



# CITY OF DELRAY BEACH

## DEPARTMENT OF DEVELOPMENT SERVICES

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**TO:** DEVELOPMENT SERVICES MANAGEMENT GROUP (DSMG)

**FROM:** Charlie Landsrom, Planner

**DATE:** December 11, 2025

**REQUEST:** Consideration of a request to reduce the front setback from the minimum requirement of 30 feet to 25 feet associated with redevelopment of the property located at **137 Coconut Road**.

### PROPERTY INFORMATION

**PCN:** 12-43-46-04-13-001-0030

**Legal Description:**

Lot 3 Block A of Lake Heights recorded on Plat Book 23, Page 206 Public Records of Palm Beach County, Florida.

**Zoning:**

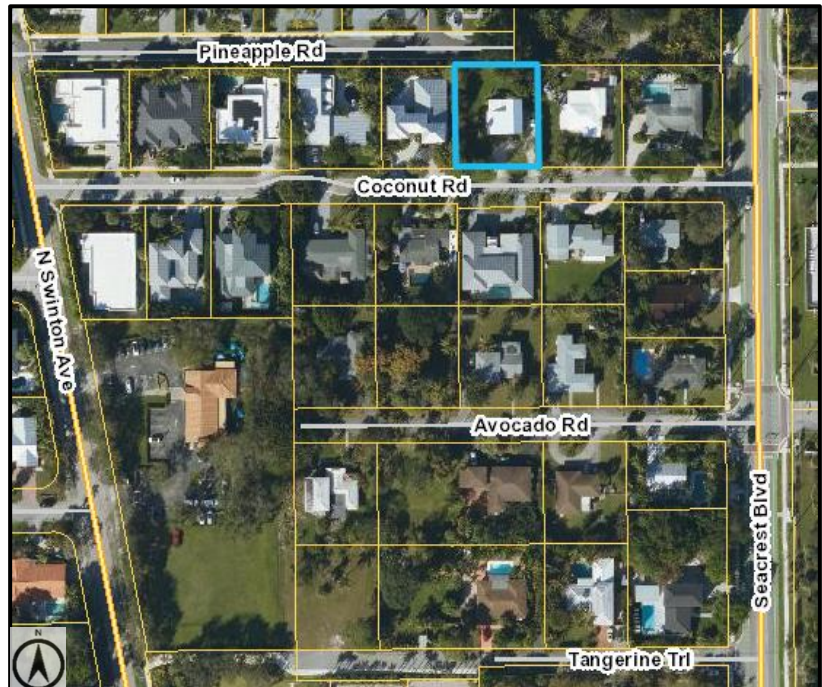
Single-family Residential (R-1-AA)

**Existing use:**

Single-Family Residence, ca. 1978.

**Proposed Use:**

Single-Family Residence.  
(New Construction)



### BACKGROUND:

The request is associated with the redevelopment of the property. The original structure, built in 1978, will be demolished and replaced with a new, two-story single-family residence. In 1952, the Lake Heights Plat created the lot with a width of 100 feet and a depth of 117 feet. The Lake Heights Plat also dedicated the eastern portion of Coconut Road as a public right-of-way at a width of 40 feet.

Given the redevelopment of the property, a right-of-way dedication of five feet is required for Coconut Road. Pursuant to **LDR Section 5.3.1(A), Right-of-way Dimensions and Dedication required**, *Right-of-way dimensions and dedications, whether public or private, shall be consistent with Table MBL-1 "Street Network and Classification and Improvements" of the Mobility Element, providing for coordinated rights-of-way dedications with the Florida Department of Transportation and Palm Beach County.* Furthermore, **LDR Section 5.3.1(A)(3)**, *when development is adjacent to an existing or planned street, the development shall be responsible for providing one-half of the ultimate right-of-way or such portion of the ultimate right-of-way which is yet undedicated and which is on that development's side of the ultimate right-of-way center line. In situations where there are unusual topographic features, greater or lesser dedications may be required.* Table MBL-1 specifies 50 feet as the required ultimate right-of-way width for other streets without curb and gutter classified as "Local." The result of the dedication reduces the depth of the property by five feet.

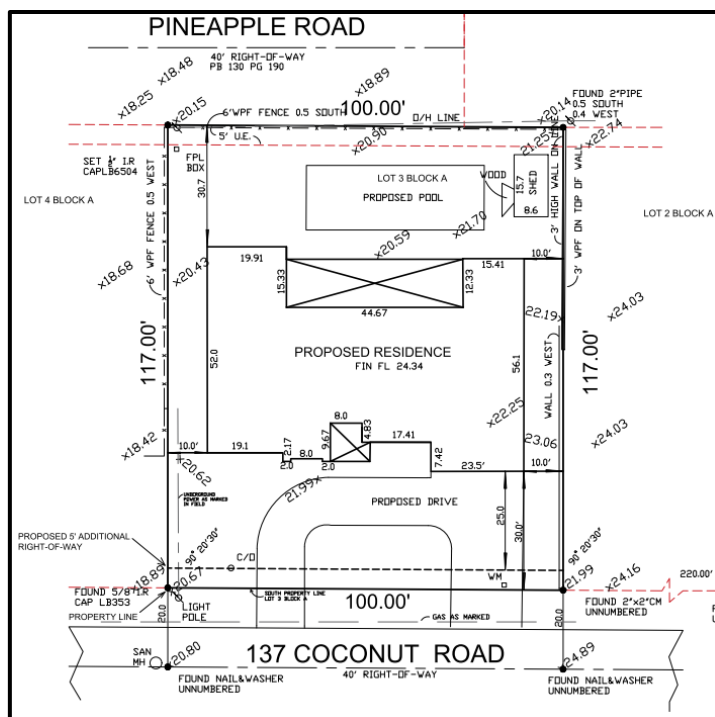
## REQUEST:

Pursuant to **LDR Section 4.3.4(K), Development Standards Matrix**. The front setback requirement for the R-1-AA Zoning District is 30 feet.

The request is to reduce the front setback along Coconut Road from the required 30 feet to 25 feet associated with the redevelopment of the property and is consistent with the amount of right of way required to be dedicated along Coconut Road. A proposed two-story, 4,195 SF, single-family residence will replace the existing two-story, 2,532 SF single-family residence built in 1978.

## STAFF REVIEW:

A review of the existing conditions adjacent to the subject property (outlined in blue) indicates that a majority of properties along Coconut Road have either been redeveloped or more recently developed. The property immediately to the south, 144 Coconut Road, which has similar frontage conditions and was redeveloped in 2024, was also required to dedicate the 5-foot ROW while meeting the required minimum front setback requirement.



In 2016, the Beacon Plat dedicated the western portion of Coconut Road to the City of Delray Beach at a width of 40 feet. During review of the plat, the DSMG reduced the requirement from 60 feet to 50 feet, with the City Engineer further reducing the right of way to 40 feet. The reductions are documented in the Planning and Zoning Board Staff Report for the meeting of December 19, 2016. The reduction to 40 feet appears to have been granted as the provision of sidewalks would be provided through five-foot easements along the front of each property, thereby maintaining lot depths consistent with those along the eastern portion of Coconut Road that were platted in 1952.

Subsequent to the right of way dedications, the property dimensions will maintain compliance with the minimum development standards applicable to the zoning district. Pursuant to LDR Section 4.3.4(K), Development Standards Matrix, the minimum lot size for the R-1-AA zoning district is 9,500 SF and the minimum required width and depth for an interior lot is 75 feet by 100 feet. The subject property's current lot size is .27 acres or 11,700 SF. **The right-of-way dedication required along Coconut Road will reduce the overall lot size to 11,200 SF, with a width of 100 feet and a depth of 112 feet, resulting in a lot that maintains compliance with the minimum lot size required for the R-1-AA district.**

Given these conditions, the requested reduction of the front setback from 30 feet to 25 feet results in consistency with other properties that have dedicated right-of-way and allows the front setbacks along Coconut Road to align, creating a more cohesive and uniform streetscape. Although the right-of-way dedication along Coconut Road will reduce the overall lot size, the lot will remain in compliance with the minimum lot size required for the R-1-AA zoning district. The setback reduction therefore helps maintain a cohesive streetscape despite the required dedication, as it allows for a similar setback from the right-of-way compared to recent redevelopment on the block.

**Nine of the 16 properties with frontage along Coconut Road have new structures completed since 2018; only one has been required to provide the five-foot dedication. Therefore, DSMG could consider if it would be more appropriate to reduce the right-of-way to 40 feet and require a five-foot sidewalk easement, akin to the properties established by the Beacon Plat, thereby requiring that the minimum front setback be provided.**

#### **APPLICANT JUSTIFICATION:**

The applicant's request is provided as an attachment.

#### **FINDINGS:**

Pursuant to **LDR Section 2.1.2(B)**, *the Development Services Management Group (DSMG) has the authority to grant administrative relief to adjustments to setback requirements for detached single-family and duplex structures resulting from right-of-way dedications, equal to the amount of the dedication, but no more than five feet.*

**LDR Section 2.4.11(D)(5), Findings**, *Prior to granting administrative relief, the administrative official or body shall find:*

- (a) That the relief sought is consistent with the specific authorization provided for in these regulations;*
- (b) That the intent of the affected regulation is preserved;*
- (c) That the action will not be detrimental to the public health, safety, or welfare; and,*
- (d) The relief is consistent with the established character of the surrounding neighborhood.*

In consideration of the required findings for such requests, the subject property will continue to establish the character of Coconut Road by providing the five-foot right-of-way dedication. The intent of the front setback is to provide a minimum dimension that will allow for reasonable development of the land given the minimum lot size requirements. The request for the reduction of the required front setback from R-1-AA from 30 feet to 25 feet will not impact the surrounding neighborhood but help establish a more consistent streetscape on Coconut Road.

#### **REVIEW PROCESS:**

If the request is approved and no other relief is requested, the property owner may proceed with the submittal of a building permit application illustrating a front setback of 25 feet along Coconut Road.

If the request is denied, the plans must reflect both the minimum required front setback of 30 feet or an appeal can be requested in accordance with LDR Article 2.5, Appeals. Appeals of the Development Services Management Group (DSMG) are considered by the City Commission for final determination.