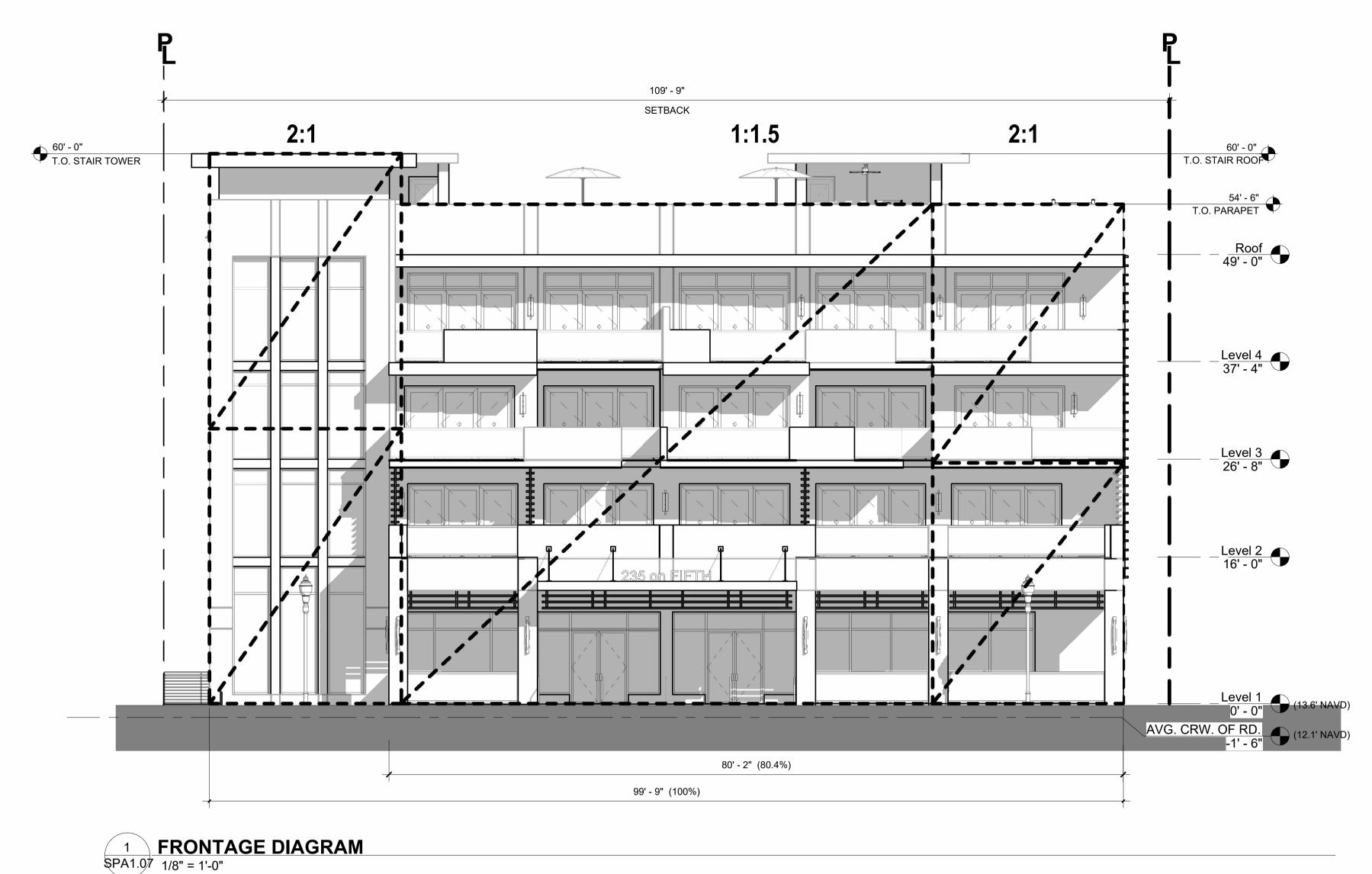
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE EXTERIOR σ ELEVATIONS

07/18/23 KB/JF/JT JOB NUMBER

211101



ARCHITECTURAL STANDARDS

THE PROJECT DESIGN PROPOSED IS MASONRY MODERN IN CONJUNCTION WITH FRONTAGE TYPE - PORCH WITH STOREFRONT.

THE ELEVATION EXHIBITS THE MASONRY MODERN ARCHITECTURAL STYLE BY PROVIDING:

- FLAT ROOFS ARE UTILIZED FOR TERRACES. THE STAIRWAY IS EMBELISHED WITH LARGE STOREFRONT GLAZING.

- EXTERIOR SPACES ARE INCORPORATED INTO THE FACADE, CREATING ARTICULATIONS IN THE VOLUME OF THE BUILIDING.

CANTILEVERED CONCRETE SUNSHADE COMPONENTS WITH VOIDS, ILLUSTRATING CARVED ELEMENTS.

- THE STRUCTURAL SYSTEM OF THE BUILDING IS CLEARLY EXPRESSED IN THE BUILIDING'S EXTERIOR.

PRIMARY FINISHES ARE STUCCO AND GLASS

ESTABLISHED TRIPARTITE COMPOSITION

PARAPET WALL SURROUNDING PRIVATE ROOF TERRACES



CURRIE SOWARDS AGUILA architects

Architecture, Planning, Interiors, &

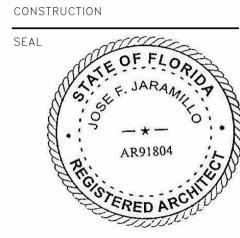
Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT



JOSE F. JARAMILLO AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

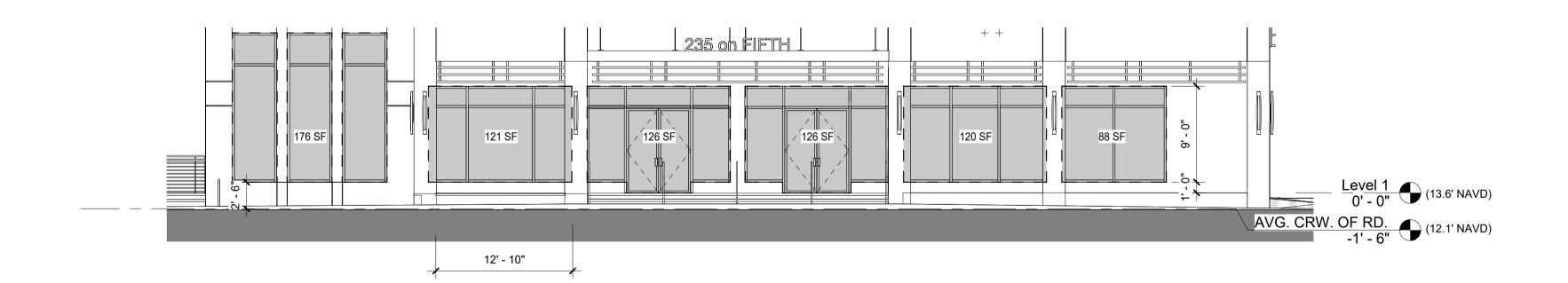
DRAWING TITLE

FRONTAGE DIAGRAMS

DATE | DRAWN BY | KB/JF/JT | JOB NUMBER | 211101

SPA1.07

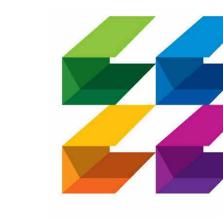
1 TRANSPARENCY DIAGRAMS
SPA1.08 1/8" = 1'-0"



2 STOREFRONT REQUIRED OPENINGS
SPA1.08 1/8" = 1'-0"

THIS DOCUMENT IS THE PROF 7/18/2023 3:39:36 PM

TRANSPARENCY CALCULATIONS 1ST FLOOR AREA 1,596 S.F. WALL AREA = 757 S.F. TRANS. AREA (47.4%) 2ND FLOOR AREA = 1,064 S.F. WALL AREA = 602 S.F. TRANS. AREA (56.6%) 3RD FLOOR AREA = 1,064 S.F. WALL AREA 602 S.F. TRANS. AREA (56.6%) 4TH FLOOR AREA = 1,586 S.F. WALL AREA = 725 S.F. TRANS. AREA (45.7%)



CURRIE SOWARDS AGUILA

architects Architecture, Planning, Interiors, & Sustainable Design

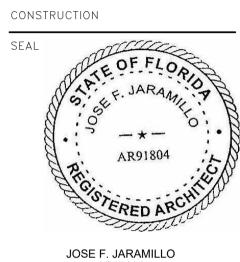
185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

AA26001584

ISSUED FOR :

SPA BIDS

PERMIT



AR91804

PROJECT TITLE

235 on FIFTH CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

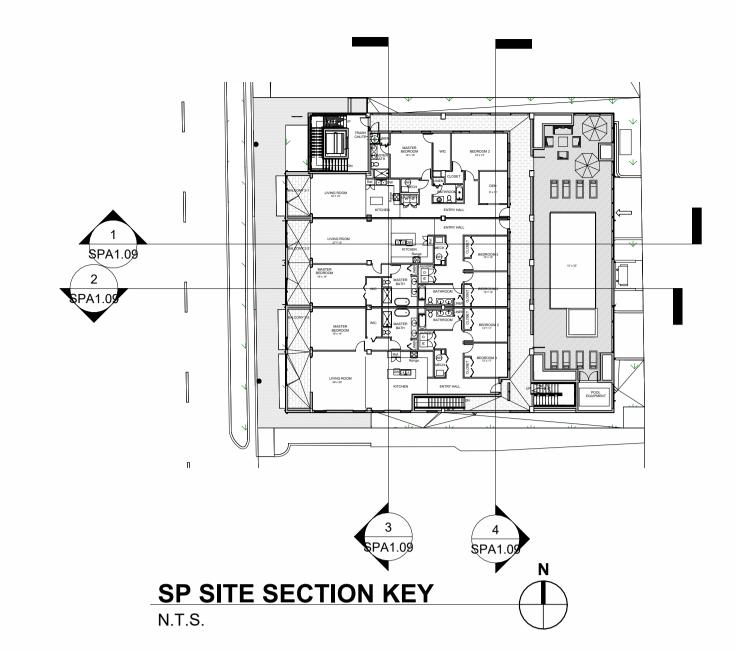
NUM.
DESCRIPTION
DATE

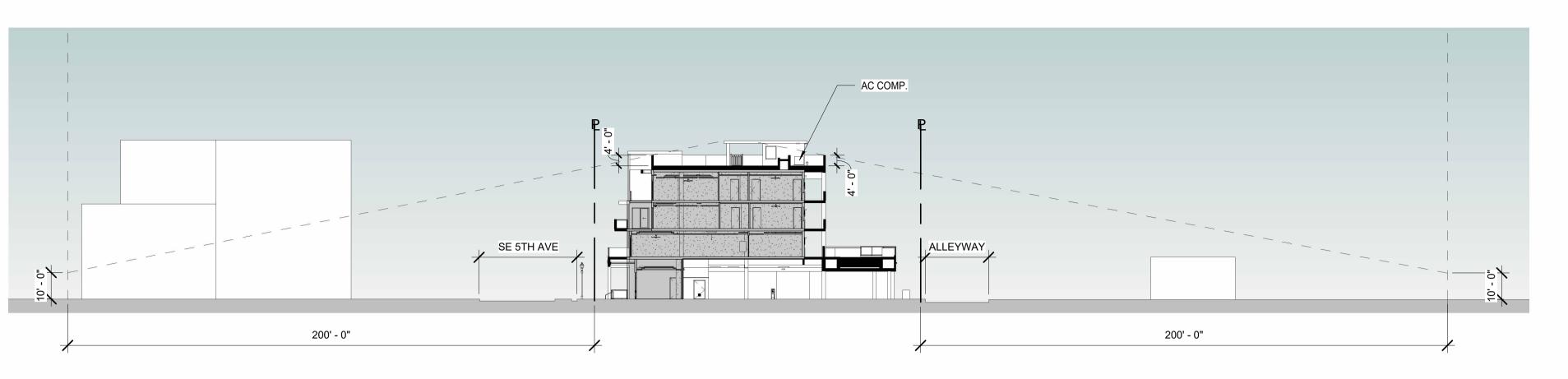
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

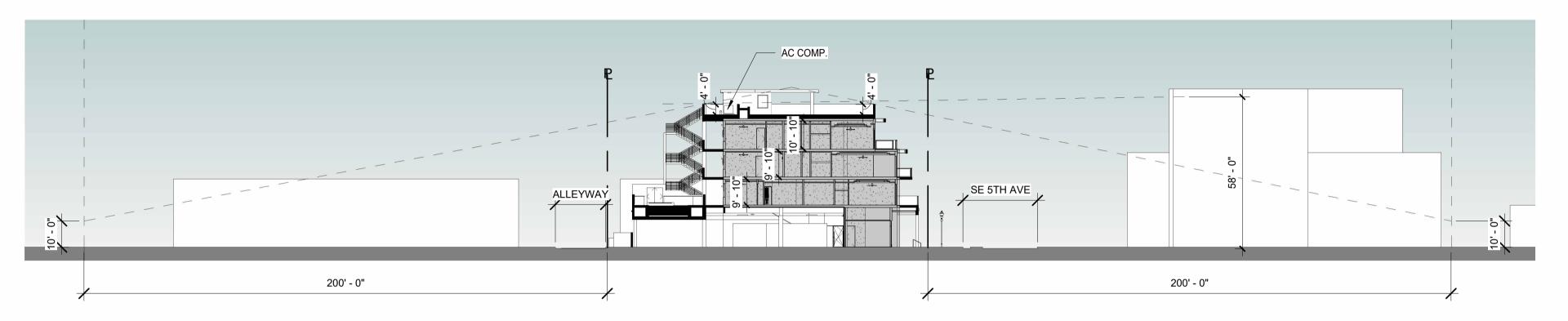
TRANSPARENCY DIAGRAMS

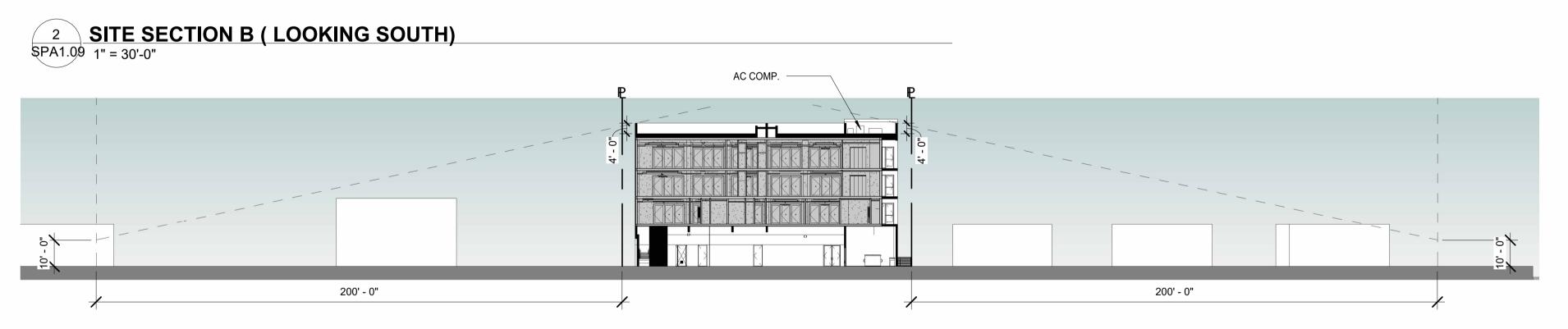
07/18/23 KB/JF/JT JOB NUMBER 211101

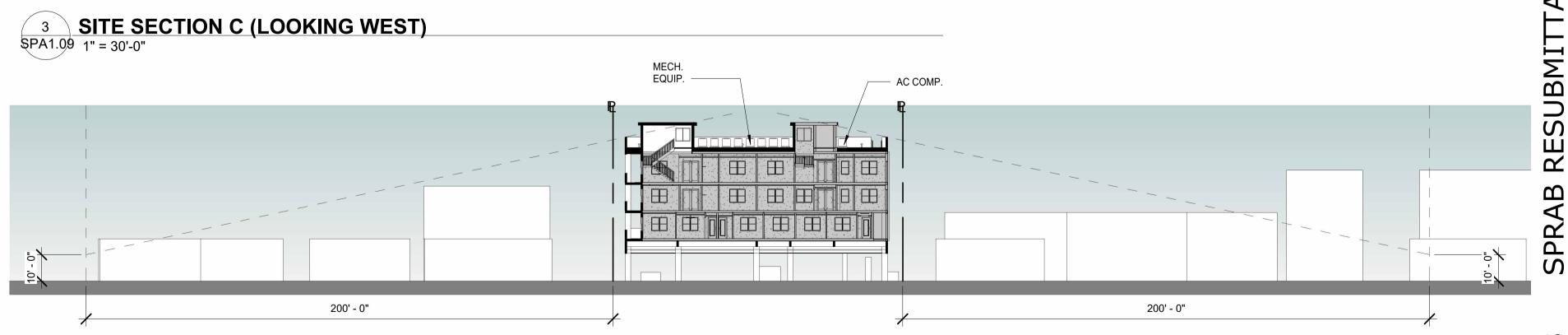




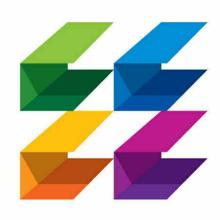
1 SITE SECTION A (LOOKING NORTH)
SPA1.09 1" = 30'-0"







4 SITE SECTION D (LOOKING EAST)
SPA1.09 1" = 30'-0"



CURRIE SOWARDS AGUILA architects

Architecture, Planning, Interiors, & Sustainable Design

AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT

CONSTRUCTION JOSE F. JARAMILLO AR91804

PROJECT TITLE 235 SE 5TH AVE.
CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

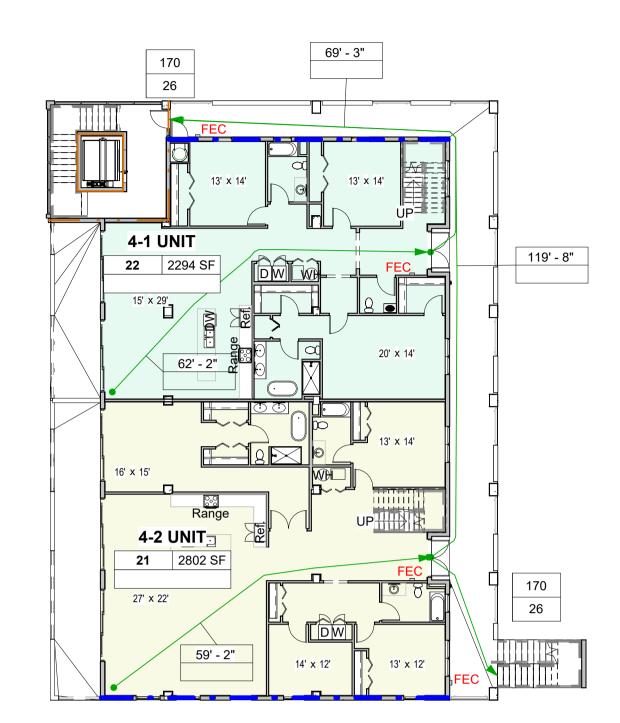
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

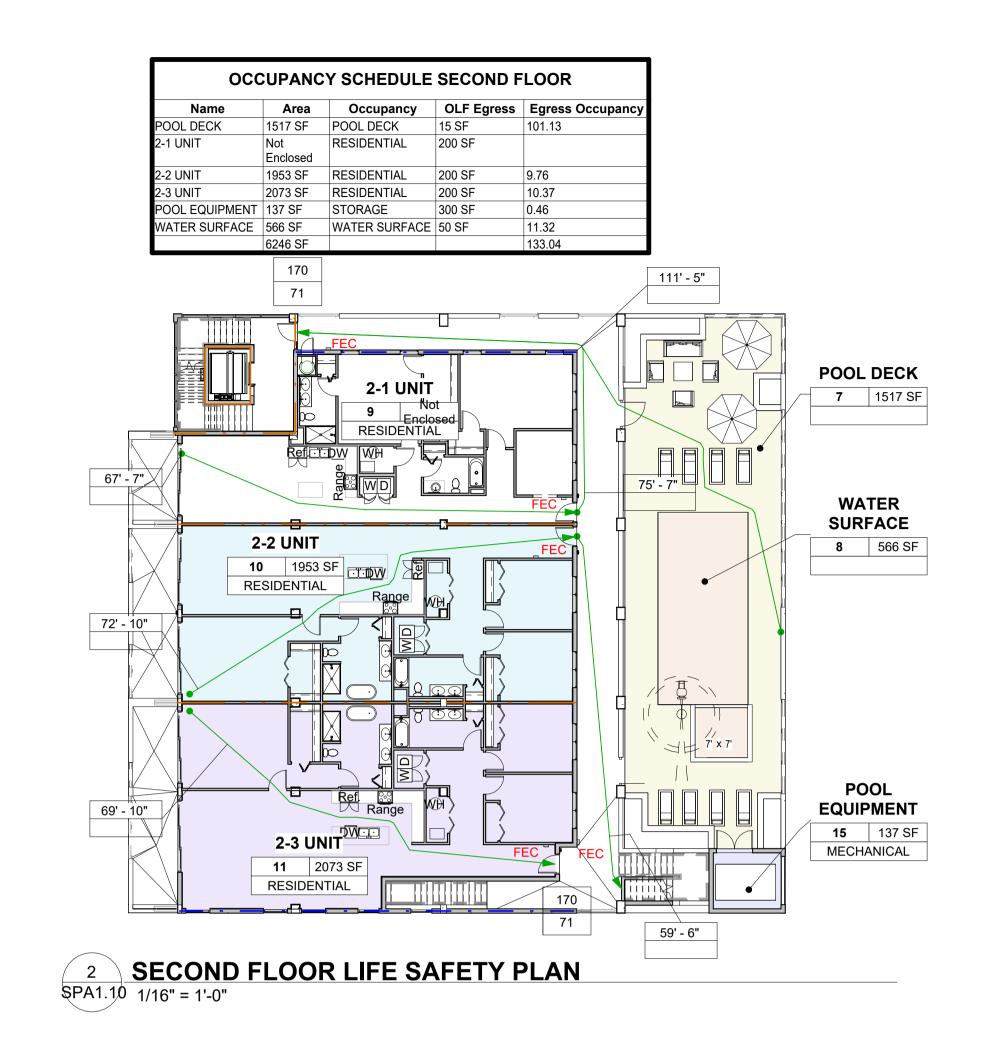
SITE SECTIONS

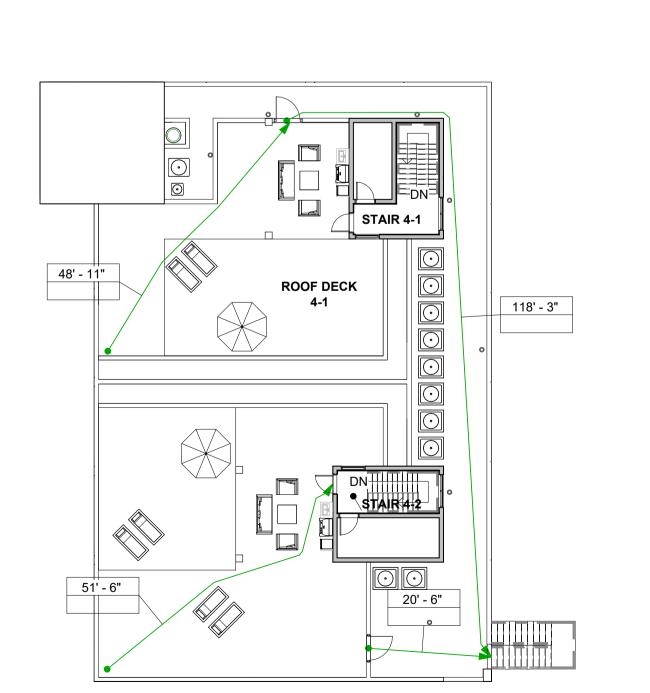
DATE | DRAWN BY | 5/11/2023 | KB/JF/JT

JOB NUMBER
211101

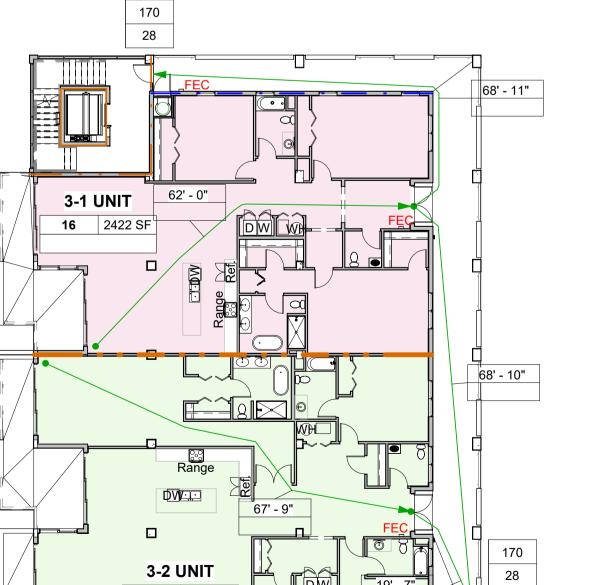


FOURTH FLOOR LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"





5 ROOF LIFE SAFETY PLAN SPA1.10 1/16" = 1'-0"

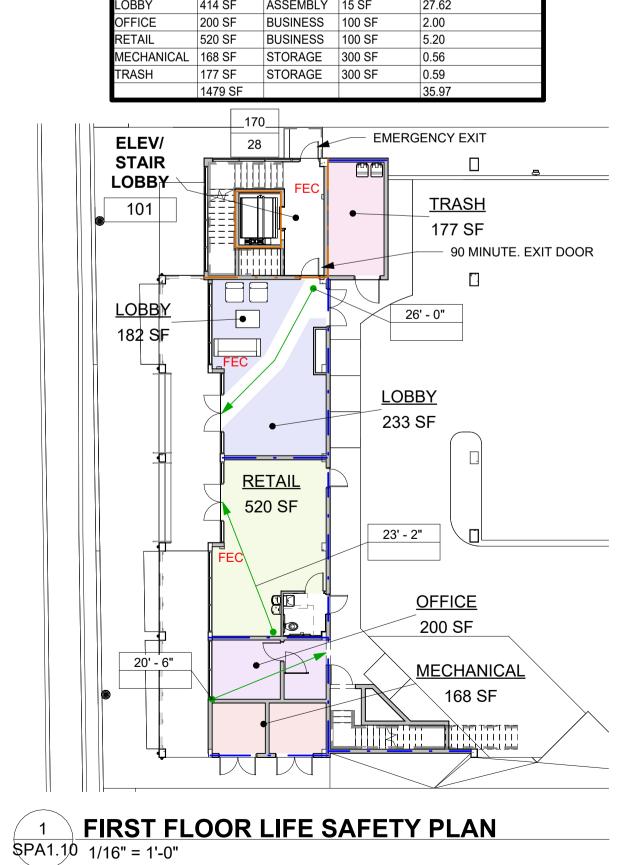


OCCUPANCY SCHEDULE THIRD FLOOR

NameAreaOccupancyOLF EgressEgress Occupancy3-1 UNIT2422 SFRESIDENTIAL200 SF12.11

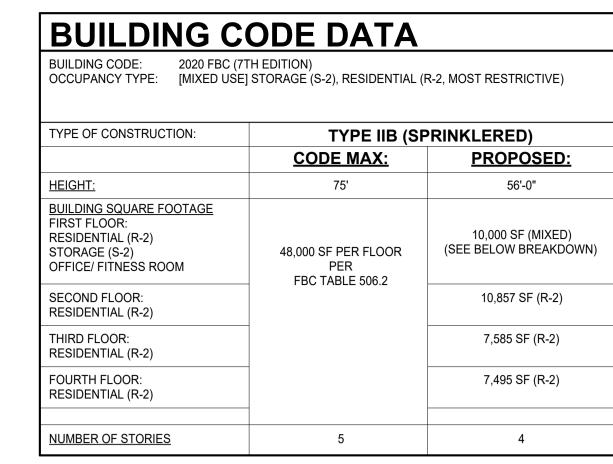
3-2 UNIT 3101 SF RESIDENTIAL 200 SF





OCCUPANCY SCHEDULE FIRST FLOOR

Area Occupancy OLF Egress Egress Occupancy



TYPE	DESCRIPTION	TYPE	DESCRIPTION	
	EXIT SIGN	← •	PATH OF EGRESS	
\bigotimes_{\bullet}	(SEE ELECTRICAL PLANS)		1 - HR FIRE RATED PTN	
FEC	SEMI-RECESSED FIRE		2 - HR FIRE RATED PTN	
	ESTINGUISHER CABINET	SD	SMOKE DETECTORS	
FE T	FIRE EXTINGUISHER (WALL MOUNTED)	Р	PULL STATION	
	(WALL MOONTED)	×	FIRE ALARM STROBE	
_			FIRE ALARM HORN/STROBE	
*	DOOR EQUIPPED WITH PANIC HARDWARE	0	NO. OF PERSONS EXITING	
		0	EGRESS CAPACITY OF EXI	
#	DOOR EQUIPPED WITH FIRE EXIT HARDWARE	Length	DISTANCE OF TRAVEL	
	THE EXIT IN INSTANCE	1i 🖊	- EXIT DESIGNATION	
ROOM	NAME → Na r	me		
ROOM	101	150 SF ◀	SQUARE FOOTAGE	
NUMBE	Occup	oancy ~	OCCUPANCY TYPE	

FIRE PROTECTION						
	REQUIRED:	PROVIDED:				
STRUCTURAL FRAMING	00'	00'				
EXTERIOR BEARING WALLS	00'	00'				
EXTERIOR NONBEARING WALLS	00'	00'				
INTERIOR BEARING WALLS	00'	00'				
INTERIOR NONBEARING WALLS	00'	00'				
FLOOR/CEILING CONSTRUCTION	00'	00'				
ROOF/CEILING CONSTRUCTION	00'	00'				
VERTICAL OPENINGS	00'	00'				

EGRESS DATA (SPRINKLERED)								
MAX. MAX. MIN. TRAVEL DIST. DEAD END CORRIDOR WIDTH								
RESIDENTIAL (R-2)	250'	50'	44"					
STORAGE (S-2)	400'	50'	44"					
ASSEMBLY (A-3)	250'	20'	44"					

MINIMUM CLEAR OPENING AT EXIT DOORS IS 32"



SOWARDS AGUILA architects

Interiors, &
Sustainable Design
AA26001584

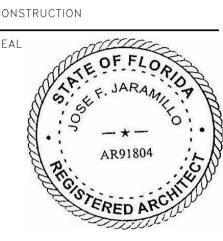
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

Architecture, Planning,

T:(561) 276-4951 F:(561) 243-8184 E-MAIL: office@csa-architects.com

SPA BIDS PERMIT

PERMIT CONSTRUCTION



JOSE F. JARAMILLO AR91804

PROJECT TITLE

235 SE 5TH AVE.

CONDOMINIUMS

235 SE 5TH AVENUE DELRAY BEACH, FL

REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

LIFE SAFETY
PLANS

DATE

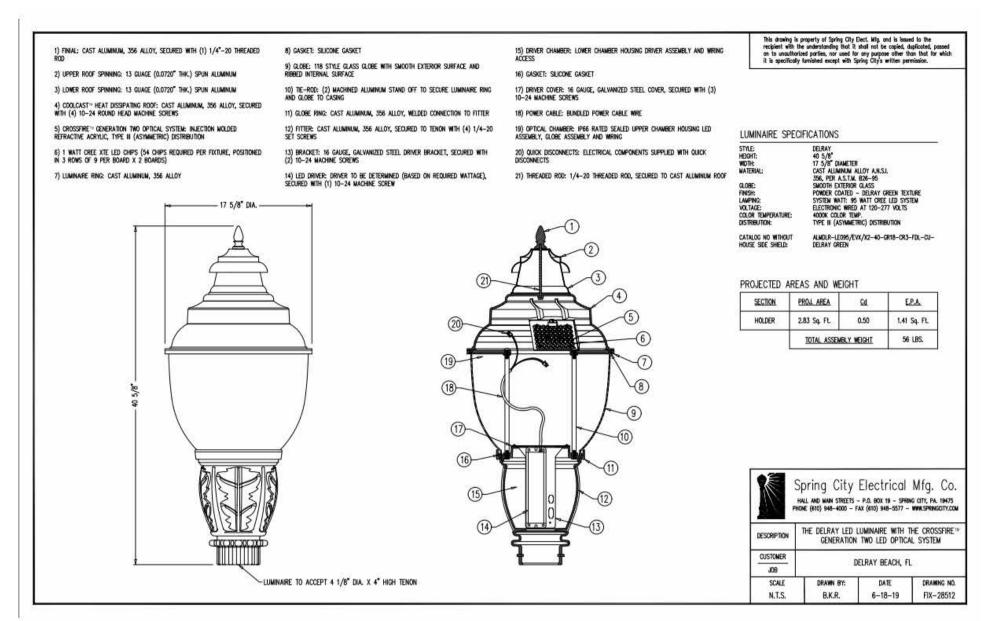
5/11/2023 | DRAWN BY

KB/JF/JT

JOB NUMBER

211101

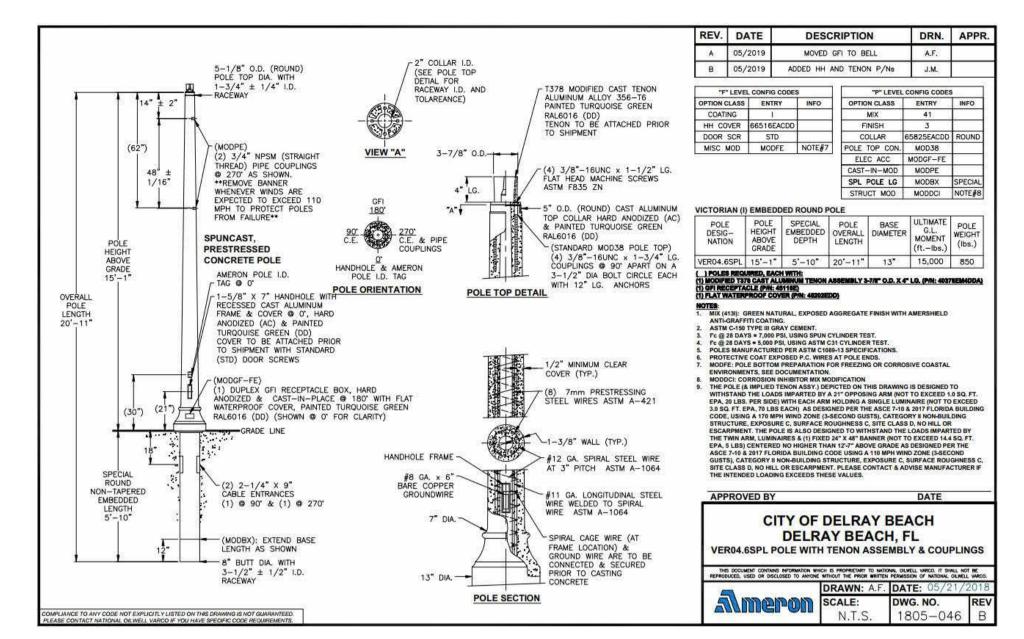
SPA1.10



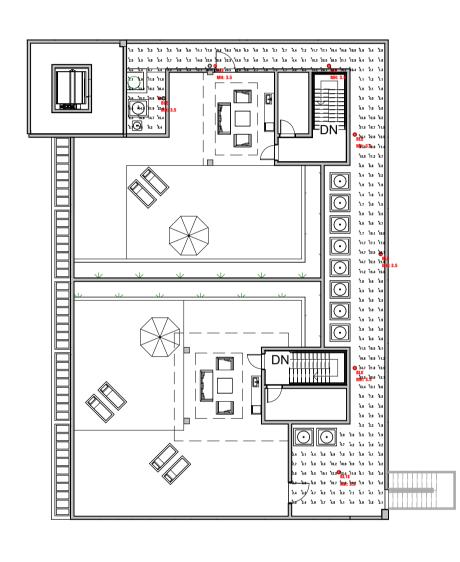
"W" CITY DECORATIVE LIGHT

Covered Areas Photometrics Calculation Summary							
Project: 235 SE 5TH AVENUE, DELRAY BEACH - 1ST FLR - NIGHT - REV6 2.6.2023							
Label	Avg	Max	Min	Avg/Min	Max/Min		
COVERED PARKING	4.55	9.3	1.4	3.25	6.64		
ENTRANCE	2.53	3.8	1.7	1.49	2.24		

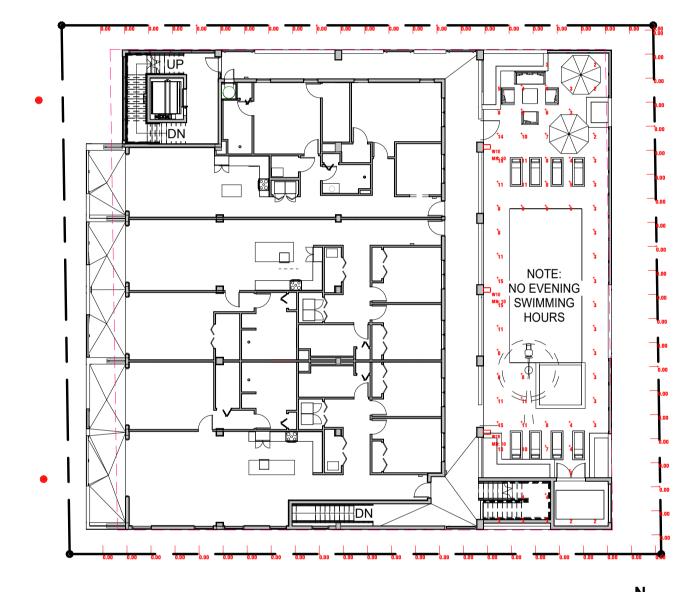
Calculation Summary							
Project: 5_10_2023 235 SE 5TH AVENUE, DELRAY BEACH - 1ST FLR REV8							
Label	Avg	Мах	Min	Avg/Min	Max/Min		
EAST SPILL	0.04	0.23	0.01	4.00	23.00		
SPILL - 6' AG HORIZONTAL	0.06	0.17	0.00	N.A.	N.A.		
SPILL - 6' AG VERTICAL	0.14	0.25	0.00	N.A.	N.A.		
ALLEY	2.35	7.3	0.4	5.88	18.25		
FRONT CANOPY	6.28	8.6	4.3	1.46	2.00		



"SA" CITY LIGHT POLE



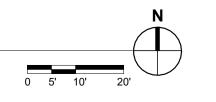


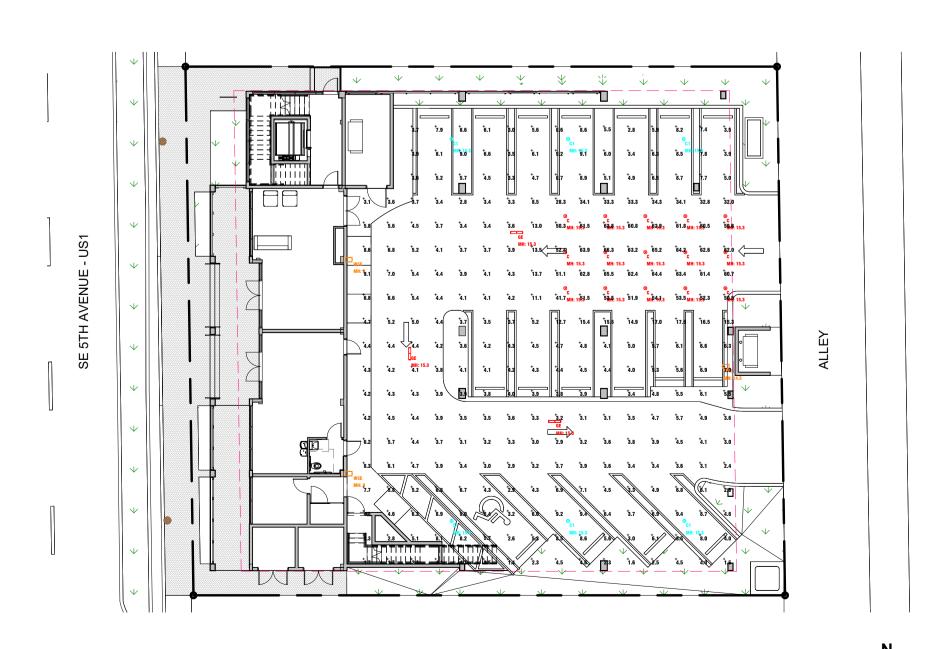




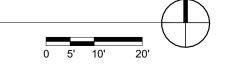


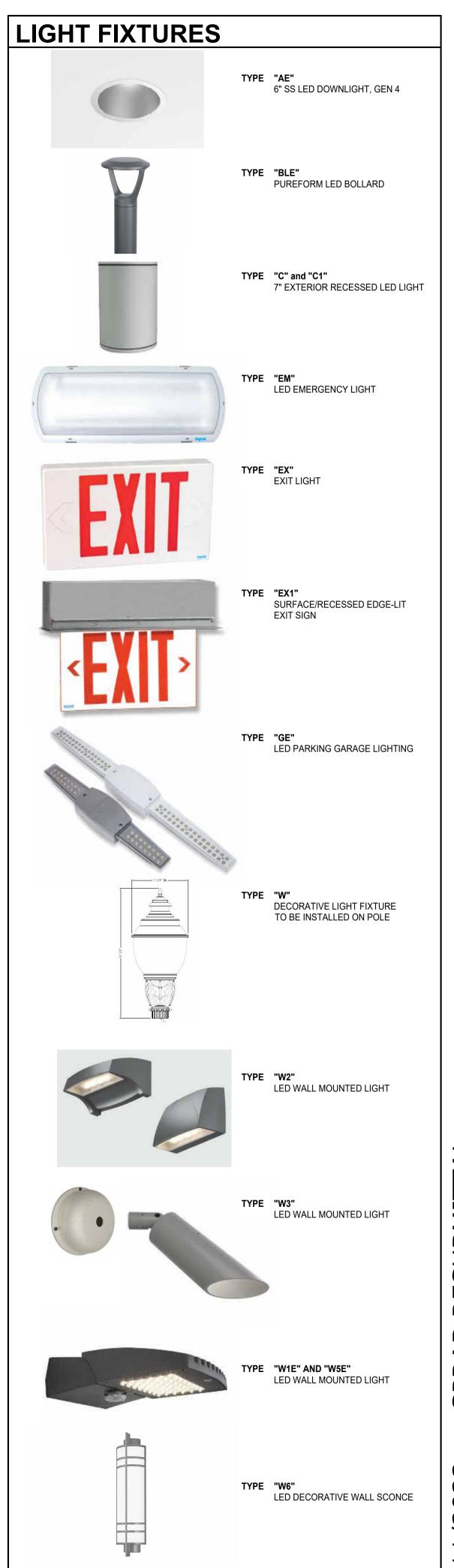












CURRIE SOWARDS AGUILA

architects
Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584

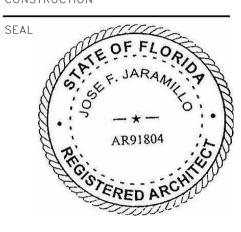
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T:(561) 276-4951 F:(561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA BIDS

PERMIT CONSTRUCTION



JOSE F. JARAMILLO AR91804

PROJECT TITLE

235 SE 5TH AVE.

CONDOMINIUMS

235 SE 5TH AVENUE

DELRAY BEACH, FL

REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

PHOTOMETRIC PLANS

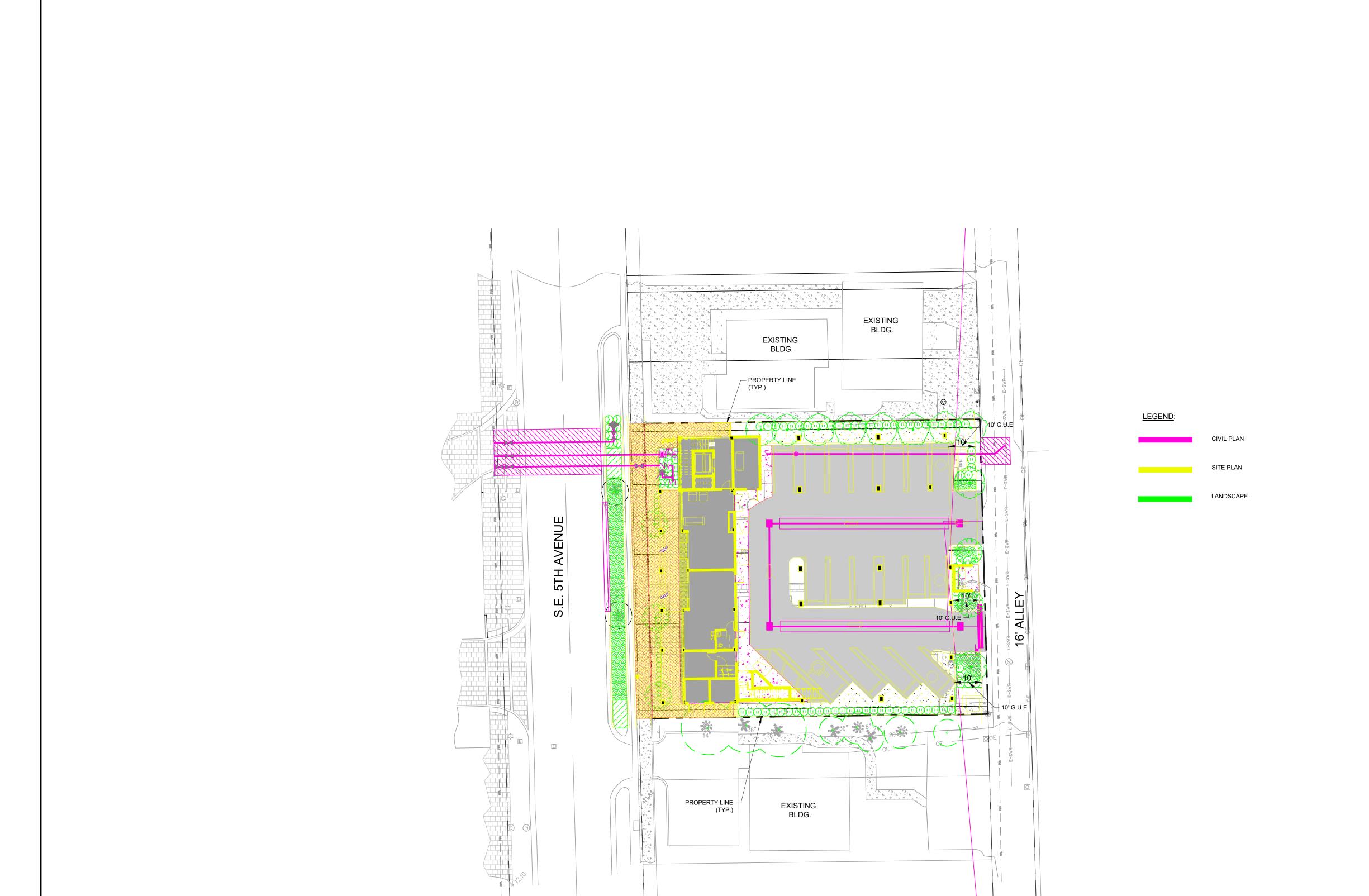
DATE
5/11/2023 | C | DRAWN BY
5/11/2023 | KB/JF/JT

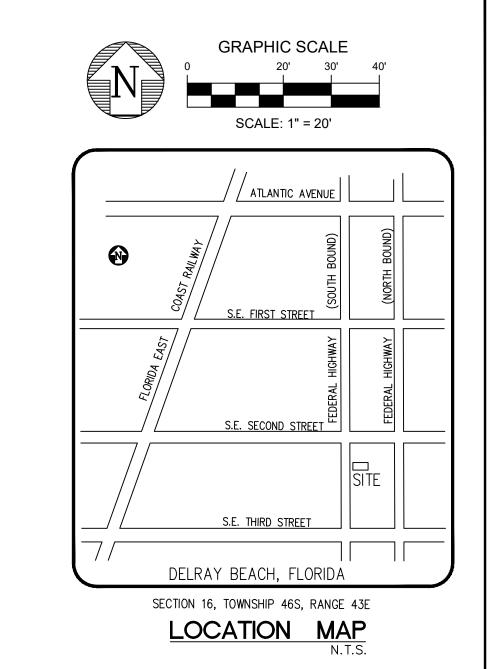
JOB NUMBER
211101

DRAWING NUMBER

DRAWING NUMBER

PH-1





BLDG. 235 SE 5TI PROPOSED RETAIL/OFFI DELRAY BEA COMPOSITE C

Know what's **below. Call** before you dig.

JOB NO. 20084.01

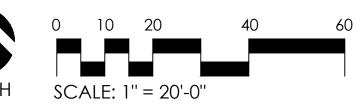
LOCATION MAP	NTS
// ATLANTIC AVE.	
SOUTH BOUND)	
FEDERAL HWY	
S.E. THIRD STREET	DRTH

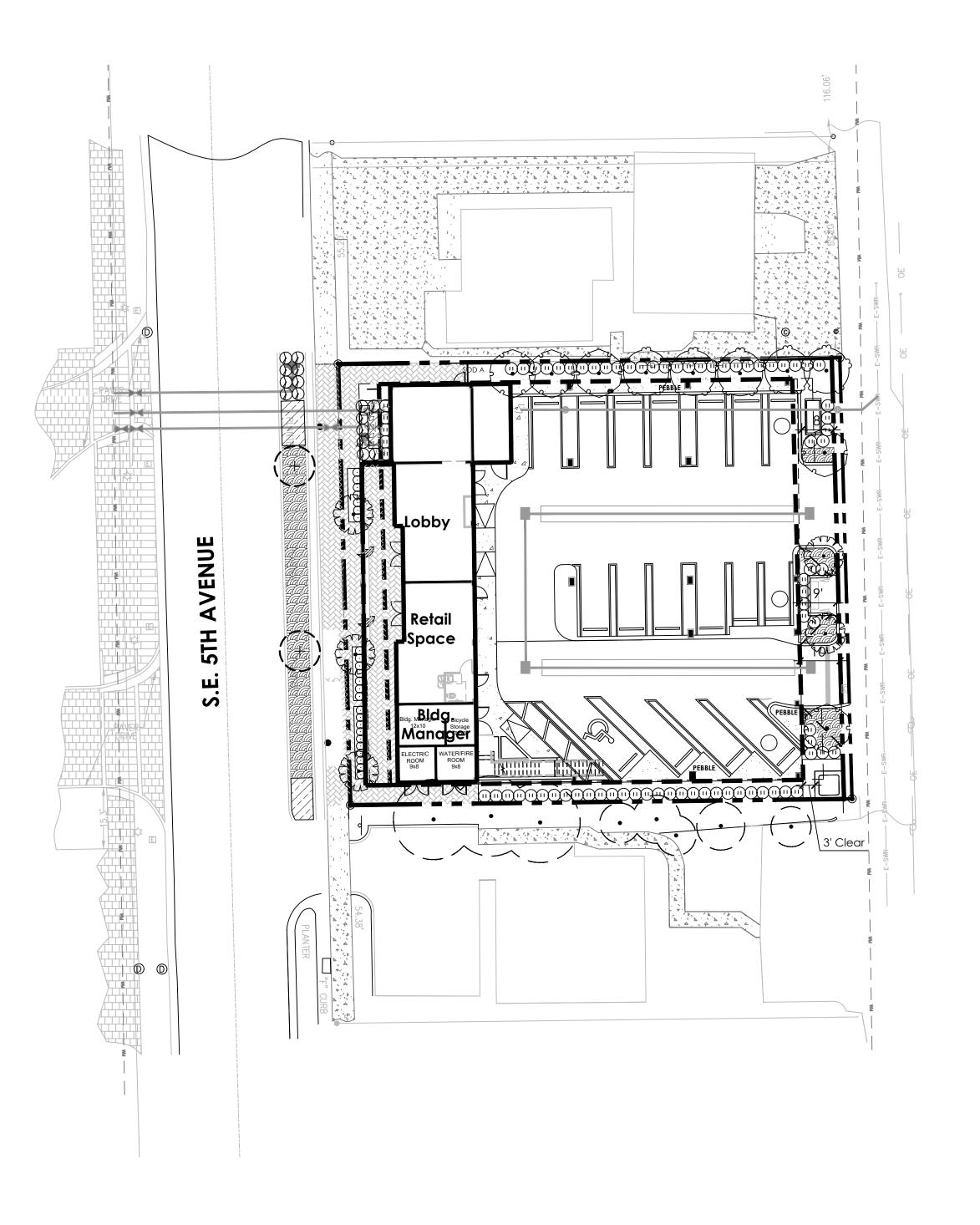
Valhallal Condo

The City of Delray Beach









DRAWING INDEX

- LI-1 Landscape Index Sheet LP-1 Landscape Plan Ground Level
- LP-2 Landscape Plan
 Pool and Roof
- LP-3 Landscape Specifications
- TD-1 Tree Disposition



LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Condo

 Date:
 03/31/22

 Scale:
 1" = 20'-0"

 Design By:
 JN

 Drawn By:
 JJH

 Checked By:
 JN

 File No.
 1084.01

 Job No.
 22-10

REVISIONS / SUBMISSIONS

05/18/22 Original Submittal 06/02/22 Resubmittal 02/17/23 Resubmittal

05/09/23 Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

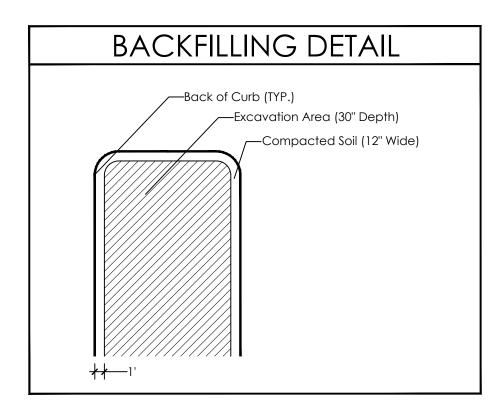
FLORIDA REGISTRATION NO. Jon Eric Schmidt

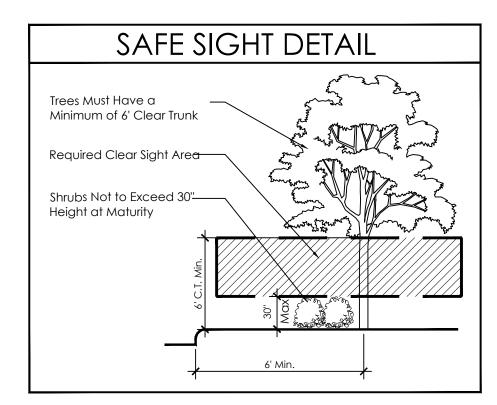
LANDSCAPE INDEX

L**I-1**

of '

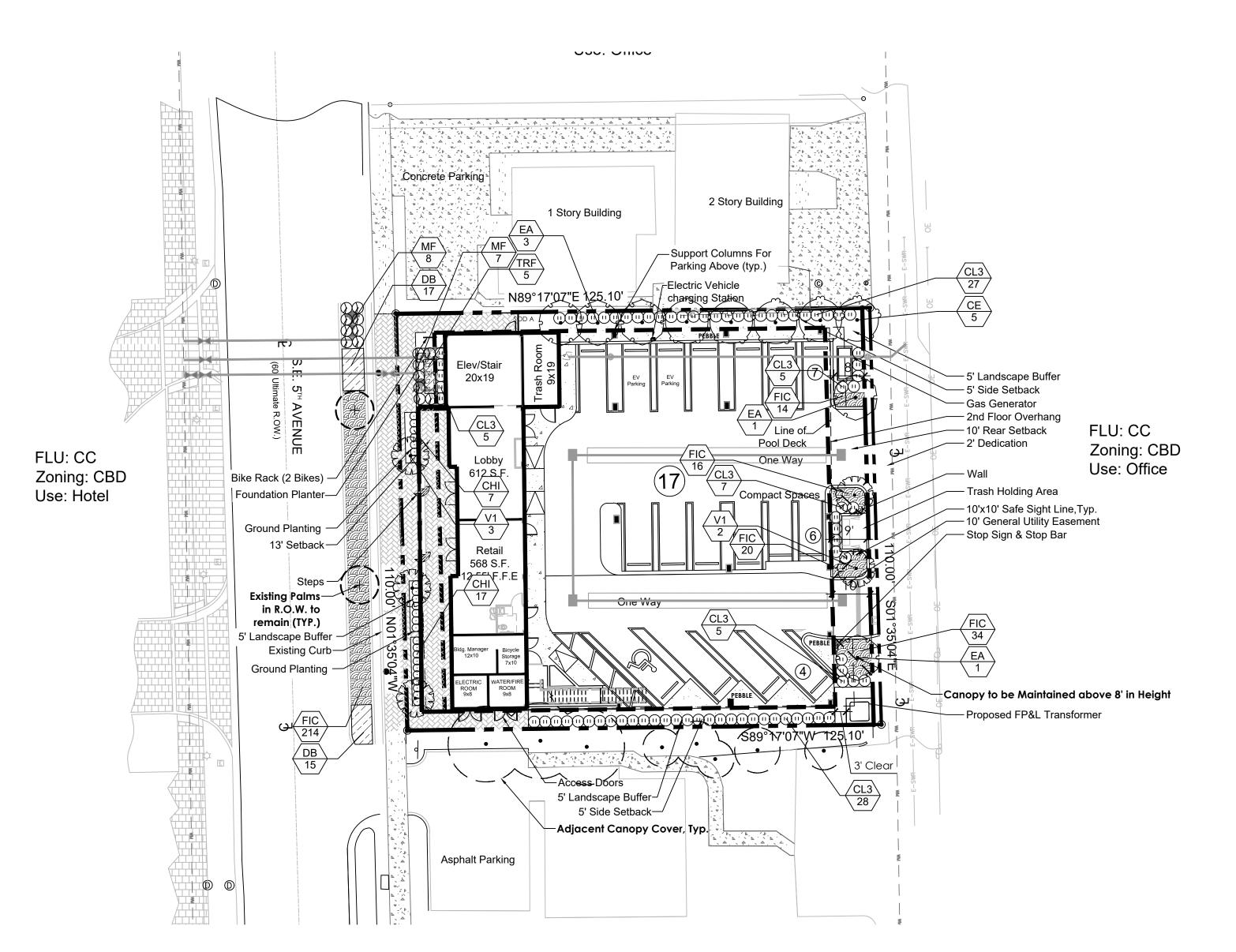
LA 0001638





LANDSCAPE NOTES

- 1. Easements shall not encroach landscape buffers more than 5 feet.
- 2. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided. 3. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30"
- and 8' above crown of road. 4. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere
- with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas. 5. All plant material is to be installed a the height, spread and DBH/Caliper shown in the Plant List, container
- sizes are given as a suggestion only. 6. No muck-grown sod shall be utilized in detention areas.
- 7. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system
- providing min. 150% coverage.
- 8. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In
- any case the trees shall be located in the field in accordance with the planting details shown hereon. P. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a
- tree encroach into a Public Utility without prior approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal. 10. All parking lot islands, and any other areas on site with baserock, shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic
- matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- 1. All substitutions or modifications from the approved Landscape Plan must be submitted and approved by
- the Landscape Architect in writing. 12. All ground-mounted equipment shall be screened from view.
- 13. Prior to C.O., the site must have 100% sod coverage, including greenspace in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be indicated on the Landscape Plan.
- 14. Any equipment (condensing units, transformers, ect) must not interfere with proposed parking lot trees. One trees must be planted in each island.



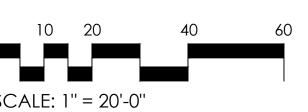
			PI	_ANT	LIST				
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	<u>NATIVE</u>
	CE	5	Conocarpus erectus / Green Buttonwood	3.5" Cal.	16` O.A.	7`	8` CT	Low	Native
	EA	5	Elaeocarpus apiculatus / Japanese Blueberry Tree	3.5" Cal.	16` O.A.	7`	8' CT	Low	Non-Native
PALM TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	<u>NATIVE</u>
E D	V1	5	Veitchia montgomeryana / Montgomery Palm Single Trunk, No Scarred Trunks, Matched	N/A	20` O.A.	12`	10` CT	Low	Non-Native
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	<u>STATUS</u>	
\odot	CHI	24	Chrysobalanus icaco / Coco Plum Full To Base	24"	24"	24" O.C.	Low	Native	
	CL3	77	Clusia guttifera / Small-Leaf Clusia Full to Base	36"	30"	36" O.C.	Low	Native	
\bigcirc	MF	15	Myrcianthes fragrans / Simpson's Stopper	36"	24"	36" O.C.	Low	Native	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS	
	DB	32	Dianella tasmanica 'Blueberry' / Blueberry Flax Lily	24"	24"	24" O.C.	Low	Non-Native	
66661 66661 66661 66661	TRF	5	Tripsacum floridanum / Dwarf Fakahatchee Grass Full	24"	24"	30" O.C.	Low	Native	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS	
	FIC	298	Ficus microcarpa `Green Island` / Green Island Ficus Full to Base	24"	18"	18" O.C.	Low	Non-Native	

1. All landscaped areas shall be provided with a fully automated sprinkler system that will provide complete coverage of all plant materials and grass to be maintained. All systems shall be designed to allow for head-to-head coverage (100% coverage with 100% overlap).

2. All plant materials shall conform to the standards for Florida No. 1 or better, per per Sec. 4.6.16.(E)(3) Quality. 3. Canopies of Trees and palms installed in Sight Triangle need to be maintained above eight feet in height. The mature trunk diameter of any tree or palm shall not exceed 15 inches.









1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

Florida

03/31/22 Date: Scale: 1'' =20'-0'' Design By: Drawn By: JJH Checked By: JN 1084.01 File No. Job No. 22-10

REVISIONS / SUBMISSIONS

05/18/22 Original Submittal

06/02/22 Resubmittal 02/17/23 Resubmittal 05/09/23 Resubmittal

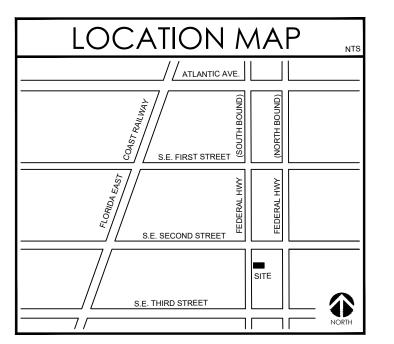
NOT VALID WITHOUT THE SIGNATURE AND SEAL

OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO.

Jon Eric Schmidt LA 0001638

LANDSCAPE PLAN



LANDSCAPE NOTES

- Easements shall not encroach landscape buffers more than 5 feet.
 FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
- 3. Safe sight triangles shall be maintained clear of vegetation to provide
- unobstructed visibility between 30" and 8" above crown of road.

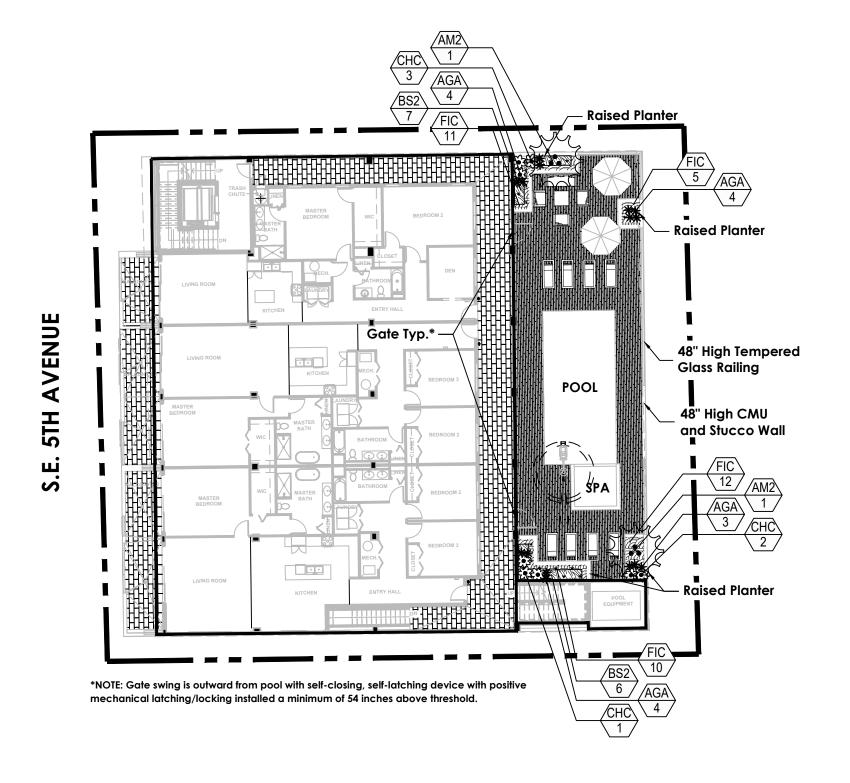
 4. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landes againg in terminal idented
- structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.

 5. All plant material is to be installed at the height, spread and DRH/Caliner show
- 5. All plant material is to be installed a the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
- 6. No muck-grown sod shall be utilized in detention areas.7. All landscape areas (including sod) shall be irrigated with an underground
- automatic sprinkler system providing min. 150% coverage.

 8. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- 9. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a tree encroach into a Public Utility without prior approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.
- 10. All parking lot islands, and any other areas on site with baserock, shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- 11. All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
- 12. All ground-mounted equipment shall be screened from view.

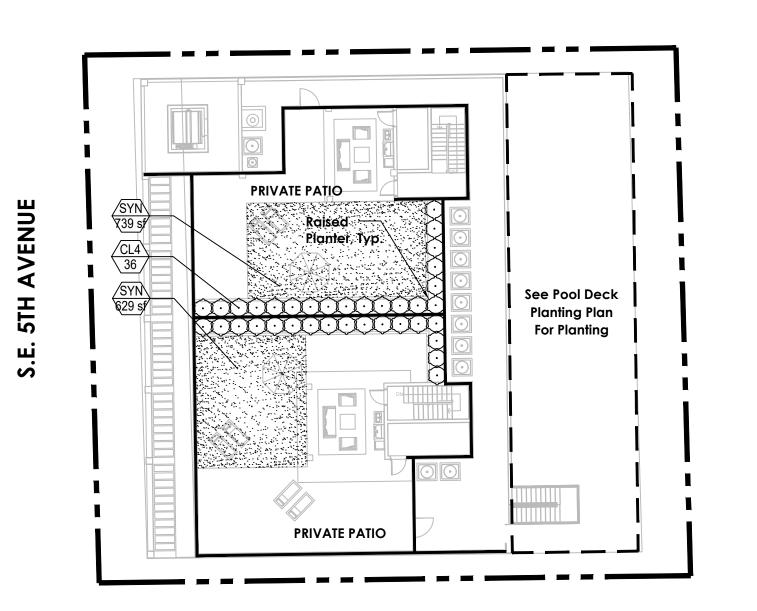
 13. Prior to C.O., the site must have 100% sod coverage, including greenspace in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be indicated on the Landscape
- Plan.

 14. Any equipment (condensing units, transformers, ect) must not interfere with proposed parking lot trees. One trees must be planted in each island.



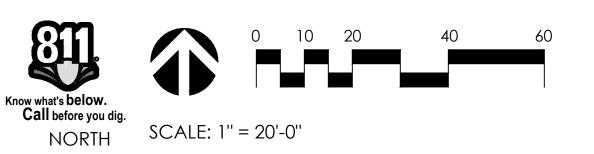
POOL DECK PLANTING PLAN

POOL DECK PLANT LIST												
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUNK	WATER USAGE	<u>NATIVE</u>			
3	AM2	2	Adonidia merrillii `Double Trunk` / Double Trunk Christmas Palm Matched, Double Trunks	N/A	8`-10` CT	10`-12`	8`-10` CT	Low	Non-Native			
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	<u>STATUS</u>				
*	AGA	15	Agave attenuata / Foxtail Agave Full Well Shapped	24"	24"	24" O.C.	Low	Non-Native				
€	CHC	8	Chamaedorea cataractarum / Cat Palm Full, Matched	36"	24"	36" O.C.	Low	Non-Native				
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS				
	BS2	13	Bougainvillea x 'Singapore White' TM / Ms. Alice Bougainvillea Full	24"	24"	24" O.C.	Medium	Non-Native				
GROUND COVERS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS				
तिविविविविव विविविविविविविविविविविविविवि	FIC	38	Ficus microcarpa `Green Island` / Green Island Ficus Full to Base	24"	18"	18" O.C.	Low	Non-Native				



ROOFTOP PLANTING PLAN

ROOFTOP PLANT LIST													
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS					
\odot	CL4	36	Clusia guttifera / Small-Leaf Clusia Full to Base	4`	24"	48" O.C.	Low	Native					
GROUND COVERS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	WATER USAGE	STATUS					
	SYN	1,368 sf	Synthetic Turf / Synthetic Turf Grade TBD by Owner, Seperate Permit Required for Synthetic Turf	Turf	N/A	N/A	N/A						





1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

Ihallal Condo

 Date:
 03/31/22

 Scale:
 1" =20'-0"

 Design By:
 JN

 Drawn By:
 JJH

 Checked By:
 JN

 File No.
 1084.01

 Job No.
 22-10

REVISIONS / SUBMISSIONS

05/18/22 Original Submittal 06/02/22 Resubmittal 02/17/23 Resubmittal 05/09/23 Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO.
Jon Eric Schmidt

 Δ NDSC Δ PI

LANDSCAPE PLAN

P-2

of 3

LA 0001638

1.01 WORK INCLUDED

- A.The scope of the work for the landscape contractor for the project shall include the provision of all labor, materials and equipment required to complete all tasks associated with the landscape and irrigation installation as shown on the drawings or noted herein. The landscape contractor is responsible for coordinating with the general contractor reasonable access to power and potable water sources as required to ensure plant survivability and delivery of a completed project that meets all the required specifications.
- B. Subgrade Elevations: Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not specified in this Section.
- C.Finish Grade Elevations: 1 inch below top of pathway edging.

1.02 QUALITY ASSURANCE

- A.Subcontract landscape work to a single firm specializing in landscape work. B. The landscape contractor shall be responsible for ensuring all work (including delivery, storage and disposal of their
- materials) is performed in compliance with applicable jurisdictional codes. C.The landscape contractor shall be responsible for familiarizing themselves with project plans and scopes of work related to associated trades to be performed by others in order to identify key coordination items including, but not limited to, site access, material storage, and scheduling and sequencing of work. The landscape contractor is responsible for coordinating all site issues with the general contractor.
- D. The plant quantities shown on the landscape contract documents are for the convenience of the landscape contractor. The landscape contractor is responsible for verifying all quantities and reporting any discrepancies to the Landscape Architect for clarification prior to contract award and at commencement of work. Contractor is
- responsible for confirming sod quantities and certifying such to the Owner or his representative E. The landscape contractor shall be responsible for the protection of all adjacent work, materials and equipment
- from damage due to their activities. The landscape contractor shall be solely responsible for any damage or injury to person or property that may occur as a result of the execution of their work. F. Landscape Contractor to notify the Owner or his representative, or Landscape Architect at least three (3) working
- days prior to beginning any stage of work. G.Owner or Landscape Architect to be immediately notified of any discrepancies found in field. H. The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on-site to
- avoid conflicts or discrepancies not anticipated in the planning process. I. Source Quality Control:
- 1. Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials
- 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
- 3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable
- 4. Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun-scald, injuries, abrasions, and disfigurement. Root systems shall be vigorous and fibrous, filling the container but shall not be root bound or exhibit spiraling roots. Verification of
- the health and vigor of all plant material is the sole responsibility of the landscape contractor. A.Provide trees, palms and shrubs for grade Florida No. 1 as outlined under the current edition of the Grades and
- Standards for Nursery Plants, Florida Department of Agriculture, unless otherwise noted. i. Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately
- B. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

1.03 SUBMITTALS

- A.Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species. C.Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site.

D. Maintenance Instructions: Submit procedures for maintenance of landscape work.

- 1.04 DELIVERY, STORAGE AND HANDLING A.Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of
- manufacturer. Protect materials from deterioration during delivery, and while stored at site. B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.
- C.Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or bind-tie trees or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- D. Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.

E. Do not remove container grown stock from containers until planting time.

- A.Proceed with and complete landscape work as rapidly as portions of site become available B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible
- damage. Hand excavate, as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned C.Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage
- conditions, or obstructions, notify Landscape Architect before planting. D. Planting Schedule: Where applicable, prepare a proposed planting schedule. Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and
- work performed by other discipline. Correlate with specified maintenance periods to provide maintenance from date of substantial completion. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay. E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of
- lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.06 SPECIAL PROJECT WARRANTY

- A. Warrant lawns through specified maintenance period, and until final acceptance. The required period is for one full year following installation of lawn areas. B. Warrant trees for a period of one year after date of substantial completion against defects death and unsatisfactory
- growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Contractor's control.
- C. Warrant shrubs for 1 full year after date of substantial completion D. It is understood that the warranty is to be inclusive of all labor, materials and equipment necessary for the
- replacement of any plant materials required. E. Should the landscape contractor be required to replace any damaged, diseased, dying or dead plant material it is understood that the replacement material is to be of the same species, size and quality as that originally specified on the Landscape Plan. The contractor will be responsible for the removal of all materials and leaving the impacted
- area clean following any remedial action. F. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is
- advisable to extend warranty period for a full growing season or for one full year. 1. Another inspection will be conducted at end of extended warranty period to determine acceptance or
- rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

PART 2 PRODUCTS

A.If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan." B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral Ph range of 5.0 to 6.75 and contain no

toxic substances that can be deemed to impede plant growth. The contractor shall be prepared to have soil lab-tested at his expense by the Landscape Architect or Owner. Topsoil shall comply with the following quantitative

0.002 MM and below

COMPONENTS VOLUME MEASURE PARTICLE SIZE Organic Matter 3 - 5% 10 - 30% 0.05 to 0.002 MM 25 - 75% 0.2 to 0.05 MM

5 - 25%

2.02 SOIL AMENDMENTS

Clay

A.If necessary to bring soil into above specified limits: B. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than

90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve. C.Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.

D. Humus Soil Conditioner: Consisting of yard trimmings and biosolids co-compost

E. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% - 50% of the total nitrogen in a water

- insoluble form. It shall be uniform in composition, dry and free flowing. 1. For trees, palms and shrubs, provide fertilizer with not less than 6% available phosphoric acid, 6% nitrogen
- and 6% soluble potash. 2. For lawns, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

2.03 PLANT MATERIAL

A.Plant list/schedule is part of this specification section.

- B. Quality: All plants shall comply with Grades and Standards for Nursery Plants, latest edition, prepared by the Florida Department of Agriculture and Consumer Services.
- C.Deciduous Trees: Provide trees of height, spread, and caliper listed or shown and with branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.
- D. Balled and burlap trees should be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after planting. The product received on-site should have a firm ball with natural soils. Dried, cracked or broken rootballs will not be accepted.

- E. Coniferous and Broad-leafed Evergreens: Provide evergreens of size shown or listed Dimensions indicate minimum height, spread, and caliper. Provide specified quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown and branching configuration for Florida No. 1 graded trees in Grades and
- Standard for Nursery Plants for type and species required. F. The landscape contractor is responsible for confirming the availability of all the specified plant materials within four (4) weeks of project award. All requests for substitution due to lack of availability must be made to the Landscape Architect in writing within this period. No substitution shall be permitted without prior written approval from the Landscape Architect. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution. G.Root suckers on Live Oaks are not acceptable.
- H. No double or multi-trunk trees unless otherwise specified. I. Caliper: Trunk caliper (trunk diameter) is measured six inches from the ground on trees up to and including four inches in caliper, and 12 inches above the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it, is referred to as caliper

- A. Grass Seed: Provide fresh, clean, new-crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified. Attach a schedule of requirements.
- B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when C.No muck-grown sod shall be utilized in detention areas.

2.05 MISCELLANEOUS LANDSCAPE MATERIALS

- A. Ground Cover: Provide plants established and well-rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified.
- B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only undeteriorated mulch which can be readily cut into the soil shall be used. C. Mulch: Melaleuca or equal. The use of cypress mulch is prohibited.
- D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood or treated softwood free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 1/2" hose, cut to required lengths to protect tree trunks from damage by

PART 3 EXECUTION

A. Layout individual trees and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

3.02 PREPARATION OF PLANTING SOIL

- A. The landscape contractor is responsible for the preparation of soils within all planting areas inclusive of providing all imported soil materials, soil amendments, soil conditioners and fertilizers as required.
- B. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth. C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days.
- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting. Mix lime with dry soil prior to mixing of fertilizer
- Prevent lime from contacting roots of acid-loving plants. F Remove all shellrock encountered and backfill with clean sand or sand/soil mix

3.03 PREPARATION FOR ALL PLANTING AREAS

- A. Eradicate weeds within the limits of all planting areas prior to beginning landscape installation. Perennial weeds and grasses to be removed include, but are not limited to, nut grass, puncture vine, morning glory, dog fennel, torpedo grass, Bermuda grass, Bahia grass, kikuyu grass, crab grass, carpet grass, sedge and other noxious and/or invasive weeds. The site is to be maintained weed free
- throughout planting operations. B. Existing plant material to be removed, except where noted on the Landscape or Tree Disposition Plans. C. Pre--till to scarify soils in all planting areas to a minimum depth of 4". Densely compacted areas between 85% and 90% are to be cross ripped to a minimum of 8" depth. In the process of tilling remove unacceptable materials including, but not limited to, foreign debris, construction waste, roots, concrete, asphalt and rocks greater than 1/2" diameter on average. In areas to receive sod till in fertilizer to a
- depth of 2" at a rate of 12 pounds per cubic ft. D. All planters shall be excavated to a minimum depth to reach native soil and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other
- extraneous material. E. All road rock, concrete, asphalt and other non-natural material to be removed from all planting areas prior to landscape installation. F. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting areas Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunks of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting
- G. All landscape beds, including sod areas, shall be leveled and raked smooth prior to any planting.

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6"; apply soil amendments and initial fertilizers; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, free of lumps, clods, stones,
- roots, and other extraneous matter 1. Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not turn over into soil being prepared for lawns.
- B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation C. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural
- D. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil.
- E. Allow for sod thickness in areas to be sodded. F. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as
- required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading. G. Moisten prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns.

H. Restore lawn areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.

- 3.05 PREPARATION OF PLANTING BEDS A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment\ Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil amendment.
- B. Excavation for Trees and Shrubs: Excavate pits, beds and trenched with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation. 1. For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal
- to the ball depth. 2. For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth. C. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate out before planting.

3.06 PLANTING TREES, PALMS AND SHRUBS

- A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required upon approval. B. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill free from rocks and debris around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no
- more is absorbed. Water again after placing final layer of backfill. C. Balled and burlapped trees with natural burlap: pull back or remove at a minimum, the top 1/3 of the burlap from the root ball. Synthetic/plastic burlap and all other non-biodegradable materials must be removed completely from the root ball and disposed of. D. Trees in baskets: Remove wire baskets to a depth of 18" min. All synthetic strapping and other non-biodegradable materials must be completely removed and disposed of. Any burlap must be pulled back or removed from the top of the rootball.
- E. If trees are to be containerized, root ball will be shaved at the periphery to remove all circling roots. F. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved can cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls. G. Top-most root shall be visible within the top 2" of the root ball. H. All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and

shall be smooth and flowing. If trees are located outside planting beds in grass areas, maintain a minimum three feet 3' wide offset to

- I. Face of trees and palms to be located a minimum of 2'-0" off all sidewalks/bike paths or other paved surfaces, unless otherwise notated
- J. Groundcover and shrubs to be laid out in a uniform and consistent pattern. K. Dish top of backfill to allow for mulching L. Mulch pits, trenches and planting areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with
- adjacent finish grades. Not more than 2" mulch shall be placed over the rootball of the trees. At the base of the plant, 2" must be maintained free of mulch.
- M. Guy and stake trees immediately after planting, as indicated. N. The landscape contractor shall install plant materials using the best horticultural practices: 1. Protect plant material from damage during delivery, staging and installation. Do not begin installation of shrub and groundcover
- materials prior to completion of irrigation installation and finish grading. 2. Do not install plant materials in winds in excess of 30 miles per hour
- 3. Do not install plant material if deemed site conditions will impede the ability of plant material to thrive without notifying the Landscape Architect of concerns prior to installation. 4. Perform all work in accordance with all applicable laws, codes and regulations inclusive of all permits and inspections required by federal, state and local jurisdictions.

5. The use of cables and chains for the lifting of trees is prohibited. Trees are to be lifted using nylon straps a minimum of 4" in

- width. Wrap trunks to protect from scraping and scarring. The 'choke' strapping method for lifting trees is prohibited Do not drop plant material.
- Limit the amount of plants to be installed per day to those that can adequately be watered in the same day 9. Carefully remove containerized plants from their cans to avoid breaking the rootball. Containers should only be removed
- immediately prior to installation and plants should be immediately watered after placement. 10. Remove burlap and cut steel baskets from at least the top third of the rootball for all B&B material. Remove wire baskets to a 11. Plant material must be installed at correct elevation in relation to finish grade as indicated on the planting details after settling.
- 12. Planting pits for trees and shrubs must be excavated to the dimensions specified on the planting details. Following planting area immediately surrounding plant is to be tamped firm and use water jet technique to remove all air pockets repeating as required. 13. Apply re-wetting agent to the surface of all plant pits for trees and shrubs per manufacturer's recommendations.

Plants set at incorrect elevations will need to be raised or lowered accordingly at no additional cost to the owner.

14. Apply shredded hardwood mulch in even layer to a 3" depth, Mulch must be pulled off the base of all plant material. 15. Continuously monitor status of installed materials and make modifications, clean-ups and replacements as required.

3.07 PRESERVED PLANT MATERIALS

- A. The contractor is responsible for protecting and maintaining all plant material to remain within the limits of construction as indicated on the plans. Existing trees to remain shall be undisturbed and protected by barricades. Barricades are to be installed prior to any construction or earthwork takes place on the site. Barricades shall remain in place through the duration of all construction activity and not removed until authorization has been received by the Landscape Architect and governing
- B. No vehicle shall traverse this area nor shall any storage of materials or equipment be permitted within this protected area. C. The contractor shall bear the sole responsibility of replacement for any damage to protected materials caused by construction activity without additional costs to the owner.

3.08 TRANSPLANTED PLANT MATERIALS

- A. Root prune all large canopy trees to be relocated prior relocation one half of the root system at a time and allow of
- B. Transplanted Sabal Palms shall be hurricane cut and rootballs shall be wrapped in burlap or plastic if not being planted within a 24 hour period.
- C. Palms of other species shall have their fronds tied together to prevent leaf damage and facilitate handling.
- D. Planting hole for transplanted material should measure two times the diameter of the root ball. E. Trees shall be planted at the same depth as it was in the field.
- F. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish all transplanted trees. The contractor should continue to monitor the moisture content for all transplanted trees and adjust supplemental irrigation as needed.
- G. All relocated trees shall be staked accordingly. H. The contractor shall bear the sole responsibility of replacement for any damage to transplanted materials caused by construction activity, deficient irrigation, or poor transplant procedure without additional costs to the owner.

3.09 PRUNING

- A. All pruning shall be done on the site before planting as directed by Landscape Architect. Pruning shall follow modern horticultural practices (Grades and Standards for Nursery Plants) and shall be done with approved tools designed for the purpose intended. Lopping, topping, or shearing of trees or shrubs will be grounds for rejecting the plants as unsuitable and not meeting requirements. Damaged, scarred, frayed, split, or skinned branches, limbs or roots shall be pruned back to line wood nearest to the next sound outside lateral bud, branch, limb or root. The terminal leader or bud in all trees or shrubs
- shall be left intact and not removed unless damaged. B. Prune, thin out and shape trees and shrubs. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.

3.10 SODDING NEW LAWNS

A. Lay sod within 24 hours from time of stripping.

- B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll tightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces to sod; remove excess to avoid smothering of adjacent
- C. There shall be no gaps greater than $\frac{1}{2}$ " between pieces of sod. D. Water sod thoroughly with a fine spray immediately after planting. Newly sodded areas shall be kept moist for the first week
- after planting after which a minimum watering rate of 2" per week, including rainfall shall be applied. E. No muck-grown sod shall be utilized in detention areas.

F. Landscape Contractor is responsible for replacing any damaged sod.

3.11 MAINTENANCE

- A. The landscape contractor shall be responsible for the maintenance of all plant materials and the planting areas immediately after planting and until final acceptance but the owner, Landscape Architect, and governing municipality. B. Maintain trees, palms, shrubs and other plants until final acceptance but in no case less than following period: 30 days after
- substantial completion of planting. C. Maintain trees, palms, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and
- D. Remove and replace excessively pruned or malformed stock resulting from improper pruning. E. Maintain lawns for not less than the period stated below, and longer as required to establish an acceptable lawn. Sodded lawns, not less than 30 days after substantial completion. 2. Seeded lawns, not less than 60 days after substantial completion.
- F. Maintain lawns by watering fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas. G.Landscape Contractor is responsible for watering all sod and plant materials from day of installation through final acceptance even if irrigation is not in place, unless this responsibility is assumed in writing by another party.

H. Contractor is responsible for returning to the site after a period of (1) one year to remove the staking from the trees and

3.12 CLEANUP AND PROTECTION

landscape work as directed.

- A. During landscape work, keep pavement clean and work area in an orderly condition. B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged
- 3.13 INSPECTION AND ACCEPTANCE A. When landscape work is completed, including maintenance, Landscape Architect will, upon request, make an inspection to determine acceptability. Landscape work may be inspected for acceptance in parts agreeable to Landscape Architect,
- provided work offered for inspection is complete, including maintenance. B. Seeded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, uniform close stand of specified grass established, free of weeds, bare spots and surface irregularities (95% coverage required for acceptance).
- C. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, well-rooted, even-colored, viable lawn is established, free of weeds, open joints and bare areas (95% coverage required for acceptance). Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until re-inspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

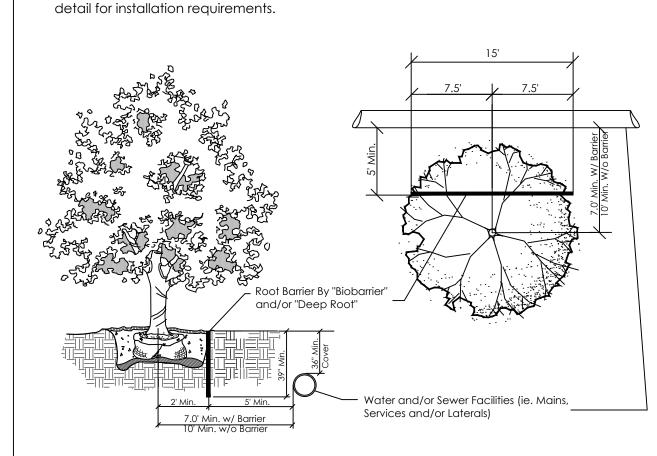
- A. An automatic irrigation system providing 100% coverage with 50% minimum overlap is to be designed and installed to maintain an established landscape.
- B. Bubblers shall be provided on all trees. C. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish the new and salvaged material. The contractor
- should continue to monitor the moisture content for all trees and shrubs.

the filed in accordance with the planting details shown hereon.

D. The landscape contractor is responsible for obtaining all necessary permits prior to installation. E. Provide an as built drawing of the irrigation system to the Landscape Architect.

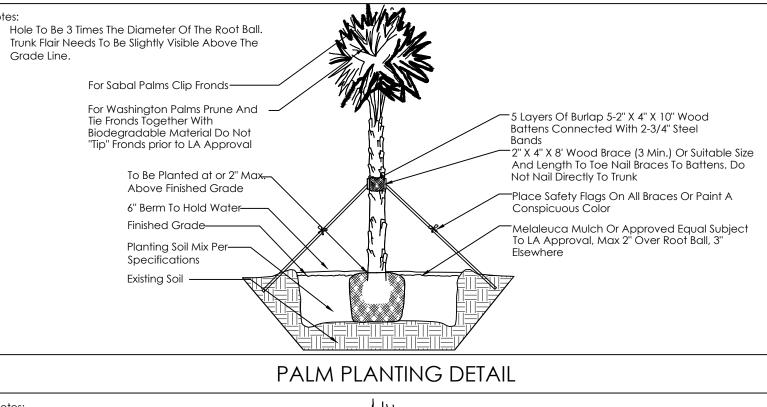
F. A rain sensor is required on all irrigation systems.

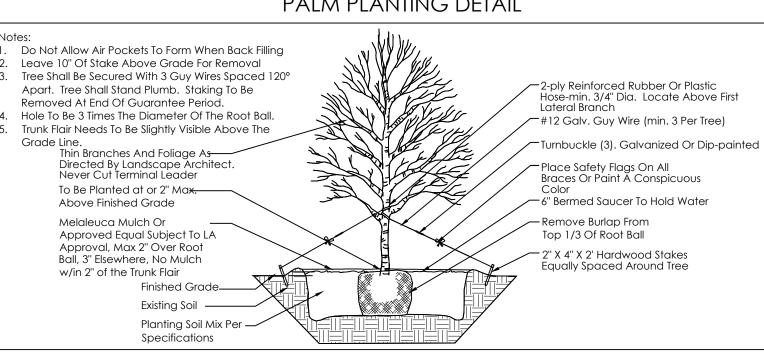
- LANDSCAPE AND ROOT BARRIER NOTE Trees shown on this plan are for graphic reprsentation only. Tree spacing is based on design requirements and the trees shown on this plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in
- Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier"

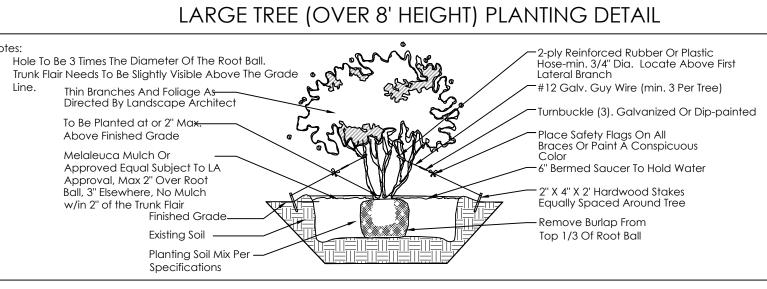


ROOT BARRIER DETAIL

PLANTING DETAILS







MULTI-TRUNK TREE PLANTING DETAIL

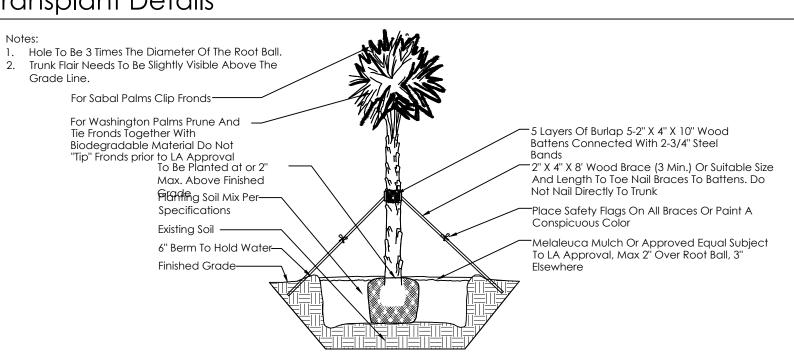
Hole To Be 3 Times The Diameter Of The Root Ball. Trunk Flair Needs To Be Slightly Visible Above The Grade Line. Excavate Shrub And Ground Cover Beds To Native Soil Depth

And Back Fill With Planting Soil. See Specifications For Planting Soil Mix.

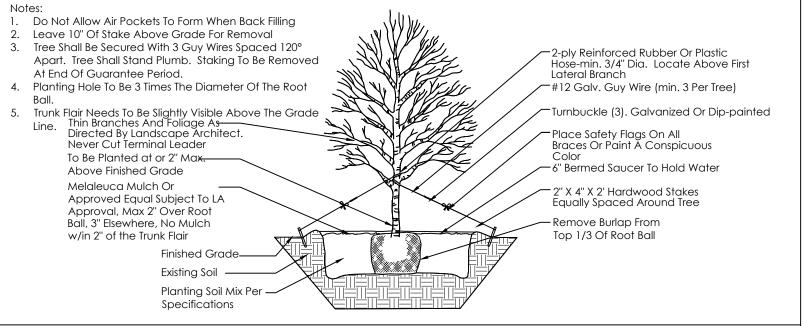
Plant So That Rootball Is Level With Finished Grade -Melaleuca Mulch Or Approved Equal Subject To LA Approval, Max 2" Over Root Ball, 3" Elsewhere, No Mulch w/in 2" of the - Trunk Flair

SHRUB AND GROUNDCOVER PLANTING DETAIL

Transplant Details



PALM PLANTING DETAIL



TREE PLANTING DETAIL

SCHMIDT NICHOLS

> 1551 N. Flagler Dr, Ste 102 West Palm Beach, FL 33401 Phone: 561.684.6141 Email: info@snlandplan.com Website: www.snlandplan.com License No: LC26000232

LANDSCAPE ARCHITECTURE

AND URBAN PLANNING

Florid

ch, QΦ $\mathbf{\Omega}$ elray Of

03/31/22 Date: Scale: NTS Design By: JJH Drawn By: Checked By: JN 1084.01 File No.

Job No. 22-10 REVISIONS / SUBMISSIONS

05/18/22 Original Submittal

06/02/22 Resubmittal

02/17/23 Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEA

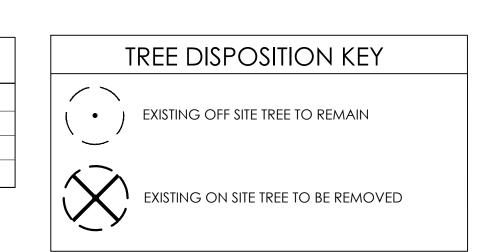
OF A FLORIDA LICENSED LANDSCAPE ARCHITECT

FLORIDA REGISTRATION NO. LA 0001638 Jon Eric Schmidt

LANDSCAPE

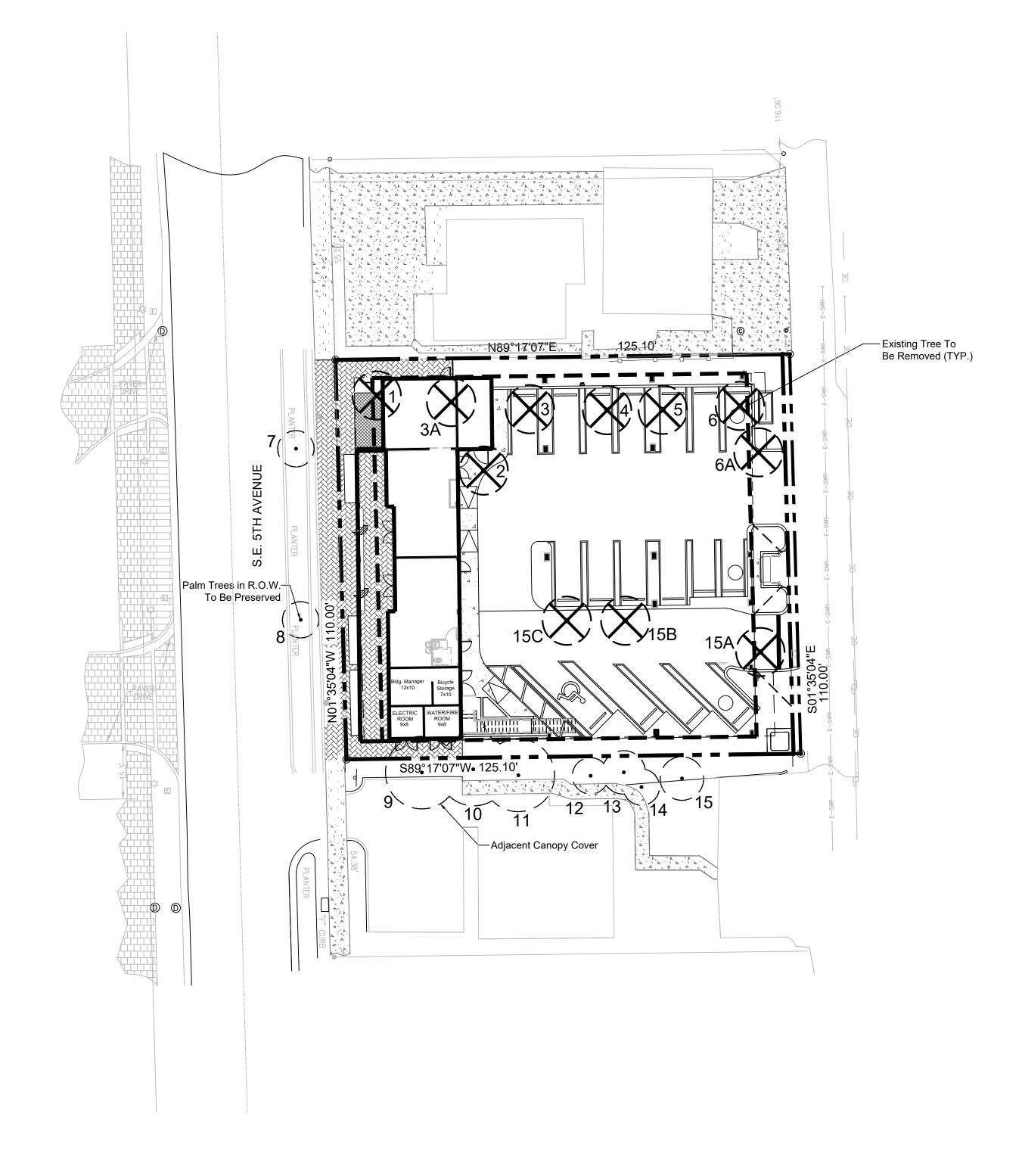


TREE SUMMARY	
Category	Total Trees
Preserved Trees	9
Removed Trees	11
Relocated Trees	0



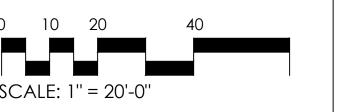
			TREE	DISPO	OSITIO	N CHAR	RT
Tree #:	Туре:	DBH:	Height:	Condition:	Disposition:	Notes:	Mitigation Provided:
1	Live Oak	13"		30%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
2	Live Oak	16"		45%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
3	Live Oak	15"		30%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
3A	Live Oak	5"		30%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
4	Live Oak	14"		30%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
5	Live Oak	17"		30%	Remove	On Site	Japanese Blueberry, 3.5" Cal, 16' OA, 7' SPR, 8' CT
6	Live Oak	17.5"		45%	Remove	On Site	Japanese Blueberry, 3.5" Cal, 16' OA, 7' SPR, 8' CT
6A	Pigeon Plum	8.5"		70%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
7	Solitaire Palm		20'	70%	Remain	Off Site	N/A
8	Solitaire Palm		20'	70%	Remain	Off Site	N/A
9	Areca Palm		20'	70%	Remain	Off Site	N/A
10	Areca Palm		20'	70%	Remain	Off Site	N/A
11	Areca Palm		20'	40%	Remain	Off Site	N/A
12	Christmas Palm		11'	70%	Remain	Off Site	N/A
13	Areca Palm		20'	40%	Remain	Off Site	N/A
14	Sabal Palm		14'	70%	Remain	Off Site	N/A
15	Silver Buttonwood	11"		15%	Remain	Off Site	N/A
15A	Pink Tabebuia	9"		50%	Remove	On Site	Green Buttonwood, 3.5" Cal, 16' OA, 7' SPR, 8' CT
15B	Alexander Palm		20'	70%	Remove	On Site	Montgomery Palm, 20' OA, 12' SPR, 10' CT
15C	Alexander Palm		20'	60%	Remove	On Site	Montgomery Palm, 20' OA, 12' SPR, 10' CT
			Total DBH	of all trees wit	h 50 condition	rating removed	17.50"
			Total DBH	Provided			28"

NOTE: The tree disposition chart was prepared based on the Arborist report by Sutton Consulting Arborist, INC.











1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

allal Condo

ate:	03/31/22
cale:	1" =20'-0'
esign By:	SMT
rawn By:	SMT
hecked By:	JES
e No.	1084.01
ob No.	22-10

REVISIONS / SUBMISSIONS
02/17/23: Per Arborist Report

05/09/23: Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO. Jon Eric Schmidt

TREE

DISPOSITION PLAN

TD-1

of '

LA 0001638



Justification Statement
Valhalla Condominiums
235 SE 5th Ave, Delray Beach
Class V Site Plan Application
Original Submittal: May 18, 2022

Resubmittal: December 8, 2022

Introduction & Context

The subject property is .32 acres which includes one parcel (PCN: 12-43-46-16-01-111-0041. The property currently supports a small professional office use and has recently been acquired by SIR II Development LLC (Owner / Applicant). The applicant is seeking to the develop the property as a for sale condominium project with 7 units and 568 s.f. of retail/office in a 4-story structure.

The site's current Future Land Use Designation (FLU) is Central Core (CC) and supports a Zoning Designation of Central Business District (CBD) and is further designated within the Central Core Sub-district. The Land Development Regulations of the CBD's Central Core sub-district allow for a maximum 30 du/acre. The proposed development is proposed at 22 du/acre including a 568 s.f. retail space on the ground floor.





Justification Statement for Valhalla Condominium City of Delray Beach – Class V Site Plan Application

Resubmittal: 12.08.22

Page 2 of 3

Request 1: To obtain Class V Site Plan approval for a condominium development with 7 units and 568 s.f. of retail/office. The building is a total of 4 stories with the first floor supporting the common elements for the residential component as well as the retail space and the parking which is fully enclosed within a parking structure (surface parking). The building supports 3 units on the 2nd and 3rd floors and 2 units on the 4th floor with a roof top terrace which is accessed by each of the 4th floor units (private terraces). The second floor provides for an amenity deck which includes a pool and spa as well as a hardscape package with landscape to provide privacy from adjacent properties.

The City's Central Core sub-district encourages a mix of uses as well as activity to the street level with active liner uses and arcades. We believe this proposed project embodies the Land Development Regulation's efforts for this district and promotes sustainable smart downtown growth within the City.

(1) Central Core Sub-district. The Central Core Sub-district regulations are intended to result in development that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area evolve into a traditional, self-sufficient downtown. Residential development is permitted at a density which fosters compact, pedestrian oriented growth that will support downtown businesses. See Figure 4.4.13-1. (Ord. No. 19-18, § 2, 10-16-18)

The site currently support an professional office use which was developed in the traditional style of development with a surface parking lot with a curb cut along SE 5th Avenue with a suburban style of urban form. The proposed development eliminates the curb cut on SE 5th Avenue and provides one on-street parking space which is not counted toward the parking requirements, however, we believe that it adds to the project for deliveries and other short transient type of usage for the retail/office space.

Primary Streets: The subject property as stated fronts on SE 5th Avenue which is classified as a Primary Street and requires a number of development parameters as discussed further in this analysis.



The subject property as located on a Primary Street must provide for retail or office on the street level. The proposed development provides for a retail store front meeting the required depth and frontage dimensional criteria to comply with these provisions. The covered parking structure is situated behind the retail and accounts for the required parking for both the retail and the residential units. Additionally, the proposed development provides for an arcade along the frontage which also serves as a balcony for the residential units on the upper floors.

Justification Statement for Valhalla Condominium City of Delray Beach – Class V Site Plan Application

Resubmittal: 12.08.22

Page 3 of 3

Building Height: The LDRs permit buildings within the CBD Central Core to be a maximum of 54' in height and 4 stories as stipulated in Table 4.4.13(B). Please refer to the architectural plans as provided with this submittal for dimensional details.

Dimensional Requirements for CBD: There has been detailed attention given to the placement of the building as it relates to the setbacks of the structure and required arcades and setbacks as you progress beyond the 3rd floor of the building. Primary streets require a minimum 75% building frontage. The proposed development provides for 90% building frontage along SE 5th Avenue. The proposed development meets and/or exceeds the dimensional requirements of Table 4.4.13(c) as depicted on the various plan sets.

Civic Open Space: The subject development site is 13,760 s.f. which is below the min. 20,000 s.f. site requirement for providing civic space.

Arcades: Table 4.4.13(J) provides for the dimensional requirements for arcades along the primary street frontage of a project. The proposed development meets and exceeds these requirements and also provides for street tree plantings as well as trees in front of the arcade columns. The arcade provides visual interest to the pedestrian scale of the building, weather protection for the retail entry, as well as provides for the ability to add balconies to the upper floors.

Architecture: The project architect has created a Masonry Modern architectural form for the building which uses masonry in its clean form along with modern lines and glazing to accentuate the building and play off of the more recent modern architecture along the corridor. The internal material changes are showcased on the stairway which can be seen from the exterior looking into the structure.

Parking: The parking generation rate for the project indicates 17 spaces and 17 spaces have been provided on-site within the covered parking under the building.

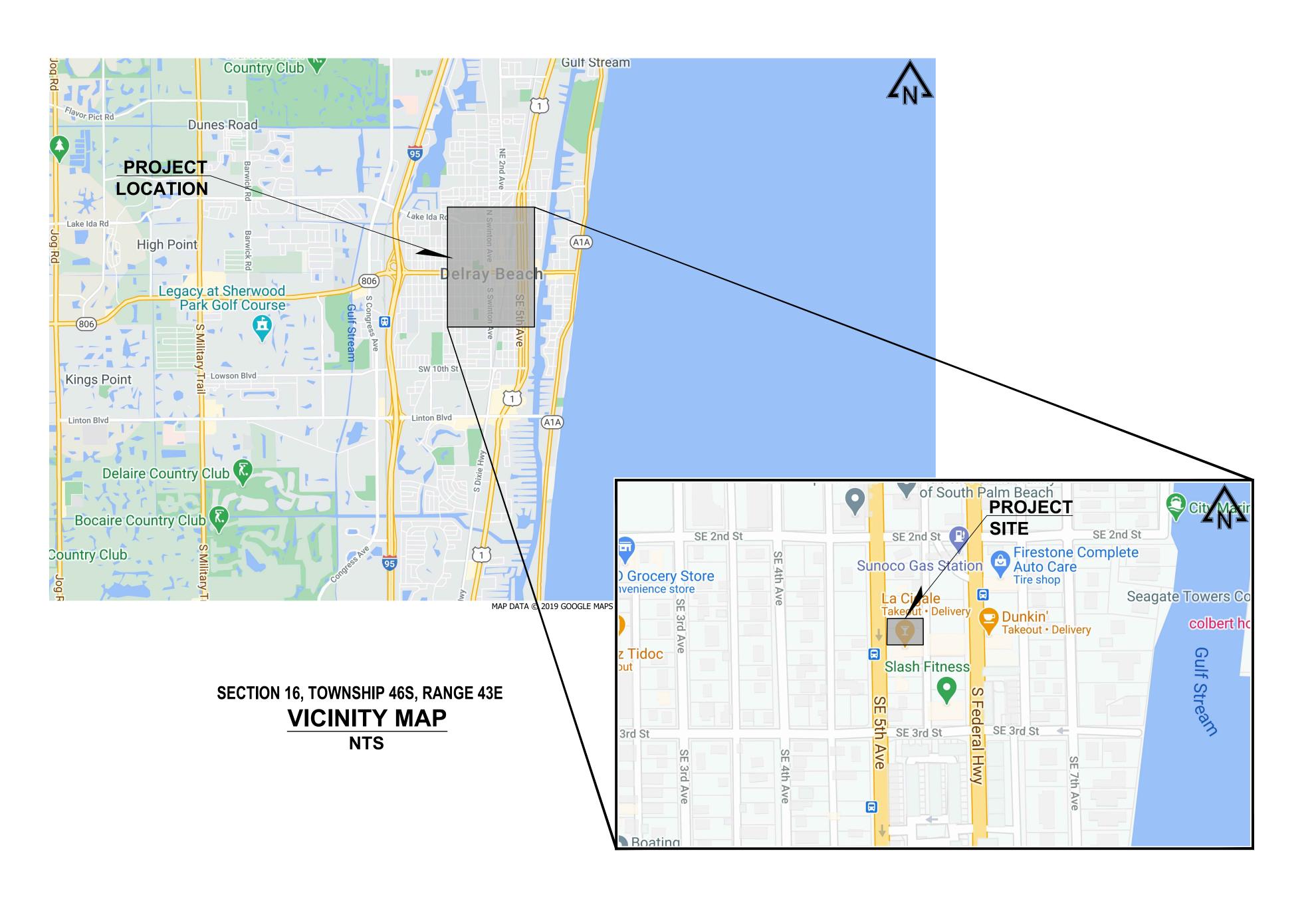
Heat Island Effect: Similar to the adjacent redevelopments, this project proposed ground level landscape in all areas not covered by buildings as well as roof top landscape that does not exceed the maximum code limitations. We do not anticipate any negative impacts or increases in heat island effect as a part of this proposal.

235 SE 5TH AVENUE PROPOSED RETAIL/OFFICE & RESIDENTIAL BLDG. DELRAY BEACH, FLORIDA

PREPARED FOR

CITY OF DELRAY BEACH

MAY 12, 2023



DETAILS

DETAILS DETAILS

TOTAL NO OF SHEETS - 8

DETAILS

50% CD **SUBMITTAL**

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY E L E C T R O N I C C O P I E S .



20084.01

PROVISIONS FOR CONTROL OF POLLUTION:

- A. SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMEN'S OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE
- B. FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- C. EXCAVATION OF WATER MANAGEMENT FACILITIES SHOULD OCCUR IMMEDIATELY AFTER CLEARING AND GRUBBING TO SERVE AS A SEDIMENT TRAP OR CATCHMENT FOR STORMWATER RUNOFF FROM EXPOSED SOILS.
- D. CONSTRUCT PERIMETER BERM OR GRADE SITE TO PREVENT OFF-SITE DISCHARGE OF STORMWATER RUNOFF.
- E. PLACE SILT FENCES OR HAY BALES TO CONTAIN EROSION IN AREAS PRONE TO STORMWATER RUNOFF EROSIVE VELOCITIES.
- F. PROTECT EACH INLET THAT MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE WITH SILT FENCE/FILTER FABRIC STAKED IN PLACE.
- G. INSTALL TURBIDITY SCREENS WITHIN THE RECEIVING BODY BEFORE COMMENCEMENT OF BANK IMPROVEMENTS AND OUTFALL INSTALLATIONS. H. TAKE ALL REASONABLE PRECAUTIONS TO CONTROL DUST AND UNCONFINED PARTICULATE MATTER. THE APPLICATION OF WATER IS AN ACCEPTABLE DUST SUPPRESSANT ON ROADWAYS, STOCKPILES, AND ANY OTHER AREAS WITHIN THE PROJECT BOUNDARIES. DUST
- SUPPRESSANT WATER SHALL BE APPLIED IN SUCH A MANNER SO AS NOT TO PRODUCE EXCESS RUNOFF AND EROSION. I. TURBIDITY IN RECEIVING WATER SHALL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND. J. TAKE PRECAUTIONS IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.

OTHER CONTROLS AND MATERIAL MANAGEMENT PRACTICES:

- A. FERTILIZERS APPLY FERTILIZERS ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. IF STORED ONSITE. PROVIDE COVERED STORAGE. TRANSFER THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER TO A SEALABLE CONTAINER TO AVOID SPILLS. B. HAZARDOUS WASTE - DISPOSE OF IN A MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS.
- C. NOISE MINIMIZE NOISE CAUSED BY THE OPERATION OF EQUIPMENT. ABIDE BY ALL LOCAL REGULATIONS COVERING NOISE CONTROL.
- D. ODORS DO NOT CAUSE OBJECTIONABLE ODORS TO BE GENERATED. E. OFFSITE VEHICLE TRACKING - PROVIDE A ROCK CONSTRUCTION ENTRANCE TO REDUCE VEHICLE TRACKING OF SEDIMENTS. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARPAULIN.
- F. OPEN BURNING NO OPEN FIRES OR BURNING OF MATERIALS OTHER THAN VEGETATIVE LAND CLEARING DEBRIS. OBTAIN PRIOR APPROVAL TO
- BURN FROM THE LOCAL AUTHORITY AND APPLICABLE FIRE MARSHALL. G. PAINTS - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE PAINT MANUFACTURER'S INSTRUCTIONS AND STATE
- H. PESTICIDES AND HERBICIDES ANY PESTICIDE AND HERBICIDE USAGE WILL BE BY STATE LICENSED APPLICATORS.
- I. PETROLEUM PRODUCTS MONITOR ONSITE VEHICLES AND TANKS FOR LEAKS. THEY SHALL RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. USE ASPHALT SUBSTANCES ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE SECONDARY CONTAINMENT FOR ALL ABOVE
- J. SANITARY WASTE COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT LEAST TWICE PER WEEK.
- K. WASTE MATERIALS COLLECT AND STORE ALL WASTE MATERIALS IN A SECURELY COVERED METAL DUMPSTER PROVIDED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. DEPOSIT ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE IN THE DUMPSTER. THE DUMPSTER IS TO BE EMPTIED AS NEEDED SO THERE IS NO OVERFLOW. HAUL TRASH TO A STATE APPROVED LANDFILL FACILITY.

REMOVE EXISTING -

CURBS FOR NEW

LANDSCAPE

EXISTING TREE

SILT FENCE -

(TO BE REMOVED)

REMOVE EXISTING -

CURBS FOR NEW

LANDSCAPE

CATCH BASIN

(TO REMOVED)

EXISTING —

REMOVE EXIST. -

DECORATIVE PAVERS

3. MAINTENANCE / INSPECTION PROCEDURES:

- A. INSPECT ALL CONTROL MEASURES AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER. B. MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT MUST BE INITIATED WITHIN 24 HOURS OF THE ONSITE
- C. REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- D. INSPECT SILT FENCE FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- E. PREPARE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS FOUND AT THE END OF THIS SECTION.
- F. THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND COMPLETING THE INSPECTION AND MAINTENANCE REPORTS.
- G. NON-STORMWATER DISCHARGES ARE PERMISSIBLE PROVIDED THAT DISCHARGE DOES NOT CAUSE EROSION OR CREATE TURBIDITY WITHIN THE RECEIVING BODY AND ARE IN COMPLIANCE WITH REGULATORY REQUIREMENTS. THESE DISCHARGES MAY INCLUDE WATER LINE FLUSHING, FIRE

FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, DUST CONTROL, IRRIGATION DRAINAGE, AIR CONDITIONING CONDENSATION, AND WATER USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.

EXISTING

BLDG.

FFE=11.58'

EXISTING

BLDG.

FFE=11.73'

EXISTING -IRRIGATION PUMP

(TO ABANDONED PER PBCHD STANDARD) - EXISTING

- SILT FENCE

- EXISTING

- CONSTRUCTION

EXISTING

CONCRETE SIDEWALK

REMOVE EXIST

GRAVEL ENTRANCE

CATCH BASIN (TO BE REMOVED)

— EXISTING

- EXISTING

CATCH BASIN (TO REMOVED)

WATER METER (TO REMAIN)

- EXISTING BFP (TO BE REMOVED)

FXISTING CLEANOUT

(TO BE REMOVED,

CAPPED AT MAIN)

─ SILT FENCE

- HXISTING

VALVES

IRRIGATION

(TO BE REMOVED)

AND SANITARY SERVICE

WOOD POST

(TO BE REMOVED)

IRRIGATION VALVES

WOOD POST

(TO BE REMOVED)

(TO BE REMOVED)

CATCH BASIN

(TO REMOVED)

EXISTING

BLDG.

FFE=13.66'

BLDG.

FFE=12.55'

- EXISTING BUILDING

(TO BE REMOVED)

EXISTING BLDG.

FFE=11.69'

PROPERTY LINE -

EXISTING TREE -

(TYP.)

(TO BE REMOVED)

REMOVE EXISTING STORM -DRAINAGE SYSTEM

REMOVE EXISTING STORM -DRAINAGE SYSTEM

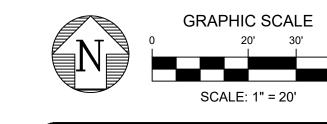
- PROPERTY LINE

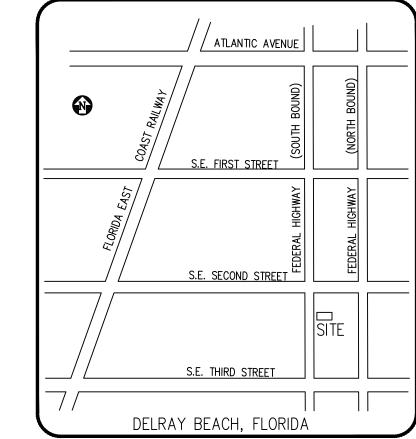
DISPOSED OF.

1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD.88) AND REFERENCE THE FOLLOWING BENCHMARK:

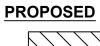
Z233 ELEVATION=17.569' NGVD 1929 ELEVATION=16.020' NAVD 1988

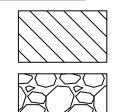
- CONVERSION FACTOR=1.549' 2. ALL AREAS DISTURBED BY CONSTRUCTION WHICH INCLUDES ALL DRIVEWAYS, PAVERS,ASPHALT,
- CONCRETE AND VEGETATION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. 3. TOPOGRAPHIC SURVEY PERFORMED BY ENGENUITY GROUP, INC., DATED 09/17/20. 4. ALL REMOVED DEBRIS & DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE AND LEGALLY





LEGEND:





DEMOLITION

EXISTING:

LIGHT POLE

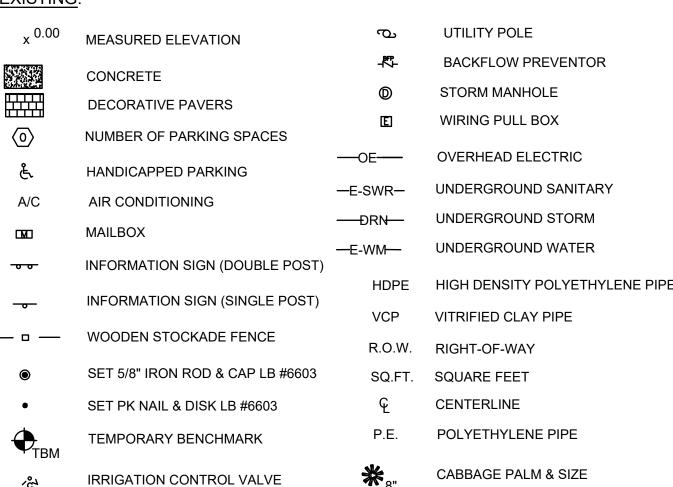
CLEANOUT

WATER METER

STREET LIGHT

CATCH BASIN

SANITARY MANHOLE



50% CD **SUBMITTAL**

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

Know what's below. JOB NO. Call before you dig

SUBMITTAL, 50% CD

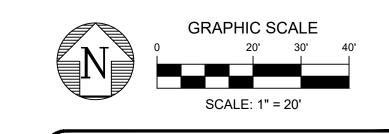
PALM TREE & SIZE

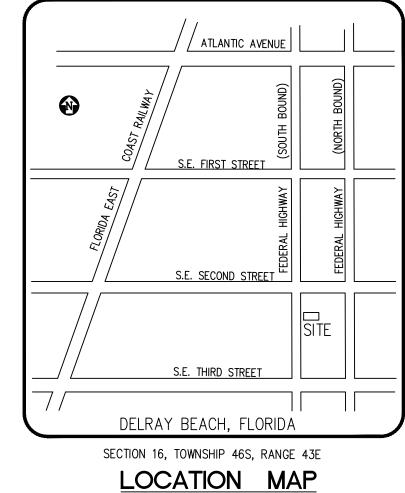
BLACK OLIVE & SIZE

OAK TREE & SIZE

20084.01

PLOT: 5/11/2023 10:06:16 AM





LEGEND:

PROPOSED

SIGHT TRIANGLE -420' (TYP)

EXISTING

EXISTING

BLDG. FFE=13.66'

✓➤ (TYP.)

12.82

71 LF OF 12" HDPE WITH —

EXISTING

BLDG. FFE=11.69'

TRENCH

4' X 63' OF EXFILTRATION

12.27

- 31 LF OF 12" HDPE

- PROPERTY LINE

TOTAIL A

CATCH BASIN

RIM = 12.82'

S INV.= 5.50'

E INV. = 5.50'

13.52

PROPOSED

4-STORY

BLDG.

FFE=13.60'

RIM = 12.82'

N INV.= 5.50'

11.60

- RIGHT OF WAY

- MATCH EXISTING

6' SIDEWALK GRADE

PROPERTY LINE -

MATCH EXISTING (**)

STEPS -

6' SIDEWALK GRADE

FIRE HYDRANT WITH — 6", GATE VALVE

WATER SERVICE WY STEEL CASING PER CITY

GRASS AREA -

F-CURB \blacksquare

BEGIN NEW -

STANDARDS)

END NEW -

F-CURB

EDGE OF -

PAVEMENT

PROPERTY LINE

EMERGENCY -EGRESS DOOR

6" WATER SERVICE -

CITY STANDARDS)

(W/ STEEL CASING PER

12"X6" TAPPING —

SLEEVE AND

GATE VALVE

CONNECTION TO -

2" CORP STOP -

AND VALVE

12"X6" TAPPING —

(2) GATE VALVES

EXIST. WATER MAIN

SLEEVE AND

CONNECTION TO -

EXIST. 12" CI WM -

EXISTING —/ V CURB (TYP.)

WALKABLE -

(REFER TO

BIKE RACK FOR TWO BIKES

DETAIL B

SCALE: 1"=10'

6" DDCV

LANDSCAPE GRATE

ARCHTECTURAL PLAN)

2" WATER METER -

2" DOMESTIC WATER MAIN

6" GATE VALVE -(OWN BY THE CITY)

EXIST. WATER MAIN

BLDG.

FFE=11.58'

— 6" SANITARY SEWER

▶

LATERAL @ 1% SLOPE

10.27

(TYP.)

SIGHT TRIANGLE -

420' (TYP)

/ 13.26

/-- 71 LF OF 12" HDPE WITH

TRENCH

4' X 63' OF EXFILTRATION

EXIST. 8" VCP SS

TO FIELD VERIFY

ALL MAINS PRIOR

TO CONSTRUCTION

TIE IN TO EXISTING

CATCH BASIN

RIM = 9.80'

W INV. = 5.50'

__ D CURB

- THRASH PICK UP

CONCRETE PAD

2' DEDICATION

— CATCH BASIN RIM = 9.80'

W INV. = 5.50'

- MATCH TO

EXISTING METER SERVICE

- EXISTING MANHOLE

CONNECTION NEEDS TO

BE TO CUT AND CAPPED

AT THE CORP STOP.

RIM=9.62' N INV.=6.13' S INV.=6.18' — STOP SIGN/ DO NOT ENTER

10' G.U.E

- GAS GENERAROR

— EXIST, 2" WM

EXISTING GRADE

24" WHITE STOP BAR

THE LOCATION AND DEPTH OF

WITH CUT

IN WYE

- MATCH TO

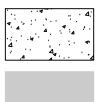
EXISTING GRADE



CATCH BASIN



DRAINAGE MANHOLE



CONCRETE





PAVEMENT RESTORATION

PROPOSED ELEVATION

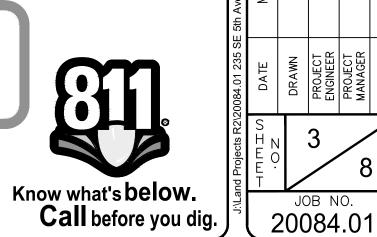
DRAINAGE FLOW DIRECTION

GENERAL NOTES:

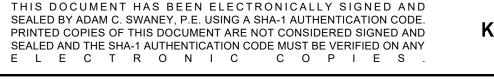
- 1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD.88) AND REFERENCE THE FOLLOWING BENCHMARK: Z233 ELEVATION=17.569' NGVD 1929 ELEVATION=16.020' NAVD 1988 CONVERSION FACTOR=1.549'
- 2. ALL AREAS DISTURBED BY CONSTRUCTION WHICH INCLUDES ALL DRIVEWAYS, PAVERS, ASPHALT, CONCRETE AND VEGETATION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- 3. TOPOGRAPHIC SURVEY PERFORMED BY ENGENUITY GROUP, INC., DATED 09/03/20.
- 4. ALL REMOVED DEBRIS & DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE AND LEGALLY
- 5. ANY TREE OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD1.1 & LD1.2.



SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY



ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND

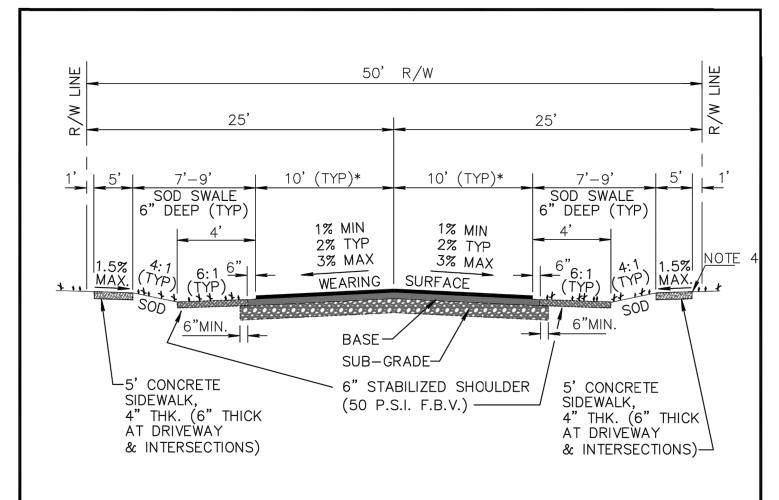


PLOT: 5/11/2023 10:06:26 AM

235 SE 5TH AVENUE
D RETAIL/OFFICE & RESIDENTIAL B
DELRAY BEACH, FLORIDA
ELIMINARY ENGINEERING PLAN

JOB NO.

SUBMITTAL, 50% CD



F	PAVEMENT SPECIFICATIONS
WEARING SURFACE	3" TYPE S-III (2 LIFTS) AFTER COMPACTION SEE NOTE 2
BASE	8" LIMEROCK OR 10" CRUSHED CONCRETE COM- PACTED TO 98% MAX. DENSITY PER AASHTO T-180. PRIME & TACK COAT PER FDOT SECTION 300.
SUBGRADE	12" STABILIZED (75 P.S.I. FBV) AND COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.

- 1. VARIATION FROM MATERIAL SPECIFICATIONS WILL BE CONSIDERED ON A CASE BY CASE BASIS BY THE CITY ENGINEER.
- 2. 2ND LIFT SHALL NOT BE PAVED UNTIL CONSTRUCTION VEHICLES AND EQUIPMENT HAVE COMPLETED WORK.
- 3. STABILIZE SHOULDER TO 50 P.S.I. F.B.V.

-WEARING SURFACE

SUBGRADE

- 4. IN UNDEVELOPED LOCATION, ELEVATION TO BE SET EQUAL TO ROADWAY CROWN. IN PREVIOUSLY DEVELOPED AREAS, MATCH EXISTING GRADES.
- * LANE WIDTHS MUST BE APPROVED BY CITY ENGINEERING PRIOR TO DESIGN.



r 2. NO.4 BAR PLACED

BASE

CONCRETE

HEADER CURB

NOT TO SCALE

BASE

F.D.O.T. TYPE "D"

CONCRETE CURB

NOT TO SCALE

-STABILIZED

SUBGRADE

ON PAVEMENT SIDE

TYPICAL 50' R/W SECTION WITH SWALE RT 2.0

12"

VALLEY GUTTER

NOTE: SAWCUTS REQUIRED AT 10' ON CENTER.

NOT TO SCALE

NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS,

LIP SHALL BE 6" MIN.

NOTES: 1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.

2. SAWCUTS AT 10' ON CENTER SHALL BE MADE WITHIN 24 HOURS OF

CROSS SLOPE OF THE GUTTER SHALL MATCH

THE CROSS SLOPE OF THE ADJACENT

PAVEMENT AND THE THICKNESS OF THE

F.D.O.T. TYPE "F" CONCRETE

CURB AND GUTTER

NOT TO SCALE

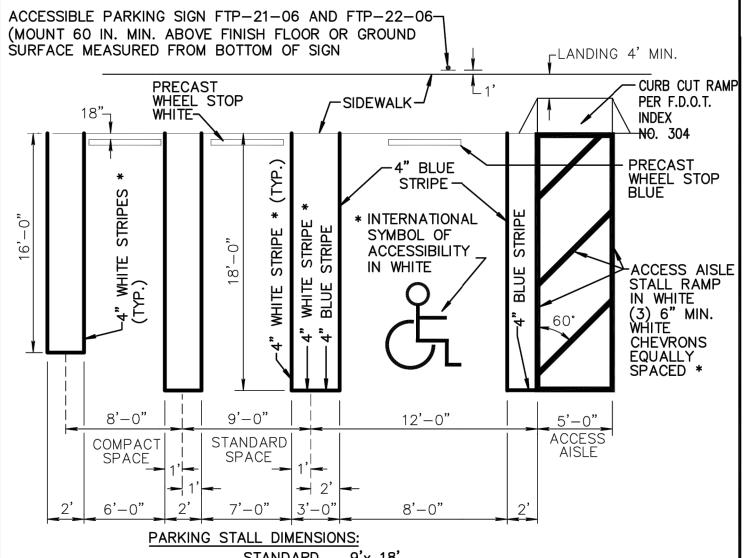


-WEARING

SURFACE

SUBGRADE

SUBGRADE



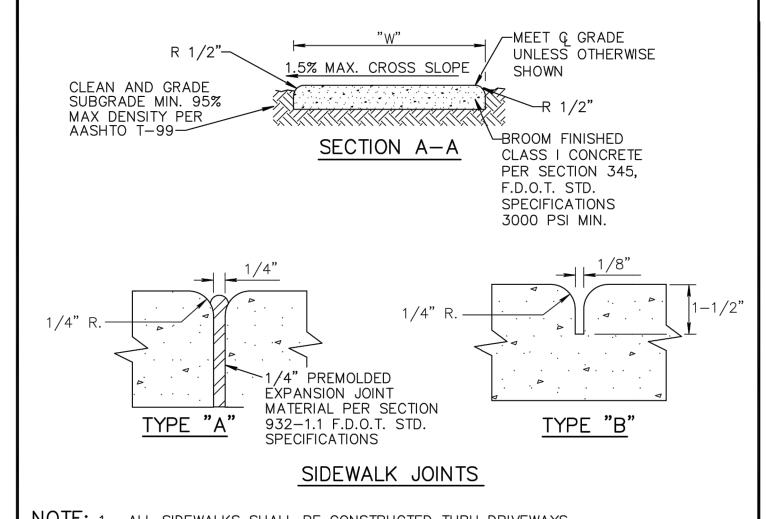
STANDARD 9'x 18' COMPACT 8'x 16' ACCESSIBLE 12'x 18' PLUS 5' ACCESS AISLE

- 1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL ACCESSIBLE MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
- 2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
- 3. ALL MEASUREMENTS ARE FROM CENTER LINE.

* NOTES:

- 4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
- 5. BLUE STRIPE & INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WALKWAY ON CONCRETE.
- 6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1 THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1
- 7. CHANGES IN LEVEL ARE NOT PERMITTED IN ACCESSIBLE PARKING STALLS AND ACCESS AISLES SERVING THE STALLS. SLOPES NOT STEEPER THAN 1.48 SHALL BE DEDMITTED

1:40 SHALL BE PERMITTED.		
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	TYPICAL PARKING SPACES (1 OF 3)	RT 16.



- NOTE: 1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
 - 2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
 - 3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.

—WALL "A'

_GRATE

GRATE TYPE

U.S. FOUNDRY

NO. 6212

U.S. FOUNDRY

NO. 6290

INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.

2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".

3. 12" DIAMETER WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE

4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.

6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

2-1/4"-

4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP

TABLE OF SIDEWALK THICKNESS — "T"										
GENERAL AREAS	4"									
WITHIN 10' OF CROSS—STREETS, AT DRIVEWAYS & OTHER AREAS										
TABLE OF SIDEWALK WIDTHS - "W"										
SINGLE-FAMILY AREAS										
MULTI-FAMILY AREAS										
OTHER AREAS AS SPECIFIED BY THE CITY ENGINEER.										

TAB	LE OF SIDEWALK JOINTS									
TYPE LOCATION										
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'									
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.									
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.									



−WALL "B"

PLAN

CONCRETE COLLAR W/ 1 NO. 5 BAR CONTINUOUS —

NO. 4 BARS-

@ 12" O.C.

EACH WAY

NOTES:

TYP.

INLET TYPE

Α

3'1"

EXCEPT IN WELLFIELDS.

5. SEE BEDDING DETAIL D 3.0

2'0"

3'0"

SIDEWALK CONSTRUCTION

2-1/4" 2-1/4"

SECTION

- GROUT CONCRETE

COLLAR TO

255

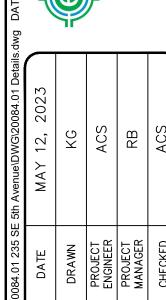
RT 18.1



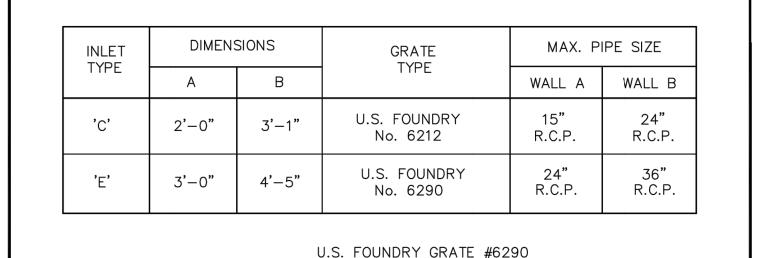


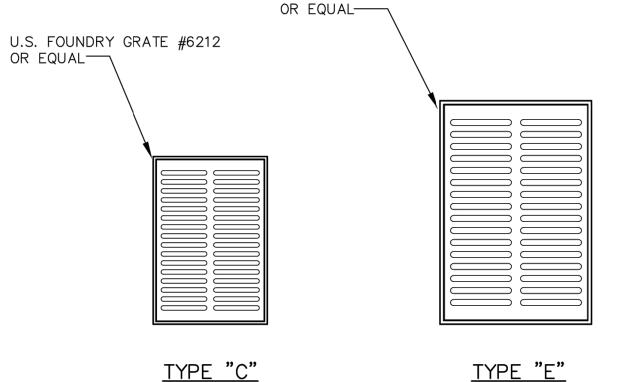






E L E C T R O N I C C O P I E S





NOTES:

- 1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
- 2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

١			
	PUBLIC	OF DELRAY BEACH WORKS DEPARTMENT H SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444	Т

TYPE C & E INLET GRATE DETAIL

D8.0

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPE C& E INLET DETAIL

SECTION * SEE TYPICAL BACKFILL DETAIL GU 2.0

R.C.P.

WALL A | WALL B

R.C.P. R.C.P.

R.C.P.

DATE: 09-15-202 D9.0

Know what's below. Call before you dig.

50% CD SUBMITTAL

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

CONCRETE PLACEMENT.

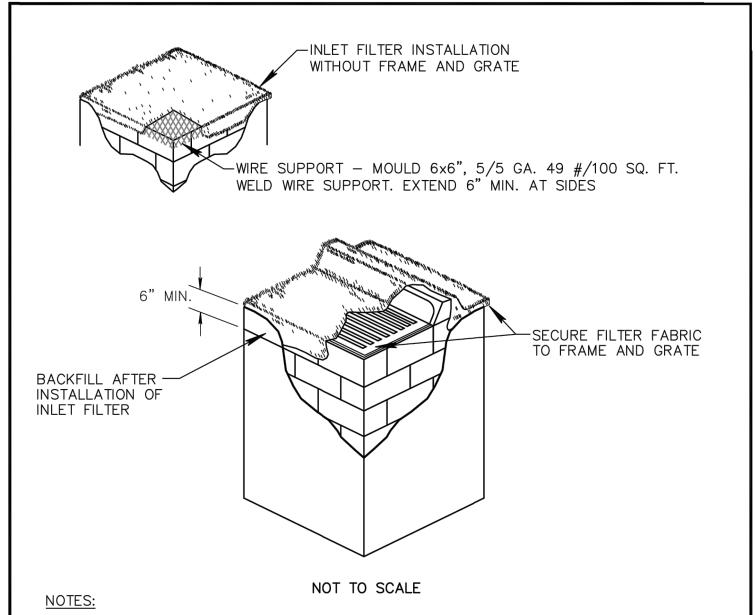
CURB AND GUTTER SECTIONS

RT 19.0

PLOT: 5/11/2023 10:06:35 AM

JOB NO.

20084.01



- 1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT

INLET FILTER DETAIL

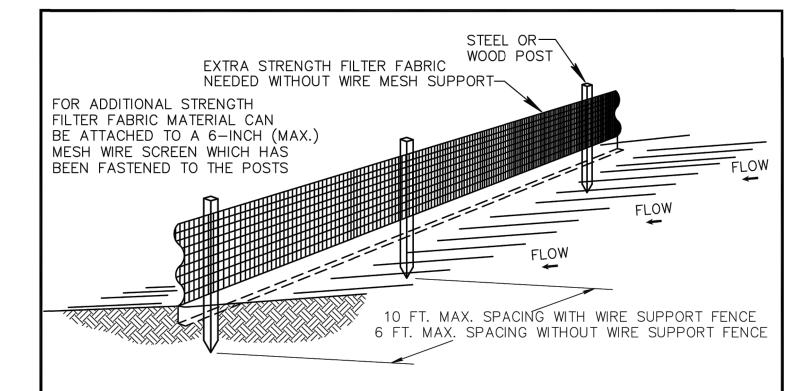
D10.0

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE

- 2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- 3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- 4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- 6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- 7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- 8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- 9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND
- 11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- 12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.



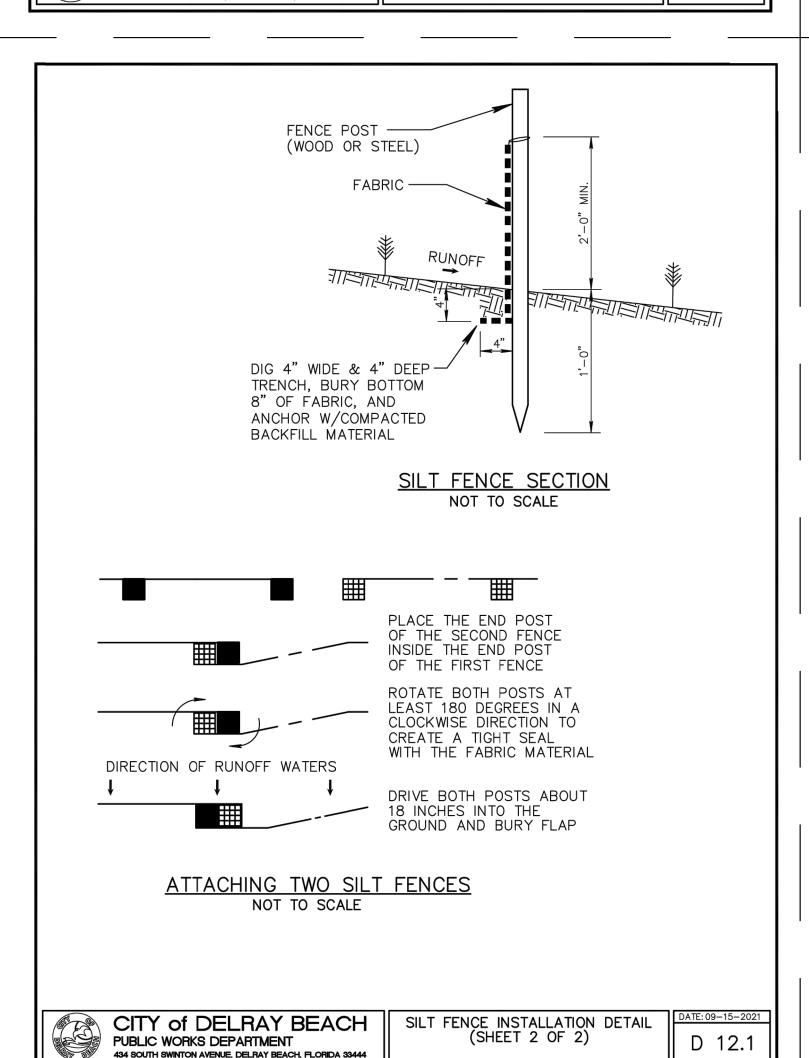
EROSION CONTROL NOTES DETAIL D 11.0

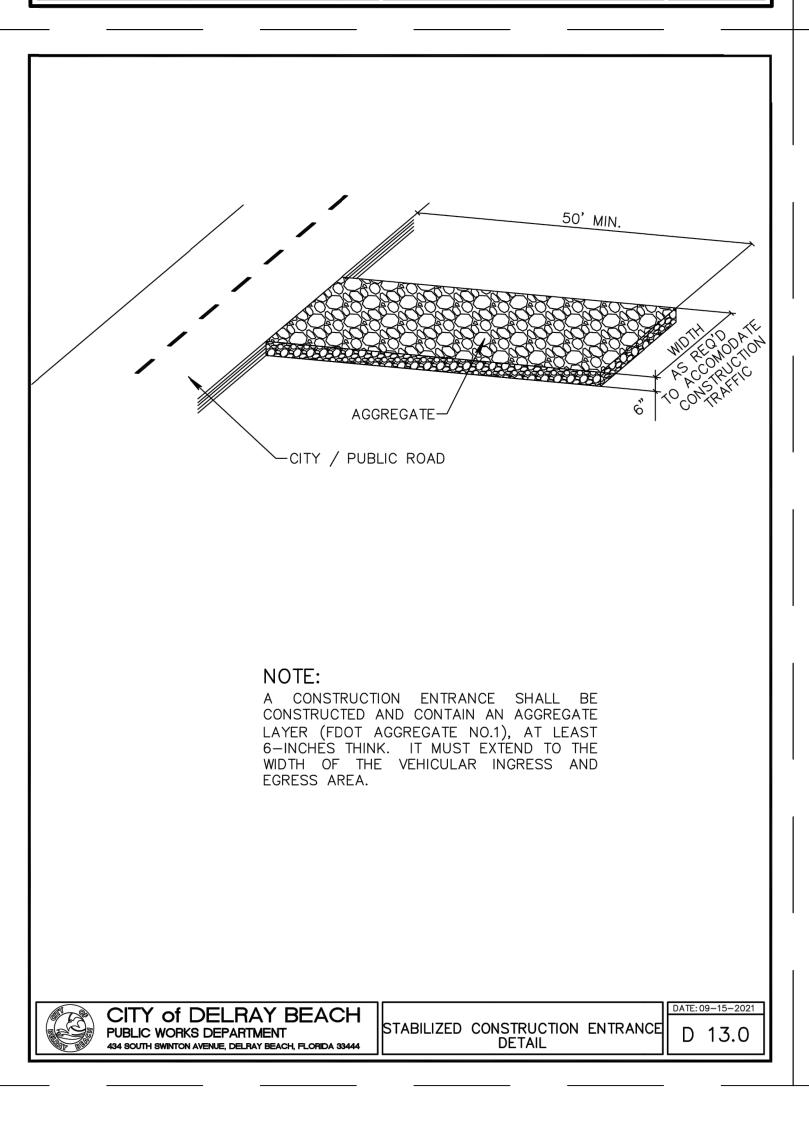


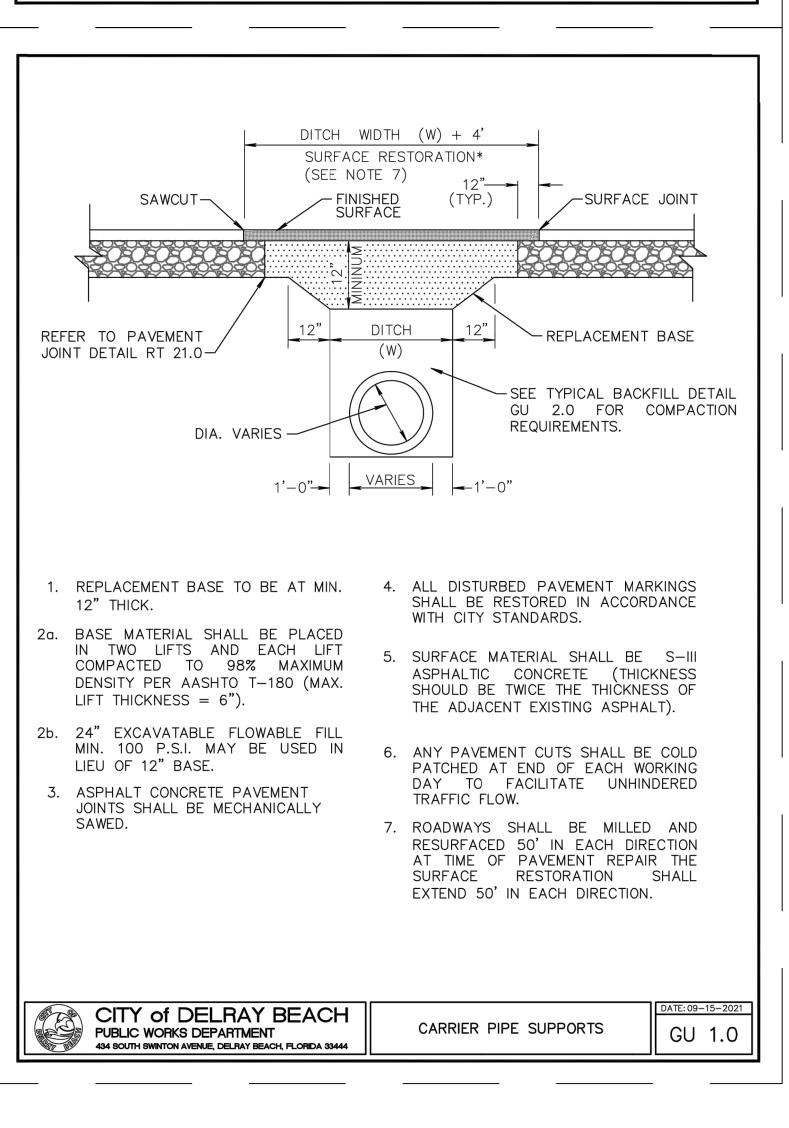
- . THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
- 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- . A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND
- . THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- 9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

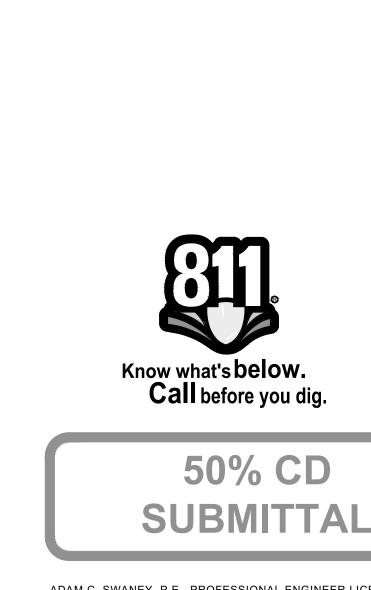
CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SILT FENCE INSTALLATION DETAIL (SHEET 1 of 2)









THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY

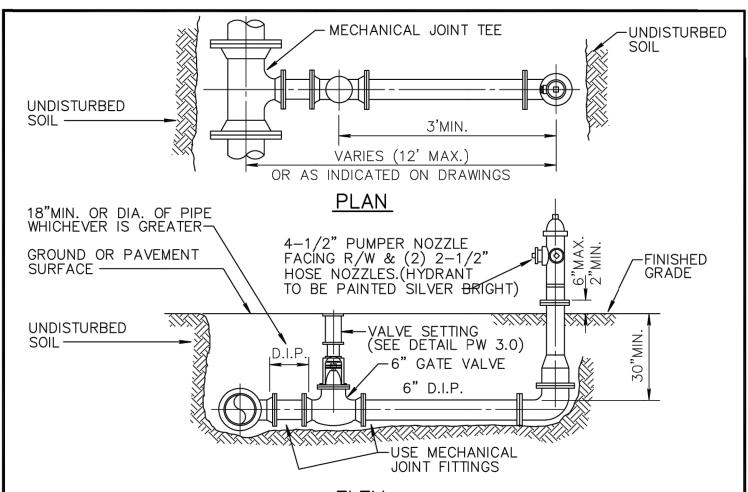
≥ ∞ ゴじびエ

 $\Xi \Box$

JOB NO.

20084.01

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. E L E C T R O N I C C O P I E S



NOTES:

- 1. HYDRANT SHALL BE INSTALLED PLUMB AND TRUE IN UNOBSTRUCTED LOCATION. (7.5' CLEARANCE ON THREE SIDES, 4' CLEARANCE AT REAR, WITH 3' ACCESS LANE)
- 2. NO BARREL EXTENSION SHALL BE PERMITTED.
- 3. VALVE SHALL BE PLACED ADJACENT TO MAIN.

BEACH FIRE PREVENTION CODE SEC. 96.05.

- 4. ANCHOR TEES AND FITTINGS ARE PERMITTED.
- 5. HYDRANT SHALL BE MUELLER SUPER CENTURION, AA423 5¼" WITH TRAFFIC BREAKAWAY FLANGE AND 5¼" VALVE.
- 6. HYDRANTS SHALL NOT ENCROACH IN SIDEWALKS, ROADWAYS, OR BIKE PATHS.
- 7. ON RUNS LONGER THAN 20 FEET A SECOND VALVE IS REQUIRED AT THE HYDRANT.
- 8. ALL HYDRANT INSTALLATION SHALL BE IN ACCORDANCE WITH CITY OF DELRAY
- 9. IN CERTAIN SITUATIONS, PROTECTIVE BOLLARDS MAY BE REQUIRED AS DIRECTED BY THE ENGINEERING DEPT. (SEE BOLLARD DETAIL PW 7.0)
- 10. FIRE HYDRANTS INSTALLED BUT NOT YET IN SERVICE SHALL BE COVERED WITH A BURLAP, OR PLASTIC SACK, OR HAVE OUT OF SERVICE RING IN PLACE.
- 11. ALL HYDRANT LEADS GREATER THAN 20-FEET MUST HAVE AUTOMATIC FLUSHER INSTALLED AT HYDRANT END (KUPFERLE #9400-WC STANDARD).
- 12. REMOVE CHAINS FROM HYDRANT AND PAINT SHERWIN WILLIAMS SILVER BRITE. 13. NO THRUST BLOCKS SHALL BE PERMITTED.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT

434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 3344

TYPICAL FIRE HYDRANT INSTALLATION

PW 6.0

-BALL VALVE ABOVE GROUND WITH REMOVABLE HANDLE. FINISHED GRADE 3/4" DIA. MIN. "K" COPPER OR SCH. 40 PVC 1" BRASS CORPORATION STOP -SADDLE DOUBLE STRAP 316 STAINLESS STEEL (SEE STANDARD PRODUCT LIST) WATER MAIN

- 1. SAMPLE POINT SHOULD BE AT SERVICE LINE OR FIRE HYDRANT IF POSSIBLE.
- 2. IF SAMPLE POINT IS NOT AT SERVICE LINE OR FIRE HYDRANT, CORP. STOP SHALL BE SHUT OFF AT MAIN AND ALL TUBING SHALL BE REMOVED, AND CORP. STOP SHALL HAVE A BRASS PLUG OR CAP INSTALLED AFTER RELEASE OF WATER MAIN BY PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3. IF AT ALL POSSIBLE SAMPLE POINT SHALL NOT BE LOCATED IN A TRAFFIC
- 4. SAMPLE POINTS SHALL KEEP RUNNING UNTIL PALM BEACH COUNTY HEALTH DEPARTMENT RELEASE AND ALL MAIN LINE VALVES ARE OPENED.

ELEVATION

PIPE SUPPORT DETAIL

2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER OR BRASS TUBING.

4. USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH

5. USC APPROVED RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.83.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

BALL VALVES -

TYPE L COPPER

6" PIPE NIPPLE —

S"DIA.

CONCRETE

COLUMN -

__

2" X 2" X 1/4" THK.

6" DIA.

S/S NUT AND

BOLT (TYP) -

CONCRETE

FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.

3. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.

COLUMN -

ALUM. ANGLÉ -

TYPE L COPPER

OR BRASS ----

PIPE

METER SIDE

TYPICAL SAMPLE POINT

CUSTOMER SIDE

STD. 316 S/S U-BOLT,

AT "U" BOLTS

NUTS AND WASHERS

-WRAP PIPE W/ NEOPRENE

PW 10.0

BACKFLOW PREVENTER

— PIPE SUPPORT (TYP.)

(SEE DETAIL BELOW)

-BALL VALVES

6" DIA.

CONCRETE

— COLUMN

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE. DELRAY REACH 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

USC APPROVED

NOTES:

RPZ BACKFLOW 7

SPRINKLERS

METER -

TO DOMESTIC

5. MAXIMUM SERVICE LENGTH IS 100' TO METER.

BUILDER/CONTRACTOR/DEVELOPER SHALL

POLYETHYLENE PIPING FROM MAIN TO METER.

SERVICE

OF 18" ON CENTER.

WING (1"MIN.).

BEHIND METER.

8. ALL VALVES TO BE BALL VALVES.

TYPICAL FIRE SERVICE CONNECTION | PW 14.0

REPLACE WITH

SERVICE

316 S.S. DOUBLE STRAP SADDLE WITH BRASS

CORPORATION STOP (SEE

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM

2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.

3. ALL SERVICE LINES REQUIRE A LOCKING BRASS CURB STOP WITH LOCK

4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.

6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.

7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES

9. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.

CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED,

10. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/

STANDARD PRODUCT LIST)-

STAINLESS STEEL "Y" BACKFLOW SUPPORT DOUBLE DETECTOR CHECK VALVE ASSEMBLY -0S & Y RESILIENT WEDGE STAINLESS STEEL "Y" GATE VALVES BACKFLOW SUPPORT CONC. SLAB FINISH GRADE-VALVE ^LMIN. 18"SPOOL PIECE ∠MECHANICAL BETWEEN VALVE AND JOINT FITTING 90° FITTING RESPONSIBILITY RESPONSIBILITY

NOTES:

PLOT: 5/11/2023 10:06:46 AM

- 1. FOR ALL SERVICES GREATER THAN 2" DIA.
- 2. ALL PIPE AND FITTINGS SHALL BE CLASS 350 DUCTILE IRON CEMENT LINED WITH CEMENT LINED DUCTILE IRON FLANGE FITTINGS FOR ABOVE GROUND USE. MECHANICAL JOINT SHALL BE USED UNDERGROUND IN ACCORDANCE WITH AWWA STANDARDS.
- 3. THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY SHALL MEET AWWA M14 AND AWWA C510, AND APPROVAL OF UTILITIES DEPARTMENT.
- 4. CERTIFICATION OF PROPER INSTALLATION AND OPERATION WILL BE REQUIRED FROM A CERTIFIED BACKFLOW PREVENTION TECHNICIAN PRIOR TO WATER MAIN ACCEPTANCE BY THE CITY OF DELRAY BEACH.
- 5. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND ANNUAL TESTING OF THE DOUBLE DETECTOR CHECK VALVE
- 6. BOLLARDS TO BE USED IF THE ASSEMBLY IS WITHIN 5' OF THE PAVEMENT, REFER TO
- BOLLARD DETAIL PW 7.0. 7. CITY OF DELRAY BEACH WILL MAINTAIN TILL THE FIRST GATE VALVE.
- 8. WATER MAIN WILL BE PLACED IN A UTILITY EASEMENT UP UNTIL THE FIRST GATE VALVE. DOUBLE DETECTOR ASSEMBLY WILL NOT BE WITHIN THE EASEMENT.

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

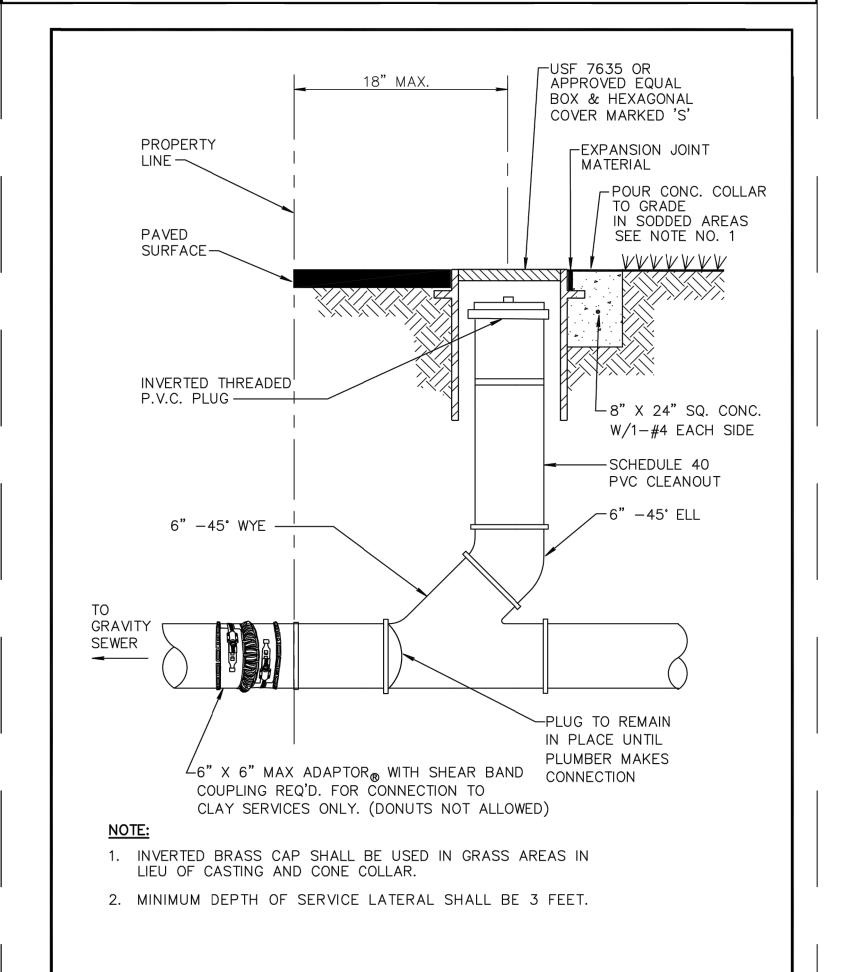
DOUBLE DETECTOR CHECK VALVE

|| PW 16.0

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

REDUCED PRESSURE ZONE BACKFLOW PREVENTER

DATE: 09-15-202 ||PW 17.0



CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL COMMERCIAL CLEANOUT

WW 10.0

Know what's below. Call before you dig

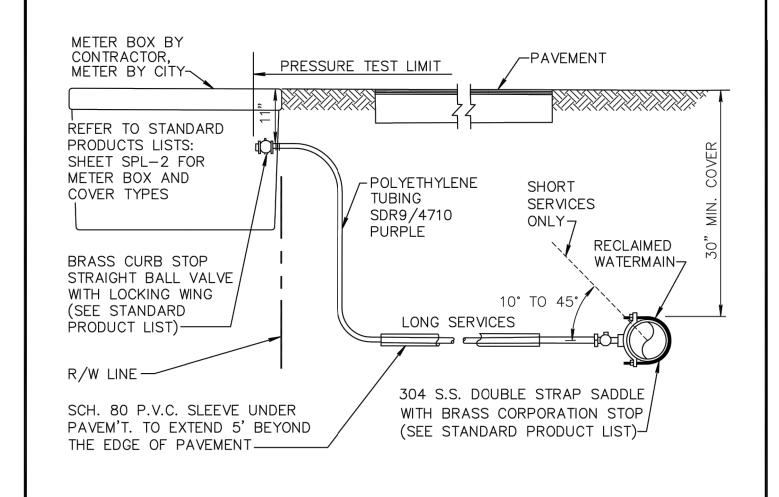
> 50% CD SUBMITTAL

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY E L E C T R O N I C C O P I E S

ヹヹゔ゙ゔ 35 SE AIL/C Ξ

JOB NO. 20084.01

SUBMITTAL, 50% CD



NOTES:

- 1. SUCCESSIVE TAPS INTO THE RECLAIMED WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- 2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- 3. ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
- 4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- 5. MAXIMUM SERVICE LENGTH IS 100' TO METER.

 \neg SAWCUT DEPTH = D/4, SPACING

NOT TO EXCEED 10'x10'.

- WELDED WIRE FABRIC

6X6 W2.0 X W2.0

THICKENED EDGE

PLOT: 5/11/2023 10:06:50 AM

CONTRACTION JOINT

- 6. MINIMUM BEND RADIUS ON SERVICES SHALL NOT BE LESS THAN 30 TIMES THE PIPE DIAMETER ON ALL SERVICES BEHIND METER.
- 7. METER SIZE WILL BE DETERMINED BY THE UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- 8. ALL VALVES TO BE BALL VALVES.
- 9. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- 10. METER BOX SHALL BE PERMANENTLY INFUSED PURPLE COLOR WITH LID MARKED "RECLAIMED WATER DO NOT DRINK."

CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICA SERVICE CONNECTION 3/4" THROUGH 2" (SHEET 1 OF 2)

CONSTRUCTION JOINT

12" SUBGRADE (COMPACTED TO AT LEAST 98% OF THE MAXIMUM

12" SUBGRADE (COMPACTED TO AT

LEAST 98% OF THE MAXIMUM

DENSITY DETERMINED BY AASHTO T-180)

DENSITY DETERMINED

BY AASHTO T-180)

ALTERNATELY, DOWELS MAY BE USED IN LIEU

OF KEYED JOINT TO PREVENT SLAB VERTICAL

6" CONCRETE (3,000 PSI

COMPRESSIVE STRENGTH)

RW 1.0

⊏∛" SEALANT OVER

BOND BREAKER

EXPANSION/ISOLATION

1. CRACK/SHRINKAGE REDUCING ADMIXTURE

SUBMITTAL FOR APPROVAL. CONTRACTION JOINTS SHALL BE PLACED IN 10'X10' MAXIMUM

2. CONTRACTOR SHALL PROVIDE JOINTING PLAN

SHALL BE USED TO MINIMIZE CRACKING.

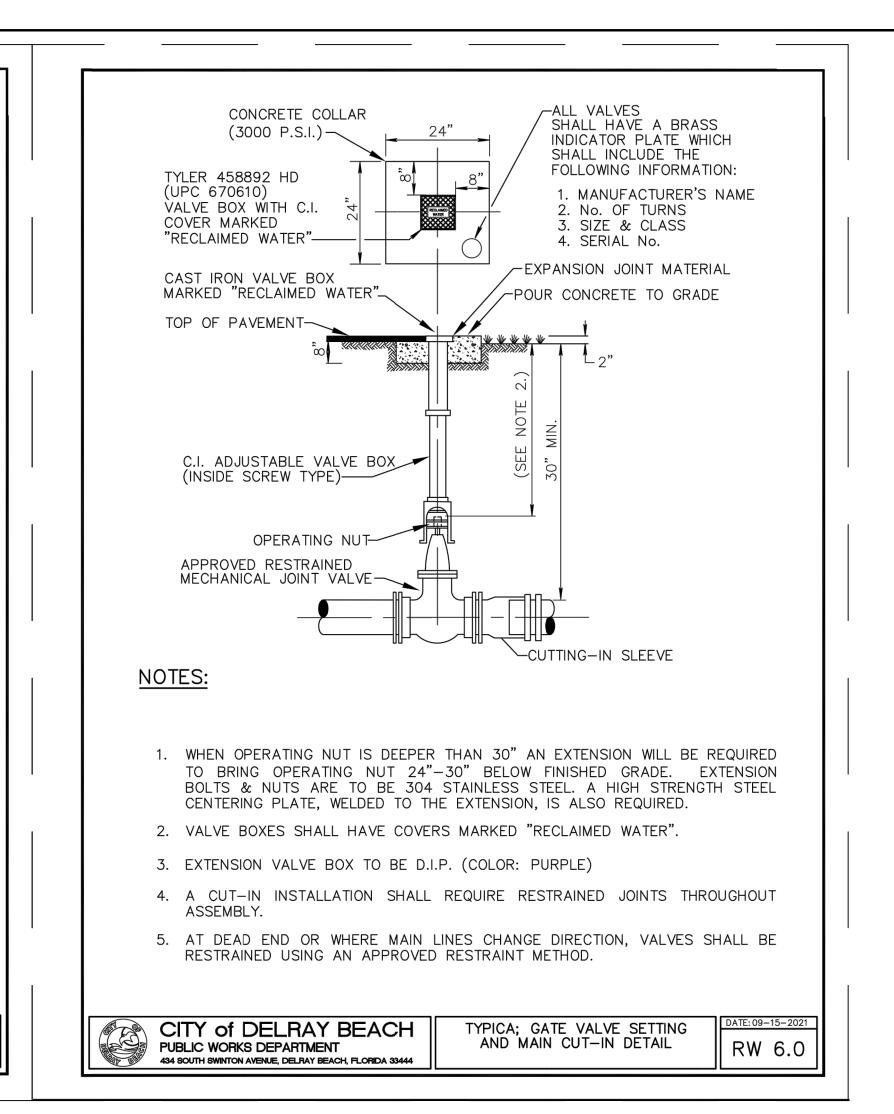
PRE-MOLDED JOINT FILLER

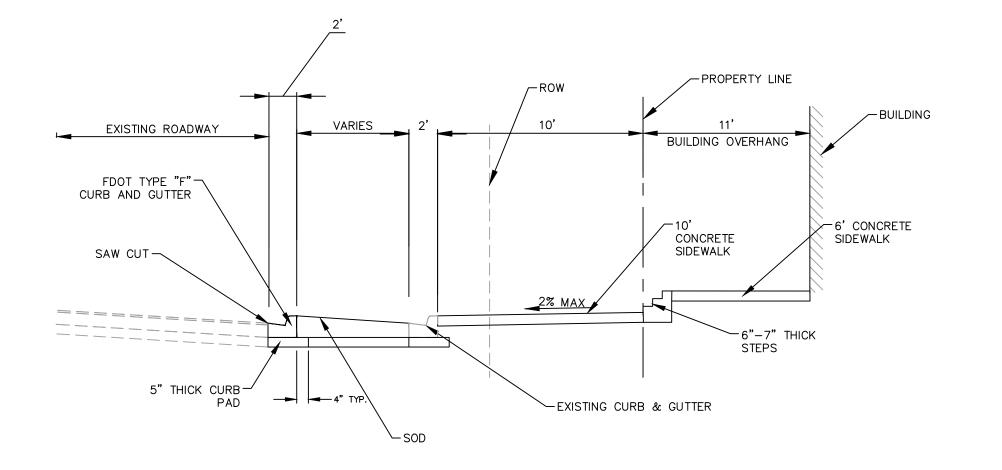
CITY of DELRAY BEACH PUBLIC WORKS DEPARTMENT
434 SOUTH SWINTON AVENUE DEL BAY BEACH

TYPICAL SERVICE CONNECTION 3/4" THROUGH 2" RW 1.1 (SHEET 2 OF 2)

NOTES: 11. 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN METER BOX AND AND ANY OBSTRUCTION. 12. FOR INSTALLATION OF SERVICES UNDER ROADWAYS A CASING WILL BE USED. PVC SCH 80 OR HDPE SDR 9 PURPLE CASING. CASING TO EXTEND MIN. 5' BEYOND EDGE OF PAVEMENT. END OF CASING TO BE SEALED WITH CEMENT. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUG 1" MINIMUM.

- 13. METER SHALL NOT BE PLACED IN SIDEWALK OR DRIVEWAY AREAS. SERVICE LINES AND TAPS SHALL NOT BE PLACED UNDER DRIVEWAYS WHENEVER POSSIBLE.
- 14. DUAL CHECK VALVE IS REQUIRED FOR EVERY RECLAIMED WATER SERVICE. CHECK VALVE SHALL BE PLACED ON DEVELOPER SIDE OF METER.
- 15. BEDDING (MIN. 4") AND COVER (MIN. 4") OVER SERVICE LINE OR CASING SHALL CONSIST OF FINE GRANULAR MATERIAL. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED WITH 2" MAXIMUM SIZE.
- 16. METER TO BE SET BY CITY.
- 17. THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR INSTALLATION OF SERVICES BEYOND PRESSURE TEST LIMITS AS SPECIFIED BY THE
- 18. PIPING VALVE & BOX TO BE PERMANENTLY IDENTIFIED AS "RECLAIMED WATER SYSTEM."





SECTION A-A

' TYPE S-III (2 LIFTS) ASPHALTIC CONCRETE SURFACE COURSE 8" LIMEROCK OR 10" CRUSHED COMPACTED 12" STABILIZED (75 PSI FBV) SUBGRADE (COMPACTED TO AT LEAST 98% (MIN LBR. OF 100) OF THE MAXIMUM DENSITY (COMPACTED TO AT LEAST 98% DETERMINED BY AASHTO T-180) OF THE MAXIMUM DENSITY DETERMINED BY AASHTO T-180)

ASPHALT PAVEMENT SECTION-OFFSITE

FINISH GRADE FILTER FABRIC -NO.4 COARSE (NON-WOVEN) AGGREATE -12" MIN OVERLAP ~NO.4 COARSE AGGREATE MANHOLE - FILTER FABRIC (NON-WOVEN) 12" PIPE 12" MIN O.D. MIN PERFORATED PIPE 8' NON PERFORATED PIPE CROSS SECTION LONGITUDINAL SECTION

NOTE:

EXFILTRATION TRENCHES SHALL BE INSTALLED IN THE CENTER OF NORTH BOUND LANE.

EXFILTRATION TRENCH

CONCRETE PAVEMENT SECTION

50% CD **SUBMITTAL**

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE. Know what's below.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND Know what's below. SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY E L E C T R O N I C C O P I E S

Call before you dig

SUBMITTAL, 50% CD

∣⋝∞

ゴエジロ

 $\mathbf{\Omega}$

JOB NO. 20084.01 2. ALL UNSUITABLE MATERIAL SUCH AS MUCK, MARL, AND DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF WITHIN THE LIMITS OF CONSTRUCTION. CLEAN GRANULAR MATERIAL SHALL BE USED AS BACKFILL AND PLACED IN 12 INCH LIFTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND. UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT SHOW ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DE-ENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE

5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

6. THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE

ALL ELEVATIONS REFER TO N.A.V.D 88. MINIMUM FINISHED FLOOR ELEVATION(S) SHALL BE N.A.V.D 88, OR 18 INCHES ABOVE MINIMUM ROAD CROWN ELEVATION, WHICHEVER IS GREATER.

8. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY APPROPRIATE GOVERNING AGENCIES.

9. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.

11. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

12. ALL CONCRETE SHALL BE 3,000 p.s.i. UNLESS OTHERWISE SPECIFIED.

13. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL

14 ENGENIUTY GROUP, INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND FOR THE SAFETY OF THE GENERAL PUBLIC.

15. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS

16. CONTRACTOR SHALL ASSURE THAT ALL TRENCHES MORE THAN FIVE FEET DEEP WILL HAVE TRENCH PROTECTION PER THE TRENCH SAFETY ACT. THE METHOD OF TRENCH PROTECTION THE CONTRACTOR SELECTS MUST BE IN COMPLIANCE WITH OSHA REGULATIONS.

17. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR IS TO INCLUDE IN THEIR BID PACKAGE, PER THE TRENCH SAFETY ACT, ONE ITEM OF COST PERTAINING TO TRENCH PROTECTION.

18. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS, COMPLIANCE INCLUDES SUBMITTAL OF A NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITIES WITH AN ATTACHED STORM WATER POLLUTION PREVENTION (SWPPP). THE NOI AND SWPPP SHALL BE SUBMITTED TO APPLICABLE

A. THE CONTRACTOR SHALL FURNISH ALL LABOR, SUPERINTENDENCE, QUALITY CONTROL, MATERIALS, PLANT, POWER, LIGHT, HEAT, FUEL, WATER, TOOLS, APPLIANCES, EQUIPMENT, SUPPLIES, AND OTHER MEANS OF CONSTRUCTION NECESSARY AND PROPER FOR PERFORMING AND COMPLETING THE WORK. CONTRACTOR SHALL PERFORM AND COMPLETE THE WORK IN THE MANNER BEST CALCULATED TO PROMOTE SCHEDULED CONSTRUCTION CONSISTENT WITH SAFETY OF LIFE AND PROPERTY AND TO THE SATISFACTION OF THE OWNER, AND IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CLEAN UP THE WORK, MAINTAIN IT DURING CONSTRUCTION, AND PAY ALL COSTS INCIDENTAL THERETO, CONTRACTOR SHALL REPAIR OR RESTORE ALL STRUCTURES AND PROPERTY THAT MAY BE DAMAGED OR DISTURBED DURING

B. THE COST OF INCIDENTAL WORK DESCRIBED IN THESE GENERAL REQUIREMENTS. FOR WHICH THERE ARE NO SPECIFIC CONTRACT ITEMS. SHALL BE CONSIDERED AS PART OF THE GENERAL COST OF DOING THE WORK AND SHALL BE INCLUDED IN THE PRICES FOR THE VARIOUS CONTRACT ITEMS, NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR

C. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUCH MODERN PLANT. TOOLS. AND EQUIPMENT

AS MAY BE NECESSARY IN THE OPINION OF THE ENGINEER. TO PERFORM IN A SATISFACTORY AND ACCEPTABLE MANNER ALL THE WORK REQUIRED BY THE CONTRACT. ONLY EQUIPMENT OF ESTABLISHED REPUTATION AND PROVEN EFFICIENCY SHALL BE USED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF WORKMANSHIP, MATERIALS AND EQUIPMENT, PRIOR APPROVAL OF THE ENGINEER NOTWITHSTANDING

D. THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.

MOBILIZATION:

A. PERFORM PREPARATORY WORK AND OPERATIONS IN MOBILIZING FOR BEGINNING WORK ON THE PROJECT, INCLUDING, BUT NOT LIMITED TO, THOSE OPERATIONS NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE AND FOR THE ESTABLISHMENT OF TEMPORARY OFFICES. BUILDINGS. SAFETY EQUIPMENT AND FIRST AID SUPPLIES, AND OTHER FACILITIES. INCLUDE THE COSTS OF BONDS AND ANY REQUIRED INSURANCE AND ANY OTHER PRE-CONSTRUCTION EXPENSE NECESSARY FOR THE START OF THE WORK, EXCLUDING THE COST OF CONSTRUCTION MATERIALS.

MAINTENANCE OF TRAFFIC:

A. PREPARE AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN FOR REVIEW. A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA OR A PERSON THAT HAS SATISFACTORILY COMPLETED THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION "FLORIDA ADVANCED WORK ZONE TRAFFIC CONTROL COURSE" SHALL PREPARE THE PLAN.

B. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN TRAFFIC CONTROL THROUGH THE WORK AREA FOR THE DURATION OF CONSTRUCTION. PROVIDE TRAFFIC CONTROL DEVICES THAT ARE ON THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "QUALIFIED PRODUCT LIST".

PROVISIONS FOR CONTROL OF POLLUTION:

A. SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMEN'S OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE

B. FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

PROGRESS SCHEDULE:

PLOT: 5/11/2023 10:06:55 AM

A. PREPARE A CONSTRUCTION PROGRESS SCHEDULE COVERING ALL THE WORK INVOLVED IN THE CONTRACT. THIS INCLUDES SUBMITTAL AND APPROVAL OF SHOP DRAWINGS ON CRITICAL ITEMS, FABRICATION AND DELIVERY OF IDENTIFIABLE MATERIALS AND FOUIPMENT. SPECIFIC ITEMS OR WORK IN THE SCOPE. INTERFACES REQUIRED WITH OTHER CONTRACTS THAT MAY BE PART OF AN OVERALL PROJECT, AND SPECIFIC DEPENDENCIES UPON ACTS OR ACTIVITIES OF PARTIES NOT

UNDER THE CONTROL OF CONTRACTOR. B. THE BAR GRAPH METHOD OR CRITICAL PATH METHOD ARE ACCEPTABLE FOR SCHEDULING CONSTRUCTION ACTIVITY.

6. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES:

A. SUBMIT COPIES OF ALL REQUIRED SHOP DRAWINGS, PRODUCT DATA AND SAMPLES FOR

ENGINEER'S REVIEW. B. SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND TRANSMITTAL LETTERS PERTAINING THERETO SHALL BE IDENTIFIED WITH THE TITLE OF THE PROJECT, SUBMISSION DATE, AND THE CONTRACTOR'S ACKNOWLEDGEMENT THAT HE HAS REVIEWED THEM AND FOUND THEM

C. NOTIFY ENGINEER IN WRITING, AT THE TIME OF SUBMITTAL, OF ANY DEVIATIONS IN THE SUBMITTALS FROM THE REQUIREMENTS OF THE CONTACT DOCUMENTS.

D. THE REVIEW AND APPROVAL OF SHOP DRAWINGS, SAMPLES OR PRODUCT DATA BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR FROM HIS/HER RESPONSIBILITY WITH REGARD TO THE FULFILLMENT OF THE TERMS OF THE CONTRACT DOCUMENTS. ALL RISKS OF ERROR AND OMISSION ARE ASSUMED BY THE CONTRACTOR AND THE ENGINEER WILL HAVE NO RESPONSIBILITY

BORING LOGS, OTHER REPORTS AND DRAWINGS UTILIZED BY ENGINEER:

A. BORING LOGS, OTHER REPORTS AND DRAWINGS UTILIZED BY ENGINEER, IF ENCLOSED, ARE PROVIDED FOR CONTRACTOR'S INFORMATION AND ARE NOT A PART OF THE CONTRACT DOCUMENTS. THERE IS NO TECHNICAL DATA IN THE BORING LOGS, OTHER REPORTS OR DRAWINGS THAT SHOULD BE RELIED ON BY THE CONTRACTOR.

8. CONSTRUCTION STAKING AND RECORD DRAWINGS:

A. THE BASELINES AND BENCHMARKS FOR PRIMARY CONTROL, NECESSARY TO ESTABLISH LINES AND GRADES NEEDED FOR CONSTRUCTION ARE SHOWN ON THE DRAWINGS. THESE BASELINES AND BENCHMARKS SHALL BE USED AS THE ORIGIN OF ALL SURVEYS LAYOUTS AND MEASUREMENTS TO ESTABLISH CONSTRUCTION LINES AND GRADES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT THE LOSS OR DAMAGE OF PRIMARY CONTROL POINTS. ANY STAKES AND/OR CONTROL POINTS LOST OR DAMAGED BY CONSTRUCTION ACTIVITY WILL BE

RE-ESTABLISHED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER. B. CONSTRUCTION STAKING AND RECORD DRAWINGS SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR AND MAPPER LICENSED IN THE STATE OF FLORIDA.DESIGN DATA SHALL BE LINED-OUT.

C. RECORD DATA SHALL BE ADDED NEXT TO EACH LINED-OUT DESIGN DIMENSION OR ELEVATION. D. REQUIRED RECORD DRAWING INFORMATION

a. RIM/GRATE ELEVATIONS ON INLETS AND MANHOLES. b. FLOWLINE ELEVATIONS OF PIPES.

c. LINEAR DISTANCE ALONG PIPES FROM STRUCTURE TO STRUCTURE d. RECALCULATED PIPE SLOPES BASED ON FLOWLINE ELEVATIONS AND DISTANCE **BETWEEN STRUCTURES** e. HORIZONTAL LOCATION OF INLETS, MANHOLES AND STRUCTURES BASED ON STATIONING/COORDINATE/DIMENSIONING ON DRAWINGS. f. TOP OF PIPE/BOTTOM OF PIPE ELEVATIONS AS APPLICABLE AT ALL PIPE CROSSINGS. a. VERIFY ALL ELEVATIONS ON DRAWINGS. 3. ROADWAYS: AND

a. ALIGNMENT TIES FOR ROAD CENTERLINES AT ALL INTERSECTIONS HORIZONTAL CURVES (PC AND PT). b. HORIZONTAL AND VERTICAL GEOMETRY. 4. STORMWATER MANAGEMEN a. TOP OF BANK AND BOTTOM ELEVATIONS OF RETENTION/DETENTION

b. CROSS SECTION LAKE SIDE SLOPES FROM TOP OF BANK TO BOTTOM OF TOE AT 200 FEET ON CENTER. 5. WATER AND SEWER

a. AS REQUIRED BY LOCAL UTILITY OWNER. 9. PROTECTION/ADJUSTMENT OF UTILITIES:

A. UTILITY INSTALLATIONS AND STRUCTURES SHALL BE UNDERSTOOD TO INCLUDE ALL POLES, TRACKS, PIPES, WIRES, CONDUITS, HOUSE SERVICE CONNECTIONS, VAULTS, MANHOLES AND ALL OTHER APPURTENANCES AND FACILITIES PERTAINING THERETO WHETHER OWNED OR CONTROLLED BY THE OWNER, OTHER GOVERNMENTAL BODIES OR PRIVATELY OWNED BY INDIVIDUALS, FIRMS OR CORPORATIONS, USED TO SERVE THE PUBLIC WITH TRANSPORTATION. TRAFFIC CONTROL, GAS, ELECTRICITY, TELEPHONE, SEWERAGE, DRAINAGE, WATER OR OTHER PUBLIC OR PRIVATE PROPERTY WHICH MAY BE AFFECTED BY THE WORK

B. CONTRACTOR SHALL PROTECT ALL UTILITY INSTALLATIONS AND STRUCTURES FROM DAMAGE DURING WORK. ACCESS ACROSS ANY BURIED PUBLIC UTILITY INSTALLATION OR STRUCTURE SHALL BE MADE ONLY IN SUCH LOCATIONS AND BY MEANS APPROVED BY THE UTILITY OWNER. THE CONTRACTOR SHALL SO ARRANGE OPERATIONS AS TO AVOID ANY DAMAGE TO THESE FACILITIES. ALL REQUIRED PROTECTIVE DEVICES AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR, ALL EXISTING PUBLIC UTILITIES DAMAGED BY THE CONTRACTOR WHICH ARE SHOWN ON THE DRAWINGS OR HAVE BEEN LOCATED IN THE FIELD BY THE UTILITY OWNER SHALL BE REPAIRED BY THE CONTRACTOR.

C. PUBLIC UTILITY INSTALLATIONS OR STRUCTURES OWNED OR CONTROLLED BY THE OWNER OR OTHER GOVERNMENTAL BODY. WHICH ARE SHOWN ON THE DRAWINGS TO BE REMOVED. RELOCATED. REPLACED OR REBUILT BY THE CONTRACTOR SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS CONTRACT ITEMS. NO SEPARATE PAYMENTS SHALL BE MADE THEREFORE.

D. WHERE PUBLIC UTILITY INSTALLATIONS OR STRUCTURES OWNED OR CONTROLLED BY THE OWNER OR OTHER GOVERNMENTAL BODY ARE ENCOUNTERED DURING THE COURSE OF THE WORK, AND ARE NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS. AND WHEN IN THE OPINION OF THE ENGINEER, REMOVAL, RELOCATION, REPLACEMENT OR REBUILDING IS NECESSARY TO COMPLETE THE WORK UNDER THIS CONTRACT. SUCH WORK SHALL BE ACCOMPLISHED BY THE UTILITY HAVING JURISDICTION, OR SUCH WORK MAY BE ORDERED, IN WRITING BY THE ENGINEER, FOR THE CONTRACTOR TO ACCOMPLISH JE SUCH WORK IS ACCOMPLISHED BY THE UTILITY HAVING JURISDICTION IT WILL BE CARRIED OUT EXPEDITIOUSLY AND THE CONTRACTOR SHALL GIVE FULL COOPERATION TO PERMIT THE UTILITY TO COMPLETE THE REMOVAL, RELOCATION, REPLACEMENT OR REBUILDING AS REQUIRED. IF SUCH WORK IS ACCOMPLISHED BY THE CONTRACTOR, IT WILL BE IN ACCORDANCE WITH THE GENERAL AND SUPPLEMENTARY CONDITIONS. E. CONTRACTOR SHALL GIVE WRITTEN NOTICE TO OWNER AND GOVERNMENTAL UTILITY

DEPARTMENTS AND OTHER OWNERS OF PUBLIC UTILITIES OF THE LOCATION OF THE PROPOSED CONSTRUCTION OPERATIONS, AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF BREAKING GROUND IN ANY AREA OR ON ANY UNIT OF THE WORK.

F THE MAINTENANCE REPAIR REMOVAL RELOCATION OR REBUILDING OF PUBLIC UTILITY INSTALLATIONS AND STRUCTURES, WHEN ACCOMPLISHED BY THE CONTRACTOR AS HEREIN PROVIDED, SHALL BE DONE BY METHODS APPROVED BY THE UTILITY OWNER.

10. FIELD OBSERVATIONS AND TESTING:

A. FIELD OBSERVATIONS WILL BE PERFORMED BY ENGINEER AND ALL FIELD TESTING OF MATERIALS WILL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY. THE COST OF PASSING TESTS WILL BE PAID BY OWNER. FAILING TESTS SHALL BE PAID BY THE CONTRACTOR.

B. FOR TESTS SPECIFIED TO BE MADE BY THE CONTRACTOR (FOR EQUIPMENT/MATERIAL PRIOR TO DELIVERY TO THE PROJECT SITE), THE TESTING PERSONNEL SHALL MAKE THE NECESSARY INSPECTIONS AND TESTS AND THE REPORTS THEREOF SHALL BE IN SUCH FORM AS WILL FACILITATE CHECKING TO DETERMINE COMPLIANCE WITH THE CONTRACT DOCUMENTS. COPIES OF THE REPORTS SHALL BE SUBMITTED AND ALITHORITATIVE CERTIFICATION THEREOF MUST BE FURNISHED TO THE ENGINEER AS A PREREQUISITE FOR THE ACCEPTANCE OF ANY MATERIAL OR

C. IF, IN THE MAKING OF ANY TEST OF ANY MATERIAL, IT IS ASCERTAINED BY THE ENGINEER THAT THE MATERIAL DOES NOT COMPLY WITH THE CONTRACT. THE CONTRACTOR WILL BE NOTIFIED THEREOF AND WILL BE DIRECTED TO REFRAIN FROM DELIVERING SAID MATERIAL. OR TO REMOVE IT PROMPTLY FROM THE SITE OR FROM THE WORK AND REPLACE IT WITH ACCEPTABLE MATERIAL,

WITHOUT ADDITIONAL COST TO THE OWNER. D. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE PROPER OPERATION OF MATERIAL DURING TESTS AND CONSTRUCTION PERIODS AND SHALL NEITHER HAVE NOR MAKE ANY CLAIM FOR DAMAGE THAT MAY OCCUR TO MATERIAL PRIOR TO THE TIME WHEN THE OWNER FORMALLY TAKES OVER THE OPERATION THEREOF.

E. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING FIELD TESTING. F. PIPE TRENCHES SHALL BE TESTED AT RANDOMLY SELECTED LOCATIONS ALONG THE LENGTH OF EACH PIPE RUN WITHIN EACH 300' INTERVAL (MAXIMUM) AND BETWEEN EACH SET OF TWO STRUCTURES IF A PIPE RUN SEPARATING THE TWO IS LESS THAN 300' IN LENGTH.

G. ALL PIPE AND STRUCTURE TRENCHES SHALL BE BACKFILLED USING A MAX. OF 12" LIFTS. ALL BACKFILL MATERIAL SHALL BE CLEAN, DRY STRUCTURAL FILL, WITH NO DELETERIOUS OR ORGANIC MATERIAL PRESENT

H. AT LEAST ONE TEST SHALL BE PERFORMED FOR EVERY 12" OF DEPTH, STARTING AT THE SPRINGLINE OF THE PIPE, COVERING THE 12" LAYER BELOW THE SPRINGLINE OF THE PIPE. I TESTS SHALL BE PERFORMED AT EVERY STRUCTURE BEGINNING AT THE BASE OF THE STRUCTURE (COVERING THE 12" BELOW THE BASE OF THE STRUCTURE) WITH ONE TEST FOR EVERY 12" LIFT.

TESTS SHALL ALTERNATE FROM CORNER TO CORNER OR FROM SIDE TO SIDE AROUND THE STRUCTURE WITH EACH 12" LIFT. J. SUBGRADE COMPACTION SHALL BE CHECKED AT 200 FOOT INTERVALS.

K. FOR CURB AND SIDEWALK CHECK CONCRETE SLUMP AND OBTAIN A SET OF TEST CYLINDERS EVERY L. BASE ROCK - ANALYZE MATERIAL WHEN IT IS DELIVERED TO THE SITE FOR COMPLIANCE WITH THE

SPECIFICATIONS. CHECK COMPACTION AT 300 FOOT INTERVALS BUT ALTERNATE LEFT SIDE TO RIGHT SIDE M. ASPHALT - VERIFY ASPHALT TEMPERATURE AT ARRIVAL TO SITE TO VERIFY COMPLIANCE WITH MIX

N. ALL DENSITY TESTS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL

GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF FLORIDA O. ALL TESTS AND LOCATIONS ARE SUBJECT TO REVIEW BY REPRESENTATIVES OF OUR OFFICE AND ADDITIONAL TESTS MAY BE REQUIRED BASED ON FIELD OBSERVATIONS OF CONSTRUCTION TECHNIQUES OR MATERIALS USED ON SITE.

11. SALVAGE MATERIAL:

A. ALL SALVAGEABLE MATERIAL AND EQUIPMENT REMOVED FROM THE EXISTING CONSTRUCTION FOR WHICH SPECIFIC USE, RELOCATION OR OTHER DISPOSAL IS NOT SPECIFICALLY NOTED ON THE DRAWINGS OR OTHERWISE SPECIFIED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO HIM. ALL MATERIAL AND EQUIPMENT NOT IN SALVAGEABLE CONDITION AS DETERMINED BY THE ENGINEER, SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER AT THE CONTRACTOR'S EXPENSE. THE ACTUAL STORAGE SITE FOR SALVAGEABLE MATERIAL WILL BE DESIGNATED BY THE OWNER.

A. DURING CONSTRUCTION OF THE WORK, THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND ADJACENT PREMISES AS FREE FROM MATERIAL DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE THE SAME FROM ANY PORTION OF THE SITE IF, IN THE OPINION OF THE ENGINEER, SUCH MATERIAL, DEBRIS, OR RUBBISH CONSTITUTES A NUISANCE OR IS OBJECTIONABLE.

B. AT THE CONCLUSION OF THE WORK, ALL TOOLS, TEMPORARY STRUCTURES AND MATERIALS BELONGING TO THE CONTRACTOR SHALL BE PROMPTLY TAKEN AWAY AND CONTRACTOR SHALL REMOVE AND PROMPTLY DISPOSE OF ALL RUBBISH OR ANY OTHER FOREIGN MATERIALS. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL MATERIAL INSTALLED AND SHALL DELIVER SUCH MATERIALS UNDAMAGED IN A CLEAN AND NEW CONDITION.

CONTRACTOR'S RESPONSIBILITIES:

I. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BIDDING THE WORK AND TO PERFORM SUCH TESTS, STUDIES AND SURVEYS AS DEEMED NECESSARY TO SATISFY THE CONTRACTOR AS TO THE ACTUAL SURFACE AND SUBSURFACE CONDITIONS EXISTING AT THE SITE. ACTUAL CONDITIONS THAT DIFFER FROM THOSE SHOWN ON DRAWINGS SHALL NOT CONSTITUTE FOR

2 THE CONTRACTOR SHALL CHECK ALL DRAWINGS FURNISHED TO HIM AND SHALL PROMPTLY NOTIFY THE ENGINEER, SHALLOWAY, FOY, RAYMAN & NEWELL, INC. IN WRITING OF ANY DISCREPANCIES. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS SHALL BE OF LIKE EFFECT AS IF SHOWN OR

3. NO CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN

SECURED AND THE CONTRACTOR IS ISSUED A NOTICE TO PROCEED.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS INCLUDING BUT NO LIMITED TO; UTILITY, COUNTY, CITY AND STATE.

5. THE CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770) 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.

6. THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ADVANCE OF CONSTRUCTION.

7. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF ANY UNDERGROUND GAS PIPE.

8. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED CABLE, SANITARY LINES,

9. THE CONTRACTOR, SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES, STRUCTURES, PAVEMENT, ETC. FROM DAMAGE OR DISRUPTION OF SERVICE AND SHALL PROTECT THE OWNER AGAINST ANY CLAIMS THAT MAY ARISE AS A RESULT OF CONSTRUCTION ACTIVITIES. REPAIRS OF SUCH UTILITIES, STRUCTURES, PAVEMENT, ETC. SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER AND ALL

10. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE PHYSICAL CONDITIONS, OR ANY ERROR OR OMISSIONS IN THE DRAWINGS, IN THE LAYOUT AS GIVE BY THE POINTS AND INSTRUCTIONS, OR DISCOVERS UNFORESEEN BE THE CONTRACTOR'S DUTY TO IMMEDIATELY INFORM THE ENGINEER IN WRITING. AND THE ENGINEER SHALL PROMPTLY CHECK THE ACCURACY OF THE INFORMATION. ANY WORK DONE AFTER SUCH DISCOVERY. UNTIL NECESSARY CHANGES ARE AUTHORIZED WILL BE DONE AT THE CONTRACTOR'S RISK.

11. DURING ALL UNDERGROUND CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CLEARANCES FROM ANY PROPOSED OR EXISTING UTILITIES OR STRUCTURES, AS REQUIRED BY THE PLANS, SPECIFICATION, UTILITY AUTHORITY, AND ANY GOVERNING AGENCY. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY IF THE APPROPRIATE CLEARANCE IS NOT AVAILABLE

12. REGULATIONS AND LEGAL REQUIREMENTS REGARDING WORK HOURS SHALL BE IN ACCORDANCE WITH

13. UPON COMPLETION OF THE WORK SPECIFIED IN THESE PLANS, THE ENGINEER WILL CONDUCT A FINAL INSPECTION. FINAL PAYMENT TO THE CONTRACTOR WILL NOT BE APPROVED UNTIL THE PROJECT IS CERTIFIED AS COMPLETE BY THE ENGINEER.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING. "AS-BUILT" INFORMATION. AND ALL REQUIRED DENSITY TESTING, AND SHALL PROVIDE ALL "AS-BUILT" INFORMATION AND TEST RESULTS TO THE ENGINEER.

15. ALL UTILITY LINE TESTING AND SAMPLING SHALL BE IN ACCORDANCE WITH UTILITY AND HEALTH DEPARTMENT CRITERIA. A MINIMUM OF 24 HOUR NOTICE MUST BE PROVIDED PRIOR TO TESTING.

ALL CONCRETE SHALL BE 4000 p.s.i. UNLESS OTHERWISE NOTED.

17. SOD SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.

18. SIDEWALK SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.

19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.

CITY OF DELRAY BEACH NOTES:

REGULATORY AGENCIES.

1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER, SEWER OR DRAINAGE CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.

2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.

3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.

4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.

6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.

7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS. THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.

9. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.

10. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY

11. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED

PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY. 12. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.

13. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY. AS THE WORK PROGRESSES, THE ENGINEER OF RECORD (OR THEIR REPRESENTATIVE) SHALL RECORD ON ONE SET OF DRAWINGS THE LOCATION INCLUDING STATION AND OFFSET WITH SUFFICIENT DIMENSIONS AND DISTANCES TO ADEQUATELY DESCRIBE THE LOCATION OF THE IMPROVEMENT FROM THE BASELINE. ELEVATIONS ARE TO BE PROVIDED AT THE TOP OF PIPE AT INCREMENTS OF EVERY 100 FEET ON ALL WATER AND FORCE MAINS. STATIONING IS REQUIRED ON ALL VALVES, FITTINGS, WATER AND SEWER SERVICES AND FIRE HYDRANTS. THE LENGTHS OF ALL WATER SERVICE LINES AND SEWER LATERALS MUST BE NOTED ON GRAVITY SEWER LINES, ELEVATIONS AND STATIONING ARE TO BE INDICATED ON ALL MANHOLE RIMS AND INVERTS. THE DISTANCE BETWEEN MANHOLES IS TO BE SHOWN ON BOTH THE PLAN AND PROFILE SHEETS UNLESS PLAN VIEW AND PROFILE VIEW ARE ON THE SAME SHEET. THE ENGINEER OF RECORD IS TO SUBMIT TWO SETS OF BLUE PRINT RECORD OR AS-BUILT DRAWINGS AND ONE MYLAR TO THE ENGINEERING DEPARTMENT ALONG WITH THE HEALTH DEPARTMENT APPLICATION FOR RELEASE OF THE SYSTEM. ALL "AS-BUILT DRAWINGS" SHALL BE SIGNED SEALED AND DATED BY THE ENGINEER OF RECORD. CERTIFICATE OF OCCUPANCY WILL BE HELD UNTIL ACCEPTANCE BY HRS AND THE DEVELOPMENT SERVICES ENGINEERING DEPARTMENT. PAVING & DRAINAGE AS-BUILT DRAWINGS SHALL INCLUDE RIM ELEVATIONS. INVERT ELEVATIONS. PIPE SIZES. CONTROL STRUCTURE DIMENSIONS. AS WELL AS. AS-BUILT ELEVATIONS AS EVERY LOCATION A PROPOSED ELEVATION IS INDICATED ON THE CONSTRUCTION PLAN. ADEQUATE AS-BUILT ELEVATIONS SHALL BE PROVIDED ON EMBANKMENTS TO DETERMINE COMPLIANCE WITH MAXIMUM SLOPE REQUIREMENTS.

14. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES

15. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF

16. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.

17. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.

18. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.

19. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.

PROVIDED TO THE CITY OF DELRAY BEACH'S CHIEF BUILDING OFFICIAL 21. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.

20. PRIOR TO AND DURING CONSTRUCTION OF ALL SITES, THE PERMITEE SHALL IMPLEMENT AND MAINTAIN

ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDED IN A POLLUTION PREVENTION PLAN

22. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.

23. EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS

ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.

24. CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.

25. THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.

26. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES. RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.

ADAM C. SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM C. SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND

Know what's below. SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY E L E C T R O N I C C O P I E S

Call before you dig

-8

20084.01.08





LOCATION MAP

LEGAL INSOMPTION
THE SOUTH THREE (3') REET OF LOT 4, ALL OF LOTS 5 THROUGH 8, INCLUSIVE, AND THE NORTH THREE (3')
PEET OF LOT 9, ALDOX 111 (ONE-HUNDRED ELEVEN), OF THE PLAT OF RESURENASION OF PLOCK 111 (BERAY
PAUM BEACH COUNTY FLA, ACCORDING TO THE FLAT AS SET FORTH IN PLAT BOOK 13, PAUE 48, OF THE PUBLIC
RECORDS OF PAUM PECAN COUNTY, ROBODA, LESS THE MOST FIVE (5') FRET THEREOF FOR STATE ROAD
PURPOSES, PUBLIC RECORDS OF ALM BEACH COUNTY, FLORIDA.

SUNCTION'S HOTES.

1. THE SURVEY DEPOTED HEISEM IS CLASSPED AS AN ALTA SURVEY AND IS IN COMPUTANCE WITH 2016 WINMAIN STRANGARD OFFILE REQUIREMENTS FOR ALTA/ASSIS LAND TILE SURVEYS TO INCLUDE THE FOLLOWING TABLE A REQUIREMENTS: 1, 2, 3, 4, 6(8), 7(A), 8, 11, 13, 16 AND 19.

EXEQUITY ORDER, NO. AND THE CENTERING SERVEYOR ACCEPT NO RESPONDED TO REPORT OF RIGHT-OF-WAYS.
 EXEMPTS RETRICTIONS OF OTHER MATTERS A FEETING TILE TO THE LIANS SERVED IN THE THAN THOSE REGION OF THE THAN THOSE REGION OF THE PROPERTY OF RECORD FRAMEHED BY THE CLEAR.

- 4. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SENATURE AND RAISED SEAL OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.
- 6. ALL DISTANCES SHOWN HEREON ARE IN U.S. FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.

7. ADDITIONS OR DELETIONS TO THIS SURVEY WAP BY OTHER THAN THE SIGNNO PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNNO PARTY OR PARTIES.

8. ACCURACY STATEMENT: A REID SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 5:—17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007 RUPIDA STATE STATUTES FOR TOPOGRAPHIC SURVEYS. THE ACCURACY OF CONTROL DATA WAS VERFORD BY REDUNCANT MEASUREMENTS OF TRAVERSE CLORARES AND EXCEEDS COMMERCIAL/HIGH RISK: LINEAR: 1 FROT M 10,000 FEET.

9. THIS WAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1:240

10. THIS SUMMEY WAS PREPARED WITH THE BENERT OF A TILE COMMITMENT REPORT FURNISHED BY OLD REPUBLIC HATCHAL TITLE MISURANCE COMPANY UNDER COMMITMENT MUMBER 855908-2 WITH AN EFFECTIVE DATE OF JUNE 10, 2000 AT 15 to 57 PM.

11. ALL CHARDSONS SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.

HEARINGS SHOWN HEREON ARE BASED ON A MEASURED HEARING OF NOTIFICIATIVE ALENG THE EASTERLY RIGHT-OF-WAY OF SE OTH AVENUE AND ALL OTHER HEARINGS ARE RELATIVE THERETO.

13. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1866 (N.A.V.D. 1866) AND REFERENCE THE FOLLOWING BENCHMARK:

IN DELBAY BEACH, AT THE INTERSECTION OF THE FLORIDA EAST COAST RALEGAD AND MORTHEAST 4TH STREET, 14.2 M (46.6 FT) WEST OF THE NEAR RAL, 8.2M (28.9 FT) SOUTH OF THE STREET CENTERLINE, 3 FEET EAST AND 1.0 FOUT SOUTH OF THE EAST EIGO OF A 6 FOUT ODMORTE SUB-BALL, 0.4M (1.3 FT) MORTH OF A MITNESS POST, 0.3M (1.0 FT) BELOW THE LEVEL OF THE SURFACE OF THE STREET, AND THE MORNMENT IS MICHIGAND 0.2M (1.7 FT) BELOW THE GROUND SURFACE.

THE STATION IS A U.S. COAST AND GENERIC SURVEY BENCHMARK DISK SET IN A COMCRETE POST STAMPED "Z. 233 1985".

14. THIS SURVEY IS MASED ON THE PLORIDA STATE PLANE COORDINATE SYSTEM TRANSVERSE MERCATUR, PLORIDA EAST ZONE BOY, NORTH AMERICAN DATUM OF 1983 (1880 ADJUSTMENT).

15. THE SUBJECT PROPERTY WES WITHIN FEWA FLOOD ZONE X (0.2%) PER THE EFFECTIVE REMAINED MAP, WAP HUMBER 1029900079F, WITH AN EFFECTIVE DATE OF OCTOBER 5, 2017, FLOOD ZONE X COVERS ENTIRE PROPERTY.

16. THE WATER MAIN INFORMATION HAS BEEN REFERENCED FROM A DRAWNO TITLE? "ALLEY IS UTILITY INFORMATION FROM THOSE THOMAST NO. 91—55" BY CITY OF DELIVEY REACH DEMONSTRATE, SORVING TO SHEAR THOMAST AND CONTRACT OF THE STATE OF TH

17, ZONING SETSACK REQUIREMENTS WERE NOT PROVIDED BY THE CLIENT.

18. NO EVIDENCE OF RECENT EARTH WOUND WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE RELIGIORIES.

6-1 EXIDENTIAS 7. AINETIE SAITH AND ARS INTERORS AS TEMANTS IN POSSESSION UNDER AN UNRECORDED LEASE, MAY AFFECT THE SUBJECT PROPERTY, NO HISSMANDEN PROMISED FOR ROLES. ALL WATTERS CONTAINED ON THE FLAT OF RE-SUBDINSION OF BLDCK 111, DELRAY BEACH, FLORIDA, AS RECORDED IN PLAT BOOK 13, PAGE 46, PUBLIC RECORDS OF PAIN SEACH COUNTY, FLORIDA AFFECTS THE SUBJECT PROPERTY, 9-100M INDICOM.

IS DESLARATION OF UNITY OF TITLE RECORDED IN OIR BODY 2478, PAGE 1997, PUBLIC RECORDS OF PAUL BALLY COUNTY, RURKIN, APPECTS THE SUBJECT PROPERTY, IT IS NOT SHOWN REPEAT AS IT APPECTS THE BALLY COUNTY, RURKING APPECTS THE SUBJECT PROPERTY.

TEMBS AND CONDITIONS OF HAT CERTAIN UNRECORDED LEASE BY AND RETIRED GREGORIAN GROUP INC.
 FERRED CORPORATION, LANGUAGE, AND ALS INTENDES, A RUNDA CORPORATION, MAY APTICAT THE SUMMENT PROPERTY. IN DEVIOLATION PROPERTY OF THE PROPE

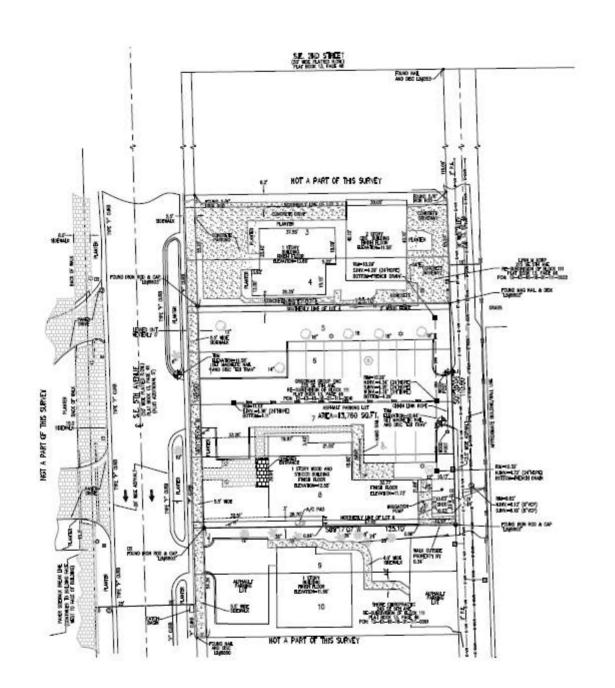
II. ENCROMENTS. ENCOMMENCES, VOLATIONS, VANIATIONS, OR ANYESE CROUMSTANCES, F. MY, ACTUALLY STORM ON THE STREET PROPERTY BY SURPLY RECOVERY ANY 20, 2005, IE-MING AND & 2008-ATTE ORDER OF THE STREET, THE CONSTRUCTIVE PROPERTY FOR CONSISTS OF THE COMMENT LINE OF THE CASTELLY POSITION OF THE STREET PROPERTY BY THE CONTRACT OF THE CASTELLY POSITION OF THE STREET PROPERTY AND THE CONTRACT OF STREET PROPERTY AND THE CONTRACT OF STREET PROPERTY. SHOW MENDED.

HILD DECEMBER OF MENTS, LEASE, AND PROFITS FLED JAME 10, 2020, IN CIR. BOOK SIARS, PAGE 1157, PUBLIC LECOMES OF PAUL (EXCH COMMY, ROBBO, APPECTS HE SUBJECT MOPERTY, NOT PLOTTINE.

CENTRID TO: AMERICAN TITLE AND ABSTRACT SERVICES, INC. ROBLITY NATIONAL TITLE INSURANCE COMPANY SIX I DEVELOPMENT LLC

Andre Manufacturine

Rayman Total SECOND THEFACT C. AMORE RAYMAN, P.S.N. PROFESSIONAL SURVEYOR AND MAPPER STATE OF FLORIDA LICENSE NO. 4938 STATE OF FLORIDA LINASSOS





LEGEND

TREE LEGEND

LEGEND-UNDERGROUND UTILITY

ABBREVIATIONS

HIGH DENTY POLYETHYLDE PHE PLAT BOOK POLYETHYLDE PIPE

ALL ELEVATIONS SHOWN ARE N.A.V.D. 1988



Department of Engineering and Public Works

P.O. Box 21229 West Palm Beach, FL 33416-1229 (561) 684-4000 FAX: (561) 684-4050 www.pbcgov.com

Palm Beach County Board of County Commissioners

Robert S. Weinroth, Mayor

Gregg K. Weiss, Vice Mayor

Maria G. Marino

Dave Kerner

Maria Sachs

Melissa McKinlay

Mack Bernard

County Administrator

Verdenia C. Baker

"An Equal Opportunity Affirmative Action Employer" June 1st, 2022

Bryan G. Kelley, P.E. Simmons & White, Inc. 2581 Metrocentre Blvd. Suite 3 West Palm Beach, FL 33407

235 SE.5th Avenue Condominiums RE:

Project #: 220513

Traffic Performance Standards (TPS) Review

Dear Mr. Kelley:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated May 13, 2022, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality: Delray Beach

East side of SE 5th Avenue, about 300 feet south of SE Location:

2nd Street

12-43-46-16-01-111-0041 PCN:

Access driveway connection onto existing alley east of Access: the site

(As used in the study and is NOT necessarily an approval

by the County through this TPS letter)

Existing Uses: General Office = 2,309 SF

Proposed Uses: Redevelop the site with: Multi-Family Residential= 7 DUs

General Retail = 568 SF

Project Daily Trips:

Project Peak Hour Trips: 3 (1/2) AM; 6 (4/2) PM

New Daily Trips: 54

New Peak Hour Trips: -1 (-2/1) AM; 1 (2/-1) PM

Build-out: December 31, 2026

Based on our review, the Traffic Division has determined the proposed development generates less than 20 peak hour trips; therefore, the project meets the TPS of Palm Beach County.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.



Bryan G. Kelley, P.E. June 1st, 2022 Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email <u>HAkif@pbcgov.org</u>.

Sincerely,

Hananè Akif, P.E. Professional Engineer Traffic Division

OB:HA:cw

ec:

Anthea Gianniotes, AICP, Director of Development Services, City of Delray Beach Hanane Akif, E.I., Project Coordinator II, Traffic Division Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2022\220513 - 235 SE 5TH AVENUE CONDOMINIUMS.DOCX;



TRAFFIC GENERATION STATEMENT

235 SE 5TH AVENUE CONDOMINIUMS CITY OF DELRAY BEACH, FLORIDA

Prepared for:

Mr. Hovhannes Grigorian 9505 Aegean Drive Delray Beach, Florida 33496

Job No. 20-069

Date: May 13, 2022



Bryan G. Kelley, P.E. FL Reg. No. 74006

TABLE OF CONTENTS

1.0	SITE DATA	2
	TRAFFIC OF MEDITION	•
2.0	TRAFFIC GENERATION	2
3.0	SITE RELATED IMPROVEMENTS	3
4.0	CONCLUSION	3

1.0 SITE DATA

The subject parcel is located on the east side of SE 5th Avenue, south of Atlantic Avenue in the City of Delray Beach, Florida and contains approximately 0.32 acres. The Property Control Number for the subject parcel is 12-43-46-16-01-111-0041. The site is currently developed with a 2309 SF office building. Proposed site redevelopment consists of demolishing the existing improvements and constructing 7 multifamily dwelling units and 568 S.F. of retail with a project build-out of 2026. Site access is proposed via an ingress only and egress only driveway connection to alley east of SE 5th Avenue. For additional information concerning site location and layout, please refer to the Site Plan prepared by Schmidt Nichols.

2.0 TRAFFIC GENERATION

The traffic currently existing for the parcel has been calculated in accordance with the traffic generation rates listed in the *ITE Trip Generation Manual*, 10th *Edition* and provided by the Palm Beach County Engineering Traffic Division as shown in Tables 1-3 attached with this report. Table 1 shows the daily traffic generation associated with the approved development in trips per day (tpd). Tables 2 and 3 show the AM and PM peak hour traffic generation, respectively, in peak hour trips (pht). The traffic generated by the existing/vested development may be summarized as follows:

<u>Vested Development</u>

Daily Traffic Generation = 33 tpd

AM Peak Hour Traffic Generation (In/Out) = 4 pht (3 In/1 Out) PM Peak Hour Traffic Generation (In/Out) = 5 pht (2 In/3 Out)

The traffic to be generated by the proposed development has also been calculated in accordance with traffic generation rates listed in the *ITE Trip Generation Manual*, 10th Edition as shown in Tables 4-6. Table 4 shows the daily traffic generation associated with the proposed plan of development. Tables 5 and 6 show the A.M. and P.M. peak hour traffic generation, respectively. The traffic to be generated by the proposed plan of development may be summarized as follows:

Proposed Development

Daily Traffic Generation = 78 tpd

A.M. Peak Hour Traffic Generation (IN/OUT) = 3 pht (1 IN/2 OUT) P.M. Peak Hour Traffic Generation (IN/OUT) = 6 pht (4 IN/2 OUT)

2.0 TRAFFIC GENERATION (CONTINUED)

The difference in traffic generation as a result of the revised development plan is shown in Table 7 and may be summarized as follows:

Trip Generation Increase

Daily Traffic Generation = 45 tpd

A.M. Peak Hour Traffic Generation = -1 pht (-2 IN/1 OUT) P.M. Peak Hour Traffic Generation = 1 pht (2 IN/-1 OUT)

3.0 SITE RELATED IMPROVEMENTS

The A.M. and P.M. peak hour turning movement volumes and directional distributions at the project entrance with no reduction for pass by credit are shown in Tables 5 and 6 attached with this report. The following summary applies:

DIRECTIONAL DISTRIBUTION (TRIPS IN/OUT)

A.M. = 3/1P.M. = 3/3

As previously mentioned, site access is proposed via an ingress only and egress only driveway connection to the alley. Based on the Palm Beach County Engineering Guideline used in determining the need for turn lanes of 75 right turns or 30 left turns in the peak hour, no turn lanes or site access modifications appear warranted.

4.0 CONCLUSION

As shown in Table 7, the proposed modifications will result in an increase of 45 daily trips, -1 A.M. peak hour trips, and 1 PM peak hour trips from the vested development. Since the proposed modifications will result in less than 20 peak hour trips, a traffic study is not required and the project is approvable with regard to the Palm Beach County Traffic Performance Standards.









EXISTING DEVELOPMENT

TABLE 1 - Daily Traffic Generation

	ITE							Inte	ernalization		Pass-	-by	
Landuse	Code	e Intensity		Rate/Equation	In Out		Gross Trips	%	Total	External Trips	%	Trips	Net Trips
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	16.19			37		0	37	10%	4	33
			Grand Totals:				37	0.0%	0	37	11%	4	33

TABLE 2 - AM Peak Hour Traffic Generation

	ITE				Dir Split		Gross Trips			Internalization					ernal	Trips	Pass-	Net Trips			
Landuse	Code	lı	ntensity	Rate/Equation	In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	1.92	0.83	0.18	3	1	4	0.0%	0	0	0	3	1	4	10%	0	3	1	4
		Grand Totals:				3	1	4	0.0%	0	0	0	3	1	4	0%	0	3	1	4	

TABLE 3 - PM Peak Hour Traffic Generation

	ITE				Dir Split		Gross Trips			Internalization					ernal	Trips	Pass-	Net Trips			
Landuse	Code	lı	ntensity	Rate/Equation	In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	2.45	0.32	0.68	2	4	6	0.0%	0	0	0	2	4	6	10%	1	2	3	5
		Grand Totals:				2	4	6	0.0%	0	0	0	2	4	6	17%	1	2	3	5	



PROPOSED DEVELOPMENT

TABLE 4 - Daily Traffic Generation

	ITE				Dir	Split In			ernalization		Pass-			
Landuse	Code	li li	ntensity	Rate/Equation	In	Out	Gross Trips	%	Total	External Trips	%	Trips	Net Trips	
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units	7.32			51		0	51	0%	0	51	
Gen. Commercial ^e	820	568	S.F.	$Ln(T) = 0.68 Ln(X) + 5.57^d$			71		0	71	62%	44	27	
			Grand Totals:				122	0.0%	0	122	36%	44	78	

TABLE 5 - AM Peak Hour Traffic Generation

	ITE				Dir Split		Gross Trips			Internalization				-		Trips	Pass	Net Trips			
Landuse	Code	lı lı	ntensity	Rate/Equation	In	Out	In	Out	Total	%	ln	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units	0.46	0.23	0.77	1	2	3	0.0%	0	0	0	1	2	3	0%	0	1	2	3
Gen. Commercial ^e	820	568	S.F.	0.94	0.62	0.38	1	0	1	0.0%	0	0	0	1	0	1	62%	1	0	0	0
			Grand Totals:				2	2	4	0.0%	0	0	0	2	2	4	25%	1	1	2	3

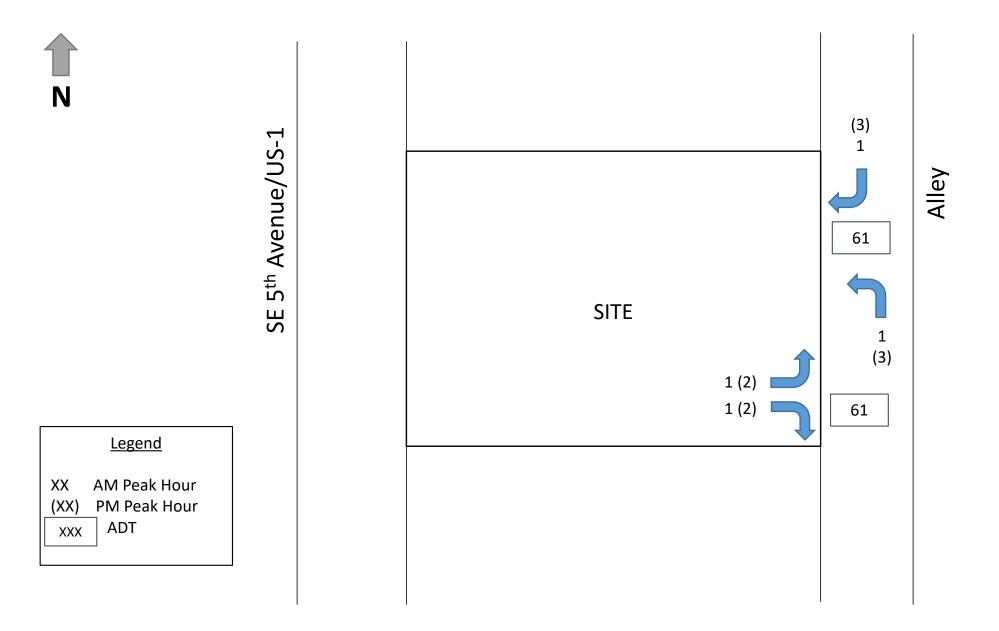
TABLE 6 - PM Peak Hour Traffic Generation

	ITE				Dir Split		Gross Trips			Internalization				External Trips			Pass-by		Net Trips		
Landuse	Code	lı	ntensity	Rate/Equation	In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units	0.56	0.63	0.37	3	1	4	0.0%	0	0	0	3	1	4	0%	0	3	1	4
Gen. Commercial ^e	820	568	S.F.	$Ln(T) = 0.74 Ln(X) + 2.89^{f}$	0.48	0.52	3	3	6	0.0%	0	0	0	3	3	6	62%	4	1	1	2
			Grand Totals:				6	4	10	0.0%	0	0	0	6	4	10	40%	4	4	2	6



TABLE 7
TRAFFIC GENERATION INCREASE

		AM	PEAK HO	DUR	PM PEAK HOUR					
	DAILY	TOTAL	IN	OUT	TOTAL	IN	OUT			
PREVIOUSLY VESTED DEVELOPMENT =	33	4	3	1	5	2	3			
PROPOSED DEVELOPMENT =	78	3	1	2	6	4	2			
INCREASE =	45	-1	-2	1	1	2	-1			









BOARD OF DIRECTORS

Mavis Benson

Chair

Avalon Gallery

Dr. Alan Costilo

Vice-Chair Big Al's Steaks

Mark Denkler

Treasurer Resident

Vera Woodson

Secretary Resident

Rocco Mangel

Rocco's Tacos

Frank Frione

Business Owner

Dr. John Conde

The Conde Center

MEMO TO: Development Services

DATE: March 15, 2023

ITEM – Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan

Dear Board Members:

This concerns the Planning & Zoning item Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan, which came before the Delray Beach Downtown Development Authority at the March 13, 2023 board meeting.

The DDA Board is supportive of this project. Suggestions were given on utilizing a different color for the building exterior walls (which are white on the proposed project).

ACTION – Motion to approve the Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan as presented.

Motion: John Conde 2nd: Vera Woodson. Motion carried 5-0. Frank Frione and Alan Costilo not present.

Sincerely,

Laura Simon,

DDA Exec. Director

Mayor and City Commission City of Delray Beach Development Services Department DDA Board of Directors