



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

## ADMINISTRATIVE APPROVAL

### Roka Hula

Meeting	File No.	Application Type
July 8, 2025 (Appealable)	2025-008	Level 2 Site Plan Application
Property Owner	Agent	
290 East Atlantic LLC	Anthony Fichera	

### Request

Administrative approval of a Level 2 Site Plan Modification for a new exterior walk-in cooler/freezer and additional seating along the breezeway.

### Site Data & Information

**Location:** 270 E. Atlantic Avenue

**PCN:** 12-43-46-16-K2-000-2700

**Property Size:** 0.391 acres

**Land Use Designation:** Commercial Core (CC)

**Zoning District:** Central Business (CBD) District, Central Core Sub-district

#### Adjacent Zoning:

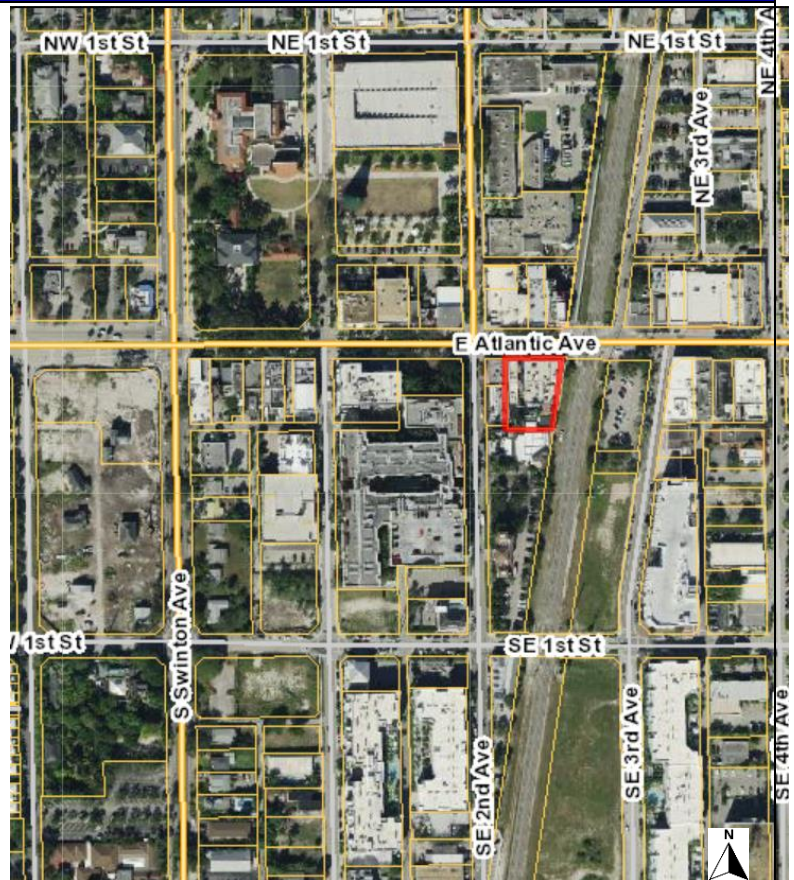
- **North, South, East & West:** CBD, Central Core Sub-district

#### Existing Use:

Restaurant

#### Proposed Use:

Restaurant



#### Project Planner:

Rolland Bogacz, Planner

bogaczr@mydelraybeach.com

Susana Rodrigues, Senior Planner

rodrigues@mydelraybeach.com

## Background

The subject property was constructed in 1926. It consists of unit 270 of the Avenue East subdivision. The property is located on the south side of Atlantic Avenue and is separated from the building to the west by a pedestrian walkway. The property is adjacent to the FEC Railway tracks to the east.

At its meeting of December 14, 2011, the Site Plan Review and Appearance Board (SPRAB) approved a Class I Site Plan Modification for the prior tenant "75 Main" which involved the installation of a new sliding glass door along the west side of the building, the installation of wall mounted light fixtures, refitting of the existing awnings along the west side of the tenant space, and the replacement of the awning along the north side of the building.



At its meeting of December 11th, 2013, SPRAB approved a Class I Site Plan Modification which included the replacement of the existing storefront awnings, the installation of continuous awnings, and the addition of a two-panel folding door system.

During the COVID-19, the City allowed for temporary outdoor dining through an application process. On May 21, 2020, the City approved temporary outdoor dining request for Taverna Opa. The approval was specific to the business and any modifications or change of tenant would terminate the temporary outdoor dining.

The following has been reviewed and approved for the Roka Hula establishment:

- A Level 1 Site Plan Modification for architectural elevation changes was approved administratively on March 20, 2025.
- An In-Lieu of Parking Fee application, for four (4) additional required parking spaces was approved by the City Commission on June 3, 2025. The approval of the In-Lieu Parking request was required prior to the review and approval of this Level 2 Site Plan Application.

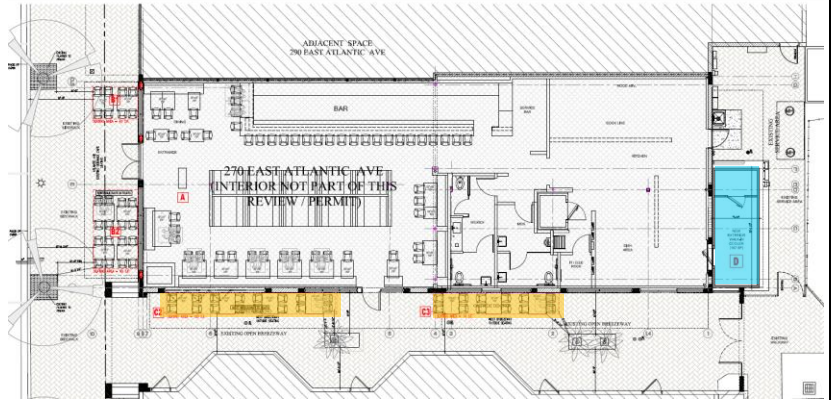




## Description of Proposal

The proposed Level 2 Site Plan Modification includes the installation of a new exterior walk-in cooler and freezer, depicted in blue, and the addition of outdoor seating along the breezeway, depicted in orange.

The expansion in useable square footage resulting from the improvements triggered an increase in the minimum required parking by four spaces; the applicant satisfied this requirement through the approved In-Lieu Parking Fee, which provides an alternative compliance path in accordance with the provisions of the Land Development Regulations.



## Review & Analysis

### Site Plan

#### LDR Section 2.4.10(A)(1)(b), Level 2 Site Plan Applications

*Include new construction, additions to an existing building, or the conversion of an existing single-family residence or duplex, consisting of no more than a total of five dwelling units for multi-family residential development or 15,000 gross square feet of mixed-use or nonresidential development.*

#### LDR Section 2.4.10(A)(2)(c)1., Administrative Review

*Level 1 and Level 2 Site Plan applications may be approved, denied, or approved with conditions pursuant to Article 2.2 by the Director. The Director has the sole discretion to elevate Level 1 and Level 2 Site Plan applications to board review with a written determination for the action.*

#### LDR Section 2.4.10(A)(5)(b), Appeals.

*Approvals by the Director on Level 2 Site Plan applications shall be reported to the City Commission on the Appealable Report.*

The proposed restaurant improvements qualify as a Level 2 Site Plan application pursuant to the criteria of an addition to an existing non-residential development under 15,000 gross square feet. This designation allows for administrative review and approval by the Director. In accordance with procedural requirement, all Level 2 Site Plan approvals must be included in the City Commission's Appealable Report to provide an opportunity for public review. Accordingly, this application is listed in the Appealable Report to ensure transparency and compliance with Land Development Regulations.

#### LDR Section 2.4.10(A)(3). Findings

*All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.*

*(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.*

*(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.*

*(d) Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.*

The site plan application requires compliance with b, c, and d listed above. The analysis of the required findings is further identified below.

#### LDR Section 3.1.1 Required Findings

*Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

The required findings relate to the land use map, concurrency, consistency, and compliance with the Comprehensive Plan. Compliance with the required findings is discussed below.

**(A) Land Use Map.** *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of Commercial Core (CC), and a zoning designation of CBD, Central Core Sub-district. The restaurant use is an existing use, and pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, CBD is compatible with the CC land use designation.

**(B) Concurrency.** *Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Potable Water and Sewer: No modifications are proposed to the existing water and sewer system.

Drainage: No modifications are proposed to the existing drainage.

Transportation: The proposed modifications are not anticipated to create any traffic concerns.

Parks and Open Space: N/A

Solid Waste: The Solid Waste Authority has reviewed the modifications and has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Public School: N/A

**(C) Consistency.** *A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

### **Article 3.2 Performance Standards**

The following standards contained in Article 3.2 are applicable:

**LDR Section 3.2.1, Basis for Determining Consistency** requires a determination of overall consistency with the Comprehensive Plan,

**LDR Section 3.2.3, Standards for site plan and/or plat actions,** and

**LDR Section 3.2.4, Standards for Specific Areas or Purposes addresses** development compliance in various areas.

The proposed development generally aligns with the applicable standards, and there are no identified concerns regarding its overall consistency with Article 3.2. as discussed in detail below.

**LDR Section 3.2.1. Basis for Determining Consistency.** The following applicable objectives or policies from the Always Delray Comprehensive Plan apply to the request.

### **Comprehensive Plan**

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted:

### **Neighborhoods, Districts, and Corridors Element**

Policy NDC 1.3.5 *Use the Commercial Core land use designation to stimulate the vitality and economic growth of the city while simultaneously enhancing and preserving the cultural and historic downtown area.*

Policy NDC 1.3.7 *Implement the Commercial Core land use designation using form-based code to provide for adaptive-reuse, development, and redevelopment that preserves the downtown's historic moderate scale, while promoting a balanced mix of uses that*



*will help the area continue to evolve into a traditional, self-sufficient downtown.*

Policy NDC 2.2.7 *Within the Commercial Core, locate and design off-street parking areas in a manner that does not detract from the character by providing standards in the Land Development Regulations, such as locating parking to the side or rear of buildings, limiting size of lots, and landscaping and façade requirements. Large fields of parking between building facades and streets are generally not desirable.*

**LDR Section 3.2.3, Standards for site plan action.** The following standards are applicable to the request:

- (A) *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
- (B) *All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly-accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).*
- (F) *Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services: are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*
- (H) *Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the-surrounding areas, the project shall be modified accordingly or denied.*
- (I) *Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.*
- (K) *Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.*
- (L) *Development shall meet the intent of CSR 5, Energy Efficiently and Diverse Energy Mix and, where applicable, the requirements of LDR Section 7.11.1, Green Building Regulations.*

The proposed development has been evaluated for consistency with the applicable Goals, Objectives, and Policies of the Always Delray Comprehensive Plan and the regulatory standards set forth in LDR Section 3.2.3, Standards for Site Plan Action. While several standards are not applicable due to the limited scope of the request, the proposed improvements support the ongoing use of the property as a restaurant and are consistent with the Comprehensive Plan's vision for a vibrant, active, and pedestrian-oriented Central Business District. Furthermore, the development complies with the applicable site planning criteria related to circulation, scale, access, and compatibility, as outlined in Section 3.2.3. Accordingly, the proposal is found to meet the intent of both the Comprehensive Plan and the Land Development Regulations.

**LDR Section 3.2.4, Standards for Specific Areas or Purposes.** Subsection (D), Flood prone areas requires that *development proposed on land which is in a floodplain shall certify that the proper requirements for mitigation of potential flood damage have been provided.*

The site is located within Zone 4 of the Wellfield Protection Areas and is designated as Flood Zone X on the applicable Flood Map, indicating minimal risk of flooding. As the existing structure is not being expanded in a manner that would increase environmental impact, and the proposed improvements are minor and external in nature, no additional review or action is required from Palm Beach County with respect to the Wellfield Protection Area. The proposed development does not trigger any further mitigation or compliance measures under this designation.

**(D) Compliance with the LDR.** *Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

#### LDR Section 4.4.13, Central Business District

The applicable regulations are outlined in the table below.

Standard/Regulation: Central Core Sub-district	Review	
<b>Setbacks</b> Table 4.4.13(C)	<b>Required:</b> <b>Front:</b> 10 feet min/15 feet max <b>Side Interior:</b> 0 or 5 feet <b>Rear:</b> 10 feet	<b>Proposed:</b> <b>Front:</b> 5.48 feet* <b>Side Interior:</b> 0 feet <b>Rear:</b> 9.10 feet*  *Existing nonconformity
<b>Height</b> Table 4.4.13(C) Atlantic Avenue Limited Height Area	<b>Maximum:</b> 3 stories and 38 feet	<b>Proposed:</b> No modifications to height.
<b>4.4.13(E)(2), Minimum Streetscape Width</b>	<b>Required:</b> 15 ft <b>Curb Zone:</b> 4 ft (min.) <b>Ped. Clear Zone:</b> 6 ft (min.) <b>Remaining Front Setback Area:</b> up to 15 ft	<b>Proposed:</b> 18 ft, 1in <b>Curb Zone:</b> 4 ft, 5in <b>Ped. Clear Zone:</b> 6 feet <b>Remaining Front Setback Area:</b> 7 ft, 8 in
<b>4.4.13(E)(2)(a)3, Remaining Front Setback Area</b>	Hardscape or Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed. The proposed remaining front setback area will be comprised of outdoor dining*  *Requires Sidewalk Café Permit Approval	
<b>4.4.13(E), Frontage Type: Storefront</b>	<b>Required:</b> <b>Building Setback:</b> 10 to 15 ft <b>Store Width:</b> max. 75 ft <b>Storefront Base:</b> 9 in to 3 ft <b>Glazing Height:</b> Min 8 ft <b>Required Openings:</b> Min 80% <b>Awning Projection:</b> Min 5 ft	<b>Proposed: *</b> <b>Building Setback:</b> 5.48 ft <b>Store Width:</b> 35 ft 2 inches <b>Storefront Base:</b> 33 inches <b>Glazing Height:</b> 8 ft 11 inches <b>Required Openings:</b> 83% <b>Awning Projection:</b> 9 ft and 3 inches**  *The storefront modifications were approved in File No. 2025-151 **Existing Hold Harmless Agreement for awning encroachment

#### Other Development Regulations

Standard/Regulation	Required	
<b>4.4.13(I), CBD Parking Standards</b>	<b>Required:</b> Existing Restaurant: 42 parking spaces Additions: 4 parking spaces Total: <u>46 parking spaces</u>	<b>Provided:</b> Existing Restaurant: 42 parking credits In-Lieu: 4 parking spaces* Total: 46 parking spaces  *The applicant has an approved In-Lieu of Parking request (Resolution No. 110-25) for a total of four (4) parking spaces counted towards this requirement.



<b>LDR Table 4.4.13(M), Bicycle Parking</b>	<b>Required:</b> Type I spaces – 1/2500 sf = 2 space Type II – Not Required	<b>Proposed:</b> Type I spaces 1/2500 sf = 0 spaces*  *Minor modifications are proposed, therefore the current bicycle parking is an existing nonconformity and will not be required at this time.
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#### Director Action: Administrative Approval

The Level 2 Site Plan (2025-008) for a new exterior walk-in cooler/freezer and additional seating along the breezeway, located at 270 East Atlantic Avenue, has been administratively approved by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations. Final action is subject to the City Commission review through the appealable process.

#### TAC Review Timeline

Review No.	Submittal Date	TAC Comments Transmitted	Total time with Applicant: <b>54 days</b>  Total time under review: <b>96 days</b>
1	10-08-2024	11-19-2024	
2	12-20-2024	01-14-2025	
3	01-16-2025	02-07-2025	
4	02-28-2025	03-07-2025	













SHOWN WITH NO SHADOWS



SHOWN WITH NO SHADOWS



SHOWN WITH NO SHADOWS

▲ PROPOSED IMPROVEMENTS



EXISTING BREEZEWAY SEATING



EXISTING 'SIDEWALK CAFE' SEATING



EXISTING 'SIDEWALK CAFE' SEATING

EXISTING BREEZEWAY SEATING

▲ EXISTING / PREVIOUS CONDITIONS

**CMA**

**CRAIG MOSSEY  
ARCHITECT : PA**

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(561) 447-2911 (T)  
CMOSSEY@GMAIL.COM  
AA 26000615

NO.	REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
1A	SPRAB COMMENTS	1.31.25
2	SPRAB COMMENTS	1.31.25
2A	GEN REVISION / PERMIT	2.4.25
3	SPRAB COMMENTS	2.22.25
4	GEN REVISION / PERMIT	2.22.25
5		
6		
7		
8		

DRAWING PHASE / USE

- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW  
☐ NOT FOR CONSTRUCTION  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☒ CONSTRUCTION DOCUMENTS  
☒ PERMIT / CONSTRUCTION

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EXISTING AND PROPOSED IMAGES  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25

DRAWN BY: C.M.

REVIEWED BY: C.M.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND  
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PROJECT #: 24020

SHEET #:

**A-0.2**

OF 21

PRINT DATE: 2.22.25

PERMIT 42X30





EXISTING SERVICE AREA



▲ EXISTING ADJACENT PROPERTY / 290 E. ATLANTIC AVE



WEST BREEZEWAY BETWEEN 250 AND 270



▲ EXISTING ADJACENT PROPERTY / 250 E. ATLANTIC AVE



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DRAWING PHASE / USE

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IMAGES OF EXISTING ADJACENT PROPERTIES  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25  
DRAWN BY: C.M.  
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**A-0.3**

OF 21

PRINT DATE: 2.22.25

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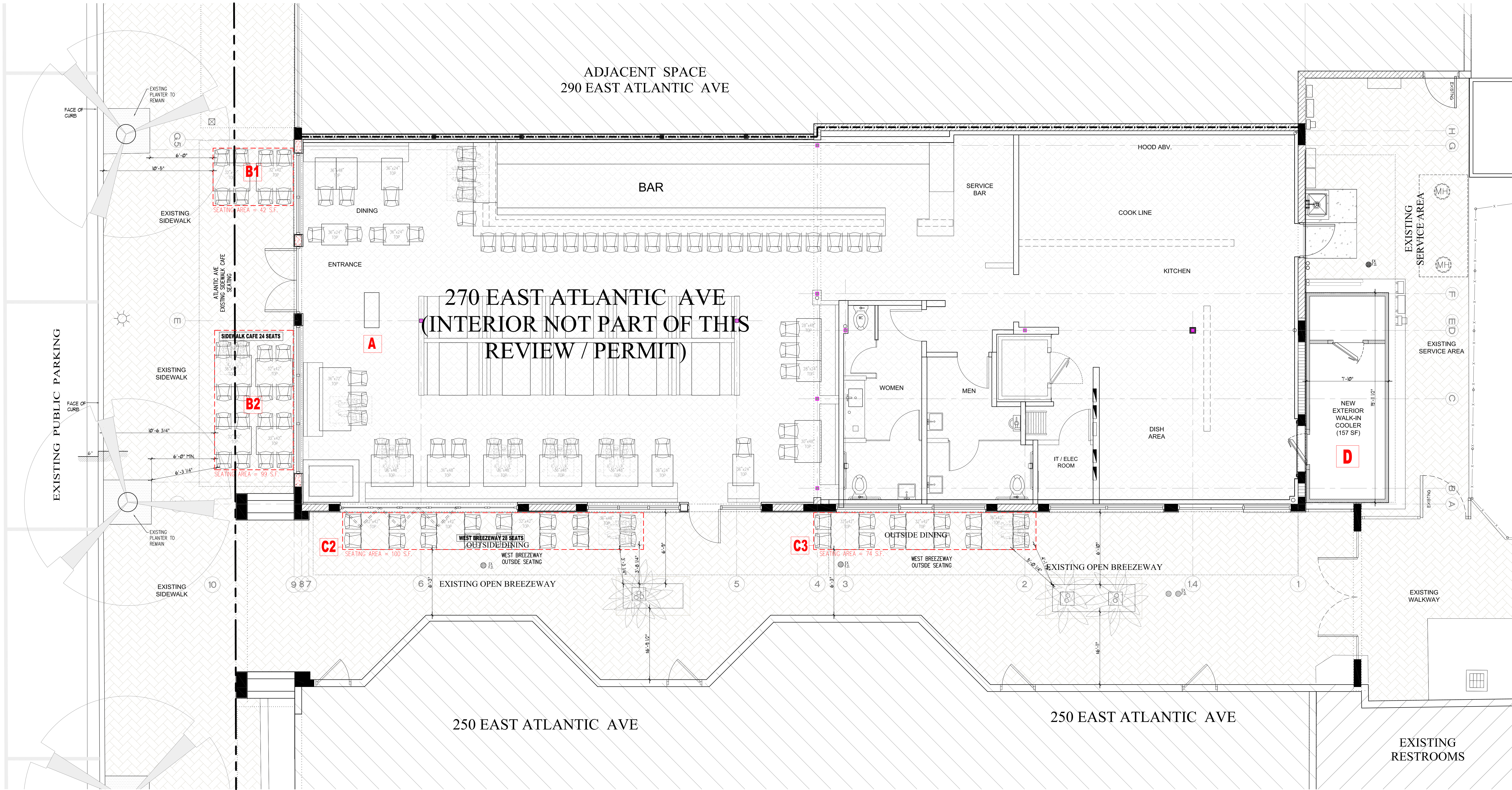








ATLANTIC AVENUE



NOTE: IN-LIEU PARKING SUBMITTAL

PARTIAL SITE PLAN / OUTSIDE SEATING PLAN

SCALE: 1/4" = 1'-0"

OFF STREET PARKING TABULATION							
LDR SECTION 4.6.9 OFF-STREET PARKING REGULATIONS, SECTION 4.6.9(C)(3)(d)							
MARK	RESTAURANT 12 SPACES PER 1,000 SF	EXISTING GROSS AREA / SF	NEW GROSS FLOOR AREA	No OF SEATS	CALCULATED PARKING	PARKING PROVIDED	NOTES
A	EXISTING INTERIOR RESTAURANT SPACE	3,456 GROSS SF	—	NA	42 SPACES	0 / EXISTING CONDITION	EXISTING CONDITION - SAME AS PREVIOUS OCCUPANT USE / APPROVAL PREVIOUS INTERIOR PERMIT #13-147850
B	OUTSIDE "SIDEWALK CAFE" SEATING (ATLANTIC AVE)		138 SF	24 SEATS	0 SPACES	0 / SIDEWALK CAFE	"SIDEWALK CAFE" SEATING SUBJECT TO APPROVAL OF SIDEWALK SEATING CAFE PERMIT
C	OUTSIDE SEATING (WEST BREEZEWAY)		174 SF	28 SEATS	2 SPACES	0 / IN LIEU PARKING	SUBJECT TO IN-LIEU PARKING FEE APPLICATION APPROVAL
D	NEW EXTERIOR WALK-IN COOLER (STORAGE)		157 SF	—	2 SPACES	0 / IN LIEU PARKING	SUBJECT TO IN-LIEU PARKING FEE APPLICATION APPROVAL
Note A: LDR 4.6.9(C)(3)(d) Offstreet Parking Requirement: Restaurants, inclusive of drive-ins, drive-thru, snack shops, night clubs, lounges shall provide 12 spaces per 1,000 square feet of gross floor area up to 6,000 square feet and then 15 spaces per 1,000 square feet of gross floor area over the initial 6,000 square feet.							
Note B: Gross floor area used for parking tabulations per above (Usable Floor Area not used).							
NOTES							
NOTE 1: SEATING AREA (SF) AT SIDEWALK CAFE NOT COUNTED TOWARDS PARKING REQUIREMENTS, SUBJECT TO APPROVAL OF SIDEWALK SEATING CAFE PERMIT							
NOTE 2: "0 / IN LIEU PARKING" SUBJECT TO IN-LIEU PARKING FEE APPLICATION APPROVAL							
NOTE 3: "0 / IN LIEU PARKING" SUBJECT TO IN-LIEU PARKING FEE APPLICATION APPROVAL							

EXTERIOR SEATING TABULATION					
MARK	TABLE TYPE	# OF TABLES	SEATS	SEATING AREA (SF) (NOTE 1)	
B	SEATING AT TABLES	2 TOP	0	0	0
B1	4 TOP	2	8	42 SF	
B2	4 TOP	4	16	99 SF	
SIDEWALK CAFE 24 SEATS				141 SF	NOTE 1
C	TOPS	# OF TABLES	SEATS	SEATING AREA (SF) (NOTE 2)	
C1	NOT USED	NOT USED	NOT USED	0	
C2	4 TOP	4	16	100 SF	
C3	4 TOP	3	12	74 SF	
	2 TOP	0	0		
WEST BREEZEWAY 28 SEATS				174 SF	NOTE 2
TOTAL COMBINED PROPOSED OUTSIDE SEATING				52 OUTSIDE SEATS	

CMA

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NO.	REVISIONS	DATE
1	EXISTING PARKING	5.19.25
2		
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- DRAWING PHASE / USE
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  - ☐ NOT FOR CONSTRUCTION
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  - ☐ CONSTRUCTION DOCUMENTS
  - ☒ IN-LIEU PARKING SUBMITTAL

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PARTIAL SITE PLAN / OUTSIDE SEATING PLAN

IN-LIEU PARKING SUBMITTAL

ROKA HULA RESTAURANT

270 E. ATLANTIC AVE DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 4.20.25

DRAWN BY: C.M.

REVIEWED BY: C.M.

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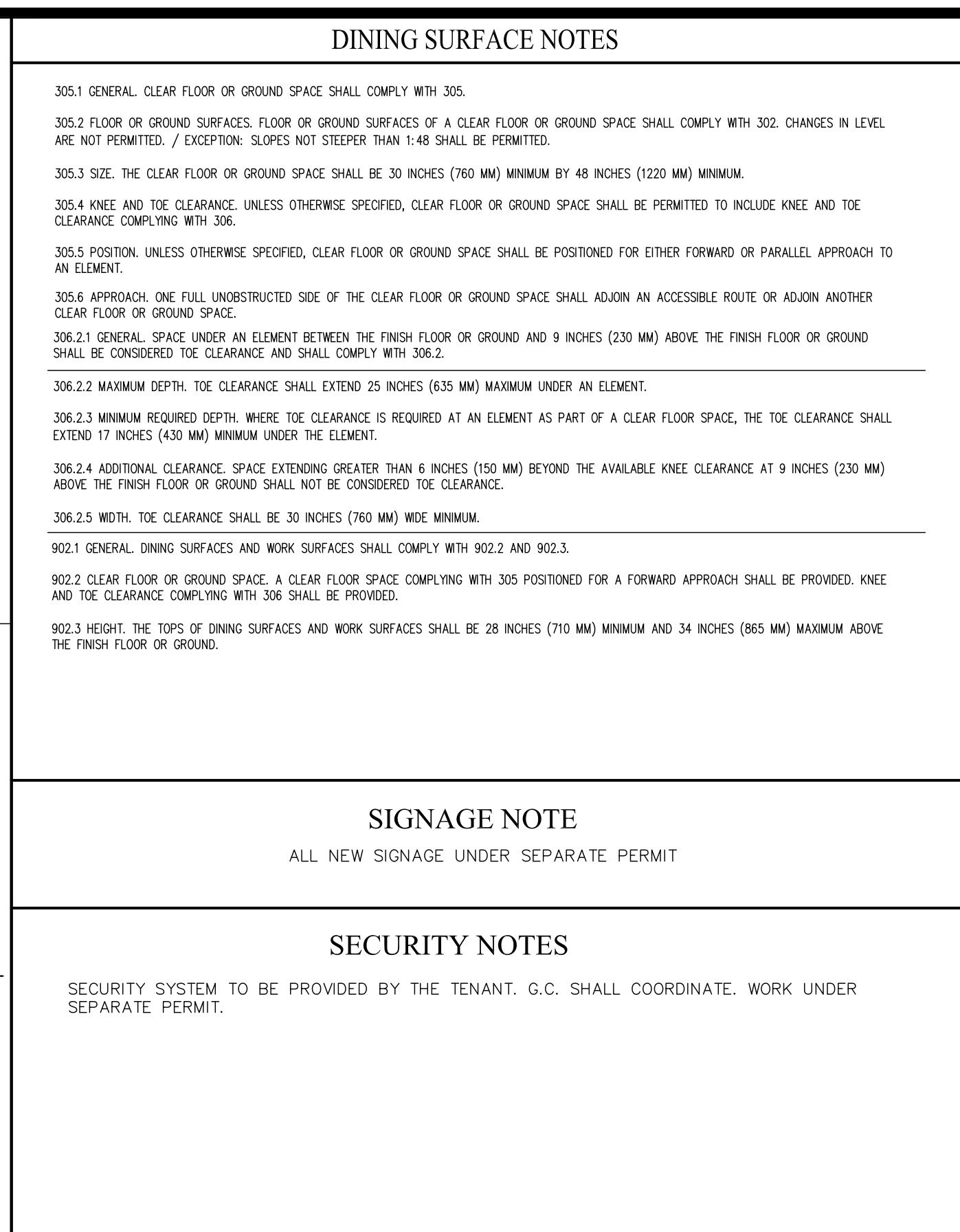
PROJECT #: 24020

SHEET #: A-1.2

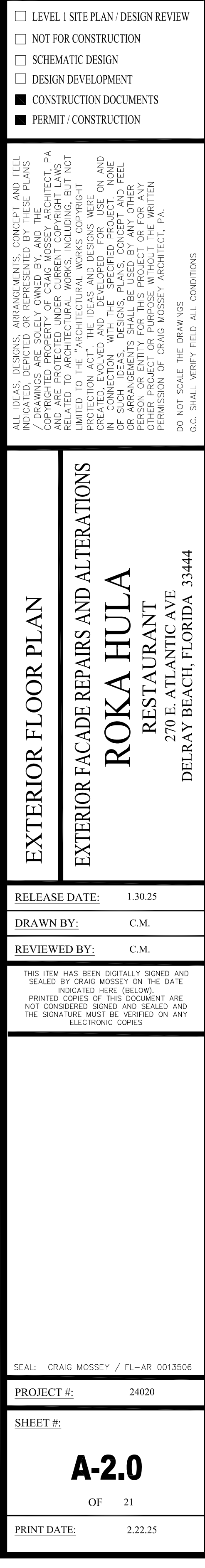
OF

PRINT DATE: 5.19.25



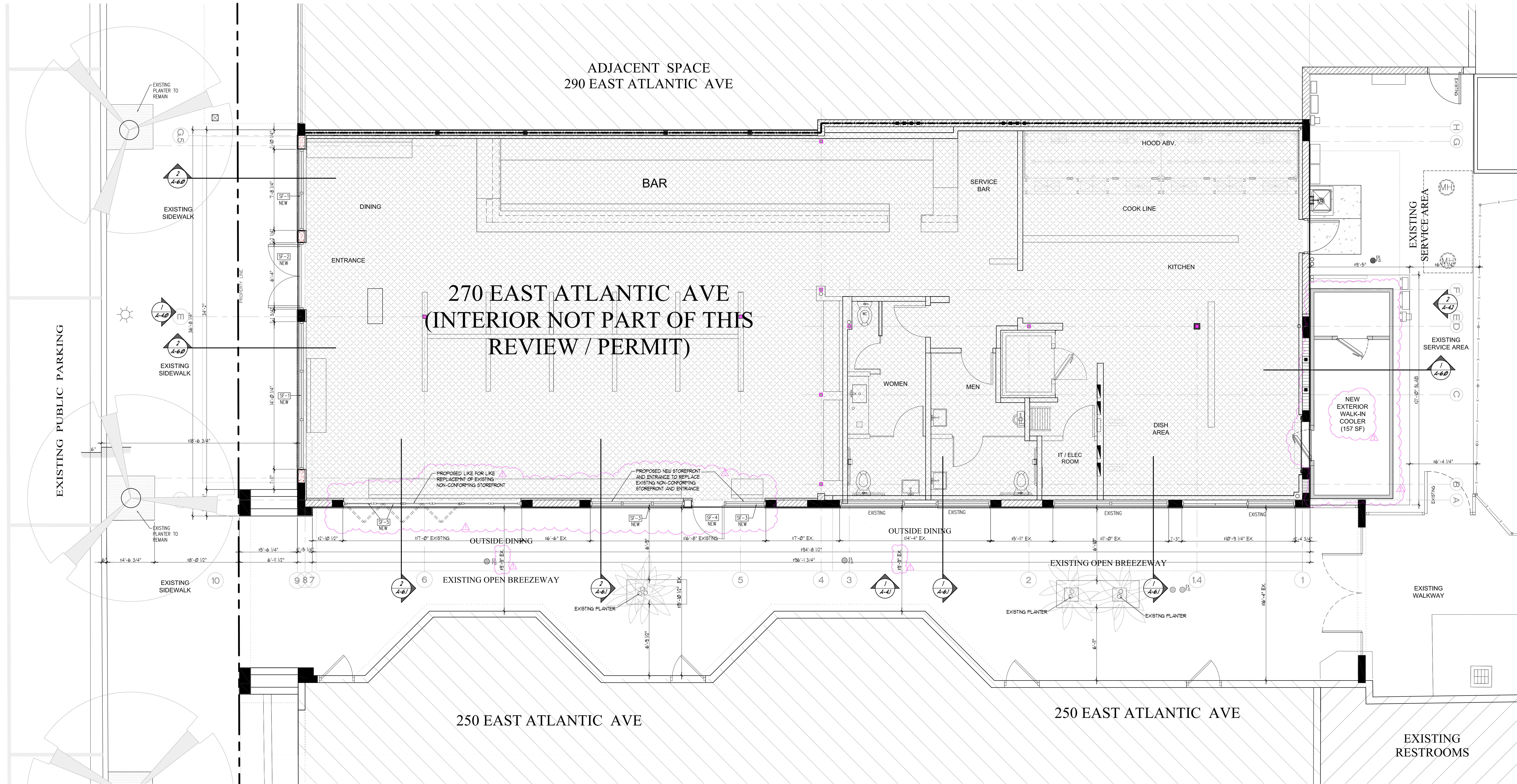
[illegible]

		
<b>CRAIG MOSSEY ARCHITECT : PA</b>		
160 W CAMINO REAL #205 BOCA RATON, FLORIDA 33432 (561) 447-2911 (T)		
CMOSSEY@GMAIL.COM AA 26000615		
NO.	△ REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
1A	SPRAB COMMENTS	1.31.25
2	GEN REVISION : PERMIT	1.31.25
2A	SPRAB COMMENTS	2.4.23
3	SPRAB COMMENTS	2.22.25
3	GEN REVISION : PERMIT	
4		
5		
6		
7		
8		





ATLANTIC AVENUE



EXTERIOR WALL PLAN

SCALE: 1/4" = 1'-0"

**CMA**

CRAIG MOSSEY  
ARCHITECT : PA

160 W CAMINO REAL  
#228  
BOCA RATON, FLORIDA 33432  
(561) 447-2911 (T)  
CMOSSEY@GMAIL.COM  
AA 26000615

NO.	REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
1A	SPRAB COMMENTS	1.31.25
2A	GEN REVISION / PERMIT	2.4.25
3	SPRAB COMMENTS	2.22.25
4		
5		
6		
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8		

DRAWING PHASE / USE

- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW  
☐ NOT FOR CONSTRUCTION  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☒ CONSTRUCTION DOCUMENTS  
☒ PERMIT / CONSTRUCTION

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EXTERIOR WALL PLAN  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25

DRAWN BY: C.M.

REVIEWED BY: C.M.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CRAIG MOSSEY ON THE DATE: 1/30/25. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL: CRAIG MOSSEY / FL-AR 0013508

PROJECT #: 24020

SHEET #:

**A-2.1**

OF 21

PRINT DATE: 2.22.25

PERMIT 42X30







DRAWING KEY NOTES

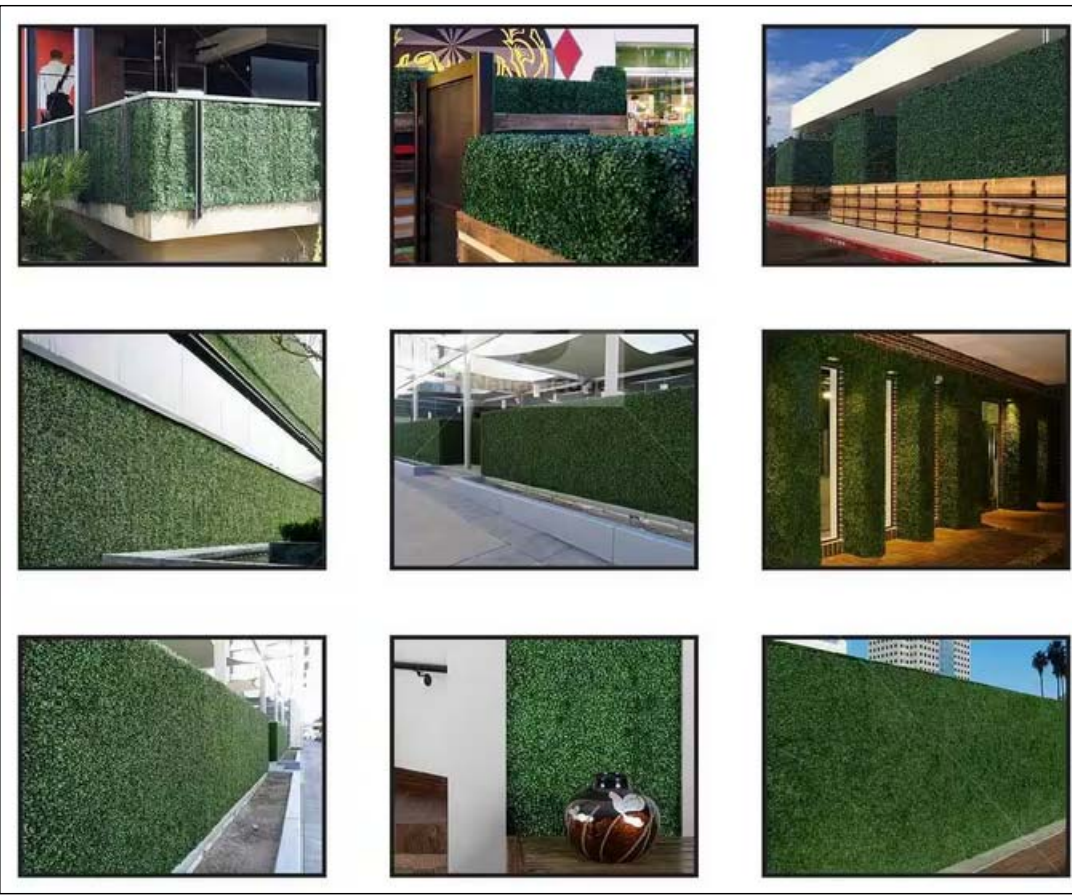
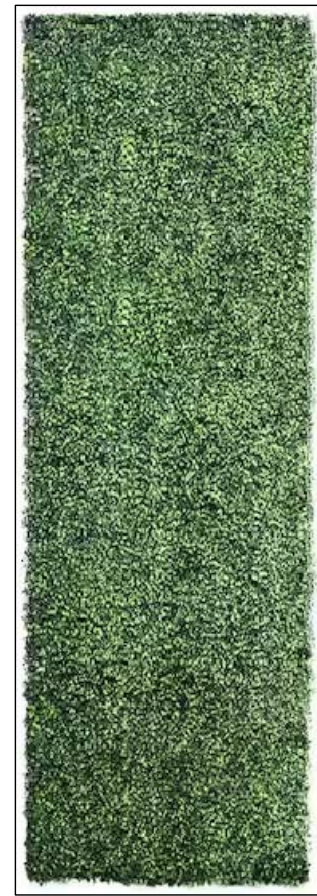
APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

- EXISTING CONSTRUCTION TO REMAIN
- SF-1- SCHEDULED NEW TRULITE FIXED HVHZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-2- SCHEDULED NEW TRULITE HVHZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-3- SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- NEW 8" X 12" (MIN- SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND #3 STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. TIE BEAM ABOVE (MIN. 6" REBAR EMB.) TYP.
- NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN. 30" BAR OVERLAP, TYPICAL.
- PROVIDE VERT. #5 HOOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- SF-4- SCHEDULED NEW TRULITE HVHZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-5- SCHEDULED NEW EURO-WALL HVHZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- EXISTING CONC. BEAM TO REMAIN. PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- NEW SCHEDULED 3/4" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. G.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC., TYP.
- EXISTING CURB - FILL ALL CELLS AT MASONRY CURB - G.C. TO FIELD VERIFY PRIOR TO CONSTRUCTION.
- NEW REINFORCED CONC. (4,000 PSI) CURB
- EXISTING WALKWAY TO REMAIN
- EXISTING PAVR WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- NEW 4,000 PSI CONC. SLAB / FOOTING ON GRADE.
- LINE OF CANVAS AWNING ABOVE.
- NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES, SEE DETAILS. MINIMUM 3/4" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- NEW 3 PART PAINTED 3/4" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED (COLOR "W-1").
- REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 33" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SCHEDULED 33" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- EXISTING FOOTING TO REMAIN. FIELD VERIFY
- FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC.
- ADA ALUM.S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F. - SEE BUCK CONNECTION NOTES.
- CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F. - SEE BUCK CONNECTION NOTES.
- WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- CONT. HIGH-PERFORMANCE DOW 790 (OR EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL.
- CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- DOOR SWEEP PER PRODUCT APPROVAL
- SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 1/4" MAX TREATED SHIM PER PRODUCT APPROVAL
- NEW SCHEDULED 3/4" GWB ON 3/4" (MIN) GALV. FURRING CHANNELS W/ #4.2 FOL BACKED RIGID INSULATION FULL HEIGHT
- CONT. TOOLED ANGLE STUCCO DRIP
- EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- NOT USED
- NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- CONT. CASING BEAD
- CONT. STUCCO BASE SCREED, SEE DETAIL 3A/A-6.0
- SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- CHIP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER TIE BEAM TO TOP OF PARAPET TIE BEAM.
- REINFORCED MULLION PER NOA
- NEW 5/8" FINISHED GWB SILL BELOW
- LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- HOOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- EXISTING 6" STEEL POST / COL. TO REMAIN
- FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.

S1

40 IN. X 120 IN. ARTIFICIAL LIGHT GREEN IVY - BOXWOOD ROLL PANELS UV PROTECTED

USE: SCREENING OF SERVICE AREA INSTALLED ON EXISTING ALUMINUM FENCE AND GATE



IVY SCREENING AT SERVICE AREA

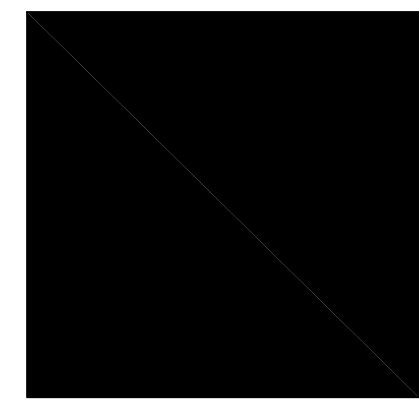
P1

RAL 7037 DUSTY GRAY

USE: SERVICE AREA O.H. ROLL UP DOOR



O.H. ROLL UP DOOR



C1

BLACK SUNBRELLA CANVAS (FIRE RETARDANT TREATED)

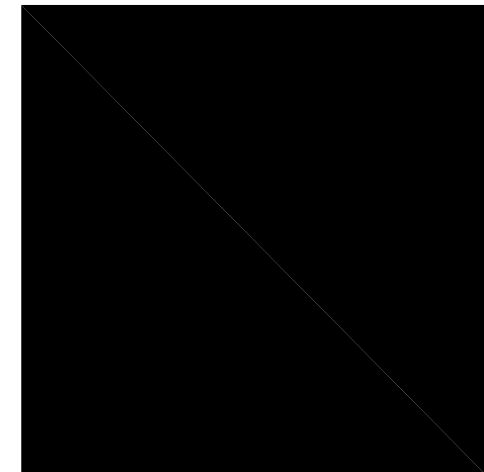
USE: ALL AWNINGS

AWNING CANVAS

W2

BLACK FINISH

USE: AT ALL NEW AND EXISTING STOREFRONTS AND STOREFRONT DOOR FRAMES AND MULLIONS, AND REAR SERVICE DOOR

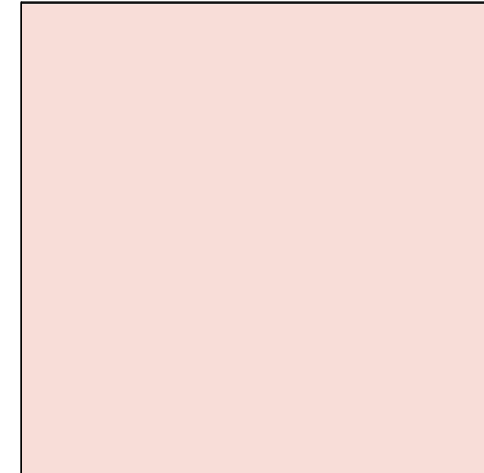


STOREFRONT MULLIONS

W1

PINK CLOUD 887 BENJAMIN MOORE PAINT

USE: AT ALL EXTERIOR WALLS (SEE ELEVATIONS AND NOTES)

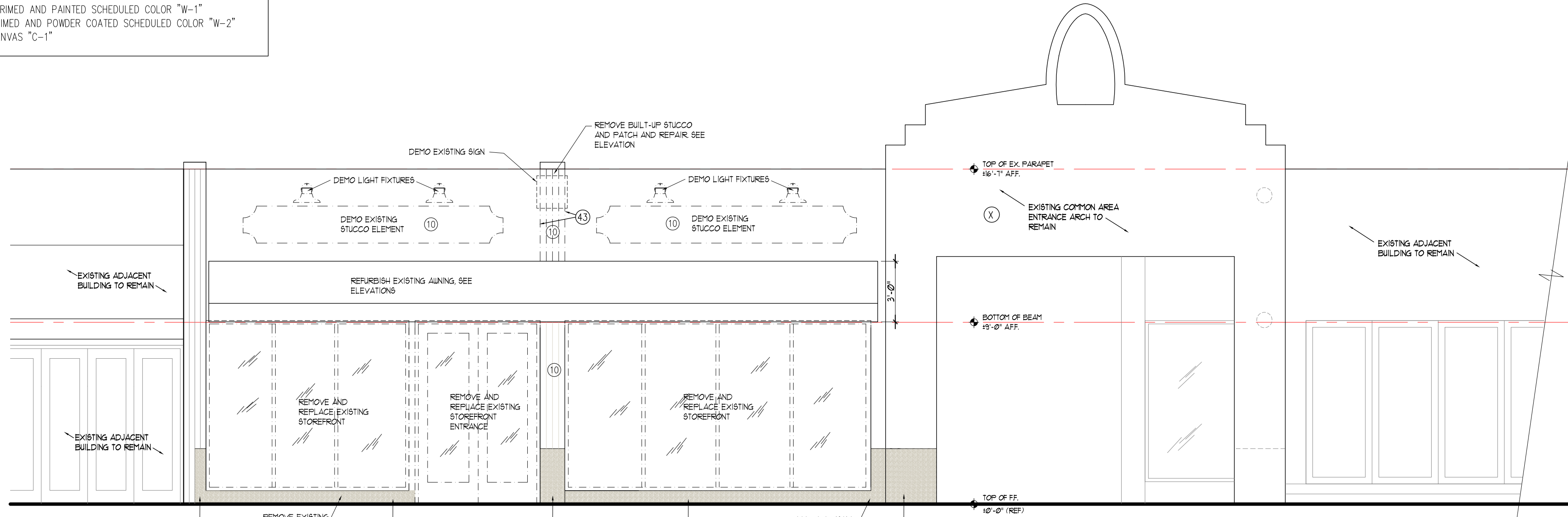


EXTERIOR PAINT ON SMOOTH STUCCO

FINISHES

FINISH NOTES:

- ALL WALLS TO BE SMOOTH STUCCO PRIMED AND PAINTED SCHEDULED COLOR "W-1"
- ALL STOREFRONT MULLIONS TO BE PRIMED AND POWDER COATED SCHEDULED COLOR "W-2"
- ALL AWNING CANVAS TO BE F.R.T. CANVAS "C-1"



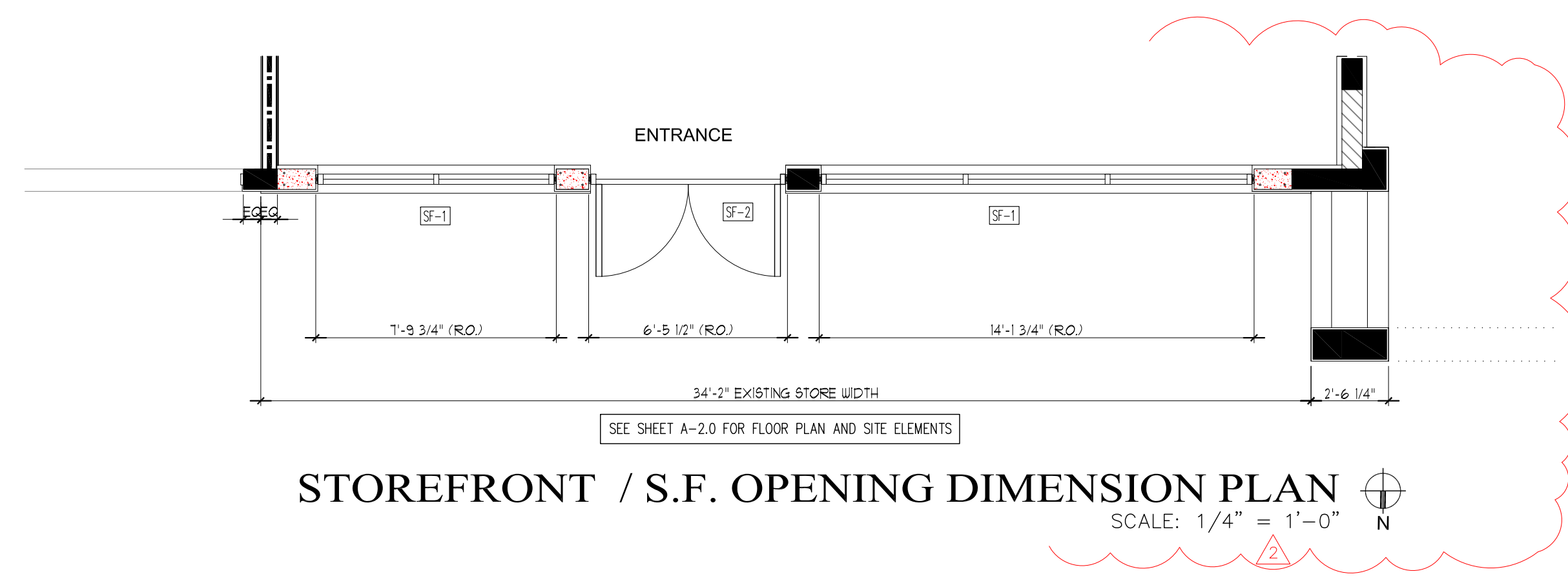
EX

EXISTING FRONT (NORTH / ATLANTIC AVE) ELEVATION

(for DEMO and REFERENCE only)

STOREFRONT / S.F. OPENING DIMENSION PLAN

SCALE: 1/4" = 1'-0"



A

PROPOSED FRONT (NORTH / ATLANTIC AVE) ELEVATION

SCALE: 1/4" = 1'-0"

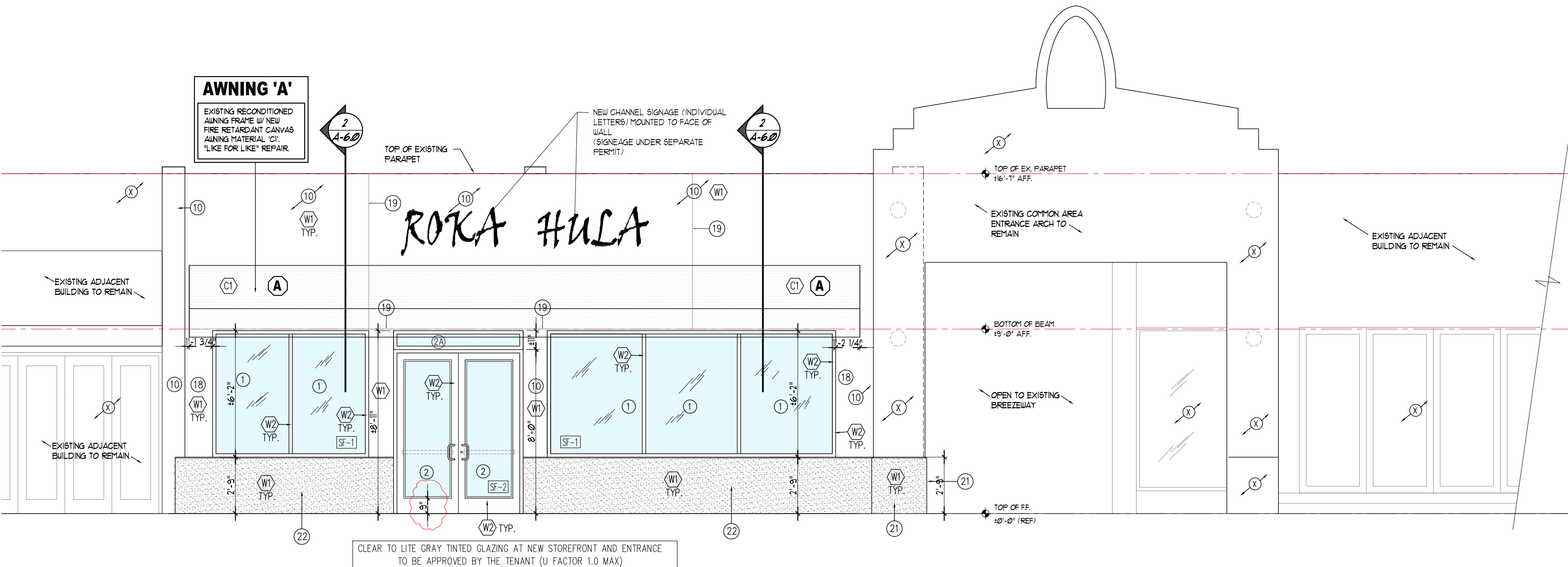


TABLE 4.4.13(i) DIMENSIONAL REQUIREMENTS FOR STOREFRONTS (ATLANTIC AVE)				
		MINIMUM	MAXIMUM	PROVIDED
A	BUILDING SETBACK	10'	15'	18'-0 3/4" FROM BACK OF CURB / 5'-6 3/4" FROM P.L.
B	STORE WIDTH	NA	75'	34'-2"
C	STOREFRONT BASE	9"	36" (3')	33" AT STOREFRONTS / 9" BASE AT SF DOOR
D	GLAZING HEIGHT PLUS STOREFRONT BASE	8'	---	8'-11"
E	REQUIRED OPENINGS	80%	---	83% OPENINGS
MAXIMUM ALLOWABLE ENCRoACHMENT OF ELEMENTS IN ALL DISTRICTS				
F	AWNING PROJECTION	5'	---	9'-0 3/4" (EXISTING)
G	PROJECTING SIGN	---	36" (3')	NA
NOTES: NOTE 1: EXISTING STOREFRONT AWNING IS EXISTING TO BE REFURBISHED. THERE IS AN EXISTING HOLD HARMLESS IN PLACE FOR THE EXISTING AWNING NOTE 2: STORE WIDTH = 34'-2"; (3) ROUGH OPENINGS = 28'-5" / 34'-2" = 83% (COMPLEX)				
STOREFRONT GENERAL NOTES (ATLANTIC AVE) a. STOREFRONTS SHALL BE DIRECTLY ACCESSIBLE FROM SIDEWALKS b. STOREFRONT (WINDOW AND DOOR) OPENINGS SHALL EXTEND ALONG AT LEAST 80 PERCENT OF THE WIDTH OF THE FACADE OF THE COMMERCIAL SPACE, MEASURED BY THE SUM OF THE WIDTHS OF THE ROUGH OPENINGS c. STOREFRONT WINDOWS SHALL HAVE A BASE NINE INCHES TO THREE FEET HIGH. STOREFRONT DOOR BASE RAIL SHALL BE 9" HIGH MIN. d. TRANSPARENT GLAZED WINDOWS SHALL EXTEND FROM THE BASE TO AT LEAST EIGHT FEET IN HEIGHT AS MEASURED FROM SIDEWALK GRADE ADJACENT TO THE BUILDING. TRANSPARENT MEANS NON-SOLAR, NON-MIRRORRED, GLASS WITH A LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20 PERCENT. e. METAL STOREFRONT WINDOW AND DOOR FRAMES SHALL HAVE POWDER-COATED FINISHES.				

NO.	REVISIONS	DATE
1	GENERAL REVISION	3.17.25
2	TABLE 4.4.13(i) ADDED	3.18.25
3		
4		
5		
6		
7		
8		
9		

DRAWING PHASE / USE
<input type="checkbox"/> LEVEL 1 SITE PLAN / DESIGN REVIEW
<input type="checkbox"/> NOT FOR CONSTRUCTION
<input type="checkbox"/> SCHEMATIC DESIGN
<input checked="" type="checkbox"/> SPRAB REVIEW / APPROVAL
<input type="checkbox"/> CONSTRUCTION DOCUMENTS
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ALL IDEAS, DESIGNS, ARRANGEMENTS, CONCEPT AND FEEL...  
C/C SHALL VERIFY FIELD ALL CONDITIONS

ELEVATIONS  
EXTERIOR FACADE and STOREFRONT RENOVATION  
ROKA HULA  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE:	3.17.25
DRAWN BY:	C.M.
REVIEWED BY:	C.M.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CRAIG MOSSEY ON THE DATE...  
ELECTRONIC COPIES

SEAL: CRAIG MOSSEY / FL-AR 0013508	
PROJECT #:	24021
SHEET #:	
A-4.0	
OF	13
PRINT DATE:	3.18.25

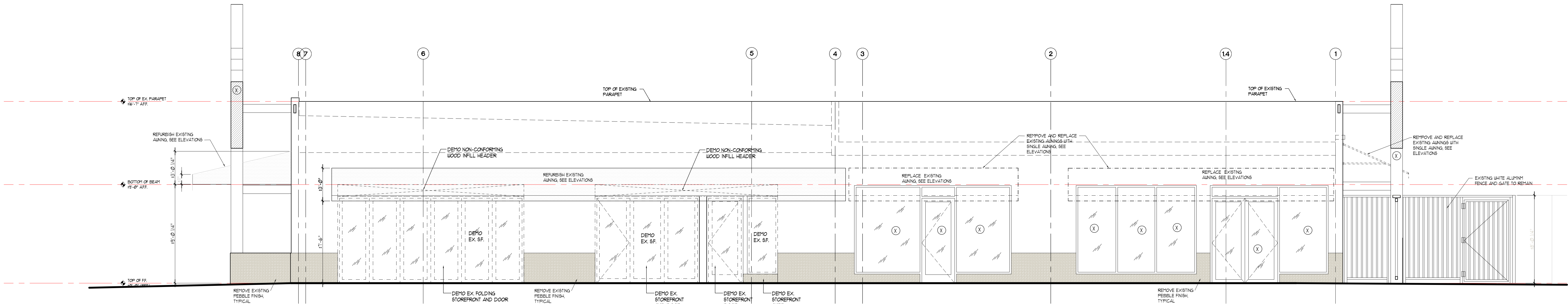


DRAWING KEY NOTES

APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

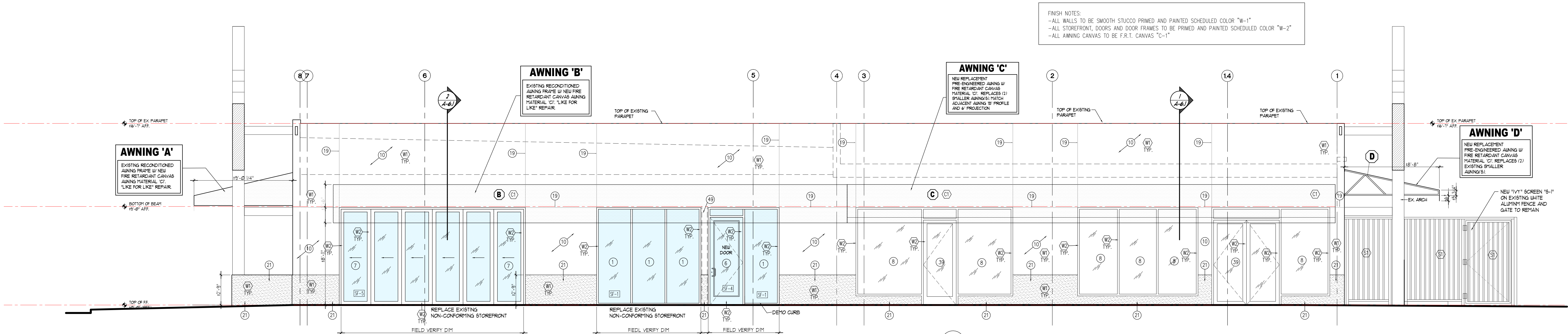
- 8 EXISTING CONSTRUCTION TO REMAIN
- 1 SF-1: SCHEDULED NEW TRULITE FIXED HVHZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 2 SF-2: SCHEDULED NEW TRULITE HVHZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 2A SF-3: SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 3 NEW 8" X 12" (MIN-- SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND #3 STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. TIE BEAM ABOVE (MIN. 6" REBAR EMB.) TYP.
- 4 NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN 3/8" BAR OVERLAP, TYPICAL.
- 4A PROVIDE VERT. #5 HOOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- 5 EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- 6 SF-4: SCHEDULED NEW TRULITE HVHZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 7 SF-5: SCHEDULED NEW EURO-WALL HVHZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 8 EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- 9 EXISTING CONC. BEAM TO REMAIN, PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- 10 NEW SCHEDULED 3/4" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. G.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- 11 EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC., TYP.
- 12 EXISTING CURB - FILL ALL CELLS AT MASONRY CURB - G.C. TO FIELD VERIFY PRIOR TO CONSTRUCTION.
- 13 NEW REINFORCED CONC. (4,000 PSI) CURB
- 14 EXISTING WALKWAY TO REMAIN
- 15 EXISTING PAVER WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- 16 NEW 4,000 PSI CONC. SLAB / FOOTING ON GRADE.
- 17 LINE OF CANVAS AWNING ABOVE.
- 18 NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES, SEE DETAILS. MINIMUM 3/4" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- 19 NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- 20 NEW 3 PART PAINTED 3/4" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED COLOR "W-1".
- 21 REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 3/4" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- 22 NEW SCHEDULED 3/4" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- 23 NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- 24 EXISTING FOOTING TO REMAIN. FIELD VERIFY
- 25 FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC
- 26 ADA ALUM S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- 27 CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- 27A CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- 28 WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- 29 CONT. HIGH-PERFORMANCE DOW 790 (OR EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL.
- 30 CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL.
- 31 DOOR SWEEP PER PRODUCT APPROVAL
- 32 SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 33 1/4" MAX TREATED SHIM PER PRODUCT APPROVAL
- 34 NEW SCHEDULED 3/4" GWB @ 3/4" (MIN) GALV. FURRING CHANNELS W/ R4.2 FOIL BACKED RIGID INSULATION FULL HEIGHT
- 35 CONT. TOOLED ANGLE STUCCO DRIP
- 36 EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- 37 NOT USED
- 38 NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- 39 EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- 40 CONT. CASING BEAD
- 41 CONT. STUCCO BASE SCREED, SEE DETAIL 3A/A-6.0
- 42 SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- 43 CHIP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER TIE BEAM TO TOP OF PARAPET TIE BEAM
- 44 REINFORCED MULLION PER NOA
- 45 NEW 5/8" FINISHED GWB SILL BELOW
- 46 LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- 47 EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- 48 HOOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- 49 EXISTING 6" STEEL POST / COL. TO REMAIN
- 50 FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.

FINISH NOTES:  
-ALL WALLS TO BE SMOOTH STUCCO PRIMED AND PAINTED SCHEDULED COLOR "W-1"  
-ALL STOREFRONT, DOORS AND DOOR FRAMES TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2"  
-ALL AWNING CANVAS TO BE F.R.T. CANVAS "C-1"



EX EXISTING RIGHT SIDE (WEST / BREEZEWAY) ELEVATION

SCALE: 1/4" = 1'-0"



B PROPOSED RIGHT SIDE (WEST / BREEZEWAY) ELEVATION

SCALE: 1/4" = 1'-0"

CMA  
CRAIG MOSSEY  
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NO.	REVISIONS	DATE
1	GENERAL REVISION	3.17.25
2		
3		
4		
5		
6		
7		
8		
9		

DRAWING PHASE / USE

- ☐ LEVEL / SITE PLAN / DESIGN REVIEW  
☐ NOT FOR CONSTRUCTION  
☐ SCHEMATIC DESIGN  
☒ SPRAB REVIEW / APPROVAL  
☐ CONSTRUCTION DOCUMENTS  
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ELEVATIONS  
EXTERIOR FACADE AND STOREFRONT RENOVATION  
ROKA HULA  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 3.17.25  
DRAWN BY: C.M.  
REVIEWED BY: C.M.

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NEW REPLACEMENT  
PRE-ENGINEERED AWNING W/  
FIRE RETARDANT CANVAS  
MATERIAL 'C'. REPLACES (2)  
EXISTING SMALLER  
AWNINGS (2).

NEW REPLACEMENT  
PRE-ENGINEERED AWNING W/  
FIRE RETARDANT CANVAS  
MATERIAL 'C'. REPLACES (2)  
EXISTING SMALLER  
AWNINGS (2).

NEW 1/2" SCREEN 'S-1'  
ON EXISTING WHITE  
ALUMINUM FENCE AND  
GATE TO REMAIN.

SEAL: CRAIG MOSSEY / FL-AR 00130508

PROJECT #: 24021

SHEET #: A-4.1

OF 13

PRINT DATE: 3.17.25

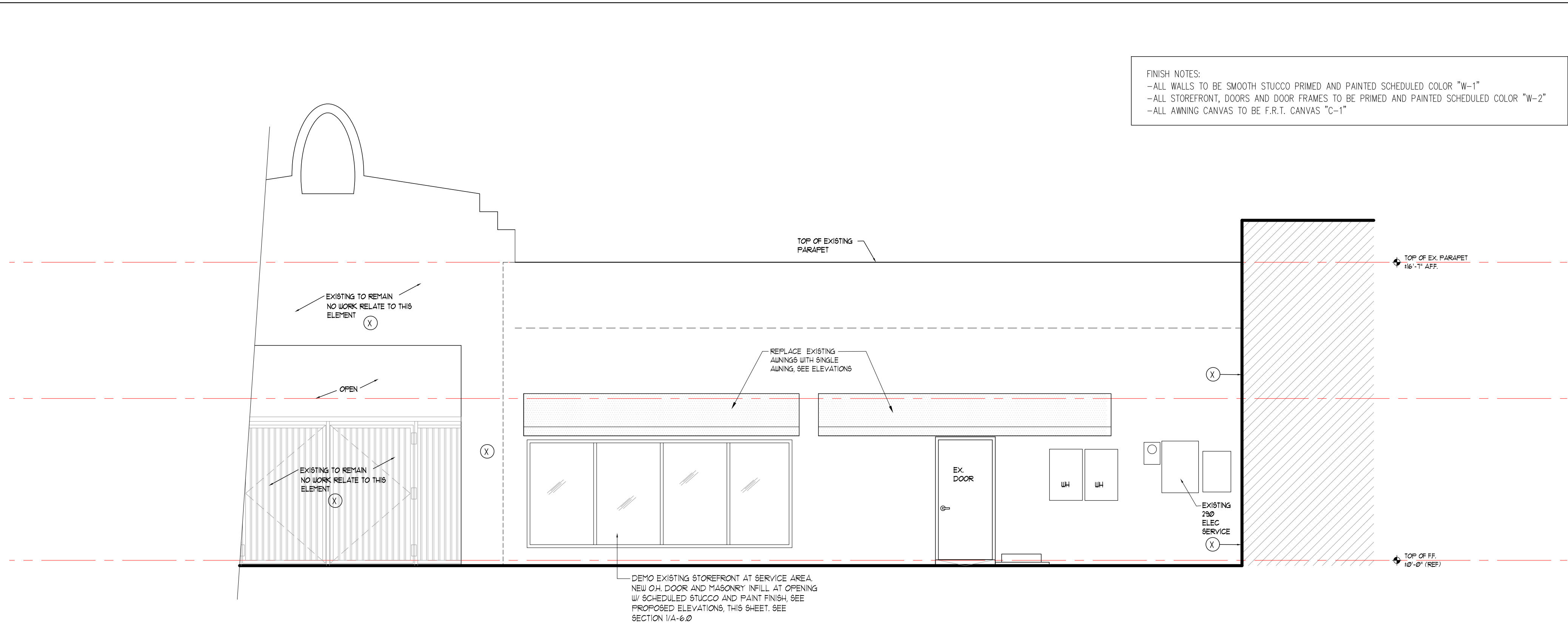
SPRAB / EXT. ELEVATIONS 42X30



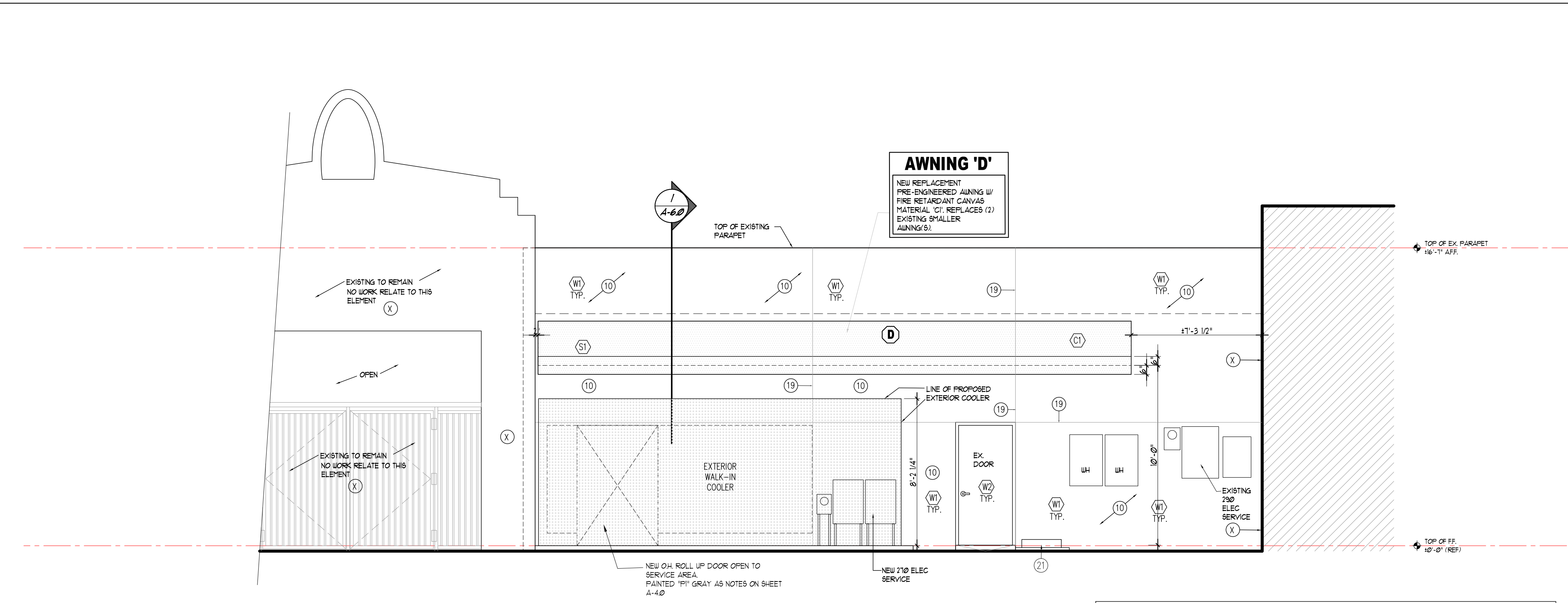
DRAWING KEY NOTES

APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- SF-1: SCHEDULED NEW TRULITE FIXED HVHZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING. SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 2 SF-2: SCHEDULED NEW TRULITE HVHZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING. SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 2A SF-3: SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 3 NEW 8" X 12" (MIN.- SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND #3 STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. TIE BEAM ABOVE (MIN. 6" REBAR EMB.) TYP.
- 4 NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN 30" BAR OVERLAP, TYPICAL.
- 4A PROVIDE VERT. #5 HOOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- 5 EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- 6 SF-4: SCHEDULED NEW TRULITE HVHZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING. SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 7 SF-5: SCHEDULED NEW EURO-WALL HVHZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING. SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- 8 EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- 9 EXISTING CONC. BEAM TO REMAIN, PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- 10 NEW SCHEDULED 3/4" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. O.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- 11 EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC., TYP.
- 12 EXISTING CURB - FILL ALL CELLS AT MASONRY CURB - G.C. TO FIELD VERIFY PRIOR TO CONSTRUCTION.
- 13 NEW REINFORCED CONC. (4,000 PSI) CURB
- 14 EXISTING WALKWAY TO REMAIN
- 15 EXISTING PAVER WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- 16 NEW 4,000 PSI CONC SLAB / FOOTING ON GRADE.
- 17 LINE OF CANVAS AWNING ABOVE.
- 18 NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES, SEE DETAILS. MINIMUM 3/8" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- 19 NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- 20 NEW 3 PART PAINTED 3/4" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED (COLOR "W-1").
- 21 REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 33" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- 22 NEW SCHEDULED 33" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/4" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- 23 NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- 24 EXISTING FOOTING TO REMAIN. FIELD VERIFY
- 25 FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC
- 26 ADA ALUM S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- 27 CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- 27A CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- 28 WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- 29 CONT. HIGH-PERFORMANCE DOW 790 (OR EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- 30 CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- 31 DOOR SWEEP PER PRODUCT APPROVAL
- 32 SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 33 1/4" MAX TREATED SHIM PER PRODUCT APPROVAL
- 34 NEW SCHEDULED 3/4" GMB ON 3/8" (MIN) GALV. FURRING CHANNELS W/ R4.2 FOIL BACKED RIGID INSULATION FULL HEIGHT
- 35 CONT. TOOLED ANGLE STUCCO DRIP
- 36 EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- 37 PROPOSED OUTSIDE DINING SEATING
- 38 NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- 39 EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- 40 CONT. CASING BEAD
- 41 CONT. STUCCO BASE SCREED, SEE DETAIL 3A/A-6.0
- 42 SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- 43 CHIP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER TIE BEAM TO TOP OF PARAPET TIE BEAM.
- 44 REINFORCED MULLION PER NOA
- 45 NEW 5/8" FINISHED GMB SILL BELOW
- 46 LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- 47 EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- 48 HOOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- 49 EXISTING 6" STEEL POST / COL. TO REMAIN
- 50 FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.



EX EXISTING SOUTH SERVICE AREA ELEVATION  
SCALE: 1/4" = 1'-0"



C PROPOSED REAR (SOUTH / REAR) SERVICE AREA ELEVATION  
SCALE: 1/4" = 1'-0"

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NO.	REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
1A	SPRAB COMMENTS	1.31.25
2	GEN REVISION / PERMIT	2.4.25
2A	SPRAB COMMENTS	2.22.25
3	GEN REVISION / PERMIT	
4		
5		
6		
7		
8		

- DRAWING PHASE / USE
- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW
- ☐ NOT FOR CONSTRUCTION
- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☒ CONSTRUCTION DOCUMENTS
- ☒ PERMIT / CONSTRUCTION

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ELEVATIONS  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
2701 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE:	1.30.25
DRAWN BY:	C.M.
REVIEWED BY:	C.M.

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SEAL: CRAIG MOSSEY / FL-AR 0013508  
PROJECT #: 24020  
SHEET #: **A-4.2**  
OF 21  
PRINT DATE: 2.22.25  
PERMIT 42X30



NOTE: REFER TO ALL A-4\* SERIES ELEVATIONS FOR DETAILS, NOTES, DRAWING KEY NOTES AND ADDITIONAL CONSTRUCTION INFORMATION.



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5		
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7		
8		

DRAWING PHASE / USE

- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW  
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☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☒ CONSTRUCTION DOCUMENTS  
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COLOR FINISH ELEVATIONS  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25  
DRAWN BY: C.M.  
REVIEWED BY: C.M.

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SEAL: CRAIG MOSSEY / FL-AR 0013508

PROJECT #: 24020

SHEET #:

**A-4.3**

OF 21

PRINT DATE: 2.22.25

PERMIT 42X30



**C** PROPOSED FRONT (NORTH / ATLANTIC AVE) COLOR ELEVATION  
SCALE: 1/4" = 1'-0"



**A** PROPOSED FRONT (NORTH / ATLANTIC AVE) COLOR ELEVATION  
SCALE: 1/4" = 1'-0"

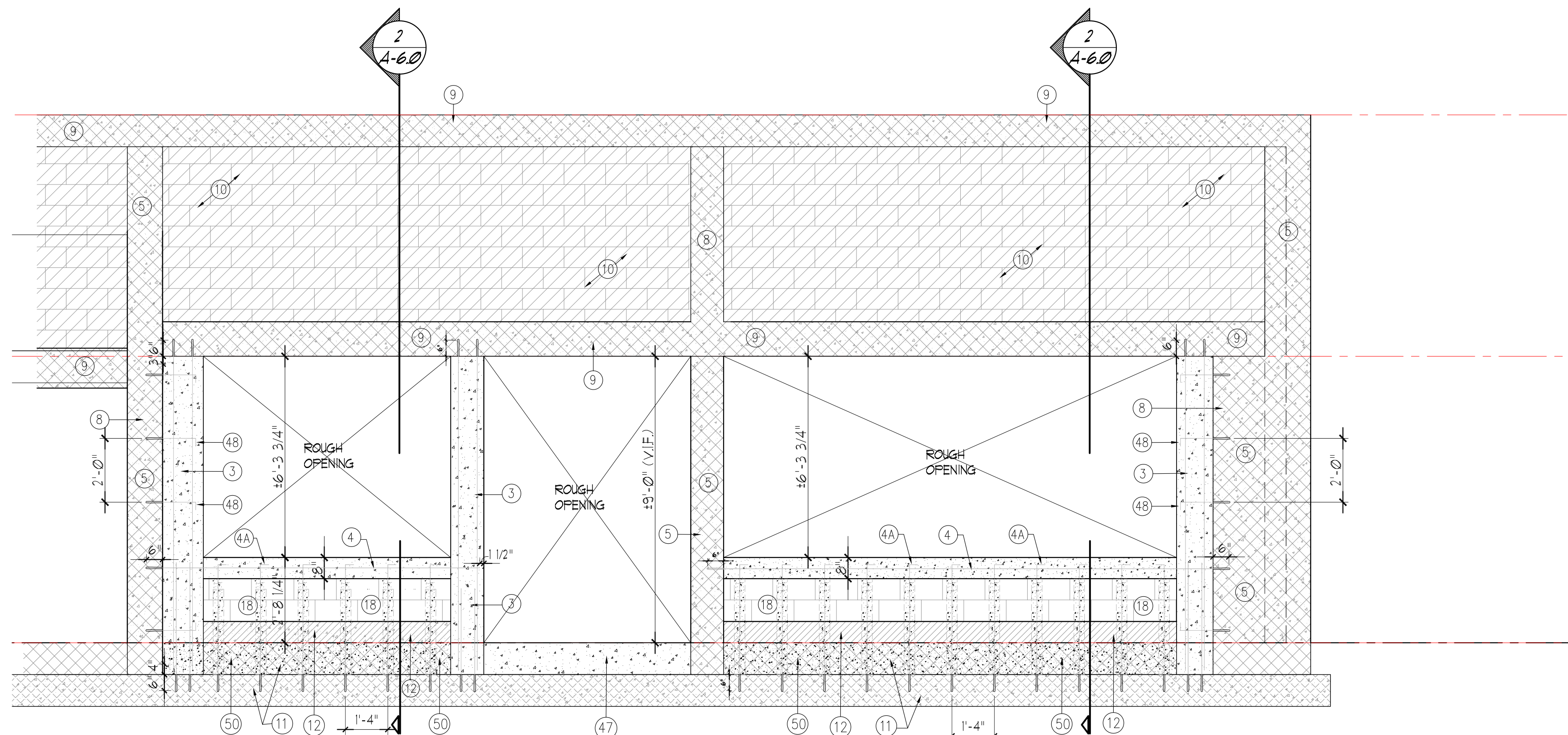


**B** PROPOSED RIGHT SIDE (WEST / BREEZEWAY) COLOR ELEVATION  
SCALE: 1/4" = 1'-0"



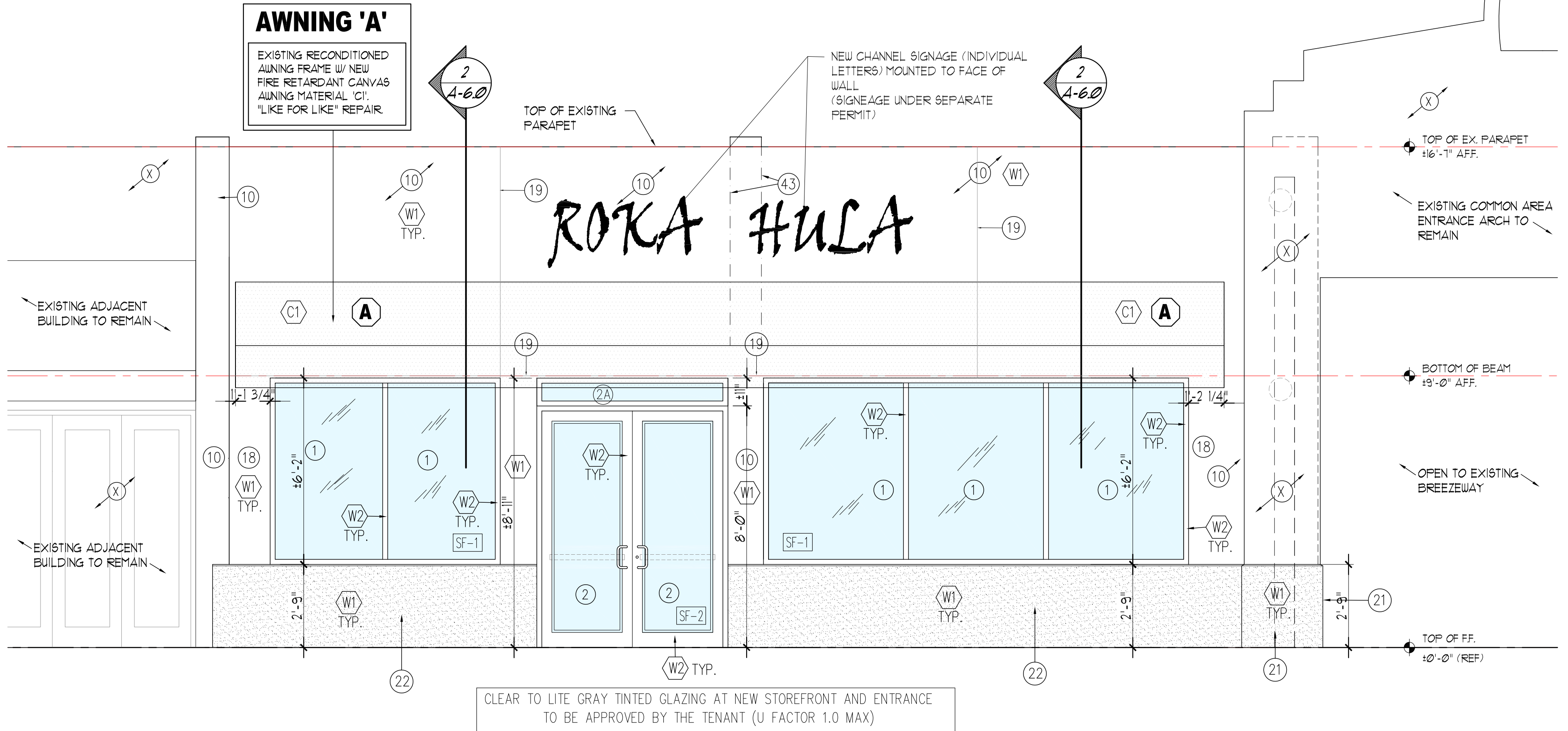
DRAWING KEY NOTES  
APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

- (X) EXISTING CONSTRUCTION TO REMAIN
- SF-1: SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-2: SCHEDULED NEW TRULITE HVHZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-3: SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- NEW 6" X 12" (MIN- SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND #3 STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. TIE BEAM ABOVE (MIN. 6" REBAR EMB.) TYP.
- NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN 30" BAR OVERLAP, TYPICAL.
- PROVIDE VERT. #5 HOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- SF-4: SCHEDULED NEW TRULITE HVHZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-5: SCHEDULED NEW EURO-WALL HVHZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- EXISTING CONC. BEAM TO REMAIN, PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- NEW SCHEDULED 3/8" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. G.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC., TYP.
- EXISTING CURB - FILL ALL CELLS AT MASONRY CURB - G.C. TO FIELD VERIFY PRIOR TO CONSTRUCTION.
- NEW REINFORCED CONC. (4,000 PSI) CURB
- EXISTING WALKWAY TO REMAIN
- EXISTING PAVR WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- NEW 4,000 PSI CONC. SLAB / FOOTING ON GRADE.
- LINE OF CANVAS AWNING ABOVE.
- NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES, SEE DETAILS. MINIMUM 3/8" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- NEW 3 PART PAINTED 3/8" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED (COLOR "W-1").
- REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 33" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SCHEDULED 33" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- EXISTING FOOTING TO REMAIN. FIELD VERIFY
- FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC
- ADA ALUM S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- CONT. HIGH-PERFORMANCE DOW 790 (OR EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- DOOR SWEEP PER PRODUCT APPROVAL
- SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 1/4" MAX TREATED SHM PER PRODUCT APPROVAL
- NEW SCHEDULED 3/8" GWB ON 3/8" (MIN) GALV. FURRING CHANNELS W/ R4.2 FOIL BACKED RIGID INSULATION FULL HEIGHT
- CONT. TOOLED ANGLE STUCCO DRIP
- EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- PROPOSED OUTSIDE DINING SEATING
- NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- CONT. CASING BEAD
- CONT. STUCCO BASE SCREED, SEE DETAIL 3A/A-6.0
- SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- CHIP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER TIE BEAM TO TOP OF PARAPET TIE BEAM.
- REINFORCED MULLION PER NOA
- NEW 5/8" FINISHED GWB SILL BELOW
- LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- HOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- EXISTING 6" STEEL POST / COL. TO REMAIN
- FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.



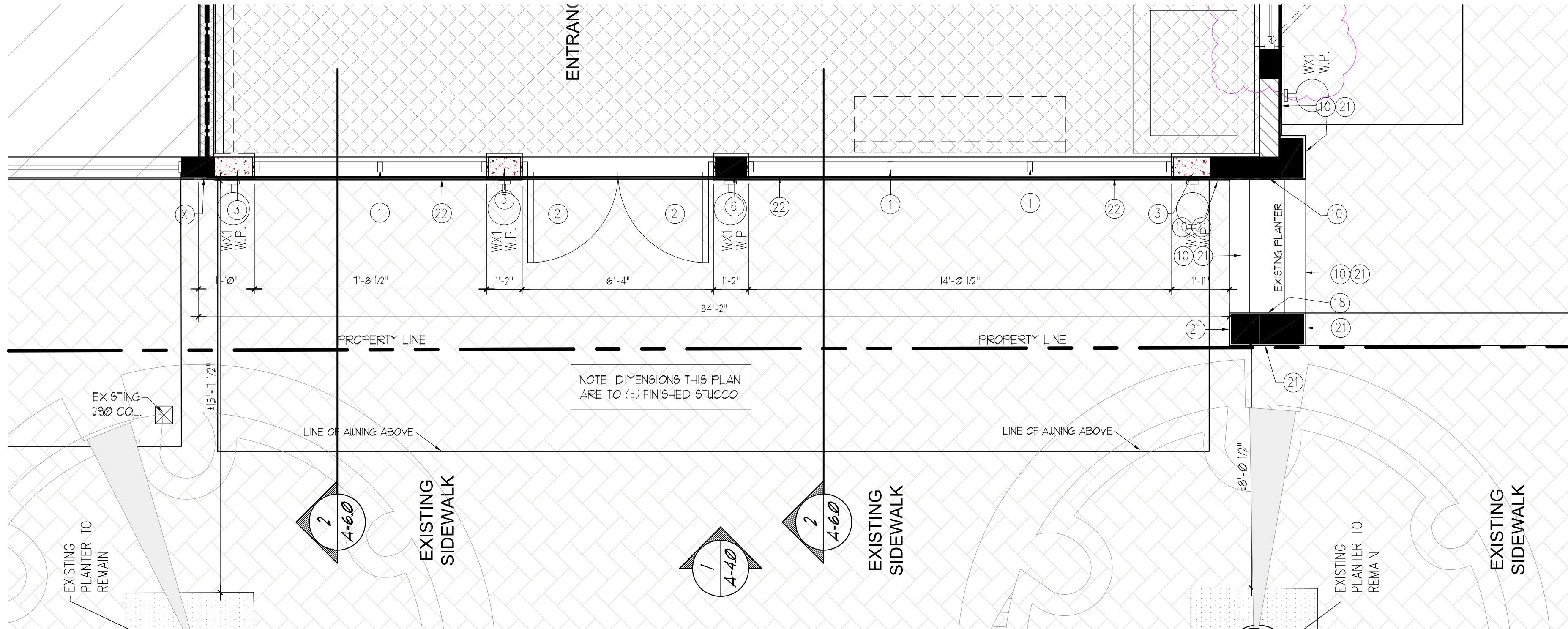
3 NEW STOREFRONT ROUGH OPENING ELEVATION

SCALE: 3/8" = 1'-0"



2 NEW NORTH (ATLANTICE AVE) FACADE ELEVATION

SCALE: 3/8" = 1'-0"

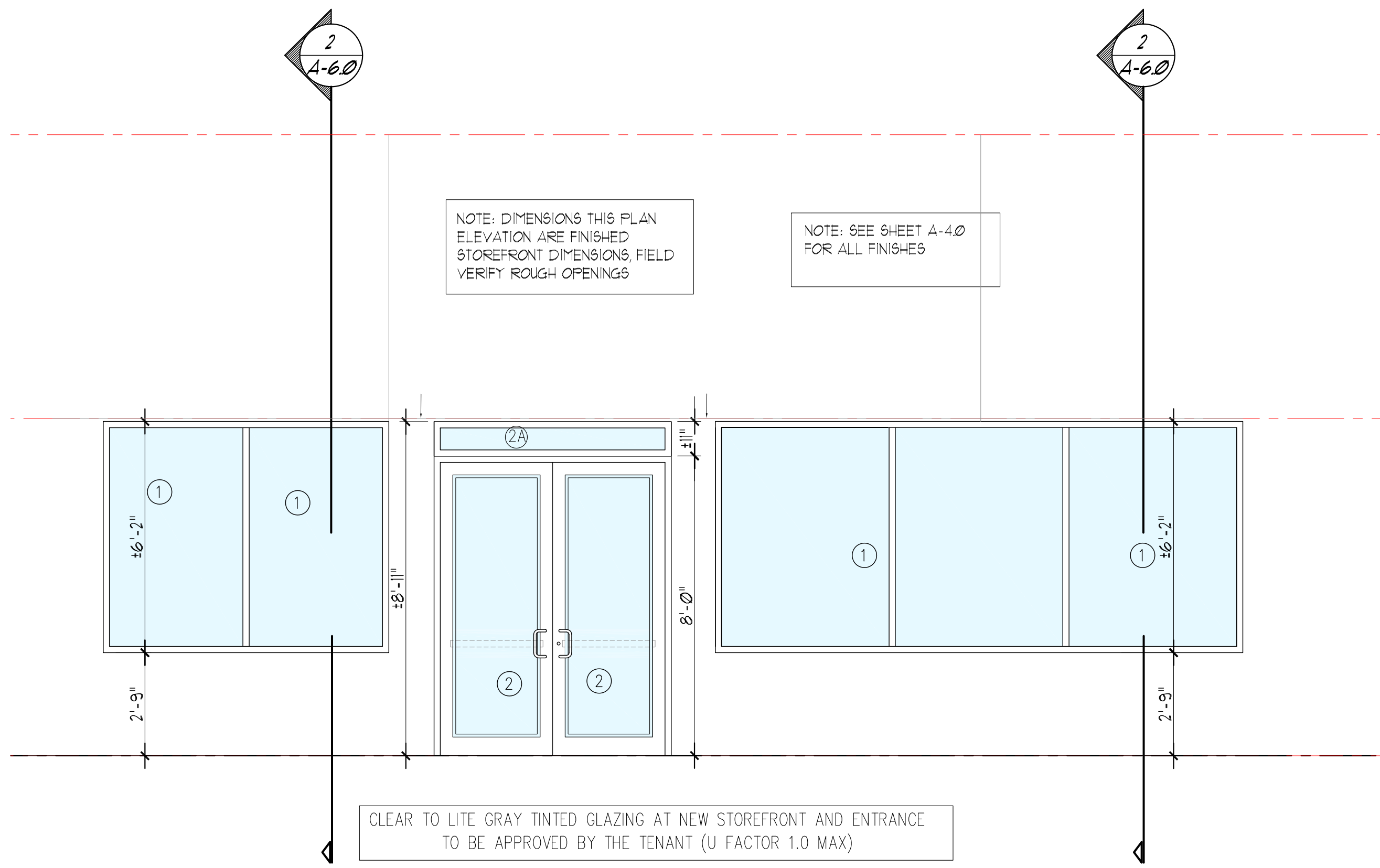


1 NEW ENLARGED FACADE / STOREFRONT PLAN

SCALE: 3/8" = 1'-0"

4 NEW STOREFRONT SYSTEM ELEVATION

SCALE: 3/8" = 1'-0"



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NO.	REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
2	SPRAB COMMENTS	1.31.25
2A	GEN REVISION / PERMIT	2.4.25
3	SPRAB COMMENTS	2.22.25
3	GEN REVISION / PERMIT	
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DRAWING PHASE / USE

- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW  
☐ NOT FOR CONSTRUCTION  
☐ SCHEMATIC DESIGN  
☐ SPRAB REVIEW / APPROVAL  
☒ CONSTRUCTION DOCUMENTS  
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DETAILS  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25  
DRAWN BY: C.M.  
REVIEWED BY: C.M.

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PROJECT #: 24020  
SHEET #:

**A-5.0**

OF 18

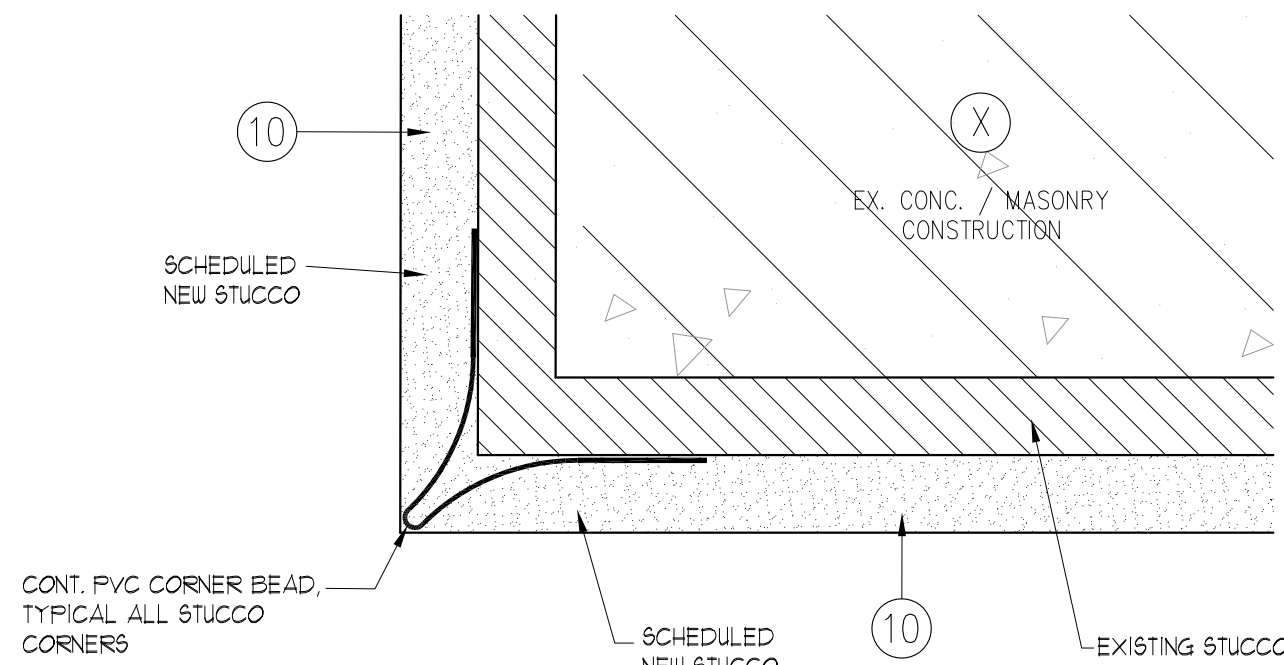
PRINT DATE: 2.22.25

SPRAB 42X30

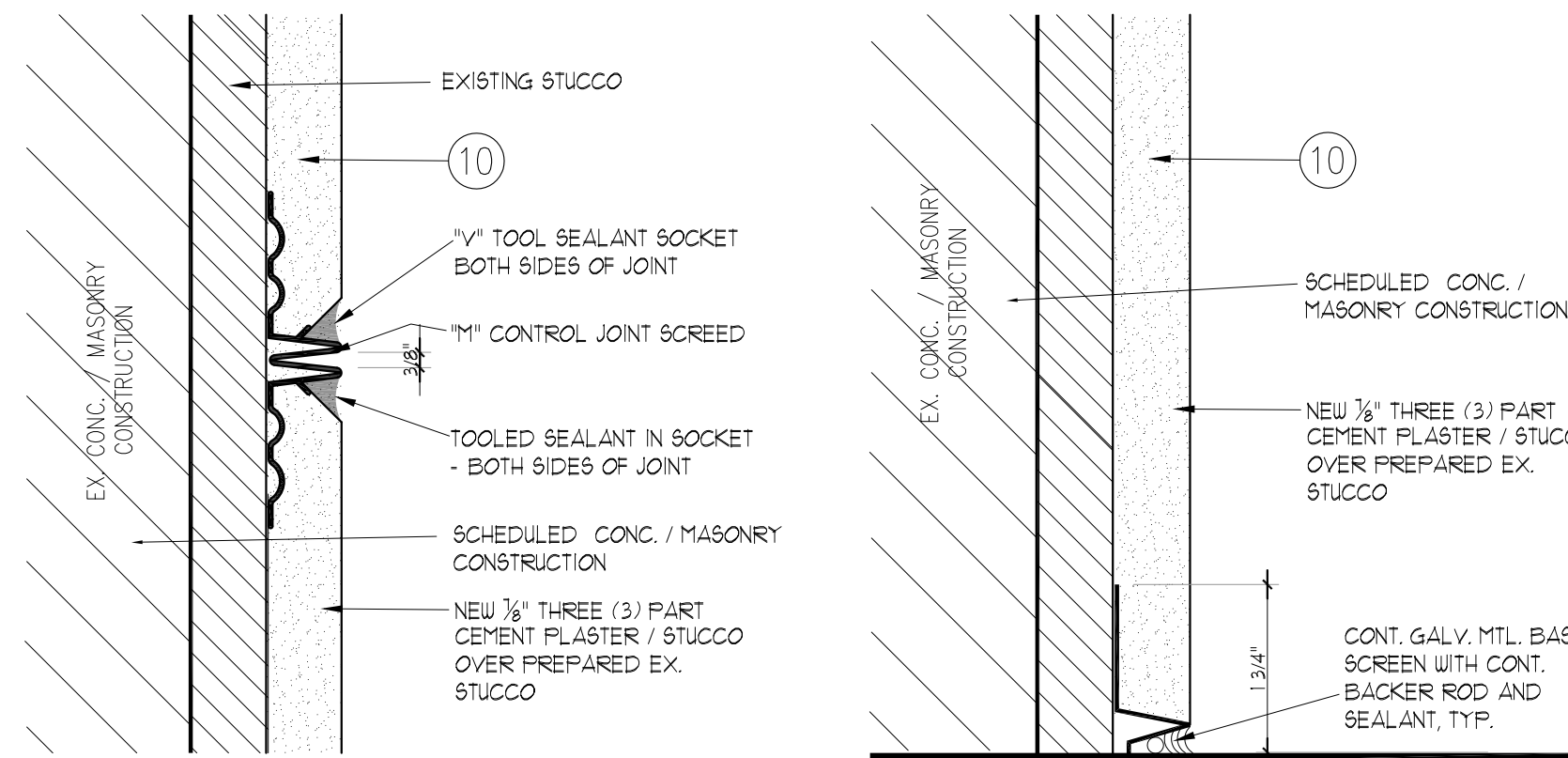


# STUCCO NOTES

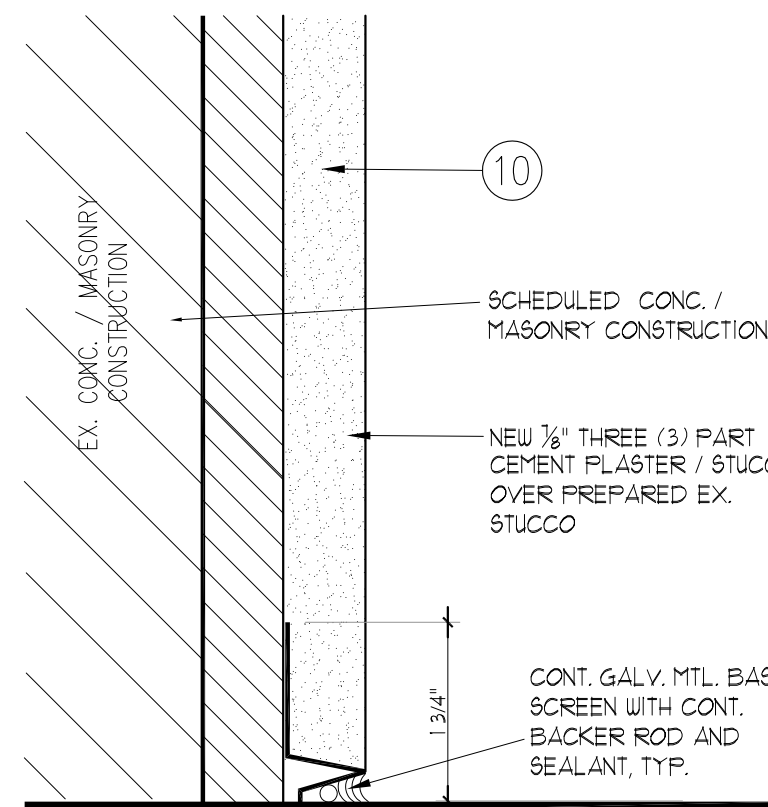
- SCOPE OF WORK:  
STUCCO SHALL BE INSTALLED OVER EXISTING TEXTURED STUCCO, NEW CONCRETE, AND MASONRY SURFACES PER THE PROJECT DRAWINGS AND APPLICABLE CODES, INCLUDING FLORIDA BUILDING CODE (FBC 2023) AND APPLICABLE ASTM STANDARD C926. SEE DETAIL 3/A-6.0.
- PREPARATION OF SUBSTRATES:  
A. ALL SURFACES RECEIVING STUCCO MUST BE STRUCTURALLY SOUND, FREE FROM DUST, DIRT, GREASE, LOOSE MATERIALS, EFFLORESCENCE, AND ANY CONTAMINANTS THAT MAY IMPAIR BONDING. TEST AND PATCH AND REPAIR ALL EXISTING DEFECTS AS NEEDED.  
B. FOR APPLICATION OVER EXISTING TEXTURED STUCCO, THE SURFACE SHALL BE CLEANED THOROUGHLY AND ROUGHENED AS REQUIRED TO PROMOTE BONDING.  
C. NEW CONCRETE AND MASONRY SURFACES SHALL BE CURED A MINIMUM OF 28 DAYS BEFORE APPLICATION OF STUCCO.
- BONDING AGENT:  
A. APPLY AN APPROVED BONDING AGENT OVER EXISTING TEXTURED STUCCO, CONCRETE, AND MASONRY SUBSTRATES AS PER THE MANUFACTURER'S RECOMMENDATIONS.  
B. BONDING AGENTS SHALL BE COMPATIBLE WITH THE STUCCO MIX AND MEET ASTM C932 (SPECIFICATION FOR SURFACE-APPLIED BONDING AGENTS FOR EXTERIOR PLASTERING).  
C. ENSURE UNIFORM APPLICATION AND ALLOW THE BONDING AGENT TO DRY OR CURE PER MANUFACTURER SPECIFICATIONS BEFORE STUCCO APPLICATION.
- STUCCO MATERIALS:  
A. PORTLAND CEMENT-BASED STUCCO SHALL COMPLY WITH ASTM C926 (STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER) AND ASTM C897 (STANDARD SPECIFICATION FOR AGGREGATE FOR JOB-MIXED PORTLAND CEMENT-BASED PLASTERS).  
B. MIXING WATER SHALL BE CLEAN AND POTABLE.  
C. USE AN APPROPRIATE STUCCO MIX DESIGN FOR INTENDED SUBSTRATE APPLICATIONS, ADHERING TO APPLICABLE ASTM STANDARDS.
- STUCCO APPLICATION:  
A. STUCCO SHALL BE APPLIED IN A MINIMUM OF (3) THREE PARTS OVER EXISTING STUCCO, CONCRETE, AND MASONRY SUBSTRATES. THE THICKNESS AND METHOD OF APPLICATION SHALL BE 7/8" AND COMPLY WITH ASTM C926 AND FBC 2023 REQUIREMENTS.  
B. MAINTAIN ADEQUATE THICK CURING CONDITIONS FOR THE INITIAL CURING PERIOD PER ASTM GUIDELINES.  
C. ENSURE CONSISTENT THICKNESS AND EVEN APPLICATION ACROSS ALL SURFACES, MINIMIZING THE POTENTIAL FOR CRACKING OR DELAMINATION.  
D. CONTROL JOINTS, EXPANSION JOINTS SHALL BE PROVIDED AT 200 SF MAX INTERVALS. ALL CORNERS SHALL HAVE CONTINUOUS PVC CORNER BEADS, TYPICAL. SEE ARCHITECTURAL DRAWINGS.
- ENVIRONMENTAL CONDITIONS:  
A. STUCCO WORK SHALL BE CARRIED OUT ONLY WHEN AMBIENT AND SURFACE TEMPERATURES ARE BETWEEN 40°F AND 100°F.  
B. TAKE PRECAUTIONS TO PROTECT APPLIED STUCCO FROM PREMATURE DRYING, WIND, RAIN, OR RAPID TEMPERATURE CHANGES DURING CURING.
- INSPECTION:  
A. ALL STUCCO APPLICATIONS SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AUTHORITY. COMPLY WITH ANY SPECIAL INSPECTION REQUIREMENTS OUTLINED BY THE MUNICIPALITY AND CODE ENFORCEMENT OFFICIALS.
- PROTECTION:  
A. PROVIDE ALL REQUIRED BARRICADES REQUIRED FOR THE SEPARATION AND PROTECTION OF THE PUBLIC FROM ALL AREAS UNDER CONSTRUCTION.
- CONTROL JOINTS:  
A. INSTALL STUCCO CONTROL JOINTS IN ACCORDANCE WITH ASTM C1063 AND THE FLORIDA BUILDING CODE (8TH EDITION FBC) AND WITH THE FOLLOWING GUIDELINES (SEE ELEVATIONS FOR LOCATIONS):  
MAXIMUM PANEL SIZE & SPACING MAXIMUM PANEL AREA: 144 SQUARE FEET (PER ASTM C1063).  
HORIZONTAL & VERTICAL SPACING: NO MORE THAN 10 FEET APART IN EITHER DIRECTION.  
LONGEST PANEL DIMENSION: SHOULD NOT EXCEED 2.5 TIMES THE SHORTEST DIMENSION.  
B. PLACEMENT RECOMMENDATIONS  
CONTROL JOINTS SHOULD BE PLACED AT OR NEAR WINDOW AND DOOR CORNERS  
AT SHOULD ALIGN WITH EXISTING BUILDING EXPANSION JOINTS.



C TYPICAL CORNER BEAD TYPICAL AT ALL CORNERS



B TYPICAL EXPANSION JOINT



A TYPICAL BASE SCREED

## TYP STUCCO DETAILS

SCALE: NOT TO SCALE

## DRAWING KEY NOTES

APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

- EXISTING CONSTRUCTION TO REMAIN
- SF-1: SCHEDULED NEW TRULITE HYVZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-2: SCHEDULED NEW TRULITE HYVZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-3: SCHEDULED NEW TRULITE HYVZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- NEW 8" X 12" (MIN-SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND (3) STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. THE BEAM ABOVE (MIN. 6" REBAR EMB.) TYP.
- NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN 30" BAR OVERLAP, TYPICAL.
- PROVIDE VERT. #5 HOOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- SF-4: SCHEDULED NEW TRULITE HYVZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-5: SCHEDULED NEW EURO-WALL HYVZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- EXISTING CONC. BEAM TO REMAIN. PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- NEW SCHEDULED 7/8" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. G.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC. TYP.
- NEW REINFORCED CONC. (4,000 PSI) CURB
- EXISTING WALKWAY TO REMAIN
- EXISTING PAVES WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- NEW 4,000 PSI CONC. SLAB / FOOTING ON GRADE.
- LINE OF CANVAS AWNING ABOVE.
- NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES. SEE DETAILS. MINIMUM 3/4" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- NEW 3 PART PAINTED 7/8" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED (COLOR "W-1")
- REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 3/8" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SCHEDULED 3/8" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 3/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- EXISTING FOOTING TO REMAIN. FIELD VERIFY
- FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC.
- ADA ALUM S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- CONT. HIGH-PERFORMANCE DOW 750 (35 EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- DOOR SWEEP PER PRODUCT APPROVAL
- SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 1/4" MAX TREATED SHIM PER PRODUCT APPROVAL
- NEW SCHEDULED 3/8" GMB ON 7/8" (MIN) GALV. FURRING CHANNELS W/ R4.2 FOIL BACKED RIGID INSULATION FULL HEIGHT
- CONT. TOOLED ANGLE STUCCO DRIP
- EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- PROPOSED OUTSIDE DINING SEATING
- NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- CONT. CASING BEAD
- CONT. STUCCO BASE SCREED, SEE DETAIL 3/A-6.0
- SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- CHP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER TIE BEAM TO TOP OF PARAPET TIE BEAM.
- REINFORCED MULLION PER NOA
- NEW 5/8" FINISHED GMB SILL BELOW
- LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- HOOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- EXISTING 6" STEEL POST / COL. TO REMAIN
- FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.

**CMA**  
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NO.	REVISIONS	DATE
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## DRAWING PHASE / USE

- ☐ LEVEL 1 SITE PLAN / DESIGN REVIEW
- ☐ NOT FOR CONSTRUCTION
- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☒ CONSTRUCTION DOCUMENTS
- ☒ PERMIT / CONSTRUCTION

ALL IDEAS, DESIGNS, ARRANGEMENTS, CONCEPT AND FEEL...  
DO NOT SCALE THE DRAWINGS  
G.C. SHALL VERIFY FIELD ALL CONDITIONS

SECTIONS  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25  
DRAWN BY: C.M.  
REVIEWED BY: C.M.

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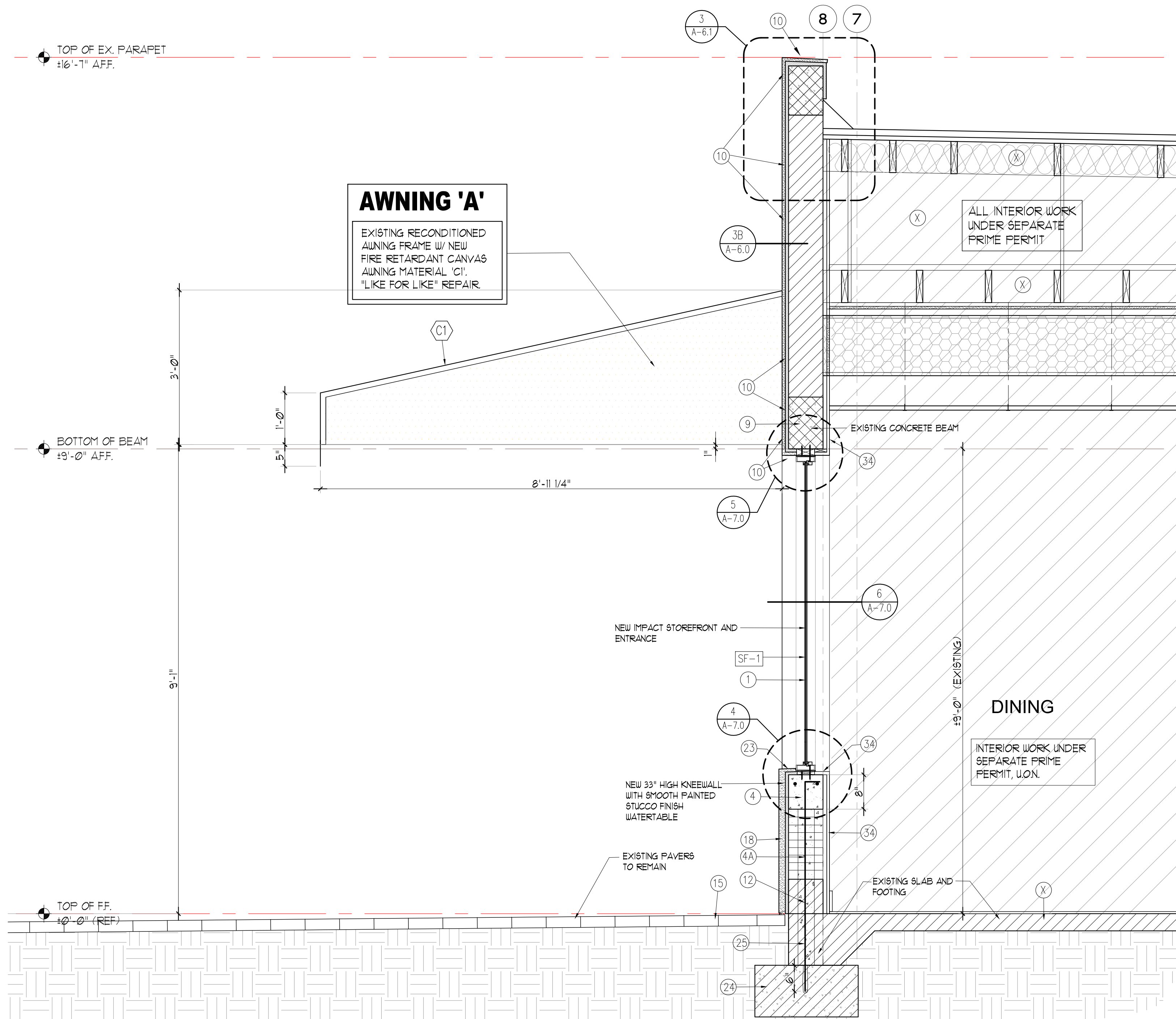
PROJECT #: 24020

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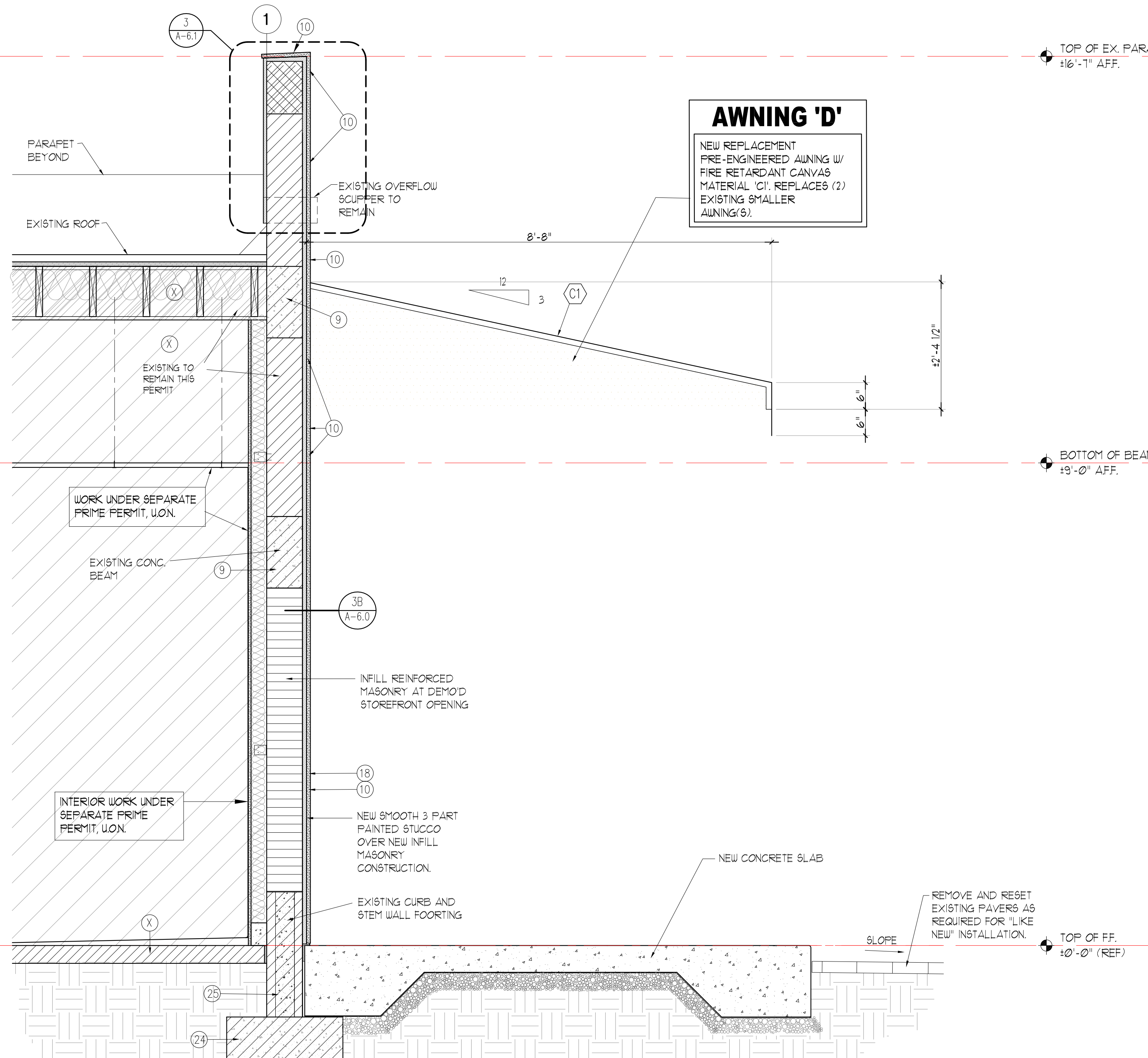
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SECTION AT STOREFRONT (ATLANTIC AVE)

SCALE: 3/4" = 1'-0"



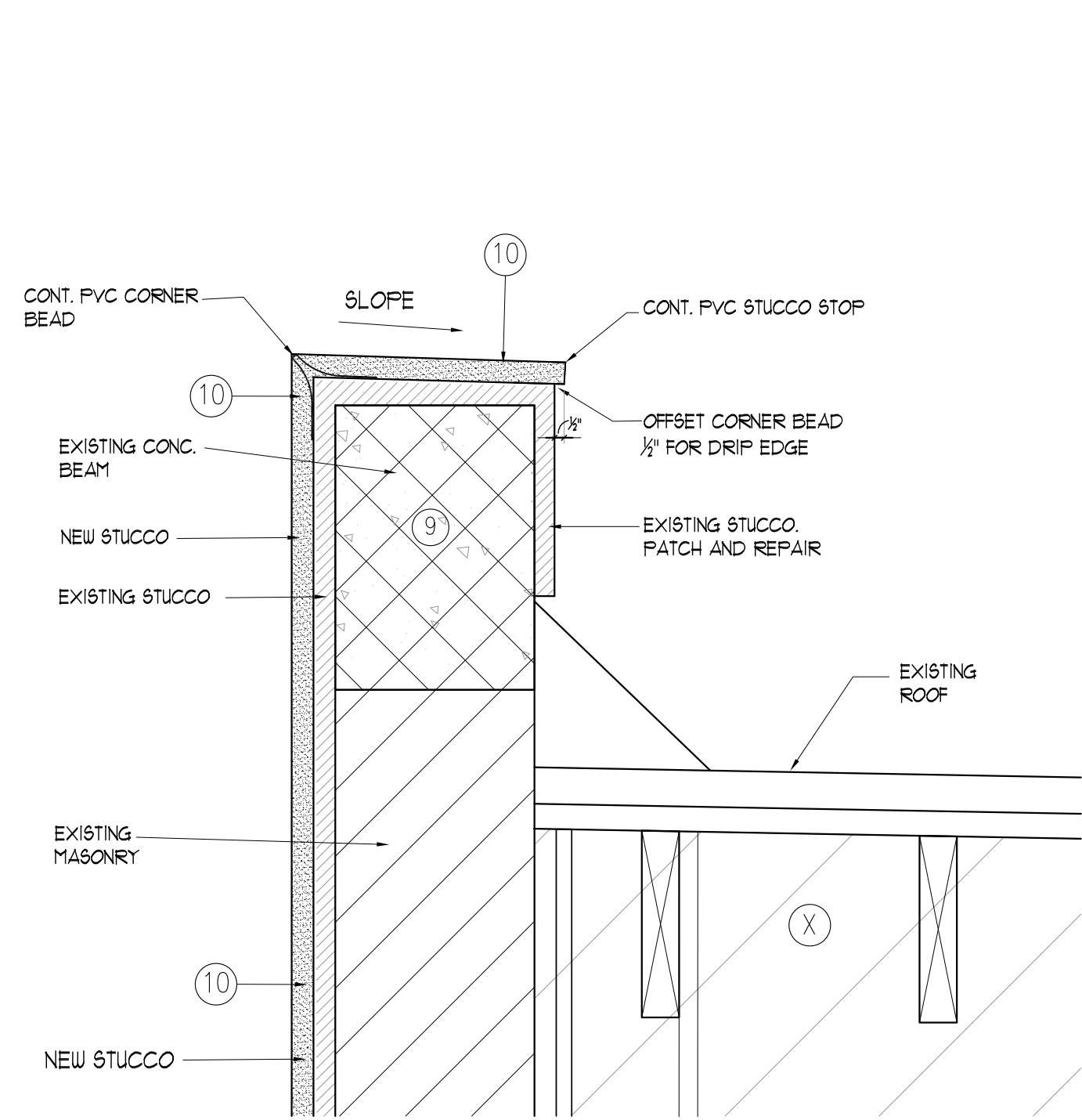
SECTION AT SERVICE AREA

SCALE: 3/4" = 1'-0"

2

1



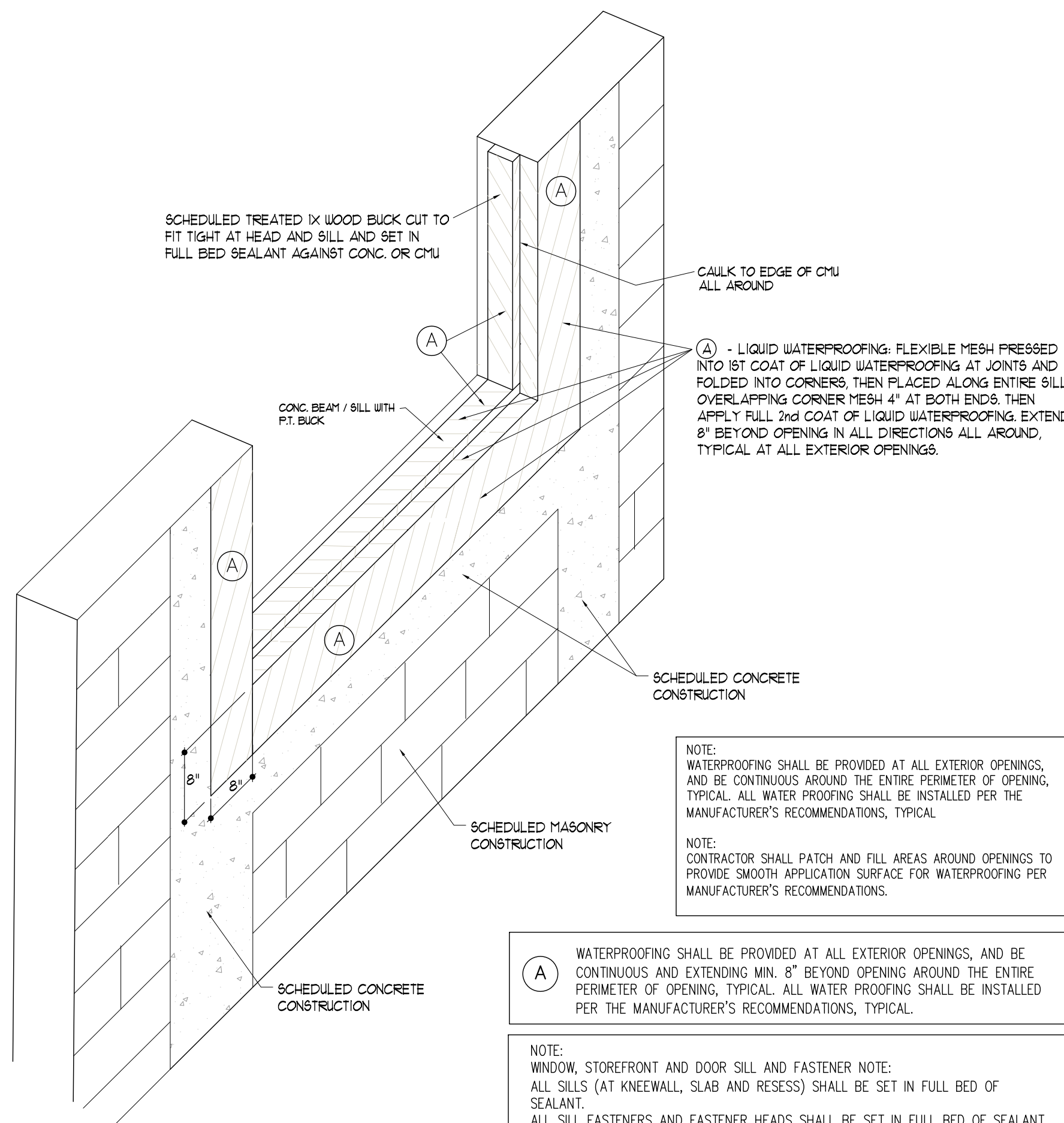


STUCCO NOTES:

**A** SOUND CHECK AND IDENTIFY ANY VOIDS / HOLLOW STUCCO. IF FOUND, REMOVE, BOND AND REPLACE

**B** APPLY MASTER SEAL 581 AIR BARRIER & WATER CEMENT BASED COATING FOR CONCRETE AND MASONRY. ADD MASTEREMACO A 660 TO 581 PER "TECHNICAL DATA GUIDE"

**3** PARAPET / TYP. STUCCO DETAIL  
SCALE: NOT TO SCALE



NOTE: WATERPROOFING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS, AND BE CONTINUOUS AND EXTENDING MIN. 8" BEYOND OPENING AROUND THE ENTIRE PERIMETER OF OPENING. TYPICAL. ALL WATER PROOFING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS, TYPICAL.

NOTE: CONTRACTOR SHALL PATCH AND FILL AREAS AROUND OPENINGS TO PROVIDE SMOOTH APPLICATION SURFACE FOR WATERPROOFING PER MANUFACTURER'S RECOMMENDATIONS.

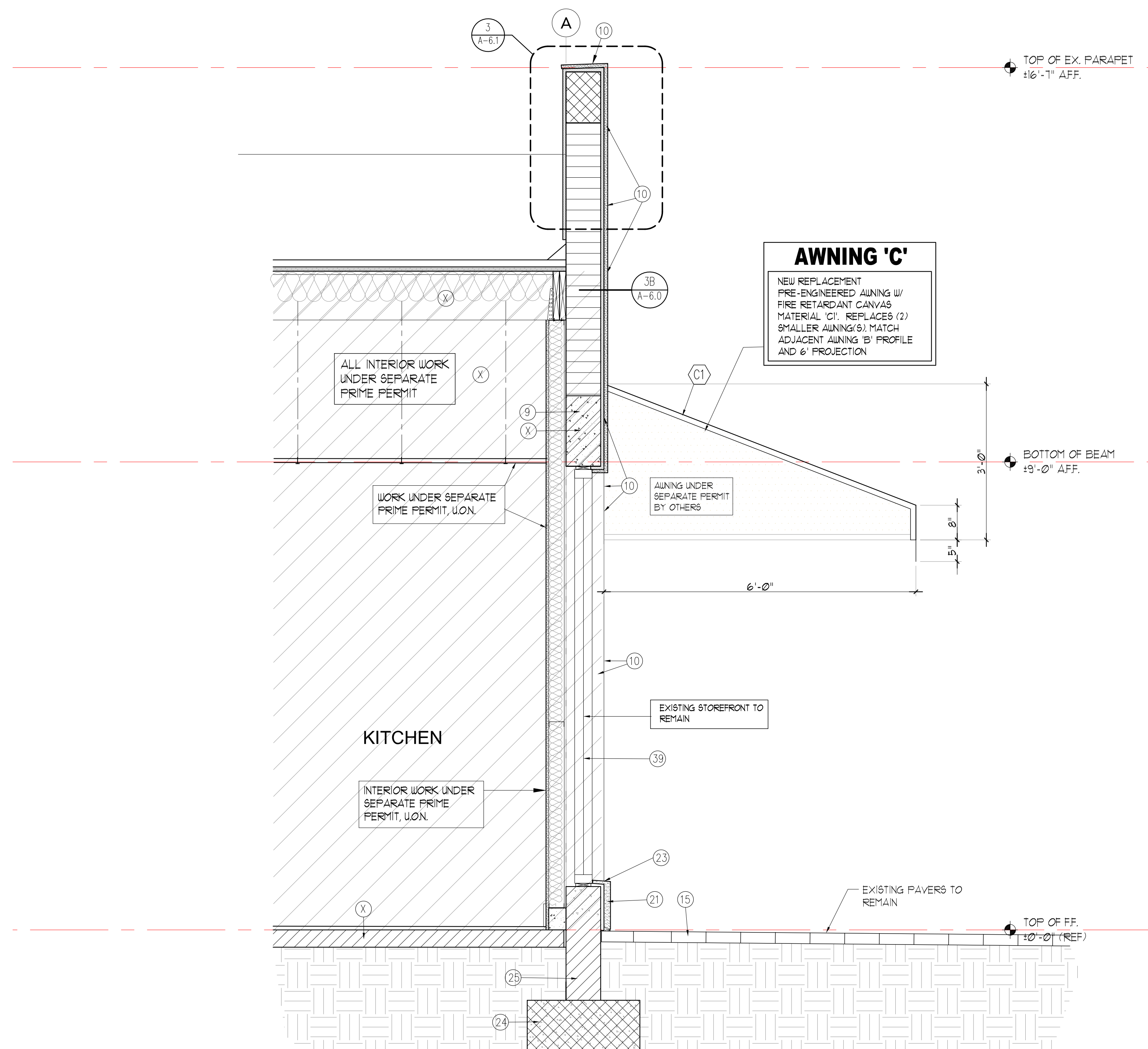
**A** WATERPROOFING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS, AND BE CONTINUOUS AND EXTENDING MIN. 8" BEYOND OPENING AROUND THE ENTIRE PERIMETER OF OPENING. TYPICAL. ALL WATER PROOFING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS, TYPICAL.

NOTE: WINDOW, STOREFRONT AND DOOR SILL AND FASTENER NOTE: ALL SILLS (AT KNEEWALL, SLAB AND RECESS) SHALL BE SET IN FULL BED OF SEALANT. ALL SILL FASTENERS AND FASTENER HEADS SHALL BE SET IN FULL BED OF SEALANT WITH FASTENER HEADS FULLY COVERED

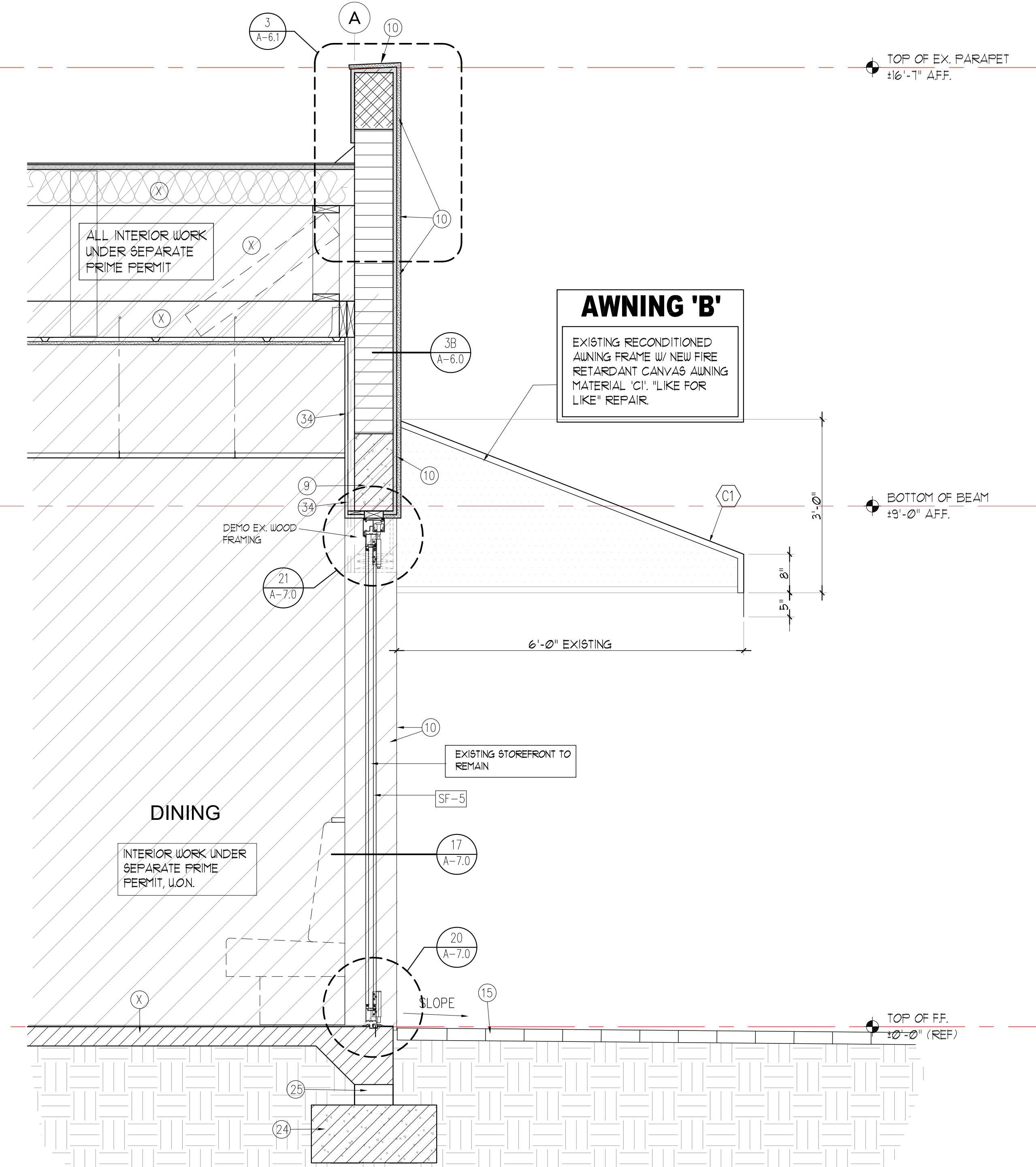
**A** ROUGH OPENING WATER-PROOFING DETAIL  
SCALE: NOT TO SCALE

# **DRAWING KEY NOTES** APPLIES TO THIS SHEET ONLY / SEE STUCCO NOTES

- (X) EXISTING CONSTRUCTION TO REMAIN
- SF-1: SCHEDULED NEW TRULITE FIXED HVHZ IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-2: SCHEDULED NEW TRULITE HVHZ IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-3: SCHEDULED NEW TRULITE HVHZ IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- NEW 8" X 12" (MIN- SEE PLAN) REINFORCED EXTERIOR CONC. INFILL COLUMN (MIN 4000 PSI CONC.) WITH (4) #5'S VERT. AND #3 STIRRUPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING BELOW AND EXISTING CONC. THE BEAM ABOVE (MIN. 6" REBAR EMB.), TYP.
- NEW 8" X 8" (MIN) REINFORCED CONC. SILL CAP (MIN 4000 PSI CONC.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONC. COVER DISTANCE. PROVIDE MIN 30" BAR OVERLAP, TYPICAL.
- PROVIDE VERT. #5 HOOKED BARS FROM NEW CONC. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONC. FOOTING (MIN. 6" REBAR EMB.), TYP.
- EXISTING CONC. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH
- SF-4: SCHEDULED NEW TRULITE HVHZ IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH LAMINATED IMPACT GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- SF-5: SCHEDULED NEW EURO-WALL HVHZ IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS.
- EXISTING FIXED STOREFRONT TO REMAIN. PROVIDE NEW CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- EXISTING CONC. BEAM TO REMAIN, PROVIDE NEW PAINTED ("W-1") SMOOTH STUCCO FINISH.
- NEW SCHEDULED 7/8" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. G.C. SHALL TEST, PATCH AND REPAIR AND PREP EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- EXISTING CONT. STEM WALL CONC. FOOTING TO REMAIN - G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FILL ALL CELLS IN STEM WALL W/ CONC., TYP.
- EXISTING CURB - FILL ALL CELLS AT MASONRY CURB - G.C. TO FIELD VERIFY PRIOR TO CONSTRUCTION.
- NEW REINFORCED CONC. (4,000 PSI) CURB
- EXISTING WALKWAY TO REMAIN
- EXISTING PAVR WALKWAY TO REMAIN, RESET PAVERS AS REQUIRED FOR FLUSH CONDITION, TYPICAL.
- NEW 4,000 PSI CONC. SLAB / FOOTING ON GRADE.
- LINE OF CANVAS AWNING ABOVE.
- NEW SCHEDULED 3 PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONC. / MASONRY CONSTRUCTION. THICKNESS VARIES. SEE DETAILS. MINIMUM 7/8" THICKNESS, SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.
- NEW STUCCO CONTROL JOINT, SEE STUCCO NOTES AND STUCCO DETAILS 3/A-6.0
- NEW 3 PART PAINTED 7/8" SMOOTH OVER PREPARED EXISTING STUCCO. PATCH AND REPAIR EXISTING AS REQUIRED AS REQUIRED. PROVIDE PAINTED (COLOR "W-1").
- REMOVE EXISTING PEBBLE FINISH. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 3/32" HIGH SMOOTH STUCCO WATER TABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 7/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SCHEDULED 3/32" HIGH SMOOTH STUCCO WATERTABLE OVER PREPARED EXISTING STUCCO. WATER TABLE SHALL PROJECT 7/8" BEYOND BLDG LINE. SLOPE TOP OF WATER TABLE. PROVIDE NEW SCHEDULED PAINT FINISH "W-1". SEE ELEVATIONS AND WALL SECTIONS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL EDGES AND CORNERS.
- NEW SMOOTH STUCCO SILL, SLOPE TO EXTERIOR
- EXISTING FOOTING TO REMAIN. FIELD VERIFY
- FILL ALL STEM WALL CELLS W/ 4,000 PSI CONC.
- ADA ALUM S.F. THRESHOLD INSTALLED PER NOA, SET IN TWO (2) CONT. BEADS OF SILICONE SEALANT
- CONT. 1x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- CONT. 2x TREATED WOOD BUCK ALL AROUND ROUGH OPENING SET IN TWO (2) CONTINUOUS BEADS OF SEALANT, TYPICAL. BUCK TO BE FULLY INSTALLED PRIOR TO AND SEPARATE FROM S.F.- SEE BUCK CONNECTION NOTES.
- WOOD BUCK CONNECTION PER BUCK CONNECTION NOTES
- CONT. HIGH-PERFORMANCE DOW 750 (35 EQUAL PER FPA) TOOLED SEALANT AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL.
- CONT. CAULKING AND BACKER ROD ALL AROUND EXTERIOR OF STOREFRONT FRAME, TYPICAL
- DOOR SWEEP PER PRODUCT APPROVAL
- SCHEDULED S.F. CONNECTION THROUGH SCHEDULED TREATED WOOD BUCK AND INTO BLDG. STRUCTURE PER PLANS AND APPROVED STOREFRONT PRODUCT APPROVAL (REQUIRED). SEE WOOD BUCK NOTES.
- 1/4" MAX TREATED SHIM PER PRODUCT APPROVAL
- NEW SCHEDULED 3/8" GWB ON 7/8" (MIN) GALV. FURRING CHANNELS W/ R4.2 FOIL BACKED RIGID INSULATION FULL HEIGHT
- CONT. TOOLED ANGLE STUCCO DRIP
- EXISTING CONC. PLANTER TO REMAIN. PATCH AND REPAIR PER ELEVATIONS WITH NEW SMOOTH STUCCO FINISH.
- PROPOSED OUTSIDE DINING SEATING
- NEW ARTIFICIAL IVY SCREENING FINISH "S-1" FULL HEIGHT OF EXISTING METAL FENCE AND GATE (8'-0" HIGH)
- EXISTING STOREFRONT DOOR(S) TO REMAIN. PROVIDE NEW WATER-TIGHT CONT. SEALANT ALL AROUND FRAME / WALL PERIMETER INSIDE AND OUTSIDE, TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED COLOR "W-2".
- CONT. CASING BEAD
- CONT. STUCCO BASE SCREED, SEE DETAIL 3A/A-6.0
- SCHEDULED #3 STIRRUPS @ 8" O.C. MAX AT CONC. COL.
- CHIP PORTION OF COLUMN THAT PROJECTS BEYOND FACE OF WALL FROM TOP OF LOWER THE BEAM TO TOP OF PARAPET THE BEAN.
- REINFORCED MULLION PER NOA
- NEW 5/8" FINISHED GWB SILL BELOW
- LIQUID AND MESH WATERPROOFING AT ALL NEW OPENINGS / DOORS AND STOREFRONTS. SEE NOTE "A".
- EXISTING FOOTING, CONC. THICKENED EDGE / SLAB
- HOOKED HORIZONTAL #5'S @ 24" O.C. - AT ADJACENT EX. CONC. COL., DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONC. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONC. COL., EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CLEAR CONC. COVER DISTANCE.
- EXISTING 6" STEEL POST / COL. TO REMAIN
- FILL ALL CELLS IN FOOTING STEM WALL W/ CONC.



**2** SECTION AT BREEZEWAY  
SCALE: 3/4" = 1'-0"



**1** SECTION AT BREEZEWAY  
SCALE: 3/4" = 1'-0"

**CMA**  
CRAIG MOSSEY  
ARCHITECT : PA

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NO.	REVISIONS	DATE
1	SPRAB COMMENTS	12.17.24
1A	SPRAB COMMENTS	1.31.25
2	SPRAB COMMENTS	1.31.25
2A	SPRAB COMMENTS	2.4.25
3	SPRAB COMMENTS	2.22.25
4		
5		
6		
7		
8		

## **DRAWING PHASE / USE**

- ☐ LEVEL / SITE PLAN / DESIGN REVIEW
- ☐ NOT FOR CONSTRUCTION
- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☒ CONSTRUCTION DOCUMENTS
- ☒ PERMIT / CONSTRUCTION

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**SECTIONS**  
EXTERIOR FACADE REPAIRS AND ALTERATIONS  
**ROKA HULA**  
RESTAURANT  
270 E. ATLANTIC AVE  
DELRAY BEACH, FLORIDA 33444

RELEASE DATE: 1.30.25  
DRAWN BY: C.M.  
REVIEWED BY: C.M.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CRAIG MOSSEY ON THE DATE: 1/30/25. INDICATED HERE (BELOW) PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL: CRAIG MOSSEY / FL-AR 0013508  
PROJECT #: 24020  
SHEET #: **A-6.1**  
OF 21  
PRINT DATE: 2.22.25  
PERMIT 42X30



WIND PRESSURE PER ASCE 7-22
170 MPH CATEGORY II EXPOSURE C Kd= 0.85
-MIN OVERALL BLDG DIM = 8'-3" -MEAN ROOF HEIGHT (MHR) = 24' (2 story section at NE corner)
-ZONE 5, a = 7.2
WIND
ZONE 4: +41.8 -45.3
ZONE 5: +41.8 -55.9
ASCE 7-22 (8th Edition Florida Building Code / 2023)

STOREFRONT SCHEDULE (NO SUBSTITUTES OR ALTERNATIVES ALLOWED)			
MARK	FIXED STOREFRONT - LM	MINIMUM SYSTEM LOAD CAPACITY	MARK
SF-1	FIXED STOREFRONT SYSTEM (SF-1) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+65.0 PSF -80.0 PSF	SF-4
SF-2	FIXED STOREFRONT SYSTEM (SF-2) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-5
SF-3	FIXED STOREFRONT SYSTEM (SF-3) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-6
SF-4	FIXED STOREFRONT SYSTEM (SF-4) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-7
SF-5	FIXED STOREFRONT SYSTEM (SF-5) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-8
SF-6	FIXED STOREFRONT SYSTEM (SF-6) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-9
SF-7	FIXED STOREFRONT SYSTEM (SF-7) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-10
SF-8	FIXED STOREFRONT SYSTEM (SF-8) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-11
SF-9	FIXED STOREFRONT SYSTEM (SF-9) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-12
SF-10	FIXED STOREFRONT SYSTEM (SF-10) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-13
SF-11	FIXED STOREFRONT SYSTEM (SF-11) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-14
SF-12	FIXED STOREFRONT SYSTEM (SF-12) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-15
SF-13	FIXED STOREFRONT SYSTEM (SF-13) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-16
SF-14	FIXED STOREFRONT SYSTEM (SF-14) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-17
SF-15	FIXED STOREFRONT SYSTEM (SF-15) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-18
SF-16	FIXED STOREFRONT SYSTEM (SF-16) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-19
SF-17	FIXED STOREFRONT SYSTEM (SF-17) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-20
SF-18	FIXED STOREFRONT SYSTEM (SF-18) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-21
SF-19	FIXED STOREFRONT SYSTEM (SF-19) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-22
SF-20	FIXED STOREFRONT SYSTEM (SF-20) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-23
SF-21	FIXED STOREFRONT SYSTEM (SF-21) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-24
SF-22	FIXED STOREFRONT SYSTEM (SF-22) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-25
SF-23	FIXED STOREFRONT SYSTEM (SF-23) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-26
SF-24	FIXED STOREFRONT SYSTEM (SF-24) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-27
SF-25	FIXED STOREFRONT SYSTEM (SF-25) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-28
SF-26	FIXED STOREFRONT SYSTEM (SF-26) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-29
SF-27	FIXED STOREFRONT SYSTEM (SF-27) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-30
SF-28	FIXED STOREFRONT SYSTEM (SF-28) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-31
SF-29	FIXED STOREFRONT SYSTEM (SF-29) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-32
SF-30	FIXED STOREFRONT SYSTEM (SF-30) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-33
SF-31	FIXED STOREFRONT SYSTEM (SF-31) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-34
SF-32	FIXED STOREFRONT SYSTEM (SF-32) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-35
SF-33	FIXED STOREFRONT SYSTEM (SF-33) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-36
SF-34	FIXED STOREFRONT SYSTEM (SF-34) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-37
SF-35	FIXED STOREFRONT SYSTEM (SF-35) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-38
SF-36	FIXED STOREFRONT SYSTEM (SF-36) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-39
SF-37	FIXED STOREFRONT SYSTEM (SF-37) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-40
SF-38	FIXED STOREFRONT SYSTEM (SF-38) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-41
SF-39	FIXED STOREFRONT SYSTEM (SF-39) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-42
SF-40	FIXED STOREFRONT SYSTEM (SF-40) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-43
SF-41	FIXED STOREFRONT SYSTEM (SF-41) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-44
SF-42	FIXED STOREFRONT SYSTEM (SF-42) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-45
SF-43	FIXED STOREFRONT SYSTEM (SF-43) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-46
SF-44	FIXED STOREFRONT SYSTEM (SF-44) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-47
SF-45	FIXED STOREFRONT SYSTEM (SF-45) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-48
SF-46	FIXED STOREFRONT SYSTEM (SF-46) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-49
SF-47	FIXED STOREFRONT SYSTEM (SF-47) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-50
SF-48	FIXED STOREFRONT SYSTEM (SF-48) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-51
SF-49	FIXED STOREFRONT SYSTEM (SF-49) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-52
SF-50	FIXED STOREFRONT SYSTEM (SF-50) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-53
SF-51	FIXED STOREFRONT SYSTEM (SF-51) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-54
SF-52	FIXED STOREFRONT SYSTEM (SF-52) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-55
SF-53	FIXED STOREFRONT SYSTEM (SF-53) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-56
SF-54	FIXED STOREFRONT SYSTEM (SF-54) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-57
SF-55	FIXED STOREFRONT SYSTEM (SF-55) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-58
SF-56	FIXED STOREFRONT SYSTEM (SF-56) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-59
SF-57	FIXED STOREFRONT SYSTEM (SF-57) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-60
SF-58	FIXED STOREFRONT SYSTEM (SF-58) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-61
SF-59	FIXED STOREFRONT SYSTEM (SF-59) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-62
SF-60	FIXED STOREFRONT SYSTEM (SF-60) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-63
SF-61	FIXED STOREFRONT SYSTEM (SF-61) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-64
SF-62	FIXED STOREFRONT SYSTEM (SF-62) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-65
SF-63	FIXED STOREFRONT SYSTEM (SF-63) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-66
SF-64	FIXED STOREFRONT SYSTEM (SF-64) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-67
SF-65	FIXED STOREFRONT SYSTEM (SF-65) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-68
SF-66	FIXED STOREFRONT SYSTEM (SF-66) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-69
SF-67	FIXED STOREFRONT SYSTEM (SF-67) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-70
SF-68	FIXED STOREFRONT SYSTEM (SF-68) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-71
SF-69	FIXED STOREFRONT SYSTEM (SF-69) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-72
SF-70	FIXED STOREFRONT SYSTEM (SF-70) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-73
SF-71	FIXED STOREFRONT SYSTEM (SF-71) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-74
SF-72	FIXED STOREFRONT SYSTEM (SF-72) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-75
SF-73	FIXED STOREFRONT SYSTEM (SF-73) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-76
SF-74	FIXED STOREFRONT SYSTEM (SF-74) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-77
SF-75	FIXED STOREFRONT SYSTEM (SF-75) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-78
SF-76	FIXED STOREFRONT SYSTEM (SF-76) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-79
SF-77	FIXED STOREFRONT SYSTEM (SF-77) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-80
SF-78	FIXED STOREFRONT SYSTEM (SF-78) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-81
SF-79	FIXED STOREFRONT SYSTEM (SF-79) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-82
SF-80	FIXED STOREFRONT SYSTEM (SF-80) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-83
SF-81	FIXED STOREFRONT SYSTEM (SF-81) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-84
SF-82	FIXED STOREFRONT SYSTEM (SF-82) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-85
SF-83	FIXED STOREFRONT SYSTEM (SF-83) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-86
SF-84	FIXED STOREFRONT SYSTEM (SF-84) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-87
SF-85	FIXED STOREFRONT SYSTEM (SF-85) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-88
SF-86	FIXED STOREFRONT SYSTEM (SF-86) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-89
SF-87	FIXED STOREFRONT SYSTEM (SF-87) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-90
SF-88	FIXED STOREFRONT SYSTEM (SF-88) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-91
SF-89	FIXED STOREFRONT SYSTEM (SF-89) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-92
SF-90	FIXED STOREFRONT SYSTEM (SF-90) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-93
SF-91	FIXED STOREFRONT SYSTEM (SF-91) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-94
SF-92	FIXED STOREFRONT SYSTEM (SF-92) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-95
SF-93	FIXED STOREFRONT SYSTEM (SF-93) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-96
SF-94	FIXED STOREFRONT SYSTEM (SF-94) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-97
SF-95	FIXED STOREFRONT SYSTEM (SF-95) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-98
SF-96	FIXED STOREFRONT SYSTEM (SF-96) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-99
SF-97	FIXED STOREFRONT SYSTEM (SF-97) TRULITE GLASS & ALUMINUM SYSTEMS - IMPACT RESISTANT STOREFRONT SYSTEM LARGE MISSILE IMPACT	+70.0 PSF -70.0 PSF	SF-100

SHOP DRAWING NOTES	
G.C. TO PROVIDE DETAILED SIGNED AND SEALED ENGINEER PERMIT SHOP DRAWINGS FOR ALL STOREFRONT SYSTEMS AND STOREFRONT DOORS, INCLUDING CONNECTIONS, REINFORCING AND WIND LOAD CALCULATIONS. -SHOP DRAWINGS SHALL INCLUDE ALL STRUCTURAL DESIGN CRITERIA APPLICABLE TO CURRENT F.B.C. 8TH EDITION / 2023 AND THE PROJECT DRAWINGS. -G.C. SHALL REVIEW AND STAMP THE SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ARCHITECT. -ALL DETAILS IN SHOP DRAWINGS SHALL BE TRUE AND ACCURATE DETAIL WATCHING AND REWORKING THE EXACT DETAILS AND SPECIFICATIONS OF THE APPROVED NOA. -TYPICAL / GENERIC DETAILS WILL NOT BE ACCEPTED.	
GENERAL STOREFRONT NOTES	
1. ALL STOREFRONTS SHALL HAVE FLORIDA PRODUCT APPROVAL (FPA) OR DADE COUNTY NOTICE OF ACCEPTANCE (NOA) APPROVAL, AS NOTED AND SHALL BE LARGE MISSILE IMPACT (LMI) AS SCHEDULED. CONNECTIONS AND FINISH PER THE OWNER AS NOTED ON THE ELEVATIONS. 2. SHIMS: SHIM DEPTH IS LIMITED TO 1/4" MAX SHIM AT ALL STOREFRONT INSTALLATIONS, TYP. 3. ANCHORAGE: ALL STOREFRONT ANCHORAGE SHALL BE PER THE STOREFRONT MANUFACTURERS' APPROVED NOTES OF ACCEPTANCE (NOA) WITH RESPECT TO ALL CONNECTIONS, INCLUDING, BUT NOT LIMITED TO TYPE, SIZE, BRAND, SPACING, EMBEDMENT AND MINIMUM MATERIAL, ANCHORED INTO SEE STOREFRONT SCHEDULE. 4. DOCUMENTATION: G.C. SHALL PROVIDE ALL DOCUMENTATION (NOA'S, SHOP DRAWINGS, ETC.) REQUIRED TO OBTAIN A BUILDING PERMIT TO THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT. 5. 3/4" TREATED BUCK CONNECTIONS WHERE INDICATED IN THE DRAWINGS, SHALL BE PER THE WOOD BUCK CONNECTION NOTES, THIS SHEET. NOTE: ALL STOREFRONT CONNECTIONS ARE INDEPENDENT OF, AND IN ADDITION TO BUCK CONNECTIONS. ALL STOREFRONT CONNECTIONS SHALL BE THRU BUCK AFTER ALL BUCK CONNECTIONS ARE IN PLACE. 6. ALL IMPACT GLAZING IS LARGE MISSILE GLAZING AND SHALL BE PER THE NOA - TINT AND / OR LOW COATINGS THAT ALTER THE LOOK OF GLAZING (IF ANY) SHALL BE APPROVED BY THE OWNER IN ADVANCE. 7. STOREFRONT SUPPLIER SHALL PROVIDE ALL INTERMEDIATE STRUCTURAL WALLS, WATCHING ALUMINUM CORNER POSTS (WITH CONNECTIONS), REINFORCING WITH WALLS, ETC. AS REQUIRED TO COMPLETE THE PROPOSED STOREFRONT SYSTEM WITHIN THE PROPOSED OPENING. PROVIDE ENGINEERED SHOP DRAWINGS PRIOR TO ANY WORK. 8. G.C. AND STOREFRONT SUPPLIER SHALL FIELD MEASURE ALL ROUGH OPENINGS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING ANY SYSTEMS.	
WOOD BUCK ATTACHMENT NOTES	
1. TYPICAL 1" WOOD BUCK ATTACHMENT TO: A. STRUCTURAL STEEL SHALL BE WITH MINIMUM 1/4" - 14 SELF DRILLING SCREW INTO STEEL STRUCTURE (1/4" MIN. THICKNESS) @ 8" O.C. STAGGERED MAX AND 3" FROM ALL EDGES AND CORNERS. MINIMUM 4 COMPLETE THREAD EMBEDMENT, TYPICAL. B. MASONRY OR CONCRETE SHALL BE WITH 1/4" WATERS 1" 2" DRILLED INTO 4000 PSI CONCRETE, @ 8" O.C. STAGGERED MAX AND 3" FROM ALL EDGES AND CORNERS. C. STRUCTURAL STEEL STUDS (12 GA. / 18" MIN) SHALL BE WITH 1/4" - 14 SELF DRILLING SCREW INTO STEEL STRUCTURE (1/4" MIN. THICKNESS) @ 8" O.C. STAGGERED MAX AND 3" FROM ALL EDGES AND CORNERS. MINIMUM 4 COMPLETE THREAD EMBEDMENT, TYPICAL. 2. PROVIDE FULL LAYER OF MEMBRANE WATERPROOFING AT FULL INSIDE FACE OF OPENING AND EXTENDING 6" BEYOND EDGE OF OPENING ALL AROUND AT EXTERIOR AFTER WOOD BUCK INSTALL. SEE DETAIL. 3. BUCK SHALL BE SET IN (2) CONT. BEADS OF SEALANT, EACH OF WHICH SHALL FORM A COMPLETE WEATHER AND MOISTURE BARRIER, TYPICAL. 4. BUCK SHALL BE FULLY INSTALLED WITH ALL CONNECTORS AND SEALANT PRIOR TO STOREFRONT INSTALLATION. 5. STOREFRONT CONNECTIONS SHALL BE INDEPENDENT OF BUCK CONNECTIONS AND SHALL BE THROUGH THE BUCK AND INTO BUILDING STRUCTURE AND PER THE APPROVED NOA. 6. ALL BUCKS AND SHIMS SHALL BE CUT AND APPLIED TO CUSTOM FIT JAMB WITH WITH EPISSETS AS SHOWN IN THE DETAILS. NOTE: ALL STOREFRONT ALUMINUM MULLIONS, STOREFRONT ACCESSORIES, FILLERS AND ADJACENT BREAK MEAT (ALUMINUM) SHALL BE FACTORY FINISHED. PROVIDE FINISH AND GLASS SAMPLES TO L1 PRIOR TO ANY WORK.	

DRAWING KEY NOTES	
APPLIES TO THIS SHEET ONLY / SEE SCHEDULE NOTES	
<p>1. EXISTING CONSTRUCTION TO REMAIN</p> <p>SF-1: SCHEDULED NEW TRULITE FIXED IMPACT STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS</p> <p>SF-2: SCHEDULED NEW TRULITE FIXED IMPACT DOUBLE STOREFRONT ENTRANCE SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS</p> <p>SF-3: SCHEDULED NEW TRULITE FIXED IMPACT STOREFRONT TRANSOM LAMINATED IMPACT GLAZING. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS</p> <p>NEW 8" X 12" MIN. SET PLAIN REINFORCED EXTERIOR CONG. INFLU COLUMN (MIN 4000 PSI CONG.) WITH (4) #5'S VERT. AND #3 STRIPS @ 8" O.C. VERT. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONG. FOOTING BEYOND EXISTING CONG. IE BEAM ABOVE (MIN. 6" REBAR EMBL) TYP.</p> <p>NEW 8" X 8" (MIN) REINFORCED CONG. SILL CAP (MIN 4000 PSI CONG.) WITH (2) #5'S HORIZ. AT ADJACENT EX. CONG. COL. DRILL AND EPOXY SILL CAP #5'S INTO EXISTING CONG. W/ MIN. 6" EMB. TYP. AT ADJACENT NEW CONG. COL. EXTEND #5 RE-BARS FULLY THROUGH COL., LESS CONG. COVER DISTANCE. PROVIDE MIN. 3/4" BARS OVERLAP, TYPICAL.</p> <p>PROVIDE VERT. #5 HOODED BARS FROM NEW CONG. SILL CAP IN FILLED MASONRY CELLS DOWN TO EXISTING FOOTING @ 16" O.C. MAX - DRILL AND EPOXY #5'S INTO EXISTING CONG. FOOTING (MIN. 6" REBAR EMBL) TYP.</p> <p>EXISTING CONG. COLUMN TO REMAIN - NEW PAINTED SMOOTH STUCCO FINISH</p> <p>SF-4: SCHEDULED NEW TRULITE FIXED IMPACT SINGLE STOREFRONT ENTRANCE SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS</p> <p>SF-5: SCHEDULED NEW EURO-WALL IMPACT IMPACT FOLDING STOREFRONT SYSTEM WITH IMPACT LAMINATED GLAZING, SEE STOREFRONT SCHEDULE AND DETAILS. CUSTOM COLOR "W-2" ON ALL EXTERIOR FRAMES AND MULLIONS</p> <p>EXISTING STOREFRONT TRANSOM TO REMAIN. FINISH NEW CONG. SEALANT ALL AROUND FRAME. W/ PLAIN FIBERGLASS INTERIOR AND EXTERIOR. TYPICAL. ALL EXTERIOR FRAMES AND MULLIONS TO BE PRIMED AND PAINTED SCHEDULED EXISTING COLOR. BEAM TO REMAIN. PROVIDE NEW PAINT "M-1" SMOOTH STUCCO FINISH.</p> <p>EXISTING CONG. BEAM TO REMAIN. PROVIDE NEW PAINT "M-1" SMOOTH STUCCO FINISH.</p> <p>NEW SCHEDULED 3" SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER EXISTING STUCCO WITH TEXTURED FINISH. E.G. SUEL, TEXT. PATCH AND REPAIR AND PRIME EXISTING STUCCO PRIOR TO APPLICATION OF NEW STUCCO. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.</p> <p>EXISTING CONG. STEEL WALL TO REMAIN. PROVIDE TO REPAIR - GO TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. PROVIDE NEW PAINT "M-1" SMOOTH STUCCO FINISH.</p> <p>EXISTING CURB - FILL ALL CELLS AT MASONRY CURB @ 6" TO FIELD VERIFY PRIOR TO CONSTRUCTION.</p> <p>NEW REINFORCED CONG. (4000 PSI) CURB</p> <p>EXISTING WALL/MASTION TO REMAIN</p> <p>EXISTING PAPER MASONRY TO REMAIN. RESCT PAVERS AS REQUIRED FOR FLUSH CONNECTION. TYPICAL.</p> <p>NEW 4000 PSI SUB SLAB / FOOTING ON GRADE.</p> <p>LINE OF CANALS RUNNING ABOVE.</p> <p>NEW SCHEDULED 3" PART SMOOTH STUCCO FINISH WITH PAINTED FINISH "W-1" OVER PREPARED CONG. / MASONRY CONSTRUCTION. FINISHES VARIOUS. SEE DETAILS MINIMUM 3/4" THICKNESS. SEE DETAILS AND PLANS. SEE STUCCO NOTES. PROVIDE CONT. CORNER BEAD AT ALL HORIZ. AND VERT. CORNERS.</p> <p>NEW STUCCO CONTROL JOINT. SEE STUCCO NOTES AND STUCCO DETAILS 3-A/6-0</p> <p>NEW 3" PART PAINTED 3" SMOOTH OVER PREPARED EXISTING STUCCO. PROVIDE NEW REPAIR EXISTING AS REQUIRED. PROVIDE PAINTED (CONG "W-1").</p> <p>REMOVE EXISTING FIBERGLASS PATCH AND REPAIR AS REQUIRED. PROVIDE NEW 3" PART SMOOTH STUCCO FINISH OVER PREPARED EXISTING STUCCO. PROVIDE NEW REPAIR EXISTING STUCCO</p>	



RECEIVED  
JAN 03 2012

Permit  
# 11-136487

**CANOPY HOLD HARMLESS AGREEMENT**

This Hold Harmless Agreement and General Release, is made this 16 day of December, 2001 by and between the City of Delray Beach, Florida ("City") and Zeynel Erdem with a mailing address of 270 East Atlantic Ave Delray Beach 334 FL and hereinafter referred to as ("Owner").

**WITNESSETH:**

WHEREAS, Owner, has requested approval to install a canopy on the structure located at 270 E. Atlantic Ave Delray Beach, Florida in accordance with Exhibit "A" and pursuant to the requirements of the Land Development Regulations of the City of Delray Beach, Section 6.3.4; and,

WHEREAS, the Land Development Regulations of the City of Delray Beach, Florida in Section 6.3.4 requires approval of the Chief Building Official through approval of an applicable agreement with the City; and,

WHEREAS, Owner agrees to abide by all the regulations governing canopies extending into the public right-of-way as contained within the ordinances of the City of Delray Beach.

NOW, THEREFORE, FOR THE MUTUAL COVENANTS AND MATTERS SET FORTH HEREIN, AS OF THE DATE SET FORTH ABOVE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. The recitations set forth above are incorporated herein.
2. Owner acknowledges that the City shall assume no liability or responsibility for said land, structures, improvements, materials, appurtenances or the partial or complete destruction or removal of the same on the subject property.

**OFFICE COPY**



3. Nothing in this Agreement relieves **Owner** of any obligation imposed under the **City's** Land Development Regulations or Code of Ordinances. **Owner** is responsible for obtaining any and all permits required in connection with the construction/installation of the canopies and/or supports.

4. **Owner** shall construct/install the canopy in the location as shown on Exhibit "A".

5. **Owner**, on behalf of himself/herself, his/her successors, heirs, and assigns, acknowledge that the **City** shall assume no responsibility for the canopy which is being placed within the public right-of-way.

6. **Owner**, his/her successors, heirs, and assigns, in consideration of the mutual promises contained herein and other good and valuable consideration, agree to hold harmless the **City**, its agents, officers, employees and servants from any damage to the canopy and other related improvements which will be placed within the public right-of-way. It is understood that any cost for replacement of the canopy and other related improvements shall be **Owner's**, his/her successors, heirs and assigns responsibility and **City** will not be held liable for any damage as a part of any maintenance or construction within the said public right-of-way. **Owner**, his/her successors, heirs, and assigns, in consideration of the mutual promises contained herein and other good and valuable consideration, agree to defend, indemnify and hold harmless the **City**, its agents, officers, employees and servants from any claim, lawsuit or action brought against the **City** as a result of the canopy being placed within the public right-of-way.



7. The City or its agent, contractor or representative shall be allowed to access the enclosed portion, if any, of the public right-of-way at any time.

8. Owner shall remove the canopy from the public right-of-way within twenty (20) days of receiving notice from the City requesting removal. If Owner fails to remove the canopy, the City may remove the canopy and bill the Owner for the cost of such removal. The City, or its agents or contractors, shall not be responsible for any damage that may occur to the canopy during such removal. The City may request removal of the canopy for any reason and in its sole discretion.

9. Owner, his/her successors, heirs, and assigns, in consideration of the mutual promises contained herein and other good and valuable consideration, further agree to hold harmless, defend, or reimburse the City, for any damage that is caused to the City's public right-of-way as a result of the construction, maintenance or existence of the canopy located in the public right-of-way.

10. The Owner's placement of the canopy in the public right-of-way shall not in any

11. This agreement constitutes the entire agreement between City and Owner and may not be altered, amended, or modified except by an instrument in writing signed by the parties to the agreement with all the same formalities as this agreement.

IN WITNESS WHEREOF, the parties hereto have entered into this agreement the day and year first written above.



ATTEST:

By: [Signature]  
Deputy City Clerk 11/3/2012

Approved as to form:

By: [Signature]  
City Attorney

WITNESS:

\_\_\_\_\_  
(name typed or handwritten)

WITNESS:

\_\_\_\_\_  
(name typed or handwritten)

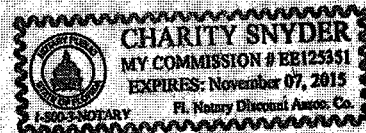
CITY OF DELRAY BEACH, FLORIDA

By: [Signature]  
City Manager  
Chief Building Official

OWNER:

By: [Signature]  
(name typed or handwritten)

SEAL



STATE OF FLORIDA

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 20th day of December, 2001 by Zeynel Erdem (name of officer or agent, title of officer or agent), of ZOE Atlantic Delray LLC (name of corporation acknowledging), a Florida (state or place of incorporation) corporation, on behalf of the corporation. He/She is personally known to me or has produced \_\_\_\_\_ (type of identification) as identification and did/did not take an oath.

[Signature]  
Signature of Person Taking Acknowledgment



**1700**

[illegible]



### **Pre-application**

- **07-01-2024:** Pre-application meeting
- **07-18-2024:** Anthony Fichera email regarding follow up questions to pre-app
- **07-23-2024:** Staff (SR) responded to email with responses

### **File No. 2025-008: Roka Hula, 270 East Atlantic Avenue - Timeline:**

- **10-08-2024:** Initial application (File No. 2025-008) submittal received (Cooler proposed)
- **10-22-2024:** Sufficiency review
- **10-31-2024:** Anthony Fichera email regarding a status update
- **10-31-2024:** Staff (RB) respond to email with status
- **11-01-2024:** Distributed to TAC
- **11-15-2024:** Review of Technical Comments
- **11-19-2024:** TAC Comments Review Memo Binder (1st Review) sent (parking required for proposed cooler)
- **11-19-2024:** Anthony Fichera email regarding schedule meeting to discuss comments
- **11-21-2024:** Microsoft Teams Meeting #1
- **12-12-2024:** Anthony Fichera email regarding curtesy review prior to submittal
- **12-17-2024:** Microsoft Teams Meeting #2
- **12-20-2024:** 2nd submittal (1st resubmittal) received (Cooler removed)
- **12-27-2024:** Distributed to TAC
- **01-06-2025:** Anthony Fichera email regarding a status update
- **01-07-2025:** Staff (RB) respond to email with status
- **01-10-2025:** Review of Technical Comments
- **01-14-2025:** TAC Comments Review Memo Binder (2nd Review) sent
- **01-16-2025:** 3rd submittal (2nd resubmittal) received (Cooler still removed)
- **01-17-2025:** Distributed to TAC
- **01-24-2025:** Personal field visit (RB), cooler noted on site
- **01-28-2025:** Curtis Peery email regarding follow-up after in-person meeting in lobby
- **01-28-2025:** Staff (RB) responded with WM contact information
- **01-28-2025:** Staff (RI) responded with contact for DDA
- **01-30-2025:** Curtis Peery email regarding trash situation, permit hold
- **01-31-2025:** Review of Technical Comments:
- **01-31-2025:** Waste Management field visit conducted
- **02-04-2025:** Internal meeting, including Planning & Building Division/Permitting
- **02-07-2025:** TAC Comments Review Memo Binder (3rd Review) sent
- **02-28-2025:** 4th submittal (2nd resubmittal) received (Cooler proposed again due to permit)



- **03-07-2025:** TAC Comments Review Memo Binder (4th Review) sent; in-person meeting requested
- **03-10-2025:** In-Person Meeting with Anthony Fichera, Curtis Peery (discussion to separate elevations into another application to proceed with demo façade permit, and opportunity for in-lieu for the proposed cooler)
- **03-11-2025:** Microsoft Teams Meeting #3
- **03-14-2025:** Anthony Fichera email regarding demo storefront permit

Review is pending in-lieu approval

**File No. 2025-151: Roka Hula, 270 East Atlantic Avenue - Timeline:**

- **03-18-2025:** Anthony Fichera email regarding elevation submittal cursory review
- **03-18-2025:** Staff (SR) phone call to cursory review
- **03-19-2025:** Anthony Fichera email regarding Level 1 payment
- **03-19-2025:** Staff (SR) responds with payment process
- **03-19-2025:** Initial application (File No. 2025-151) submittal received
- **03-20-2025:** Approved Level 1

**File No. 2025-151: Roka Hula, 270 East Atlantic Avenue - Timeline:**

- **03-20-2025:** Anthony Fichera email regarding in-lieu application
- **03-21-2025:** Staff (SR) responds with in-lieu process
- **04-15-2025:** David Milledge emails Staff (RD) regarding in-lieu
- **04-22-2025:** Initial application (File No. 2025-168) submittal received
- **04-29-2025:** David Milledge emails regarding status
- **04-29-2025:** Staff (SR) responds with status, proposed board meeting dates
- **Proposed 05-27-2025:** PMAB recommendation
- **Proposed 06-17-2025:** City Commission review