



1. CONSTRUCTION SHALL FOLLOW "F.B.C. 7TH EDITION 2020" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
2. BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
3. BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
4. TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
5. SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557. CONTRACTOR SHALL VERIFY UNDER COMPACTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
6. WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
7. DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.

8. THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DULICATED, ETC. WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INCE.
9. ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, ETC. MUST BE REQUESTED IN WRITING ONLY BY THE ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR FULFILLMENT, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
10. BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
11. ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
12. APPROXIMATE SPECIFICATIONS SHALL HAVE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS, DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS, AND MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
13. NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME, IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. IF THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
14. ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH "F.B.C. 7TH EDITION 2020"
15. ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
16. ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
17. GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH "F.B.C 7TH EDITION 2020"
18. ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS
19. ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SLIP FAUCETS

ARCHITECTURAL DRAWINGS	
A01	COVER SHEET & GENERAL NOTES
A01.1	RENDERINGS/PERSPECTIVES
A01.2	EXISTING HOUSE PHOTOS
A01.3	ADJACENT PROPERTIES
A01.4	PROPOSED STREETSCAPE
A02	SITE PLAN, ARCHITECTURAL
A02.1	COMPOSITE OVERLAY
A02.2	PHOTOMETRIC PLAN
A03	EXISTING FLOOR PLAN
A04	DEMOLITION PLAN
A05	PROPOSED NOTED FLOOR PLAN
A05.1	PROPOSED DIMENSIONED FLOOR PLAN
A06	ARCHITECTURAL ROOF PLAN
A07	EXISTING + NEW BUILDING ELEVATION
A08	EXISTING + NEW BUILDING ELEVATION
A08.1	SECTIONS 1,2 & 3
A08.2	OMITTED
A09	DOOR & WINDOW SCHEDULE
A10	SITE ELEVATION

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COVER SHEET

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A. C.
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DATE
2/23/202

SCALE
AS NOTES

JOB NO.
22_5176

SHEET

A01

OF XX

Shane Ames - Architect

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JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

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EAST PERSPECTIVE-ENTRY



WEST PERSPECTIVE-FROM ALLEY



WEST PERSPECTIVE



WEST PERSPECTIVE-FROM POOL AREA



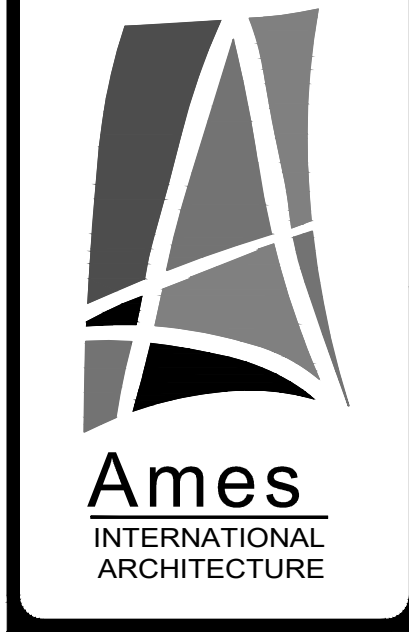
LOOKING WEST FROM VERANDA

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PERSPECTIVES

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DATE 2/23/2024	SCALE AS NOTED
JOB NO. 22-5176	SHEET
A01.1	
OF XX	SHEETS


Shane Ames - Architect



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EAST ELEVATION-310 NE 1ST AVE



WEST ELEVATION-310 NE 1ST AVE



NORTH VIEWS-310 NE 1ST AVE



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EXISTING HOUSE PHOTOS

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EAST ELEVATION-304 NE 1ST AVE



EAST ELEVATION-314 NE 1ST AVE



EAST ELEVATION- 310 NE IST AVE

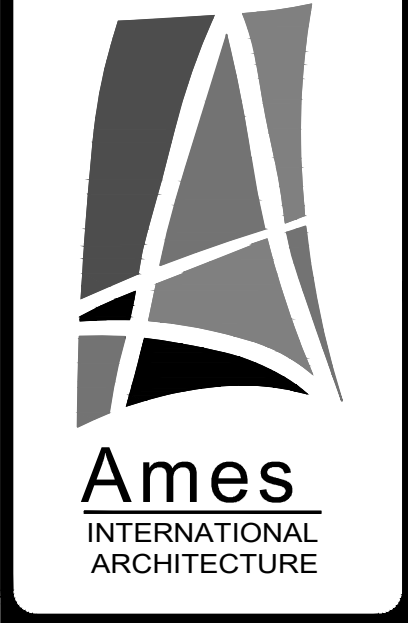


EAST ELEVATION-320 NE 1ST AVE

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ADJACENT PROPERTIES

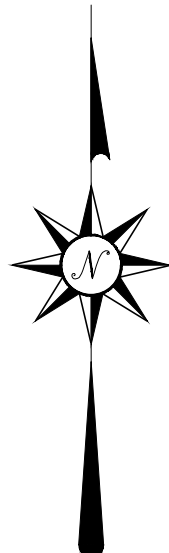
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NTS

1. LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
2. LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
3. LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
4. DRIVEWAYS, WALKWAYS, SLAB ON GRADE, POOL DECKS, SWIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY.(NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE, CONTRACT).
5. SWIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS. PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
6. LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENEIGHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
7. SITE PLAN AS DRAWN REFLECTS ARCHITECTS CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

CODE PARAMETERS			
GOVERNING CODE	:	2020 FBC.7TH ED.	
MUNICIPALITY	:	CITY OF DELRAY BEACH	
OCCUPANCY CLASS.	:	SINGLE FAMILY RESIDENTIAL	
MAX. BUILDING HEIGHT	:	35'-0" ABOVE C.O.R	
FRONT SETBACK	:	25'-0"	
REAR SETBACK	:	10'-0"	
SIDE SETBACK	:	7'-6"	
POOL SETBACK	:	10'-0"	
ZONING	:	OSSHAD	
LAND USE DESIGNATION	:	N/A	
FLOOD ZONE	:	X	

LOT 26, SUBDIVISION OF LOT 65, DELRAY BEACH FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 20, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SCOPE OR WORK FOR ADDITION:

- MASTER SUITE
- GARAGE
- POWDER ROOM
- KITCHEN
- GREAT ROOM
- VERANDA
- NEW POOL (BY OTHER)



SITE PLAN

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FLORIDA, 33444.

 Shane Ames - Architect



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A.G.
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DATE
2/23/2024

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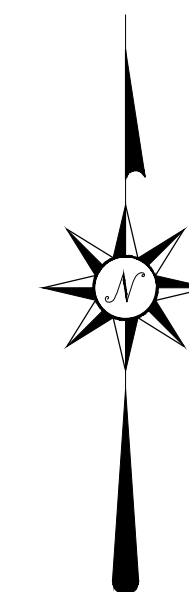
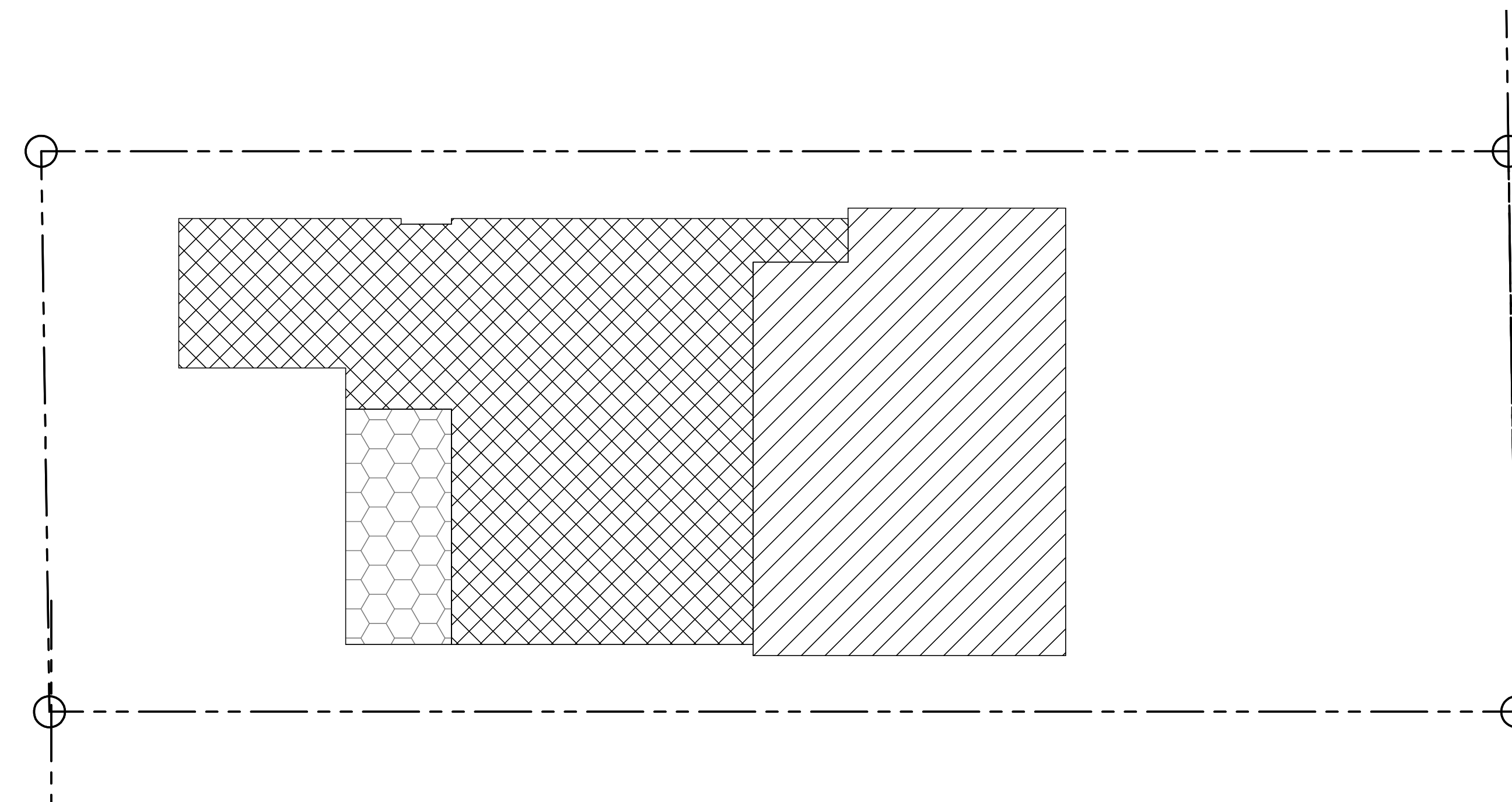
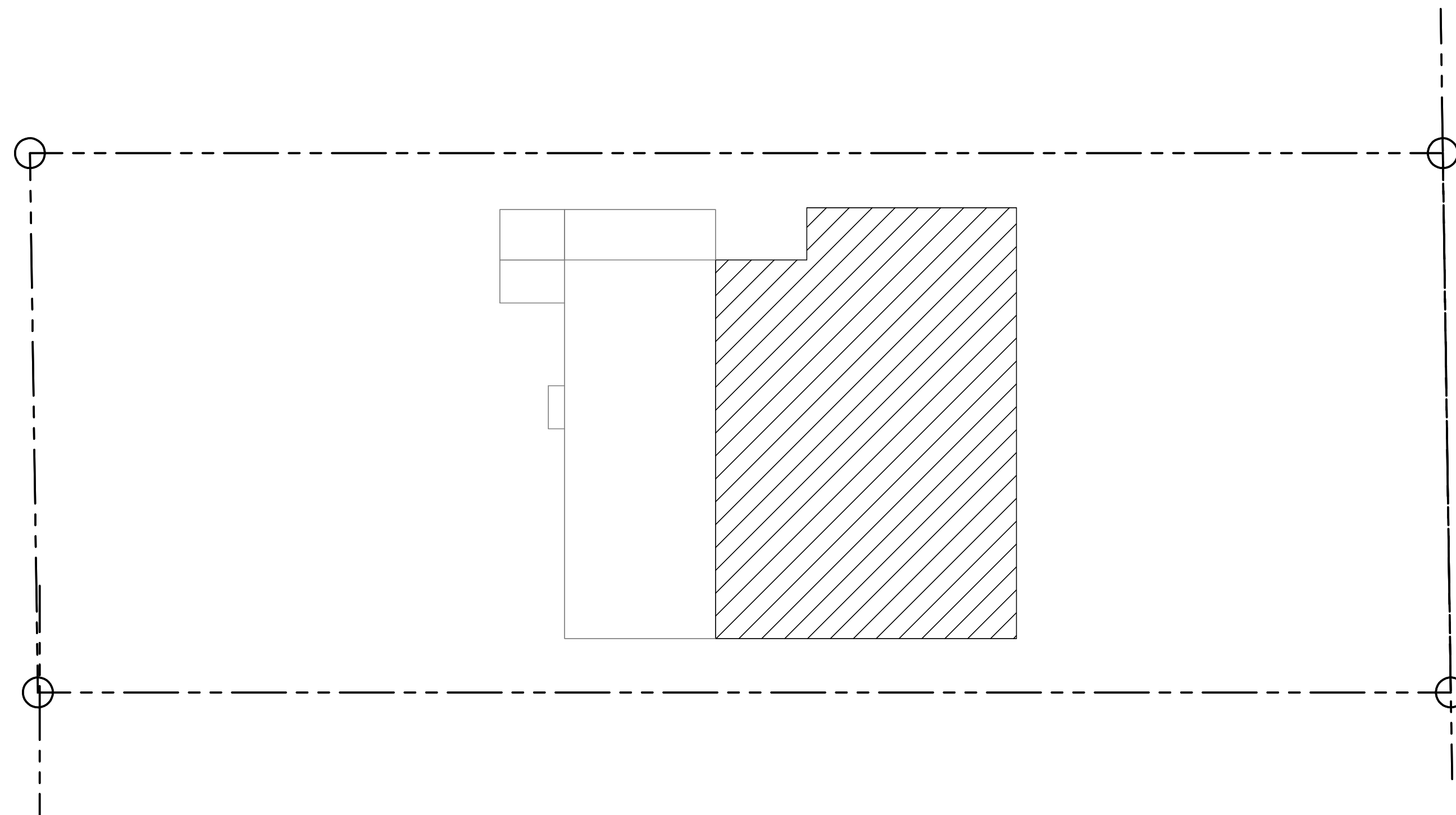
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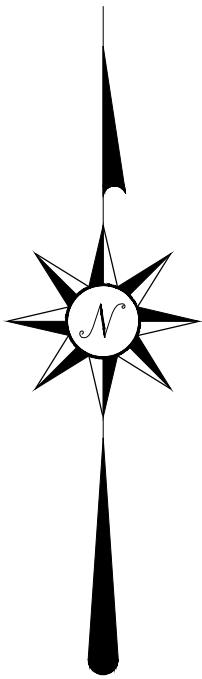
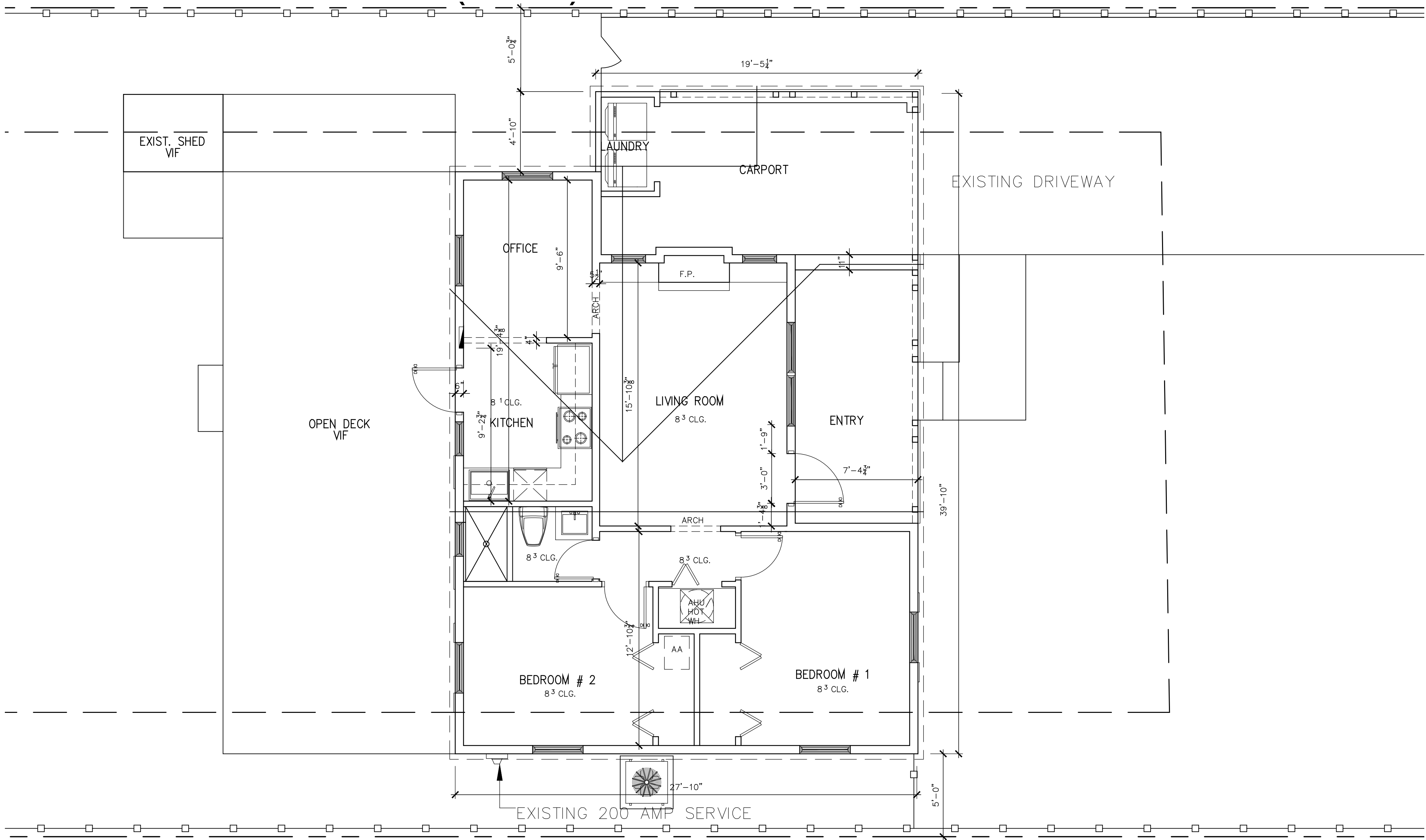
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EXISTING FLOOR PLAN

DRAWN A.G.
CHECKED
DATE 2/23/2024
SCALE 1/4"=1'-0"
JOB NO. 22-5176
SHEET
A03
OF XX SHEETS



Ames
INTERNATIONAL
ARCHITECTURE



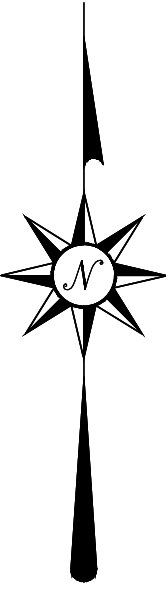
Shane Ames - Architect

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PROPOSED FLOOR PLAN NOTED

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DATE
2/23/2024
SCALE
1/4"=1'-0"
JOB NO.
22_5176
SHEET

A05

OF XX SHEETS



Shane Ames
Architect

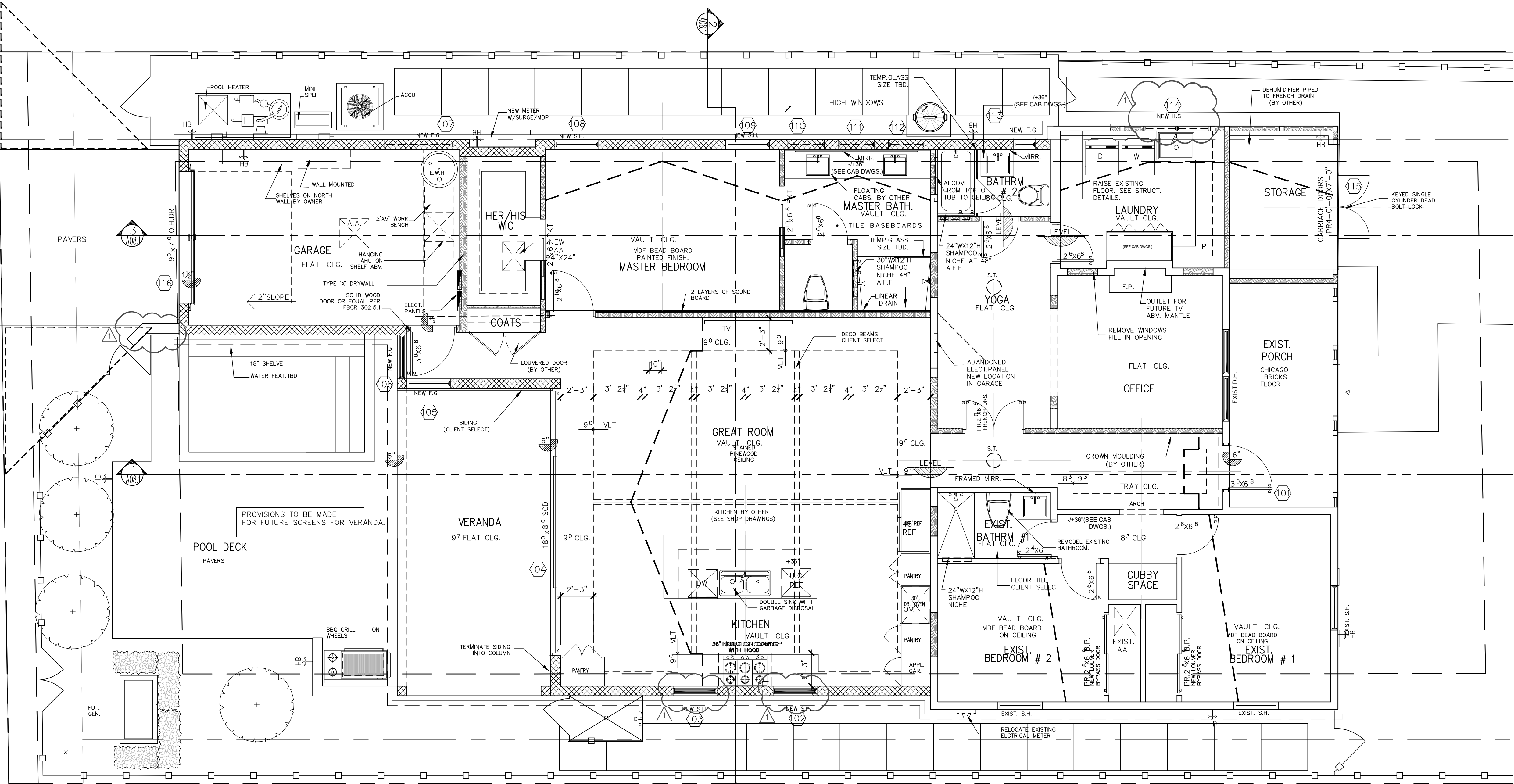
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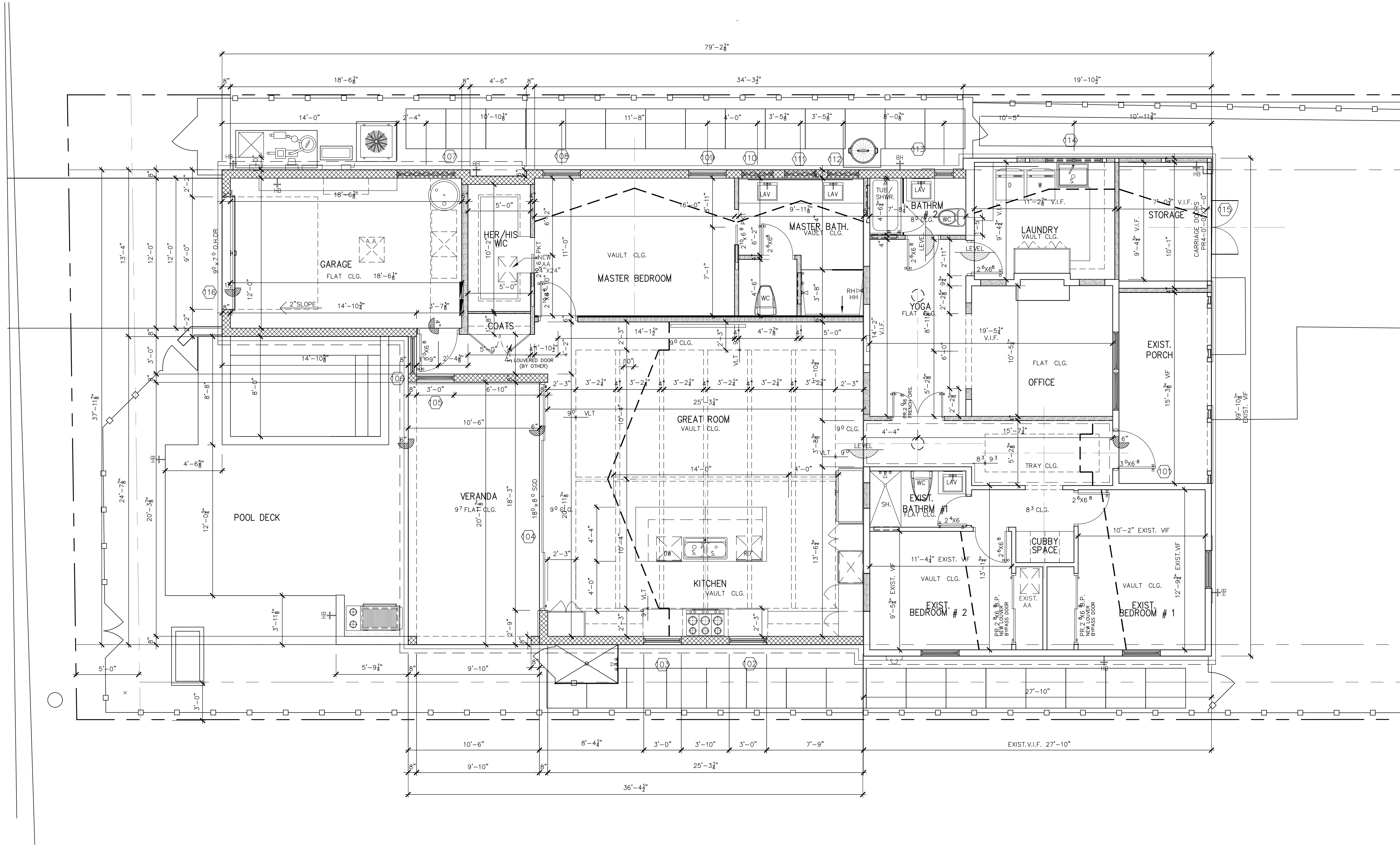
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WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CMU (KNEE WALL)

- NOTE:
1. SOLID MASONRY INTERIOR DOORS
 2. INTERIOR WALLS TO BE INSULATED FOR SOUND
 3. EXTERIOR WALLS TO BE INSULATED
 4. ENLARGE EXISTING ACCESS TO CRAWL SPACE & VENTILATE
 5. MAKE PROVISION FOR FUTURE DEHUMIDIFIER & CONDENSATE PUMP
 6. MAKE PROVISION FOR LED LIGHT & SWITCH
 7. 48"x48" FLOOR TILE (CLIENT SELECT)
 8. CONTRACTOR TO COORDINATE WITH UTILITIES CO. FOR ALL UNDERGROUND
 9. SHOWER GLASS TO BE TREATED TO MINIMIZE WATER MARKS





WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CMU (KNEE WALL)

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FLOOR PLAN DIMENSIONED

DRAWN	A.G.
CHECKED	
DATE	2/23/2024
SCALE	1/4"=1'-0"
JOB NO.	22_5176
SHEET	

A05.1

OF XX SHEETS

REVISIONS	

Shane Ames
Architect



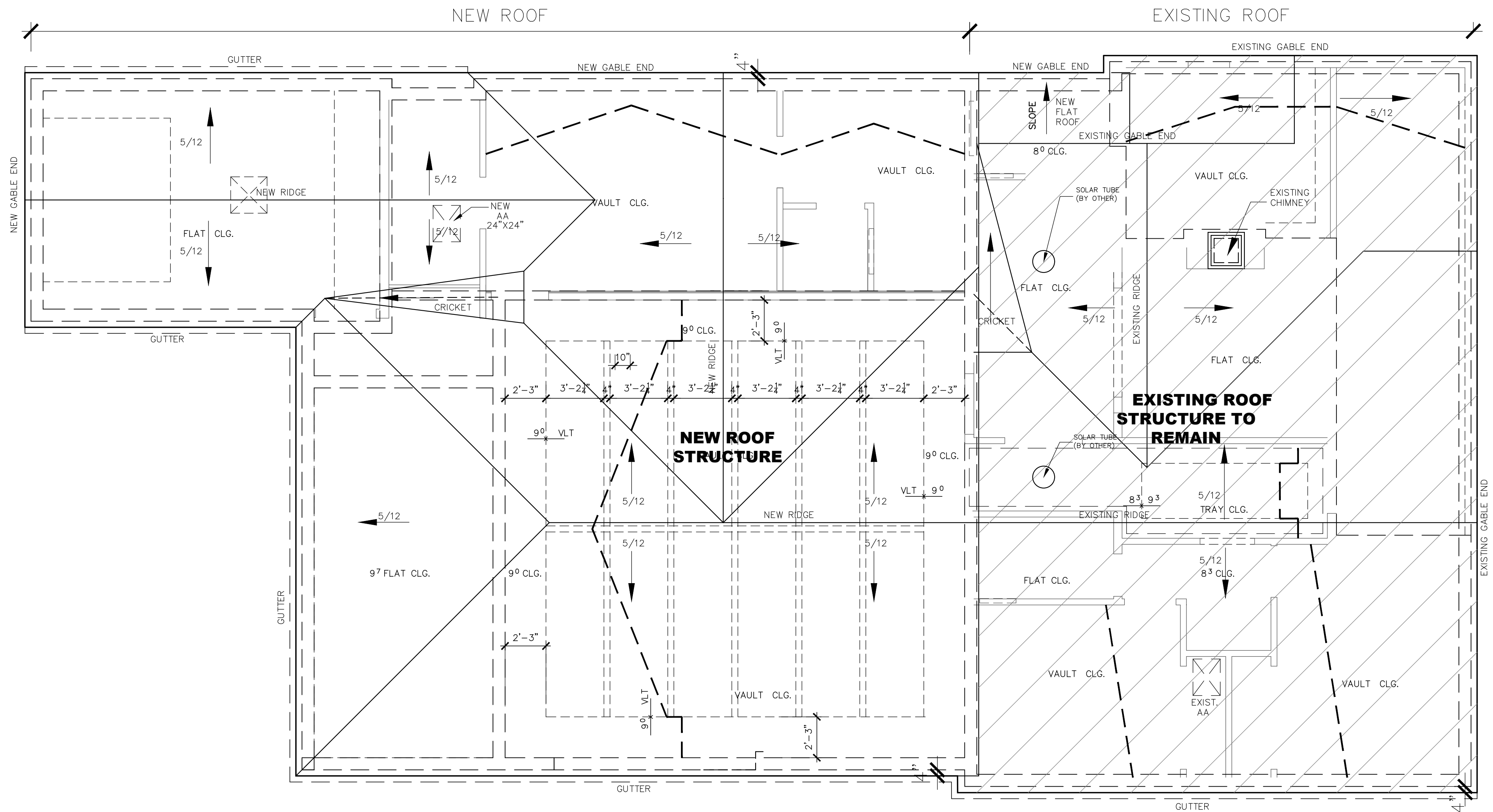
JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

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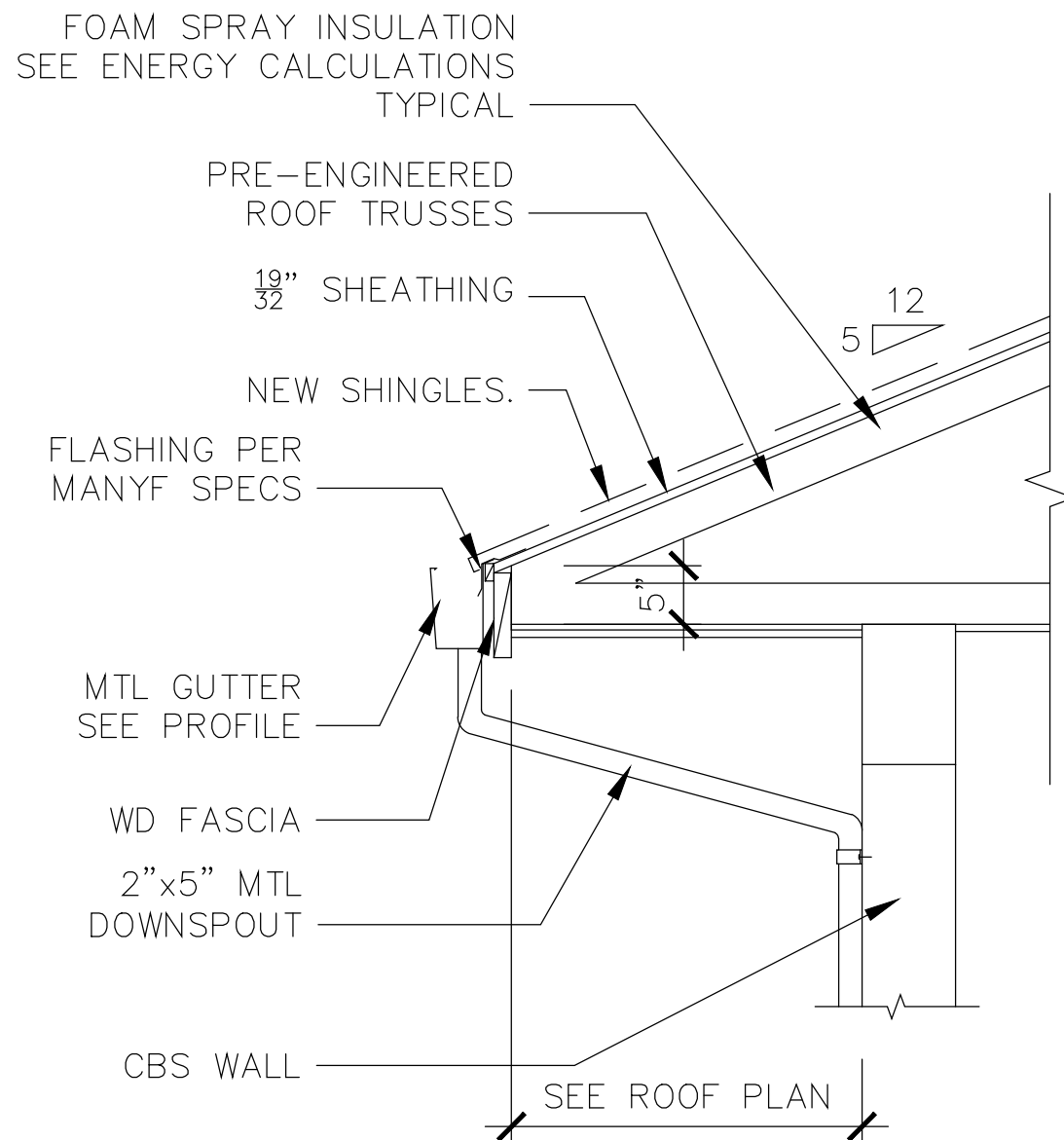
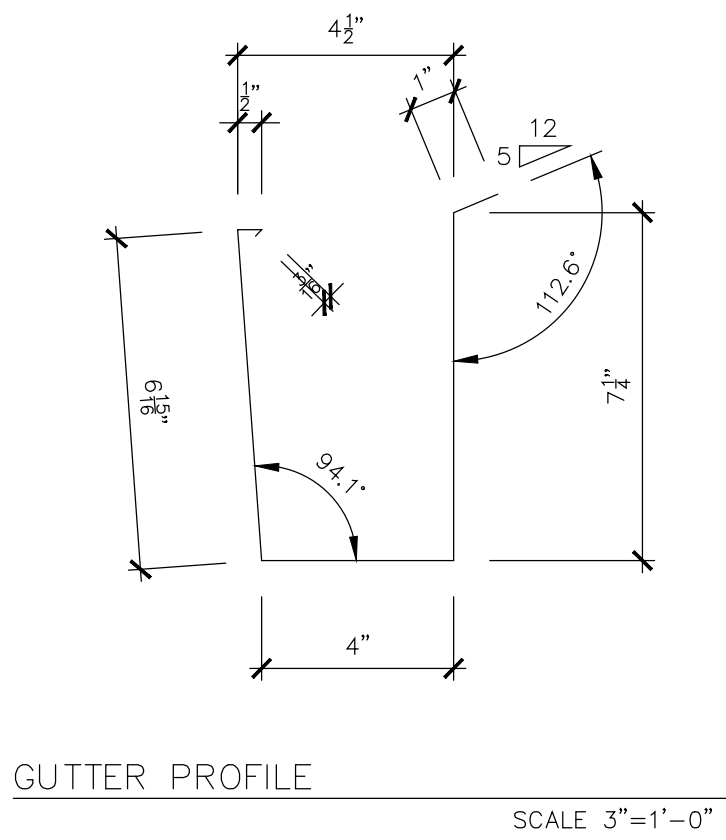
ADDRESS: HISTORIC DELRAY PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: (561)274-6444. FAX: (561)274-6448.

TRUSS COMPANY
TO PROVIDE FOR A/C CHASES IN FLOOR
TRUSSES, ROOF TRUSSES AND ALL GIRDER
TRUSSES. COORDINATE WITH GENERAL & A/C
CONTRACTORS

SEE STRUCTURAL NOTE SHEET
FOR ALL COMPLYING NOTES



NOTE:
ROOF SHINGLE INSTALLATION TO COMPLY WITH
FORTIFIED STANDARDS. SHINGLE TYPE 70, GAF
TIMBERLINE HDZ ARCHITECTURAL LIGHT GRAY.



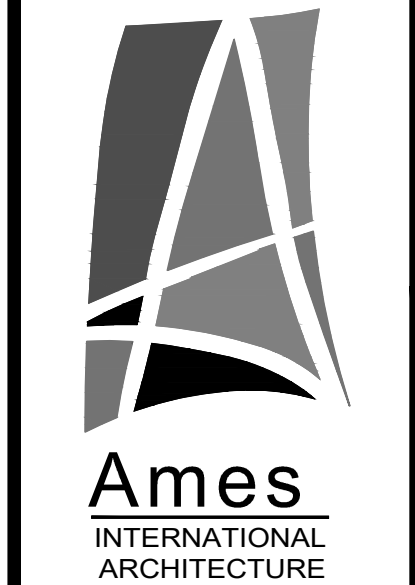
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ARCHITECTURAL ROOF PLAN

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2/23/2024
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1" = 1'-0"
JOB NO.
22-5176
SHEET



Shane Ames, Architect

REVISIONS	BY

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FLORIDA, 33444.

Let: A4002307 ARCH#4 - A30012001

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1. SIDING COLOR TO BE- SHERWIN WILLIAMS-REVERE PEWTER
2. CARRIAGE DOORS, FASCIA/TRIM, WINDOW FRAMES, COLOR TO BE BENJAMIN MOORE 2121--70 CHANTILLY LAKE
3. APPROVED ASPHALT SHINGLE ROOF TO BE GRAY.
4. FRONT ENTRY DOOR COLOR TO BE BENJAMIN MOORE 802- SAN FRANCISCO BAY AND WILL INCLUDE CLEAR, FROSTED GLASS AND DIMENSIONAL MUNTINS APPROPRIATE TO THE ARCHITECTURAL STYLE OF THE STRUCTURE. MUNTIN COLOR NEEDS TO MATCH THE COLOR OF THE DOOR.
5. SHUTTER ON PORCH WINDOW TO BE REMOVED AND APPROVED SHUTTERS THROUGHOUT THE STRUCTURE TO BE REPLACED AT THE APPROPRIATE MEASUREMENT OF THE WINDOWS (BENJAMIN MOORE 2066-- LIGHT BLUE). SHUTTER DOGS ARE RECOMMENDED SO THEY APPEAR OPERABLE.
6. THE GARAGE DOOR IN THE REAR OF THE PROPERTY TO BE WHITE WITH PANELS AND NO HARDWARE.

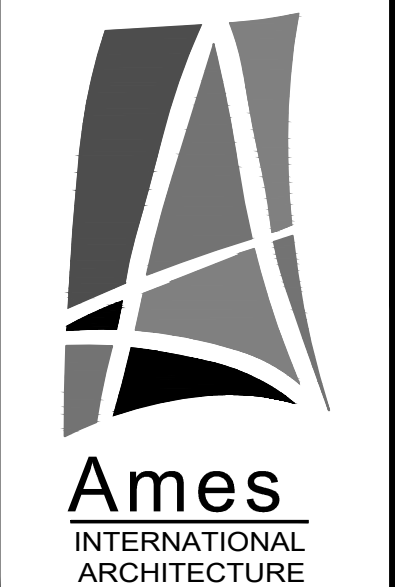
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NEW + EXISTING BUILDING ELEVATIONS

JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.

[illegible]

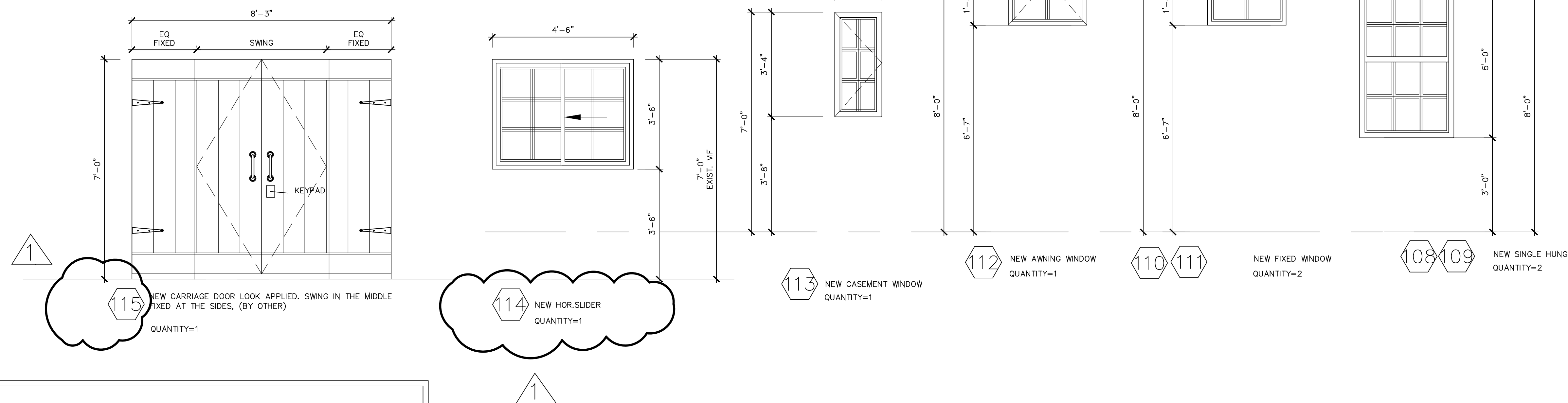
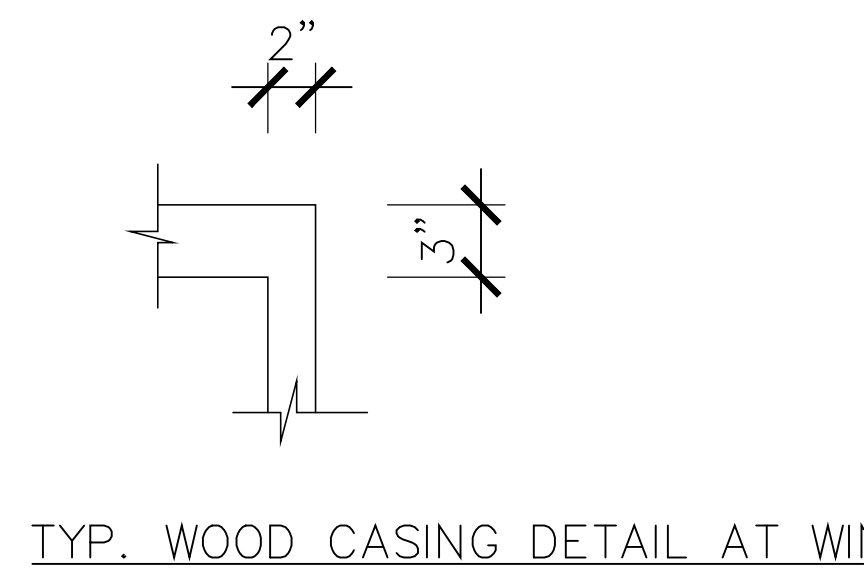
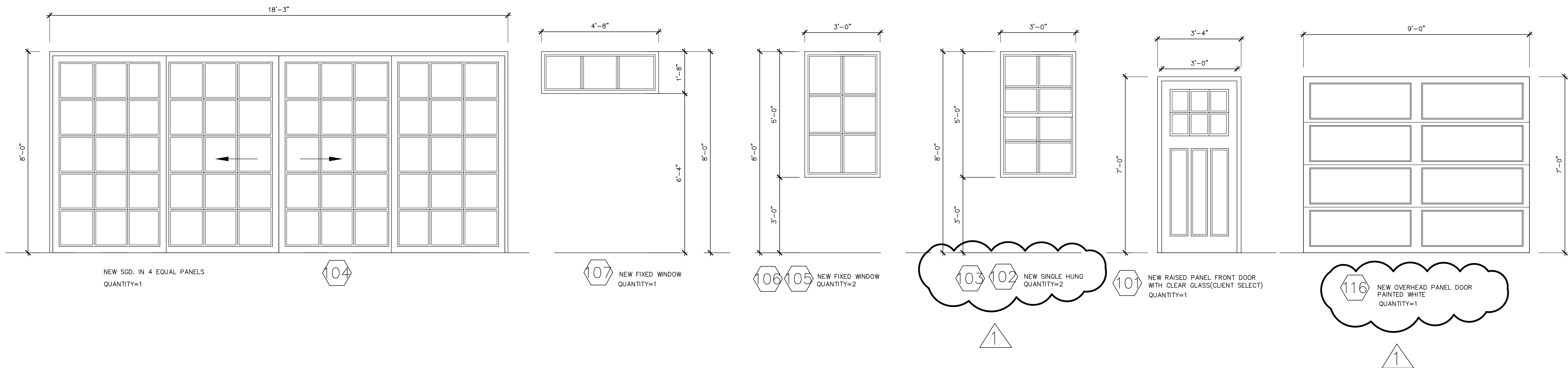
Shane Ames - Architect



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DATE 2/23/2024
SCALE 1" = 1'-0"
JOB NO. 22_5176
SHEET

A07

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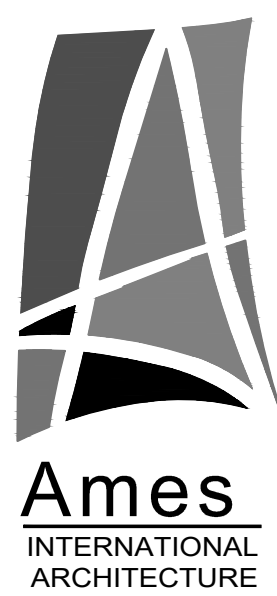
1. SIDING COLOR TO BE- SHERWIN WILLIAMS-REVERE PEWTER
2. CARRIAGE DOORS, FASCIA/TRIM, WINDOW FRAMES, COLOR TO BE BENJAMIN MOORE 2121-70 CHANTILY LACE
3. APPROVED ASPHALT SHINGLE ROOF TO BE GRAY.
4. FRONT ENTRY DOOR COLOR TO BE BENJAMIN MOORE 802- SAN FRANCISCO BAY AND WILL INCLUDE CLEAR, FROSTED GLASS AND DIMENSIONAL MUNTINS APPROPRIATE TO THE ARCHITECTURAL STYLE OF THE STRUCTURE. MUNTIN COLOR NEEDS TO MATCH THE COLOR OF THE DOOR.
5. SHUTTER ON PORCH WINDOW TO BE REMOVED AND APPROVED SHUTTERS THROUGHOUT THE STRUCTURE TO BE REPLACED AT THE APPROPRIATE MEASUREMENT OF THE WINDOWS (BENJAMIN MOORE 2066- LIGHT BLUE). SHUTTER DOGS ARE RECOMMENDED SO THEY APPEAR OPERABLE.
6. THE GARAGE DOOR IN THE REAR OF THE PROPERTY TO BE WHITE WITH PANELS AND NO HARDWARE.

1. PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS. (V.I.F.)
2. BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
3. GC/WINDOW COMPANY TO FIELD VERIFY ALL DOOR & WINDOW SIZES, MASONRY OPENINGS PRIOR TO FABRICATION & INSTALLATION.
4. ALUMINUM FRAME FOR PROPOSED WINDOWS –STYLE & COLOR CLIENT SELECT
5. CLEAR GLASS
6. IMPACT GLASS FOR ALL NEW WINDOWS AND DOORS
7. ALL INTERIOR DOORS SOLID 4 PANEL MASONITE (CLIENT SELECT)
8. ALL BIFOLD DOORS & BYPASS DOORS TO BE SOLID FRAMES & LOUVERED (CLIENT SELECT)
9. DOORS & WINDOWS—CLIENT SELECT
10. SCREENS FOR OPERABLE WINDOW CLIENT SELECT

DOOR + WINDOW SCHEDULE

[illegible]

Shane Ames - Architect



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SCALE 1" = 1'-0"
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[illegible]

PERMIT SET

JOE & SUSAN WAGMAN
310 NE 1ST AVE
DELRAY BEACH
FLORIDA, 33444.



SITE ELEVATION



Shane Ames - Architect

[illegible]

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