



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Valhalla Condominiums

Meeting	File No.	Application Type
August 23, 2023	2022-189-SPF-SPR-CLV	Class V Site Plan
Property Owner	Agent	
SIR II Development, LLC	Josh Nichols of Schmidt Nichols Landscape Architecture and Urban Planning	

Request

Consideration of a Class V Site Plan, Landscape Plan, and Architectural Elevations for the construction of a four-story, mixed-use development, including ground floor non-restaurant commercial space and seven residential units, located at 235 SE 5th Avenue.

Site Data & Information

Location: 235 SE 5th Avenue ("The Property")

PCN: 12-43-46-16-01-111-0041

Property Size: 0.32 acres (13,760 square feet)

Land Use Designation: CC (Commercial Core)

Zoning: Central Business District (CBD), Central Core Sub-district

Adjacent Zoning:

- **North, East, South, and West:** CBD, Central Core Sub-district

Existing Use: 2,309 square foot office with associated parking

Proposed Use: +/- 27,135 square foot, four-story, mixed-use development with 568 square feet of retail and seven residential units

Floor Area Ratio:

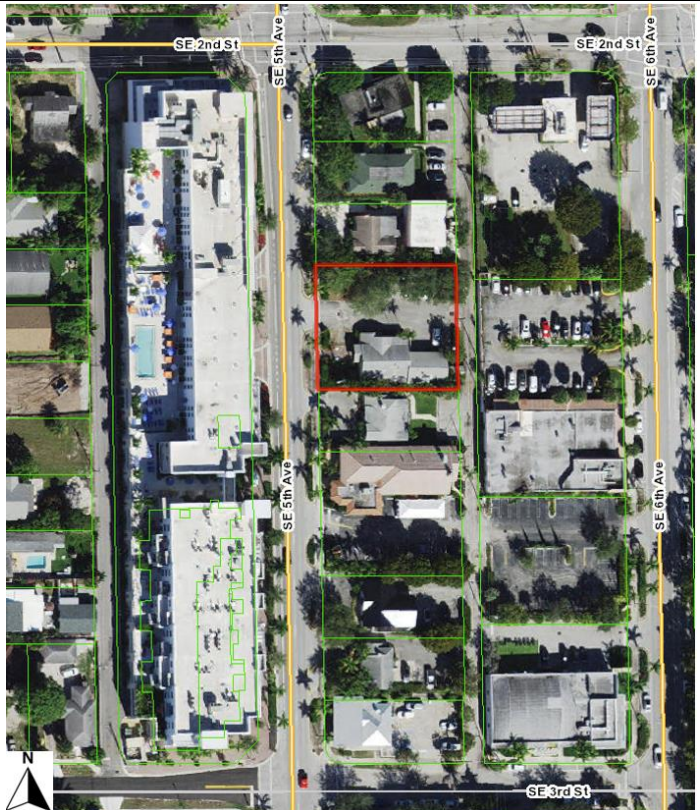
- **Existing:** 0.16
- **Proposed:** 1.97
- **Maximum Allowed:** 3.0

Density:

- **Proposed:** 22 du/ac (7 units)
- **Maximum Allowed:** 30 du/ac (9 units)

CBD Central Core Sub-district

- **SE 5th Avenue:** Primary Street





Background

The Property currently contains a 2,309 square foot office with associated parking. To the north of The Property is a one-story office with an accessory two-story apartment, to the west is the Aloft Hotel, to the south is a one-story chiropractic office, and to the east is a multi-tenant commercial building. The Property is located within Sub Area 2 of the City's Community Redevelopment Area, and the Downtown Development Agency (DDA) district boundaries.

Based on City records, the Property was previously addressed as 225 and 237 SE 5th Avenue. Below is an outline of The Property's development history:

- 225 SE 5th Avenue (S 3' of Lot 4, Lot 5, Lot 6, Block 111)
 - 1928-1949 – a single family residence was constructed
 - 1956-1957 – two additions were completed at the rear of the residence, one 140.4 square feet and one 216 square feet)
 - 1957-1991 – the structure was demolished
 - January 4, 2021 – a Class V Site Plan was submitted to develop a four-story mixed-use building; the application was closed out due to no action.
 - Current – the address is now 235 SE 5th Avenue (unified with Lots 7, Lot 8, and N 3' of Lot 9, Less W 5' RW, BLK 111) and is developed with a 2,309 square foot commercial/office building
- 237 SE 5th Avenue (Lots 7, Lot 8, and N 3' of Lot 9, Less W 5' RW, Block 111)
 - 1928-1962 – a single family residence was constructed with a 168 square foot carport
 - 1983 – the 168 square foot carport was demolished
 - 1983-1991 – the structure was modified to a 2,309 square foot commercial/office building
 - January 4, 2021 – a Class V Site Plan was submitted to develop a four-story mixed use building; the application was closed out due to no action
 - Current - the address is now 235 SE 5th Avenue (unified with S 3' of Lot 4, Lot 5, Lot 6, BLK 111) and is currently licensed for Palm Financial Services and AES Interiors & associates Inc.



Update

The subject request was reviewed by the Board at its June 28, 2023, meeting. The Board voted 7-0 to continue the request with direction due to concerns identified during the Board's discussion, which included the execution of the Masonry Modern architectural style, specifically, the need for more elements of interest and creativity, further enhancing and articulating the tower feature, and softening design treatments to reflect a more residential character.





Description of Proposal

The proposal is for the construction of a new Masonry Modern, four-story, mixed-use development, containing 568 square feet of ground floor non-restaurant commercial space and seven residential units (total gross floor area of 27,135 square feet). The units include one two-bedroom unit and six three-bedroom units, ranging from 1,584 square feet to 3,119 square feet. The residential lobby and building manager's office is located on the ground floor, and the pool and pool deck are located on the second floor along the east side of the building. The two units on the fourth floor each have access to a private rooftop terrace.

A 17-space covered parking area is provided to the rear (east) of the property. Ingress and egress to the parking garage is provided from the improved alley that connects with SE 2nd Street and SE 3rd Street. The property owner has provided a two-foot Right-of-Way dedication along the east alley to widen the alley from 16 feet to 18 feet (the alley has a 20-foot ultimate right-of-way).

The development incorporates a tower element on the northwest corner of the building, which serves as a stairway and elevator shaft connecting to the main lobby. The ground floor utilizes a Porch with Storefront frontage type that runs along SE 5th Avenue. The Property fronts a portion of South Federal Highway that is not under the City's jurisdiction and is controlled by the Florida Department of Transportation (FDOT). Based on FDOT's restrictions, buildings may not encroach into their right-of-way. Therefore, while the Porch frontage type is most commonly associated with residential uses, the CBD regulations allow the Porch to be incorporated with commercial uses as well. To provide a shaded walkway while not encroaching into FDOT's right-of-way, a Porch with Storefront frontage type is proposed in lieu of an Arcade with Storefront frontage type.

NOTE: The applicant has indicated that there will be no restaurant uses on the floor plan. Therefore, if a restaurant use is proposed at the site in the future, parking would be reassessed using the restaurant parking ratio (six spaces per 1,000 square feet of gross floor area).

Based on the discussion at the June 28, 2023 Board meeting, the applicant has amended the elevations by including the following:

- Accentuating the top of the tower feature;
- Solidifying the upper-story awnings;
- Darkening and thickening the trim around the windows and doors;
- Adding aluminum privacy shading with faux wood finish to the south elevation.

The rendering at right reflects the applicant's modifications.



Review & Analysis: Site Plan and Zoning

LDR Section 2.4.5(F)(5), Class V Site Plan

A Class V Site Plan is an application for new development of vacant land, and which requires full review of Performance Standards found in Section 3.1.1. In addition to provisions of Chapter 3, the approving body must make a finding that development of the property as represented by the Class V site plan or MDP will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

LDR Section 3.1.1 Required Findings, *prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

**3.1.1(A), Land Use Map**

The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

The property has a Land Use Map designation of CC, and a zoning designation of CBD, which, pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, is the preferred zoning district to implement the CC land use designation. Pursuant to LDR Table 4.4.13(A), multi-family residential and various commercial uses are permitted in the Central Core Sub-district of the CBD. Therefore, the resulting use of land is compatible with the underlying land use.

3.1.1(B), Concurrency

Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Potable Water and Sewer: Water and sewer services will be provided through connection to existing water and sewer lines. Pursuant to the Always Delray Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out. As the project is adjacent to FDOT roadway, prior to the issuance of a building permit, a Hold Harmless Agreement with FDOT may be required if water or sewer connections are made in the FDOT right-of-way.

Drainage: Drainage and water run-off will be addressed through on-site retention (e.g. using catch basins in the covered parking area), which should not impact the level of service standard.

Transportation: A Traffic Performance Standards (TPS) letter from Palm Beach County, dated June 1, 2022, and a Traffic Impact Statement, performed by JFO Group Inc., has been provided indicating that the project will result in 78 new daily trips and nine peak hour trips. The TPS letter also states that the proposed development meets the TPS of Palm Beach County. Because less than 20 peak hour trips will be generated, a traffic study is not required.

Parks and Open Space: Given that the site area is less than 20,000 square feet, it does not meet the threshold requiring the provision of civic open space. Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit.

Solid Waste: Based on the Waste Generation Rates for Palm Beach County, the proposed development will generate approximately 6.53 tons (2.89 tons + 3.64 tons) of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools: The applicant has submitted a School Capacity Availability Determination application with the Palm Beach County School District. The School District stated that based on the findings and evaluation of the proposed development, there will be no negative impact on the School District of Palm Beach County public school system.

3.1.1(C), Consistency

A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

The applicable subsections of Article 3.2, Performance Standards, are Section 3.2.1, which requires a determination of consistency with the Comprehensive Plan, and Section 3.2.3, which provides standards for site plan actions. The Standards strive to ensure that new development will not have a negative impact on the surrounding area, provide any requisite amenities to enhance the quality of life for its residents when residential units are provided, provide appropriate mobility connections and open space and recreational improvements, and comply with the maximum intensity and density allowed for the land use designation and zoning district. The proposed development generally meets the applicable standards, as there are no identified concerns related to the overall consistency with Article 3.2.

**Comprehensive Plan**

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Objective NDC 1.3, Mixed-Use Land Use Designations: Apply the mixed-use land use designations of Commercial Core, General Commercial, Transitional, Congress Mixed-Use, and Historic Mixed-Use to accommodate a wide range of commercial and residential housing opportunities appropriate in scale, intensity, and density for the diverse neighborhoods, districts, and corridors in the city.

Policy NDC 2.2.7: Within the Commercial Core, locate and design off-street parking areas in a manner that does not detract from the character by providing standards in the Land Development Regulations, such as locating parking to the side or rear of buildings, limiting size of lots, and landscaping and façade requirements. Large fields of parking between building facades and streets are generally not desirable.

Policy HOU 3.1.2: Protect existing established residential neighborhoods from the encroachment of nonresidential uses, except for strategic locations where such transition is planned in support of multimodal improvements, mixed-use development, or an adopted neighborhood plan.

Policy HOU 3.1.4: Encourage development of vacant or underdeveloped land for housing and mixed-uses, and promote rehabilitation of underutilized housing into desirable places to live.

Policy HOU 1.1.6: Promote good design in new housing construction and rehabilitation that highlights beauty, flexibility, and innovation, and respects existing neighborhood character.

Policy MBL 2.6.1: The City shall not abandon alley rights-of-way and recognizes the important functions alleys provide by dispersing traffic, diversifying access points to properties, providing for multimodal access, and facilitating local trips.

Policy MBL 2.6.2: The City shall maintain the existing network of alleys in the downtown, which provide multiple benefits that enhance the quality of the area:

- Providing access for sanitation collection
- Providing locations for utilities
- Minimizing commercial deliveries from occurring in the primary street network
- Reducing pedestrian-vehicular conflict points on the sidewalk

Overall, the proposed development is consistent with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan, particularly those of the Neighborhood, Districts, and Corridors Element, the Housing Element, and the Mobility Element. The Plan speaks to the provision of diverse housing types throughout the City, the development of underutilized property, and the utilization of alleys to disperse traffic, provide access for sanitation collection, and diversify access points to properties. The proposal for the redevelopment of The Property is within the parameters of the CBD form-based regulations that encourage developments at a scale consistent with the development pattern found throughout the downtown area.

Policy NDC 2.7.18: *Consider the vision and strategies in the Osceola Park Redevelopment Plan Update (2019) when assessing rezoning requests, reviewing development applications, and planning public infrastructure projects.*

The subject property is across the street from the Osceola Park plan area. The Osceola Park Redevelopment Plan was adopted by the City Commission on December 6, 2004, and more recently updated in 2019. The primary focus of the redevelopment plan is to address deterioration, provide adequate parking and services for the existing industrial and commercial areas, and accommodate housing that is compatible with the other uses throughout the neighborhood. Although the site is not within the Plan's study area, the project implements some of the Plan's key visions by adding to the City's housing inventory and providing for an appropriate transition between the nearby single-family neighborhood from the more intense development allowed under the adjacent CBD zoning.

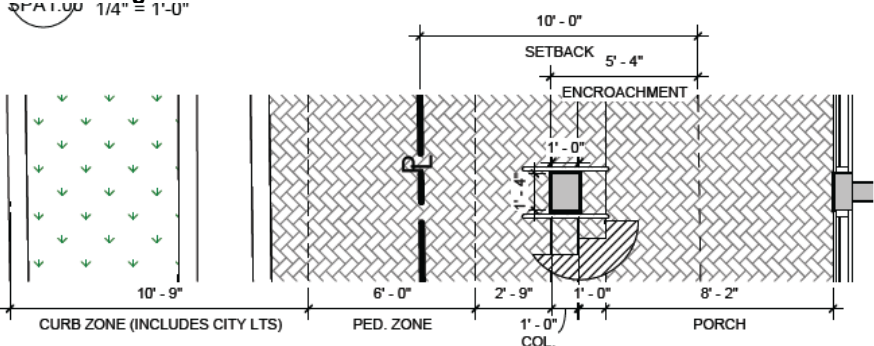
**3.1.1(D), Compliance with the LDRs:**

Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.

Section 4.4.13, Central Business District

Standard/Regulation	Review
Height Table 4.4.13(C)	<p>Maximum: 54 feet, 4 stories Proposed: 49 feet, 4 stories to top of roof; 54 feet and 6 inches to top of parapet*; 60 feet to top of stairwells** Rooftop Covered Area: 16% covered area above maximum number of stories (at 60 ft)*** *Parapets for roof screening may exceed up to 4 feet above the maximum height allowance. **Elevator overruns and stairways are not limited by the number of stories and shall not exceed 10 feet above the maximum overall building height (4.4.13(D)(1)(a)(12)). ***Covered structures located above the max allowed number of stories are permitted to cover a max of 25% of rooftop terrace area (does not include elevator shafts or stair towers).</p>
Setbacks	<p>Required: Front: 10-15 feet Front Above 3rd Story: 20 feet Side: 0-5 feet Rear: 10 feet</p> <p>Proposed: Front: 11 ft 6 in to 14 ft ½ in Front Above 3rd Story: 20 feet* Side: 5 feet Rear: 10 feet *Tower feature encroaches into setback above 3rd story; see architectural review.</p>
Dwelling Unit Standards, Diverse Unit Types 4.4.13(D)(1)(d)1.	<p>Residential development with less than 12 units are not required to provide a mix of units type, <i>"however, a mix of unit types and sizes is encouraged."</i></p> <p>The request includes seven residential units, comprised of one two-bedroom unit and six three-bedroom units, ranging from 1,584 square feet to 3,119 square feet.</p>
Streetscape Standards 4.4.13(E)(2)	The project complies with the minimum requirements of the CBD streetscape standards.



<p>Minimum Streetscape Width</p>	<p>Required: 15 ft Curb Zone: 4 ft (min.) Ped. Clear Zone: 6 ft (min.) Remaining Front Setback Area: up to 15 ft</p> <p>Provided: 27 feet (total) Curb Zone: 10 ft 8 in to 10 ft 10 in, includes street trees and street lighting Ped. Clear Zone: 6 ft Remaining Front Setback Area: 10 ft 2 in to 12 ft 10 in</p>  <p>Diagram labels: CURB ZONE (INCLUDES CITY LTS), PED. ZONE, COL., PORCH, SETBACK, ENCROACHMENT.</p>
<p>Remaining Front Setback Area 4.4.13(E)(2)(a)3.</p>	<p>Required: Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed.</p> <p>Proposed: The remaining front setback area contains hardscape mixed with ground plantings (Cocoplum) and Montgomery Palms along the columns.</p>
<p>Frontage Type: Porch with Storefront 4.4.13(E)(4)(a) & (e)</p>	<p>Required: Building Setback: 10 to 15 ft Depth: 8 to 12 ft Width: 40% - 100% of the façade Floor Elevation: 0.5 – 4 ft Allowable Encroachment: maximum 8 ft* *May not encroach into the curb zone or pedestrian clear zone Storefront Base: 9 in to 3 ft Glazing Height: minimum 8 ft Required Openings: minimum 80% Awning Projection: minimum 5 ft</p> <p>Proposed: Building Setback: 11 ft 6 in to 14 ft ½ in Storefront Base: 2 ft 6 in Glazing Height: 9 ft Required Openings (Commercial Space): 89.4% Porch Depth: 8 ft 2 in Porch Width: 80% (80 ft) Porch Floor Elevation: 1 ft ½ in Porch Encroachment: 5 ft 4 in</p>
<p>Architectural Elevations 4.4.13(F)</p>	<p>A review of the CBD architectural requirements is provided under the Architectural Elevations section of the report.</p>
<p>Civic Open Space LDR Section 4.4.13(G)</p>	<p>Required: Not applicable because the site is less than 20,000 square feet</p>

**Other Requirements**

Standard/Regulation	Review
Lighting (Photometric Plan) 4.6.8(A)(3), Illumination Standards: Table 2	Illumination spillover is limited to the maximum degree feasible given the minimum illumination requirements for street lighting, off-street parking illumination, and lighting at the building entrance.
Off-Street Parking	<p>Required: 17 parking spaces total with at least one space designated for EV parking Retail = 1 space Multi-family = 12 spaces Guest = 4 spaces</p> <p>Provided: 17 parking spaces are provided on site, including two compact spaces and two for electric vehicles.</p>
Bicycle Parking LDR Table 4.4.13(M)	<p>Required: 2 Type 1 Spaces, 1 Type 2 Space</p> <p>Provided: 2 Type 1 Spaces, 2 Type 2 Spaces</p>

Further review of the project for compliance with the LDR is provided as part of the Landscape Plan and Architectural Elevations review.

Review & Analysis: Landscape Plan**LDR Section 2.4.5(H)(5), Findings**

At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16.;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

A total of 11 trees (Green Buttonwoods, Montgomery Palms, and Japanese Blueberry) are proposed for removal. As eight of the 11 trees have a condition rating under 50 percent, pursuant to LDR Section 4.6.19(E)(5), those are exempt from DBH/caliper inch-for-inch replacement, but are required to be mitigated on a tree-for-tree or palm-for-palm basis.

The project contains landscape improvements to the site, including the addition of Simpson Stopper, Blueberry Flax Lilly, and Green Island Ficus in the right-of-way. There are two existing Palms in the right-of-way as well, spaced at about 45 feet to centerline. As there is not sufficient space to add another street tree in the right-of-way without moving the existing Palms, the applicant has staggered three Montgomery Palms adjacent to the Porch columns on the west side of the building. Clusia hedges are proposed on the north and south interior side property lines with Green Buttonwoods and Japanese Blueberry also lining the north property line. A mix of Montgomery Palms, Japanese Blueberry trees, Clusia, and Green Island Ficus fill the rear landscaping along the alleyway.

The second floor terrace incorporates a mix of Christmas Palms, Foxtail Agave, Cat Palms, Bougainvillea, and Green Island Ficus, mainly situated on the north and south ends of the terrace. The rooftop terrace, providing a private patio to each of the fourth-floor units provide a mix of natural plantings and synthetic turf. Clusia is proposed in raised planters along the central four-foot high parapet wall separating the two patios.

The rooftop terraces comply with the minimum 10 percent landscaping requirement outlined in LDR Section 4.4.13 (C)(4)(g)(3); the synthetic turf is not counted towards meeting the 10 percent rooftop landscaping.



Review & Analysis: Architectural Elevations

LDR Section 2.4.5(l)(5), Architectural (appearance) elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, **Section 4.6.18**. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.



LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

1. The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
2. It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.

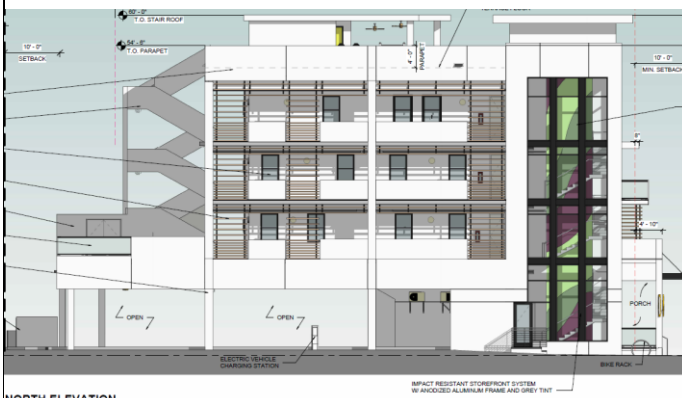
The proposed front elevations provided below have been reviewed for compliance with both Section 4.6.18 and the architectural standards in 4.4.13.



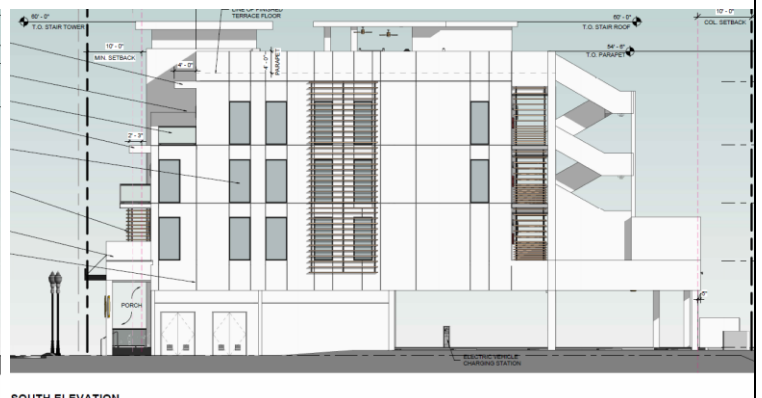
EAST ELEVATION - SPRAB



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

**(B) Building and structure requirements.**

The minimum aesthetic standards of this Section have generally been met by the proposed architectural design. The architectural style of Masonry Modern is an anticipated design in the CBD and commonly found in new construction throughout the CBD. Pursuant to the Delray Beach CBD Architectural Design Guidelines, stone and wood details are often used to soften the stark modern forms of the building mass. Further, exterior finishes in the Masonry Modern language are typically stucco, and the color palette in Florida for this style is typically comprised of whites and creams. The proposed development applies white smooth stucco with wood-finished elements, a flat roof with an accentuated stair/elevator tower and uses simple geometrics to emphasize the solidity of the structure.

Further, the project utilizes glazing patterns and setbacks that differentiate the base from the middle and the top. The base is emphasized with glass through a Porch with Storefront frontage, the middle portion of the building provides a mix of smooth stucco and glass with concrete sunshades and aluminum privacy shading with a wood finish. The top is characterized by different glazing patterns and setback with a four-foot parapet above the fourth floor.

Based on the modifications proposed after the June 28, 2023, SPRAB meeting, the Board should consider keeping the dimensions of the frames similar to the previous proposal, as the color and thickness of the frames on the tower and second through fourth story add weight to the building and do not necessarily help soften the stark forms of the Masonry Modern architecture.

(E) Criteria for Board Action

The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The proposed development is generally in conformity with good taste and good design as it incorporates many elements of the Masonry Modern architectural style outlined in the Delray Beach CBD Architectural Guidelines. The overall design and quality appearance is not anticipated to “materially depreciate” the adjacent properties or other properties in the vicinity. Further, there are no specific design elements identified that are not in keeping with the architectural style or the intent of the Criteria for Board Action.

The Board can consider if additional architectural detailing would assist in further enhancing the Masonry Modern style.

LDR Section 4.4.13(F), Architectural Standards.

To ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

Standard/Regulation	Review
Façade Composition Tripartite Composition: Base Middle, Top 4.4.13(F)(2)	The improvements meet the intent of the building composition requirements. The glazing patterns, detailing, and setbacks differentiate the base from the middle and the top. The base is emphasized with glass through a Porch with Storefront frontage, the middle portion of the building provides a mix of smooth stucco and glass with concrete sunshades and aluminum shading systems with a faux wood finish. The top is characterized with different glazing patterns and setback with a four-foot parapet above the fourth floor.
Appropriate Architectural Styles 4.4.13(F)(3)	Proposed Style: Masonry Modern Style Details Utilized: Use of stucco with faux wood-finished elements (shading systems), flat roof with an accentuated stair/elevator tower, use of white as a primary color, ratio of glass to wall and use of simple geometrics emphasize solidity of the structure.



Walls 4.4.13(F)(4)	Required: Maximum two primary material's appropriate to architectural style Provided: Smooth stucco
	Required: Maximum four base wall colors Provided: One base wall color (SW#7005 Pure White); Interior elevator shaft mural to be determined
Openings 4.4.13(F)(5)	Transparency requirement has been met. A technical note has been added requiring the property owner to provide documentation to ensure the windows meet the City's definition of transparent. Primary entrance is identified from SE 5 th Avenue.
Roofs 4.4.13(F)(6)	Flat roof and rooftop equipment are screened by a four-foot parapet appropriate to the Masonry Modern style. There is a rooftop terrace on the second floor, which houses the pool and pool deck. A rooftop terrace is also provided on the fourth floor – one for each of the fourth-floor units.
Parking Garages 4.4.13(F)(8)	The development includes a ground floor parking garage with 17 parking spaces. Vehicular ingress and egress to the garage is provided from the alleyway to the east of The Property.
Reduction of Urban Heat Islands 4.4.13(F)(9)	Based on the Landscape Plan provided, 57 percent of the non-roofed impervious space will be landscaped and shaded. Shade trees are provided on site in the form of Silver Buttonwoods, Japanese Blueberries, and Crape Myrtles. Additional landscape is provided through a variety of shrubs and groundcover. The roofed area will be required to utilize Energy Star roof-compliant, high-reflectance and high emissivity roofing for a minimum of 75 percent of the roof's surface. Roofing details to ensure compliance with this requirement will need to be submitted at time of building permit. A total of 1,368 square feet of synthetic turf is proposed across the rooftop patios. The applicant has acknowledged that the fibers in synthetic turf absorb and retain more heat compared to natural grass. However, the applicant stresses that turf heat is not a safety issue, but rather, a comfort issue; research has shown that while the fibers are hot, creating higher temperatures at ground and knee level, surface heat dissipates when it rises to chest and head levels.
Green Building Practices 4.4.13(F)(10) and Ordinance No. 30-22	<u>Green building certification is required</u> for developments containing 15,000 square feet or greater. As the proposed building has a gross floor area of 27,135 square feet, the building shall achieve at least the minimum level of certification from a green building certification entity. Documentation explaining how the green building certification will be achieved shall be provided at time of permit.

Delray Beach Central Business Architectural Design Guidelines

Masonry Modern is defined by its rational load bearing construction technique, its system of punched openings (versus large expansive walls of windows) and its limited ornament. Stucco is the prevalent building finish in the Masonry Modern style. Stone and wood details are used to soften the stark moderns forms of the building mass.

The proposed building design exhibits characteristics of the Masonry Modern style. Pursuant to the Delray Beach CBD Architectural Design Guidelines, Masonry Modern features include flat roofs (often used for terraces), stucco finish, punched openings, vertically proportioned windows, and sculpted stairway access rooms. Additionally, the color palette in Florida for this style is typically comprised of whites and creams. The proposed development applies white smooth stucco with faux wood-finished elements, a flat roof with an accentuated stair/elevator tower and uses simple geometrics to emphasize the solidity of the structure.



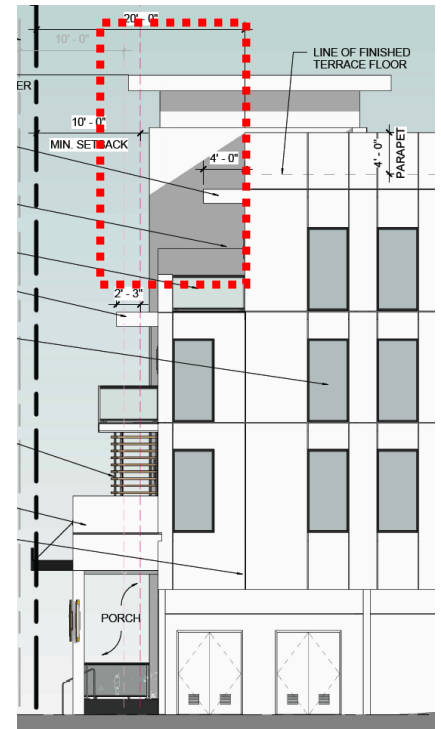
Darker hues may highlight the bases of buildings or emphasize deeper recesses of porches or loggias. As the applicant has amended the elevations to darken and thicken the trim around the doors and windows, the Board should consider whether the color and thickness of the trim is harmonious with the building's design and whether it helps implement the Masonry Modern style.

Tower Feature

Pursuant to **LDR Section 4.4.13(K)(2)(b)**, SPRAB may provide relief from the additional setback required above the third story for building entries, lobbies, and vertical circulation areas configured as tower elements consistent with the architectural character of the building. The applicant is requesting the approval of a tower feature, located on the northwest corner of the building that is setback between a range of 8 feet and 6 inches to 11 feet from the front property line instead of the required 20-foot front setback above the third floor.

As with many other architectural styles, towers can be incorporated as a prominent feature typically to accentuate a main entrance or create a point of interest at the corner of a building or with a stairwell. The proposed tower, finished with smooth stucco and comprised mostly of glass, wraps around the northwest corner of the building and emphasizes the stairway and elevator shaft. A mural is presently included inside the west and north side of the tower to add an artistic element that, while interior to the building, will be a highlight along the streetscape. Based on the Delray Beach CBD Architectural Guidelines, the composition of a Masonry Modern building should reflect the solidity of the structural system, using simple geometrics, and include spaces carved from the mass to create entries or terraces.

As part of the tower consideration in providing relief from the additional setback required above the third story, the Board should determine whether the tower is configured as a prominent feature and whether the tower is consistent with the Masonry Modern architectural style of the building, further emphasizing the solidity of the structure.



Review by Others

The **Community Redevelopment Agency (CRA)** reviewed the Class V Site Plan request in its March 10, 2023 CRA report.

The **DDA** reviewed the full Class V Site Plan at its meeting of March 13, 2023. A recommendation to approve the proposed Class V Site Plan was carried 5 to 0. The DDA Memo is attached and provides additional information.

Optional Board Motions

- A. **Move approval** of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for **Valhalla Condominiums**, a four-story mixed-use development located at **235 SE 5th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. **Move approval, as amended**, of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for **Valhalla Condominiums**, a four-story mixed-use development located at **235 SE 5th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. **Move denial** of the Class V (2022-189) Site Plan, Landscape Plan, and Architectural Elevations, including relief for the tower to be 11 feet from the front property line, whereas a minimum setback of 20 feet is required above the third story, for **Valhalla Condominiums**, a four-story mixed-use development located at **235 SE 5th Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. **Move to continue with direction.**

**Courtesy Notices**

X Courtesy Notices were sent to:

- Osceola Park
- Marina Historic District
- Mallory Square

Technical Notes

Prior to the site plan certification, the following must be completed:

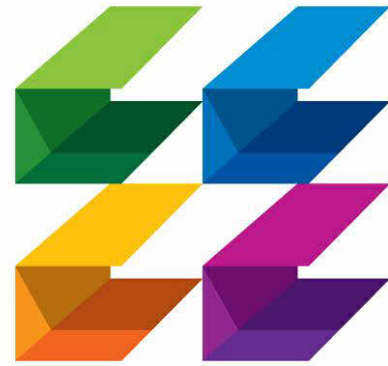
1. Ensure that sheet SP-1 and SPA1.00 are consistent, specifically regarding the labeling of the electric vehicle (EV) parking spaces.
2. Ensure that the streetscape diagram on sheet SPA1.00 reflects the same dimensions on the first floor plan on sheet SPA1.00.
3. Add a note to Sheet SPA1.08 and provide documentation to demonstrate the windows used to meet the minimum opening requirements meet the definition of transparent as outlined in LDR Section 4.4.13(F)(5)(a), meaning non-solar, non-mirrored glass with a light transmission reduction of no more than 20 percent.

Prior to the issuance of a building permit, the following must be completed:

4. The property owner shall enter into a Hold Harmless Agreement with FDOT to make any water or sewer connections, as well as other improvements, in the FDOT Right-of-Way.
5. Provide the requisite information to ensure compliance with Construction Parking and Staging, and the Maintenance of Traffic (MOT) Plan, as anticipated, to accommodate the subject development.
6. Pursuant to LDR Section 4.4.13 (E)(2)(a)(2), as a portion of the pedestrian clear zone is within the front setback, prior to building permit issuance, a pedestrian clear zone easement agreement will be required.
7. Provide details of the generator to ensure compliance with LDR Section 4.3.4(H)(4)(k), restricting the generator height to 4.5 feet, as it is located within the rear setback.
8. The property owner shall complete a right-of-way deed process to dedicate the required two feet of alleyway.
9. The property owner shall submit documentation to demonstrate that the roofed area is Energy Star roof-compliant, high-reflectance and high emissivity roofing for a minimum of 75 percent of the roof's surface, and indicate on the site plan.
10. As the proposed development exceeds 15,000 square feet of Gross Floor Area, but less than 50,000 square feet, the building shall achieve at least the minimum level of certification from a green building certification entity. Documentation explaining how the green building certification will be achieved shall be provided at time of permit.

Note: Submit separate application for review and approval of signage; not included with the subject request per LDR.

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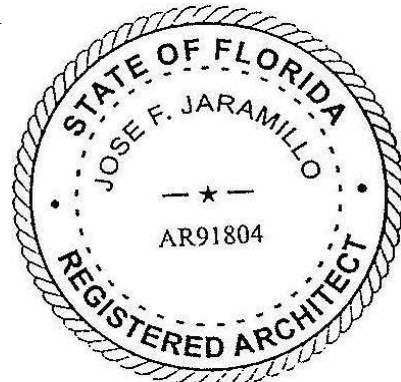
SPA

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SEAL



JOSE F. JARAMILLO
AR91804

PROJECT TITLE

**235 on FIFTH
CONDOMINIUMS**

235 SE 5TH AVENUE
DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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07/18/23 | KB/JF/JT

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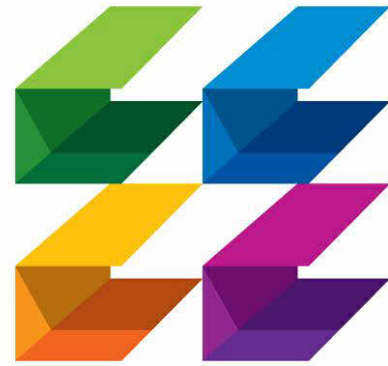
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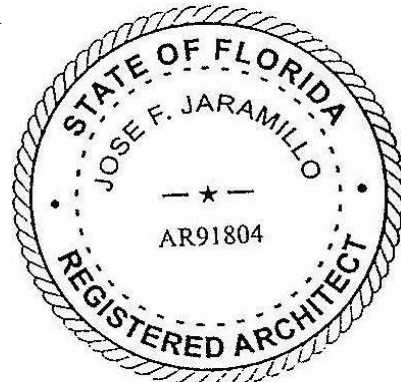
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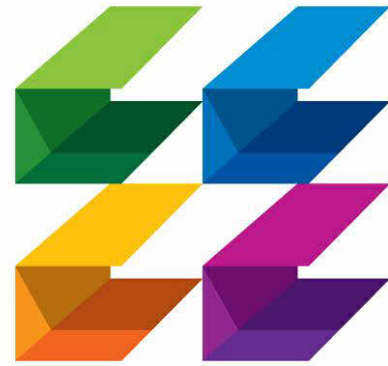
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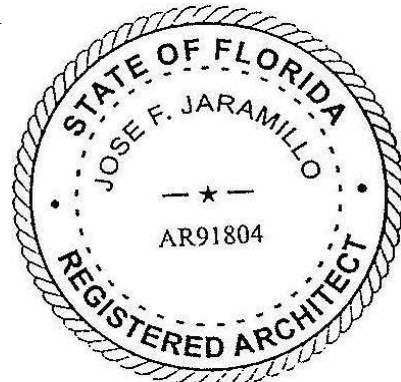
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235 SE 5TH AVENUE
DELRAY BEACH, FL

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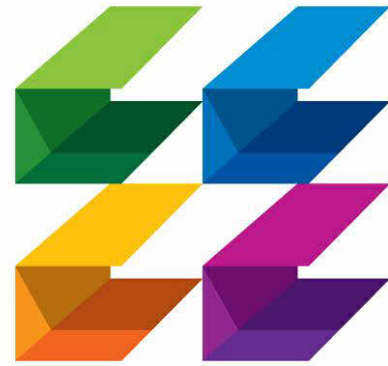
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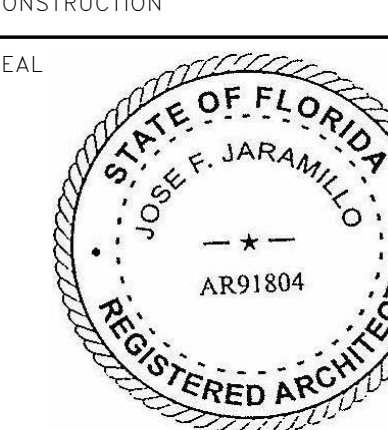
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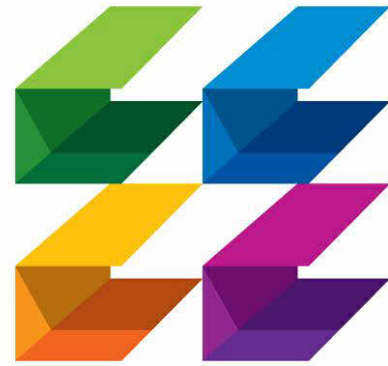
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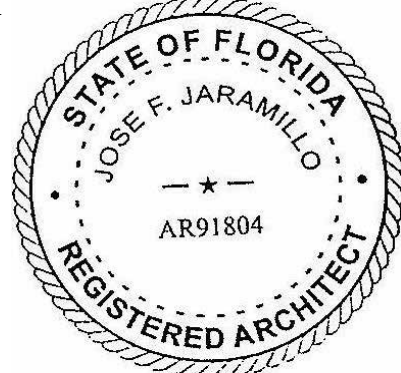
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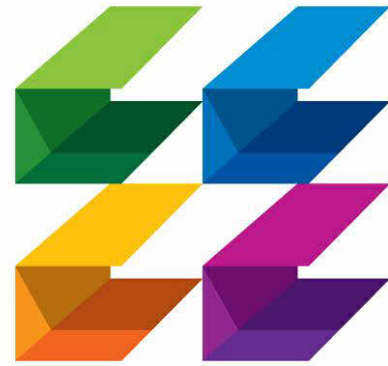
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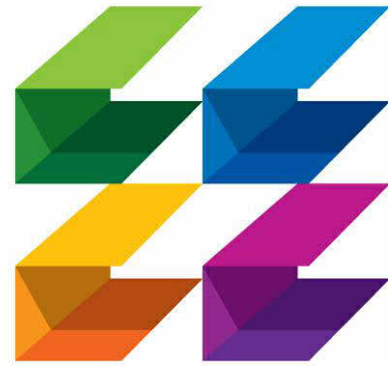
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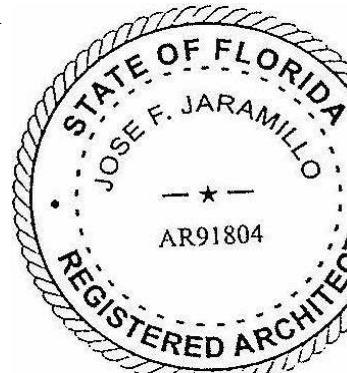
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235 SE 5TH AVENUE
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**ARCHITECTURAL
SITE PLAN**

DATE

07/18/23

DRAWN BY

KB/JF/JT

JOB NUMBER

211101

DRAWING NUMBER

SPA1.00

07/18/23
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PROJECT NARRATIVE

THIS PROJECT CONSISTS OF 7 CONDOMINIUM UNITS (3 UNITS ON 2nd FLOOR, 2 UNITS ON 3rd FLOOR AND 2 PENTHOUSE UNITS ON THE 4TH FLOOR). EACH PENTHOUSE UNIT HAS A PRIVATE ROOF TERRACE. THE FIRST FLOOR CONTAINS 1 RETAIL SPACE AND THE RESIDENTIAL LOBBY. ALL RESIDENT AND GUEST VEHICULAR PARKING AND ACCESS IS PROVIDED VIA THE ALLEY. THE NW INTERIOR ELEVATOR SHAFT WALLS WILL BE PAINTED AS SHOWN ON THE PLANS. AN APPLICATION TO THE ART ADVISORY BOARD WILL BE SUBMITTED AND APPROVED PRIOR TO THE CERTIFICATE OF OCCUPANCY.

IN ACCORDANCE WITH ORDINANCE NO. 30-22, THIS BUILDING WILL BE DESIGNED AND CONSTRUCTED TO OBTAIN FGBC (FLORIDA GREEN BUILDING COALITION) CERTIFICATION AT TIME OF FINAL CERTIFICATE OF OCCUPANCY.

BICYCLE PARKING CALCULATIONS

LDR - TABLE 4.4.13(M)

TYPE 1 BICYCLE PARKING REQUIREMENT-
MULTI-FAMILY DWELLING W/O INDIVIDUAL GARAGE = 1 SPACE PER 10 UNITS

7 UNITS / 1 PER 10 UNITS = 0.7 SPACES REQUIRED - 2 SPACES PROVIDED

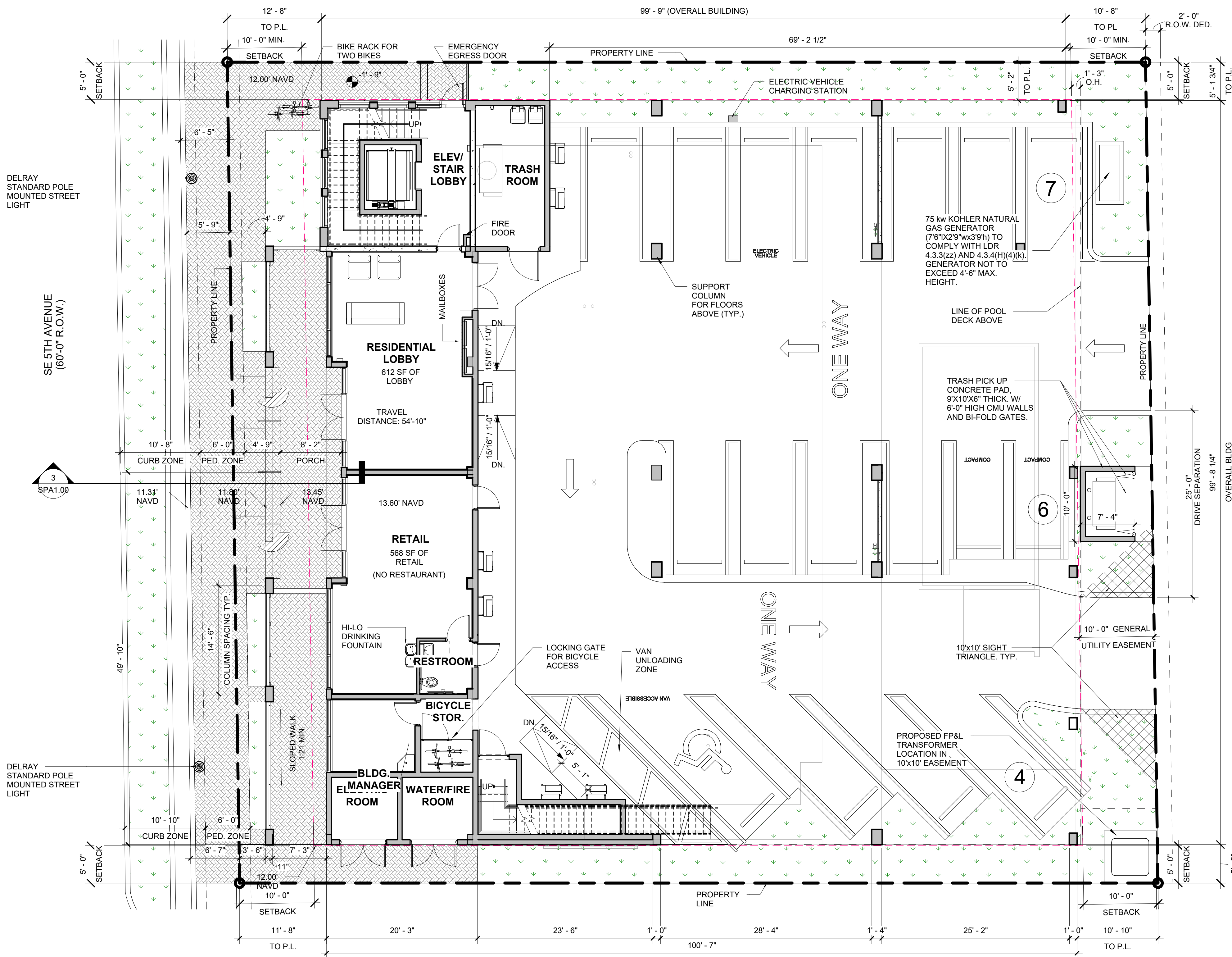
TYPE 2 BICYCLE PARKING REQUIREMENT-
MULTI-FAMILY DWELLING W/O INDIVIDUAL GARAGE = 1 SPACE PER 6 UNITS

7 UNITS / 1 PER 6 UNITS = 1.16 SPACES REQUIRED - 2 SPACES PROVIDED

TYPE 2 PARKING PROVIDED ADJACENT TO THE BUILDING MANAGER

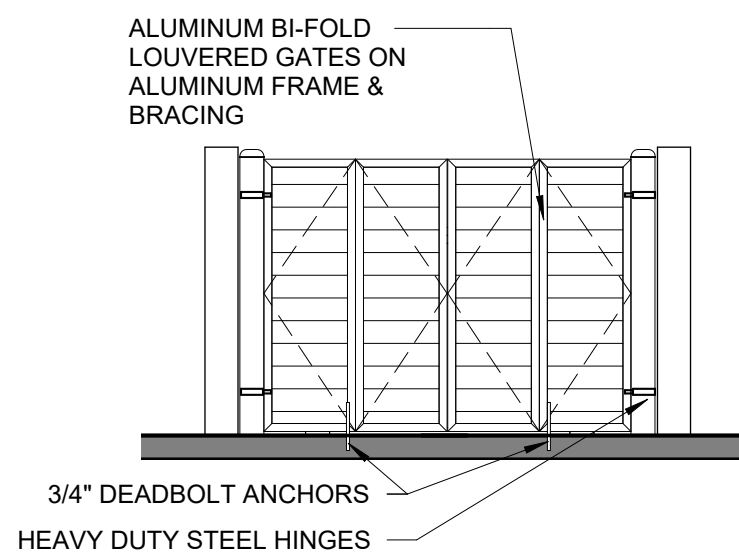
FIRST FLOOR AREAS

AREA TYPE	AREA
MECHANICAL	378 SF
PARKING	7619 SF
PORCH	712 SF
RESIDENTIAL	1924 SF
	10633 SF



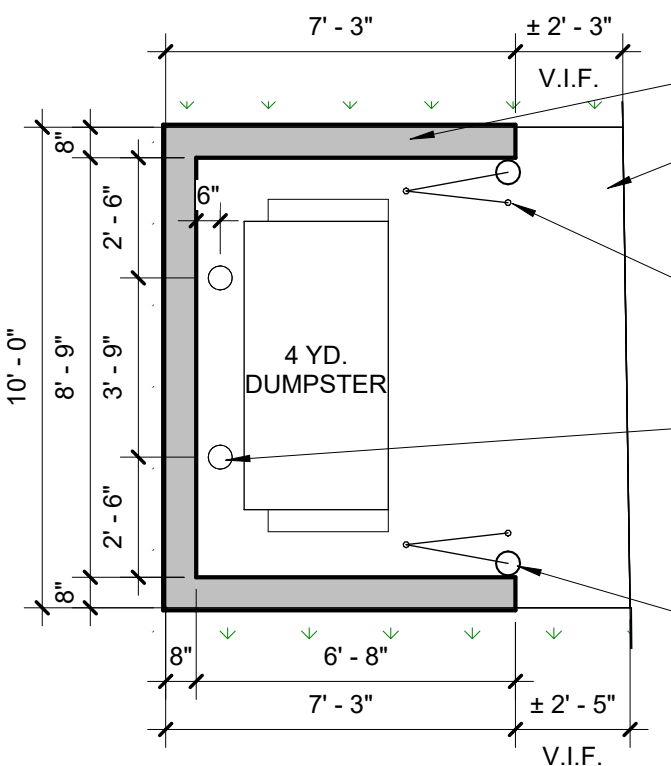
1 FIRST FLOOR PLAN

SPA1.00 1/8" = 1'-0"



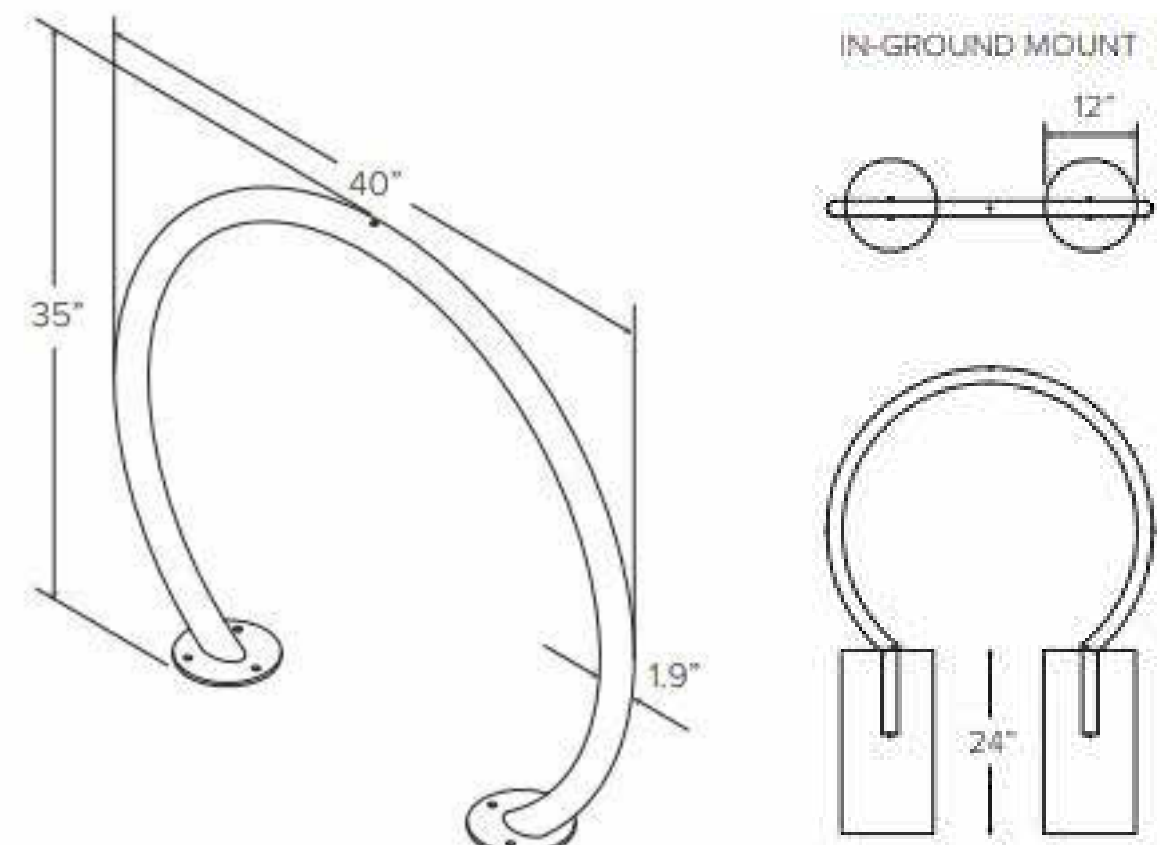
6 DUMPSTER ELEVATION Copy 1

SPA1.00 1/4" = 1'-0"



5 ENLARGED DUMPSTER PLAN Copy 1

SPA1.00 1/4" = 1'-0"

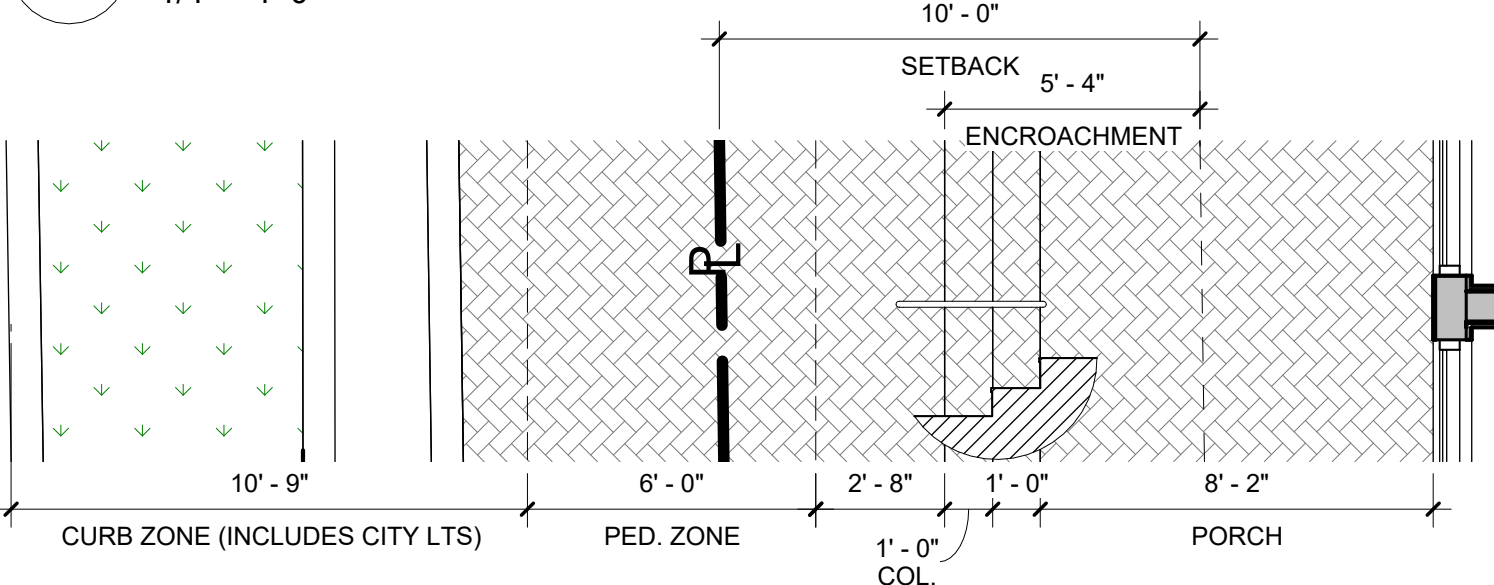


4 ROUND BIKE RACK Copy 1

SPA1.00 N.T.S.

3 PORCH SECTION Copy 1

SPA1.00 1/4" = 1'-0"

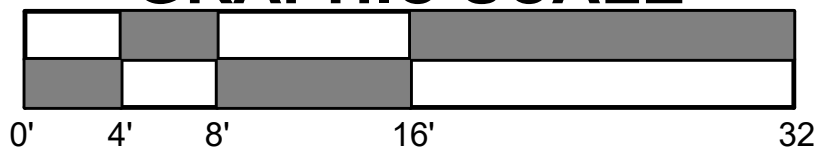


2 STREETSCAPE PLAN

SPA1.00 1/4" = 1'-0"



GRAPHIC SCALE



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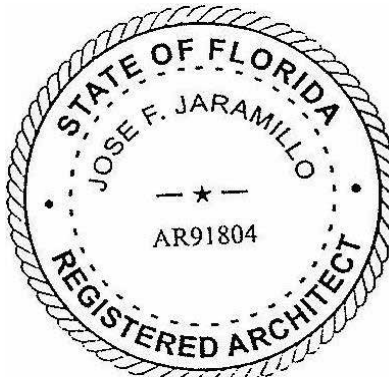
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JOSE F. JARAMILLO
AR91804

PROJECT TITLE

**235 SE 5TH AVE.
CONDOMINIUMS**

235 SE 5TH AVENUE
DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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**SECOND FLOOR
PLAN**

DATE 5/11/2023 | DRAWN BY KB/JF/JT

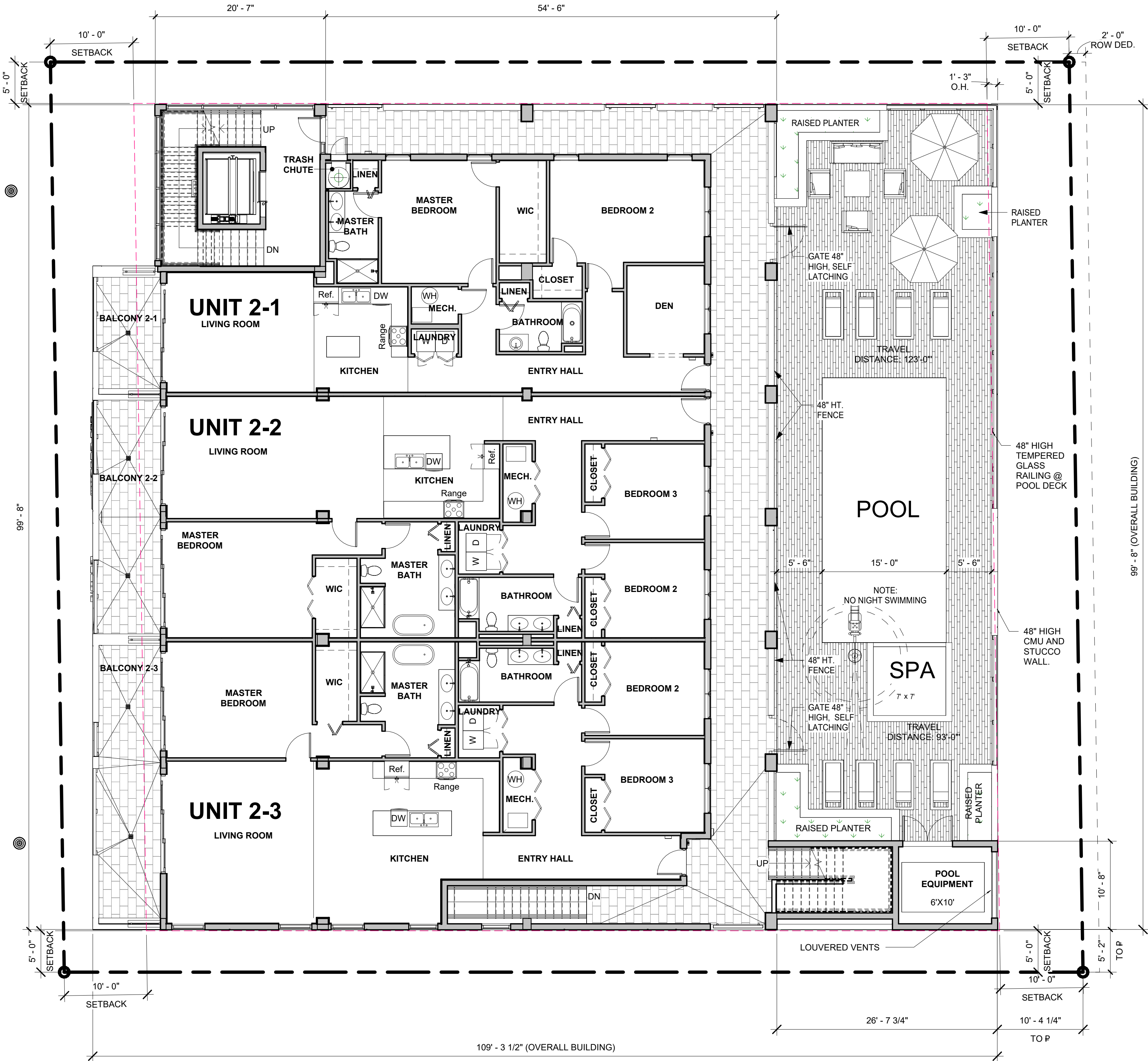
JOB NUMBER 211101

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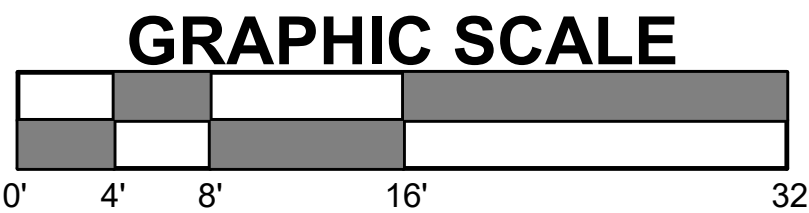
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SPRAB RESUBMITTAL

5/11/2023

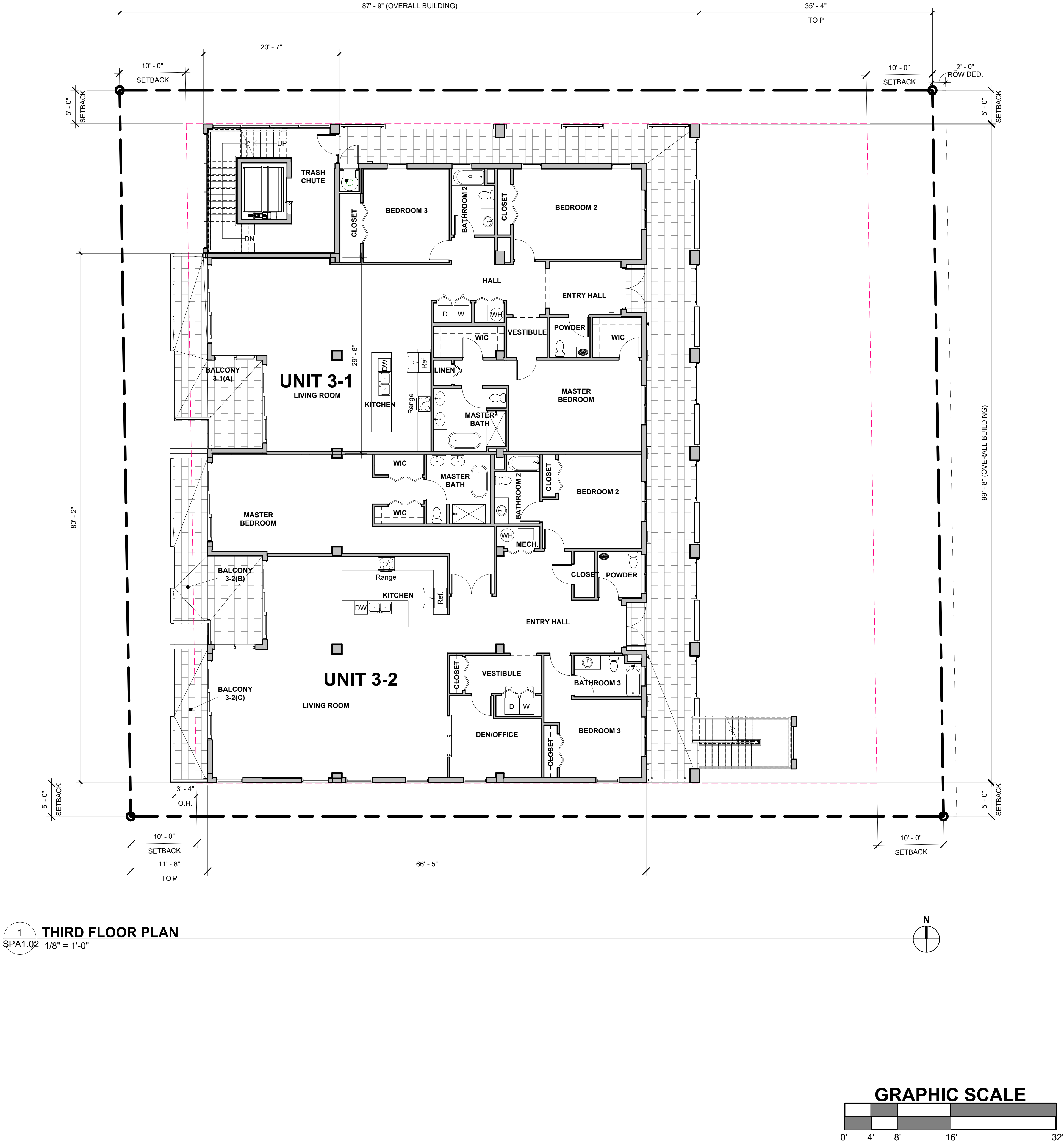


1 SECOND FLOOR PLAN
SPA1.01 1/8" = 1'-0"



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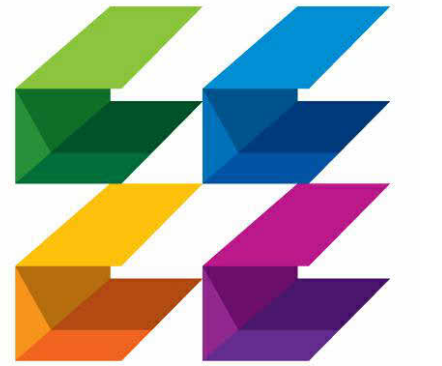
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UNIT 3-1 AREA			
Name	Area	Comments	
UNIT 3-1	2435 SF	RESIDENTIAL	
UNIT 3-1 BALCONY (A)	270 SF	RESIDENTIAL	
UNIT 3-1 BALCONY (B)	Not Placed	RESIDENTIAL	
	2706 SF		

UNIT 3-2 AREA			
Name	Area	Comments	
UNIT 3-2	3119 SF	RESIDENTIAL	
UNIT 3-2 BALCONY (A)	268 SF	RESIDENTIAL	
UNIT 3-2 BALCONY (B)	120 SF	RESIDENTIAL	

THIRD FLOOR AREAS			
Name	Area	Comments	
CORRIDOR	1164 SF	COMMON AREA	
LOBBY	195 SF	COMMON AREA	
	1359 SF		
UNIT 3-1	2435 SF	RESIDENTIAL	
UNIT 3-1 BALCONY (A)	270 SF	RESIDENTIAL	
UNIT 3-2	3119 SF	RESIDENTIAL	
UNIT 3-2 BALCONY (A)	268 SF	RESIDENTIAL	
UNIT 3-2 BALCONY (B)	120 SF	RESIDENTIAL	
	6212 SF		
	7572 SF		



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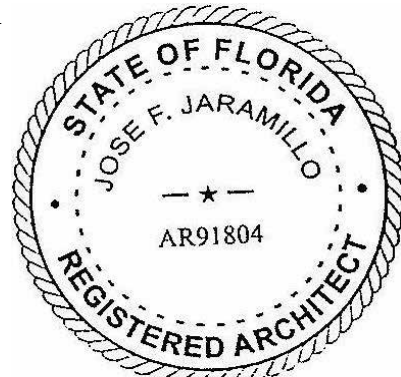
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JOSE F. JARAMILLO
AR91804

PROJECT TITLE
**235 SE 5TH AVE.
CONDOMINIUMS**

235 SE 5TH AVENUE
DELRAY BEACH, FL

REVISIONS		
NUM.	DESCRIPTION	DATE

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**THIRD FLOOR
PLAN**

DATE
5/11/2023
JOB NUMBER
211101
DRAWING NUMBER

SPA1.02

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5/11/2023

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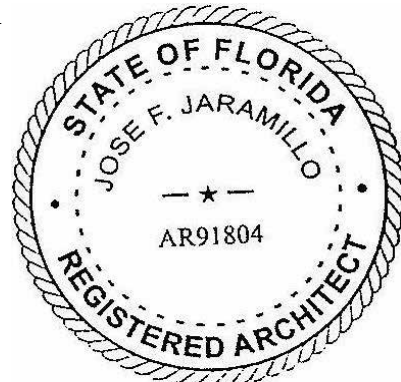
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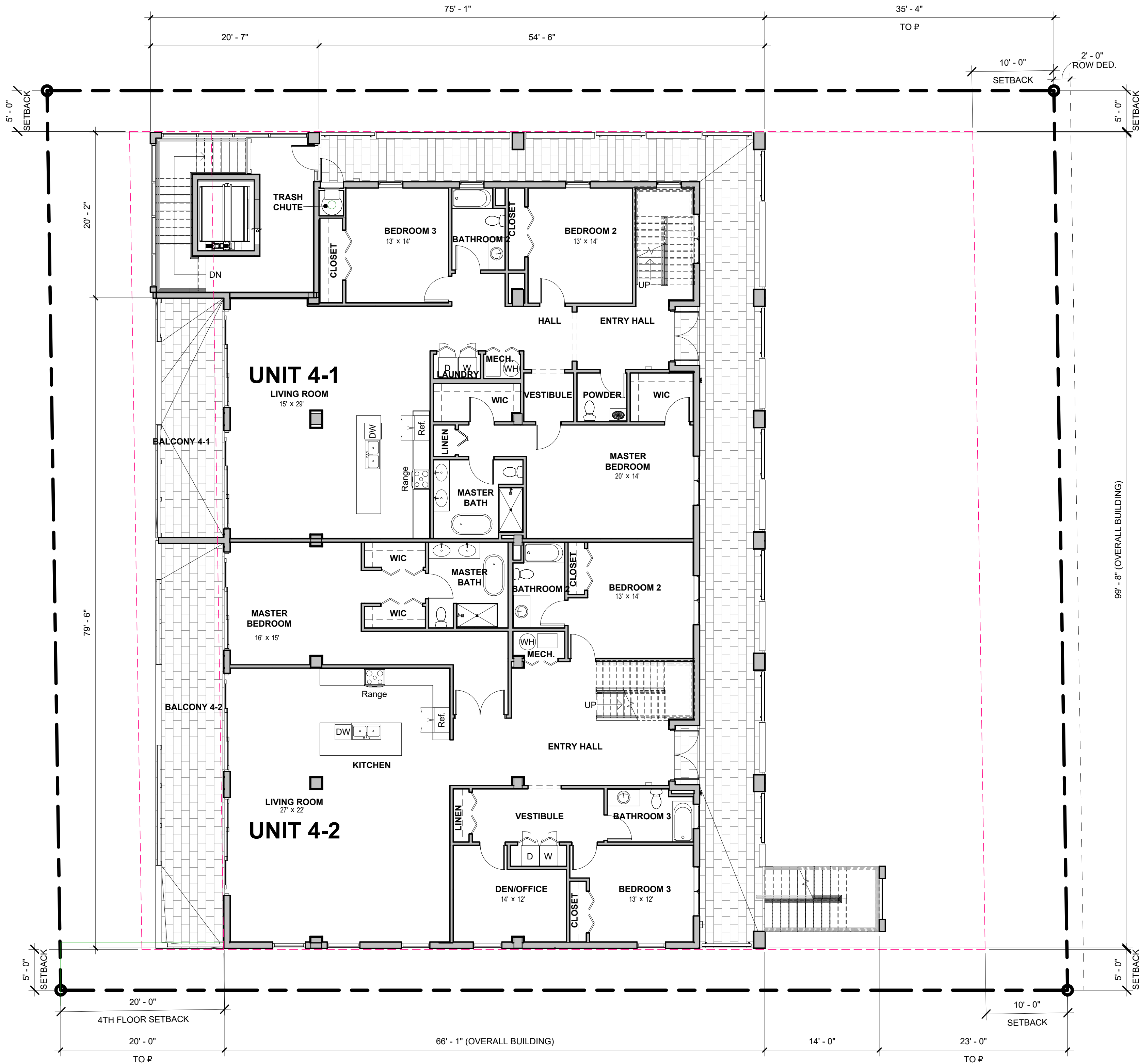
**FOURTH FLOOR
PLAN**

DATE 5/11/2023 | DRAWN BY KB/JF/JT

JOB NUMBER 211101

DRAWING NUMBER

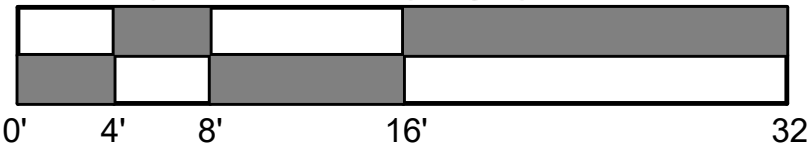
SPA1.03



FOURTH FLOOR PLAN
SPA1.03 1/8" = 1'-0"



GRAPHIC SCALE



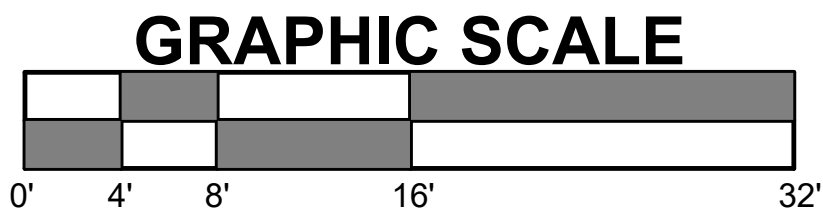
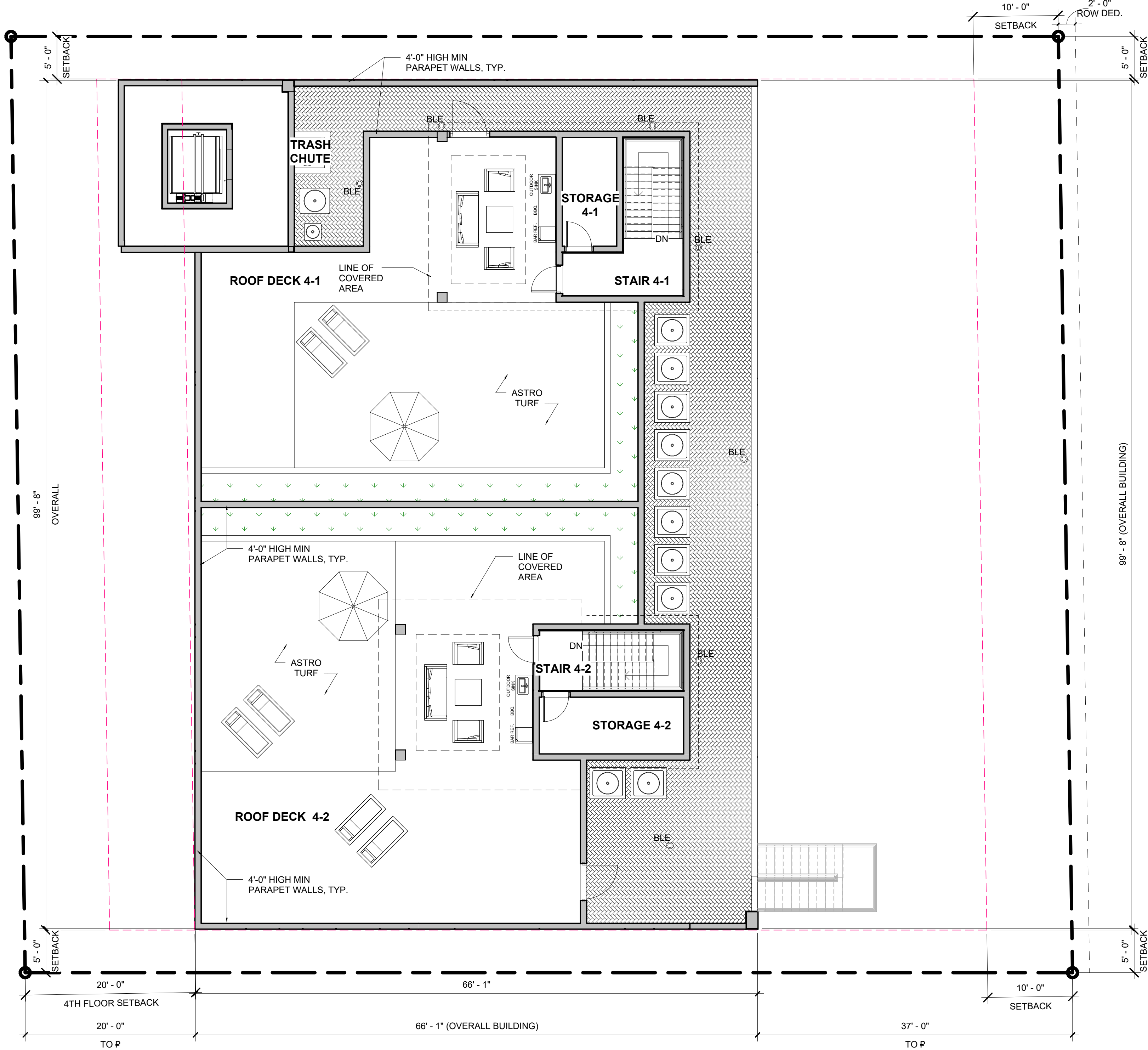
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1
SPA1.04
MAIN ROOF PLAN
1/8" = 1'-0"

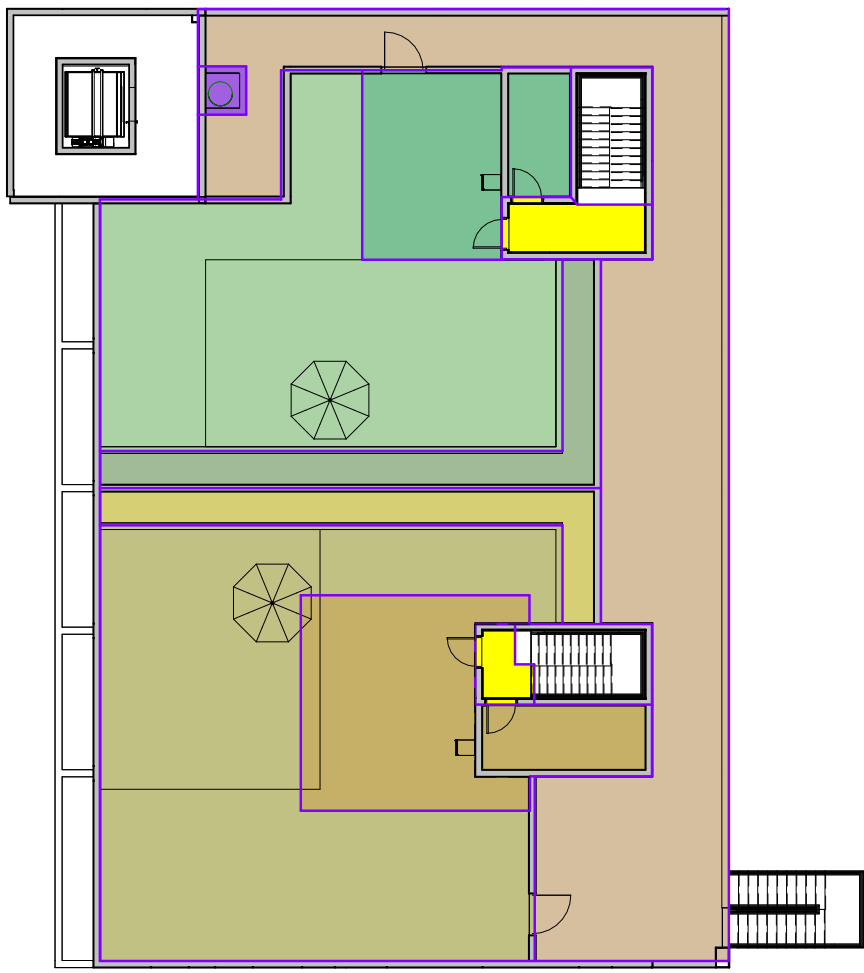


ROOF DECK		
Area Use	Area	Comments
STAIR	95 SF	
STAIR	95 SF	
STAIR	43 SF	
COMMON	1614 SF	
TRASH	25 SF	
UNIT 4-1 COVERED AREA	383 SF	20.1% (Max 25% = 476.7 SF)
UNIT 4-1 LANDSCAPE	282 SF	14.8% (Min 10% = 190.7 SF)
UNIT 4-1 ROOF DECK	1243 SF	
UNIT 4-2 COVERED AREA	581 SF	24.6% (Max 25% = 590.7 SF)
UNIT 4-2 LANDSCAPE	243 SF	10.3% (Min 10% = 236.3 SF)
UNIT 4-2 ROOF DECK	1538 SF	
	2363 SF	
	6048 SF	

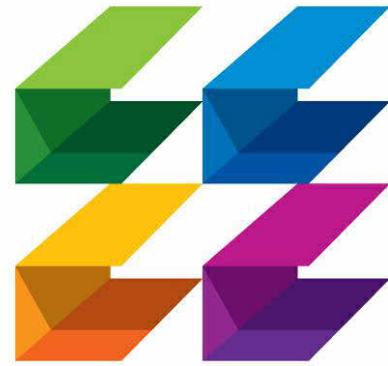
ROOF NOTES	
1.	NO EXTERIOR LIVE MUSIC OR DISC JOCKEY TO BE ALLOWED AT EXTERIOR SPACES. LDR 4.4.13(C)(4)(g)2.b.ii
2.	OUTDOOR ROOFTOP ACTIVITIES(NOT WITHIN ENCLOSED AREAS) WILL BE LIMITED TO MONDAY-THURSDAY 7AM-10PM AND FRIDAY-SATURDAY FROM 7AM-11PM TO COMPLY WITH LDR 4.4.13(C)(4)(g)2.B.iv

Building Area Legend

- COMMON
- STAIR
- TRASH
- UNIT 4-1 COVERED AREA
- UNIT 4-1 LANDSCAPE
- UNIT 4-1 ROOF DECK
- UNIT 4-2 COVERED AREA
- UNIT 4-2 LANDSCAPE
- UNIT 4-2 ROOF DECK



2
SPA1.04
ROOF TOP TERRACE DIAGRAM
1" = 20'-0"



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JOSE F. JARAMILLO
AR91804

PROJECT TITLE

**235 SE 5TH AVE.
CONDOMINIUMS**

235 SE 5TH AVENUE
DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
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ROOF PLAN

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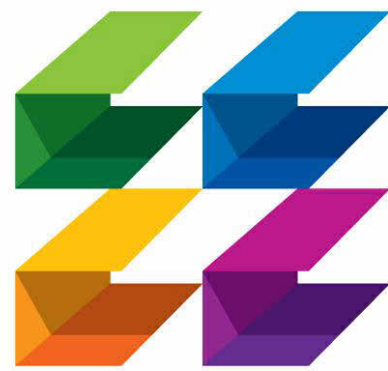
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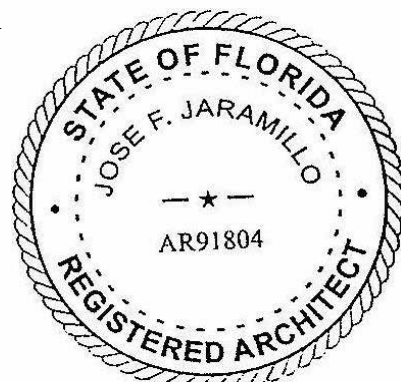
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**EXTERIOR
ELEVATIONS**

DATE 07/18/23 DRAWN BY KB/JF/JT

JOB NUMBER 211101

DRAWING NUMBER

SPA1.05

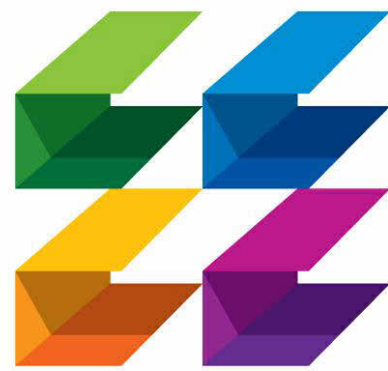


1
SPA1.05
EAST ELEVATION - SPRAB
1/8" = 1'-0"



2
SPA1.05
WEST ELEVATION
1/8" = 1'-0"

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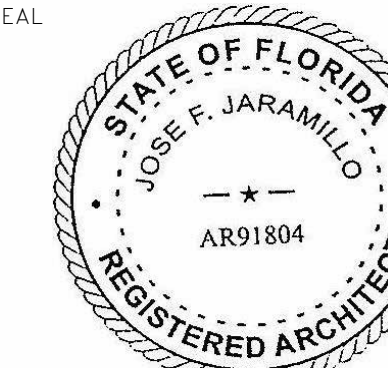
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**EXTERIOR
ELEVATIONS**

DATE

07/18/23

DRAWN BY

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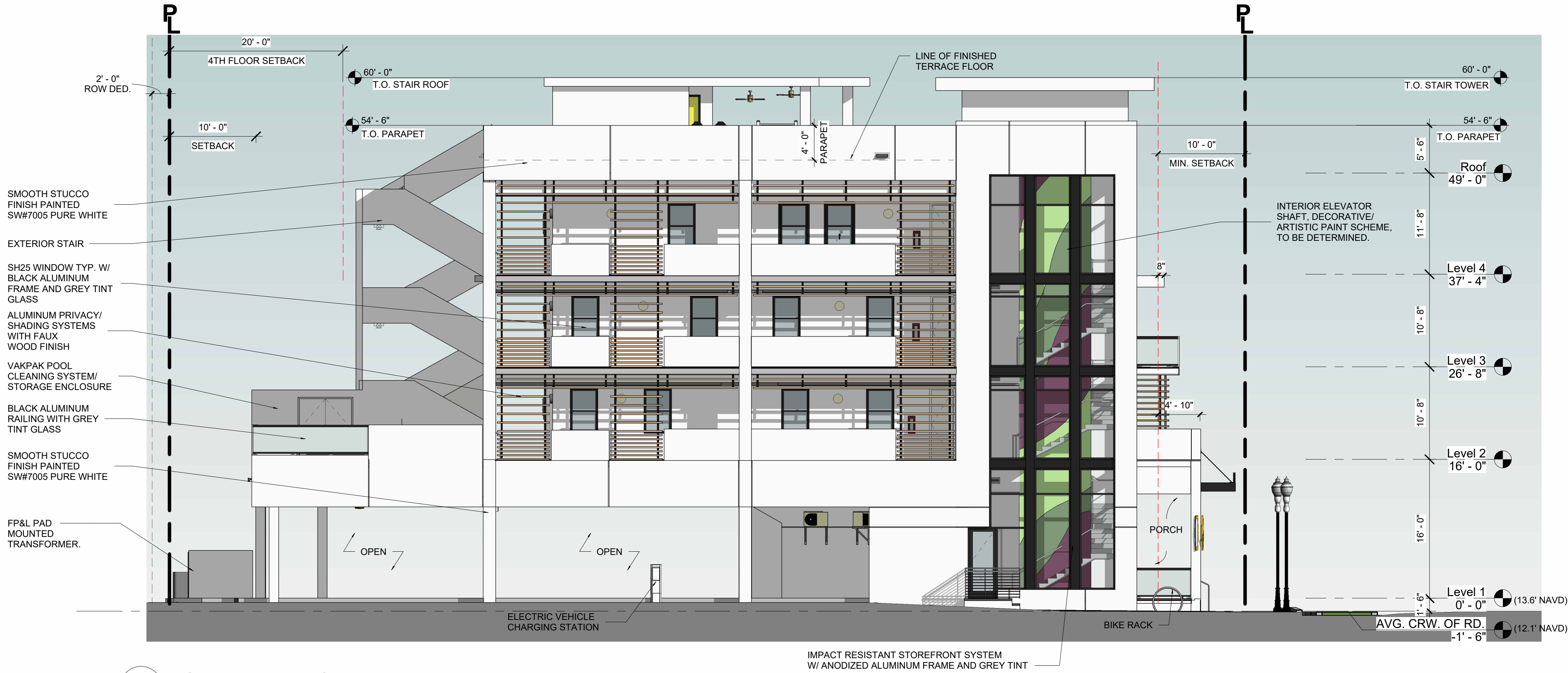
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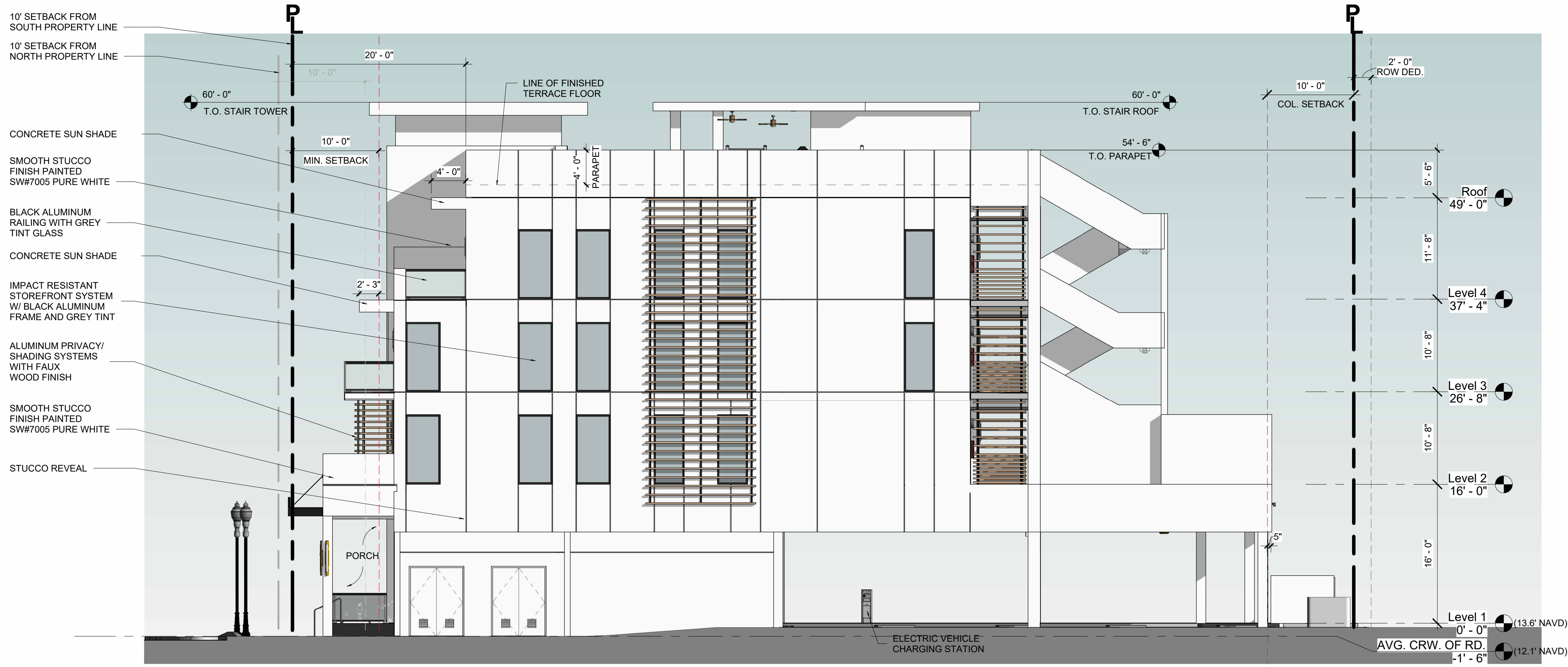
DRAWING NUMBER

SPA1.06

07/18/23 SPRAB RESUBMITTAL



1 NORTH ELEVATION
SPA1.06 1/8" = 1'-0"



2 SOUTH ELEVATION
SPA1.06 1/8" = 1'-0"

ARCHITECTURAL STANDARDS

THE PROJECT DESIGN PROPOSED IS MASONRY MODERN IN CONJUNCTION WITH FRONTAGE TYPE - PORCH WITH STOREFRONT.

THE ELEVATION EXHIBITS THE MASONRY MODERN ARCHITECTURAL STYLE BY PROVIDING:

-

FLAT ROOFS ARE UTILIZED FOR TERRACES. THE STAIRWAY IS EMBELISHED WITH LARGE STOREFRONT GLAZING.

-

EXTERIOR SPACES ARE INCORPORATED INTO THE FACADE. CREATING ARTICULATIONS IN THE VOLUME OF THE BUILDING.

-

CANTILEVERED CONCRETE SUNSHADE COMPONENTS WITH VOIDS, ILLUSTRATING CARVED ELEMENTS.

-

THE STRUCTURAL SYSTEM OF THE BUILDNG IS CLEARLY EXPRESSED IN THE BUILDING'S EXTERIOR.

-

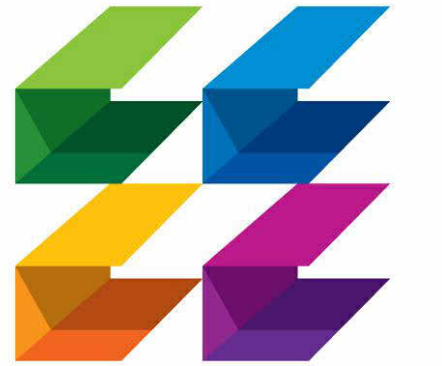
PRIMARY FINISHES ARE STUCCO AND GLASS

-

ESTABLISHED TRIPARTITE COMPOSITION

-

PARAPET WALL SURROUNDING PRIVATE ROOF TERRACES



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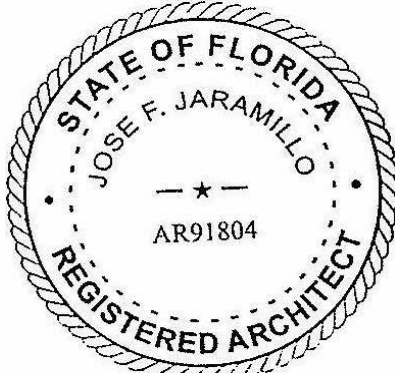
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235 SE 5TH AVENUE
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NUM.	DESCRIPTION	DATE

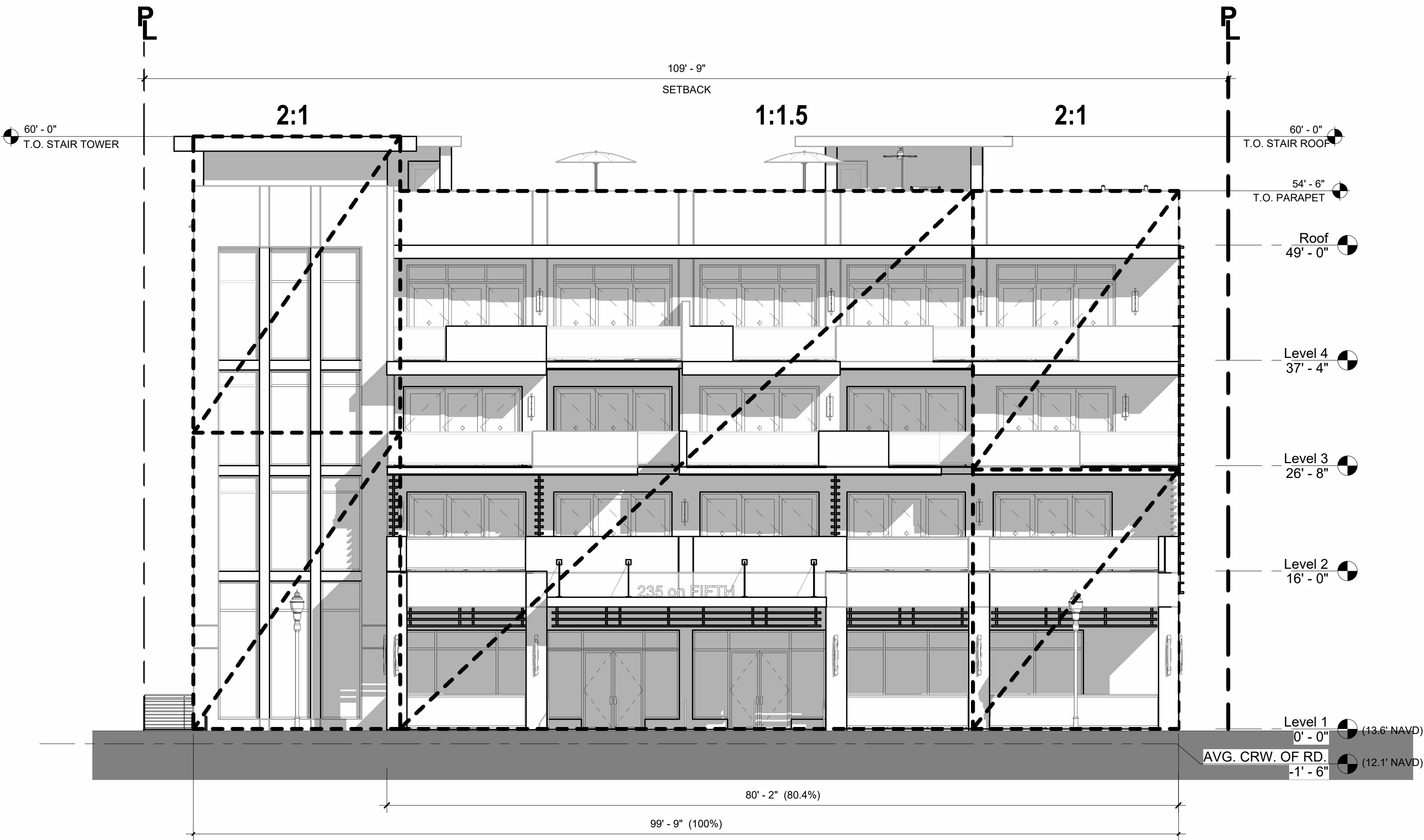
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**FRONTAGE
DIAGRAMS**

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211101	
DRAWING NUMBER	

SPA1.07

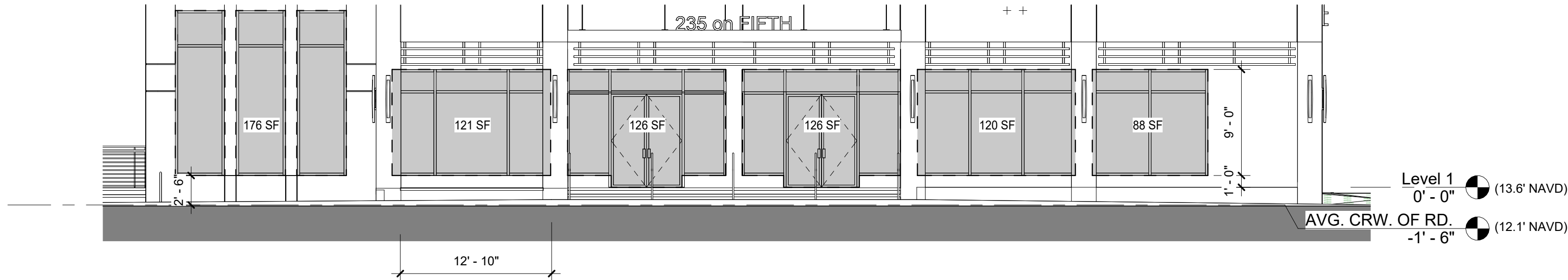


1
SPA1.07
FRONTAGE DIAGRAM
1/8" = 1'-0"

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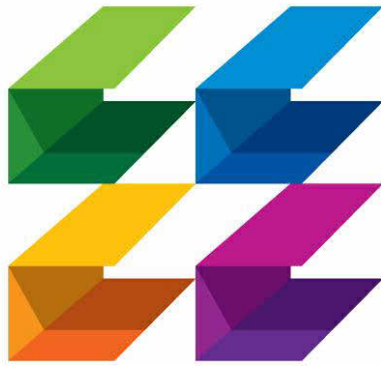


1
SPA1.08
TRANSPARENCY DIAGRAMS
1/8" = 1'-0"



2
SPA1.08
STOREFRONT REQUIRED OPENINGS
1/8" = 1'-0"

TRANSPARENCY CALCULATIONS			
1ST FLOOR AREA	=	1,596 S.F. WALL AREA	
	=	757 S.F. TRANS. AREA (47.4%)	
2ND FLOOR AREA	=	1,064 S.F. WALL AREA	
	=	602 S.F. TRANS. AREA (56.6%)	
3RD FLOOR AREA	=	1,064 S.F. WALL AREA	
	=	602 S.F. TRANS. AREA (56.6%)	
4TH FLOOR AREA	=	1,586 S.F. WALL AREA	
	=	725 S.F. TRANS. AREA (45.7%)	



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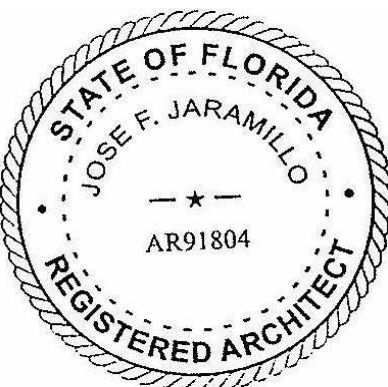
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**TRANSPARENCY
DIAGRAMS**

DATE
07/18/23

JOB NUMBER

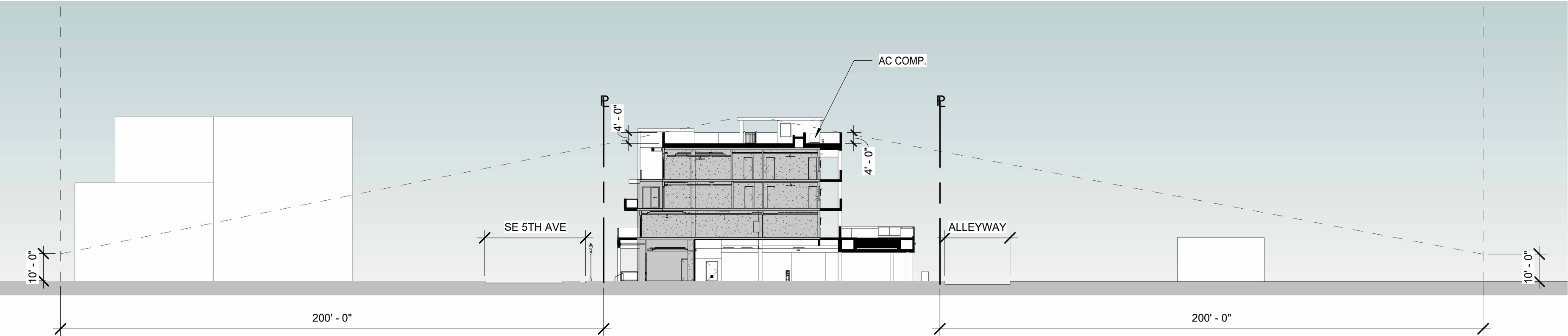
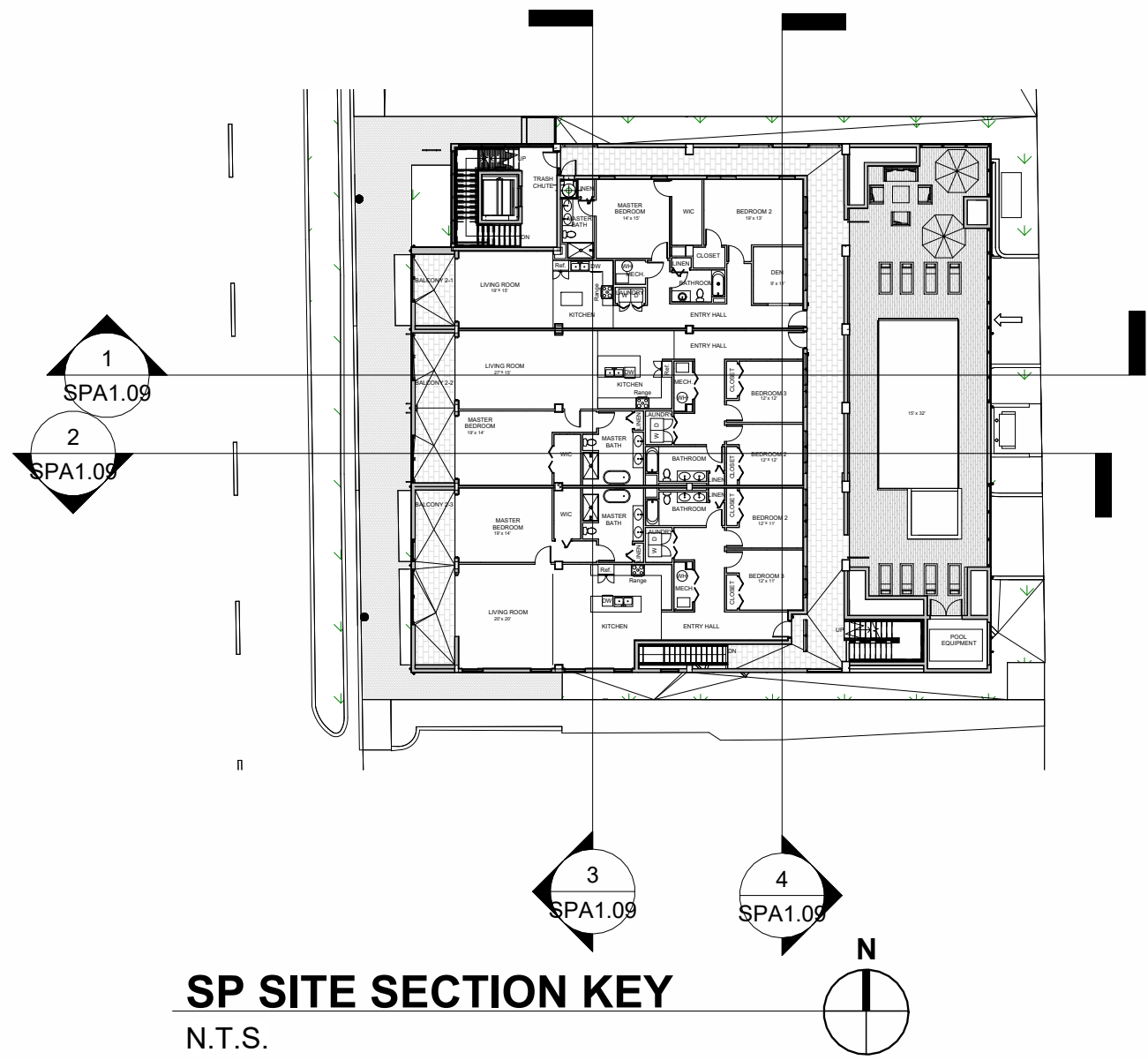
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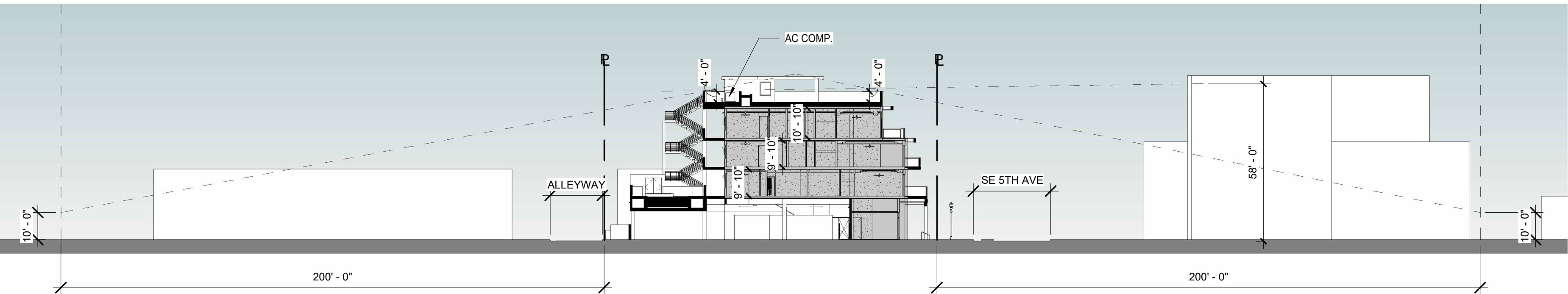
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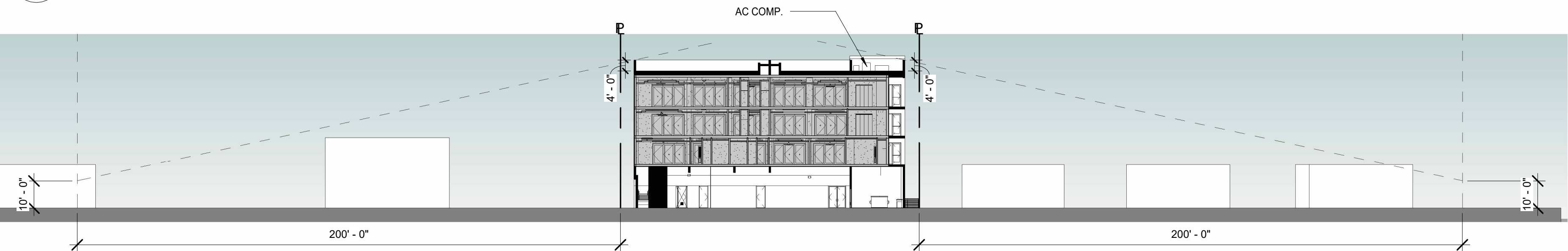
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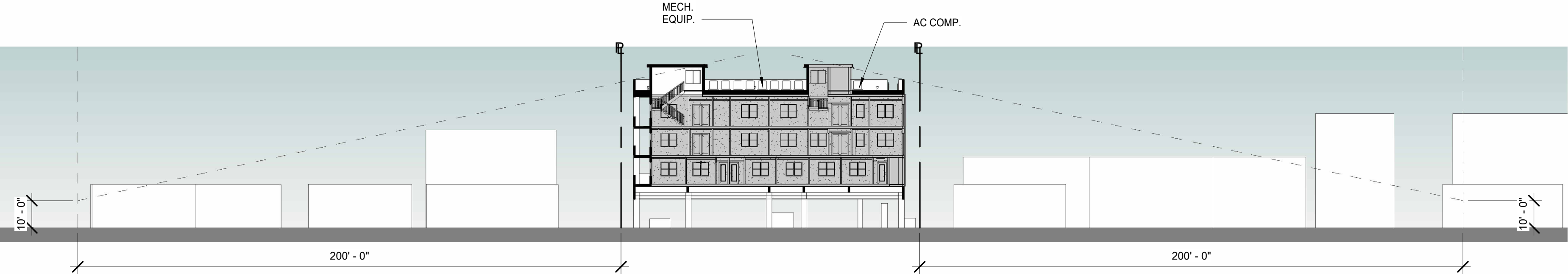
1 SITE SECTION A (LOOKING NORTH)
SPA1.09 1" = 30'-0"



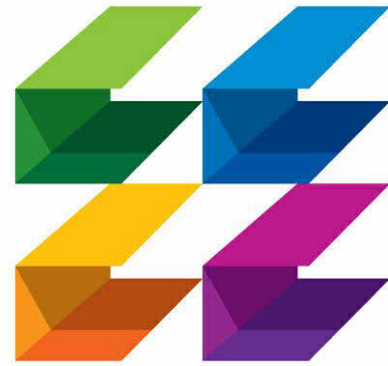
2 SITE SECTION B (LOOKING SOUTH)
SPA1.09 1" = 30'-0"



3 SITE SECTION C (LOOKING WEST)
SPA1.09 1" = 30'-0"



4 SITE SECTION D (LOOKING EAST)
SPA1.09 1" = 30'-0"



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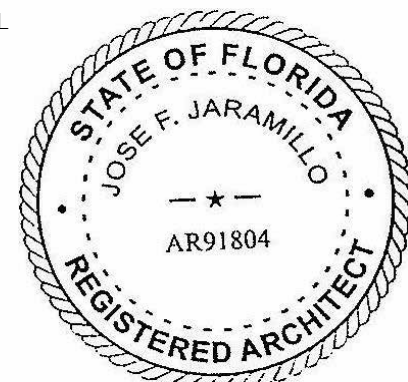
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**235 SE 5TH AVE.
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SITE SECTIONS

DATE

5/11/2023 | KB/JF/JT

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211101

DRAWING NUMBER

SPA1.09

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BUILDING CODE DATA

BUILDING CODE: 2020 FBC (7TH EDITION)
OCCUPANCY TYPE: [MIXED USE] STORAGE (S-2), RESIDENTIAL (R-2, MOST RESTRICTIVE)

TYPE OF CONSTRUCTION:	TYPE IIB (SPRINKLERED)	
	CODE MAX:	PROPOSED:
HEIGHT:	75'	56'-0"
BUILDING SQUARE FOOTAGE	48,000 SF PER FLOOR PER FBC TABLE 506.2	10,000 SF (MIXED) (SEE BELOW BREAKDOWN)
FIRST FLOOR: RESIDENTIAL (R-2) STORAGE (S-2) OFFICE/ FITNESS ROOM		10,857 SF (R-2)
SECOND FLOOR: RESIDENTIAL (R-2)		7,585 SF (R-2)
THIRD FLOOR: RESIDENTIAL (R-2)		7,495 SF (R-2)
FOURTH FLOOR: RESIDENTIAL (R-2)		
NUMBER OF STORIES	5	4

LIFE SAFETY SYMBOLS LEGEND

TYPE	DESCRIPTION	TYPE	DESCRIPTION
	EXIT SIGN (SEE ELECTRICAL PLANS)		PATH OF EGRESS
	SEMI-RECESSED FIRE EXTINGUISHER CABINET		1 - HR FIRE RATED PTN
	FIRE EXTINGUISHER (WALL MOUNTED)		2 - HR FIRE RATED PTN
	DOOR EQUIPPED WITH PANIC HARDWARE		SMOKE DETECTORS
	DOOR EQUIPPED WITH FIRE EXIT HARDWARE		PULL STATION
			FIRE ALARM STROBE
			FIRE ALARM HORN/STROBE
			NO. OF PERSONS EXITING
			EGRESS CAPACITY OF EXIT
			DISTANCE OF TRAVEL
			EXIT DESIGNATION
ROOM NAME	Name		
ROOM NUMBER	101	150 SF	SQUARE FOOTAGE
	Occupancy		OCCUPANCY TYPE

FIRE PROTECTION

	REQUIRED:	PROVIDED:
STRUCTURAL FRAMING	00'	00'
EXTERIOR BEARING WALLS	00'	00'
EXTERIOR NONBEARING WALLS	00'	00'
INTERIOR BEARING WALLS	00'	00'
INTERIOR NONBEARING WALLS	00'	00'
FLOOR/CEILING CONSTRUCTION	00'	00'
ROOF/CEILING CONSTRUCTION	00'	00'
VERTICAL OPENINGS	00'	00'

EGRESS DATA (SPRINKLERED)

	MAX. TRAVEL DIST.	MAX. DEAD END	MIN. CORRIDOR WIDTH
RESIDENTIAL (R-2)	250'	50'	44"
STORAGE (S-2)	400'	50'	44"
ASSEMBLY (A-3)	250'	20'	44"

MINIMUM CLEAR OPENING AT EXIT DOORS IS 32"



CURRIE
SOWARDS
AGUILA
architects

Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584

185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

SPA

BIDS

PERMIT

CONSTRUCTION

SEAL



JOSE F. JARAMILLO
AR91804

PROJECT TITLE

235 SE 5TH AVE.
CONDOMINIUMS

235 SE 5TH AVENUE
DELRAY BEACH, FL

REVISIONS

NUM.	DESCRIPTION	DATE
------	-------------	------

THESE DRAWINGS ARE PREPARED PER
ESTABLISHED INDUSTRY STANDARDS AND
REPRESENT THE ARCHITECT AND
ENGINEERS DESIGN CONCEPT. THEY ARE
NOT INTENDED TO PROVIDE EVERY
DETAIL OR CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FULLY RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
WHETHER INDICATED ON THE PLANS OR
NOT.

DRAWING TITLE

LIFE SAFETY
PLANS

DATE

5/11/2023

DRAWN BY
KB/JF/JT

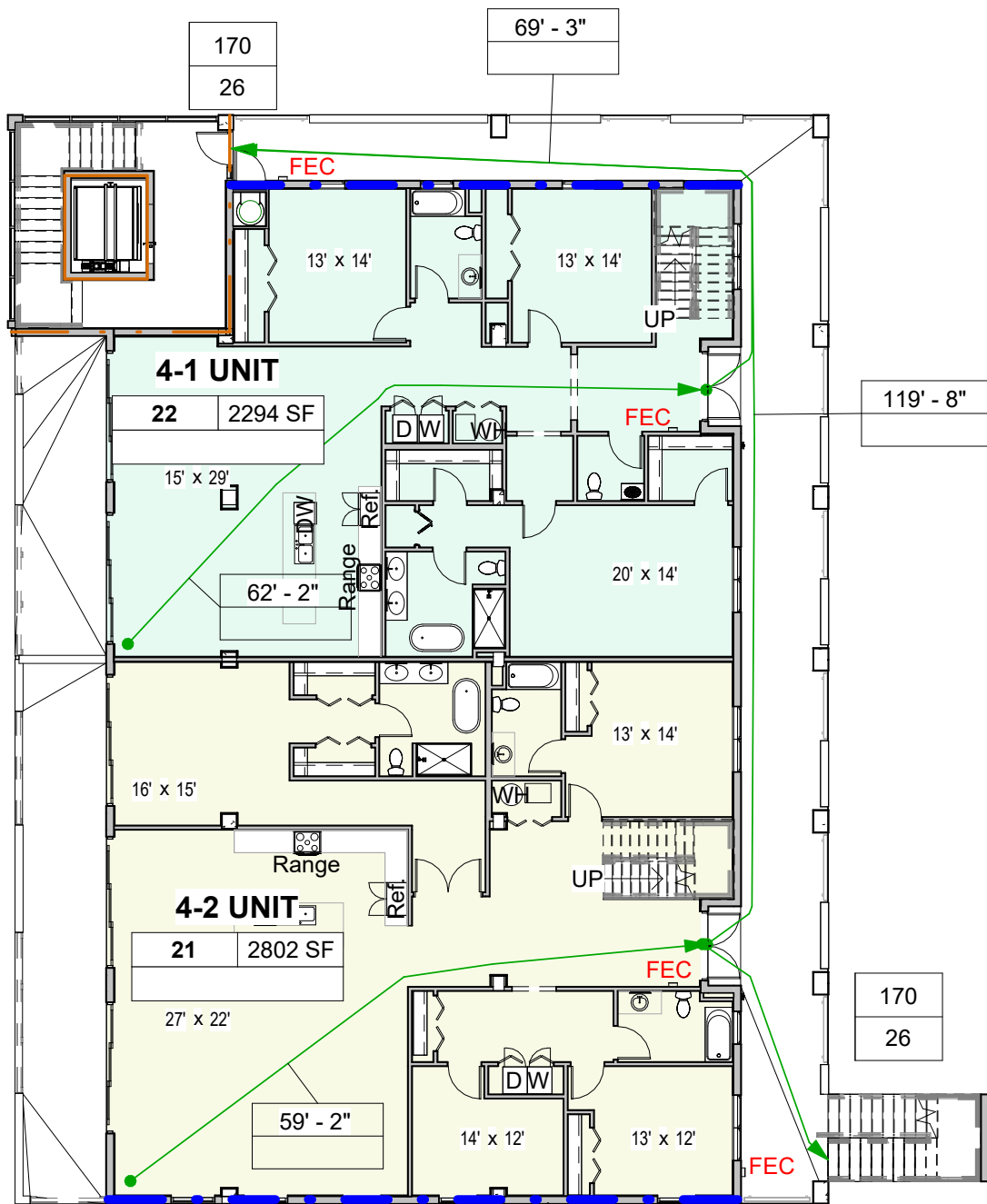
JOB NUMBER

211101

DRAWING NUMBER

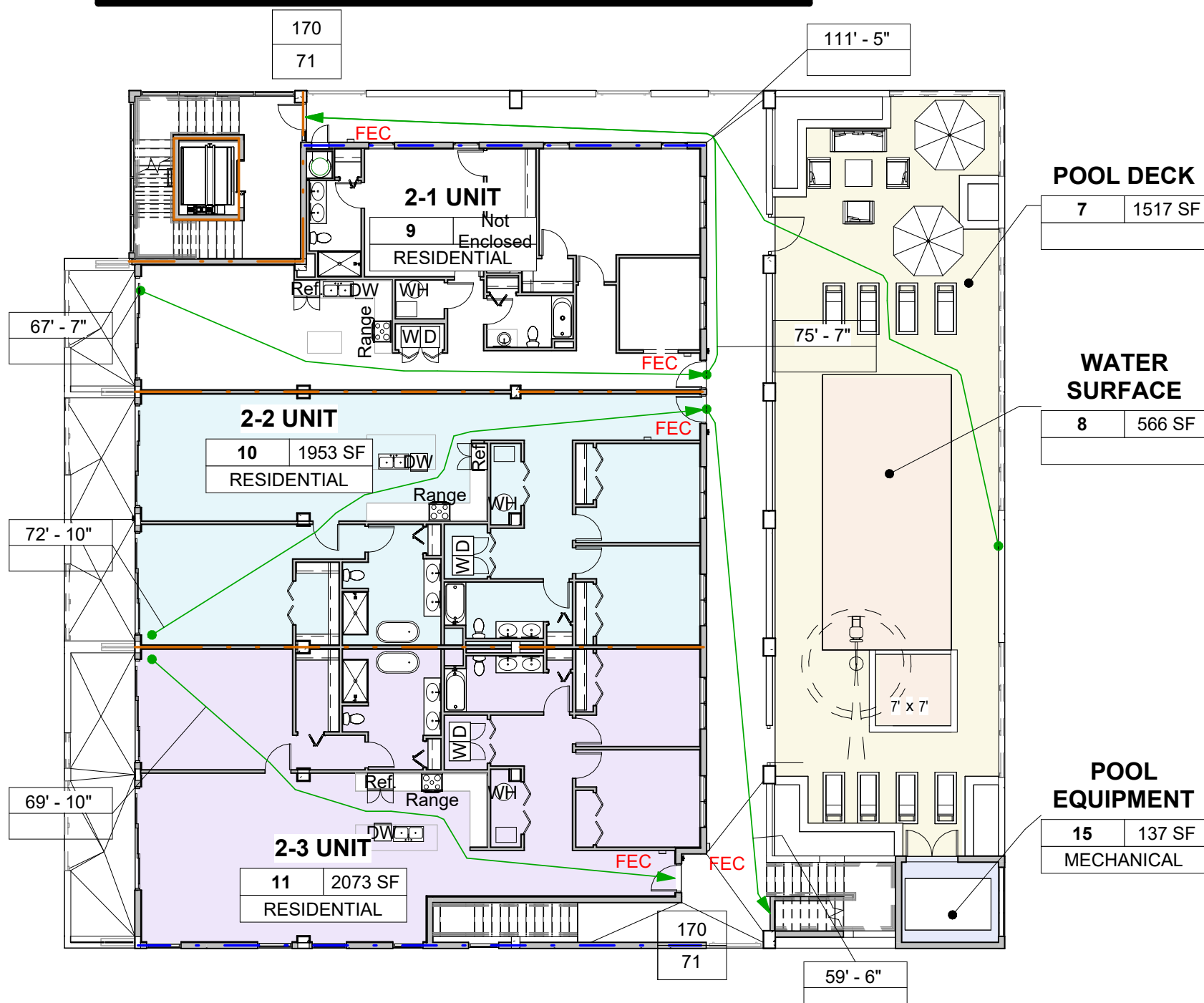
SPA1.10

OCCUPANCY SCHEDULE FOURTH FLOOR				
Name	Area	Occupancy	OLF Egress	Egress Occupancy
4-1 UNIT	2294 SF	RESIDENTIAL	200 SF	11.47
4-2 UNIT	2802 SF	RESIDENTIAL	200 SF	14.01
	5096 SF			25.48



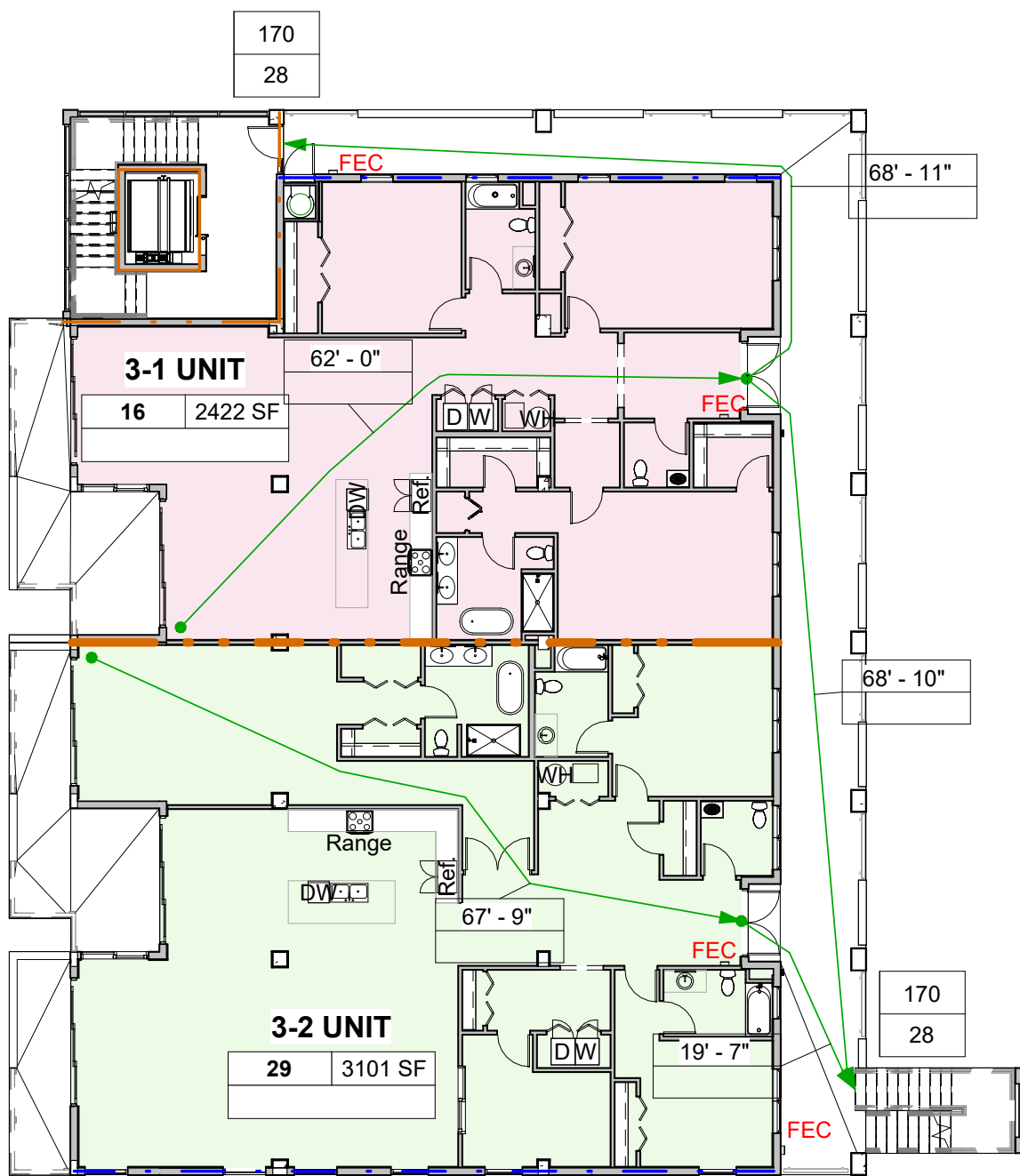
4 FOURTH FLOOR LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"

OCCUPANCY SCHEDULE SECOND FLOOR				
Name	Area	Occupancy	OLF Egress	Egress Occupancy
POOL DECK	1517 SF	POOL DECK	15 SF	101.13
2-1 UNIT	Not Enclosed	RESIDENTIAL	200 SF	
2-2 UNIT	1953 SF	RESIDENTIAL	200 SF	9.76
2-3 UNIT	2073 SF	RESIDENTIAL	200 SF	10.37
POOL EQUIPMENT	137 SF	STORAGE	300 SF	0.46
WATER SURFACE	566 SF	WATER SURFACE	50 SF	11.32
	6246 SF			133.04



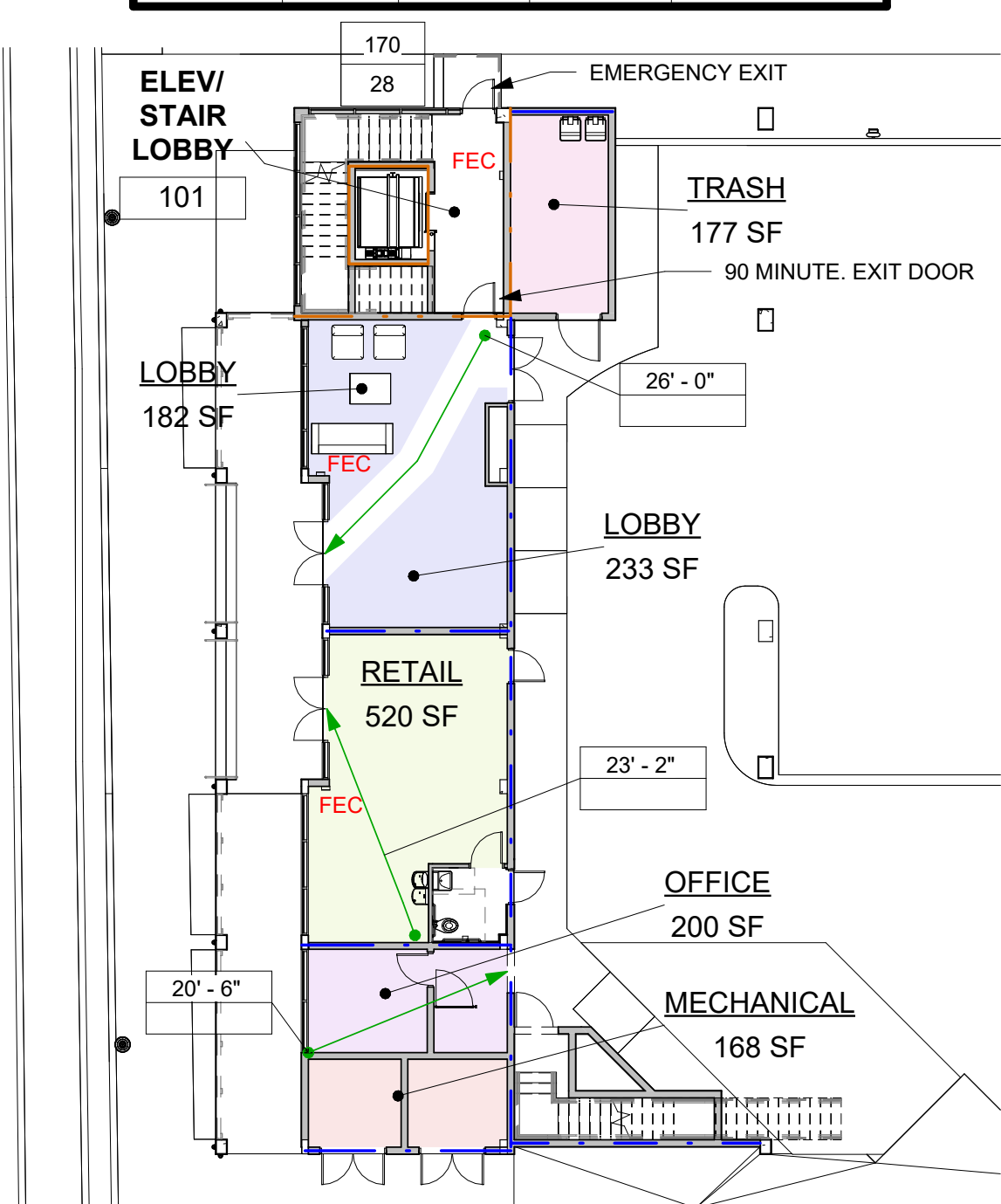
2 SECOND FLOOR LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"

OCCUPANCY SCHEDULE THIRD FLOOR				
Name	Area	Occupancy	OLF Egress	Egress Occupancy
3-1 UNIT	2422 SF	RESIDENTIAL	200 SF	12.11
3-2 UNIT	3101 SF	RESIDENTIAL	200 SF	15.51
	5523 SF			27.62

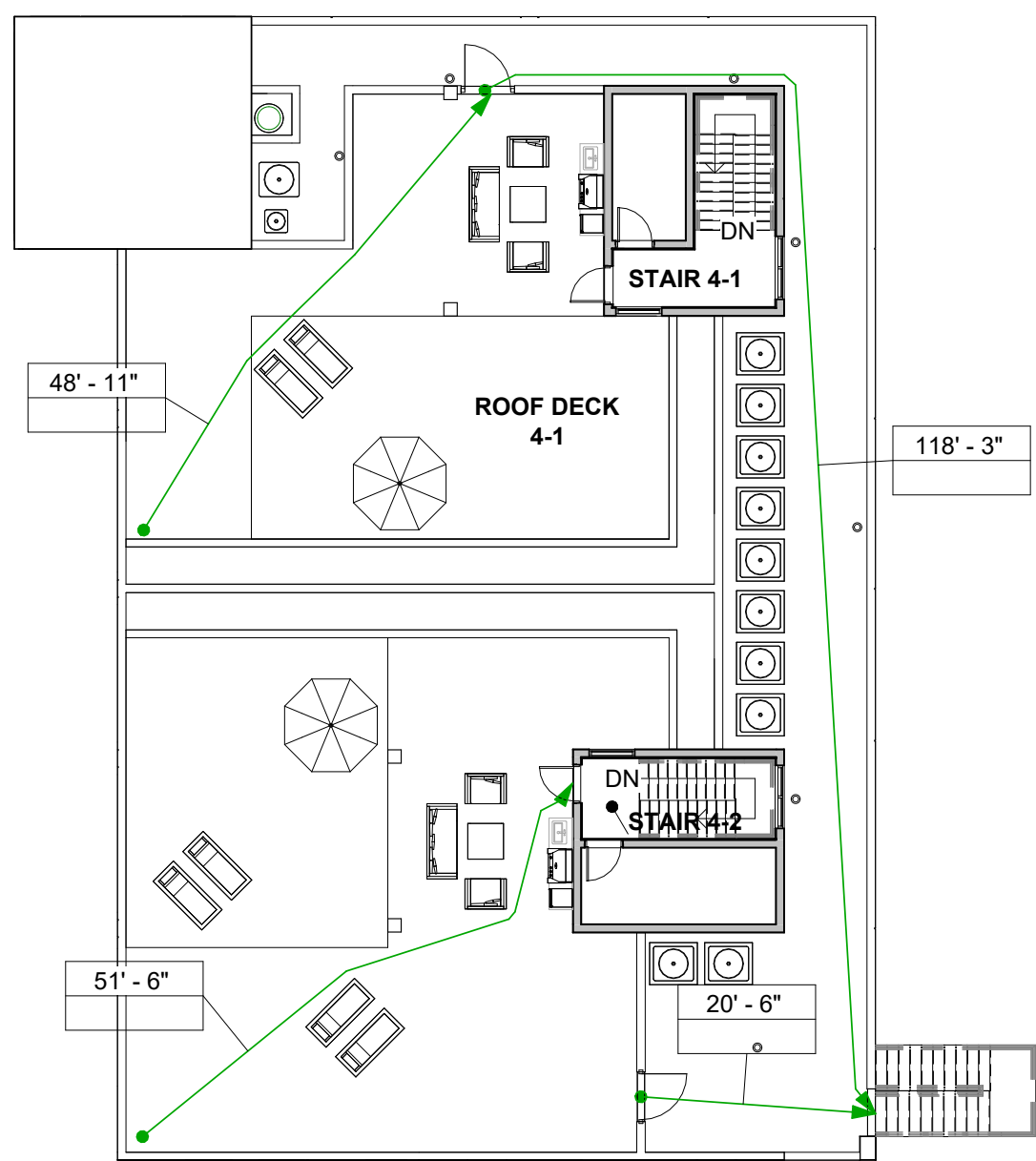


3 THIRD FLOOR LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"

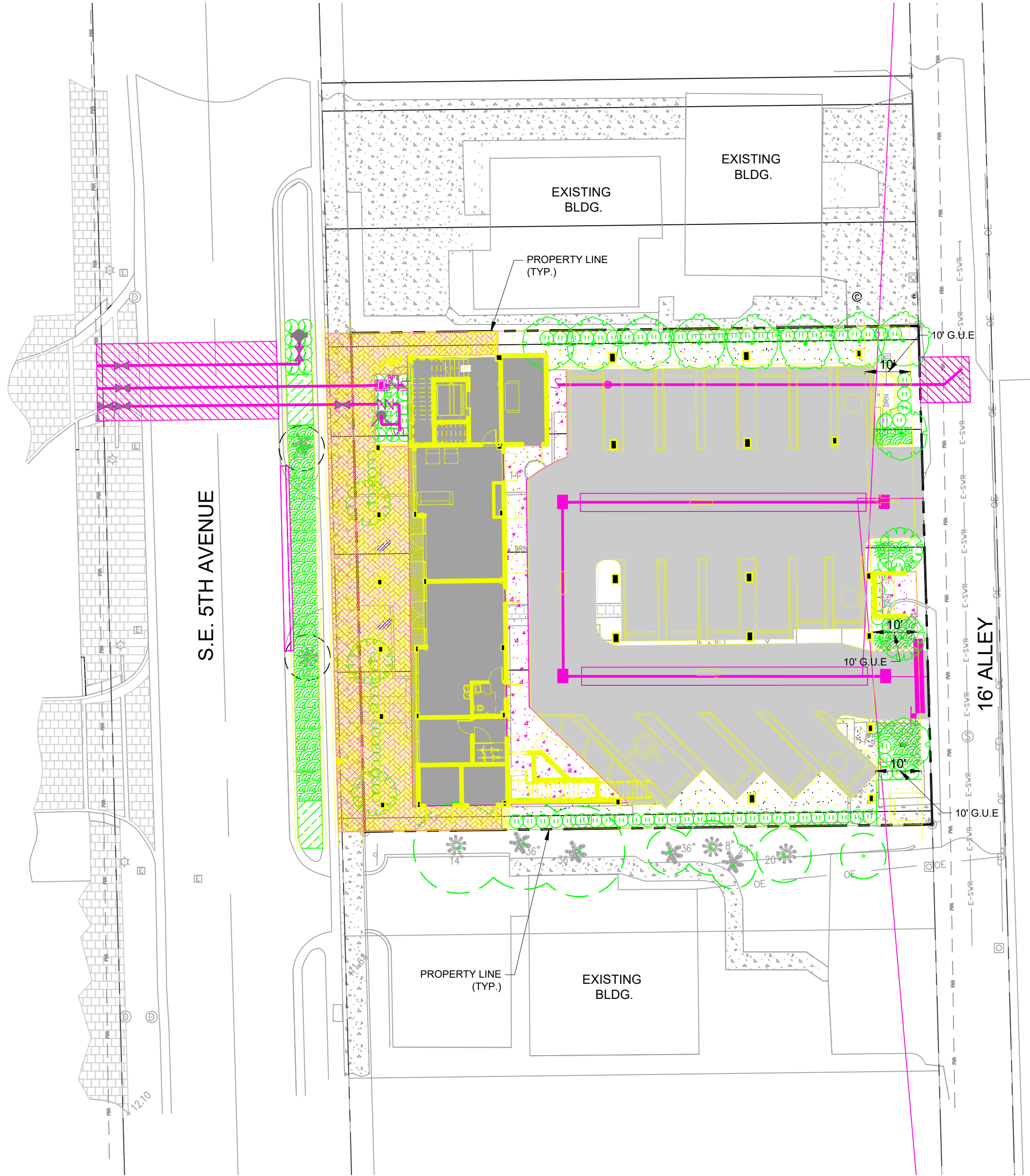
OCCUPANCY SCHEDULE FIRST FLOOR				
Name	Area	Occupancy	OLF Egress	Egress Occupancy
LOBBY	414 SF	ASSEMBLY	15 SF	27.62
OFFICE	200 SF	BUSINESS	100 SF	2.00
RETAIL	520 SF	BUSINESS	100 SF	5.20
MECHANICAL	168 SF	STORAGE	300 SF	0.56
TRASH	177 SF	STORAGE	300 SF	0.59
	1479 SF			35.97



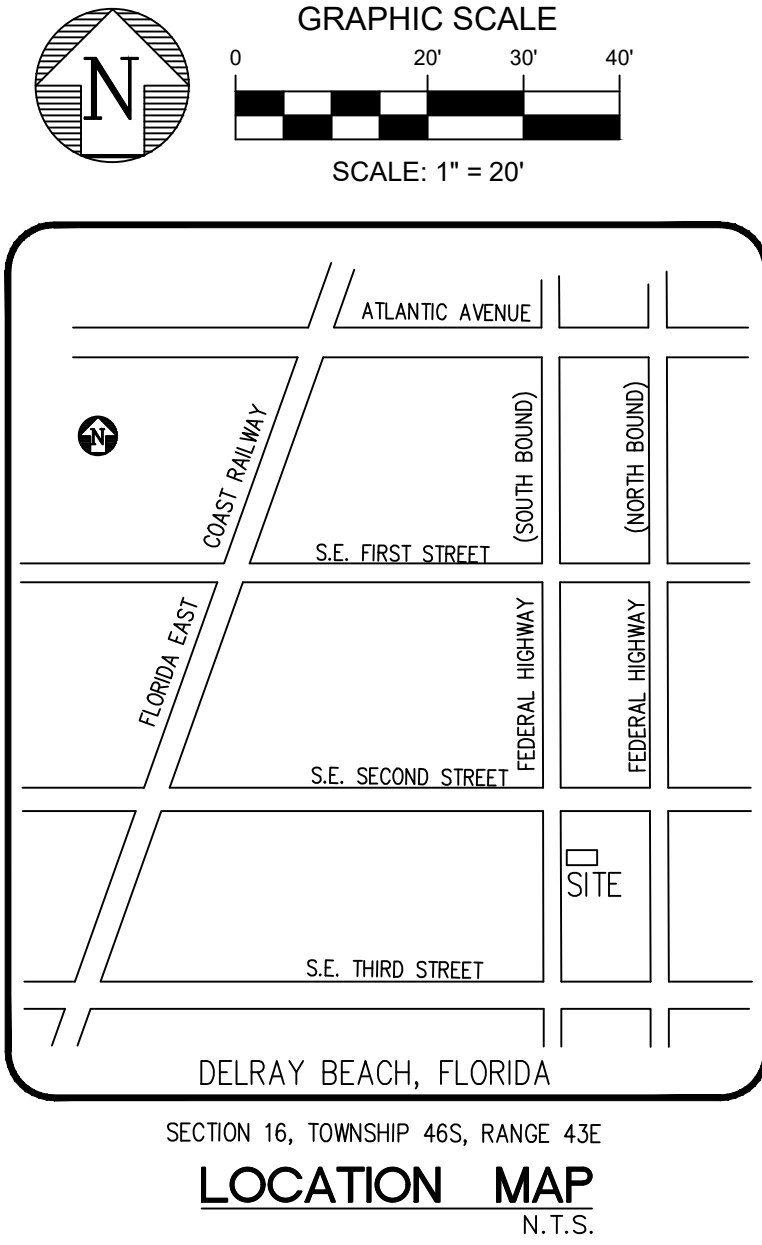
1 FIRST FLOOR LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"



5 ROOF LIFE SAFETY PLAN
SPA1.10 1/16" = 1'-0"



- LEGEND:
- CIVIL PLAN
 - SITE PLAN
 - LANDSCAPE



J:\Land Projects R2\20084.01 235 SE 5th Avenue\Misc\20084.01 Overlay	
DATE	MAY 12, 2023
DRAWN	KL
PROJECT ENGINEER	ACS
PROJECT MANAGER	RB
CHECKED	ACS
1	1
JOB NO. 20084.01	

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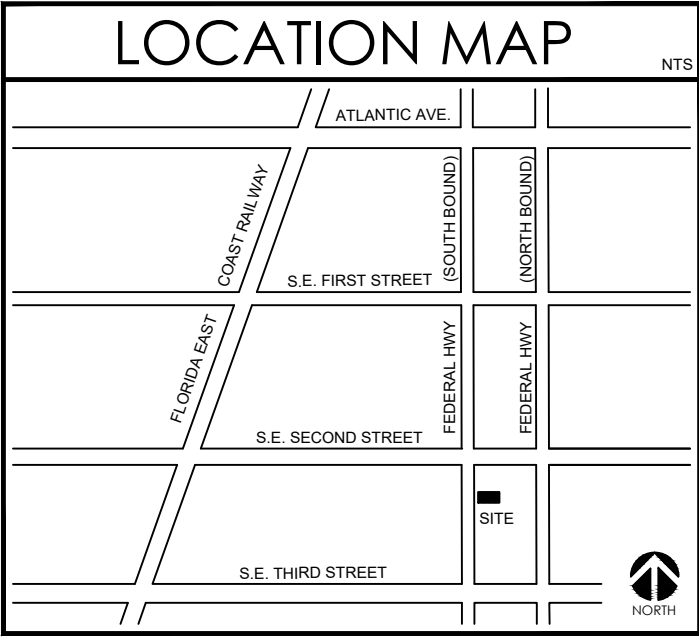
1280 N. CONGRESS AVE. SUITE 101
WEST PALM BEACH, FLORIDA 33409
PH (561) 955-1151 • FAX (561) 932-5390
WWW.ENGENUITGROUP.COM CERTIFICATE OF AUTHORIZATION #7095

235 SE 5TH AVENUE
PROPOSED RETAIL/OFFICE & RESIDENTIAL BLDG.
DELRAY BEACH, FLORIDA
COMPOSITE OVERLAY PLAN

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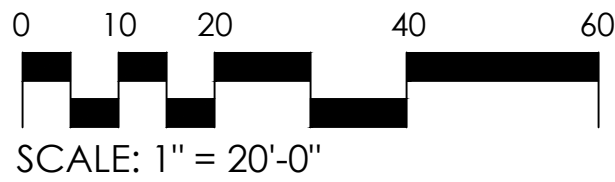
ADAM C. SWANEY, P.E.
NO. 72235

REVISIONS		NO.	DATE	REMARKS	BY

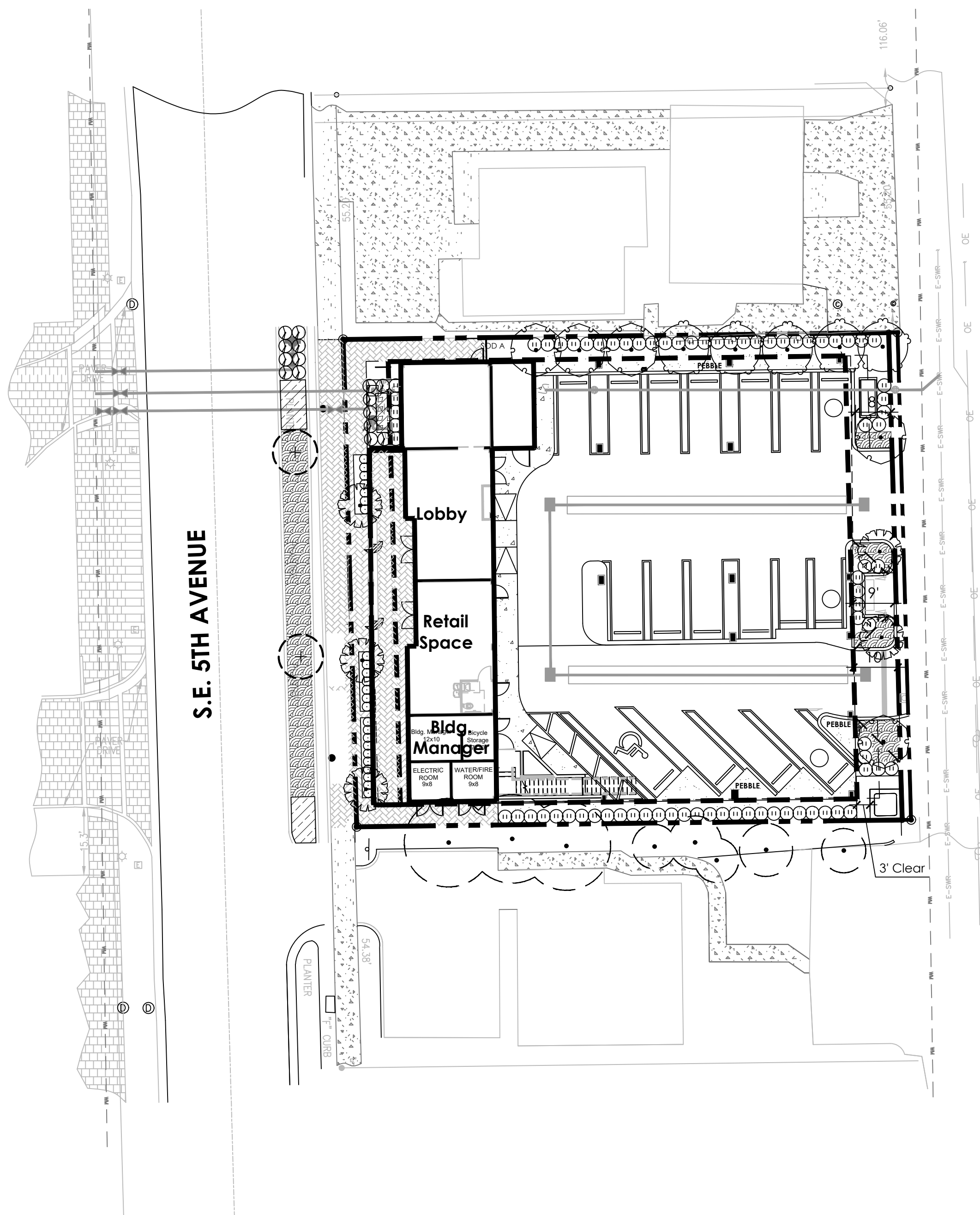


Valhallal Condo

The City of Delray Beach



DRAWING INDEX	
LI-1	Landscape Index Sheet
LP-1	Landscape Plan Ground Level
LP-2	Landscape Plan Pool and Roof
LP-3	Landscape Specifications
TD-1	Tree Disposition



**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Valhallal Condo

The City of Delray Beach, Florida

Date: 03/31/22
Scale: 1" = 20'-0"
Design By: JN
Drawn By: JJH
Checked By: JN
File No. 1084.01
Job No. 22-10

REVISIONS / SUBMISSIONS

05/18/22 Original Submittal
06/02/22 Resubmittal
02/17/23 Resubmittal
05/09/23 Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEAL
OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO.
Jon Eric Schmidt LA 0001638

LANDSCAPE
INDEX

LI-1 of 1



1551 N. Flagler Dr, Ste 102
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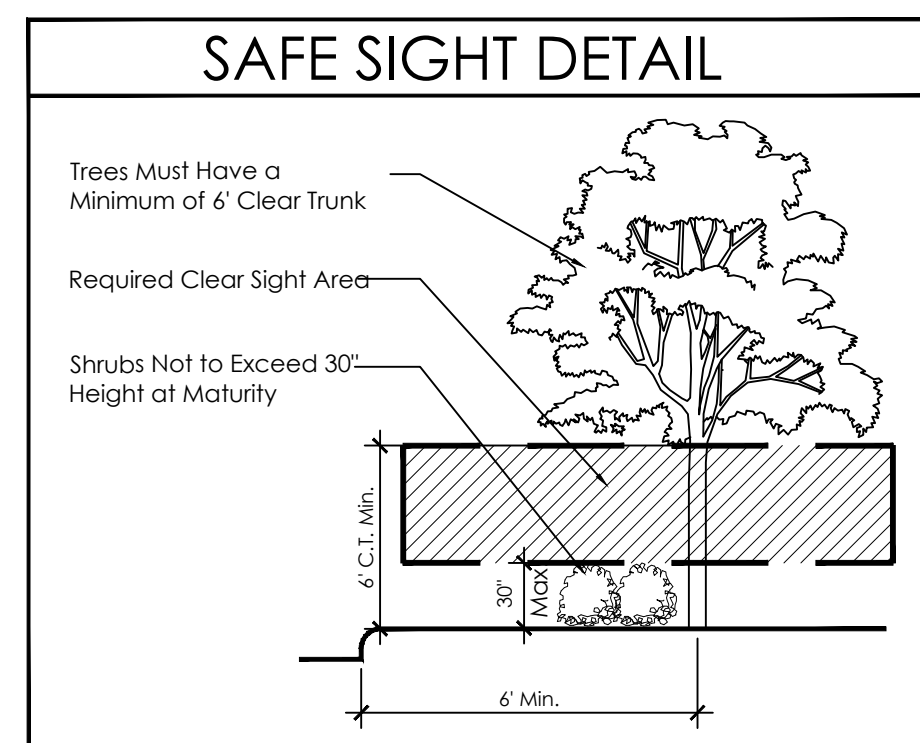
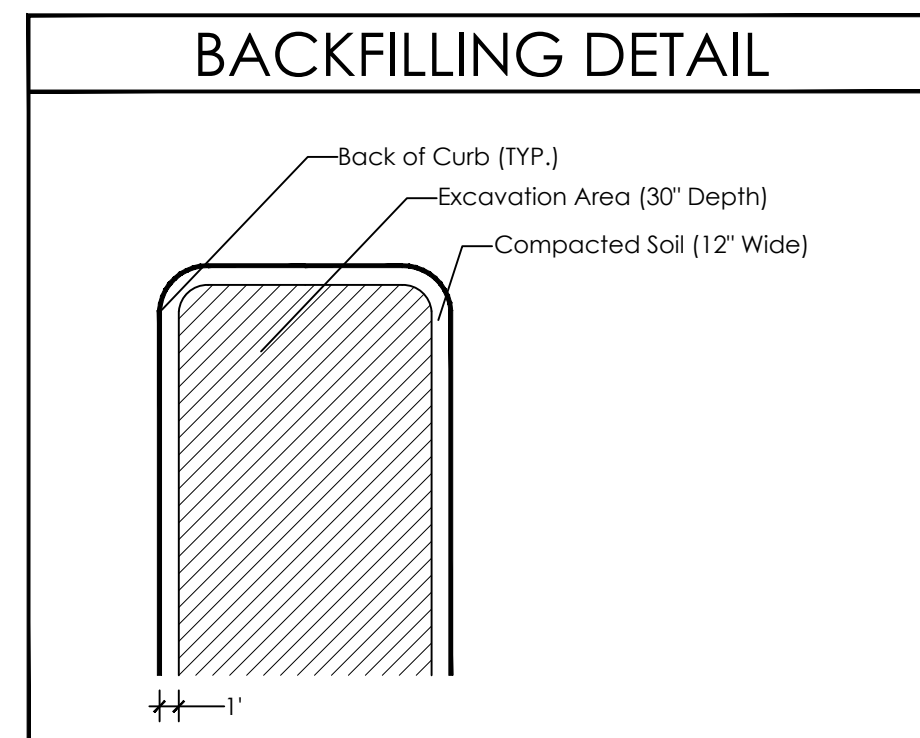
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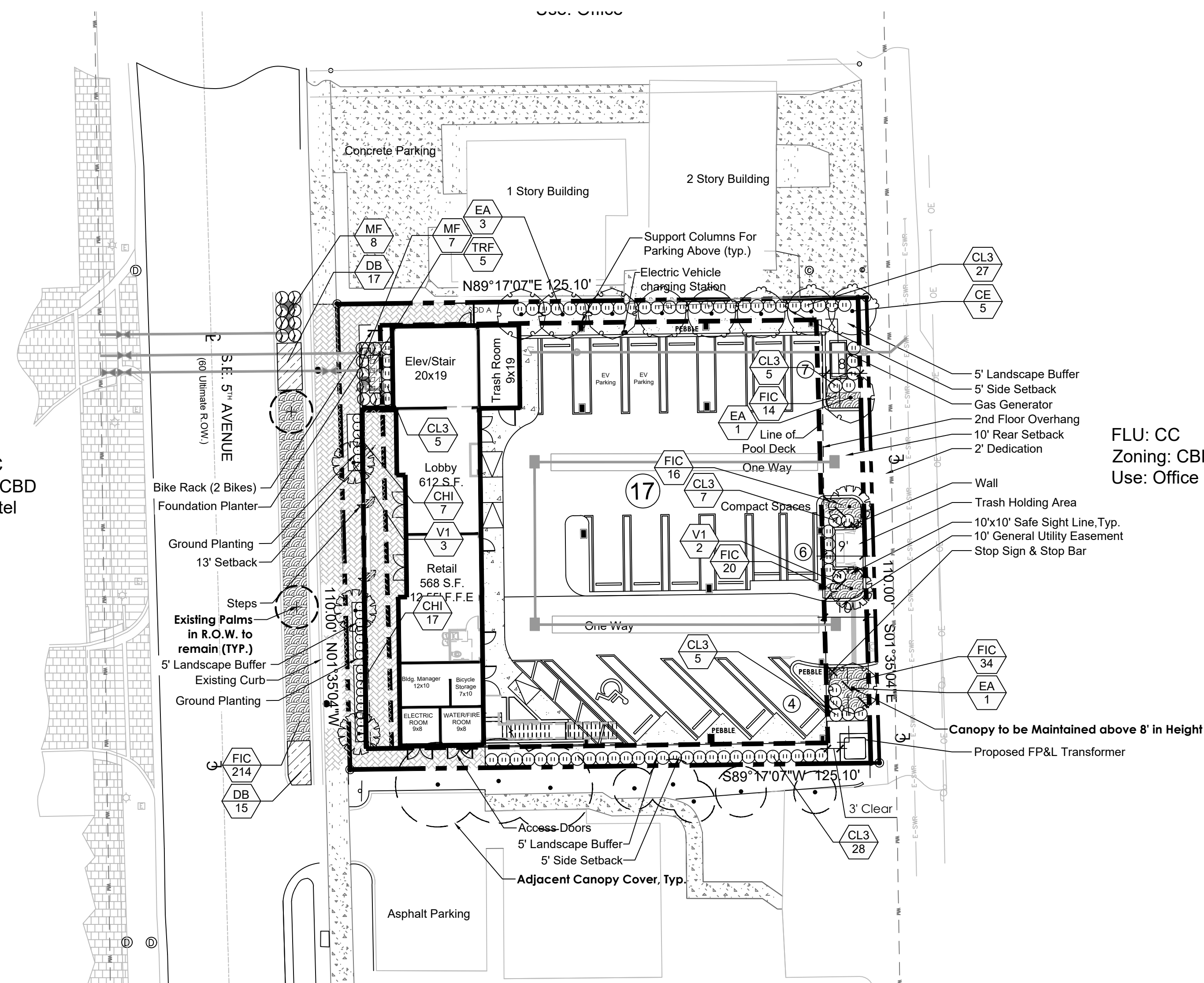
LANDSCAPE
PLAN

LP-1 of 3








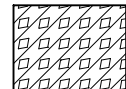



LANDSCAPE NOTES

1. Easements shall not encroach landscape buffers more than 5 feet.
2. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grossed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
3. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above crown of road.
4. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc., shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.
5. All plant material is to be installed at the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
6. No much-grown seed shall be utilized in detention areas.
7. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
8. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
9. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and/or street lighting (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a tree encroach into a Public Utility without prior approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.
10. All parking lot islands, and any other areas on site with base rock, shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composed organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
11. All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
12. All ground-mounted equipment shall be screened from view.
13. Prior to C.O., the site must have 100% sod coverage, including greenspace in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be indicated on the Landscape Plan.
14. Any equipment (condensing units, transformers, etc) must not interfere with proposed parking lot trees. One trees must be planted in each island.

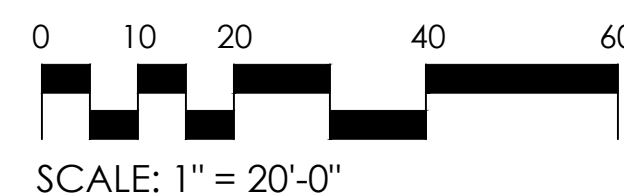


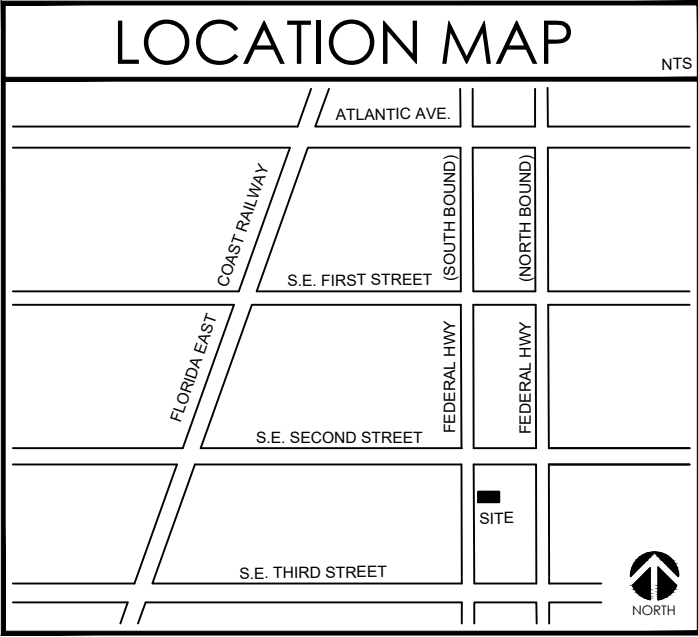
PLANT LIST

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	NATIVE
	CE	5	Conocarpus erectus / Green Buttonwood	3.5" Cal.	16' O.A.	7'	8' CT	Low	Native
	EA	5	Elaeocarpus apiculatus / Japanese Blueberry Tree	3.5" Cal.	16' O.A.	7'	8' CT	Low	Non-Native
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	NATIVE
	V1	5	Veitchia montgomeryana / Montgomery Palm Single Trunk, No Scarred Trunks, Matched	N/A	20' O.A.	12"	10' CT	Low	Non-Native
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	CHI	24	Chrysobalanus icaco / Coco Plum Full To Base	24"	24"	24" O.C.	Low	Native	
	CL3	77	Clusia guttifera / Small-Leaf Clusia Full to Base	36"	30"	36" O.C.	Low	Native	
	MF	15	Myrcianthes fragrans / Simpson's Stopper	36"	24"	36" O.C.	Low	Native	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	DB	32	Dianella tasmanica 'Blueberry' / Blueberry Flax Lily	24"	24"	24" O.C.	Low	Non-Native	
	TRF	5	Tripsacum floridanum / Dwarf Fakahatchee Grass Full	24"	24"	30" O.C.	Low	Native	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	FIC	298	Ficus microcarpa 'Green Island' / Green Island Ficus Full to Base	24"	18"	18" O.C.	Low	Non-Native	

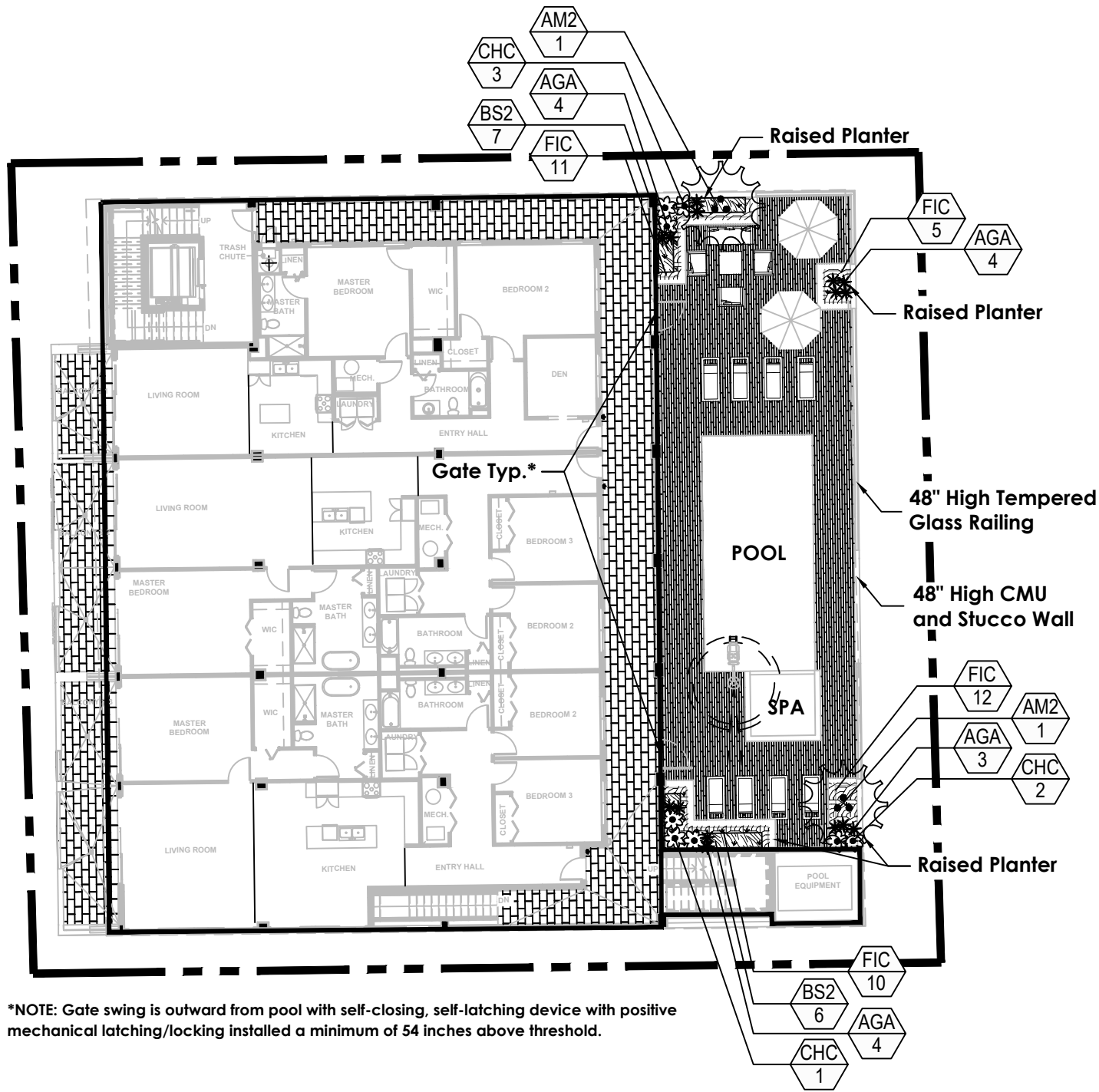
NOTES:

1. All landscaped areas shall be provided with a fully automated sprinkler system that will provide complete coverage of all plant materials and grass to be maintained. All systems shall be designed to allow for head-to-head coverage (100% coverage with 100% overlap).
2. All plant materials shall conform to the standards for Florida No. 1 or better, per per Sec. 4.6.16.(E)[3] Quality.
3. Canopies of Trees and palms installed in Sight Triangle need to be maintained above six feet in height. The mature trunk diameter of any tree or palm shall not exceed 15 inches.

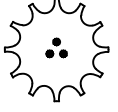


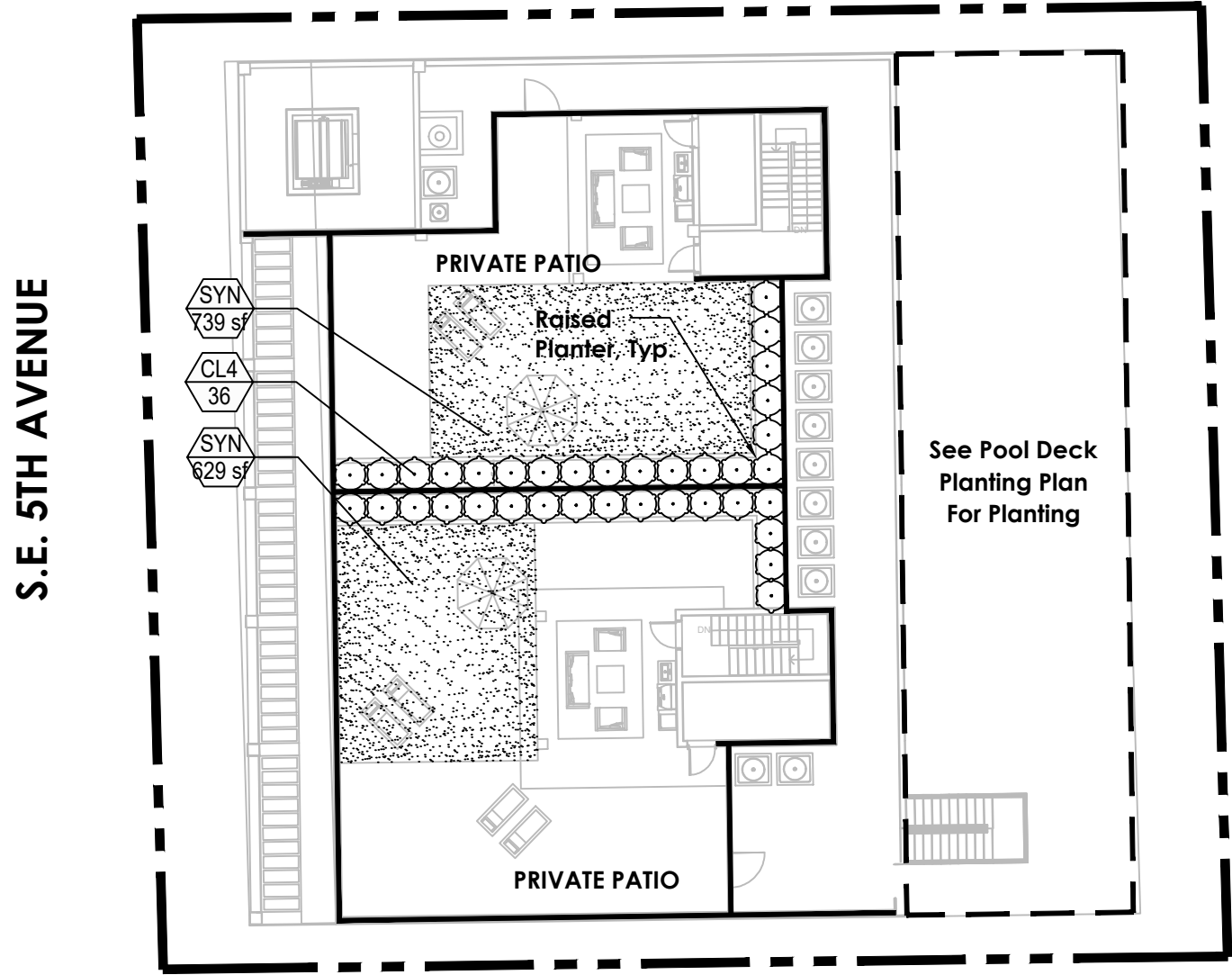


- LANDSCAPE NOTES
- Easements shall not encroach landscape buffers more than 5 feet.
 - FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
 - Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30' and 8' above crown of road.
 - Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc., shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.
 - All plant material is to be installed at the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
 - No muck-grown sod shall be utilized in detention areas.
 - All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 1.50% coverage.
 - Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
 - Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a tree encroach into a Public Utility without prior approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.
 - All parking lot islands, and any other areas on site with baserock, shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
 - All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
 - All ground-mounted equipment shall be screened from view.
 - Prior to C.O., the site must have 100% sod coverage, including greenspace in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be indicated on the Landscape Plan.
 - Any equipment (condensing units, transformers, ect) must not interfere with proposed parking lot trees. One trees must be planted in each island.


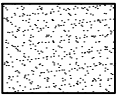


POOL DECK PLANTING PLAN

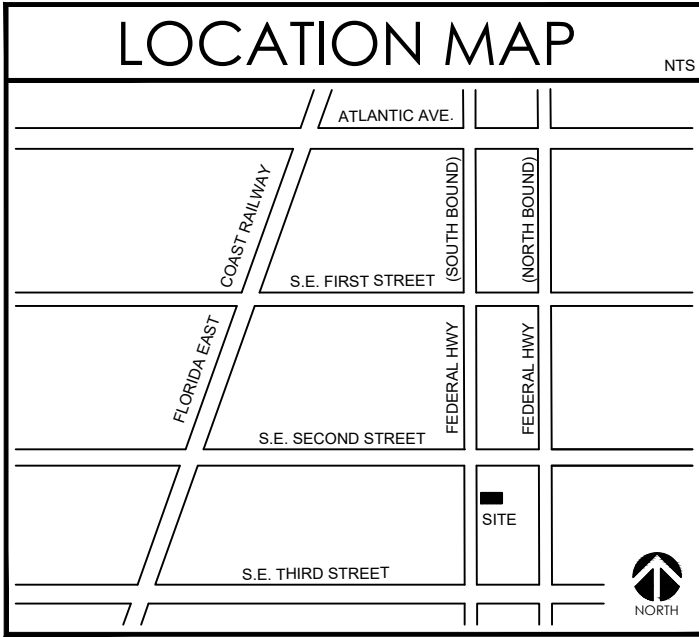
POOL DECK PLANT LIST									
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	NATIVE
	AM2	2	Adonia merrilli 'Double Trunk' / Double Trunk Christmas Palm Matched, Double Trunks	N/A	8'-10' CT	10'-12'	8'-10' CT	Low	Non-Native
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	AGA	15	Agave attenuata / Foxtail Agave Full Well Shipped	24"	24"	24" O.C.	Low	Non-Native	
	CHC	8	Chamaedorea cataractarum / Cat Palm Full, Matched	36"	24"	36" O.C.	Low	Non-Native	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	BS2	13	Bougainvillea x 'Singapore White' TM / Ms. Alice Bougainvillea Full	24"	24"	24" O.C.	Medium	Non-Native	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	FIC	38	Ficus microcarpa 'Green Island' / Green Island Ficus Full to Base	24"	18"	18" O.C.	Low	Non-Native	



ROOFTOP PLANTING PLAN

ROOFTOP PLANT LIST									
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	CL4	36	Clusia guttifera / Small-Leaf Clusia Full to Base	4'	24"	48" O.C.	Low	Native	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	SYN	1,368 sf	Synthetic Turf / Synthetic Turf Grade TBD by Owner. Seperate Permit Required for Synthetic Turf	Turf	N/A	N/A	N/A		

of 3

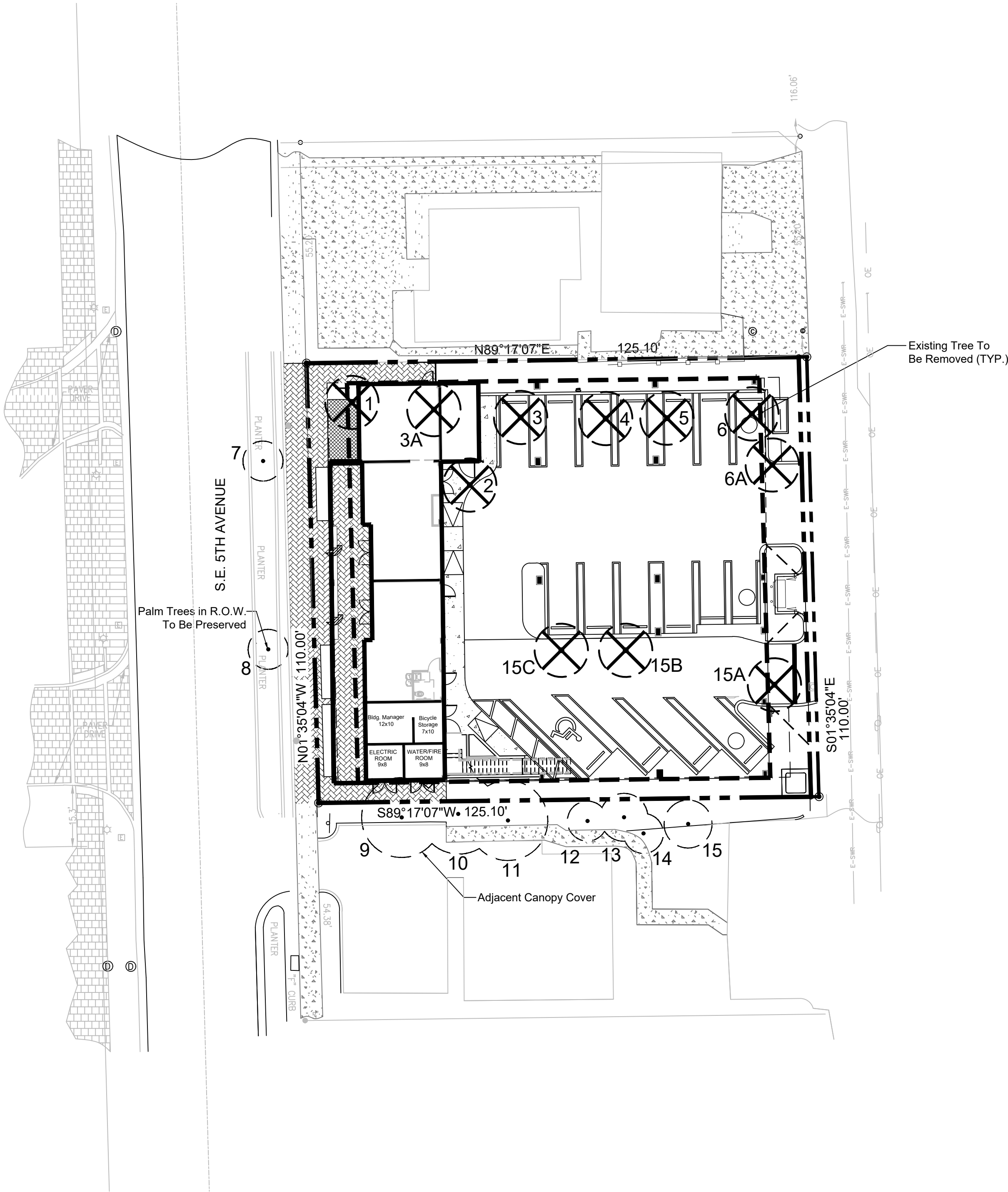


TREE SUMMARY	
Category	Total Trees
Preserved Trees	9
Removed Trees	11
Relocated Trees	0

TREE DISPOSITION KEY	
	EXISTING OFF SITE TREE TO REMAIN
	EXISTING ON SITE TREE TO BE REMOVED

TREE DISPOSITION CHART						
Tree #:	Type:	DBH:	Height:	Condition:	Disposition:	Notes:
1	Live Oak	13"		30%	Remove	On Site
2	Live Oak	16"		45%	Remove	On Site
3	Live Oak	15"		30%	Remove	On Site
3A	Live Oak	5"		30%	Remove	On Site
4	Live Oak	14"		30%	Remove	On Site
5	Live Oak	17"		30%	Remove	On Site
6	Live Oak	17.5"		45%	Remove	On Site
6A	Pigeon Plum	8.5"		70%	Remove	On Site
7	Solitaire Palm		20'	70%	Remain	Off Site
8	Solitaire Palm		20'	70%	Remain	Off Site
9	Areca Palm		20'	70%	Remain	Off Site
10	Areca Palm		20'	70%	Remain	Off Site
11	Areca Palm		20'	40%	Remain	Off Site
12	Christmas Palm		11'	70%	Remain	Off Site
13	Areca Palm		20'	40%	Remain	Off Site
14	Sabal Palm		14'	70%	Remain	Off Site
15	Silver Buttonwood	11"		15%	Remain	Off Site
15A	Pink Tabebuia	9"		50%	Remove	On Site
15B	Alexander Palm		20'	70%	Remove	On Site
15C	Alexander Palm		20'	60%	Remove	On Site
Total DBH of all trees with 50 condition rating removed						17.50"
Total DBH Provided						28"

NOTE: The tree disposition chart was prepared based on the Arborist report by Sutton Consulting Arborist, INC.



SCHMIDT
NICHOLS

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

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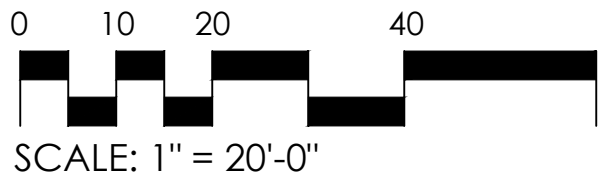
02/17/23: Per Arborist Report
05/09/23: Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND SEAL
OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO.
Jon Eric Schmidt LA 0001638

TREE DISPOSITION PLAN

TD-1 of 1



**Justification Statement
Valhalla Condominiums
235 SE 5th Ave, Delray Beach
Class V Site Plan Application
Original Submittal: May 18, 2022
Resubmittal: December 8, 2022**

Introduction & Context

The subject property is .32 acres which includes one parcel (PCN: 12-43-46-16-01-111-0041). The property currently supports a small professional office use and has recently been acquired by SIR II Development LLC (Owner / Applicant). The applicant is seeking to develop the property as a for sale condominium project with 7 units and 568 s.f. of retail/office in a 4-story structure.

The site's current Future Land Use Designation (FLU) is Central Core (CC) and supports a Zoning Designation of Central Business District (CBD) and is further designated within the Central Core Sub-district. The Land Development Regulations of the CBD's Central Core sub-district allow for a maximum 30 du/acre. The proposed development is proposed at 22 du/acre including a 568 s.f. retail space on the ground floor.



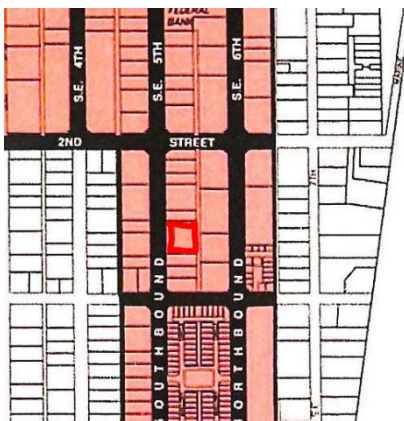
Request 1: To obtain Class V Site Plan approval for a condominium development with 7 units and 568 s.f. of retail/office. The building is a total of 4 stories with the first floor supporting the common elements for the residential component as well as the retail space and the parking which is fully enclosed within a parking structure (surface parking). The building supports 3 units on the 2nd and 3rd floors and 2 units on the 4th floor with a roof top terrace which is accessed by each of the 4th floor units (private terraces). The second floor provides for an amenity deck which includes a pool and spa as well as a hardscape package with landscape to provide privacy from adjacent properties.

The City's Central Core sub-district encourages a mix of uses as well as activity to the street level with active liner uses and arcades. We believe this proposed project embodies the Land Development Regulation's efforts for this district and promotes sustainable smart downtown growth within the City.

(1) Central Core Sub-district. The Central Core Sub-district regulations are intended to result in development that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that will help the area evolve into a traditional, self-sufficient downtown. Residential development is permitted at a density which fosters compact, pedestrian oriented growth that will support downtown businesses. See Figure 4.4.13-1. (Ord. No. 19-18, [§ 2](#), 10-16-18)

The site currently support an professional office use which was developed in the traditional style of development with a surface parking lot with a curb cut along SE 5th Avenue with a suburban style of urban form. The proposed development eliminates the curb cut on SE 5th Avenue and provides one on-street parking space which is not counted toward the parking requirements, however, we believe that it adds to the project for deliveries and other short transient type of usage for the retail/office space.

Primary Streets: The subject property as stated fronts on SE 5th Avenue which is classified as a Primary Street and requires a number of development parameters as discussed further in this analysis.



The subject property as located on a Primary Street must provide for retail or office on the street level. The proposed development provides for a retail store front meeting the required depth and frontage dimensional criteria to comply with these provisions. The covered parking structure is situated behind the retail and accounts for the required parking for both the retail and the residential units. Additionally, the proposed development provides for an arcade along the frontage which also serves as a balcony for the residential units on the upper floors.

Building Height: The LDRs permit buildings within the CBD Central Core to be a maximum of 54' in height and 4 stories as stipulated in Table 4.4.13(B). Please refer to the architectural plans as provided with this submittal for dimensional details.

Dimensional Requirements for CBD: There has been detailed attention given to the placement of the building as it relates to the setbacks of the structure and required arcades and setbacks as you progress beyond the 3rd floor of the building. Primary streets require a minimum 75% building frontage. The proposed development provides for 90% building frontage along SE 5th Avenue. The proposed development meets and/or exceeds the dimensional requirements of Table 4.4.13(c) as depicted on the various plan sets.

Civic Open Space: The subject development site is 13,760 s.f. which is below the min. 20,000 s.f. site requirement for providing civic space.

Arcades: Table 4.4.13(J) provides for the dimensional requirements for arcades along the primary street frontage of a project. The proposed development meets and exceeds these requirements and also provides for street tree plantings as well as trees in front of the arcade columns. The arcade provides visual interest to the pedestrian scale of the building, weather protection for the retail entry, as well as provides for the ability to add balconies to the upper floors.

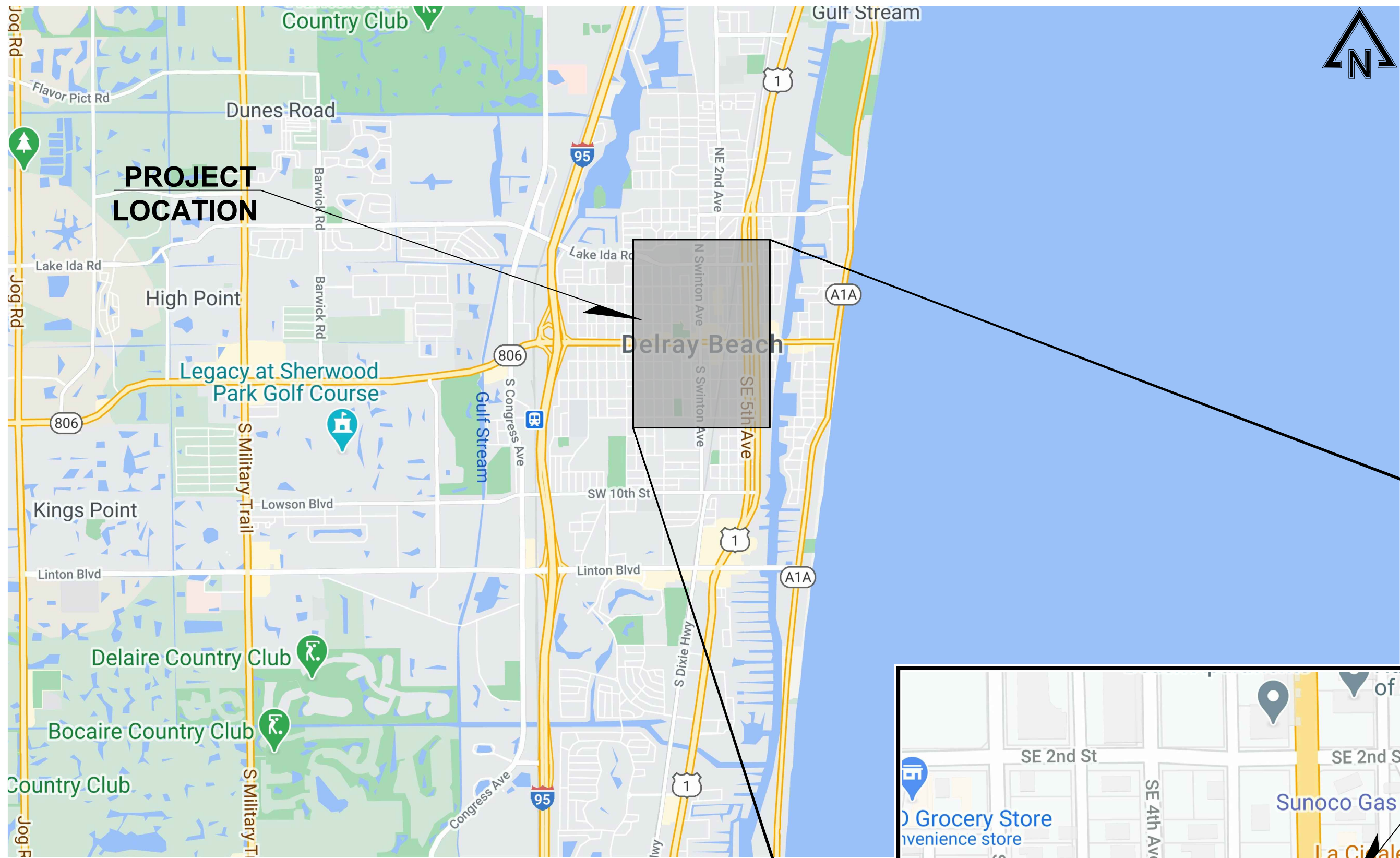
Architecture: The project architect has created a Masonry Modern architectural form for the building which uses masonry in its clean form along with modern lines and glazing to accentuate the building and play off of the more recent modern architecture along the corridor. The internal material changes are showcased on the stairway which can be seen from the exterior looking into the structure.

Parking: The parking generation rate for the project indicates 17 spaces and 17 spaces have been provided on-site within the covered parking under the building.

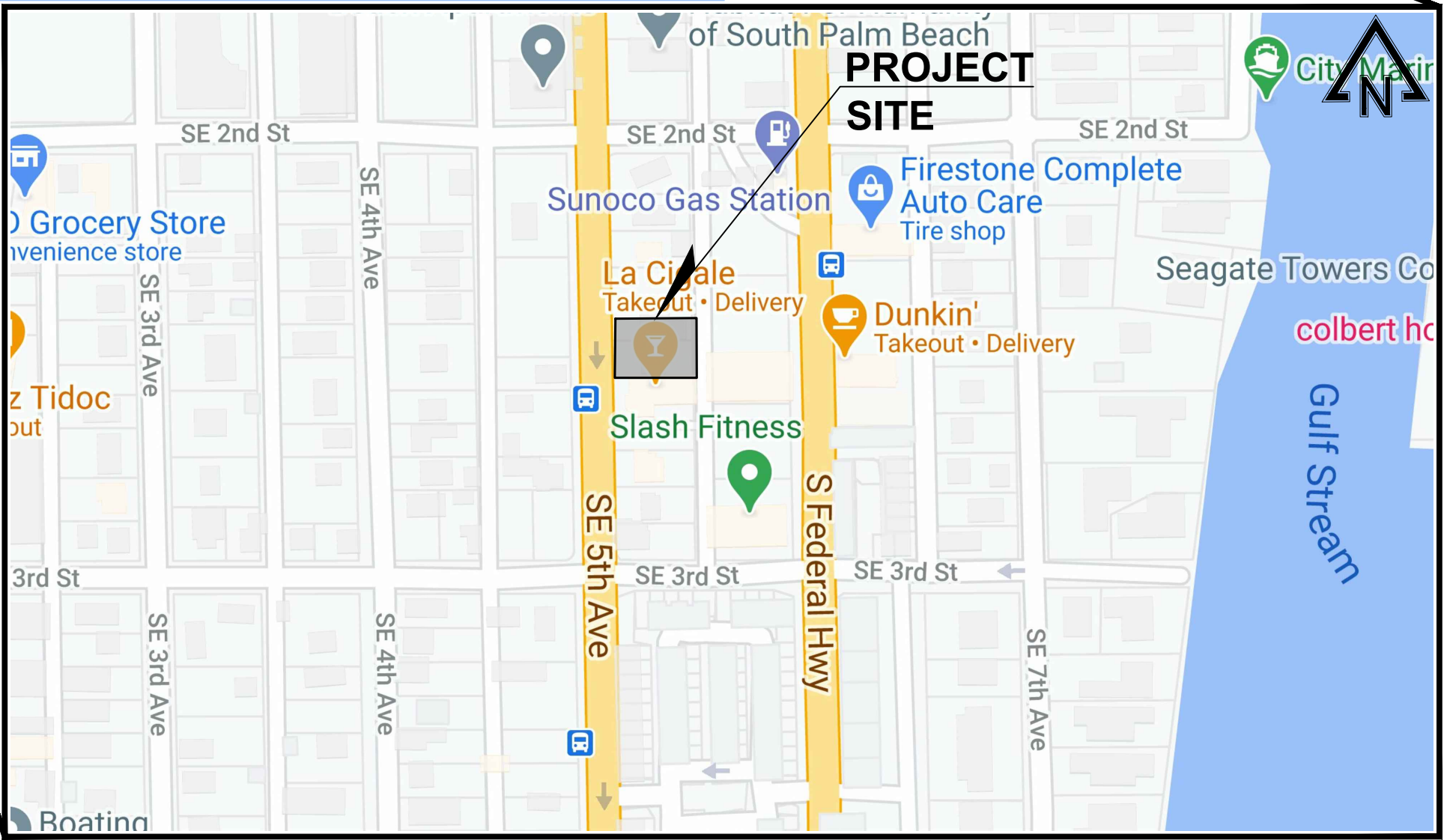
Heat Island Effect: Similar to the adjacent redevelopments, this project proposed ground level landscape in all areas not covered by buildings as well as roof top landscape that does not exceed the maximum code limitations. We do not anticipate any negative impacts or increases in heat island effect as a part of this proposal.

235 SE 5TH AVENUE
PROPOSED RETAIL/OFFICE & RESIDENTIAL BLDG.
DELRAY BEACH, FLORIDA

PREPARED FOR
CITY OF DELRAY BEACH
MAY 12, 2023



SECTION 16, TOWNSHIP 46S, RANGE 43E
VICINITY MAP
NTS



SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER
2	DEMOLITION & EROSION CONTROL PLAN
3	PRELIMINARY ENGINEERING PLAN
4	DETAILS
5	DETAILS
6	DETAILS
7	DETAILS
8	DETAILS

TOTAL NO OF SHEETS - 8

50% CD
SUBMITTAL

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DELRAY BEACH, FLORIDA
COVER

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DATE	DRAWN	PROJECT	ENGINEER	PROJECT	CHECKED
MAY 12, 2023	KG	ACS	RB	ACS	
1	8				
JOB NO.	20084.01				

1. PROVISIONS FOR CONTROL OF POLLUTION:

- A. SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- B. FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(b)) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- C. EXCAVATION OF WATER MANAGEMENT FACILITIES SHOULD OCCUR IMMEDIATELY AFTER CLEARING AND GRUBBING TO SERVE AS A SEDIMENT TRAP OR CATCHMENT FOR STORMWATER RUNOFF FROM EXPOSED SOILS.
- D. CONSTRUCT PERIMETER BERM OR GRADE SITE TO PREVENT OFF-SITE DISCHARGE OF STORMWATER RUNOFF.
- E. PLACE SILT FENCES OR HAY BALES TO CONTAIN EROSION IN AREAS PRONE TO STORMWATER RUNOFF EROSION VELOCITIES.
- F. PROTECT EACH INLET THAT MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE WITH SILT FENCE/FILTER FABRIC STAKED IN PLACE.
- G. INSTALL TURBIDITY SCREENS WITHIN THE RECEIVING BODY BEFORE COMMENCEMENT OF BANK IMPROVEMENTS AND OUTFALL INSTALLATIONS.
- H. TAKE ALL REASONABLE PRECAUTIONS TO CONTROL DUST AND UNCONTROLLED PARTICULATE MATTER. THE APPLICATION OF WATER IS AN ACCEPTABLE DUST SUPPRESSANT ON ROADWAYS, STOCKPILES, AND ANY OTHER AREAS WITHIN THE PROJECT BOUNDARIES. DUST SUPPRESSANT WATER SHALL BE APPLIED IN SUCH A MANNER SO AS NOT TO PRODUCE EXCESS RUNOFF AND EROSION.
- I. TURBIDITY IN RECEIVING WATER SHALL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND.
- J. TAKE PRECAUTIONS IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.

2. OTHER CONTROLS AND MATERIAL MANAGEMENT PRACTICES:

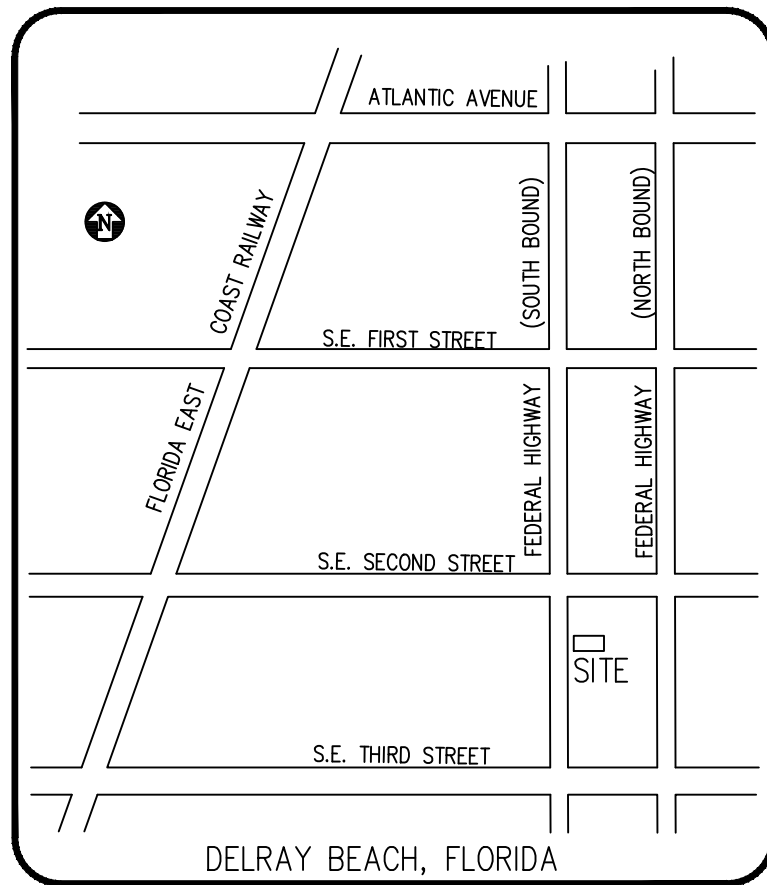
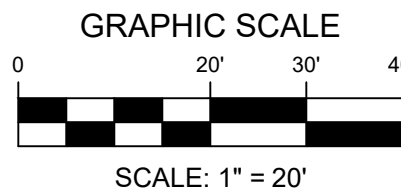
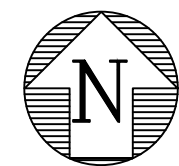
- A. FERTILIZERS - APPLY FERTILIZERS ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. IF STORED ON-SITE, PROVIDE COVERED STORAGE. TRANSFER THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER TO A SEALABLE CONTAINER TO AVOID SPILLS.
- B. HAZARDOUS WASTE - DISPOSE OF IN A MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS.
- C. NOISE - MINIMIZE NOISE CAUSED BY THE OPERATION OF EQUIPMENT. ABIDE BY ALL LOCAL REGULATIONS COVERING NOISE CONTROL.
- D. ODORS - DO NOT CAUSE OBJECTIONABLE ODORS TO BE GENERATED.
- E. OFFSITE VEHICLE TRACKING - PROVIDE A ROCK CONSTRUCTION ENTRANCE TO REDUCE VEHICLE TRACKING OF SEDIMENTS. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARPULIN.
- F. OPEN BURNING - NO OPEN FIRES OR BURNING OF MATERIALS OTHER THAN VEGETATIVE LAND CLEARING DEBRIS. OBTAIN PRIOR APPROVAL TO BURN FROM THE LOCAL AUTHORITY AND APPLICABLE FIRE MARSHALL.
- G. PAINTS - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE PAINT MANUFACTURER'S INSTRUCTIONS AND STATE OR LOCAL REGULATIONS.
- H. PESTICIDES AND HERBICIDES - ANY PESTICIDE AND HERBICIDE USAGE WILL BE BY STATE LICENSED APPLICATORS.
- I. PETROLEUM PRODUCTS - MONITOR ON-SITE VEHICLES AND TANKS FOR LEAKS. THEY SHALL RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. USE ASPHALT SUBSTANCES ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE SECONDARY CONTAINMENT FOR ALL ABOVE GROUND FUEL TANKS.
- J. SANITARY WASTE - COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT LEAST TWICE PER WEEK.
- K. WASTE MATERIALS - COLLECT AND STORE ALL WASTE MATERIALS IN A SECURELY COVERED METAL DUMPSTER PROVIDED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. DEPOSIT ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE IN THE DUMPSTER. THE DUMPSTER IS TO BE EMPLOYED AS NEEDED SO THERE IS NO OVERFLOW. HAUL TRASH TO A STATE APPROVED LANDFILL FACILITY.

3. MAINTENANCE / INSPECTION PROCEDURES:

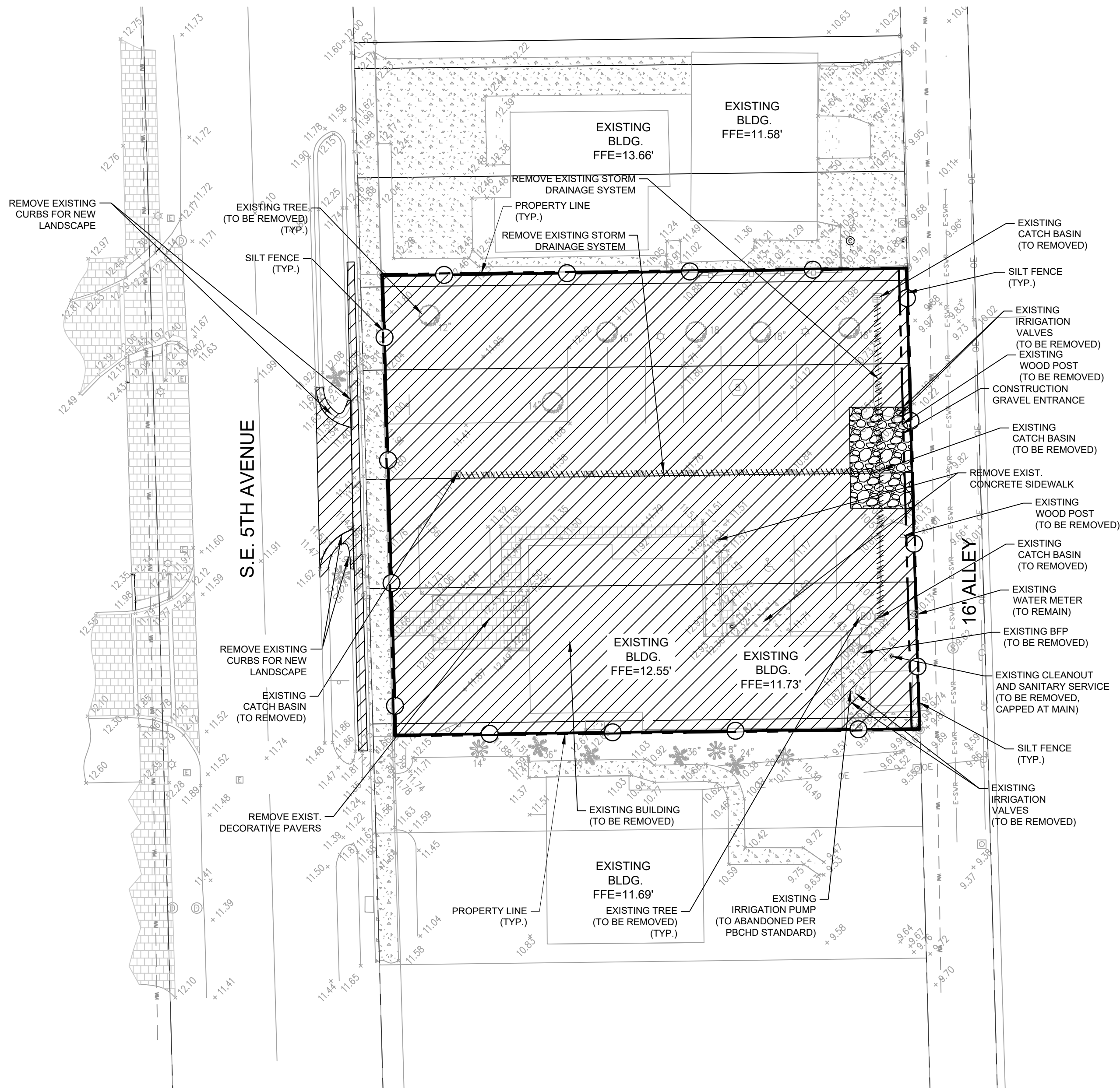
- A. INSPECT ALL CONTROL MEASURES AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
- B. MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT MUST BE INITIATED WITHIN 24 HOURS OF THE ON-SITE INSPECTION REPORT.
- C. REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- D. INSPECT SILT FENCE FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- E. PREPARE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS FOUND AT THE END OF THIS SECTION.
- F. THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND COMPLETING THE INSPECTION AND MAINTENANCE REPORTS.
- G. NON-STORMWATER DISCHARGES ARE PERMISSIBLE PROVIDED THAT DISCHARGE DOES NOT CAUSE EROSION OR CREATE TURBIDITY WITHIN THE RECEIVING BODY AND ARE IN COMPLIANCE WITH REGULATORY REQUIREMENTS. THESE DISCHARGES MAY INCLUDE WATER LINE FLUSHING, FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, DUST CONTROL, IRRIGATION DRAINAGE, AIR CONDITIONING CONDENSATION, AND WATER USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.

GENERAL NOTES:

1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD.88) AND REFERENCE THE FOLLOWING BENCHMARK:
Z233 ELEVATION=17.589 NGVD 1929
ELEVATION=16.029 NAVD 1988
CONVERSION FACTOR=1.549
2. ALL AREAS DISTURBED BY CONSTRUCTION WHICH INCLUDES ALL DRIVEWAYS, PAVERS ASPHALT, CONCRETE AND VEGETATION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
3. TOPOGRAPHIC SURVEY PERFORMED BY ENGENUITY GROUP, INC., DATED 09/17/20.
4. ALL REMOVED DEBRIS & DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.

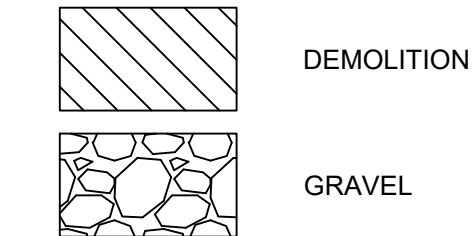


DELRAY BEACH, FLORIDA
SECTION 16, TOWNSHIP 46S, RANGE 43E
LOCATION MAP
N.T.S.



LEGEND:

PROPOSED



EXISTING:

x 0.00	MEASURED ELEVATION		UTILITY POLE
	CONCRETE		BACKFLOW PREVENTOR
	DECORATIVE PAVERS		STORM MANHOLE
	NUMBER OF PARKING SPACES		WIRING PULL BOX
	HANDICAPPED PARKING		OVERHEAD ELECTRIC
A/C	AIR CONDITIONING		UNDERGROUND SANITARY
	MAILBOX		UNDERGROUND STORM
	INFORMATION SIGN (DOUBLE POST)		UNDERGROUND WATER
	INFORMATION SIGN (SINGLE POST)	HDPE	HIGH DENSITY POLYETHYLENE PIPE
	WOODEN STOCKADE FENCE	VCP	VITRIFIED CLAY PIPE
	SET 5/8" IRON ROD & CAP LB #6603	R.O.W.	RIGHT-OF-WAY
	SET PK NAIL & DISK LB #6603	SQ.FT.	SQUARE FEET
	TEMPORARY BENCHMARK	CL	CENTERLINE
	IRRIGATION CONTROL VALVE	P.E.	POLYETHYLENE PIPE
	LIGHT POLE		CABBAGE PALM & SIZE
	CATCH BASIN		PALM TREE & SIZE
	SANITARY MANHOLE		BLACK OLIVE & SIZE
	CLEANOUT		OAK TREE & SIZE
	WATER METER		
	STREET LIGHT		

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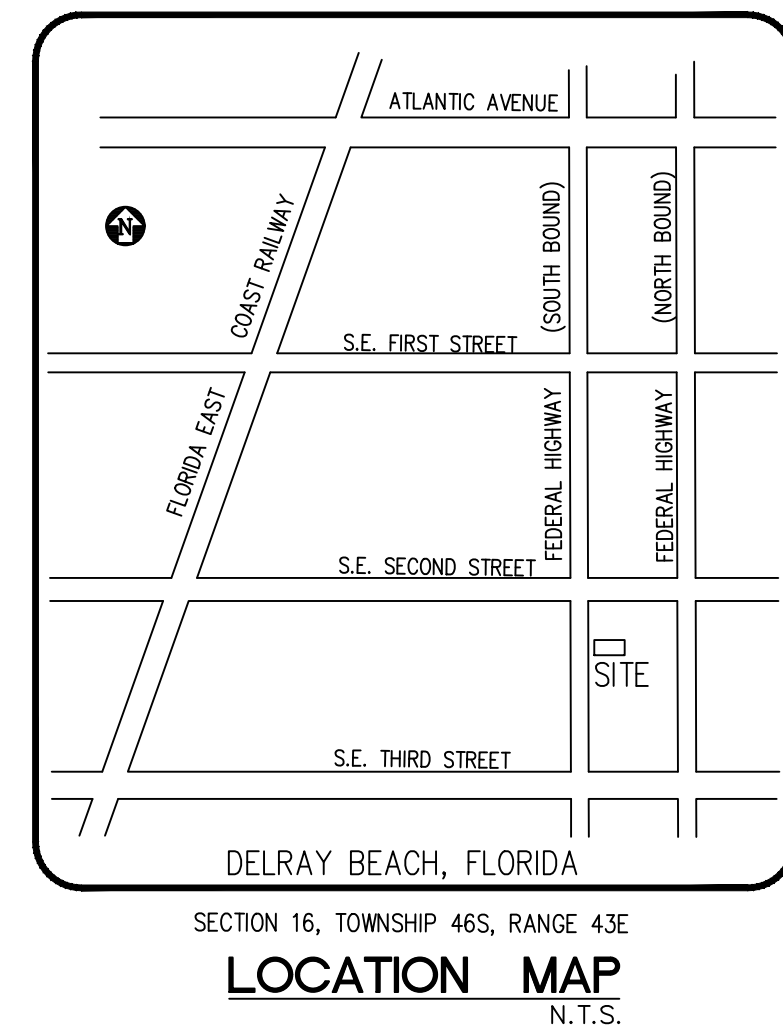
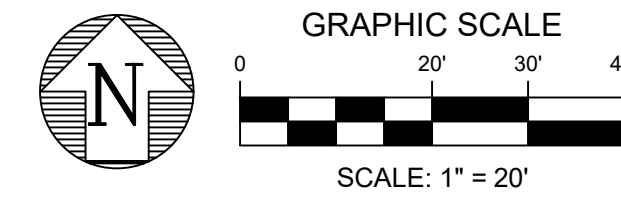
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DELRAY BEACH, FLORIDA
DEMOLITION & EROSION CONTROL PLAN

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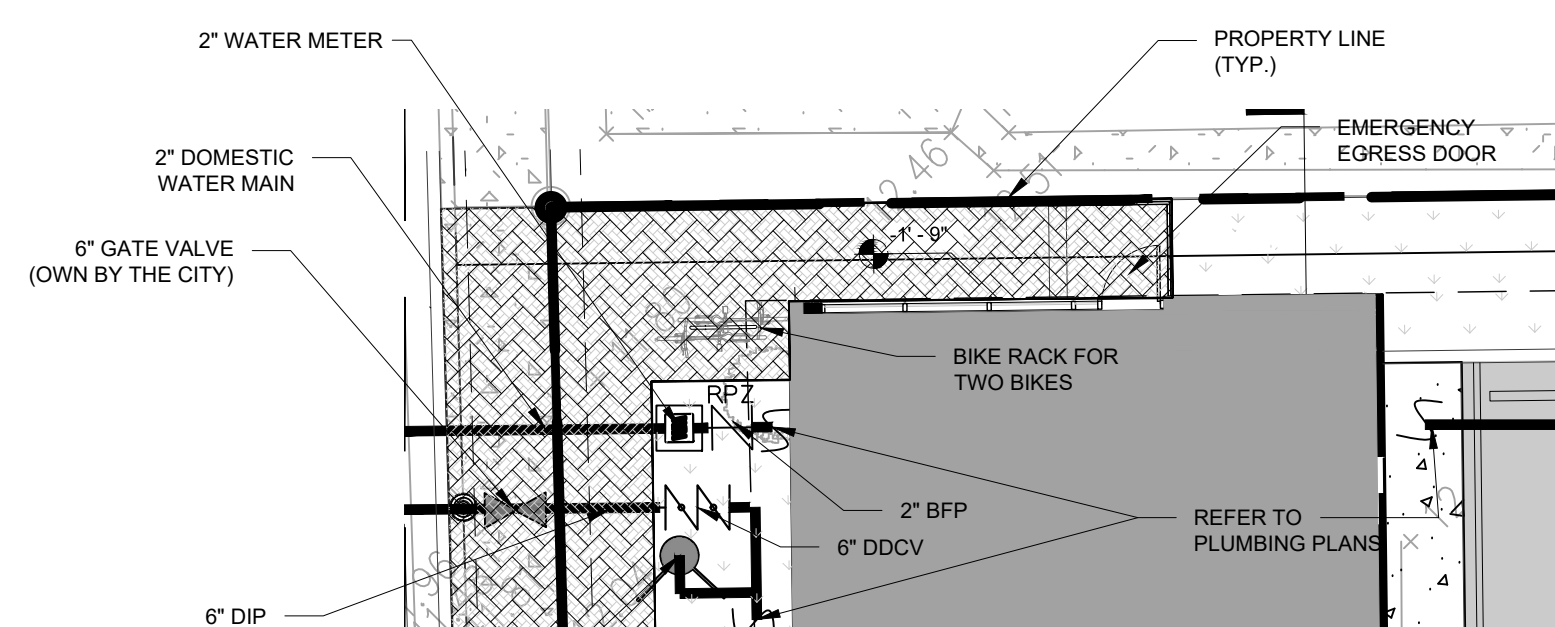
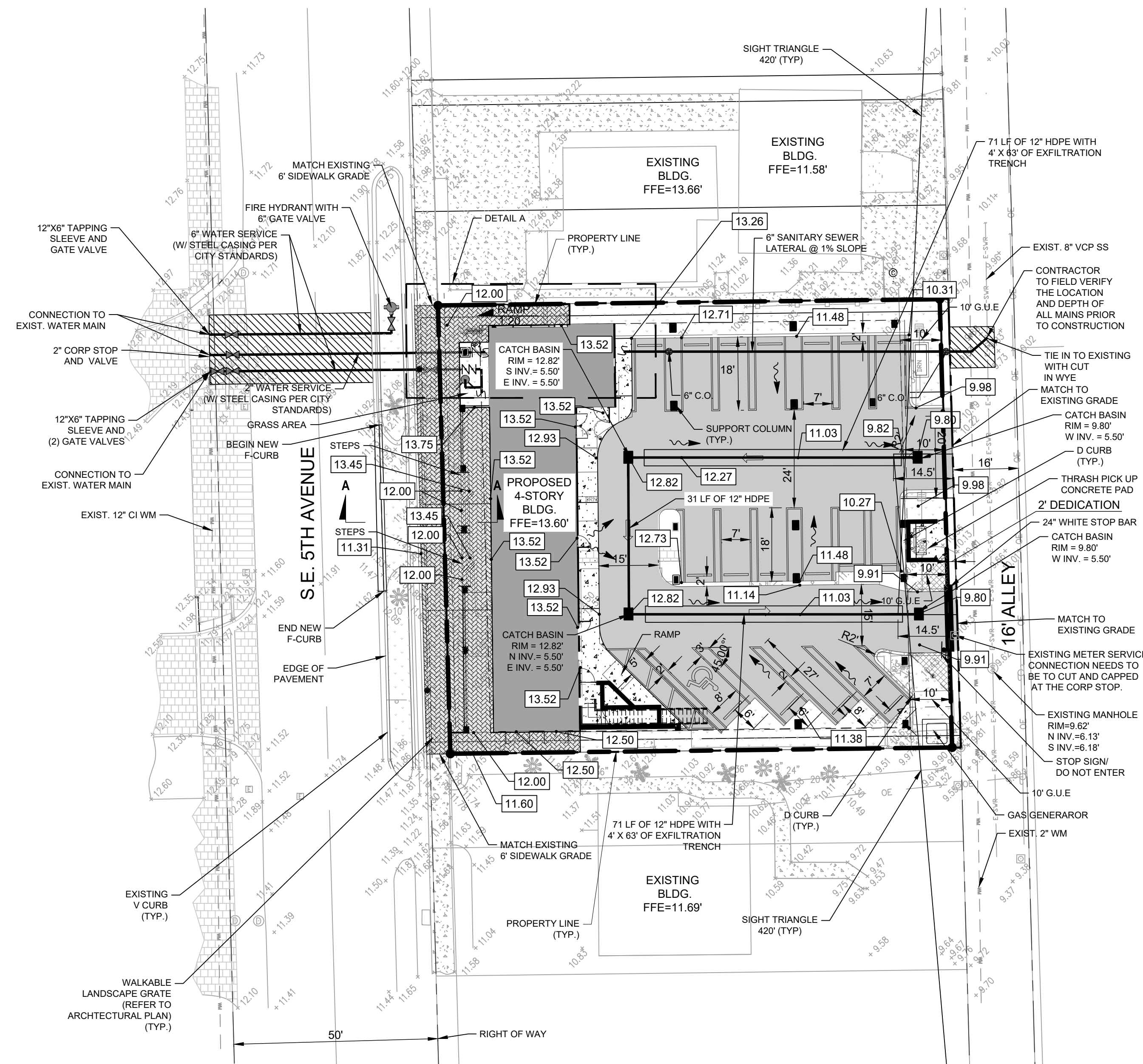
DATE	MAY 12, 2023	DRAWN	KG	PROJECT ENGINEER	ACS	PROJECT MANAGER	RB	CHECKED	ACS
PROJECT NO.	2	JOB NO.	20084.01						



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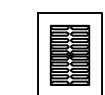
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NO. 72235



DETAIL B
SCALE: 1"=10'

LEGEND:

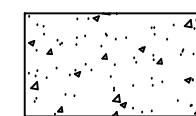
PROPOSED



CATCH BASIN



DRAINAGE MANHOLE



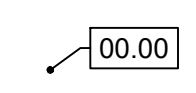
CONCRETE



CONCRETE PAVEMENT



PAVEMENT RESTORATION



PROPOSED ELEVATION



DRAINAGE FLOW DIRECTION

GENERAL NOTES:

1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND REFERENCE THE FOLLOWING BENCHMARK:
Z233 ELEVATION=17 569' NGVD 1929
ELEVATION=16.020' NAVD 1988
CONVERSION FACTOR=1.549
2. ALL AREAS DISTURBED BY CONSTRUCTION WHICH INCLUDES ALL DRIVEWAYS, PAVERS, ASPHALT, CONCRETE AND VEGETATION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
3. TOPOGRAPHIC SURVEY PERFORMED BY ENGENUITY GROUP, INC., DATED 09/03/20.
4. ALL REMOVED DEBRIS & DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
5. ANY TREE OR SHRUBS PLANTED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD1.1 & LD1.2.

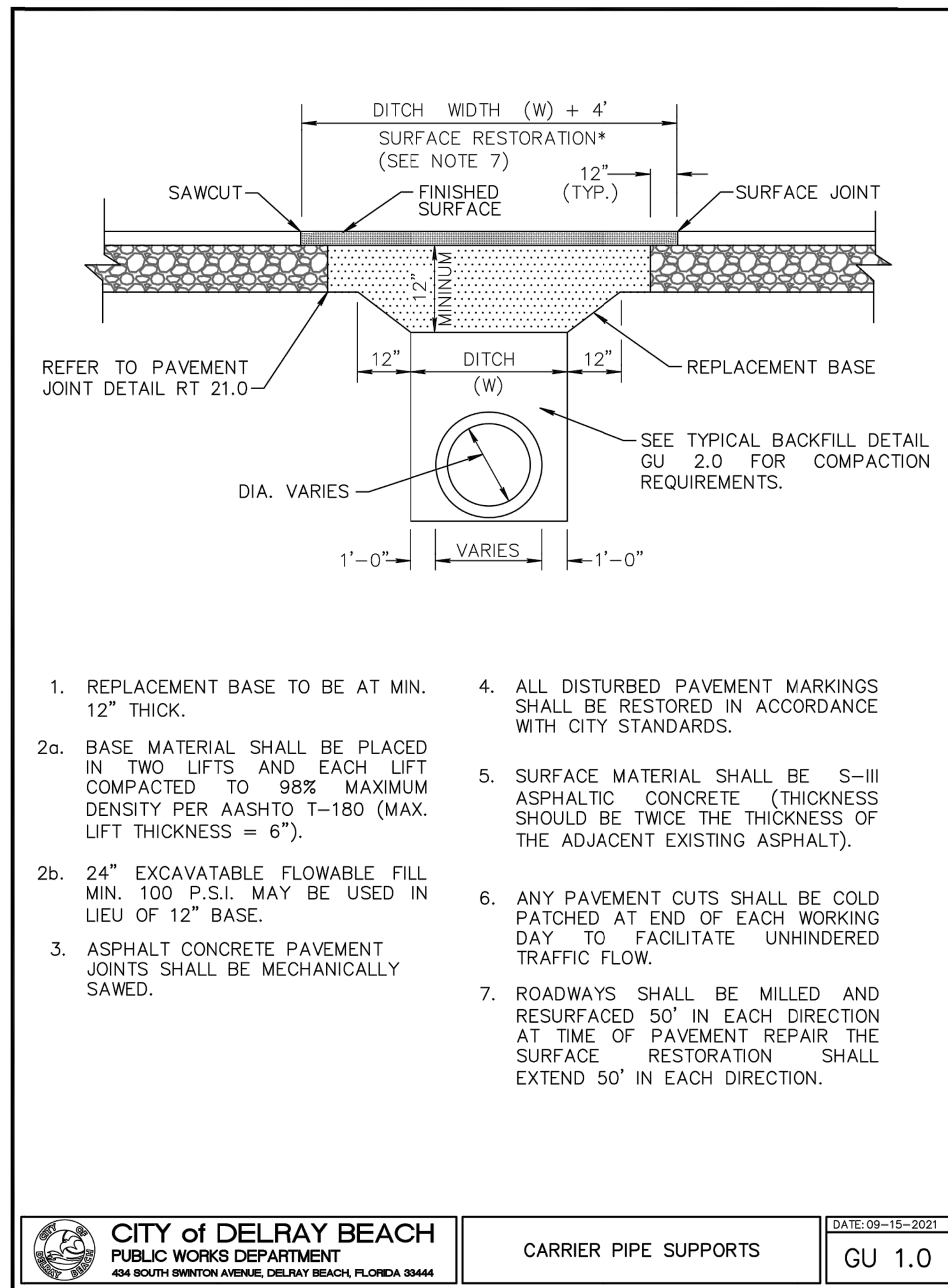
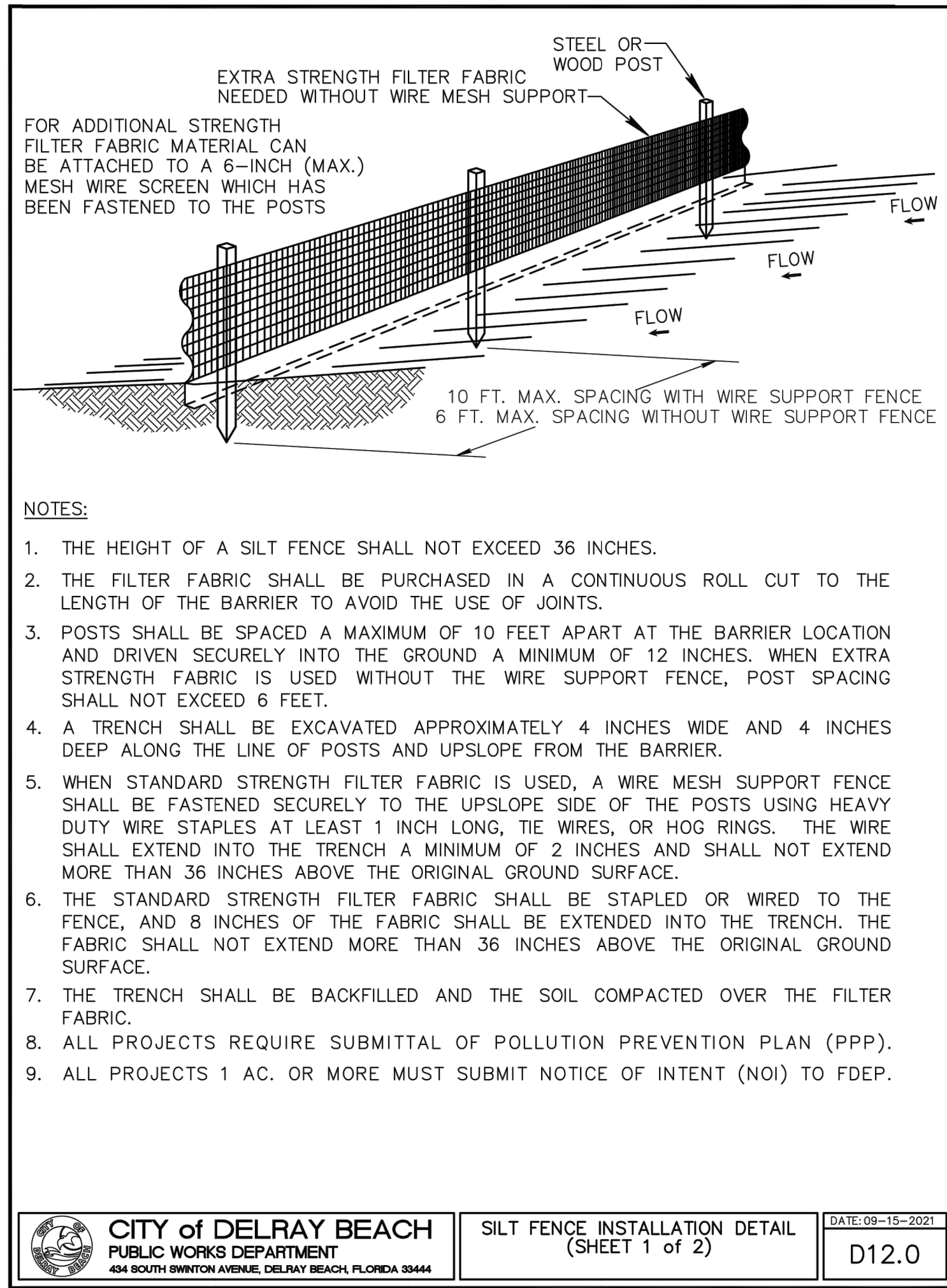
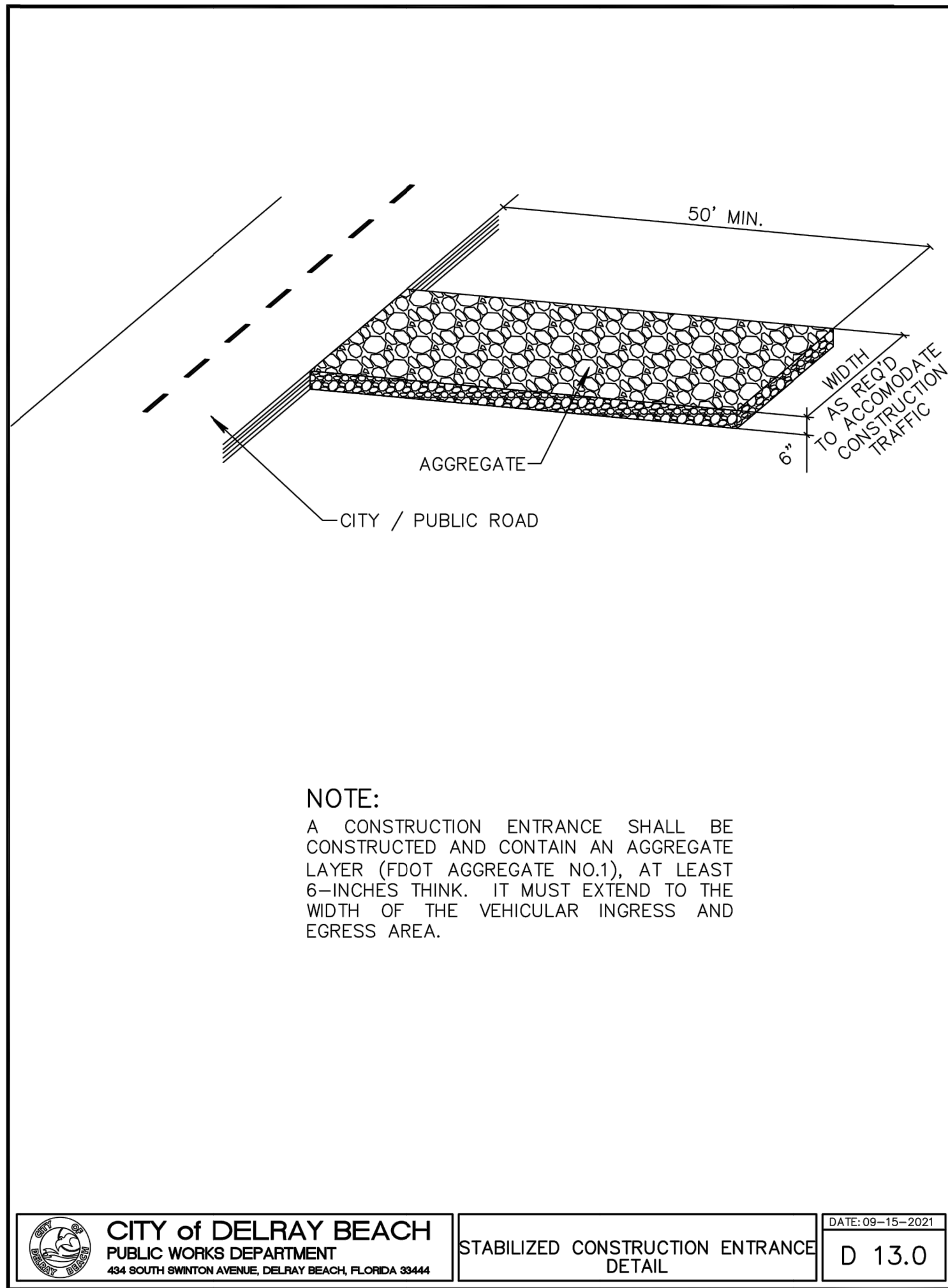
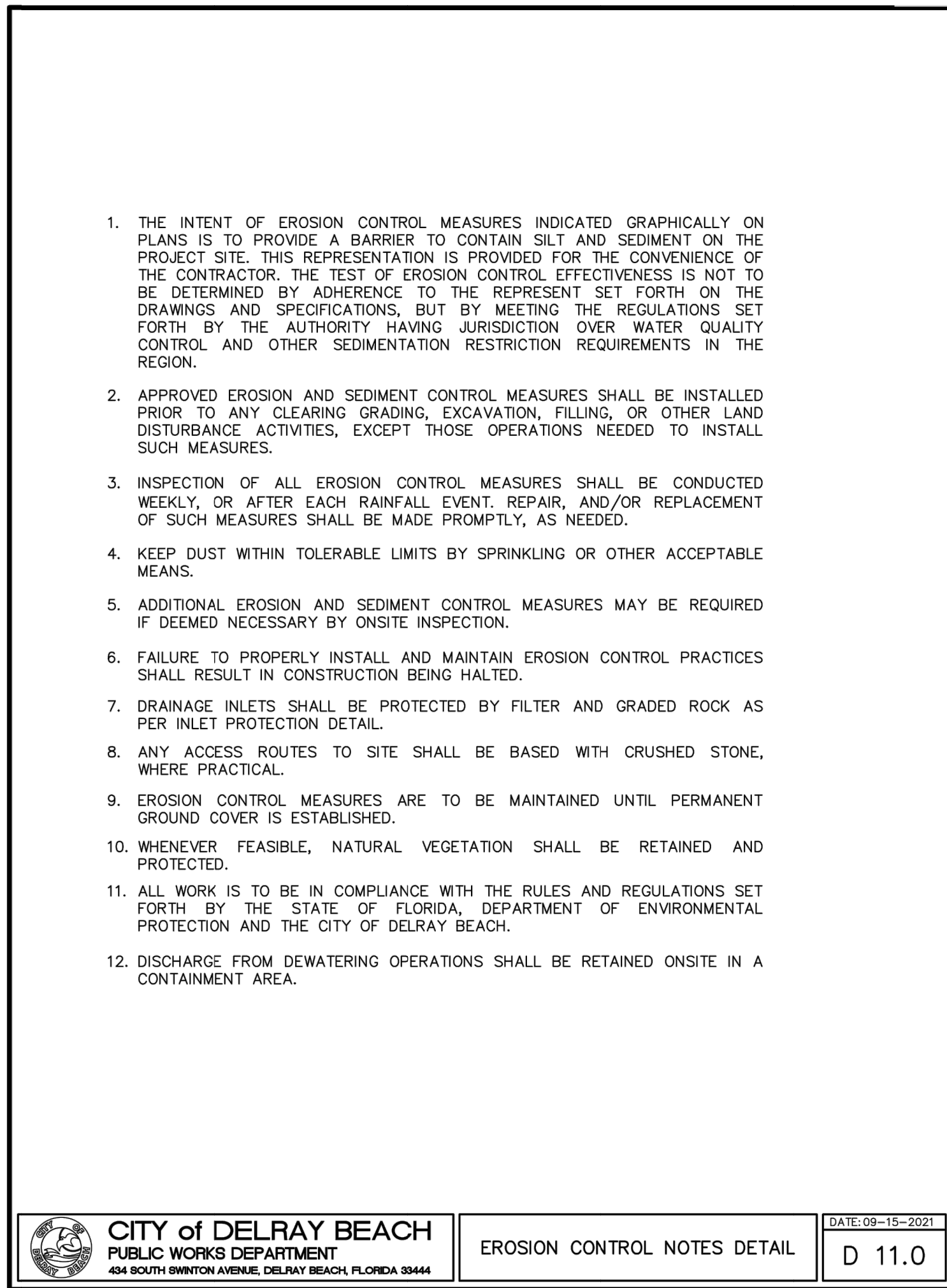
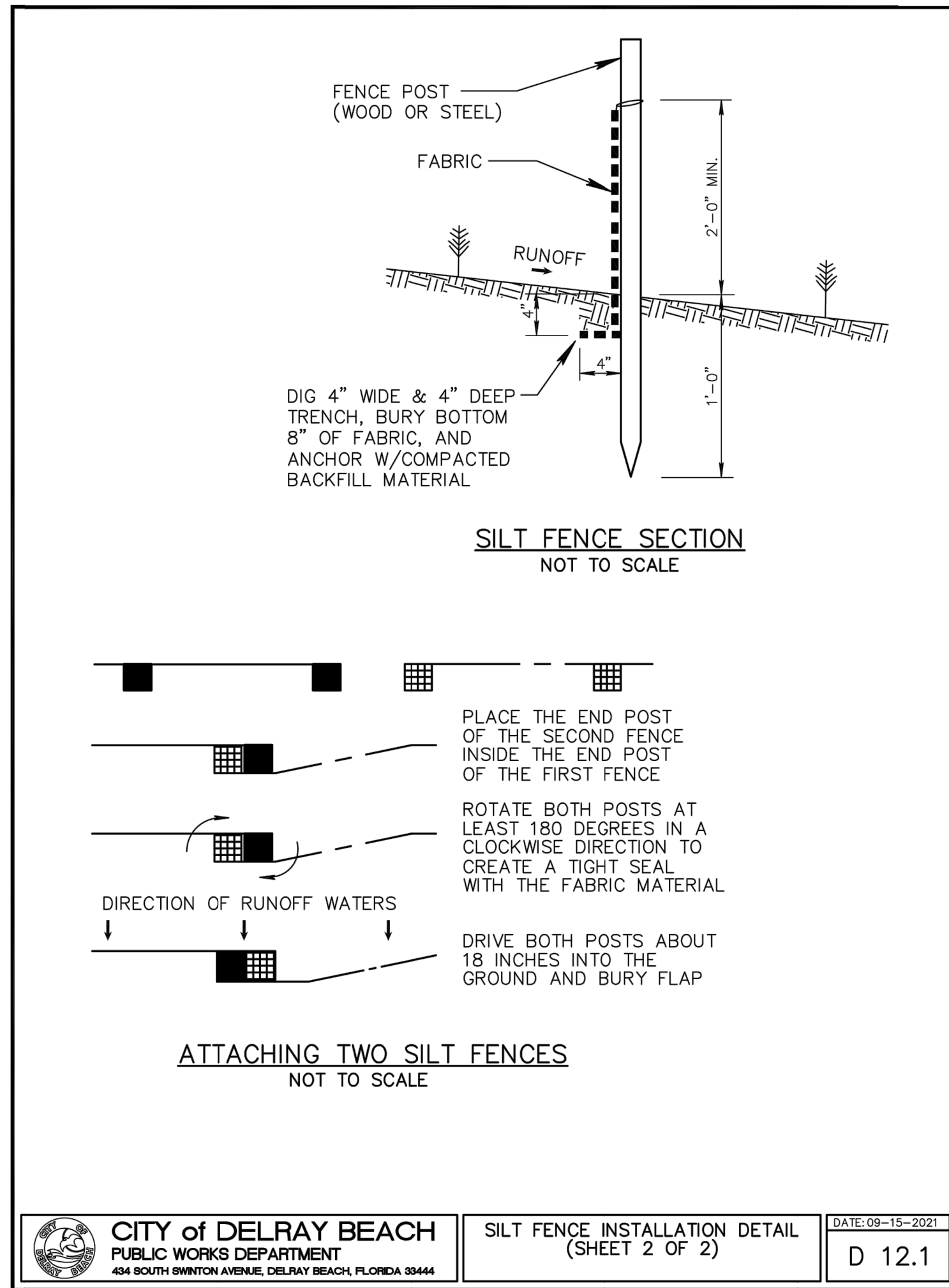
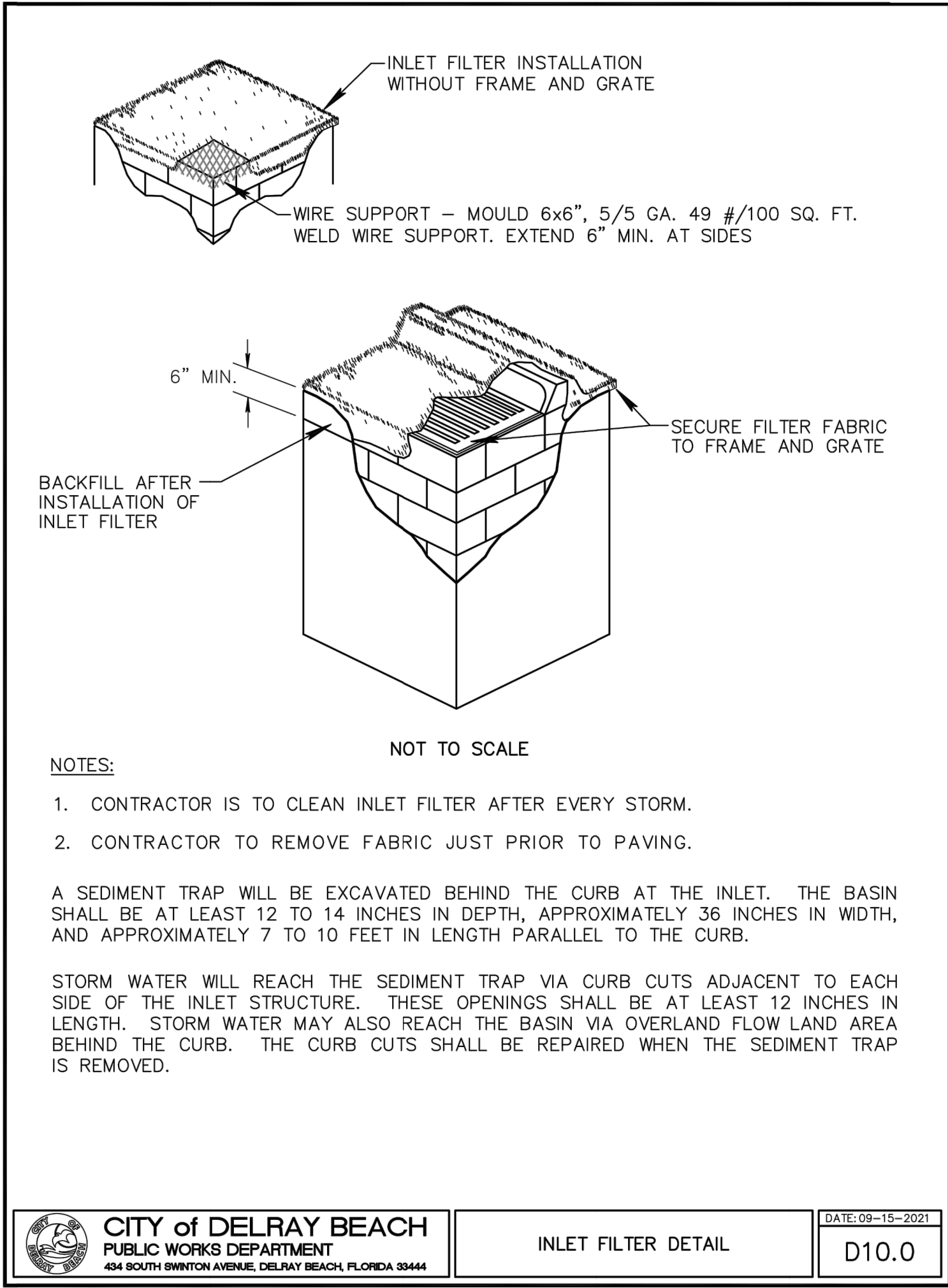
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JOB NO.		DATE		MAY 12, 2023	
20084 01		DRAWN		KG	
<div style="display: flex; justify-content: space-between; align-items: center;"> 3 8 </div>		PROJECT ENGINEER		ACS	
		PROJECT MANAGER		RB	
		CHECKED		ACS	



811

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DELRAY BEACH, FLORIDA
DETAILS

A Higher Standard of Excellence

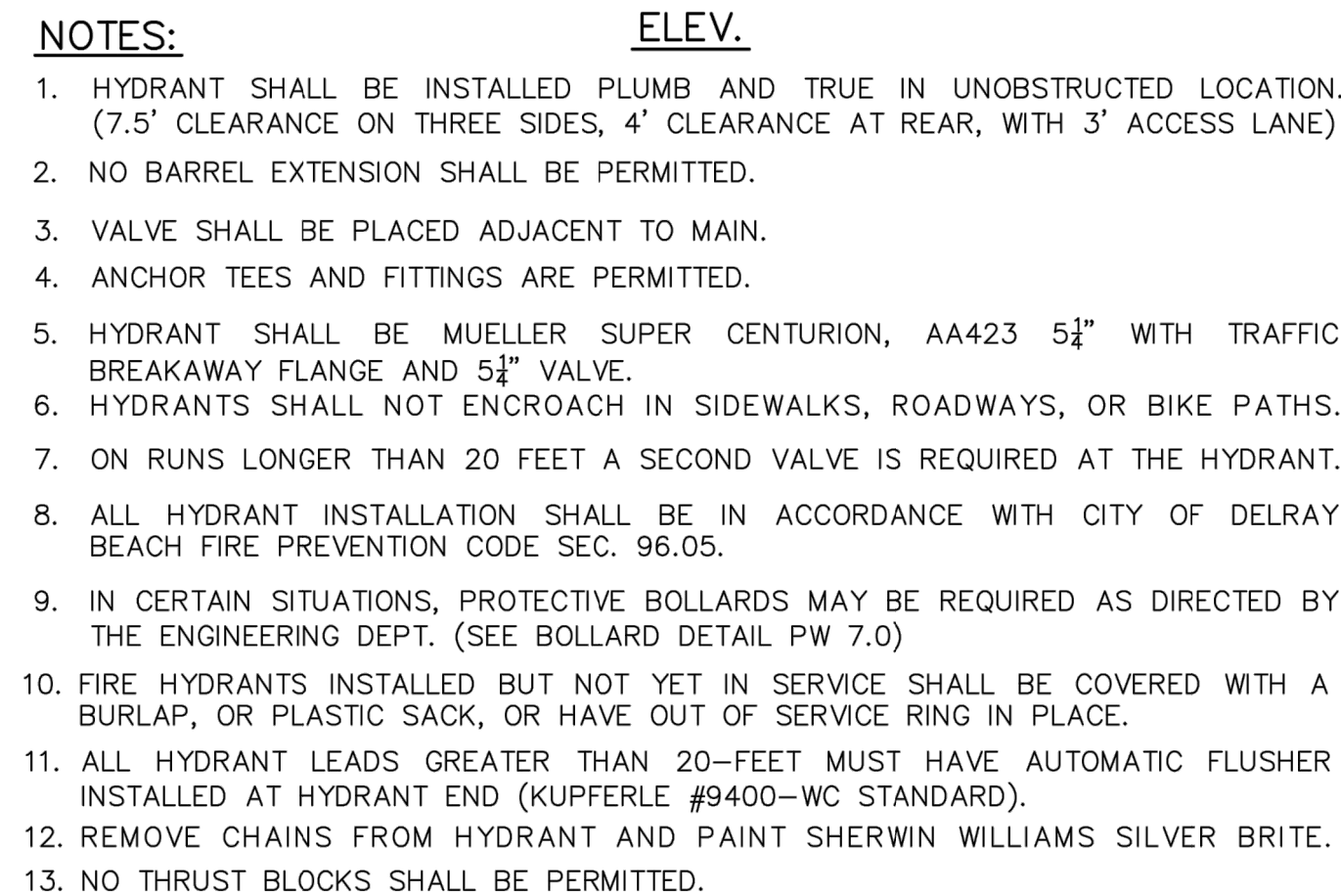
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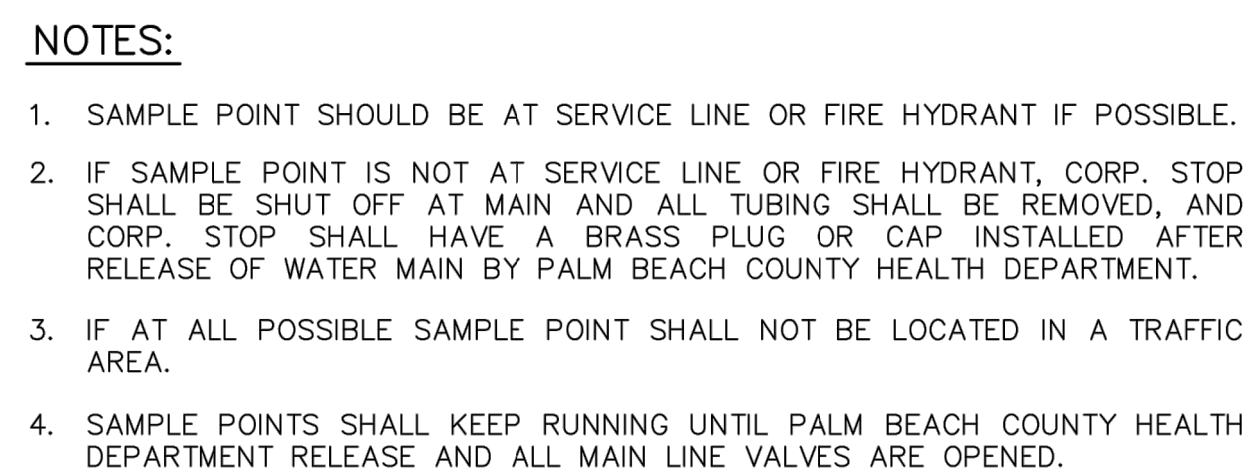
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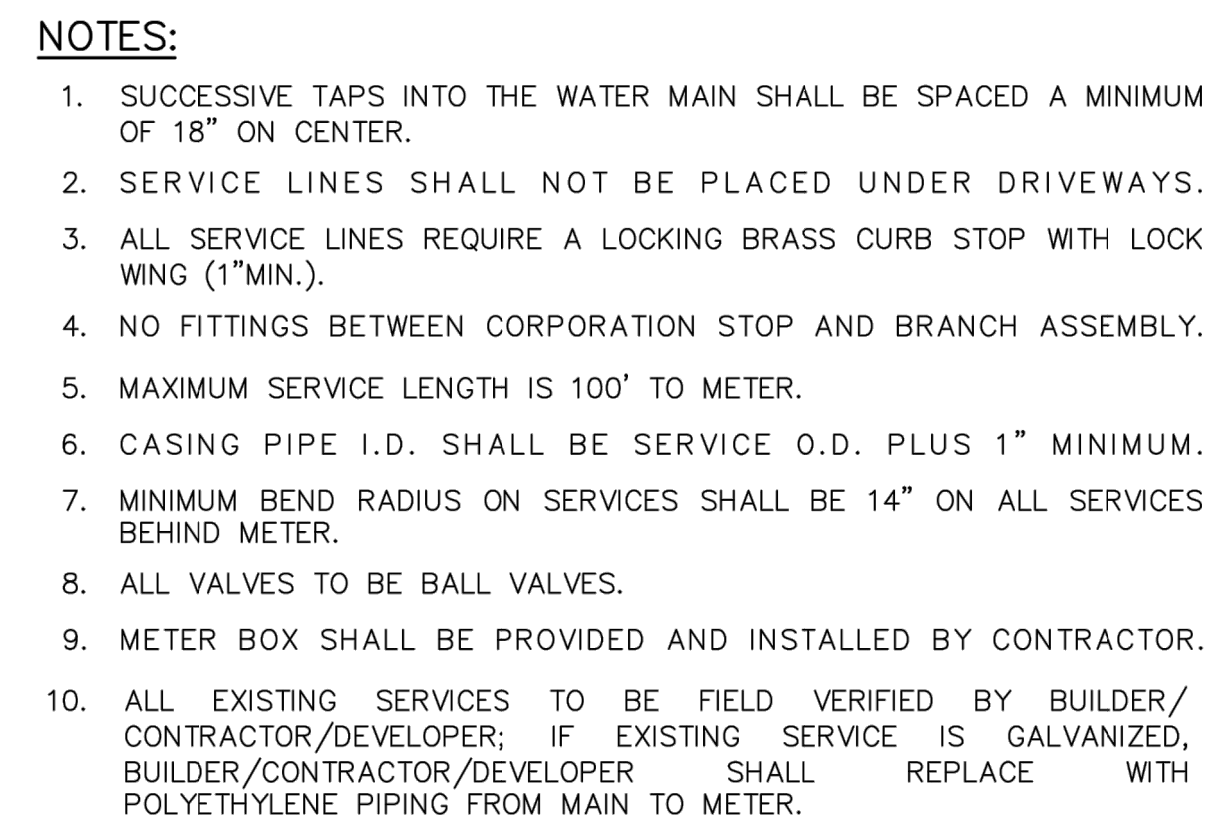
TYPICAL FIRE HYDRANT INSTALLATION

DATE: 09-15-2021
PW 60



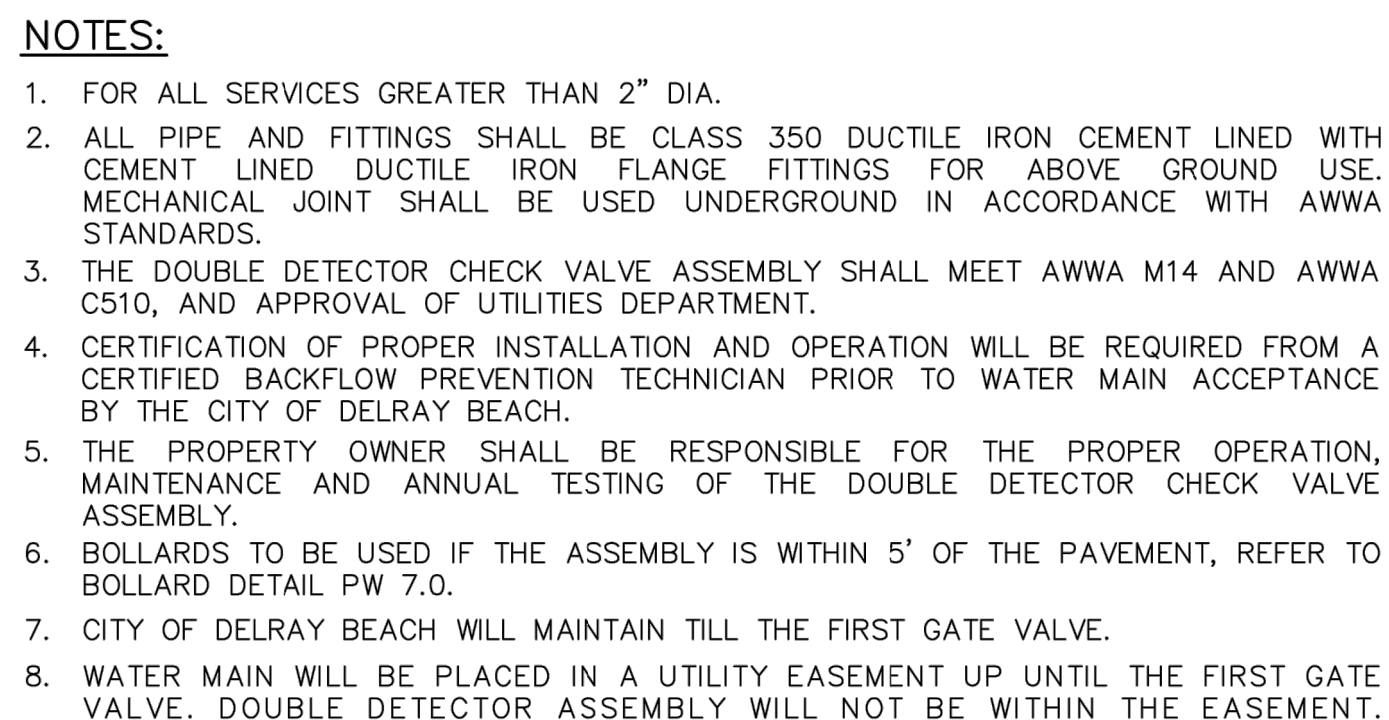
TYPICAL SAMPLE POINT

DATE: 09-15-2021
PW 10 0



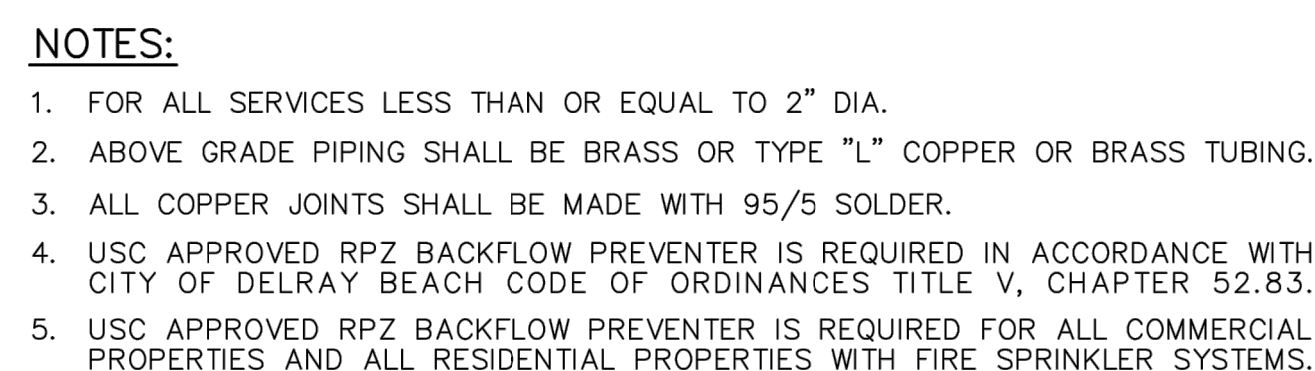
TYPICAL FIRE SERVICE CONNECTION

DATE: 09-15-2021
PW 140



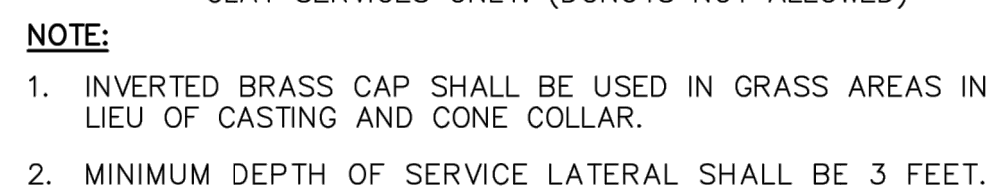
DOUBLE DETECTOR CHECK VALVE

DATE: 09-15-2021
PW 16 0



REDUCED PRESSURE ZONE BACKFLOW PREVENTER

DATE: 09-15-2021
PW 17.0



TYPICAL COMMERCIAL CLEANOUT

DATE: 09-15-2021
W/W 10.0



**50% CD
SUBMITTAL**

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235 SE 5TH AVENUE
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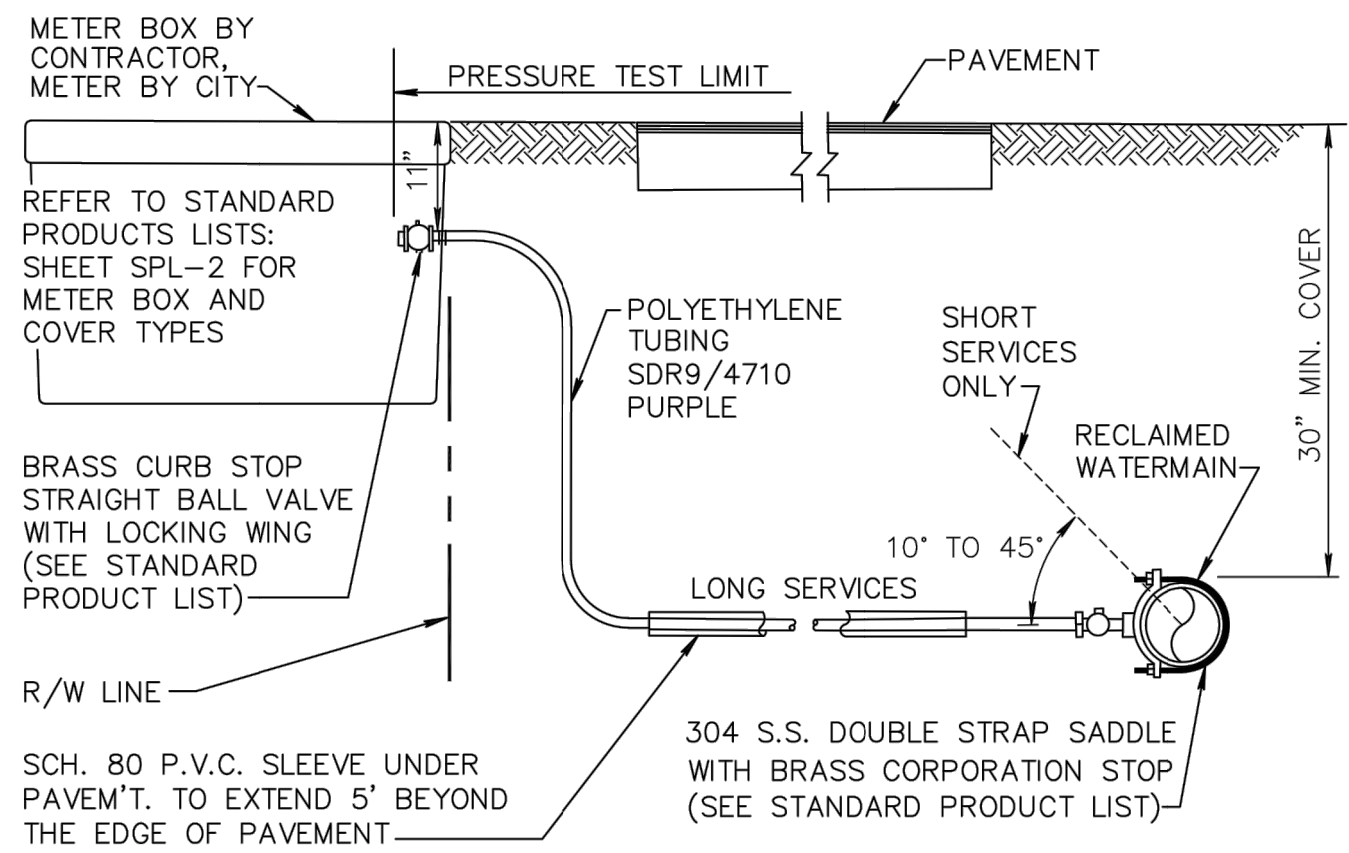
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JOB NO.		DATE	MAY 12, 2023
<div style="display: flex; justify-content: space-between;"> 6 8 </div>		DRAWN	KG
		PROJECT ENGINEER	ACS
		PROJECT MANAGER	RB
		CHECKED	ACS

PI QT: 6/11/2023 10:08:46 AM

SUBMITTAL 50% CD



NOTES:

- SUCCESSIVE TAPS INTO THE RECLAIMED WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- MINIMUM BEND RADIUS ON SERVICES SHALL NOT BE LESS THAN 30 TIMES THE PIPE DIAMETER ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY THE UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- METER BOX SHALL BE PERMANENTLY INFUSED PURPLE COLOR WITH LID MARKED "RECLAIMED WATER DO NOT DRINK."



CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL SERVICE CONNECTION
3/4" THROUGH 2"
(SHEET 1 OF 2)

DATE: 09-15-2021
RW 1.0

NOTES:

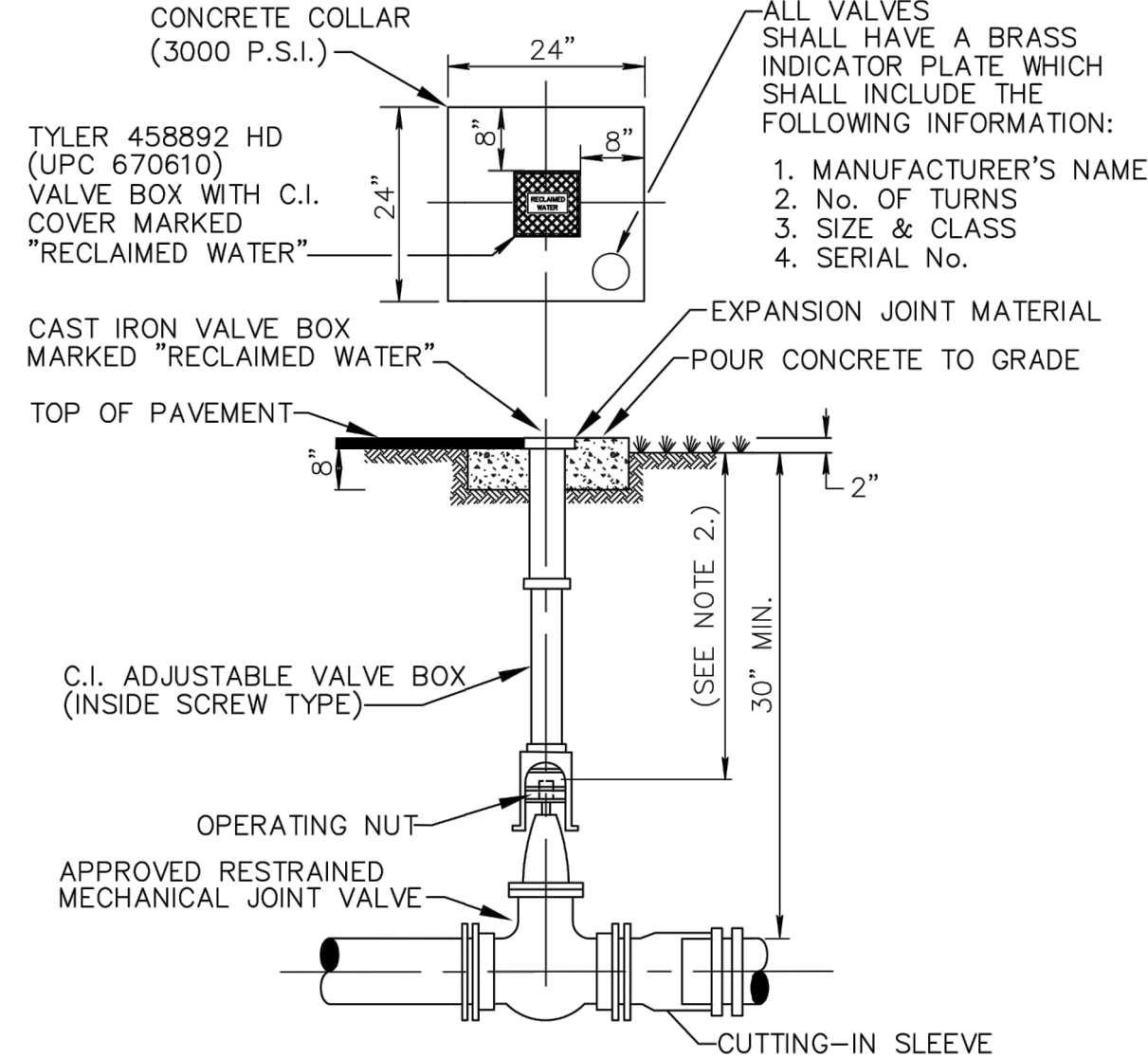
- 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN METER BOX AND ANY OBSTRUCTION.
- FOR INSTALLATION OF SERVICES UNDER ROADWAYS A CASING WILL BE USED. PVC SCH 80 OR HDPE SDR 9 PURPLE CASING. CASING TO EXTEND MIN. 5' BEYOND EDGE OF PAVEMENT. END OF CASING TO BE SEALED WITH CEMENT. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUG 1" MINIMUM.
- METER SHALL NOT BE PLACED IN SIDEWALK OR DRIVEWAY AREAS. SERVICE LINES AND TAPS SHALL NOT BE PLACED UNDER DRIVEWAYS WHENEVER POSSIBLE.
- DUAL CHECK VALVE IS REQUIRED FOR EVERY RECLAIMED WATER SERVICE. CHECK VALVE SHALL BE PLACED ON DEVELOPER SIDE OF METER.
- BEDDING (MIN. 4") AND COVER (MIN. 4") OVER SERVICE LINE OR CASING SHALL CONSIST OF FINE GRANULAR MATERIAL. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED WITH 2" MAXIMUM SIZE.
- METER TO BE SET BY CITY.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR INSTALLATION OF SERVICES BEYOND PRESSURE TEST LIMITS AS SPECIFIED BY THE CITY.
- PIPING VALVE & BOX TO BE PERMANENTLY IDENTIFIED AS "RECLAIMED WATER SYSTEM."



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TYPICAL SERVICE CONNECTION
3/4" THROUGH 2"
(SHEET 2 OF 2)

DATE: 09-15-2021
RW 1.1



NOTES:

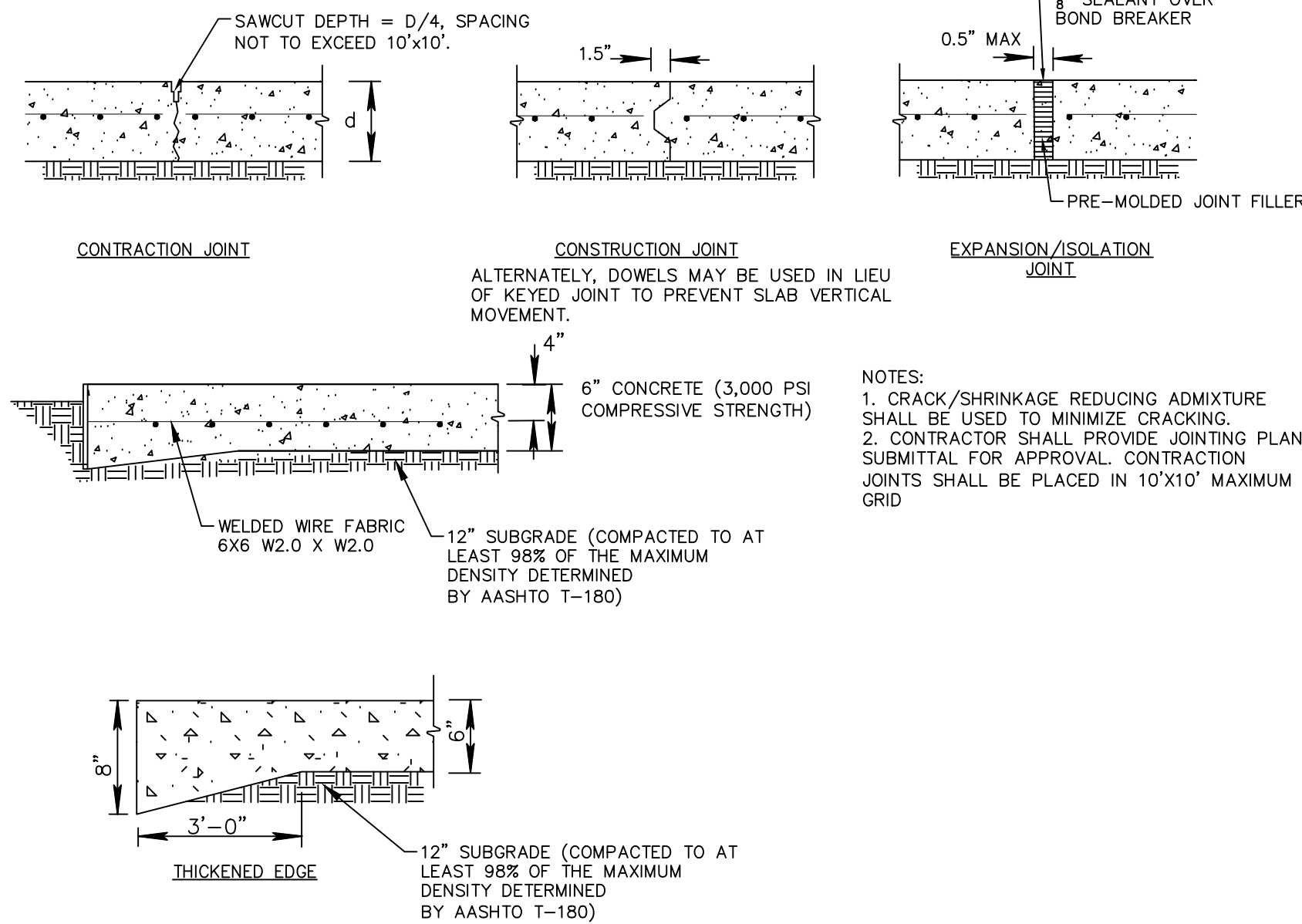
- WHEN OPERATING NUT IS DEEPER THAN 30" AN EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS ARE TO BE 304 STAINLESS STEEL. A HIGH STRENGTH STEEL CENTERING PLATE, WELDED TO THE EXTENSION, IS ALSO REQUIRED.
- VALVE BOXES SHALL HAVE COVERS MARKED "RECLAIMED WATER".
- EXTENSION VALVE BOX TO BE D.I.P. (COLOR: PURPLE)
- A CUT-IN INSTALLATION SHALL REQUIRE RESTRAINED JOINTS THROUGHOUT ASSEMBLY.
- AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING AN APPROVED RESTRAINT METHOD.



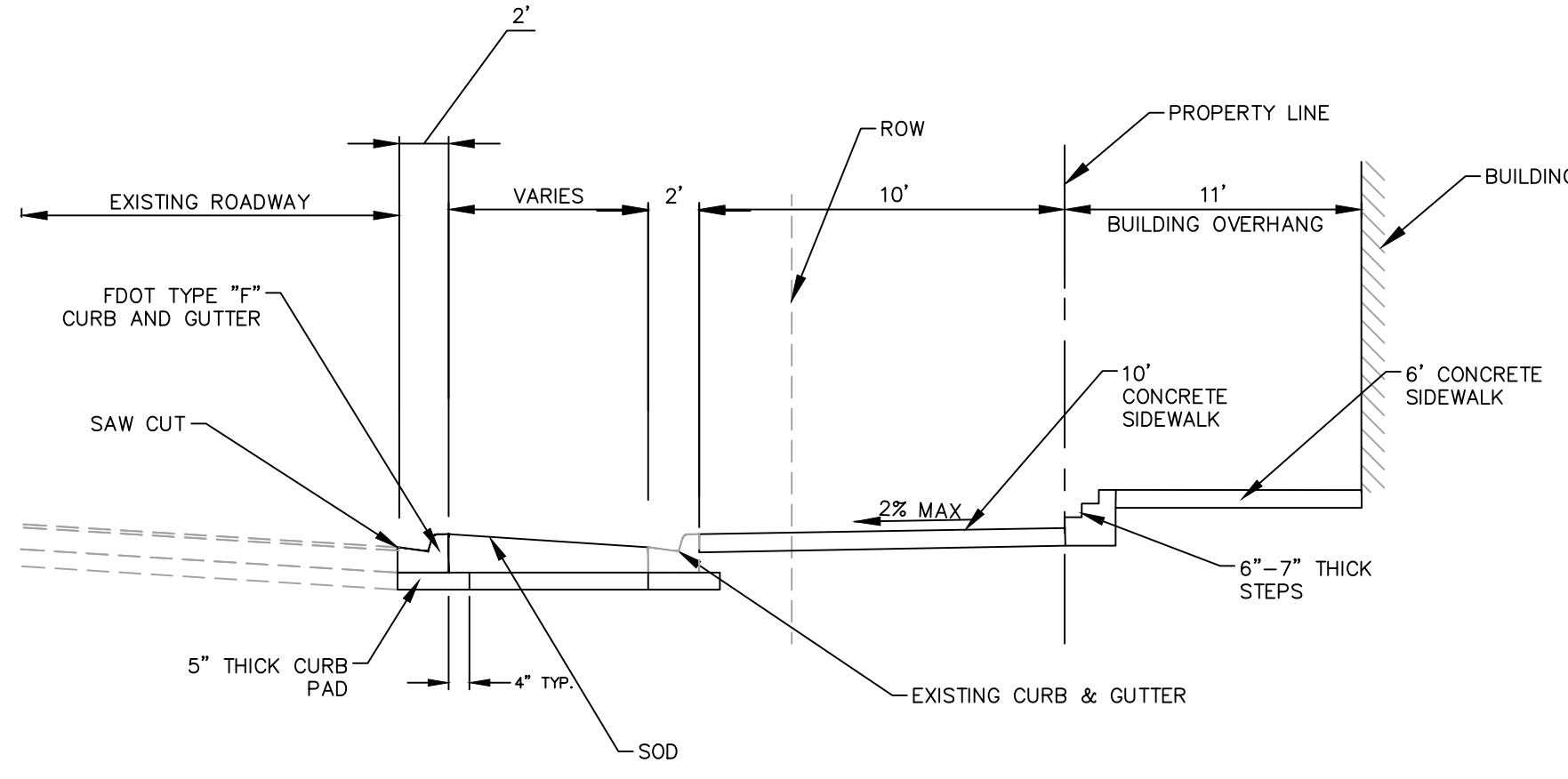
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TYPICAL: GATE VALVE SETTING AND MAIN CUT-IN DETAIL

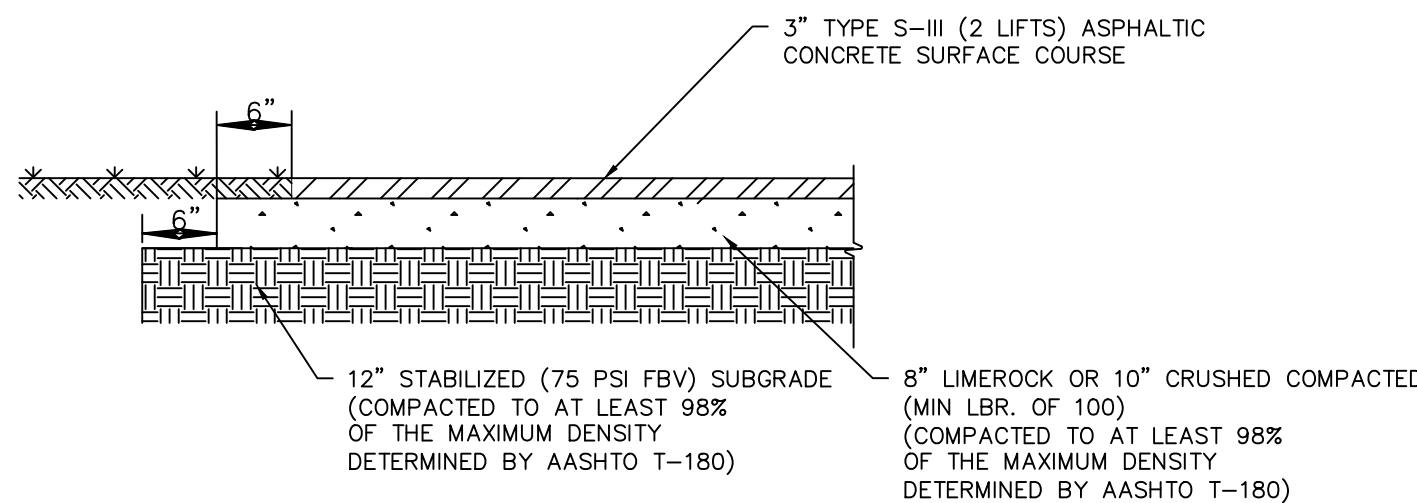
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RW 6.0



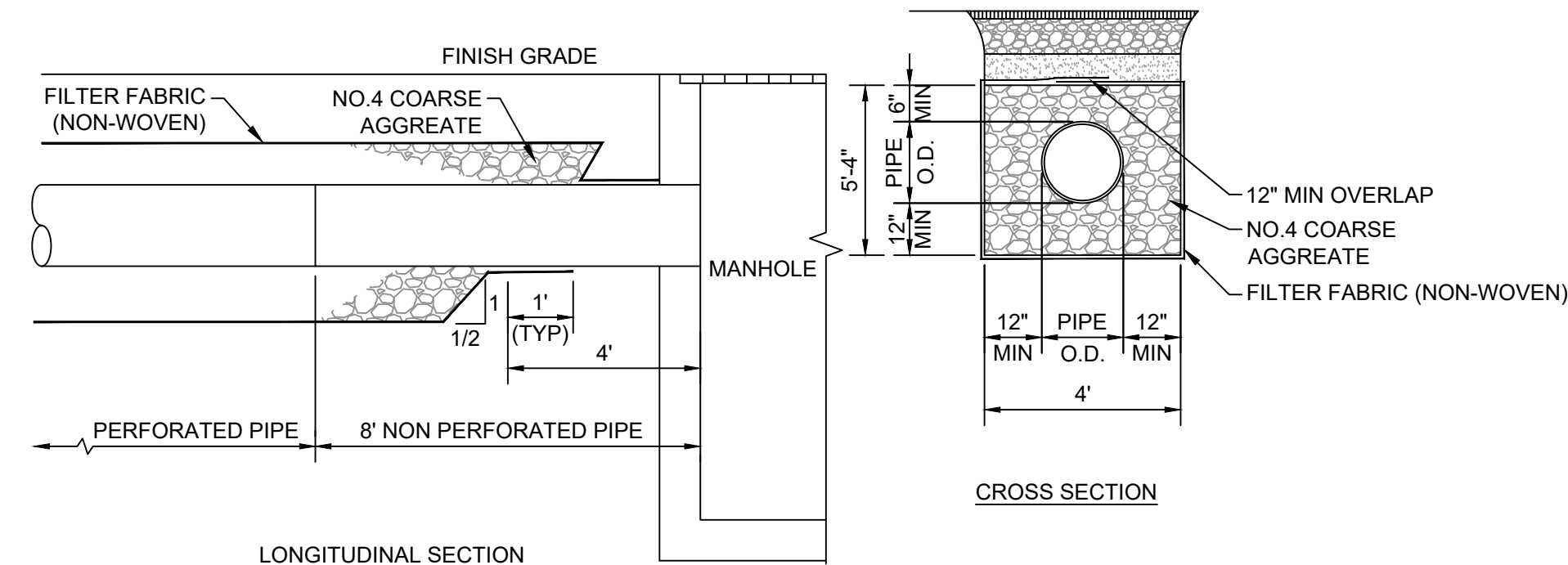
CONCRETE PAVEMENT SECTION



SECTION A-A
NTS



ASPHALT PAVEMENT SECTION-OFFSITE



NOTE:

EXFILTRATION TRENCHES SHALL BE INSTALLED IN THE CENTER OF NORTH BOUND LANE.

EXFILTRATION TRENCH

**50% CD
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**Know what's below.
Call before you dig.**

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REVISIONS		NO.	DATE	REMARKS	BY

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DATE	MAY 12, 2023	DRAWN	KG	PROJECT ENGINEER	ACS	PROJECT MANAGER	RB	CHECKED	ACS
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DATE	MAY 12, 2023	DRAWN	KG	PROJECT ENGINEER	ACS	PROJECT MANAGER	RB	CHECKED	ACS

JOB NO.
20084.01

GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
2. ALL UNSUITABLE MATERIAL SUCH AS MUCK, MARL, AND DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF WITHIN THE LIMITS OF CONSTRUCTION. CLEAN GRANULAR MATERIAL SHALL BE USED AS BACKFILL AND PLACED IN 12 INCH LIFTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT SHOW ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DE-ENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.
7. ALL ELEVATIONS REFER TO N A V D 88. MINIMUM FINISHED FLOOR ELEVATION(S) SHALL BE N A V D 88, OR 18 INCHES ABOVE MINIMUM ROAD CROWN ELEVATION, WHICHEVER IS GREATER.
8. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY APPROPRIATE GOVERNING AGENCIES.
9. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
12. ALL CONCRETE SHALL BE 3,000 p.s.i. UNLESS OTHERWISE SPECIFIED.
13. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
14. ENGENUITY GROUP, INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND FOR THE SAFETY OF THE GENERAL PUBLIC.
15. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
16. CONTRACTOR SHALL ASSURE THAT ALL TRENCHES MORE THAN FIVE FEET DEEP WILL HAVE TRENCH PROTECTION PER THE TRENCH SAFETY ACT. THE METHOD OF TRENCH PROTECTION THE CONTRACTOR SELECTS MUST BE IN COMPLIANCE WITH OSHA REGULATIONS.
17. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR IS TO INCLUDE IN THEIR BID PACKAGE, PER THE TRENCH SAFETY ACT, ONE ITEM OF COST PERTAINING TO TRENCH PROTECTION.
18. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS. COMPLIANCE INCLUDES SUBMITTAL OF A NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITIES WITH AN ATTACHED STORM WATER POLLUTION PREVENTION (SWPPP). THE NOI AND SWPPP SHALL BE SUBMITTED TO APPLICABLE AGENCIES.
- GENERAL:**
- 1. WORK INCLUDED:**
- A. THE CONTRACTOR SHALL FURNISH ALL LABOR, SUPERINTENDENCE, QUALITY CONTROL, MATERIALS, PLANT, POWER, LIGHT, HEAT, FUEL, WATER, TOOLS, APPLIANCES, EQUIPMENT, SUPPLIES, AND OTHER MEANS OF CONSTRUCTION NECESSARY AND PROPER FOR PERFORMING AND COMPLETING THE WORK. CONTRACTOR SHALL PERFORM AND COMPLETE THE WORK IN THE MANNER BEST CALCULATED TO PROMOTE SCHEDULED CONSTRUCTION CONSISTENT WITH SAFETY OF LIFE AND PROPERTY AND TO THE SATISFACTION OF THE OWNER, AND IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CLEAN UP THE WORK, MAINTAIN IT DURING CONSTRUCTION, AND PAY ALL COSTS INCIDENTAL THERETO. CONTRACTOR SHALL REPAIR OR RESTORE ALL STRUCTURES AND PROPERTY THAT MAY BE DAMAGED OR DISTURBED DURING PERFORMANCE OF THE WORK.
- B. THE COST OF INCIDENTAL WORK DESCRIBED IN THESE GENERAL REQUIREMENTS, FOR WHICH THERE ARE NO SPECIFIC CONTRACT ITEMS, SHALL BE CONSIDERED AS PART OF THE GENERAL COST OF DOING THE WORK AND SHALL BE INCLUDED IN THE PRICES FOR THE VARIOUS CONTRACT ITEMS. NO ADDITIONAL PAYMENT WILL BE MADE THEREFORE.
- C. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUCH MODERN PLANT, TOOLS, AND EQUIPMENT AS MAY BE NECESSARY IN THE OPINION OF THE ENGINEER, TO PERFORM IN A SATISFACTORY AND ACCEPTABLE MANNER ALL THE WORK REQUIRED BY THE CONTRACT. ONLY EQUIPMENT OF ESTABLISHED REPUTATION AND PROVEN EFFICIENCY SHALL BE USED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF WORKMANSHIP, MATERIALS AND EQUIPMENT, PRIOR APPROVAL OF THE ENGINEER NOTWITHSTANDING.
- D. THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.
- 2. MOBILIZATION:**
- A. PERFORM PREPARATORY WORK AND OPERATIONS IN MOBILIZING FOR BEGINNING WORK ON THE PROJECT, INCLUDING, BUT NOT LIMITED TO, THOSE OPERATIONS NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES, AND INCIDENTALS TO THE PROJECT SITE AND FOR THE ESTABLISHMENT OF TEMPORARY OFFICES, BUILDINGS, SAFETY EQUIPMENT AND FIRST AID SUPPLIES, AND OTHER FACILITIES, INCLUDE THE COSTS OF BONDS AND ANY REQUIRED INSURANCE AND ANY OTHER PRE-CONSTRUCTION EXPENSE NECESSARY FOR THE START OF THE WORK, EXCLUDING THE COST OF CONSTRUCTION MATERIALS.
- 3. MAINTENANCE OF TRAFFIC:**
- A. PREPARE AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN FOR REVIEW. A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA OR A PERSON THAT HAS SATISFACTORILY COMPLETED THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION "FLORIDA ADVANCED WORK ZONE TRAFFIC CONTROL COURSE" SHALL PREPARE THE PLAN.
- B. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN TRAFFIC CONTROL THROUGH THE WORK AREA FOR THE DURATION OF CONSTRUCTION. PROVIDE TRAFFIC CONTROL DEVICES THAT ARE ON THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "QUALIFIED PRODUCT LIST".
- 4. PROVISIONS FOR CONTROL OF POLLUTION:**
- A. SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- B. FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B)) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 5. PROGRESS SCHEDULE:**
- A. PREPARE A CONSTRUCTION PROGRESS SCHEDULE COVERING ALL THE WORK INVOLVED IN THE CONTRACT. THIS INCLUDES SUBMITTAL AND APPROVAL OF SHOP DRAWINGS ON CRITICAL ITEMS, FABRICATION AND DELIVERY OF IDENTIFIABLE MATERIALS AND EQUIPMENT, SPECIFIC ITEMS OR WORK IN THE SEQUENCE INTERFERES WITH THE WORK OF OTHER PARTS THAT MAY BE PART OF AN OVERALL PROJECT, AND SPECIFIC DEPENDENCIES UPON ACTS OR ACTIVITIES OF PARTIES NOT UNDER THE CONTROL OF CONTRACTOR.
- B. THE BAR GRAPH METHOD OR CRITICAL PATH METHOD ARE ACCEPTABLE FOR SCHEDULING CONSTRUCTION ACTIVITY.
- 6. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES:**
- A. SUBMIT COPIES OF ALL REQUIRED SHOP DRAWINGS, PRODUCT DATA AND SAMPLES FOR ENGINEER'S REVIEW.
- B. SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND TRANSMITTAL LETTERS PERTAINING THERETO SHALL BE IDENTIFIED WITH THE TITLE OF THE PROJECT, SUBMISSION DATE, AND THE CONTRACTOR'S ACKNOWLEDGEMENT THAT HE HAS REVIEWED THEM AND FOUND THEM ACCEPTABLE.
- C. NOTIFY ENGINEER IN WRITING, AT THE TIME OF SUBMITTAL, OF ANY DEVIATIONS IN THE SUBMITTALS FROM THE REQUIREMENTS OF THE CONTACT DOCUMENTS.
- D. THE REVIEW AND APPROVAL OF SHOP DRAWINGS, SAMPLES OR PRODUCT DATA BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR FROM HIS/her RESPONSIBILITY WITH REGARD TO THE FULFILLMENT OF THE TERMS OF THE CONTRACT DOCUMENTS, ALL RISKS OF ERROR AND/OR OMISSION ARE ASSUMED BY THE CONTRACTOR AND THE ENGINEER WILL HAVE NO RESPONSIBILITY THEREFORE.
- 7. BORING LOGS, OTHER REPORTS AND DRAWINGS UTILIZED BY ENGINEER:**
- A. BORING LOGS, OTHER REPORTS AND DRAWINGS UTILIZED BY ENGINEER, IF ENCLOSED, ARE PROVIDED FOR CONTRACTOR'S INFORMATION AND ARE NOT A PART OF THE CONTRACT DOCUMENTS. THERE IS NO TECHNICAL DATA IN THE BORING LOGS, OTHER REPORTS OR DRAWINGS THAT SHOULD BE RELIED ON BY THE CONTRACTOR.

8. CONSTRUCTION STAKING AND RECORD DRAWINGS:

- A. THE BASELINES AND BENCHMARKS FOR PRIMARY CONTROL, NECESSARY TO ESTABLISH LINES AND GRADES NEEDED FOR CONSTRUCTION ARE SHOWN ON THE DRAWINGS. THESE BASELINES AND BENCHMARKS SHALL BE USED AS THE ORIGIN OF ALL SURVEYS, LAYOUTS AND MEASUREMENTS TO ESTABLISH CONSTRUCTION LINES AND GRADES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT THE LOSS OR DAMAGE OF PRIMARY CONTROL POINTS. ANY STAKES AND/OR CONTROL POINTS LOST OR DAMAGED BY CONSTRUCTION ACTIVITY WILL BE RE-ESTABLISHED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER.
- B. CONSTRUCTION STAKING AND RECORD DRAWINGS SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR AND MAPPER LICENSED IN THE STATE OF FLORIDA. DESIGN DATA SHALL BE LINED-OUT. C. RECORD DATA SHALL BE ADDED NEXT TO EACH LINED-OUT DESIGN DIMENSION OR ELEVATION. D. REQUIRED RECORD DRAWING INFORMATION
- 1. DRAINAGE:**
- a. RIM/GRATE ELEVATIONS ON INLETS AND MANHOLES.
- b. FLOWLINE ELEVATIONS OF PIPES.
- c. LINEAR DISTANCE ALONG PIPES FROM STRUCTURE TO STRUCTURE.
- d. RECALCULATED PIPE SLOPES BASED ON FLOWLINE ELEVATIONS AND DISTANCE BETWEEN STRUCTURES.
- e. HORIZONTAL LOCATION OF INLETS, MANHOLES AND STRUCTURES BASED ON STATIONING/COORDINATE/DIMENSIONING ON DRAWINGS.
- f. TOP OF PIPE/BOTTOM OF PIPE ELEVATIONS AS APPLICABLE AT ALL PIPE CROSSINGS.
- 2. GRADING:**
- a. VERIFY ALL ELEVATIONS ON DRAWINGS.
- 3. ROADWAYS**
- a. ALIGNMENT TIES FOR ROAD CENTERLINES AT ALL INTERSECTIONS AND HORIZONTAL CURVES (PC AND PT).
- b. HORIZONTAL AND VERTICAL GEOMETRY.
- 4. STORMWATER MANAGEMENT:**
- a. TOP OF BANK AND BOTTOM ELEVATIONS OF RETENTION/DETENTION AREAS.
- b. CROSS SECTION LAKE SIDE SLOPES FROM TOP OF BANK TO BOTTOM OF TOE AT 200 FEET ON CENTER.
- 5. WATER AND SEWER:**
- a. AS REQUIRED BY LOCAL UTILITY OWNER.

9. PROTECTION/ADJUSTMENT OF UTILITIES:

- A. UTILITY INSTALLATIONS AND STRUCTURES SHALL BE UNDERSTOOD TO INCLUDE ALL POLES, TRACKS, PIPES, WIRES, CONDUITS, HOUSE SERVICE CONNECTIONS, VAULTS, MANHOLES AND ALL OTHER APPURTENANCES AND FACILITIES PERTAINING THERETO WHETHER OWNED OR CONTROLLED BY THE OWNER, OTHER GOVERNMENTAL BODIES OR PRIVATELY OWNED BY INDIVIDUALS, FIRMS OR CORPORATIONS, USED TO SERVE THE PUBLIC WITH TRANSPORTATION, TRAFFIC CONTROL, GAS, ELECTRICITY, TELEPHONE, SEWERAGE, DRAINAGE, WATER OR OTHER PUBLIC OR PRIVATE PROPERTY WHICH MAY BE AFFECTED BY THE WORK.
- B. CONTRACTOR SHALL PROTECT ALL UTILITY INSTALLATIONS AND STRUCTURES FROM DAMAGE DURING WORK. ACCESS ACROSS ANY BURIED PUBLIC UTILITY INSTALLATION OR STRUCTURE SHALL BE MADE ONLY IN SUCH LOCATIONS AND BY MEANS APPROVED BY THE UTILITY OWNER. THE CONTRACTOR SHALL SO ARRANGE OPERATIONS AS TO AVOID ANY DAMAGE TO THESE FACILITIES. ALL REQUIRED PROTECTIVE DEVICES AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR. ALL EXISTING PUBLIC UTILITIES DAMAGED BY THE CONTRACTOR WHICH ARE SHOWN ON THE DRAWINGS OR HAVE BEEN LOCATED IN THE FIELD BY THE UTILITY OWNER SHALL BE REPAIRED BY THE CONTRACTOR.
- C. PUBLIC UTILITY INSTALLATIONS OR STRUCTURES OWNED OR CONTROLLED BY THE OWNER OR OTHER GOVERNMENTAL BODY, WHICH ARE SHOWN ON THE DRAWINGS TO BE REMOVED, RELOCATED, REPLACED OR REBUILT BY THE CONTRACTOR SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS CONTRACT ITEMS. NO SEPARATE PAYMENTS SHALL BE MADE THEREFORE.
- D. WHERE PUBLIC UTILITY INSTALLATIONS OR STRUCTURES OWNED OR CONTROLLED BY THE OWNER OR OTHER GOVERNMENTAL BODY ARE ENCOUNTERED DURING THE COURSE OF THE WORK, AND ARE NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS, AND WHEN IN THE OPINION OF THE ENGINEER, REMOVAL, RELOCATION, REPLACEMENT OR REBUILDING IS NECESSARY TO COMPLETE THE WORK UNDER THIS CONTRACT, SUCH WORK SHALL BE ACCOMPLISHED BY THE UTILITY HAVING JURISDICTION, OR SUCH WORK MAY BE ORDERED, IN WRITING BY THE ENGINEER, FOR THE CONTRACTOR TO ACCOMPLISH. IF SUCH WORK IS ACCOMPLISHED BY THE UTILITY HAVING JURISDICTION IT WILL BE OBTAINED OUT EXPEDITIOUSLY AND THE CONTRACTOR SHALL GIVE FULL COOPERATION TO PERMIT THE UTILITY TO COMPLETE THE REMOVAL, RELOCATION, REPLACEMENT OR REBUILDING AS REQUIRED. IF SUCH WORK IS ACCOMPLISHED BY THE CONTRACTOR, IT WILL BE IN ACCORDANCE WITH THE GENERAL AND SUPPLEMENTARY CONDITIONS.
- E. CONTRACTOR SHALL GIVE WRITTEN NOTICE TO OWNER AND GOVERNMENTAL UTILITY DEPARTMENTS AND OTHER OWNERS OF PUBLIC UTILITIES OF THE LOCATION OF THE PROPOSED CONSTRUCTION OPERATIONS, AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF BREAKING GROUND IN ANY AREA OR ON ANY UNIT OF THE WORK.
- F. THE MAINTENANCE, REPAIR, REMOVAL, RELOCATION OR REBUILDING OF PUBLIC UTILITY INSTALLATIONS AND STRUCTURES, WHEN ACCOMPLISHED BY THE CONTRACTOR AS HEREIN PROVIDED, SHALL BE DONE BY METHODS APPROVED BY THE UTILITY OWNER.
- 10. FIELD OBSERVATIONS AND TESTING:**
- A. FIELD OBSERVATIONS WILL BE PERFORMED BY ENGINEER AND ALL FIELD TESTING OF MATERIALS WILL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY. THE COST OF PASSING TESTS WILL BE PAID BY OWNER. FAILING TESTS SHALL BE PAID BY THE CONTRACTOR.
- B. FOR TESTS SPECIFIED TO BE MADE BY THE CONTRACTOR (FOR EQUIPMENT/MATERIAL PRIOR TO DELIVERY TO THE PROJECT SITE), THE TESTING PERSONNEL SHALL MAKE THE NECESSARY INSPECTIONS AND TESTS AND THE REPORTS THEREOF SHALL BE IN SUCH FORM AS WILL FACILITATE CHECKING TO DETERMINE COMPLIANCE WITH THE CONTRACT DOCUMENTS. COPIES OF THE REPORTS SHALL BE SUBMITTED AND AUTHORIZATIVE NOTIFICATION THEREOF MUST BE FURNISHED TO THE ENGINEER AS A PREREQUISITE FOR THE ACCEPTANCE OF ANY MATERIAL OR EQUIPMENT.
- C. IF, IN THE MAKING OF ANY TEST OF ANY MATERIAL, IT IS ASCERTAINED BY THE ENGINEER THAT THE MATERIAL DOES NOT COMPLY WITH THE CONTRACT, THE CONTRACTOR WILL BE NOTIFIED THEREOF AND WILL BE DIRECTED TO REFRAIN FROM DELIVERING SAID MATERIAL, OR TO REMOVE IT PROMPTLY FROM THE SITE OR FROM THE WORK AND REPLACE IT WITH ACCEPTABLE MATERIAL, WITHOUT ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE PROPER OPERATION OF MATERIAL DURING TESTS AND CONSTRUCTION PERIODS AND SHALL NEITHER HAVE NOR MAKE ANY CLAIM FOR DAMAGE THAT MAY OCCUR TO MATERIAL PRIOR TO THE TIME WHEN THE OWNER FORMALLY TAKES OVER THE OPERATION THEREOF.
- E. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING FIELD TESTING.
- F. PIPE TRENCHES SHALL BE TESTED AT RANDOMLY SELECTED LOCATIONS ALONG THE LENGTH OF EACH PIPE RUN WITHIN EACH 100' INTERVAL (MAXIMUM) AND BETWEEN EACH SET OF TWO STRUCTURES IF A PIPE RUN SEPARATING THE TWO IS LESS THAN 300' IN LENGTH.
- G. ALL PIPE AND STRUCTURE TRENCHES SHALL BE BACKFILLED USING A MAX. OF 12" LIFTS. ALL BACKFILL MATERIAL SHALL BE CLEAN, DRY STRUCTURAL FILL, WITH NO DELETERIOUS OR ORGANIC MATERIAL PRESENT.
- H. AT LEAST ONE TEST SHALL BE PERFORMED FOR EVERY 12" OF DEPTH, STARTING AT THE SPRINGLINE OF THE PIPE, COVERING THE 12" LAYER BELOW THE SPRINGLINE OF THE PIPE.
- I. TESTS SHALL BE PERFORMED AT EVERY STRUCTURE BEGINNING AT THE BASE OF THE STRUCTURE COVERING THE 12" BELOW THE BASE OF THE STRUCTURE WITH ONE TEST FOR EVERY 12" LIFT. TESTS SHALL ALTERNATE FROM CORNER TO CORNER OR FROM SIDE TO SIDE AROUND THE STRUCTURE WITH EACH 12" LIFT.
- J. FOR CURB AND SIDEWALK CHECK CONCRETE SLUMP AND OBTAIN A SET OF TEST CYLINDERS EVERY 800-1000 FEET.
- K. FOR CURB AND SIDEWALK CHECK CONCRETE SLUMP AND OBTAIN A SET OF TEST CYLINDERS EVERY 800-1000 FEET.
- L. BASE ROCK - ANALYZE MATERIAL WHEN IT IS DELIVERED TO THE SITE FOR COMPLIANCE WITH THE SPECIFICATIONS. CHECK COMPACTION AT 300 FOOT INTERVALS BUT ALTERNATE LEFT SIDE TO RIGHT SIDE.
- M. ASPHALT - VERIFY ASPHALT TEMPERATURE AT ARRIVAL, TO SITE TO VERIFY COMPLIANCE WITH MIX DESIGN.
- N. ALL DENSITY TESTS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF FLORIDA.
- O. ALL TESTS AND LOCATIONS ARE SUBJECT TO REVIEW BY REPRESENTATIVES OF OUR OFFICE AND ADDITIONAL TESTS MAY BE REQUIRED BASED ON FIELD OBSERVATIONS OF CONSTRUCTION TECHNIQUES OR MATERIALS USED ON SITE.

- 11. SALVAGE MATERIAL:**
- A. ALL SALVAGEABLE MATERIAL AND EQUIPMENT REMOVED FROM THE EXISTING CONSTRUCTION FOR WHICH SPECIFIC USE, RELOCATION OR OTHER DISPOSAL IS NOT SPECIFICALLY NOTED ON THE DRAWINGS OR OTHERWISE SPECIFIED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO HIM. ALL MATERIAL AND EQUIPMENT NOT IN SALVAGEABLE CONDITION AS DETERMINED BY THE ENGINEER, SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER AT THE CONTRACTOR'S EXPENSE. THE ACTUAL STORAGE SITE FOR SALVAGEABLE MATERIAL WILL BE DESIGNATED BY THE OWNER.
- 12. CLEANING:**
- A. DURING CONSTRUCTION OF THE WORK, THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE THE SAME FROM ANY PORTION OF THE SITE IF, IN THE OPINION OF THE ENGINEER, SUCH MATERIAL, DEBRIS, OR RUBBISH CONSTITUTES A NUISANCE OR IS OBJECTABLE.
- B. AT THE CONCLUSION OF THE WORK, ALL TOOLS, TEMPORARY STRUCTURES AND MATERIALS BELONGING TO THE CONTRACTOR OR SHALL BE PROMPTLY TAKEN AWAY AND CONTRACTOR SHALL REMOVE AND PROMPTLY DISPOSE OF ALL RUBBISH OR ANY OTHER FOREIGN MATERIALS. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL MATERIAL INSTALLED AND SHALL DELIVER SUCH MATERIALS UNDAMAGED IN A CLEAN AND NEW CONDITION.

CONTRACTOR'S RESPONSIBILITIES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BIDDING THE WORK AND TO PERFORM SUCH TESTS, STUDIES AND SURVEYS AS DEEMED NECESSARY TO SATISFY THE CONTRACTOR AS TO THE ACTUAL SURFACE AND SUBSURFACE CONDITIONS EXISTING AT THE SITE. ACTUAL CONDITIONS THAT DIFFER FROM THOSE SHOWN ON DRAWINGS SHALL NOT CONSTITUTE FOR EXTRA PAYMENT.
2. THE CONTRACTOR SHALL CHECK ALL DRAWINGS FURNISHED TO HIM AND SHALL PROMPTLY NOTIFY THE ENGINEER, SHALLOWAY, FOT, RAYMAN & NEWELL, INC. IN WRITING OF ANY DISCREPANCIES. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
3. NO CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN

SECURED AND THE CONTRACTOR IS ISSUED A NOTICE TO PROCEED.

4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO: UTILITY, COUNTY, CITY AND STATE.
5. THE CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770) 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
6. THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ADVANCE OF CONSTRUCTION.
7. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF ANY UNDERGROUND GAS PIPE.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED CABLE, SANITARY LINES, AND WATER LINES.
9. THE CONTRACTOR, SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES, STRUCTURES, PAVEMENT, ETC. FROM DAMAGE OR DISRUPTION OF SERVICE AND SHALL PROTECT THE OWNER AGAINST ANY CLAIMS THAT MAY ARISE AS A RESULT OF CONSTRUCTION ACTIVITIES. REPAIRS OF SUCH UTILITIES, STRUCTURES, PAVEMENT, ETC. SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER AND ALL REGULATORY AGENCIES.
10. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE PHYSICAL CONDITIONS, OR ANY ERROR OR OMISSIONS IN THE DRAWINGS, IN THE LAYOUT AS GIVE BY THE POINTS AND INSTRUCTIONS, OR DISCOVERS UNFORESEEN BE THE CONTRACTOR'S DUTY TO IMMEDIATELY INFORM THE ENGINEER IN WRITING, AND THE ENGINEER SHALL PROMPTLY CHECK THE ACCURACY OF THE INFORMATION. ANY WORK DONE AFTER SUCH DISCOVERY, UNTIL NECESSARY CHANGES ARE AUTHORIZED WILL BE DONE AT THE CONTRACTOR'S RISK.
11. DURING ALL UNDERGROUND CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CLEARANCES FROM ANY PROPOSED OR EXISTING UTILITIES OR STRUCTURES, AS REQUIRED BY THE PLANS, SPECIFICATION, UTILITY AUTHORITY, AND ANY GOVERNING AGENCY. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY IF THE APPROPRIATE CLEARANCE IS NOT AVAILABLE.
12. REGULATIONS AND LEGAL REQUIREMENTS REGARDING WORK HOURS SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES.
13. UPON COMPLETION OF THE WORK SPECIFIED IN THESE PLANS, THE ENGINEER WILL CONDUCT A FINAL INSPECTION. FINAL PAYMENT TO THE CONTRACTOR WILL NOT BE APPROVED UNTIL THE PROJECT IS CERTIFIED AS COMPLETE BY THE ENGINEER.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING, "AS-BUILT" INFORMATION, AND ALL REQUIRED DENSITY TESTING, AND SHALL PROVIDE ALL "AS-BUILT" INFORMATION AND TEST RESULTS TO THE ENGINEER.
15. ALL UTILITY LINE TESTING AND SAMPLING SHALL BE IN ACCORDANCE WITH UTILITY AND HEALTH DEPARTMENT CRITERIA. A MINIMUM OF 24 HOUR NOTICE MUST BE PROVIDED PRIOR TO TESTING.
16. ALL CONCRETE SHALL BE 4000 p.s.i. UNLESS OTHERWISE NOTED.
17. SOD SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
18. SIDEWALK SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.

CITY OF DELRAY BEACH NOTES:

1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER, SEWER OR DRAINAGE CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.
4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD SUCH UTILITIES BE FOUND, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
9. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
10. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
11. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
12. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
13. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY, AS THE WORK PROGRESSES. THE ENGINEER OF RECORD (OR THEIR REPRESENTATIVE) SHALL RECORD ON ONE SET OF DRAWINGS THE LOCATION INCLUDING STATION AND OFFSET WITH SUFFICIENT DIMENSIONS AND DISTANCES TO ADEQUATELY DESCRIBE THE LOCATION OF THE IMPROVEMENT FROM THE BASELINE. ELEVATIONS ARE TO BE PROVIDED AT THE TOP OF PIPE AT INCREMENTS OF EVERY 100 FEET ON ALL WATER AND FORCE MAINS. STATIONING IS REQUIRED ON ALL VALVES, FITTINGS, WATER AND SEWER SERVICES AND FIRE HYDRANTS. THE LENGTHS OF ALL WATER SERVICE LINES AND SEWER LATERALS MUST BE NOTED ON GRAVITY SEWER LINES. ELEVATIONS AND STATIONING ARE TO BE INDICATED ON ALL MANHOLE RIMS AND INVERTS. THE DISTANCE BETWEEN MANHOLES IS TO BE SHOWN ON BOTH THE PLAN AND PROFILE SHEETS UNLESS PLAN VIEW AND PROFILE VIEW ARE ON THE SAME SHEET. THE ENGINEER OF RECORD IS TO SUBMIT TWO SETS OF BLUE PRINT RECORD OR AS-BUILT DRAWINGS AND ONE MYLAR TO THE ENGINEERING DEPARTMENT ALONG WITH THE HEALTH DEPARTMENT APPLICATION FOR RELEASE OF THE SYSTEM. ALL "AS-BUILT DRAWINGS" SHALL BE SIGNED SEALED AND DATED BY THE ENGINEER OF RECORD. CERTIFICATE OF OCCUPANCY WILL BE HELD UNTIL ACCEPTANCE BY HRS AND THE DEVELOPMENT SERVICES ENGINEERING DEPARTMENT. PAVING & DRAINAGE AS-BUILT DRAWINGS SHALL INCLUDE RIM ELEVATIONS, INVERT ELEVATIONS, PIPE SIZES, CONTROL STRUCTURE DIMENSIONS, AS WELL AS AS-BUILT ELEVATIONS AS EVERY LOCATION A PROPOSED ELEVATION IS INDICATED ON THE CONSTRUCTION PLAN. ADEQUATE AS-BUILT ELEVATIONS SHALL BE PROVIDED ON EMBANKMENTS TO DETERMINE COMPLIANCE WITH MAXIMUM SLOPE REQUIREMENTS.
14. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
15. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
16. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
17. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
18. EXISTING BASE MATERIAL, THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
19. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.
20. PRIOR TO AND DURING CONSTRUCTION OF ALL SITES, THE PERMITEE SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDED IN A POLLUTION PREVENTION PLAN PROVIDED TO THE CITY OF DELRAY BEACH'S CHIEF BUILDING OFFICIAL.
21. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.
22. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.
23. EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS

ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.

24. CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF-PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.
25. THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.
26. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.

REVISIONS			
NO.	DATE	REMARKS	BY

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ADAM C. SWANEY, P.E.
NO. 72235

235 SE 5TH AVENUE
PROPOSED RETAIL/OFFICE & RESIDENTIAL BLDG.
DELRAY BEACH, FLORIDA
NOTES

A Higher Standard of Excellence
engenuity group inc.
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WEST PALM BEACH, FLORIDA 33409
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WWW.ENGENUITYGROUP.COM CERTIFICATE OF AUTHORIZATION #7095

DATE	DRAWN	KG	PROJECT	ACS	PROJECT	MANAGER	RB	CHECKED	ACS
MAY 12, 2023	8	8	8	8	8	8	8	8	8
JOB NO.	20084.01								

50% CD
SUBMITTAL

811

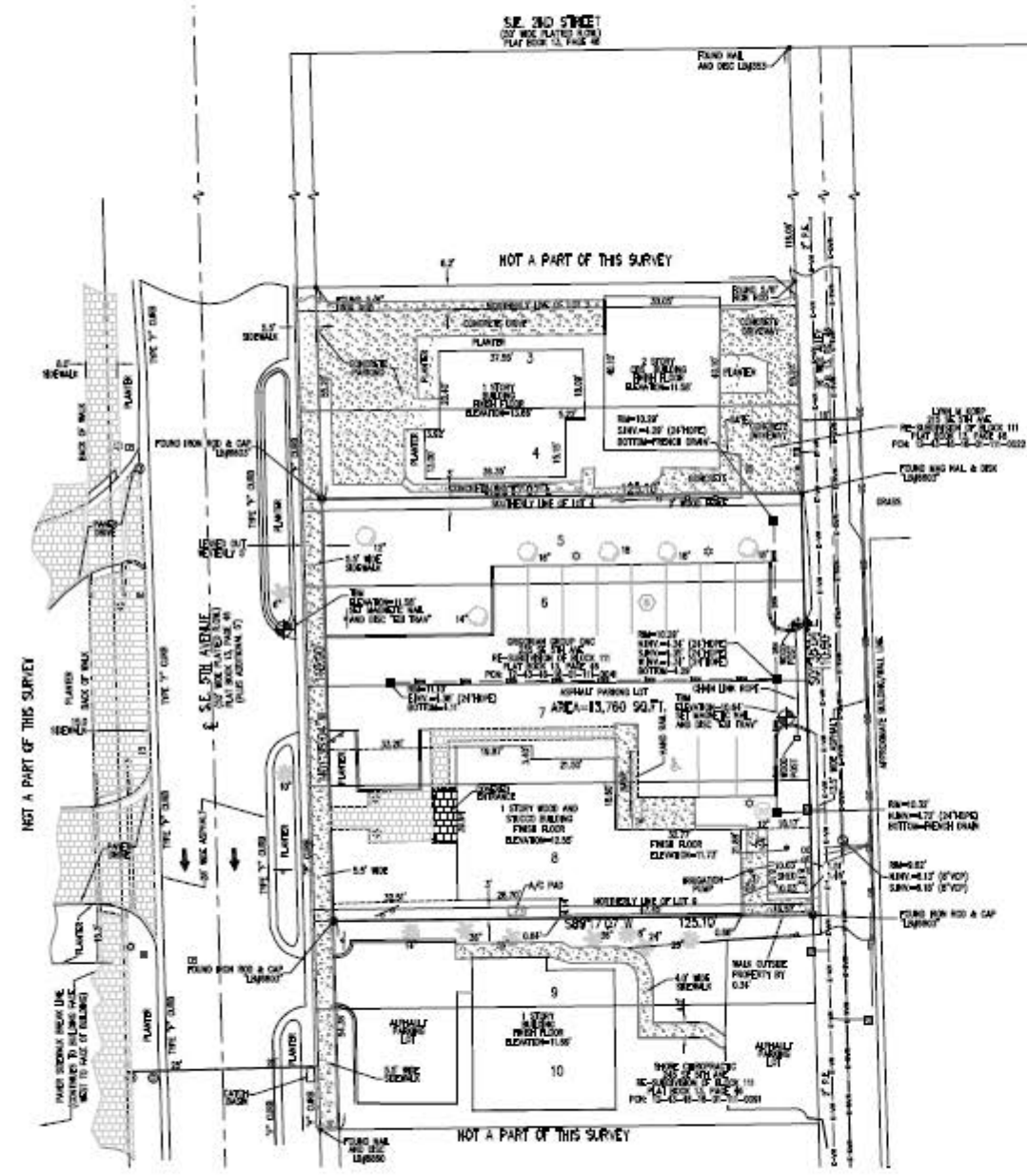
Know what's below.
Call before you dig.

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REVISIONS			
NO.	DATE	DATE	BY
1	12/22/2021		

DESIGNED BY	DR. ANDRE RAYMAN, P.E.
DRAWN BY	ANDRE RAYMAN, P.E.
CHECKED BY	ANDRE RAYMAN, P.E.
DATE	12/22/2021



LEGEND

- CONCRETE
- DECORATIVE PAVERS
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING
- AIR CONDITIONING
- MAILBOX
- INFORMATION SIGN (DOUBLE POST)
- INFORMATION SIGN (SINGLE POST)
- WOODEN STOCKADE FENCE
- TEMPORARY BENCH-MARK
- IRRIGATION CONTROL VALVE
- LIGHT POLE
- CATCH BASIN
- SANITARY MANHOLE
- CLEANOUT
- WATER METER
- STREET LIGHT
- UTILITY POLE
- BACKFLOW PREVENTOR
- STORM MANHOLE
- WINDING PULL BOX

TREE LEGEND

- CARRIBE PALM & SIZE
- PALM TREE & SIZE
- BLACK OLIVE & SIZE
- OAK TREE & SIZE

LEGEND-UNDERGROUND UTILITY

- OVERHEAD ELECTRIC
- UNDERGROUND SANITARY
- UNDERGROUND STORM
- UNDERGROUND WATER

ABBREVIATIONS

- HDPPE HIGH DENSITY POLYETHYLENE PIPE
- VCP VITRIFIED CLAY PIPE
- R.O.W. RIGHT-OF-WAY
- A/C AIR CONDITIONING
- SQ. FT. SQUARE FEET
- P.B. PLAT BOOK
- PAGE
- CENTERLINE
- P.E. POLYETHYLENE PIPE
- PCN PARCEL CONTROL NUMBER

LEGAL DESCRIPTION
THE SOUTH THREE (3) FEET OF LOT 4, ALL OF LOTS 5 THROUGH 8, INCLUSIVE, AND THE NORTH THREE (3) FEET OF LOT 9, BLOCK 111 (ONE-HUNDRED ELEVEN), OF THE PLAT OF RE-SUBDIVISION OF BLOCK 111 DELRAY PALM BEACH COUNTY FLA., ACCORDING TO THE PLAT AS SET FORTH IN PLAT BOOK 13, PAGE 46, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE WEST FIVE (5) FEET THEREOF FOR STATE ROAD PURPOSES, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING 13,760 SQUARE FEET.

SURVEYOR'S NOTES
1. THE SURVEY HEREIN IS CLASSIFIED AS AN ALTA SURVEY AND IS IN COMPLIANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS TO INCLUDE THE FOLLOWING TABLE A REQUIREMENTS: 1, 2, 3, 4, 6(B), 7(A), 8, 11, 13, 14 AND 15.
2. ENIGMITY GROUP, INC. AND THE CERTIFYING SURVEYOR ACCEPT NO RESPONSIBILITY FOR RIGHT-OF-WAYS, EASEMENTS, RESTRICTIONS OR OTHER MATTERS AFFECTING TITLE TO THE LANDS SURVEYED OTHER THAN THOSE REDICED IN THE CURRENT DEED AND/OR OTHER INSTRUMENT OF RECORD FURNISHED BY THE CLIENT.
3. UNDERGROUND UTILITIES WERE NOT SEARCHED FOR OR LOCATED BY ENIGMITY GROUP, INC.
4. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER. OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.
5. LAST DATE OF R.E.D. SURVEY: 12/22/2021
6. ALL DISTANCES SHOWN HEREIN ARE IN U.S. FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
7. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. ACCURACY STATEMENT: A RE-D SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 33-47, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.023 FLORIDA STATE STATUTES FOR TOPOGRAPHIC SURVEYS. THE ACCURACY OF CONTROL DATA WAS VERIFIED BY REDUNDANT MEASUREMENTS OF TRAVELER CLOSURES AND EXCEEDS COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET.
9. THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1:240
10. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT REPORT FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY UNDER COMMITMENT NUMBER 893988-2 WITH AN EFFECTIVE DATE OF JUNE 10, 2020 AT 10:15:57 PM.
11. ALL DIMENSIONS SHOWN HEREIN ARE MEASURED UNLESS OTHERWISE NOTED.
12. BEARINGS SHOWN HEREIN ARE BASED ON A MEASURED BEARING OF N07°30'04"W ALONG THE EASTERLY RIGHT-OF-WAY OF SE 5TH AVENUE AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
13. ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AND REFERENCE THE FOLLOWING BENCHMARK:
2233 ELEVATION=16.023 NAVD 1988
IN DELRAY BEACH, AT THE INTERSECTION OF THE FLORIDA EAST COAST RAILROAD AND NORTHEAST 4TH STREET, 14.2 M (46.6 FT) WEST OF THE NEAR RAIL, 0.2M (26.9 FT) SOUTH OF THE STREET CENTERLINE, 3 FEET EAST AND 1.0 FOOT SOUTH OF THE EAST END OF A 6 FOOT CONCRETE SIDEWALK, 0.4M (1.3 FT) NORTH OF A WITNESS POST, 0.2M (0.7 FT) BELOW THE LEVEL OF THE SURFACE OF THE STREET, AND THE MONUMENT IS RECESSED 0.2M (0.7 FT) BELOW THE GROUND SURFACE.
THE STATION IS A U.S. COAST AND GEODETIC SURVEY BENCHMARK BENCH SET IN A CONCRETE POST STAMPED "Z 233 1985"
14. THIS SURVEY IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM TRANSVERSE MERCATOR, FLORIDA EAST ZONE 801, NORTH AMERICAN DATUM OF 1983 (1980 ADJUSTMENT).
15. THE SUBJECT PROPERTY LIES WITHIN FEMA FLOOD ZONE X (0.2%) FOR THE EFFECTIVE FEMA FLOOD MAP, MAP NUMBER 10239C0007F, WITH AN EFFECTIVE DATE OF OCTOBER 5, 2017. FLOOD ZONE X COVERS ENTIRE PROPERTY.
16. THE WATER MAIN INFORMATION HAS BEEN REFERENCED FROM A DRAWING TITLED "ALLEY IN UTILITY IMPROVEMENTS OLD ALLEY RECONSTRUCTION PROJECT NO. 91-53" BY CITY OF DELRAY BEACH ENVIRONMENTAL SERVICES DEPARTMENT, DATED DECEMBER 1991.
17. ZONING SIDEWALK REQUIREMENTS WERE NOT PROVIDED BY THE CLIENT.
18. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE REWORK.
6-1 ENCLOSURES
7. ANNETTE SMITH AND AES INTERIORS AS TENANTS IN POSSESSION UNDER AN UNRECORDED LEASE, MAY AFFECT THE SUBJECT PROPERTY, NO INFORMATION PROVIDED FOR REVIEW.
8. ALL MATTERS CONTAINED ON THE PLAT OF RE-SUBDIVISION OF BLOCK 111, DELRAY BEACH, FLORIDA, AS RECORDED IN PLAT BOOK 13, PAGE 46, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AFFECTS THE SUBJECT PROPERTY, SHOWN HEREIN.
9. DECLARATION OF UNITY OF TITLE RECORDED IN O.R. BOOK 2478, PAGE 1987, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AFFECTS THE SUBJECT PROPERTY, IT IS NOT SHOWN HEREIN AS IT AFFECTS THE ENTIRE PARCEL.
10. TERMS AND CONDITIONS OF THAT CERTAIN UNRECORDED LEASE BY AND BETWEEN GREGORIAN GROUP INC., A FLORIDA CORPORATION, LANDLORD, AND AES INTERIORS, A FLORIDA CORPORATION, MAY AFFECT THE SUBJECT PROPERTY, NO INFORMATION PROVIDED FOR REVIEW.
11. ENCUMBRANCES, ENCUMBRANCES, VIOLATIONS, VARIATIONS, OR ADVERSE CIRCUMSTANCES, IF ANY, ACTUALLY SHOWN ON THE SURVEY PREPARED BY ENIGMITY GROUP INC. DATED MAY 22, 2020, BEARINGS AND 20084.01.08 CONCRETE WALK EXTENDS OVER THE BOUNDARY LINE OF THE SOUTHEASTLY PORTION OF THE SUBJECT PROPERTY, FENCE CROSSES OVER THE BOUNDARY LINE OF THE EASTERLY PORTION OF THE SUBJECT PROPERTY INTO 16' WIDE ALLEY, AFFECTS THE SUBJECT PROPERTY, SHOWN HEREIN.
6-1 ENCLOSURES
1. ASSIGNMENT OF RENTS, LEASE, AND PROFITS FILED JUNE 10, 2020, IN O.R. BOOK 31488, PAGE 1157, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AFFECTS THE SUBJECT PROPERTY, NOT PLOTTED HEREIN.

ALL ELEVATIONS SHOWN ARE N.A.V.D. 1988

Digitally signed by Andre Rayman
DN: cn=Andre Rayman, o=Andre Rayman, ou=Andre Rayman, email=Andre.Rayman@engenuity.com, c=US
Date: 2022.01.08 13:45:42
+0500

Andre Rayman
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LICENSE NO. 4930
STATE OF FLORIDA L199953

DATE 12-22-2021
SCALE 1"=20'
CADD FILE 20084.01.08
JOB PROJECT 20084.01.08
DRAWN CAR
CHECKED J. MALIN
JOB NO. 20084.01.08



**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com

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Gregg K. Weiss, Vice Mayor

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Maria Sachs

Melissa McKinlay

Mack Bernard

County Administrator

Verdenia C. Baker

June 1st, 2022

Bryan G. Kelley, P.E.
Simmons & White, Inc.
2581 Metrocentre Blvd, Suite 3
West Palm Beach, FL 33407

RE: 235 SE 5th Avenue Condominiums
Project #: 220513
Traffic Performance Standards (TPS) Review

Dear Mr. Kelley:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated May 13, 2022, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Delray Beach
Location:	East side of SE 5 th Avenue, about 300 feet south of SE 2 nd Street
PCN:	12-43-46-16-01-111-0041
Access:	Access driveway connection onto existing alley east of the site <u>(As used in the study and is NOT necessarily an approval by the County through this TPS letter)</u>
Existing Uses:	General Office = 2,309 SF
Proposed Uses:	Redevelop the site with: Multi-Family Residential= 7 DUs General Retail = 568 SF
Project Daily Trips:	78
Project Peak Hour Trips:	3 (1/2) AM; 6 (4/2) PM
New Daily Trips:	54
New Peak Hour Trips:	-1 (-2/1) AM; 1 (2/-1) PM
Build-out:	December 31, 2026

Based on our review, the Traffic Division has determined the proposed development generates less than 20 peak hour trips; therefore, the project **meets** the TPS of Palm Beach County.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

"An Equal Opportunity
Affirmative Action Employer"



Bryan G. Kelley, P.E.
June 1st, 2022
Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email HAkif@pbcgov.org.

Sincerely,

A handwritten signature in blue ink, which appears to read "Hanane Akif".

Hanane Akif, P.E.
Professional Engineer
Traffic Division

QB:HA:cw
ec:

Anthea Gianniotis, AICP, Director of Development Services, City of Delray Beach
Hanane Akif, E.I., Project Coordinator II, Traffic Division
Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2022\220513 - 235 SE 5TH AVENUE CONDOMINIUMS.DOCX;

SIMMONS & WHITE
2581 Metrocentre Blvd West, Suite 3, West Palm Beach, Florida 33407
O 561.478.7848 | F 561.478.3738 www.simmonsandwhite.com
Certificate of Authorization Number 3452



TRAFFIC GENERATION STATEMENT

235 SE 5TH AVENUE CONDOMINIUMS CITY OF DELRAY BEACH, FLORIDA

Prepared for:

Mr. Hovhannes Grigorian
9505 Aegean Drive
Delray Beach, Florida 33496

Job No. 20-069

Date: May 13, 2022



Bryan G. Kelley, P.E.
FL Reg. No. 74006

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1.0 SITE DATA

The subject parcel is located on the east side of SE 5th Avenue, south of Atlantic Avenue in the City of Delray Beach, Florida and contains approximately 0.32 acres. The Property Control Number for the subject parcel is 12-43-46-16-01-111-0041. The site is currently developed with a 2309 SF office building. Proposed site redevelopment consists of demolishing the existing improvements and constructing 7 multifamily dwelling units and 568 S.F. of retail with a project build-out of 2026. Site access is proposed via an ingress only and egress only driveway connection to alley east of SE 5th Avenue. For additional information concerning site location and layout, please refer to the Site Plan prepared by Schmidt Nichols.

2.0 TRAFFIC GENERATION

The traffic currently existing for the parcel has been calculated in accordance with the traffic generation rates listed in the *ITE Trip Generation Manual, 10th Edition* and provided by the Palm Beach County Engineering Traffic Division as shown in Tables 1-3 attached with this report. Table 1 shows the daily traffic generation associated with the approved development in trips per day (tpd). Tables 2 and 3 show the AM and PM peak hour traffic generation, respectively, in peak hour trips (pht). The traffic generated by the existing/vested development may be summarized as follows:

Vested Development

Daily Traffic Generation	=	33 tpd
AM Peak Hour Traffic Generation (In/Out)	=	4 pht (3 In/1 Out)
PM Peak Hour Traffic Generation (In/Out)	=	5 pht (2 In/3 Out)

The traffic to be generated by the proposed development has also been calculated in accordance with traffic generation rates listed in the *ITE Trip Generation Manual, 10th Edition* as shown in Tables 4-6. Table 4 shows the daily traffic generation associated with the proposed plan of development. Tables 5 and 6 show the A.M. and P.M. peak hour traffic generation, respectively. The traffic to be generated by the proposed plan of development may be summarized as follows:

Proposed Development

Daily Traffic Generation	=	78 tpd
A.M. Peak Hour Traffic Generation (IN/OUT)	=	3 pht (1 IN/2 OUT)
P.M. Peak Hour Traffic Generation (IN/OUT)	=	6 pht (4 IN/2 OUT)

2.0 TRAFFIC GENERATION (CONTINUED)

The difference in traffic generation as a result of the revised development plan is shown in Table 7 and may be summarized as follows:

<u>Trip Generation Increase</u>	
Daily Traffic Generation	= 45 tpd
A.M. Peak Hour Traffic Generation	= -1 pht (-2 IN/1 OUT)
P.M. Peak Hour Traffic Generation	= 1 pht (2 IN/-1 OUT)

3.0 SITE RELATED IMPROVEMENTS

The A.M. and P.M. peak hour turning movement volumes and directional distributions at the project entrance with no reduction for pass by credit are shown in Tables 5 and 6 attached with this report. The following summary applies:

DIRECTIONAL DISTRIBUTION (TRIPS IN/OUT)

A.M.	=	3 / 1
P.M.	=	3 / 3

As previously mentioned, site access is proposed via an ingress only and egress only driveway connection to the alley. Based on the Palm Beach County Engineering Guideline used in determining the need for turn lanes of 75 right turns or 30 left turns in the peak hour, no turn lanes or site access modifications appear warranted.

4.0 CONCLUSION

As shown in Table 7, the proposed modifications will result in an increase of 45 daily trips, -1 A.M. peak hour trips, and 1 PM peak hour trips from the vested development. Since the proposed modifications will result in less than 20 peak hour trips, a traffic study is not required and the project is approvable with regard to the Palm Beach County Traffic Performance Standards.

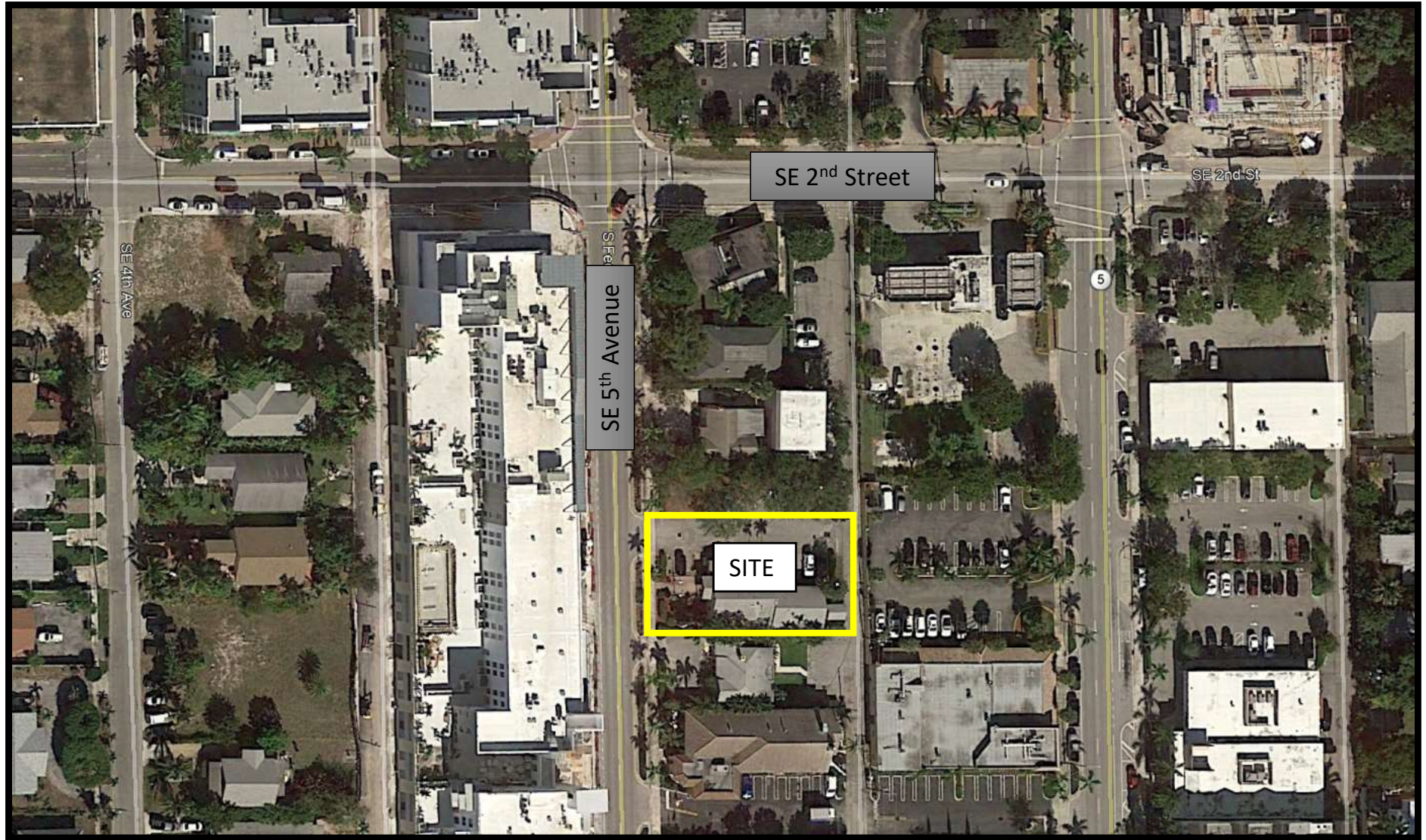


Figure 1 –Site Location Map
235 SE 5th Avenue Condominiums
Project # 20-069

235 SE 5TH AVENUE CONDOMINIUMS

05/13/2022

EXISTING DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation		Dir Split		Gross Trips		Internalization		External Trips	Pass-by		Net Trips
						In	Out		%	Total			%	Trips	
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	16.19				37		0	37	10%	4	33	
			Grand Totals:					37	0.0%	0	37	11%	4	33	

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation		Dir Split		Gross Trips			Internalization				External Trips			Pass-by		Net Trips		
						In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	1.92	0.83	0.18		3	1	4	0.0%	0	0	0	3	1	4	10%	0	3	1	4
			Grand Totals:					3	1	4	0.0%	0	0	0	3	1	4	0%	0	3	1	4

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization				External Trips			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Small Office Building (≤5,000 SF GFA)	712	2,309	S.F.	2.45	0.32	0.68	2	4	6	0.0%	0	0	0	2	4	6	10%	1	2	3	5
			Grand Totals:				2	4	6	0.0%	0	0	0	2	4	6	17%	1	2	3	5

PROPOSED DEVELOPMENT

TABLE 4 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir	Split	Gross Trips	Internalization	External Trips	Pass-by	Net Trips
				In	Out		%	Total	%	Trips
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units			51		0	0%	0
Gen. Commercial ^g	820	568	S.F.			71		0	62%	44
Grand Totals:						122	0.0%	0	36%	44

TABLE 5 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir	Split	Gross Trips	Internalization	External Trips	Pass-by	Net Trips
				In	Out	In	Out	Total	%	Trips
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units	0.23	0.77	1	2	3	0.0%	0
Gen. Commercial ^g	820	568	S.F.	0.62	0.38	1	0	1	0.0%	0
Grand Totals:						2	2	4	0.0%	0

TABLE 6 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir	Split	Gross Trips	Internalization	External Trips	Pass-by	Net Trips
				In	Out	In	Out	Total	%	Trips
Multifamily Low-Rise Housing up to 2 story (Apartment/Condo/TH)	220	7	Dwelling Units	0.63	0.37	3	1	4	0.0%	0
Gen. Commercial ^g	820	568	S.F.	0.48	0.52	3	3	6	0.0%	0
Grand Totals:						6	4	10	0.0%	0

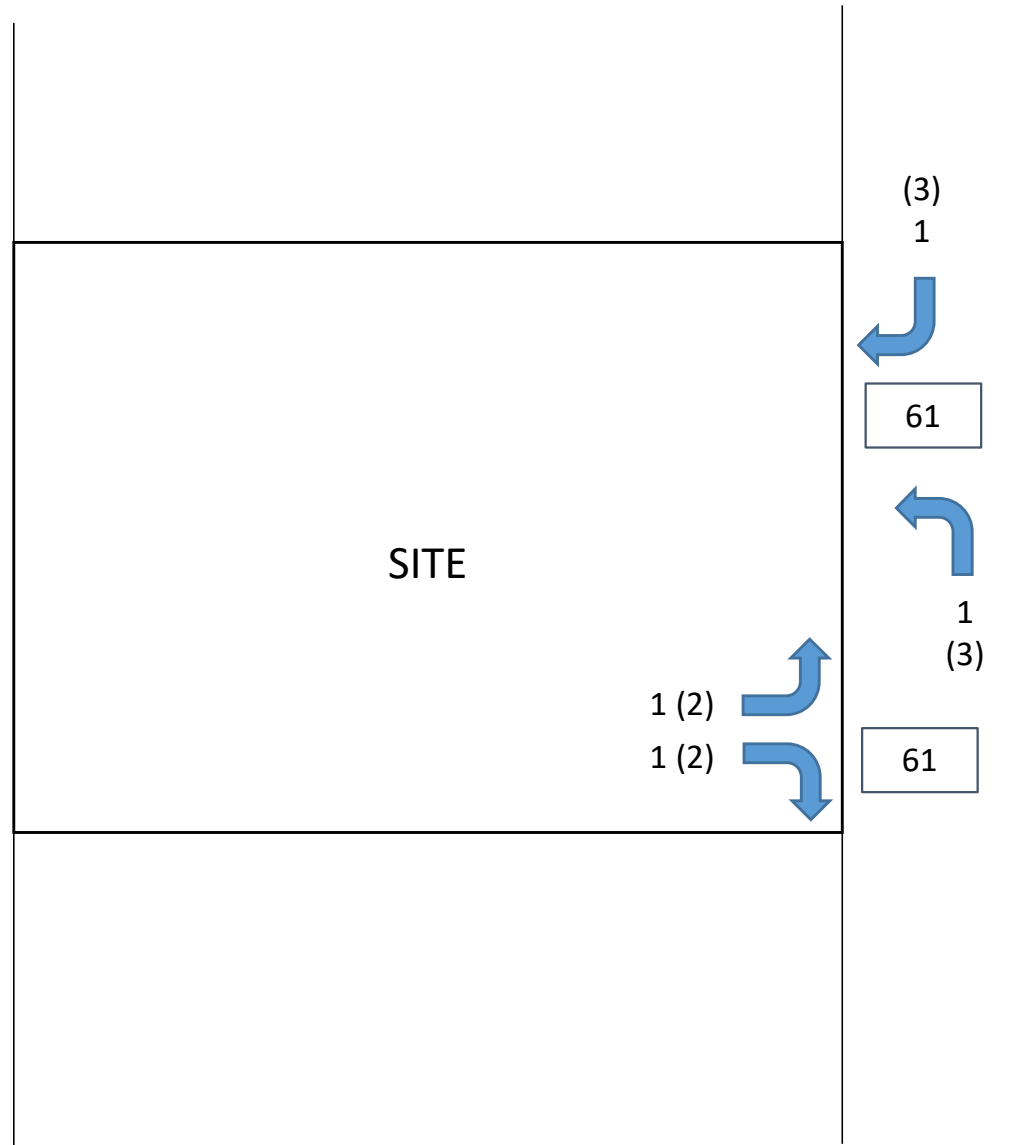
TABLE 7
TRAFFIC GENERATION INCREASE

	DAILY	AM PEAK HOUR			PM PEAK HOUR		
		TOTAL	IN	OUT	TOTAL	IN	OUT
PREVIOUSLY VESTED DEVELOPMENT =	33	4	3	1	5	2	3
PROPOSED DEVELOPMENT =	78	3	1	2	6	4	2
INCREASE =	45	-1	-2	1	1	2	-1



SE 5th Avenue/US-1

Legend	
XX	AM Peak Hour
(XX)	PM Peak Hour
xxx	ADT



Alley

Figure 2 – Driveway Volumes
235 SE 5th Avenue Condominiums
Project # 20-069



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MEMO TO: Development Services

DATE: March 15, 2023

ITEM – Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan

Dear Board Members:

This concerns the Planning & Zoning item Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan, which came before the Delray Beach Downtown Development Authority at the March 13, 2023 board meeting.

The DDA Board is supportive of this project. Suggestions were given on utilizing a different color for the building exterior walls (which are white on the proposed project).

ACTION – Motion to approve the Valhalla Condominiums – 235 SE 5th Avenue - Class V Site Plan as presented.

Motion: John Conde **2nd**: Vera Woodson. **Motion carried 5-0. Frank Frione and Alan Costilo not present.**

Sincerely,

A handwritten signature in black ink, appearing to read "Laura Simon", with a stylized flourish at the end.

Laura Simon,
DDA Exec. Director

Mayor and City Commission
City of Delray Beach Development Services Department
DDA Board of Directors