



Planning, Zoning, and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 106 SE 7th Avenue
Project Location: 106 SE 7th Avenue, Marina Historic District
Request: Class II Site Plan Modification, Architectural Plan and Certificate of Appropriateness for additions and alterations to a contributing structure and accessory garage.

Board: Historic Preservation Board
Meeting Date: June 1, 2016

Board Action: Approved the Class II Site Plan Modification, Architectural Plan and Certificate of Appropriateness on a 7 to 0 vote

Project Description:

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a Unity of Title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM) and classified as contributing to the Marina Historic District.

The subject request is for a COA and Class II Site Plan Modification consisting of additions and alterations to the 1925 Mission style structure on the site, as follows:

- Addition, South elevation: 37.5 square foot addition with French doors facing south;
- Screen Porch, South elevation: Screened porch over existing patio with simulated coral rock columns and decorative trellis supporting new awning above;
- Addition, Second story: 910 square foot addition to accommodate a new Master Suite;
- Awnings: New shed style, fabric awnings on residence (Sunbrella, Forest Green Tweed);
- Extension of chimney to second story on north elevation; and,
- New single French door on west elevation of residence.

All new windows and doors will consist of Weathershield PGT aluminum clad wood in medium walnut.

Alterations to the detached garage include a new flat, single-panel door on the north elevation and new shed style fabric awnings (Sunbrella, Forest Green/Beige Blvd. stripe).

Staff supported the request as submitted, as all items were addressed prior to Board review.

Board comments:

The Board comments were supportive. The Board commented that the proposal maintains the integrity of the historic structure in that the addition is to the rear and areas that are not architectural significant.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

All required actions were taken.

Next Action:

HPB action is final unless appealed by the City Commission.

---STAFF REPORT---

ITEM: 106 SE 7th Avenue, Marina Historic District: Consideration of a Certificate of Appropriateness and Class II Site Plan Modification associated with additions and alterations to the contributing structure and detached garage.

GENERAL DATA:

ITEM BEFORE THE BOARD

The item before the Board is the consideration of a Certificate of Appropriateness (COA) and Class II Site Plan Modification request associated with additions and alterations to the contributing structure located at **106 SE 7th Avenue, Marina Historic District**, pursuant to LDR Section 2.4.6(H).

BACKGROUND

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a Unity of Title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM) and classified as contributing to the Marina Historic District.

In October, 1993, the Historic Preservation Board approved variances to reduce the required side and rear setbacks for a proposed 3-bay garage, a variance request to reduce the distance between two residential buildings within the multi-family developments, a waiver to reduce the right-of-way width on SE 7th Avenue from 60' to 40', and the site plan, subject to conditions. The Board required that a sidewalk be installed along the west side of SE 7th Avenue from the north property line to the northernmost parking space. The Board also gave partial approval for the proposed architectural design elements. While the development approval expired, the variances remained as these run with the land, as opposed to with the validity or establishment of an approved project.

In December, 1995, the Historic Preservation Board approved the restoration of the historic dwelling, expansion and upgrading of the existing one-story triplex to two stories, construction of a second-story on the existing single-family residence, construction of a three-bay garage, construction of a swimming pool, and the installation of fences, walkways, and decking, subject to conditions. One condition was that Unity of Title and condominium documentation be recorded as the development proposal contained three individually platted lots. Once these documents were recorded, the triplex became a three-unit condominium unit, the two-story, single family residence became a single-unit condominium, and the one-story, contributing structure became a single-unit condominium with an associated attached garage.

PROJECT DESCRIPTION

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- Addition, South elevation: 37.5 square foot addition with French doors facing south;
- Screen Porch, South elevation: Screened porch over existing patio with simulated coral rock columns and decorative trellis supporting new awning above;
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- New single French door on west elevation of residence.

All new windows and doors will consist of Weathershield PGT aluminum clad wood in medium walnut.

Alterations to the detached garage include a new flat, single-panel door on the north elevation and new shed style fabric awnings (Sunbrella, Forest Green/Beige Blvd. stripe).

REQUIRED FINDINGS FOR SITE PLANS

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Pursuant to **LDR Section 2.4.5(G)(1)(b)**, a Class II Site Plan Modification is a modification to a site plan (other than Class I applications) which requires no review of the Performance Standards found in LDR Section 3.1.1, but which requires action by a Board.

The proposed additions to one of the units on site has prompted the subject modification. Given that the addition is to a unit, and does not include the provision of additional units on the site, it is not considered an increase of intensity of the use, thereby not requiring a higher class Site Plan Modification.

Pursuant to **LDR Section 2.4.5(G)(5)**, formal findings are not required for a Class I or II Modification, with exception given to the Section noted below.

Pursuant to **LDR Section 2.4.6(H)(5)**, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

Zoning and Use Review

Pursuant to **LDR Section 4.4.6(F)(2), RM Development Standards**, the development standards as set forth in Section 4.3.4 shall apply for duplex and multi-family development. The subject property is located within the RM zoning district; its present use is multi-family residential and has been reviewed accordingly.

Pursuant to **LDR Section 4.3.4(K), Development Standards**, properties located within the R-1-A zoning district shall be developed according to the requirements noted in the chart below. As illustrated, the proposal is in compliance with the applicable requirements.

	Standard	Existing	Proposed
Height (Maximum)	35'	13'4" (top of parapet)	24' (top of parapet)
Front Setback Minimum (East)	25'	30'	No change*
Side Interior Setback Minimum (South)	15'	9.56'	No change*
Side Interior Setback Minimum (North)	10' (Per approved variance in 1993)	10'	10'
Rear Setback Minimum (West)	25'	17'	No change*
Open Space (Maximum; Non-vehicular)	25%	64.6%	64.4%
Lot Coverage (Maximum)	40%	28.7%	28.9%

*Existing non-conformity, not impacted by the proposed development.

As previously indicated, the proposal meets the Development Standards noted above; additional review criteria, aside from the Architectural Elevations provided below, are not applicable. The Open Space is minimally impacted, thereby not requiring review of a Landscape Plan. Therefore, it can be determined that there will be no outstanding issues created by the proposed modification.

ARCHITECTURAL ELEVATIONS

Historic Preservation District and Sites

Pursuant to **LDR Section 4.5.1(E), Development Standards**, all development regardless of use located within historic districts, whether contributing or noncontributing, residential or nonresidential, shall comply with the goals, objectives, and policies of the Comprehensive Plan, these regulations, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to **LDR Section 4.5.1(E)(2)(b)(2-3), Major Development**, the subject application is considered "Major Development" as it is "the construction, reconstruction, or alteration of in excess of twenty-five percent (25%) of the existing floor area of the building, and all appurtenances," as well as "the construction, reconstruction, or alteration of any part of the front façade of an existing contributing residential or non-residential structure and all appurtenances." The subject Sections also note that "all limitations and regulations shall be reviewed in a cumulative manner from the date of passage of this ordinance in 2008."

The proposed improvements are to a contributing structure in excess of 25% or more of the existing floor area of the building, and therefore considered "Major Development" in accordance with the LDR noted above.

Pursuant to **LDR Section 4.5.1(E)(4), Alterations**, in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

Pursuant to **LDR Section 4.5.1(E)(5), Standards and Guidelines**, a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

The applicable Standards are noted below:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.-Standard 1

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
-Standard 2

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.-Standard 9

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.-Standard 10

In consideration of the applicable Standards noted above, the proposal appears to have taken them into consideration and meets their intent. The historic use of the property as a single residential unit remains and provides the appearance from the streetscape that it is maintained as such. The second

story addition and smaller addition to the south elevation are appropriately designed and differentiated with score lines where the new meets the old. Additionally, these changes will not alter the defining characteristics of the historic structure as the new additions and alterations do not compromise the historic integrity of the structure or the property.

Pursuant to **LDR Section 4.5.1(E)(8)(a-m), Visual Compatibility Standards**, new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

(a) Height: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures shall also be determined through application of the Building Height Plane, First Floor Maximum Height, and Upper Story Height(s).

(b) Front Facade Proportion: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.

(c) Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.

(d) Rhythm of Solids to Voids: The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.

(e) Rhythm of Buildings on Streets: The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.

(f) Rhythm of Entrance and/or Porch Projections: The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.

(g) Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.

(h) Roof Shapes: The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.

(i) Walls of Continuity: Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.

(j) Scale of a Building: The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development.

(k) Directional Expression of Front Elevation: A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.

(l) Architectural Style: All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

(m) Additions to Individually Designated Properties and Contributing Structures in all Historic Districts: Visual compatibility shall be accomplished as follows:

- 1.Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
- 2.Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
- 3.Characteristic features of the original building shall not be destroyed or obscured.
- 4.Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
- 5.Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design, but shall be coherent in design with the existing building.
- 6.Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

The proposed additions meeting the intent of the Standards noted above. The second story addition meets the Building Height Plan requirement which sets back upper stories within the historic district to provide relief and minimizing an impact on the historic streetscape. The proposed details of the additions are appropriate and defined by a score line to illustrate the evolution of the building while maintaining its integrity. The proposed additions, which maintain a single-architectural style, are appropriately placed and setback from the front elevation, coherent in design with the existing structure, and do not overwhelm the original building. Therefore, it can be determined that the proposed additions and alterations comply with the Visual Compatibility Standards, as proposed.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Approve the Certificate of Appropriateness, Class II Site Plan Modification, and Architectural Elevations (2016-136) for **106 SE 7th Avenue, Marina Historic District**, based on consistency with LDR Sections 2.4.5(G)(1)(b), 2.4.6(H)(5), and 4.5.1(E), and the Secretary of the Interior's Standards for Rehabilitation.
- C. Deny the Certificate of Appropriateness, Class II Site Plan Modification, and Architectural Elevations (2016-136) for **106 SE 7th Avenue, Marina Historic District**, based on an inconsistency with LDR Sections 2.4.5(G)(1)(b), 2.4.6(H)(5), and 4.5.1(E), and the Secretary of the Interior's Standards for Rehabilitation.

RECOMMENDATION

By Separate Motions

Class II Site Plan Modification

Approve the Certificate of Appropriateness and Class II Site Plan Modification (2016-136) for **106 SE 7th Avenue, Marina Historic District**, based on based on consistency with LDR Sections 2.4.5(G)(1)(b), and 2.4.6(H)(5), as presented.

Architectural Elevations

Approve the Architectural Elevations (2016-136) for **106 SE 7th Avenue, Marina Historic District**, based on consistency with LDR Section 4.5.1(E), and the Secretary of the Interior's Standards for Rehabilitation, as presented.

Report Prepared By: Amy E. Alvarez, AICP, Senior Planner

Addendum to PAGE 7 if COA Application for the Sloan Residence Addition
A BRIEF DESCRIPTION and HISTORY of The SLOAN RESIDENCE

106 SE 7th Avenue, Delray Beach, Florida

Updated 3/16/16 File: History_SloanRes_COA addn_16.doc

A. HISTORY of the RESIDENCE

This Contributing Residence was constructed in 1924 and is one of the oldest residences in the Marina Historic District. No specific information about the original owner or builder was able to be found. The Architectural Style of the building is the Mission Style, which was rooted in the American West and Southwest and was a very popular 1920's boom Design. All of the historic districts in the city of Delray Beach have examples of this style. We have located Plans in the Historical Archives of a proposed renovation designed by Sam Ogren Sr, which was not fully realized.

The one story building had an elongated rectangular plan. The Exterior Construction Materials included a Flat roof system (tar and gravel) with distinctive curved parapet walls around the perimeter, and a textured Stucco exterior. Frame construction was utilized with a crawl space, decorative roof drain scuppers and downspouts (galvanized and partially rusted out).

The distinctive architectural features included: Stucco exterior finishes (which was done by skip trowelling on stucco and then smoothing out slightly with a damp sponge to soften the edges), Curved parapet walls at the roof line, 4/1 and 5/1 Wood double hung windows and 6 light wood casement windows in the rear bedroom, a distinctive masonry fireplace on the north facade, and Terra Cotta Attic Ventilators (rectangular shaped hand made with (6) subdivisions, installed at an angle to keep out rain but allow air to flow into attic). The interior has distinctive features including a concrete fireplace, 5 over 1 Double Hung Windows, "Dade County" pine flooring in the living & dining rooms, original clawfoot cast iron bathtub, and hand plastered walls.

B. DESCRIPTION OF PHYSICAL APPEARANCE

(Building Description before 1993-1994 Renovations)

Changes made to the original building prior to the Sloan's purchase of the property in 1992 include an enclosed front porch and one car garage which were added in the 1950's, the front porch windows were replaced at some point in time with crude wood slats and the porch door and garage doors were replaced with inexpensive store bought wood "Barn" doors. One of the dining room windows was replaced with an aluminium awning window. Certain windows had been so weather damaged that they were boarded up. Interior alterations included: removing the original claw foot cast iron tub (and burying it in the back yard) and replacing it with a very inexpensive steel tub with stick on vinyl tiles as a shower surround. The Exterior walls and wood windows show extensive termite damage, which needed to be repaired. A secondary (not to code) bathroom had been added to the rear of the house in the 60's. This bathroom has an incongruous shed roof and board and batten siding.

Addendum to PAGE 7 if COA Application for the Sloan Residence Addition
A BRIEF DESCRIPTION and HISTORY of The SLOAN RESIDENCE
106 SE 7th Avenue, Delray Beach, Florida
Updated 3/16/16 File: History_SloanRes_COA addn_16.doc

C. DESCRIPTION OF 1993-1994 RENOVATIONS

(This work was designed and constructed by Dan & Donna Sloan)

This work encompassed removing all rotted perimeter and interior bearing stud walls and reframing same with new 2x4 Pressure Treated Wood Stud walls. As part of this work new foundations were installed for each bearing element. This painstaking work was accomplished in 8' segments as the old structure had to be carefully braced prior to removal of rotted wood wall segments.

At the same time all floor joists, ceiling joists, and roof rafters were either replaced or new 2x pressure treated members were "sistered" to the side of each and every member. Again, very slow process. Next custom made wood windows 4/1 or 5/1 light pattern with traditional narrow mullions were installed with "florida" style exterior brickmold to match the original windows. Exterior wood French doors were then installed

Subsequently, all mechanical, electrical, and plumbing system components were 100% replaced and the structure was insulated. Next all walls received blue board and a very textured layer of plaster except for kitchen, bath, and ceilings, which were finished smooth.

As all of the old doors were missing from the home (not one room had a interior door) salvaged doors from the Pennsylvania Hotel in West Palm Beach were located. These 1926 doors were of varying sizes, but similar raised panel styles with crystal mortise set locksets. A custom doorframe was built for each door and each door opening was in turn built to accommodate the particular door assembly. Interior door and window trim was installed replicating the style prevalent at the time and based on samples found in the home.

Cabinetry was then installed, final mechanical, electrical, and plumbing system components installed. Then floor finishes and painting and staining was completed.

Statement of relationship of the proposed variance to the appropriateness requirement of Section 174.54 (B)(1)(4)(5) and (12) of the Historic Preservation Code.

Submitted by; Hammock Partners & Historic Partners, Date: 5/17/1993
Property Address: 106-114 SE 7th Ave., Delray Beach, FL
File: Hammock.Ltr.VARIANCE

The goal of the proposed project is to create a complex that utilizes a historical structure as the focal point and incorporates a modern interpretation of Florida Vernacular Architecture in the new and renovated surrounding structures. This will create an intimate development that will retain the old florida charm in a modern day setting.

The single family house that will form the focal point of the project was constructed in 1924 on a 50'x135' lot and was designed in the Mission Style of Architecture. We propose to restore this structure to it's original character and construct a garage/guest cottage of compatible architectural style to the rear of the residence. An intimate landscaped courtyard would be created between the two structures. Through the years numerous additions and modifications were made to this property. The most unsightly was the paving of most of the front yard and side yards. As part of the restoration the paving would be completely removed and restored to landscaped areas. The new garage would provide the necessary parking capacity and would utilize the existing paved alley for access. Because of the location of the historic residence on the site space is at a premium. Therefore, the construction of the garage will require a variance form the RM setback requirements. This project falls under the RM Development standards due to City Staff's requirement that the three lots be combined in order to develop the site as a unified project. The lot was originally developed under the R1A Development Standards which are more appropriate for this historic district.

The RM Development Standards require a 15' interior side setback for both 1 and 2 story structures. The existing historical structure is located 10' from the north property line. This will require a variance to permit the existing 10'

setback. The proposed garage/guest cottage will be a 2 story structure and is proposed to be located 10' from the north property line to keep the building line consistent with the existing historical structure. The garage/guest cottage will require a variance from the 15' side yard setback requirement.

Page 1. of 3.

Statement of relationship of the proposed variance to the appropriateness requirement of Section 174.54 (B)(1)(4)(5) and (12) of the Historic Preservation Code.

Submitted by; Hammock Partners & Historic Partners, Date: 5/17/1993
Property Address: 106-114 SE 7th Ave., Delray Beach, Fl

The Rear Setback for RM is 25'. Due to the location of the historical residence, the garage will be located 17' from the rear property line and approximately 19' from the edge of the paved alley. This will provide ample room to pull the vehicles off the alley while waiting to open the garage doors and should not produce a problem with traffic flow.

The existing triplex will be expanded to add a second story. The existing structure, which will be retained in this renovation, is 9.5' from the south property line. Again, the RM Development Standards require a 15' interior side setback for both 1 and 2 story structures and a variance would be required to reduce the 15' setback to 9.5 feet.

This project is a compilation of three existing 50' x 135' lots. This area originally fell under the R1A Development Standards but is now under RM Development Standards. The following chart is a comparison of the setbacks as they relate to RM, R1A, and the requested building setback variances for this project:

ZONING	FRONT SETBACK	SIDE/INTERIOR SETBACK	REAR SETBACK
RM (1 & 2 story structures)	25'	15'	25'
R1A(1 & 2 story structures)	25'	7.5'	10'
Renovated Triplex	25'	9.5'	

Renovated Historical Residence	10'	
Garage/Cottage (note: garage is 17' from rear property line, 2nd story cottage is 10' from rear property line)	10'	10'

As shown on the above chart, the presently required setbacks are substantially in excess of the original R1A Development Standards.

Page 2. of 3.

Statement of relationship of the proposed variance to the appropriateness requirement of Section 174.54 (B)(1)(4)(5) and (12) of the Historic Preservation Code.

Submitted by; Hammock Partners & Historic Partners, Date: 5/17/1993
Property Address: 106-114 SE 7th Ave., Delray Beach, Fl

As per the provisions of Section 4.5.1 (H) (2) (J) (1) sections (a) (b) (c) (d) the following conclusions can be made

a) Due to the fact that the requested setbacks are consistent with those present in the immediately surrounding neighborhood, this request will not be contrary to the public interest, safety, or welfare.

b) The lots were originally developed as 50' wide lots under R1A Development Standards (or the precursor to). It is virtually impossible to develop a parcel 50' wide that requires 15' side yard setbacks. City Staff has requested that the three lots be combined in order to develop the site as a unified project and ensure that the historical residence and the other structures are developed in an appropriate fashion. The change of zoning to RM has created a special condition on this parcel that would greatly reduce the ability of the owners to construct the contemplated structures and renovate the existing ones due to the excessive setback requirements.

c) The historical residence presently has a 10' existing setback on the north side and a 5' existing setback on the south side if the 50' lot is evaluated on a stand alone basis. A literal interpretation of the code would require 15' side yard setbacks

leaving only a 20' wide buildable area in the center of the parcel. The existing historic residence is 34.67' wide and hence it would not be feasible to restore the residence if the RM setback requirements had to be followed.

d) The variance requested is the minimum required to retain the character of the existing historical structure and have a viable project. As shown previously, the proposed setbacks are in excess of those that were originally required in the area at the time of original development (R1A Zoning). They constitute the minimum variance from the present RM Zoning Development Standards. Therefore, this request is appropriate and the conditions for approval of this variance request are present in every instance.

Page 3. of 3

NOTE: THIS SAME AWNING DESIGN,
CONSTRUCTION, FABRIC, AND FINISH
IS PROPOSED TO BE UTILIZED
FOR THE "SLOAN RESIDENCE ADDITION"
106 SE 7TH AVENUE, DELRAY BEACH, FL.
(Widths will vary according to the opening
in question, Shop Drawings will be provided
with the Permit Application for the Awnings)

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
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File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16

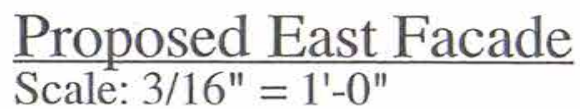


File: SloanResReno_2016_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Renovations & 2nd Story Addition
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 3/03/16



File: SloanResReno_2016_COA pics.indd



PAINT (STAIN LOOK)
B.M. - AMERICAN WALNUT

Sloan Residence Addition

106 SE 7th Avenue, Delray Beach, Florida

Library Addition & New Second Floor M.BedRm. & Studio

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SLOAN RESIDENCE
MASTER SUITE ADDITION
106 SE Seventh Avenue,
Delray Beach, Florida 33483

STRUCTURAL ENGINEER:
GIGLIO GROUP, INC. ENGINEERS
Carmelo Giglio, PE, SI, Project Mgr.
1329 South N Street,
Lake Worth, FL 33460
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email: gigliogroup@bellsouth.net
PE CA #27526

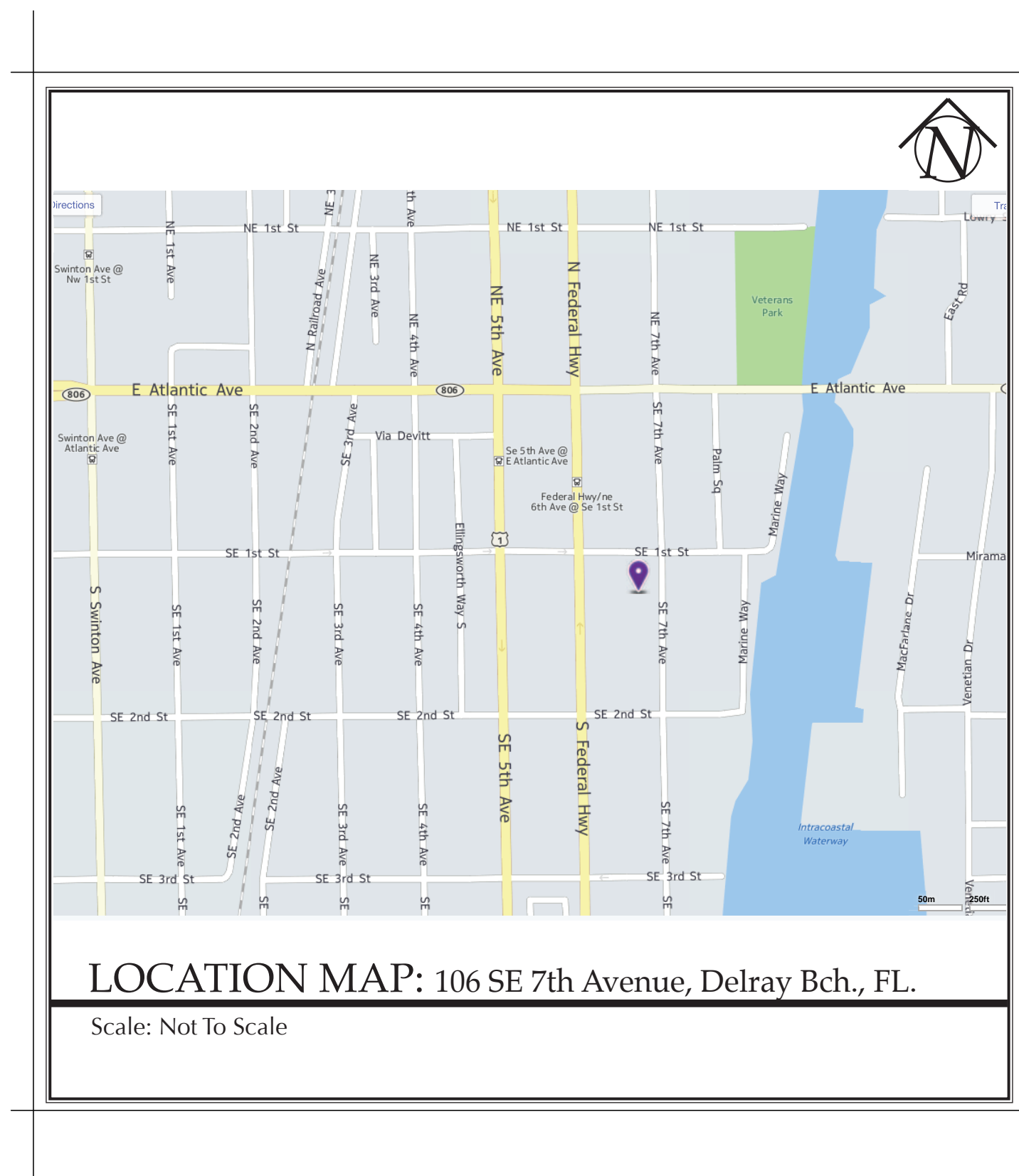
ARCHITECT:
SLOAN & SLOAN, INC.-
ARCHITECTS & INT. DESIGNERS
Dan Sloan, Project Mgr.
106 SE 7th Ave., Ste. B
Delray Beach, FL 33483
(561) 243-8755
email: dan@sloandesign.biz
AR 95577 & AA26002208

INTERIOR DESIGNER:
SLOAN & SLOAN, INC.-
ARCHITECTS & INT. DESIGNERS
Donna Sloan, Project Mgr.
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email: donna@sloandesign.biz
ID 0002527

OCCUPANCY CLASSIFICATION:
GROUP RM- MEDIUM DENSITY MULTI FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION:
TYPE V -Unprotected /Unsprinkled
(Existing 1 Single Family Residential Structure)

APPLICABLE CODES:
2014 FLORIDA BUILDING CODE
2014 FLORIDA MECHANICAL CODE
2014 FLORIDA ELECTRICAL CODE
2014 FLORIDA PLUMBING CODE
2014 FLORIDA BUILDING CODE
2008 ICC 600- STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS

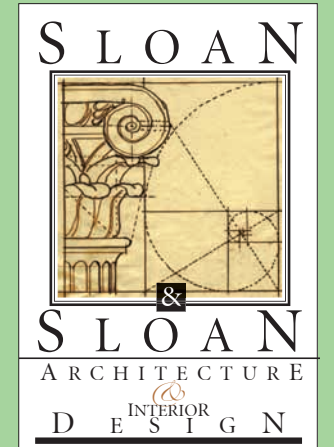


#	ITEM	
1	OCCUPANCY: (Single Family, Multifamily, Commercial, Industrial, Institutional)	<div>Single Family</div> <div> <input checked="" type="checkbox"/> SEC. R301.2.1.4.3 2010 FLORIDA RESIDENTIAL CODE </div>
2	EXPOSURE CONDITION:	B
3	MEAN ROOF HEIGHT: (Lower Section) MEAN ROOF HEIGHT: (Higher Section)	<div>20'</div> <div>22'</div>
4	BUILDING HEIGHT: (If < or = 60' may use FBC 2010 Low Rise Provisions. If > 60' use ASCE7-10)	<div> <input type="checkbox"/> < or = 60' Height <input type="checkbox"/> > 60' Height <input type="checkbox"/> Partly enclosed <input checked="" type="checkbox"/> Enclosed <input type="checkbox"/> Open <input type="checkbox"/> Tested (Wind Tunnel) </div>
6	IMPORTANCE FACTOR: (Determined by Building Use /Occupancy. Refer to FBC 2010 or ASCE 7-10)	1.0
7	BASIC WIND VELOCITY PRESURES: FBC 2010. VERIFY APPROPRIATE POSITIVE/VEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS & CLADDING AS APPLICABLE.	
	FBC 2010 WIND SPEED:	(Wind Speed in mph)
	FBC 2010 BASIC VELOCITY PRESSURE:	<div>32</div> <div>IN PSF</div>
	ASCE 7-10 WIND SPEED:	(Ultimate Wind Speed in mph)
	ASCE 7-10 BASIC VELOCITY PRESSURE:	<div>17.0</div> <div>IN PSF</div>
	NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.	
8	ROOF DEAD LOAD (Actual Dead Load of Materials Used for Determining Net Uplift Reactions.	<div>15</div> <div>LBS</div>
9	SOIL BEARING CAPACITY: (Supported by Soil Report from Geotechnical Engineer)	<div>2500</div> <div>PSF</div>
10	REVIEWED FOR SHEARWALL REQUIREMENTS:	<div>Yes</div> <div> <input checked="" type="checkbox"/> No (If no Explain why) </div>
	If No Explain Why: _____	

<h1>LIST OF DRAWINGS</h1>		
<p>Sloan Residence: New Master Suite 2nd Floor Addition (910 Gross SF, 861 Net SF) 106 SE 7th Avenue, Delray Beach, FL Revised: 3/14/16 by Dan Sloan</p>		
#	Title	Includes
A0	Cover Sheet	W/ Consultant List, Location Map, Drawing List
A1.01	Site Plan	Showing Setbacks, Driveway, Pool Deck Areas
A2.01	EXISTING First Floor Plan	Showing New Walls, Cabinetry, Doors, Windows
A2.02	New First Floor Plan	With Door & Window Schedule. General Notes
A2.02N	New Enlarged Partial First Floor Plan	Showing Enlarged Trellised Patio & Library Addition
A2.02N	New First Floor Ceiling Plan	Showing New Fabric Awnings at Patio, Doors, & Windows
A2.03	New Second Floor Plan	W/ Added General Notes if required
A2.04	Second Floor Reflected Ceiling Plan	Showing New Ceiling w/ Coffers, Crown Molds, etc.
A2.05	Roof Plan	Showing Roofing Materials, Gutters, Etc.
A3.01	EXISTING North & South Elevations	Showing Extg. Windows, Doors, & Exterior Elements
A3.02	EXISTING East & West Elevations	Showing Extg. Windows, Doors, & Exterior Elements
A3.03	New North, South, East, & West Elevations	Showing New Windows, Doors, & Exterior Elements
A3.04	Notated Elevation	With Materials/Colors/Finishes Noted
A3.05	New Trellised Patio/Awing Elevations	Showing Column and Rafter Details
A4.01	New Building Sections: Longitudinal & Transverse	Showing New Construction Elements- Section "1"
	Section "1" & Section "2"	Showing New Construction Elements- Section "2"
A5.01	2nd Floor Interior Elevations (Master Closets)	Showing New Interior Design Elements
A5.02	2nd Floor Interior Elevations (Master Bath)	Showing New Interior Design Elements
A6.01	Section Details: Window Head, Jamb, Sills Door Head, Jamb, Sills, Wall/Roof Sections, Etc.	Showing New Construction Elements
A6.02	Prototypical Wall Sections	Exterior Wall Sections, Typical Interior Bearing Walls, Typical Interior Non-Bearing Walls
A7.01	Existing Plans & Details: Fireplace Mantel, Stair Plans & Details	Showing New Construction Elements
A8.01	Millwork & Woodwork: Cabinets, Paneling, Trim, Custom Doors	
S1.01	Existing & New Foundation Plan	Showing New & Existing Foundations
S2.01	New 1st Fl. Library Rf. & Trellis Framing Plan	Showing New Library Rf Joists & New Patio Trellis
S2.02	New Second Floor Rf. & Roof Framing Plans	Showing New Rf Joists over Old Rf. - New Roof Trusses
S8.01	Framing Details & Typical Wall Sections	As required for permitting
S8.02	Additional Structural Details/Notes:	As required for permitting
S8.03	Additional Structural Details/Notes: Including Wind Pressures on Doors/Windows	As required for permitting
M1.01	New Second Floor HVAC Plan	incl. Mechanical Notes, Details, & Schedule(s) 2 Equipment Options: 16 SEER or 21 SEER
E1.01	New First Floor Electrical Plan (New items only)	Showing All Outlets & Devices - W/ Symbol Key, Electrical Notes
E1.02	New Second Floor Electrical Plan	Showing All Outlets & Devices - W/ Symbol Key, Electrical Notes
E1.02	New Second Floor Lighting/RCP Plan	Showing Lighting, Fixer, Switches
E8.01	Additional Electrical Schedules and Notes:	New Schedules, Riser, Details Schedule for 2nd Floor Feed from Extg. 1st Floor 150amp p.c.
P1.01	New Second Floor PLUMBING Plan	Showing Plumbing Fixtures & Notes & Schedule
P8.01	Additional Plumbing Schedules and Notes:	New Schedules, Riser Details, Notes, Calculations

Cover Sheet
A0.00

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px dashed gray; border-radius: 50%; width: 40%; height: 40%; position: relative;"> <div style="position: absolute; top: 50%; left: 50%; transform: translate(-50%, -50%); font-size: 2em;">+</div> </div> <div style="border: 1px dashed gray; border-radius: 50%; width: 40%; height: 40%; position: relative;"> <div style="position: absolute; top: 50%; left: 50%; transform: translate(-50%, -50%); font-size: 2em;">+</div> </div> </div> <div style="text-align: right; margin-top: 10px;"> Daniel Sloan, AR95577 Date: _____ </div>		

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant	
------------	--

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title	COVER SHEET
---------------	-------------

Project Manager	Project ID
D. Sloan	Sloan Res Mstr. Ste.
Drawn By	Scale
D. Sloan	As Noted
Reviewed By	Drawing No.
D. Sloan	A.0
Date	_____ of _____
3/03/2016	
CAD File Name	Total Sheets
wp_Res_Mstr_Ste_2016.dwg	

LAWRENCE STREET(PLAT) S.E. 1st STREET(SIGN)

(50' R/W)

LOT 1 BLOCK 118

2 STORY WOOD FRAME RES.

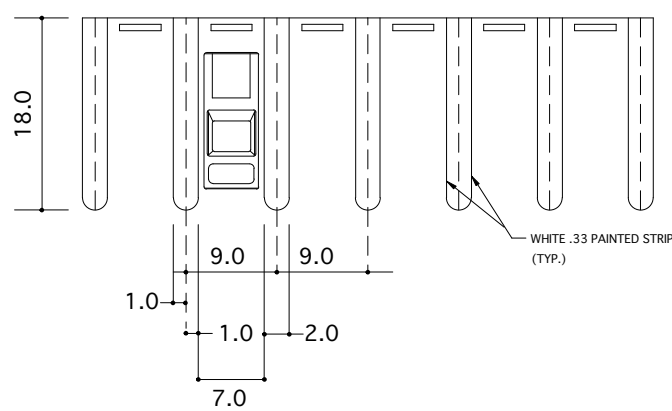
S 89°09'00" E

135.00'

81.00'

PARKING DETAIL

NOT TO SCALE



LOCATION MAP

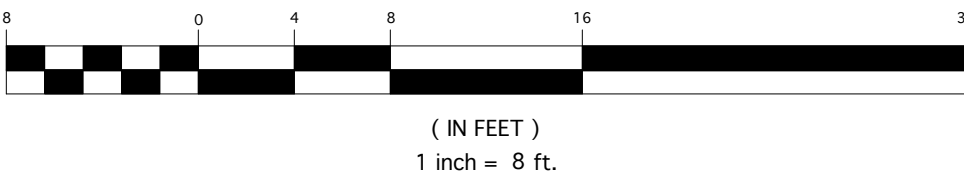
NOT TO SCALE

TYPICAL LEGEND NOTES

A/C - AIR CONDITIONER
L - ARC LENGTH
ASPH - ASPHALT
ALUM - ALUMINUM
BLDG - BUILDING
BLK - BLOCK
C & G - CURB AND GUTTER
C.B. - CATCH BASIN
C.M.P. - CORRUGATED METAL PIPE
C.O. - CLEANOUT
CALC. - CALCULATED
CATV - CABLE TELEVISION RISER
CBS - CONCRETE BLOCK & STUCCO
CONC. - CONCRETE
COR - CORNER
COV. COVERED
D.E. - DRAINAGE EASEMENT
E.O.P. - EDGE OF PAVEMENT
E.O.W. - EDGE OF WATER
ELEC. - ELECTRIC
ELEV. - ELEVATION
ESMT. - EASEMENT
EXIST. - EXISTING
F.H. - FIRE HYDRANT
F.P.L. - FLORIDA POWER & LIGHT
FIN. - FINISHED
FLK. - FLOOR
FND. - FOUND
G.V. - GATE VALVE
I.P. - IRON PIPE
I.R./CAP. - IRON ROD & CAP
INT. - INTERSECTION
INV. - INVERT
L.P. - LIGHT POLE
CHATT. - CHATTAHOOCHEE
L.W.D.D. - LAKE WORTH DRAINAGE DISTRICT
S - STORM MANHOLE
S - SANITARY MANHOLE
W - WATER VALVE
X - GATE VALVE
- - - NON VEHICULAR ACCESS LINE PER PLAT

LOW - LOWEST
M.H. - MANHOLE
MEAS - MEASURED
MON. - MONUMENT
N/T - NAIL & TAB
NO. - NUMBER
O.E. - OVERHEAD ELECTRIC
O/L - ON LINE
O/S - BUILDING OFFSET
O.R.B. - OFFICIAL RECORD BOOK
P.B. - PLAT BOOK
P.C. - POINT OF CURVATURE
P.C.P. - PERMANENT CONTROL POINT
P.I. - POINT OF INTERSECTION
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCEMENT
P.P. - POWER POLE
P.R.M. - PERMANENT REFERENCE MONUMENT
PROP. - PROPOSED
P.T. - POINT OF TANGENCY
R - RADIUS
R.R. - RAILROAD
R/W - RIGHT-OF-WAY
RES. - RESIDENTIAL
RGE. - RANGE
S.B.T. - SOUTHERN BELL TELEPHONE
SAN. - SANITARY
SEC. - SECTION
SQ. FT. - SQUARE FEET
T.O.B. - TOP OF BANK
T.V. - TELEVISION
TWP. - TOWNSHIP
U.E. - UTILITY EASEMENT
W.M. - WATER METER
Δ - DELTA (CENTRAL ANGLE)
ALUM - ALUMINUM
SCHEFFLER

GRAPHIC SCALE



LAND DESCRIPTION :
Lots 2, 3 and 4, BLOCK 118, "BLOCK 118 - DELRAY, FLA.",
according to the plat book thereof, as recorded in Plat Book 2,
Page 8 of the Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach
County, Florida.

Containing 20,248 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants,
and Rights-of-Way of Record.

TABULAR DATA

TOTAL SITE AREA	20,250 SQ. FT.	0.4648 AC.
BUILDING COVERAGE	5,814 SQ. FT.	28.7%
TOTAL FLOOR COVERAGE	13,345 SQ. FT.	
PARKING/PAVED AREA	1,364 SQ. FT.	6.7%
OPEN (LANDSCAPED) SPACE	13,072 SQ. FT.	64.6%
5 DWELLING UNITS		
10.6 DWELLING UNITS PER ACRE		
5 UNITS RANGING FROM 1,292 TO 1,898 SQ. FT.		
USE SINGLE FAMILY:	CALCULATED AT 2 SPACES PER UNIT = 4	
USE MULTI/3BR:	CALCULATED AT 2 SPACES PER UNIT = 6	
TOTAL SPACES REQUIRED	= 10 + GUEST x 0.5/UNIT = 25 = 12.5	
TOTAL SPACES PROVIDED	= 13	
SETBACKS		
FRONT:	25 FT.	
REAR:	25 FT.	
INTERIOR SIDE:	15 FT: ONE STORY & TWO STORY	
STREET SIDE	N/A	
HEIGHT:	35FT. 2 FLOORS	

WATER QUALITY VOLUME REQUIRED & PROVIDED - 1688 c.f.
SITE LIGHTING TO BE PROVIDED ON INDIVIDUAL UNITS
RENTALS TO BE ON A YEARLY LEASE BASIS

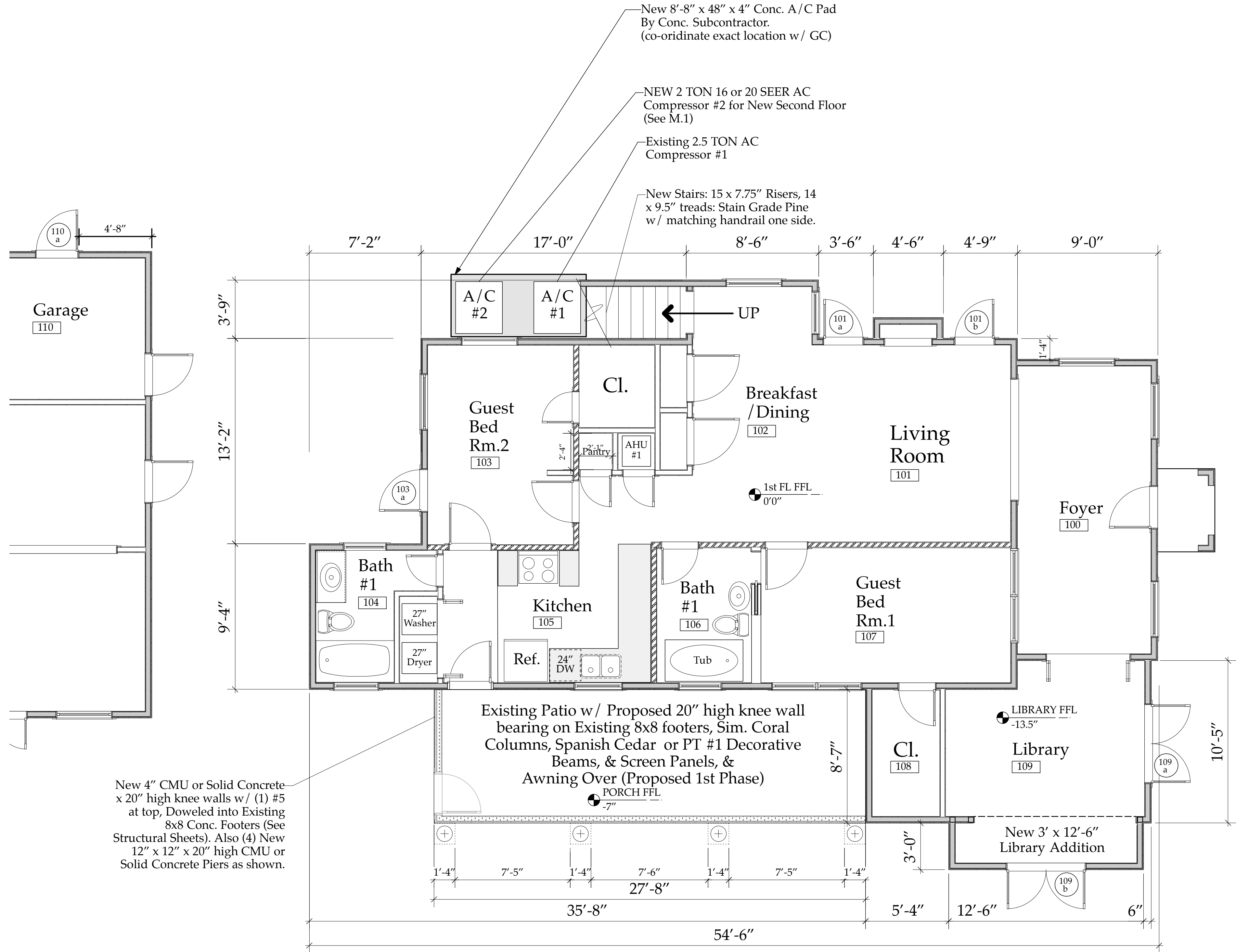
NOTE:

NEW 2016 PROPOSED 3' X 12.5' FIRST FLOOR ADDITION IS 2/10 OF 1%
CHANGE TO LOT COVERAGE RATIO = 0% CHANGE

SLOAN HAMMOCK
SITE PLAN

SHOWING PROPOSED 385F 1ST FLOOR ADDITION

SP.1

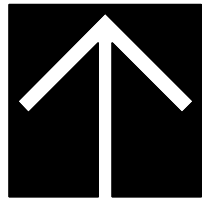


Wall Type Key

//// New Exterior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

— New Non Bearing Int. Wall w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

//// New Interior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.



FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New 3' x 12'-6" Library Addition, Patio Knee Wall-Screen Panels-Awning, and Stairway to New 2nd Floor Master Suite.

GENERAL CONSTRUCTION NOTES-

Sloan Residence; Master Suite Addition Project

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. **Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.**

2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system and provide all requirements for the equipment to be placed in proper working order. Prior to submission of bids, Contractor, Subcontractors, and Vendors shall visit the site and bring any discrepancies at the site, with the plans, and specs to the attention of the Architect and shall verify that their final bid includes all items and assemblies needed to comply with the FBC, PBC, and City requirements, codes, and rules and the intent depicted in these drawings. A complete set of approved, signed and sealed drawings, together with approved "Change Order" sheets, addenda, Shop Drawings, and Supplemental Information, along with all permit copies shall be maintained at the jobsite at all times.

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

4. Shop drawings shall be submitted for approval for the following items:

- | | | | |
|-----------------------|----|---------------------------|----|
| 1. Trusses | XX | 6. Stairs | XX |
| 2. Wall Panels | — | 7. Structural Connections | XX |
| 3. A/C | — | 8. Plumbing Riser | XX |
| 4. Windows/Storefront | XX | 9. Electrical Riser | XX |
| 5. Doors | XX | 10. Cabinets | XX |
| | | 11. Other | — |

5. XX General Contractor or — Owner : shall maintain Temporary Electrical, Water, and Sanitary Facilities for the duration of construction unless Specifically otherwise provided for in the Construction Contract.

6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

7. All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on site dumpster each day. Jobsite shall be cleaned daily by each Subcontractor. If not done, GC may backcharge Subcontractor for the cost of such cleanup as required.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

9. TRUSS MANUFACTURER; co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M.2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Manf. as part of Truss Package.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any material containing Aebestos or PCBs. If the project is a renovation project the observation of either substance shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

12. Each Subcontractor, Speciality Contractor, and Vensdor shall install his/her portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of another Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediatly be brought to the attention of the GC.

13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry Installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for devices, fixtures, or equipment. All millwork shall have finished interiors be fabricated and installed in accordance with the Architectural Millwork Institute "Premium Grade" standard. No Urea Formaldahyde Glues or VOC containing Stains or Finishes shall be utilized. SEE INTERIOR DESIGN DRAWINGS & WRITTEN SPECS FOR ADDITIONAL INFORMATION.

14. GREEN PROJECT: This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldahyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Constultant in advance of ordering or utilizing any such item.

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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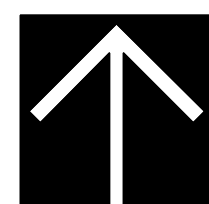
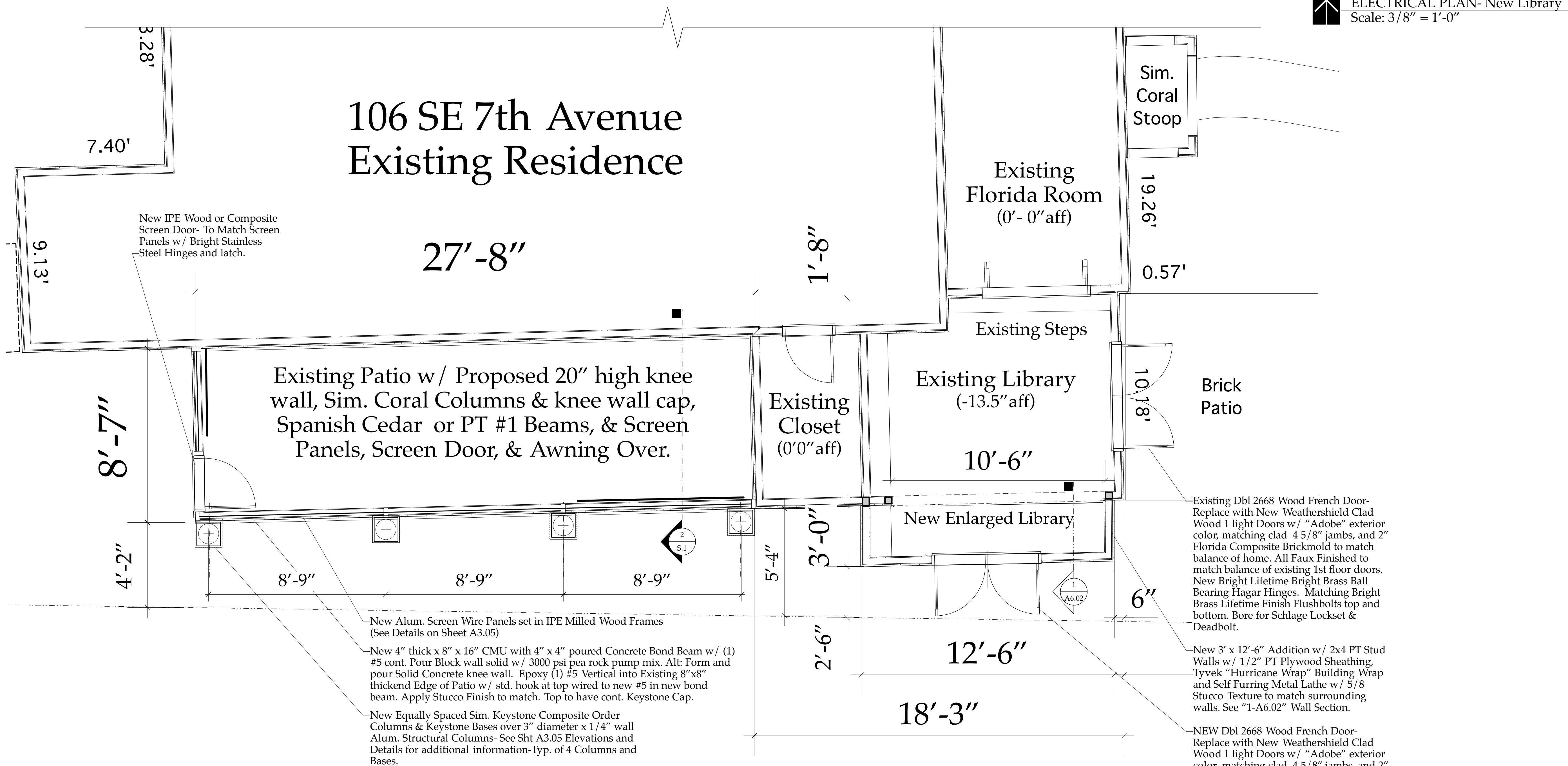
No.	Date	Appr	Revision Notes

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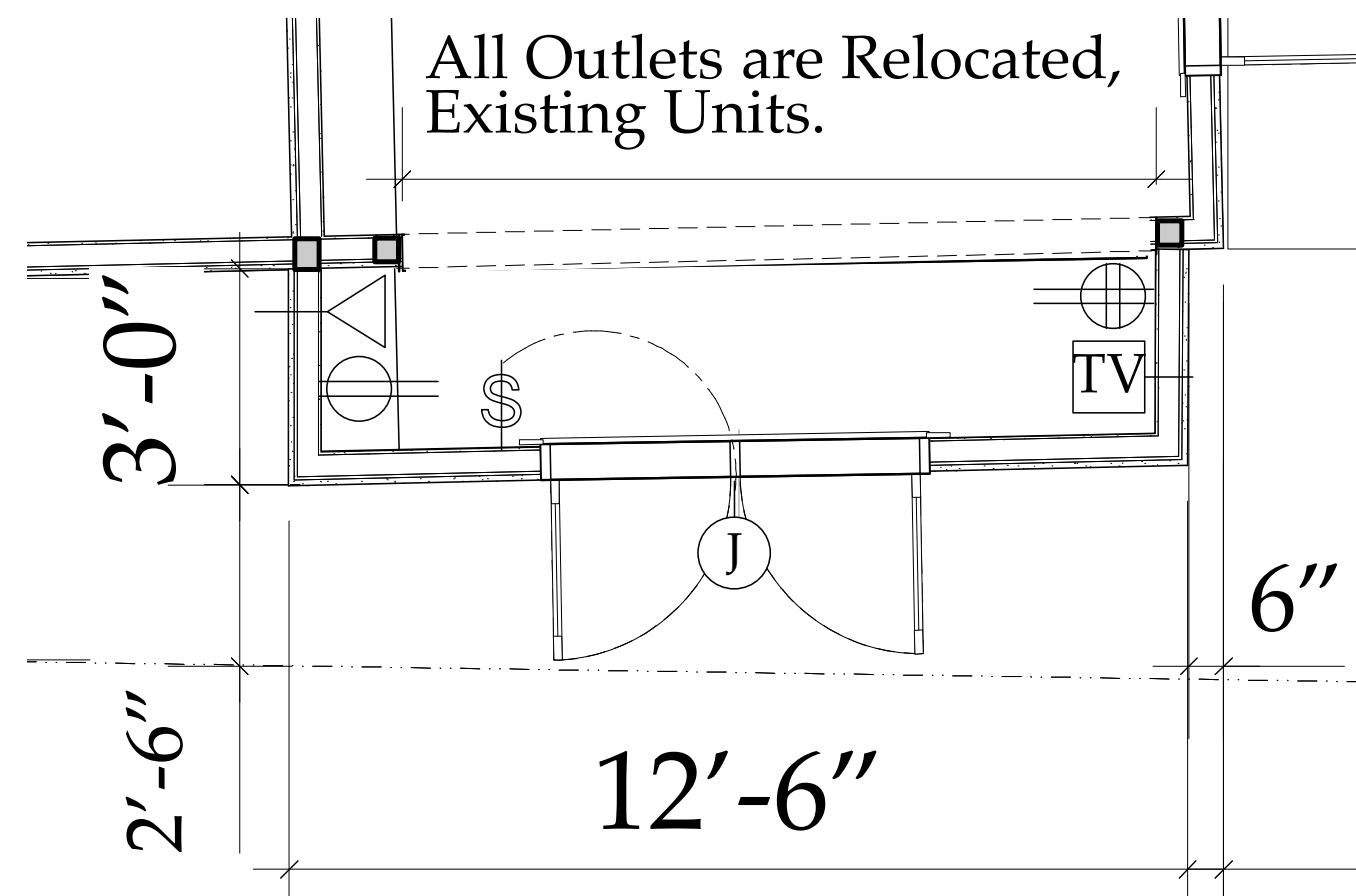
Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite			
No.	Date	Issue Notes	
Design Firm		Daniel Sloan, AR95577 Date:	

Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant	
Project Title Sloan Residence MASTER SUITE ADDITION 106 SE 7th Avenue	
Drawing Title New FIRST FLOOR PLAN of Main Residence	
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr_Ste_2016.vrx	

New First
Floor Plan
A2.02



PROPOSED NEW FIRST FLOOR PLAN- Partial
Scale: 3/8" = 1'-0"

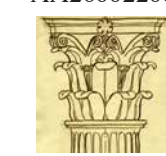


ELECTRICAL PLAN- New Library
Scale: 3/8" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code and the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 latest edition.



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No.	Date	Appr	Revision Notes

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**Sloan Residence Renovations
Phase 1- Library
& Screen Porch**

No.	Date	Issue Notes

Design Firm
Sloan & Sloan, Inc.-Architecture + Int. Design
106 SE 7th Ave.
Delray Beach, FL 33483
(561) 243-8755 Email:dsloan@sloandesign.biz

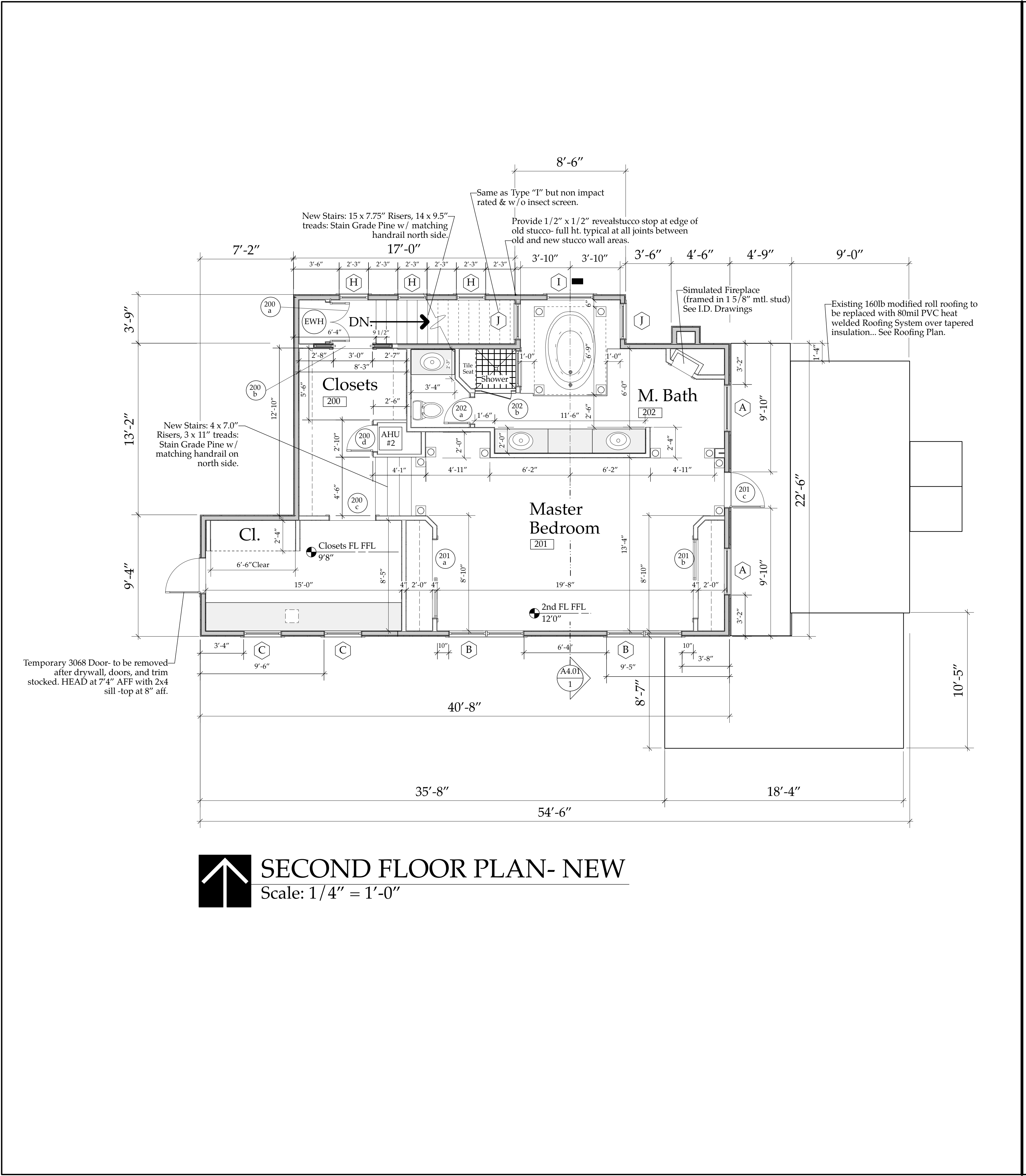
Consultant

Project Title
**Sloan Residence Renovations
Existing Layout
& Proposed New Layout**

Drawing Title
**NEW FLOOR PLAN
Showing Enlarged Library
& Porch w/ Fabric Awning**

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02b
Date 03/03/2016	_____ of _____ 1

**Enlarged Partial Floor Plan
& Electrical Plan
A2.02b**



3/29/16 DOOR Schedule_SloanRes_2016.xls 10:21 AM

PRELIMINARY DOOR SCHEDULE: 1st Floor & Master Suite

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS
Door 101a	2668 French Door	Weathershield	1.75" Wood-Pine	Ext = "Adobe" color	5/4 Composite	Deadbolt	Bright Brass	4x4 Bright Brass	Clear Glass
Door 101b sim.	Full View, Vinyl Clad Wood	Legacy/Lifeguard	Alum. Clad Exterior	cladding	Jamb x 3.25"	& Lockset	(lifetime fin.)	Bal Bearing	IMPACT RATED
(THESE ARE OUTSWING LH A PRICE OPTION)		Series	"Western Adobe Color"	Stain inside faces to match existing	w/ matching Fla. Brickmold				Insulated Low E Glass (Zo-e-shield Glass)
Door 103a	21068 French Door, Out LH	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above	same as above	same as above	same as above
	SAME SPECS AS 101a	(Alternate PGT)							
109a	Old 2668 French Doors	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above	same as above	same as above	same as above
	SAME SPECS AS 101a but RH active	(Alternate PGT)							
109b	Old 2668 French Doors	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above + Flushbolt	same as above	same as above	same as above
	SAME SPECS AS 101a but RH active	(Alternate PGT)							
Door 110a	2668 Flush Door: outswing RH	Plaspro	1.75" Fiberglass Clad Flush	Faux Finish to match	5/4 Composite	Lockset&Deadbolt	Bright Brass	4x4 Satin SS	w/Matching brickmold
200a	3068 L Clear Pine Swing		1 3/8" Pine	Stained "Red Mahogany"	3/4 wood Cased Out	Passage Set & Flushbolt in Lifetime Br.	Baldwin; egg shaped knob	Bright Brass	Case out to match Windows & Doors on 1st Floor (typ)
200b	3068 Pocket: S/C	Masonite Palazzo Series	Capri: two square panels	Painted	3/4 wood Cased Out	Heavy Duty Track & Cars	Bright Brass style: TBS	N/A	Case out to match
200c	3668 Cased Opening			Painted	3/4 wood	--	--	--	Case out to match
200d	2068 S/C 1 3/8" Prehung	Masonite Palazzo Series	Capri: two square panels	Painted	3/4 wood Passage		Baldwin; egg shaped knob	Bright Brass	Case out to match
201a	6068 L/L Clear Pine Bifold		1 3/8" Pine	Stained "Red Mahogany"	3/4 wood Heavy Duty Track & Cars		Bright Brass style: TBS	Bright Brass	Case out to match
201b	6068 L/L Clear Pine Bifold		1 3/8" Pine	Stained "Red Mahogany"	3/4 wood Heavy Duty Track & Cars		Bright Brass style: TBS	Bright Brass	Case out to match
201c	2868 French Door	Weathershield	1.75" Wood-Pine	Brown door out	5/4 Composite	Deadbolt	Bright Brass	4x4 Bright Brass	Clear Glass
	Full View, Vinyl Clad Wood	Legacy/Lifeguard	Alum. Clad Exterior	Brown jamb out	Jamb x 3.25"	& Lockset	(lifetime fin.)	Bal Bearing	IMPACT RATED
	OUTSWING, RH	Series	"Western Adobe Color"	Stain inside faces to match existing	plus Flushbolt Fla. Brickmold				Insulated Low E Glass (Zo-e-shield Glass)
202a	2068 S/C 1 3/8" Prehung	Masonite Palazzo Series	Capri: two square panels	Painted	3/4 wood Privacy		Baldwin; egg shaped knob	Bright Brass	Case out to match
202b	27" Frameless Shower Door		1/2" Cr. Glass	Clear Glass	Frameless	N/A	Bright Brass	Bright Brass	D Handle
NOTE #1: Weathershield Doors & Windows to have White Clad exterior frame, Western Adobe Color (with Timberlake as price option) Sashes or Door Slabs, clear pine interior surfaces, Bright Brass PVD door & window hardware, Alternate at Owners Option: Windguard Impact rated Alum. French Door with "Eterna Dk. Walnut Finish" PAINTER to Stain Interiors "Red Mahogany" & then 2 coats satin Poly. Exteriors to be Faux Finished to Match 1st Floor units.									
NOTE #2: Entry Sets to have Lifetime Finish. All locks keyed alike, All Thresholds are Aluminum with Oak Overlay, Entry Doors to have Solid Brass Dome Shape Floor mounted door stops (stop									
NOTE #3: All interior and exterior hardware to have lifetime finish factory applied. Double French Doors to have flush bolts top and bottom & Dummy set on inactive Leaf(s).									
NOTE #4: All interior Doors to have Casing Profiles to Match Windows & Lives Artisan Series screw on Door Stops. All bi-fold doors to be in cased open out with Jamb & matching casing									

3/28/16 WINDOW Schedule_SloanRes_2016.xls 3:59 PM

WINDOW SCHEDULE: Clad Wood Option

JOB ADDRESS: 106 SE 7th Avenue, Delray Beach, FL, Revised 3/03/16

WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room
First Floor Windows												
K		4/1	1 Wood Clad Double Hung Window		**EXISTING WINDOW TO REMAIN**	Weathershield		28x16	2'-9 13/16"	3'-5 1/8"	Existing	Existing
Second Floor Windows												
A		5/1	2 Wood Clad Double Hung Window	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	3656	3'-5 13/16"	5'-5 5/8"	Low E glass	7'-6"
B (Egress)		4/1	4(2pr) Wood Clad Double Hung (2 milled together)	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	21056	2'-9 13/16"	5'-5 5/8"	Low E glass	7'-6"
C		4/1	2 Wood Clad Double Hung Window	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	21040	2'-9 13/16"	48"	Low E glass	6'-10"
D	RESERVED											
E	RESERVED											
F	RESERVED											
G	RESERVED											
H		4/1	3 Wood Clad Double Hung Window	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	2040	2'-0"	48"		7'-6"/2'-8"
I		5/1	1 Wood Clad Double Hung Window	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	3656	3'-5 13/16"	5'-5 5/8"	Low E glass	7'-6"
J		4/1	1 Wood Clad Double Hung Window	Note #1	Adobe (bz)	Adobe (bz)	Weathershield	21056	2'-9 13/16"	5'-5 5/8"		7'-6"
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass. Use "High Performance Glass--Zo-e-Shield" Where "Low E Glass" is indicated (Impact Resistant Laminate plus argon filled airspace plus Low E Glass layer).												
Note #2: All windows to have with Factory Supplied Jamb Extensions and wood window sills; to be Cased out by TRIM CARPENTER (to match 1st Floor Windows). Outside to have 2"x1 25" Solid Composite Fla. Brickmold to match 1st Floor Windows. If Sill is 24" or less provide ASTM F2090 Window Guard(s).												
All Simulated Divided Lights to have 5/8" Wood Interior Grilles- Same Wood species as sash												
Note #3: Must Comply with all Local Codes for Strength & Installation techniques. Also Window installer to follow manufacturers installation and flashing directions. Window installer to Flash w/ WR Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.												
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to framing.												
Note #5: ALL Windows to have screens; color to match sash. Where mulls are specified use 3/4" colonial; match interior/exterior finish.												
Note #6: Weathershield Doors & Windows to have "Adobe" Color exterior frame, & "Adobe" Color (with Timberlake as price option) Sashes or Door Slabs, clear pine interior surfaces, Bright Brass PVD door & window hardware.												

3/28/16

WINDOW Schedule_SloanRes_2016.xls

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WINDOW SCHEDULE: Aluminium Window Option

JOB ADDRESS: 106 SE 7th Avenue, Delray Beach, FL, Revised 3/03/16

WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room
First Floor Windows												
K		4/1	1 Wood Clad Double Hung Window		***EXISTING WINDOW TO REMAIN***	Weathershield		28x16	2'-9 13/16"	3'-5 1/8"	Existing	Existing
Second Floor Windows												
A		5/1	2 Alum. Single Hung Window: SH700 Series	Note #1	Eterna "Dark Walnut"	PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"	
B (Egress)		4/1	4(2pr) Alum. SH Window: SH700 (2 milled together)	Note #1	Eterna "Dark Walnut"	PGT Windguard	25	36.25"	62.25"	Low E glass	7'-6"	
C		4/1	2 Alum. Single Hung Window: SH700 Series	Note #1	Eterna "Dark Walnut"	PGT Windguard	24	36.25"	49.875"	Low E glass	6'-10"	
D	RESERVED											
E	RESERVED											
F	RESERVED											
G	RESERVED											
H		4/1	3 Alum. Single Hung Window: SH700 Series	Note #1	Eterna "Dark Walnut"	PGT Windguard	H34	25.75"	49.875"		7'-6"/2'-8"	
I		5/1	1 Alum. Single Hung Window: SH700 Series	Note #1	Eterna "Dark Walnut"	PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"	
J		4/1	1 Alum. Single Hung Window: SH700 Series	Note #1	Eterna "Dark Walnut"	PGT Windguard	25	36.25"	62.25"		7'-6"	
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass. Use High Performance Impact Rated "Low E" Glass--(Impact Resistant Laminate plus argon filled airspace plus Low E Glass layer)												
Note #2: All windows poplar 1x Jamb Extensions/ wood sills & to be Cased out by TRIM CARPENTER (to match 1st Floor Windows). Outside to have 2" x1.25" Solid Composite Fla. Brickmold to match 1st Floor Windows. If Sill is 24" or less provide ASTM F2090 Window Guard(s). All Simulated Divided Lights to have 3/4" Dimensional Grilles INSIDE & OUT												
Note #3: Must Comply with all Local Codes for Strength & Installation techniques. Also Window Installer to follow manufacturers installation and flashing directions. Window installer to Flash w/ WR Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.												
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to framing.												
Note #5: ALL Windows to have screens; color to match sash. Where mulls are specified use 3/4" colonial; match interior/exterior finish.												
Note #6: PGT Doors & Windows to have Eterna Finish in "Dark Walnut" Color. Bright Brass PVD finish on hardware												

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SLOAN ARCHITECTURE DESIGN

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AA2600208

No.	Date	Appr	Revision Notes

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Sloan Residence Renovations & 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes

Design Firm
Sloan & Sloan- Architecture + I.D.
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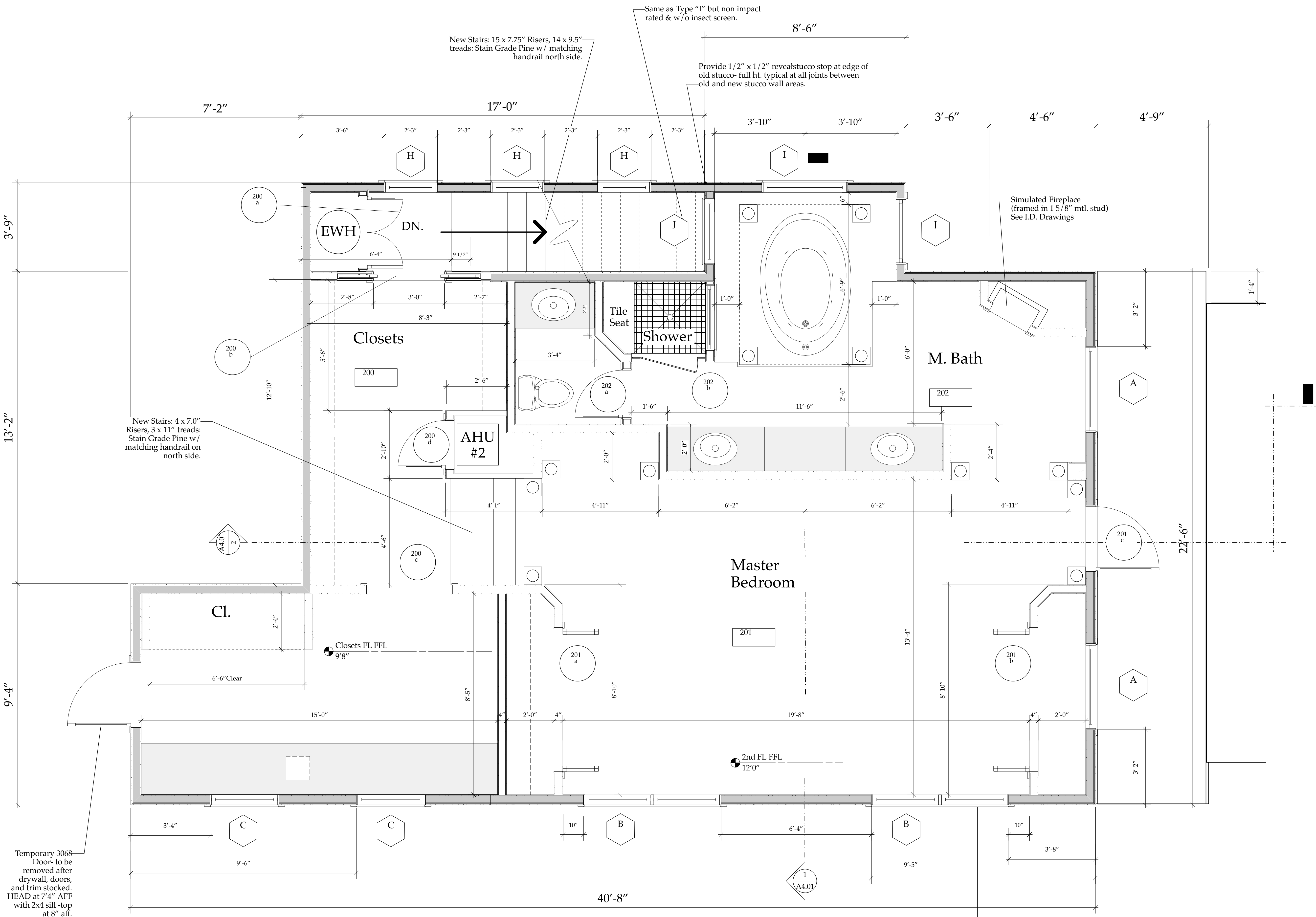
Consultant

Project Title
Sloan Residence MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
SECOND FLOOR PLAN of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.03
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	

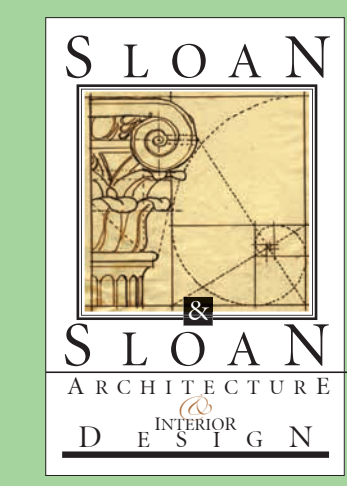
New Second Floor Plan
A2.03



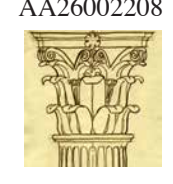
 **SECOND FLOOR PLAN- ENLARGED**
Scale: 1/2" = 1'-0"

New Second
Floor Plan
A2.03
ENLARGED

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**Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite**

No.	Date	Issue Notes

Daniel Sloan, AR95577
Date: _____

Design Firm
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(561) 243-8755

Consultant

Project Title
**Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue**

Drawing Title
**SECOND FLOOR PLAN
of Main Residence**

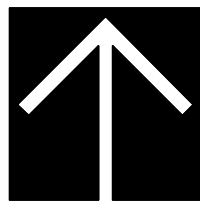
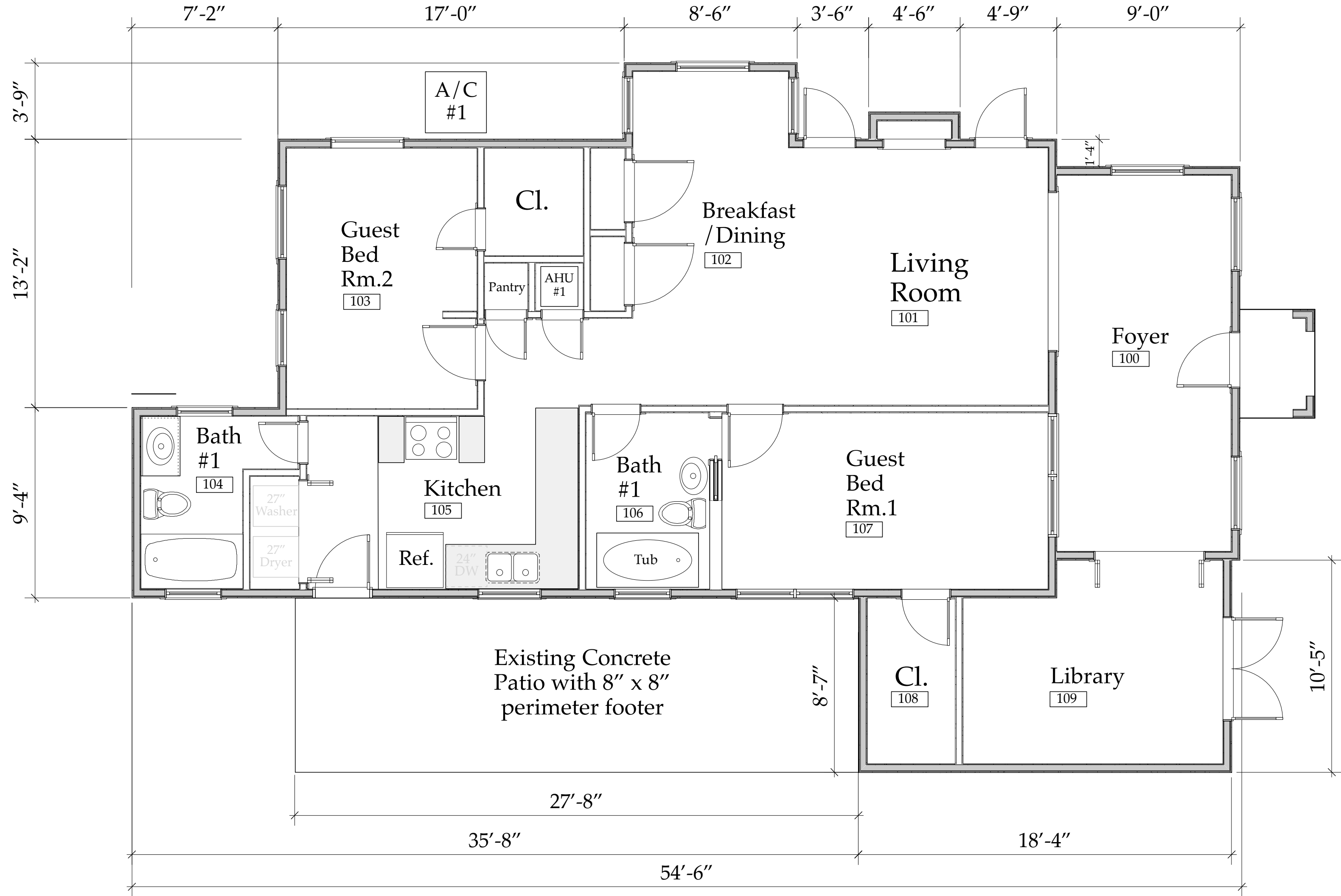
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.03
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	

Wall Type Key

- New 1 Hour Insulated Wall w/ 5.625" Mtl. Stud at 24" oc., 2x6 PT sole plate,R21 Open Cell Spray Foam, and 1/2" Type C GWB each Side.
(run up to underside of Roof Deck)
- New Non Bearing Int. Wall w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate,Sound Batts, and 1/2" GWB each Side.

- New Non Bearing Int. Wall w/ 1.625" Mtl. Stud at 12" oc., 2x2 PT sole plate, and 1/2" GWB one Side. (around perimeter of 8" block wall inboard of 2" iso insulation board

- New Interior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate,Sound Batts, and 1/2" GWB each Side.



FIRST FLOOR PLAN- EXISTING CONDITIONS

Scale: 1/4" = 1'-0"

Existing Conditions;
First Floor Plan
A2.01

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Sloan Residence
Renovations-
Existing
Conditions Plan

No.	Date	Issue Notes

Daniel Sloan, AR95577
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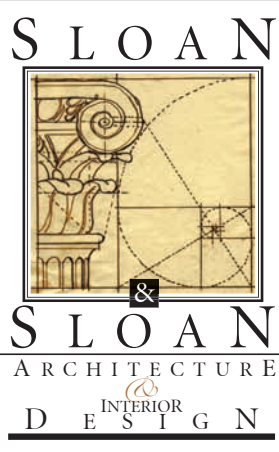
Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
FIRST FLOOR PLAN
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 3/03/2016	of Total Sheets
CAD File Name Res_Extg Condtns_2013.vwx	

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**Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite**

No.	Date	Issue Notes

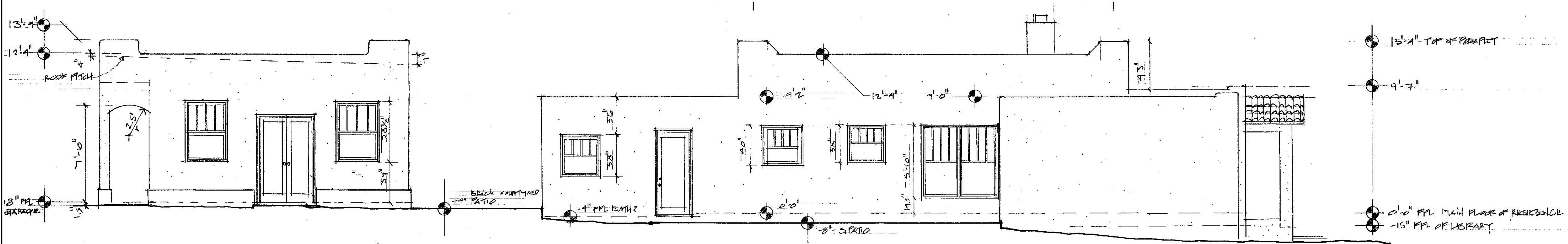
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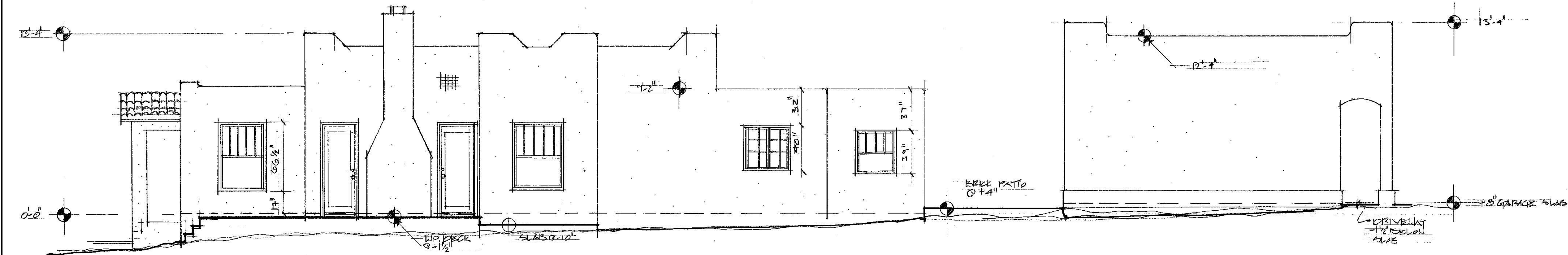
Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.01
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	

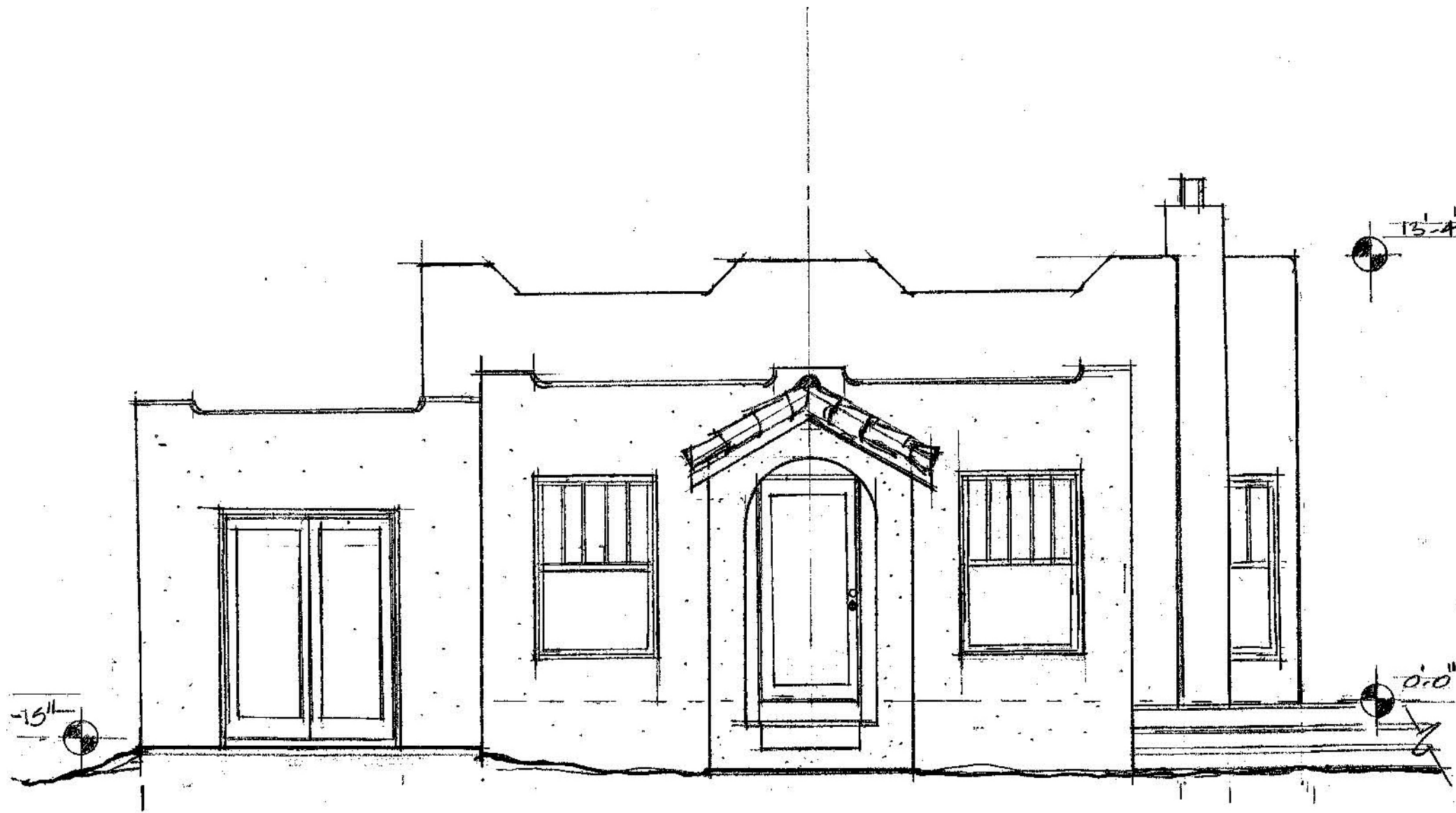


Existing South Elevation: Main Residence "A-A3.01"
Scale: 1/4" = 1'-0"



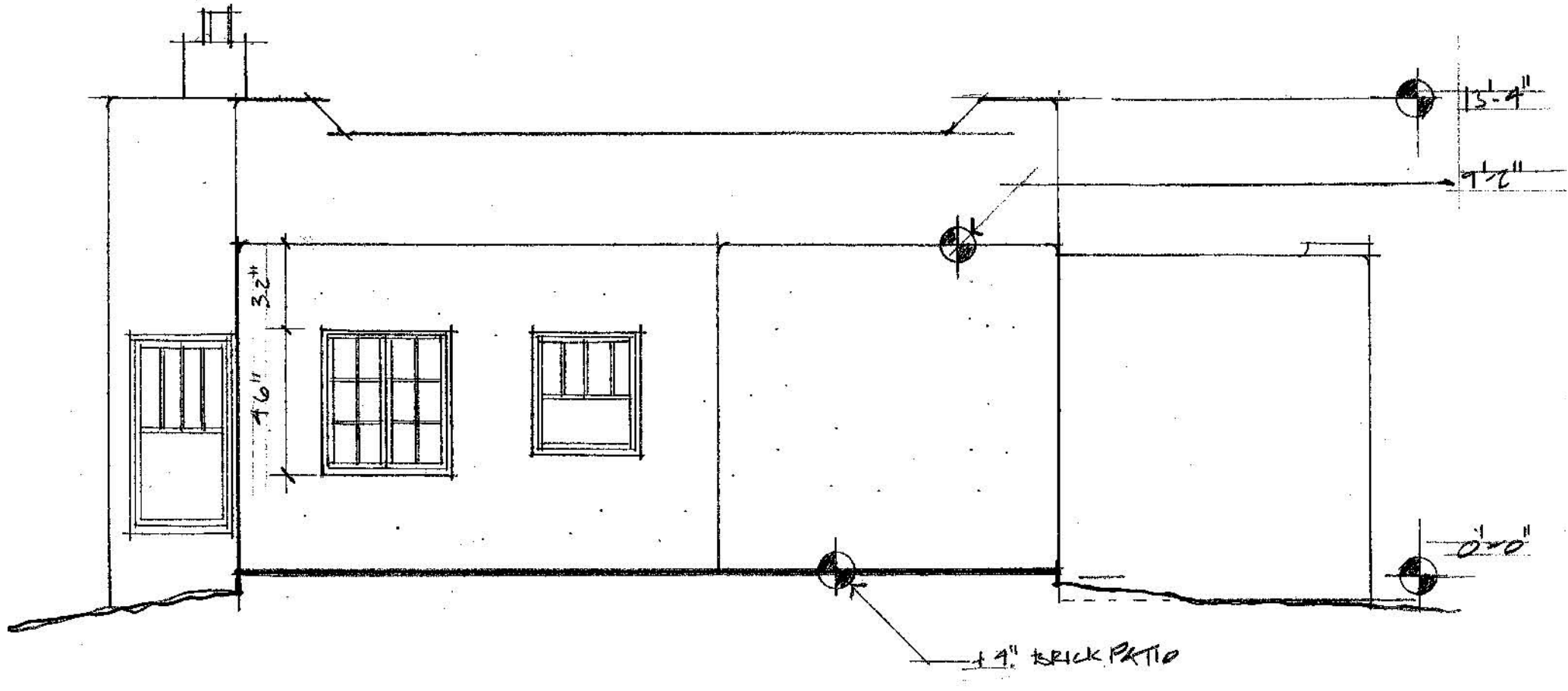
Existing North Elevation: Main Residence "B-A3.01"
Scale: 1/4" = 1'-0"

Existing Elevations
A3.01



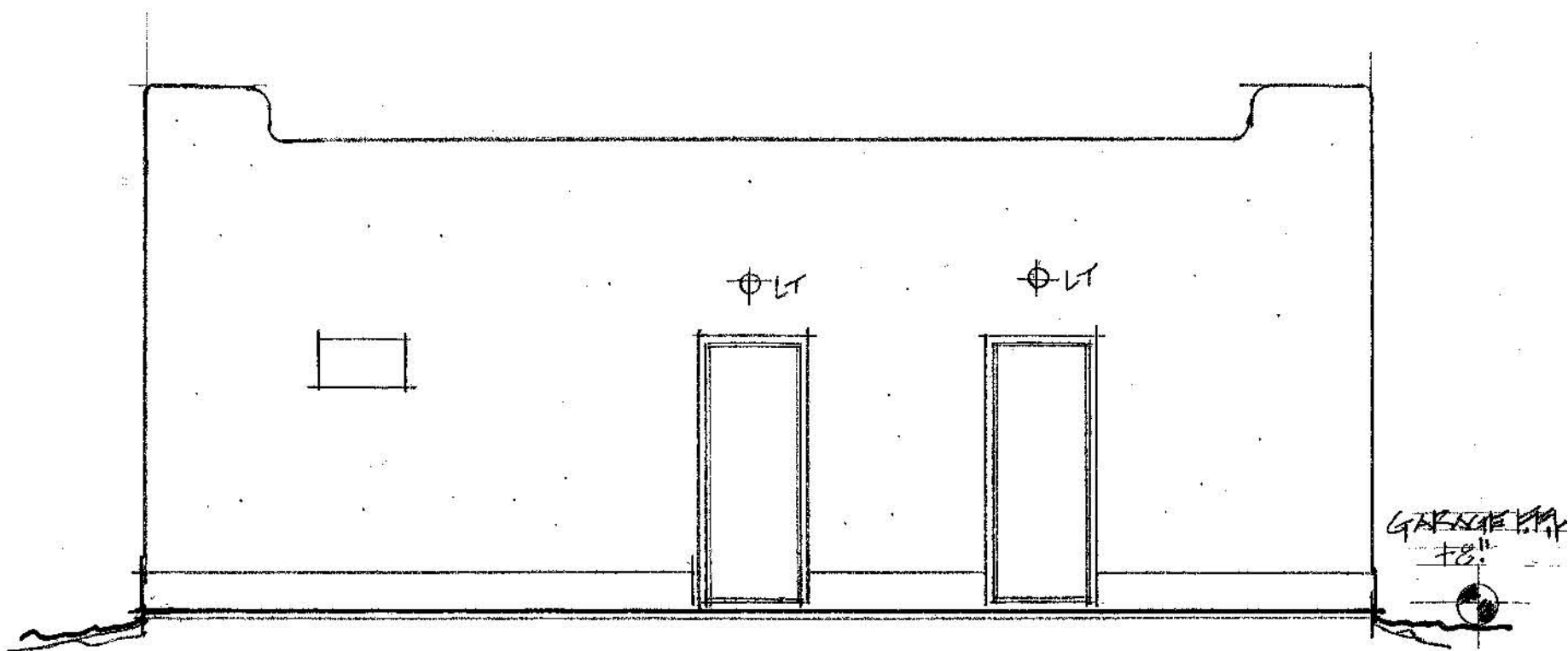
Existing East Elevation: Main Residence "C-A3.02"

Scale: 1/4" = 1'-0"



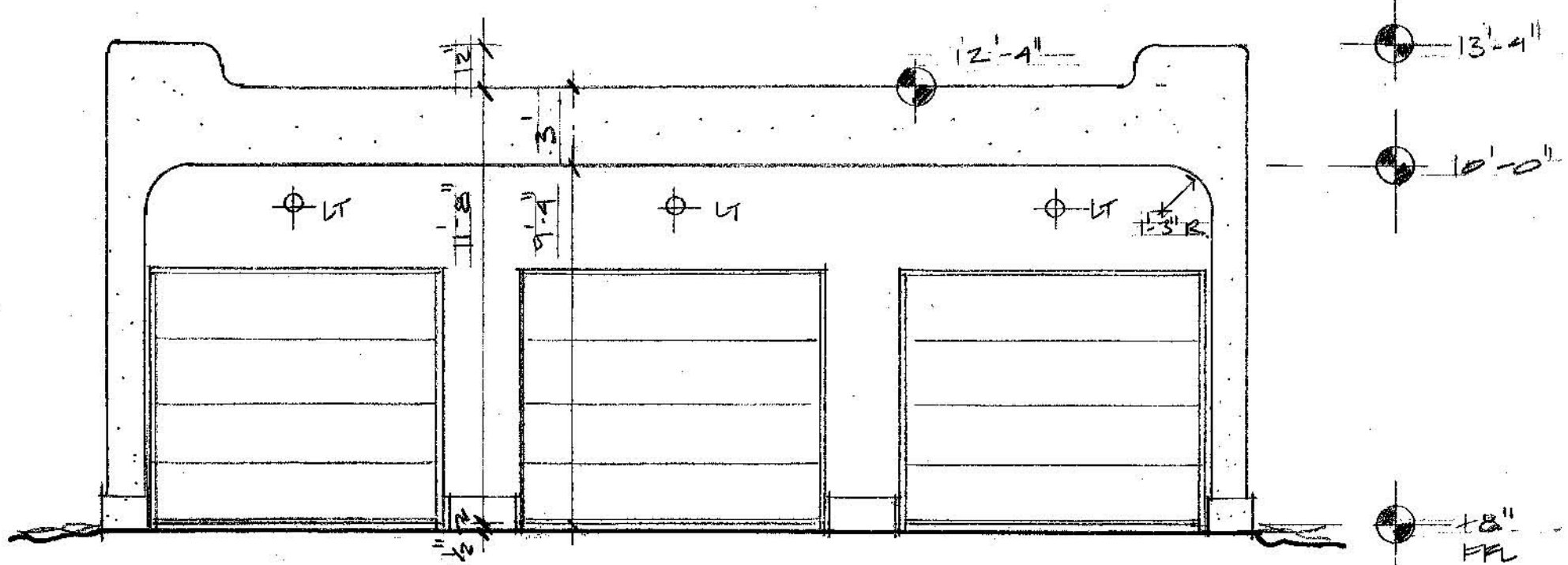
Existing West Elevation: Main Residence "D-A3.02"

Scale: 1/4" = 1'-0"



Existing East Elevation: 1 Story Garage "E-A3.02"

Scale: 1/4" = 1'-0"



Existing West Elevation: 1 Story Garage "F-A3.02"

Scale: 1/4" = 1'-0"

Existing Elevations
A3.02

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes

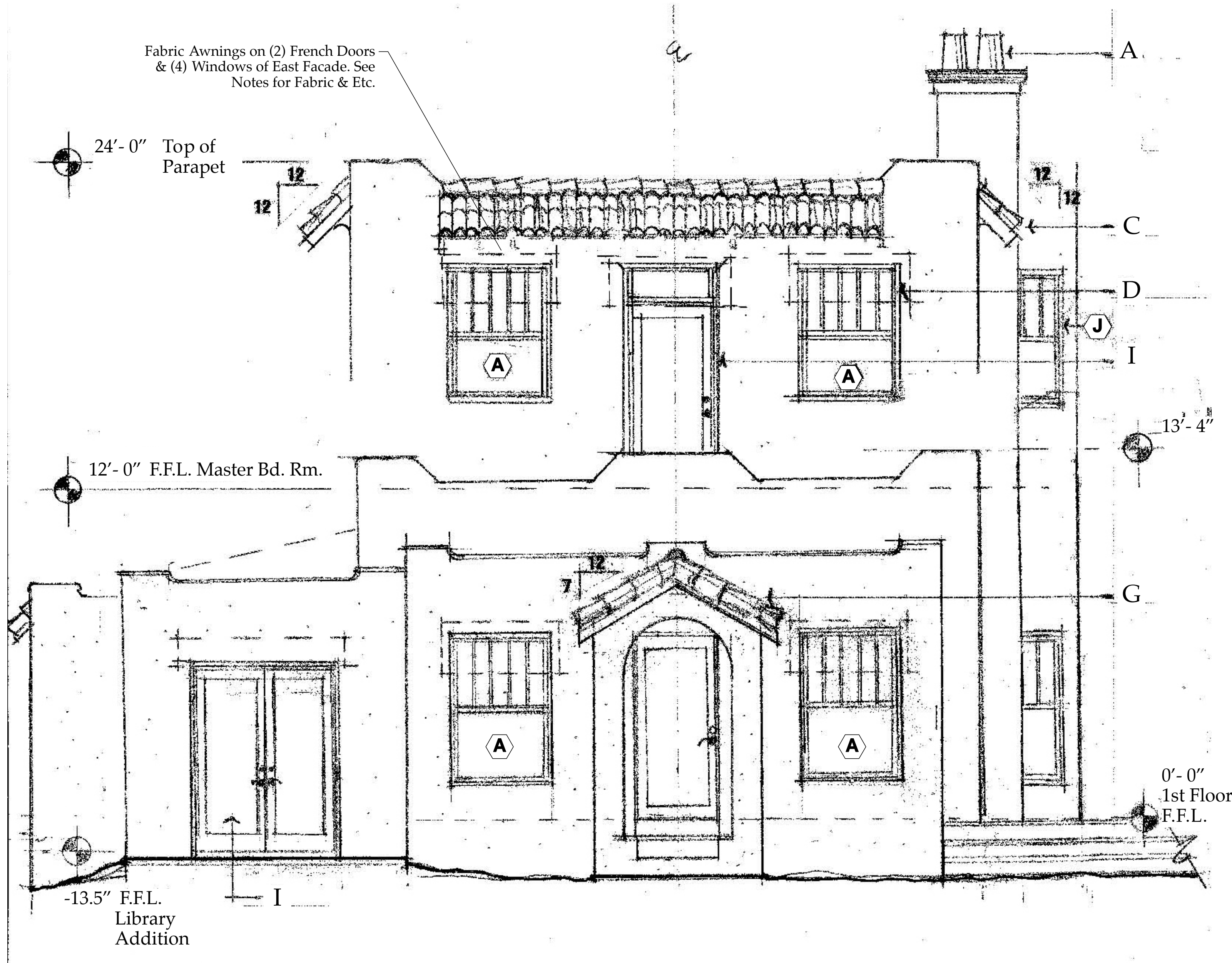
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(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.02
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	



New Notated East Elevation: Main Residence "C-A3.03"
Scale: 3/8" = 1'-0"

ELEVATION MATERIALS LEGEND

- A. Terra Cotta Chimney Thimbles
- B. Reserved
- C. Rafter Tails: 2X6 or 3X6 PT #1 or Spanish Cedar , copper drip edge, w/ 1x6 v joint decking and Hand Made "Altusia" Terra Cotta Barrell Tile in Natural Terra Cotta Color.
- D. Clad Wood Windows: Bz. vinyl or alum cladding (Weathershield in "Adobe" Color , Pella, or Anderson Impact rated) or Owners Option Alternate PGT Alum. with "Walnut" color "Eterna" Finish.
- E. 5/8" Stucco: over 4" Wood exterior walls. (typical)
- F. Sunbrella Awning: w/ Black Powercoat Alum. Frame above 3x8 or 4x8#1 PT or Spanish Cedar Trellis.
- G. Replace existing machine made barrel tile with Hand Made Terra Cotta "Altusia" Barrell Tile in Natural Terra Cotta
- H. Decorative Cast Medallion: 8" x 8" square and 12" dia. round, where shown.
- I. Clad Wood French Door(s): Bz. vinyl or alum cladding (Weathershield in "Adobe" Color , Pella, or Anderson Impact rated) or Owners Option Alternate PGT Alum. with "Walnut" color "Eterna" Finish.
- J. Sim. Coral Rock Columns: 12" dia. Tuscan style tapered column on Sim. Coral Rock Rectangular Base
- K. Screen Panels: Charcoal or Blk SS Screen panels in Ipe Wood Frame. To be located inside of line of columns. w/ all SS fastners.
- L. Tapered Posts: 6"x6" PT #1 or Spanish Cedar supporting decorative trellis above.
- M. Reserved.
- N. Existing Colored Concrete Patio: with 8x8 thickened mono. footer around perimeter. Optional: add 2'x2' coral rock pavers on top of concrete deck set in mortar bed.

New Notated
Elevation
A3.04

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
NOTATED EAST ELEVATION
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 3/8" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.04
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes

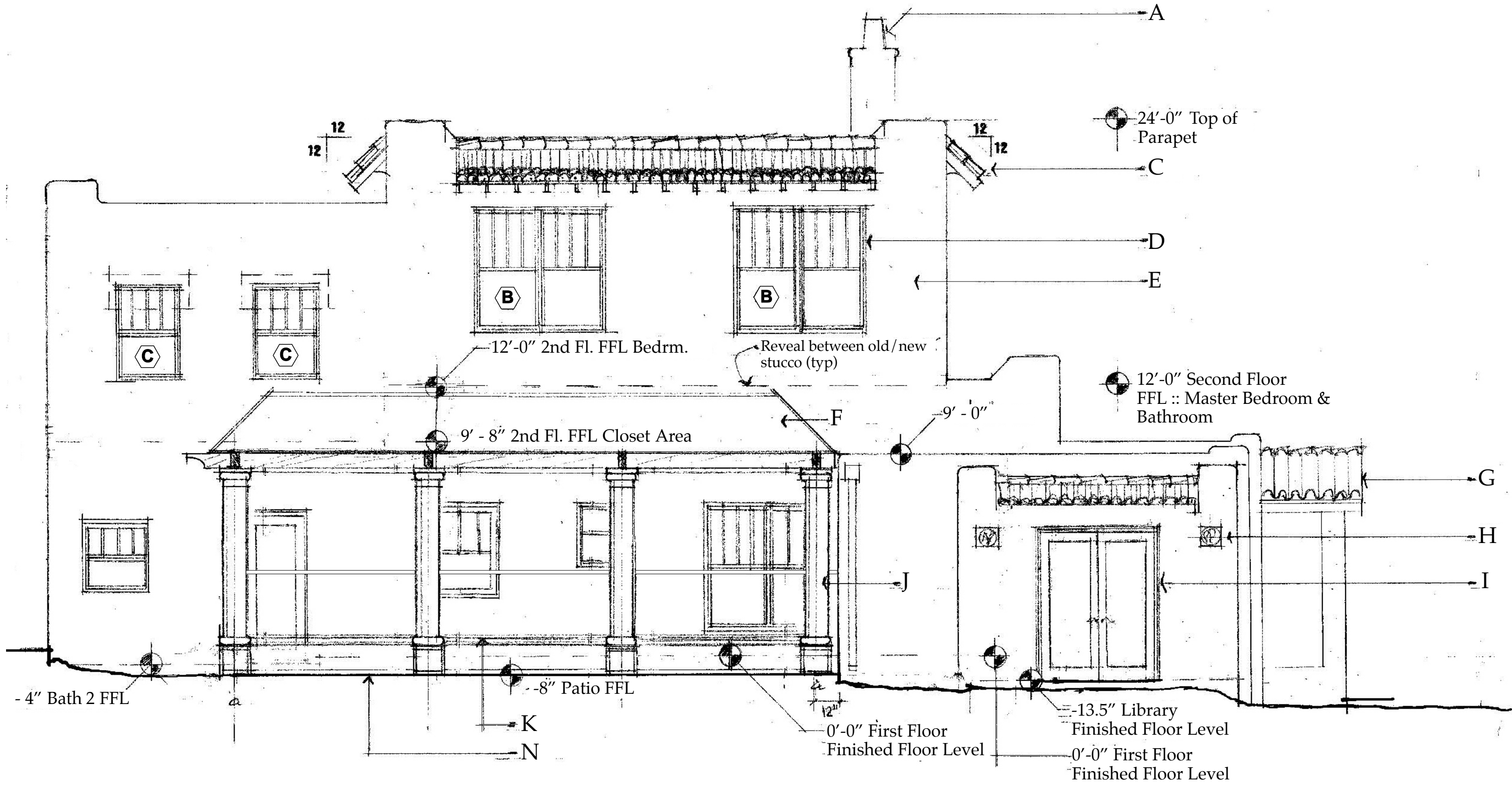
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Delray Bch, FL 33483
(561) 243-8755

Consultant

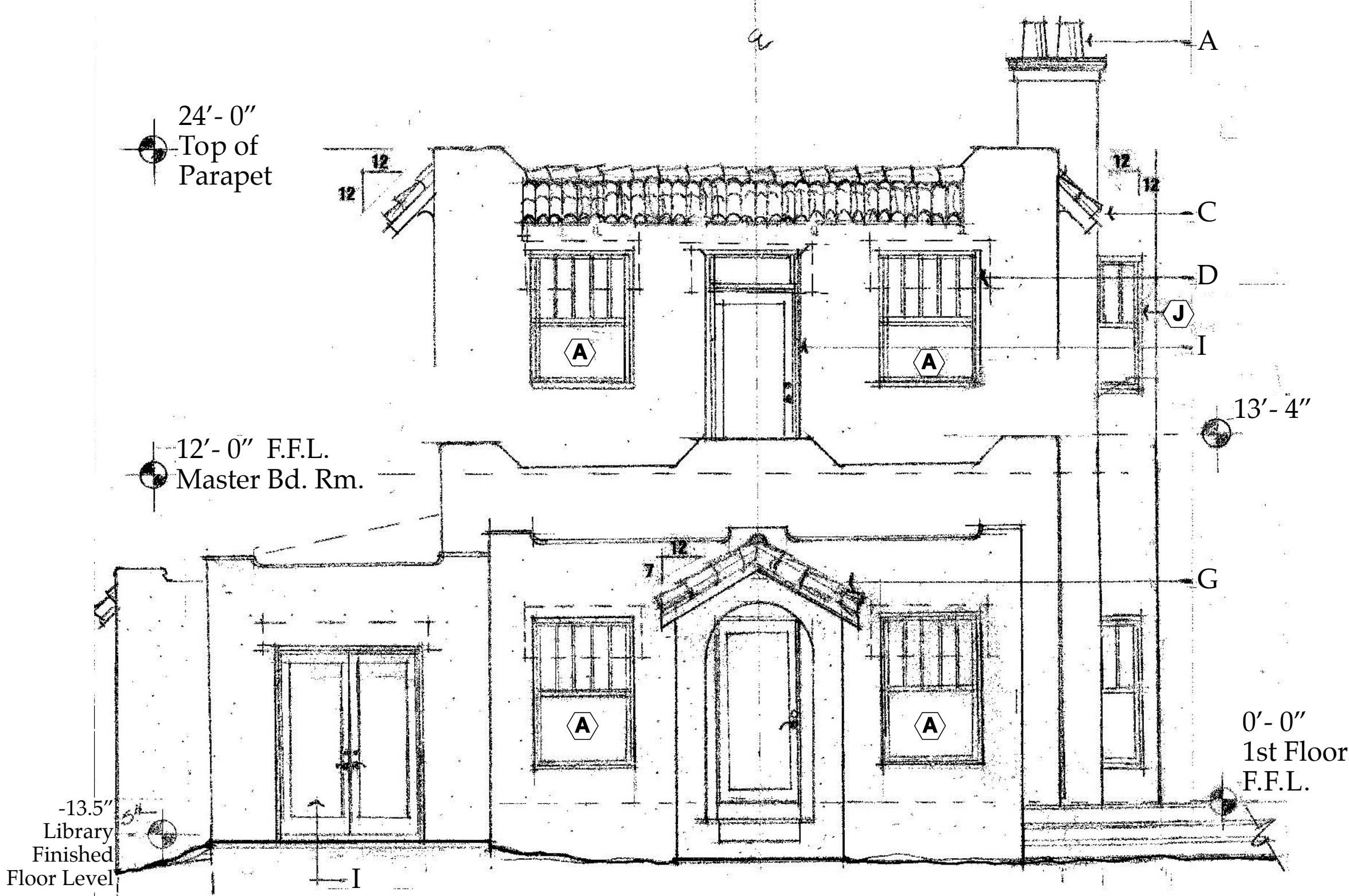
Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
NEW ELEVATIONS
of Main Residence

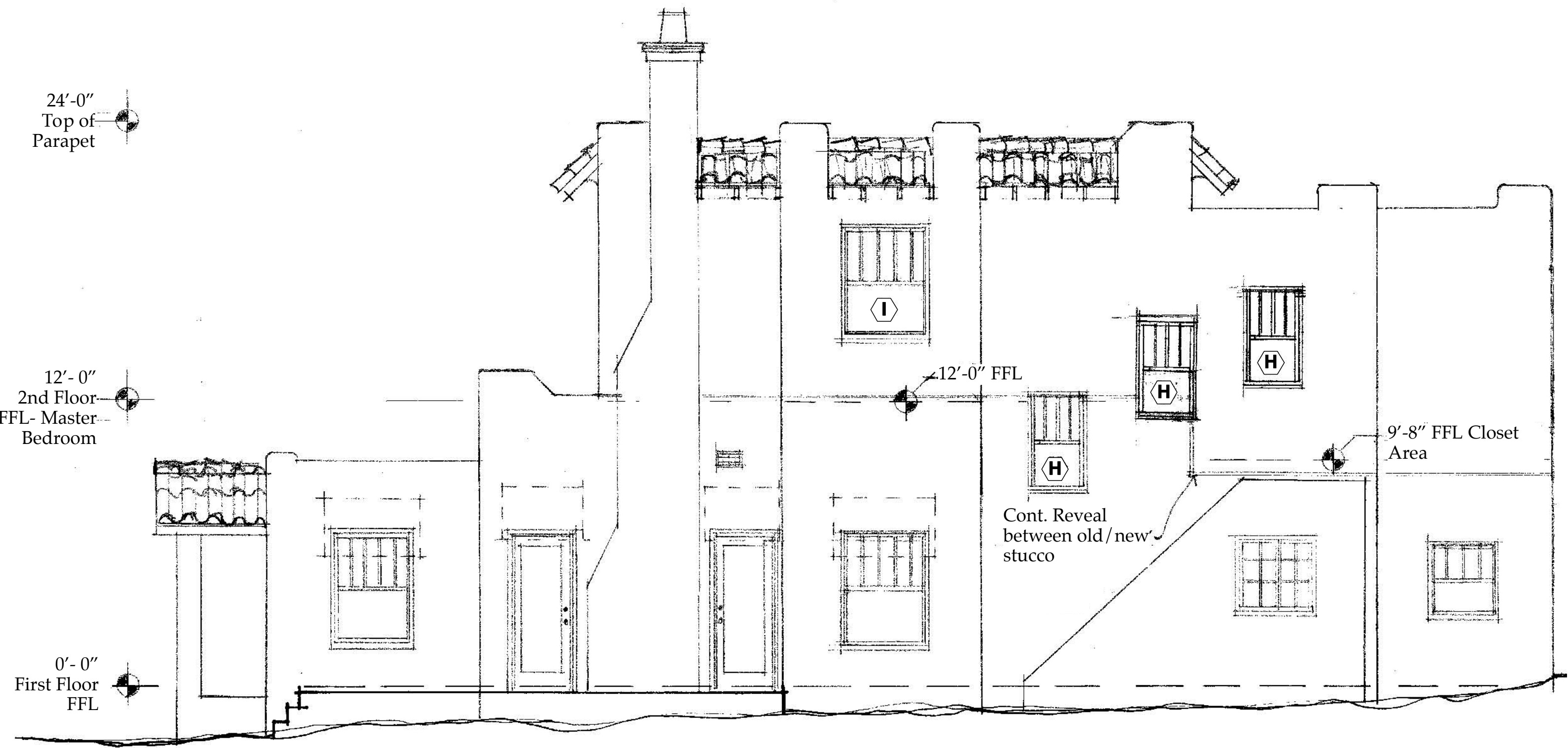
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.03
Date 3/03/2016	of Total Sheets
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	



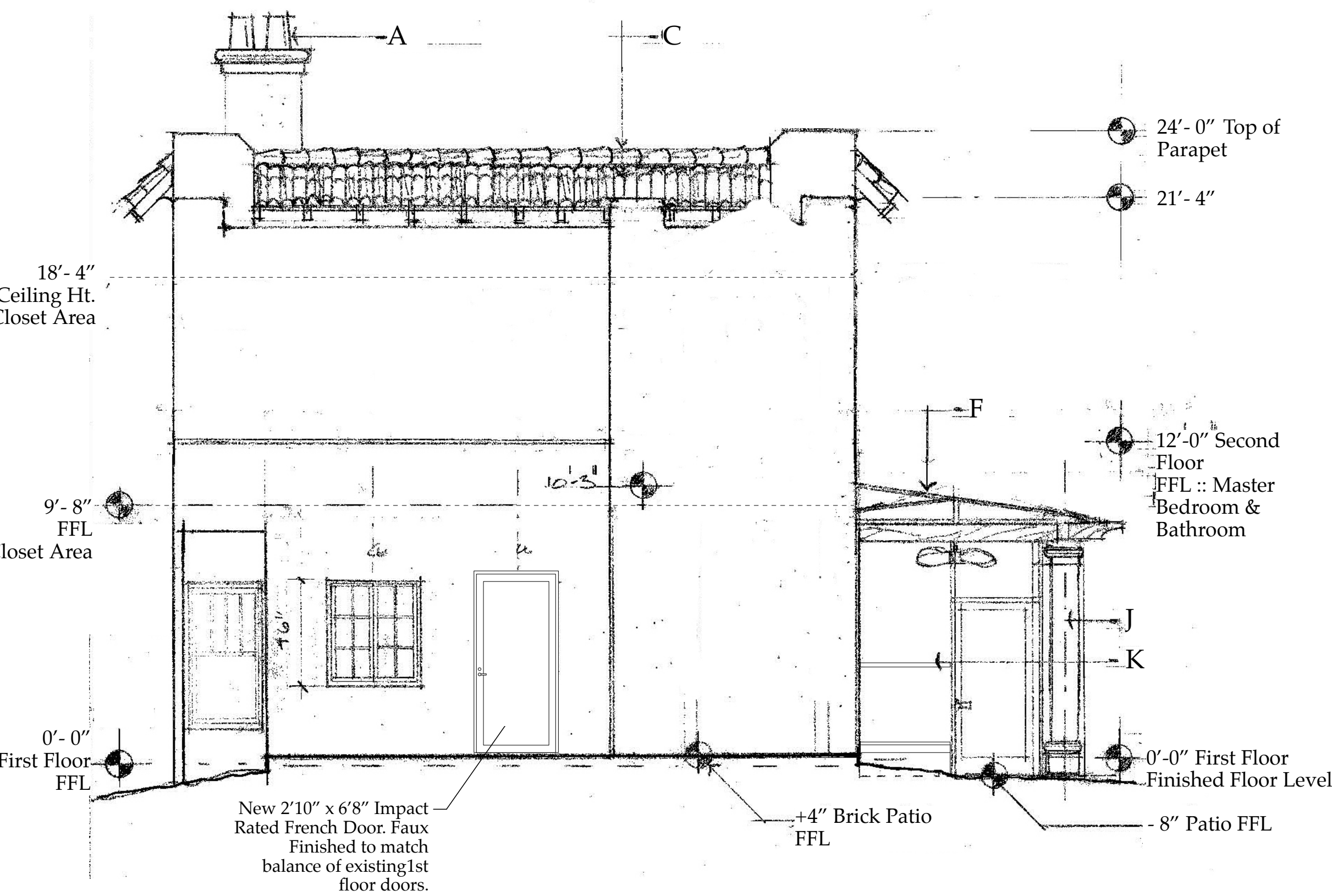
New South Elevation: Main Residence "A-A3.03"
Scale: 1/4" = 1'-0"



New East Elevation: Main Residence "C-A3.03"
Scale: 1/4" = 1'-0"

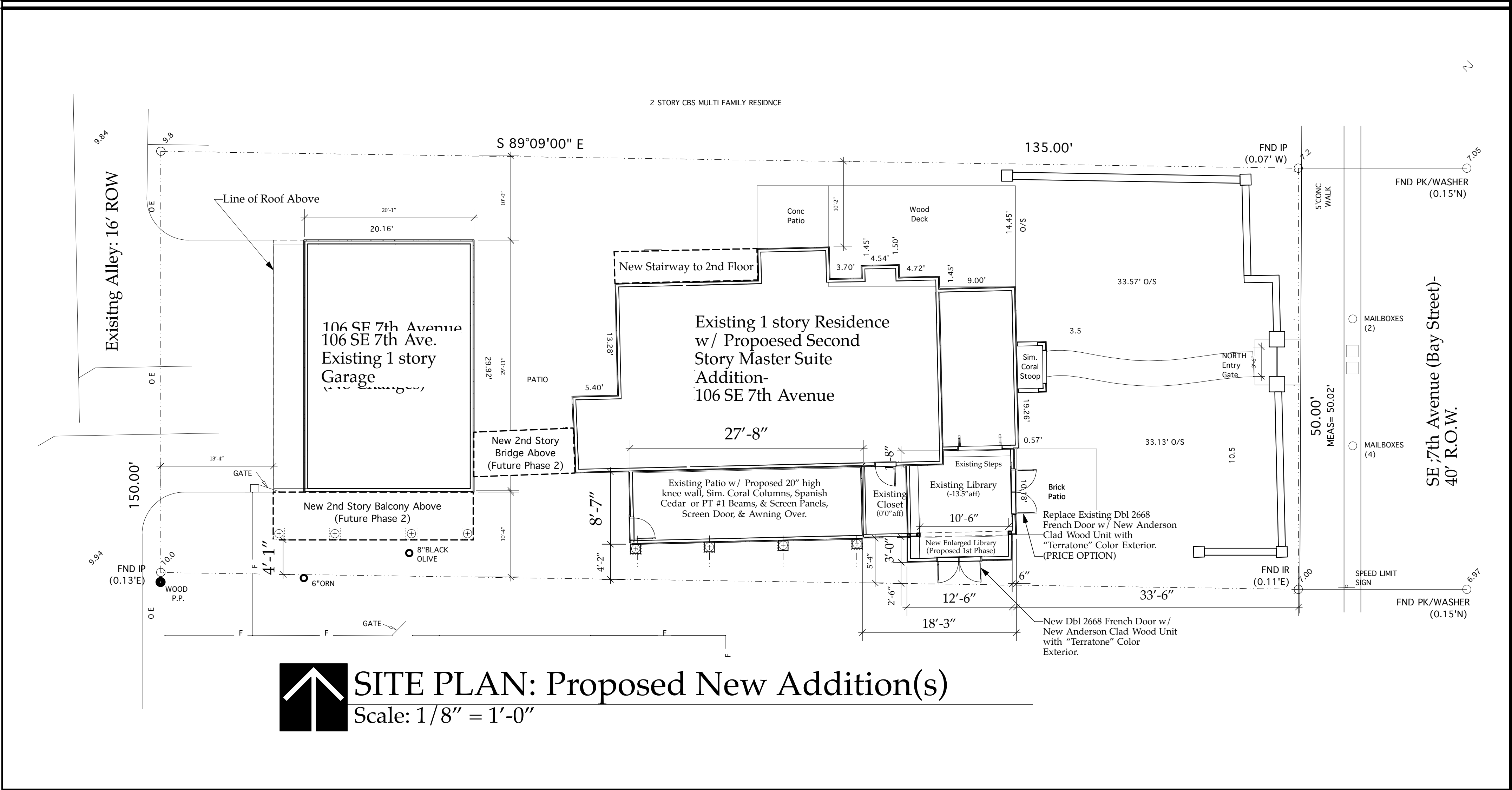
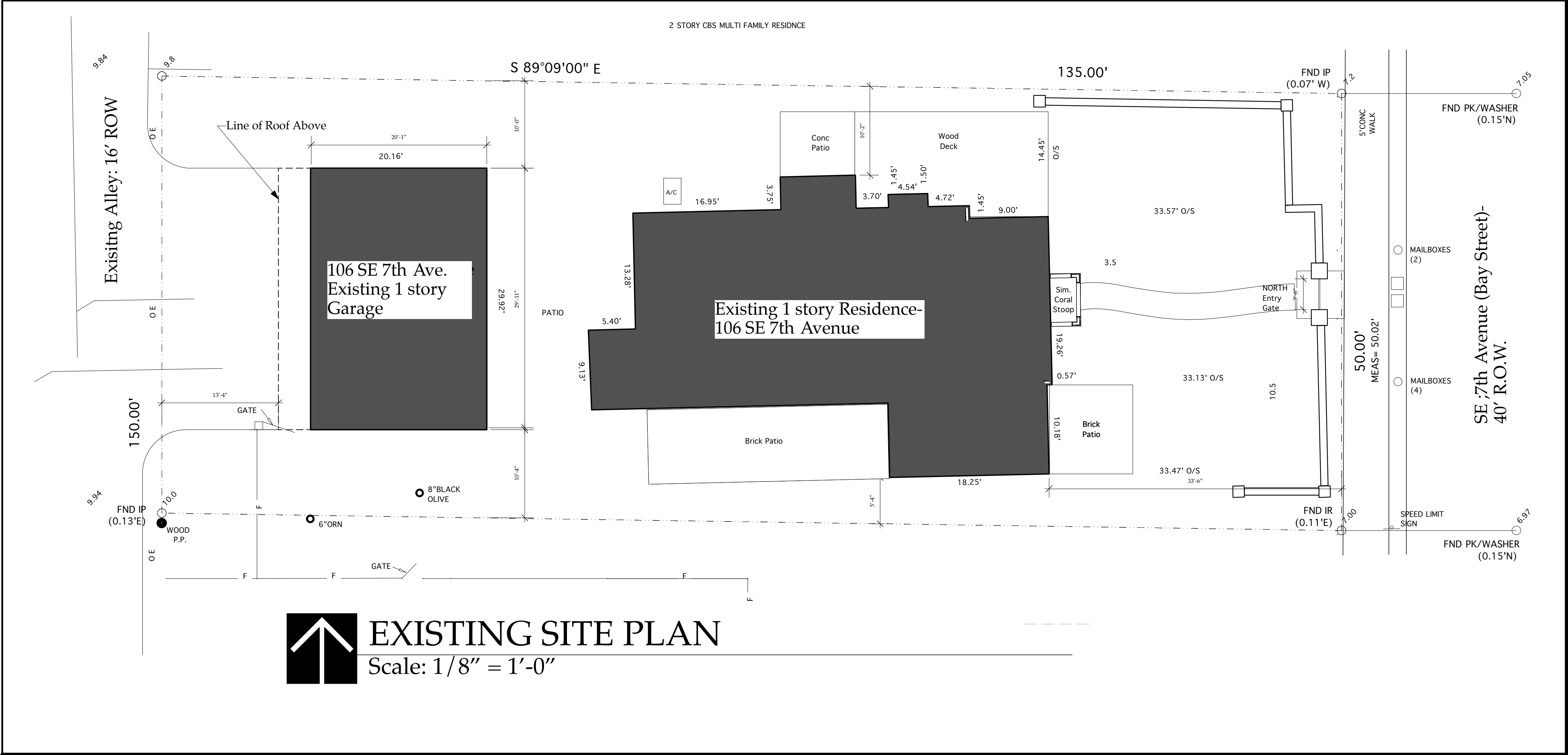


New North Elevation: Main Residence "B-A3.03"
Scale: 1/4" = 1'-0"



New West Elevation: Main Residence "D-A3.03"
Scale: 1/4" = 1'-0"

New Elevations
A3.03



The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC 600.



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No.	Date	Appr	Revision Notes

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Sloan Residence
Renovations
- Library &
Screen Porch

No.	Date	Issue Notes

Design Firm
Sloan & Sloan, Inc.-Architecture + Int. Design
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Consultant

Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
SITE PLAN
Existing Site Plan &
Proposed New Layout

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale 1/8" = 1'-0"
Reviewed By D. Sloan	Drawing No. A1.01
Date 3/03/2016	of
CAD File Name Library&Porch_SloanRes2015.vwx	1

Site Plans
A1.01