



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PUBLIC ARTS ADVISORY BOARD STAFF REPORT

Iron Valor CrossFit

Meeting	File No.	Application Type
June 24, 2025	2025-165-MUR-PAAB	1 Mural Permit Application
Property Owner	Applicant /Agent	
360 NE 4th Street, LLC-Jeremy Stein	Jeremy Stein	
Request		

Consideration of the installation of one mural located at 360 NE 4th Street.

General Data

Location: 360 NE 4th Street

PCN: 12-43-46-16-05-097-0011

Property Size: 0.28 acres

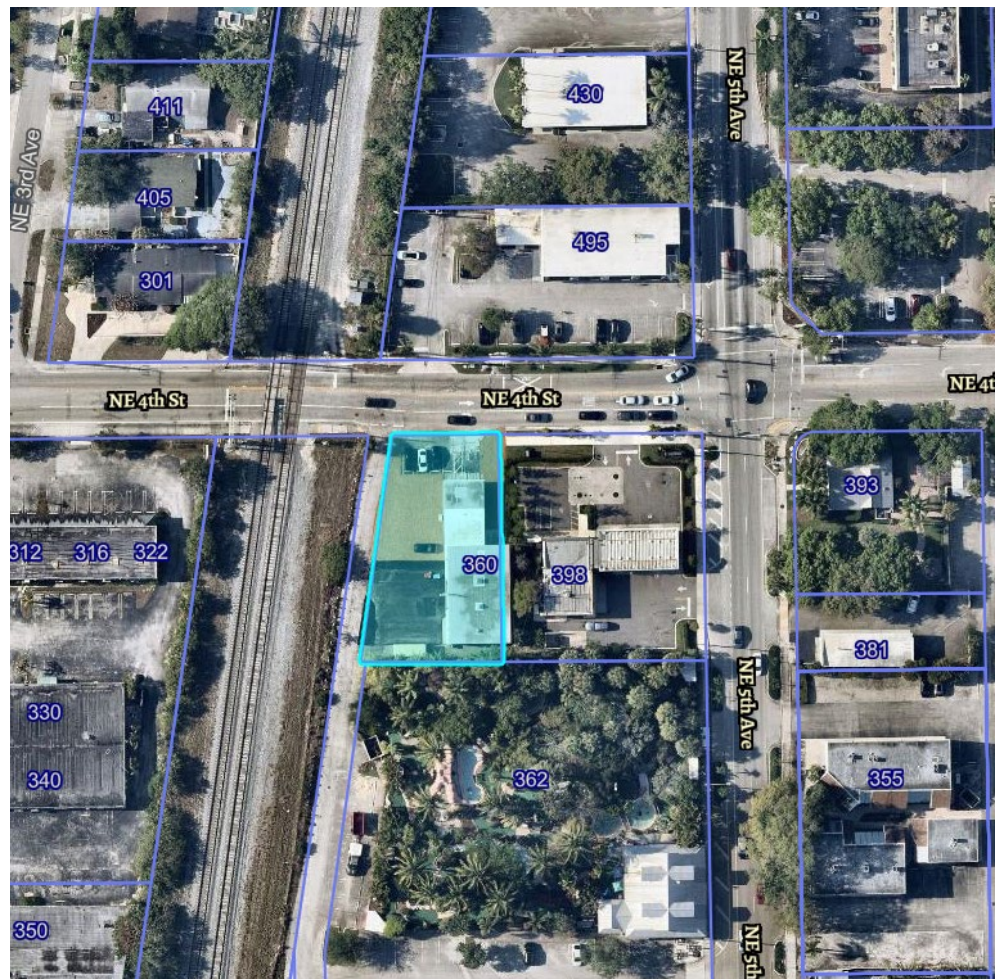
Land Use Designation: Commercial Core (CC)

Zoning District: Central Business District (CBD), Central Core Sub-district (CC)

Adjacent Zoning:

North, South, East and West – Central Business District (CBD), Central Core Sub-district (CC)

Existing Use: Retail/Warehouse



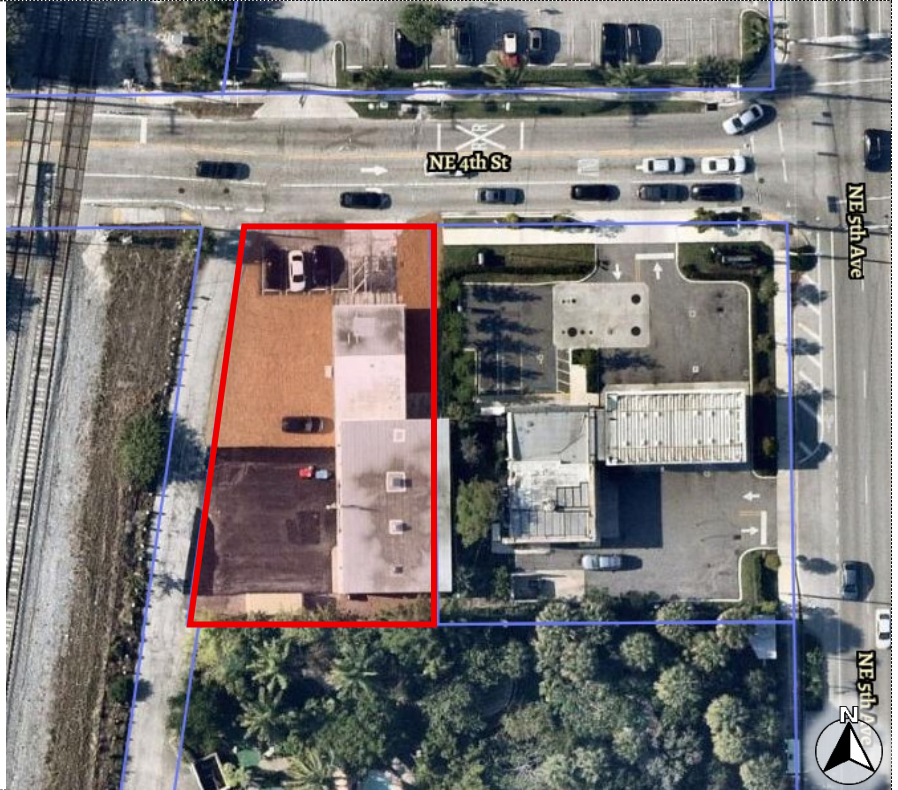
Background

The subject property is located directly East of the FEC Railway on NE 4th Street. The site is approximately 129 feet west from NE 5th Avenue. The 0.28-acre site is located within the Central Business District (CBD) zoning district and a one-story office building with an attached warehouse towards the rear. A summary of the development history is outlined below:

1946-1981: Construction of the development occurred between 1946 and 1981 with a total square foot of 3,673.

04/06/2016: Wheels from the Heart, previous business was subject to a code violation due to a color change that wasn't approved by the Site Plan Review and Appearance Board.

11/30/2016: The Site Plan Review and Appearance Board approved a class I color change application related to the previous code violation.



Description of Request

LDR Section 2.1.8(E)(5), Duties, powers, and responsibilities.

Board Actions

The following duties, powers, and responsibilities shall be carried out by the Public Art Advisory Board: The Board shall take action on all requests for the installation of murals on property not located within a historic district or on any individually designated site listed on the Local Register of Historic Places.

LDR Section 2.1.8(F), Final Actions.

All decisions may be appealed to the City Commission, pursuant to the procedures of [Chapter 2](#).

Pursuant to **LDR Section 8.5.3(C)(3)**, each **façade** is limited to **one** mural and may continue across a contiguous wall provided that the image or theme is consistent throughout. Each façade or surface included in the mural shall require a separate mural permit application.

The existing building has a total of 6 façades. A “façade” is considered the exterior surface or face of a building. Therefore, each flat surface of the exterior wall of the building is considered a distinct façade.

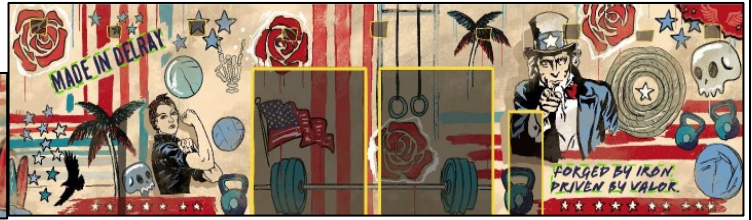
The request is to allow the installation of one mural across the entire west façade of the existing building located at 360 NE 4th Street.

Pursuant to **LDR Section 8.5.2(A)**, the nine (9) criteria shall be utilized, and a positive finding must be made for the Board to approve the requested mural application, whether located on private or public property.

The following review for the mural is below.



(File No. 2025-165)



Office (lower):

Dimensions: 8 feet high by 41.7 feet wide (333.6 square feet)

Coverage: 100% of the façade

Text Limit: 5% = 16.68 square feet

Proposed Text: 13 sq ft (3.89%)

"We Want You": 0.5'x2'= 1 sq ft

"Forged by Iron Driven by Valor": 1.5'x5.5'= 8.25 sq ft

"Delray": 0.5'x3.5" = 1.75 sq ft

"Made in Delray": 1'x2'=2' sq ft

Warehouse(taller):

Dimensions: 13.75 feet high by 64.7 feet wide (889.6 square feet)

Coverage: 100% of the façade

Text Limit: 5% = 44.48 square feet

Proposed Text: 38 sq ft (4.3%)

"Made In Delray": 12'x1.5'= 18 sq ft

"Forged By Iron, Driven By Valor": 2'x10'= 20 sq ft



The mural on the lower façade (office) measures approximately 8 feet in height and 41.7 feet in width, covering the entire surface area. It features an Americana aesthetic, characterized by a predominant color palette of red, white, and blue. The design draws inspiration from both American history and Delray Beach's cultural legacy. Prominent elements include the historic train depot, which references the site's location adjacent to the Florida East Coast (FEC) railway and highlights the significance of this train depot owned by the historic preservation trust that is now used as a surf shop (see image below). The mural also incorporates images such as Delray Beach's Ocean waves, surfboards, and palm trees, symbols that celebrate the city's coastal identity. Additional components include the American flag and motivational words that reinforce themes of patriotism and resilience. Finally, Crossfit equipment is integrated into the design, directly connecting the mural to the business' function and purpose.

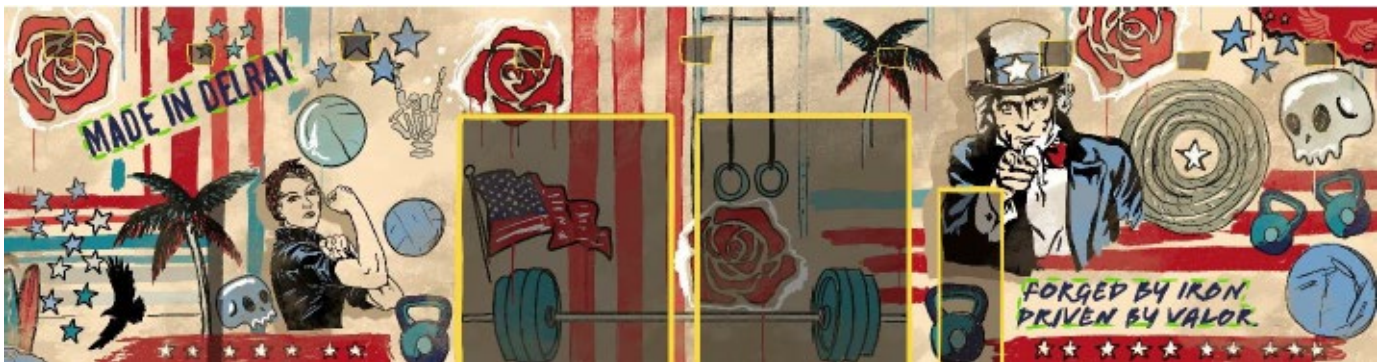
The mural on the warehouse façade measures approximately 13.75 feet in height and 64.7 feet in width, covering the entire surface area. The design reflects an Americana aesthetic, with a dominant color palette of red, white, and blue. Drawing inspiration from American history and culture, the mural features icons such as Uncle Sam and a young woman in vintage attire, symbolizing American society during the 1940s and conveying themes of patriotism, courage, and resilience. Additional elements, such as palm trees and motivational phrases, align with the business' purpose to inspire physical fitness and personal empowerment. The mural also includes references to Delray's local culture, such as the phrase "Made in Delray," along with visual elements like surfboards, palm trees, and volleyballs that evoke a distinctly Floridian atmosphere. Symbols related to fitness such as weights and lifting equipment further reinforce the imagery of the business context with the inclusion of the "forged by iron, driven by valor" further emphasized by the use of motivational words and affirmations associated with a CrossFit gym.



A mural is defined in the LDR as "an original, one-of-a-kind unique mosaic, painting, or graphic art or combination thereof (including collage effects) that is professionally applied to aesthetically enhance the exterior of a building and does not contain any brand name, product name, letters of the alphabet spelling or abbreviating the name of any product, company, profession, or business, or any logo, trademark, trade name, or other commercial message." Furthermore, **LDR Section 8.5.3(C)(4)**, the mural shall be

predominantly pictorial, with text limited to no more than 5 percent of the proposed mural size, except for text used to create the graphic.

While the mural generally meets the LDR requirements, the Board shall consider whether the context of the text is used to create the graphic and is appropriate and promotes a constructive dialogue and uplifting mood or is the text used to brand a name or utilized as a commercial message.



Mural Analysis

There are specific criteria for the Board to consider when taking action on mural requests. The following board criteria and technical criteria are listed below.

LDR Section 8.5.2(A) – Criteria for Board Action.

The following guidelines are to be utilized when making a recommendation or acting on a request for the installation of public art, whether located on private or public property: If the following criteria are not met, the application shall be disapproved:

- (1) Whether the proposed public art conforms to the definition of **public art**;
- (2) Whether the proposed public art is **compatible with the neighborhood** and not injurious to the neighborhood or otherwise detrimental to the **public welfare**;
- (3) Whether the proposed public art presents a safety hazard to the public;
- (4) Whether the proposed public art is of **exceptional quality and enduring value**;
- (5) Whether the proposed public art serves to further the City's goal of promoting **cultural diversity**;
- (6) Whether the proposed public art is **appropriate to the site**;
- (7) Whether the proposed public art should be **installed at the proposed location on a site or at a different location**;
- (8) Whether the proposed public art requires **extraordinary maintenance**, such as any special servicing due to periodic adjustment, repairing, or repair or replacement of moving parts.
- (9) Whether the proposed public art conforms with all other applicable aspects of the LDRs.

The following analysis is provided that includes the board criteria listed above, and the technical criteria listed below.

LDR Section 8.5.3(A), Location

Murals may be proposed on a façade, flat top roof, parking deck, perimeter walls or fences, or dumpster enclosures of any building or structure on a property not located in a historic district or individually designated on the Local Register of Historic Places but that:

- (a) Faces a railroad right-of-way;*
- (b) Faces Interstate 95;*
- (c) Is located within the **Central Business District (CBD)**, Community Facilities (CF), Industrial (I), Light Industrial (LI), Mixed Industrial and Commercial (MIC), Mixed Use Residential Office and Commercial (MROC), General Commercial (GC), Planned Commercial (PC), Neighborhood Commercial (NC), Planned Office Commercial (POC), Professional Office District (POD), Open Space and Recreation (OSR), or Special Activities District (SAD) zoning districts.*

The subject property is located within the CBD zoning district and features a single-story building with a warehouse addition towards the rear, fronting the FEC Railway to the west.

LDR Section 8.5.3(B), Design and installation

Each mural shall be designed and installed with techniques and/or materials that do not permanently damage the facade of the building. Murals are also subject to compliance with the applicable requirements of the Florida Building Code any other applicable local, state, or federal regulations.

LDR Section 8.5.3(C), Placement and Design requirements

All murals must meet the following requirements:

- (1) **Coverage, size, and scale.** Murals shall be proportionate in size and scale to the building facade. A mural may cover 100 percent of the wall, provided it does not paint over windows.*
- (2) **Façade features.** Murals shall be positioned on the façade in a manner that respects architectural features. Murals shall not cover windows or mask architectural details in a manner that detracts from the architecture of the building.*
- (3) **Mural limitations.** Each facade or surface of a building or accessory structure shall have only one mural. A consistent image or theme may continue across contiguous walls; however, each facade or surface included in the mural shall require a separate mural permit.*
- (4) **Mural text size.** The mural shall be predominantly pictorial, with text limited to no more than 5 percent of the proposed mural size, except for text used to create the graphic.*
- (5) **Signage and commercial messaging.** Signage and commercial messaging in murals are regulated in accordance with Section 4.6.7.*
- (6) **Illumination.** Murals may be illuminated only by indirect lighting. Any proposed illumination shall be accompanied by a photometric plan as set forth in Section 2.4.3(B)(17) that demonstrates compliance with Section 4.6.8. Illumination shall not continue after 11:00 pm. Internal illumination, blinking lights, and flashing lights are prohibited.*
- (7) **Preservation and maintenance.** Applicants must provide a preservation and maintenance plan for the proposed mural.*
- (8) **Public safety.** Mural faces may not have any moving or animated parts, or any other electronic movements. Murals may not be illuminated in such a manner so as to cause glare or to impair the vision of motorists or otherwise distract motorists and interfere with their ability to safely operate their vehicles.*
- (9) **Compliance with laws.** Murals must comply with all applicable laws, rules and regulations of the federal, state and county governments. Any proposed amendments to this section must be consistent with applicable federal, state and county laws and ordinances in effect at the time of such amendment.*

Per Appendix A of the LDRs, “**Public Art**” is defined as “a means of artwork or works of art including, but not limited to sculptures, integrated architectural or landscape architectural work, community art, digital media installations, or **murals**....” Therefore, the mural meets the definition of “public art” and satisfies criterion number 1 for public art consideration.

Appendix A of the LDR defines a “**mural**” as “an original, one-of-a-kind unique mosaic, painting, or graphic art or combination thereof (including collage effects) that is professionally applied to aesthetically enhance the exterior of a building or accessory structure such as a dumpster enclosure, fence, or site wall, that does **not** contain any brand name, product name, letters of the alphabet spelling or abbreviating the name of any product, company, profession, or business, or any logo, trademark, trade name, or other commercial message.”

The design of the mural is created by artist named Tiff Urquhart, a female contemporary artist born and raised in Florida. She is known for her creative boldness and her influence in merging environmental and social activism. Her work spans from street murals to high-profile commissions featuring clients like the Philadelphia 76ers and Philadelphia Eagles. The commissioned mural will be a one-of-a-kind artwork combining the Americana influence with Delray Beach cultural history while including the fitness lifestyle of grit and motivation. Bounded by a public street to the north and the FEC railway corridor to the west, the site presents high visibility from both rights-of-way that could influence this overseen corridor. This mural has the potential to transform the current west building façade into an aesthetically pleasing and vibrant style, with American and Delray’s culture artistic expression and creativity. The craftsmanship and scale of the murals will elevate the area into a more decorative site that could be warranted since the building surrounding the FEC railway lacks vibrancy, connectivity and interest. This could be a well-positioned façade to showcase Delray’s purpose to create public art outside the downtown core. Additionally, this could encourage other business owners to increase public art along buildings close to the FEC railway area.

The proposed mural covers 100 percent of the surface wall without obstructing any window openings and respects architectural features such as lighting, however, on the warehouse portion of the building; two overhead doors and a small exit door are proposed to be painted completely to incorporate the mural image. Although the façade includes nine headlights located at the upper area of the warehouse building, the purpose of those lights is to illuminate the driveway and not the proposed mural. The proposed murals do not include any electronic component, animated parts or any illumination that would cause glare to impair or distract the vision of motorists from the ability to safely operate their vehicle.

Objective NDC 2.6 Improve City Corridors
Improve the appearance and function of visually prominent or distressed corridors in Delray Beach.

OBJECTIVE HCE 3.6 Design & Social Interaction

Encourage new developments to promote social interaction through site design.

Policy HCE 3.6.3

Encourage the provision of public art and preserve and increase access to cultural resources.

The theme of the mural is a continuous Americana aesthetic style, characterized by a predominant color palette of red, white, and blue drawing inspiration from both American history and Delray Beach’s cultural legacy with glimpses of a lifestyle of lifting weights, strength, grit, and prosperity. The proposed mural does not have direct signage or commercial messaging. However, both proposed facades included the text “Forge by Valor, Driven by Valor” that might be considered a commercial signage since it promotes the business named “Iron Valor”. The Board should analyze and consider if this text should be considered as a commercial sign or part of the graphic that is an integral part of the mural style.

The applicant has provided a detailed maintenance plan for the murals, which includes annually visual assessments each spring to check for signs of fading, chipping, cracking, or other damages, and a reapplication plan every 10 years or sooner if inspection reveals diminished protection or wear. The maintenance plan also includes an annual cleaning schedule for a surface gently washed with soft brush and mild soap/water solution.

Overall, the proposed mural complies with all applicable regulations of the City of Delray Beach. The Board shall consider whether this proposed public art reflects the exceptional quality and enduring value that further serves the City’s goal of promoting cultural diversity. The Board shall further consider if the site is an appropriate location and compatible with the neighborhood or shall it be at a different location and determinantal to the public welfare. Further analysis of public art locations, as explored in the **Always Delray Comprehensive Plan**, is necessary to align with the City’s broader vision for public art.

Optional Board Actions

- A. Move **approval**, of the Mural Permit (2025-165) to install one mural on the west elevation located at **360 NE 4th Street**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 8 of the Land Development Regulations.
- B. **Move approval, as amended**, of the Mural Permit (2025-165) to install one mural on the west elevation located at **360 NE 4th Street**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Chapter 8 of the Land Development Regulations.
- C. Move **denial** of the Mural Permit (2025-165) to install one mural on the west elevation located at **360 NE 4th Street**, by finding that the request is inconsistent with the Comprehensive Plan and meets criteria set forth in Chapter 8 of the Land Development Regulations.
- D. Postpone



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

100 NW 1st AVENUE, DELRAY BEACH, FLORIDA 33444 | (561) 243-7040 | (561) 243-7221 (fax) | www.delraybeachfl.gov

FOR OFFICE USE ONLY

FILE #:
DATE SUBMITTED:
TOTAL PAID:

MURAL PERMIT APPLICATION

A Mural permit application must be submitted for **each mural façade or wall plain** with the following completed items:

- ☒ Required fee: \$0.50 per square foot, up to a maximum of \$500.
- ☒ Fee Due 1334 SF X \$0.50 = 667.00 or 500.00 (\$500.00 Maximum fee)
- ☒ Survey or site plan showing the wall/ building or surface location;
- ☒ Wall/ building elevation or surface depicting the following:
 - ☐ Height and width of the wall or surface;
 - ☐ Location of any doors, windows, or architectural elements; and
 - ☐ Color rendering of the proposed mural.
- ☒ Description of materials, including paint type, UV protections, etc.
- ☒ Mural maintenance plan, per LDR Section 8.5.3
- ☒ Artist's Name and Biography
- ☒ Examples of other mural installations by the artist. Attach digital files with application.

Procedure: Upon submission of a complete Mural Permit application, the Public Art Advisory Board and/or Historic Preservation Board will review and evaluate the request to determine conformity with Section 8.5.3, Murals.

CONTACT INFORMATION

Property Owner:

360 NE 4th Street, LLC - Jeremy Stein

Address:

360 NE 4th Street

City:

Delray Beach

State:

FL

Zip Code:

33483

Phone:

954-263-5837

Email:

js@ironvalorcrossfit.com

Agent/ Applicant (if other than Property Owner):

Address:

City:

State:

Zip Code:

Phone:

Email:

PROPERTY INFORMATION

Property Address:

360 NE 4th Street, Delray Beach, FL 33483

Property Control Number (PCN):

12-43-46-16-05-097-0011

Legal Description:

HIGHLAND PARK DELRAY LTS 1 THRU 3 (LESS W 16 FT RD R/W) & E 135 FT) BLK 97

Existing Property Use:

Fitness Studio

Zoning District:

CBD Railroad Corridor

Historic District or Individually Designated:

☐ Yes ☒ No District: _____

PROPOSAL

Project Name:
Iron Valor CrossFit

Is the mural already completed? ☐ Yes ☒ No

Is this request a result of a code enforcement action: ☐ Yes ☒ No Case No.:

Describe in detail the proposed artwork/ mural (please provide an attachment, if necessary):

Americana style mural depicting images associated with brand, crossfit elements, surf, and aspects of Delray - including the historic railroad depot.

- Use of color, shape, pattern and line weights to be seen throughout the entirety of the murals
- Professional UV Resistant Waterproof Exterior Spraypaint
- Fast drying, extremely durable
- Minimal to no maintenance required
- Exterior Murals will have Anti-Graffiti Topcoat applied

The low section of building is 38ftx9ft and the garage section is 62ftx16ft.
See picture of building for placement of windows, A/C unit, and bay doors.

OWNER'S DESIGNATION OF AGENCY

360 NE 4th Street, LLC (*Owner's Name as it appears on the recorded warranty deed, see notes below if owned by a business), the fee simple owner of the property with the following legal description (as it appears on the warranty deed; attach separate sheet if necessary):

See attached deed

hereby petition to the City of Delray Beach for a Mural Permit. I certify that I have examined the application and that all statements and diagrams submitted are true and accurate to the best of my knowledge. I consent to inspections, photographing and placement of signs on the subject property by City Staff for purposes of consideration of this application and/or presentation to the approving body. Further, I understand that this application, including all attachments and fees become part of the Official Records of the City of Delray Beach, Florida, and are not returnable.

X 
SIGNATURE - OWNER

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 15th day of April, 2025, by Jeremy Stein (name of person acknowledging), who has produced driver license FL as identification and/or is personally known to me.

Katia S. Trousche
SIGNATURE - NOTARY PUBLIC

KATIA TROUCHE
PRINT NAME - NOTARY PUBLIC

NOTARY SEAL OR STAMP



My Commission Expires:

07/17/2026

2025 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L24000403907

Entity Name: 360 NE 4TH STREET, LLC

Current Principal Place of Business:

360 NE 4TH STREET
DELRAY BEACH, FL 33483

Current Mailing Address:

2232 WIDENER TERRACE
WELLINGTON, FL 33414 US

FEI Number: NOT APPLICABLE

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

STEIN, JEREMY
2232 WIDENER TERRACE
WELLINGTON, FL 33414 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name STEIN TIME, LLC
Address 2232 WIDENER TERRACE
City-State-Zip: WELLINGTON FL 33414

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JEREMY STEIN

**AUTHORIZED
REPRESENTATIVE**

01/30/2025

Electronic Signature of Signing Authorized Person(s) Detail

Date

Prepared by and return to:
Stuart R. Morris, Esq.
Cozen O'Connor
1801 N. Military Trail, Suite 200
Boca Raton, Florida 33431
(561) 750-3850
Tax Folio No: 12-43-46-16-05-097-0011

WARRANTY DEED

THIS INDENTURE, made this 4th day of OCTOBER, 2024, between **STEIN TIME, LLC**, a Florida limited liability company, whose post office address is 2232 Widener Terrace, Wellington, FL 33414, GRANTOR, and **360 NE 4th STREET, LLC**, a Florida limited liability company, whose post office address is 2232 Widener Terrace, Wellington, FL 33414, GRANTEE.

WITNESSETH that said grantor, for and in consideration of the sum of TEN DOLLARS AND NO/100 (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in PALM BEACH County, Florida, to wit:

Lots 1, 2, and 3, Less the East 135 feet thereof, and Less the West 16 feet thereof for alley right of way, Block 97, Highland Park, according to the plat thereof as recorded in Plat Book 2, Page 79, Public Records of Palm Beach County, Florida.

Subject to easements, restrictions and reservations of record, which are not hereby reimposed, and taxes for the year 2024 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

The sole owner of the above described land prior to the execution of this Deed is the Grantor, and the sole member of the Grantee is the Grantor.

Pursuant to *Crescent Miami Center, LLC v. Florida Department of Revenue*, as the transfer of property is between the Grantor and its wholly owned Grantee and is without consideration or a purchaser, such transfer is not subject to documentary stamp tax.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

"Grantor" and "Grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presences

Tina Dietwyk
Witness
Tina Dietwyk
Printed Name

STEIN TIME, LLC, a Florida limited
liability company

By: [Signature]
JEREMY STEIN, Manager

Address: 10690 Forest Hill Blvd
Wellington, FL 33411

[Signature]
Witness
Cesar Hernandez
Printed Name

Address: 10690 Forest Hill Blvd
Wellington FL 33411

State of FLORIDA)
County of Palm Beach) ss Wellington

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, by means of ☒ physical presence or ☐ online notarization, by JEREMY STEIN, who ☐ is known to me personally or who ☒ has produced Florida Driver License as identification and who executed the foregoing instrument and acknowledged before me that he executed the same and who did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 4th day of October, 2024.



N.B. This Deed has been prepared at the Grantor's request without examination or legal opinion of title.

2024 FLORIDA LIMITED LIABILITY COMPANY AMENDED ANNUAL REPORT

DOCUMENT# L08000091051

Entity Name: STEIN TIME, LLC

Current Principal Place of Business:

2232 WIDENER TERR
WELLINGTON, FL 33414

Current Mailing Address:

2232 WIDENER TERR
WELLINGTON, FL 33414 US

FEI Number: 32-0262025

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

STEIN, JEREMY
2232 WIDENER TERR
WELLINGTON, FL 33414 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGRM
Name STEIN, JEREMY
Address 2232 WINDER TERR
City-State-Zip: WELLINGTON FL 33414

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JEREMY STEIN

MGR

07/03/2024

Electronic Signature of Signing Authorized Person(s) Detail

Date

PAGE 1 OF 1
BOUNDARY SURVEY

SCALE
1"=30'

THIRD AVENUE(F)

40' R/W (IMPROVED)

FOUND P-K
NAIL/DISC
NO I.D.
@ P.I.

661.70'(C)

NE 4th STREET(F)

50' R/W (IMPROVED)

25.0'

16.19'(C)

98°48'00"(P)

98°42'20"(C)

CORNER
FALLS IN
ASPHALT

75.11'(C)

PORTION OF
LOT 1
BLOCK 97
(INCLUDED)

39.2'

34.2'

24.1'

FOUND 1/2"
IRON ROD
NO I.D.
13.4'S, 1.2'E

EAST 135' OF
LOT 1
BLOCK 97
(NOT INCLUDED)

NE 5th AVENUE(F)
BOYNTON STREET(P)

50' R/W (IMPROVED)

25.0'

20.0'

50.3'

90°37'00"(P)

50.0'

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50.0'

50.0'

FOUND
CONCRETE
MONUMENT
NO I.D.
0.5'S, 1.3'W

88°23'00"(C)

250.00'(C)

135.00'(D)

135.00'(D)

135.00'(D)

135.00'(D)

135.00'(D)

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135.00'(D)

LEGAL DESCRIPTION:

LOTS 1, 2, AND 3, LESS THE EAST 135 FEET THEREOF, AND
LESS THE WEST 16 FEET THEREOF FOR ALLEY RIGHT-OF-WAY,
BLOCK 97, HIGHLAND PARK, DELRAY BEACH, FLORIDA,
ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF
THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH
COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGE 79,
TOGETHER WITH IMPROVEMENTS LOCATED THEREON.

CERTIFIED TO:

JEREMY STEIN; CARROS COMMERCIAL REALTY, INC.;

COMMUNITY NUMBER: 125102

PANEL: 0977

SUFFIX: F

F.I.R.M. DATE:

FLOOD ZONE: X

FIELD WORK: 6/15/2024

PROPERTY ADDRESS:

360 NORTHEAST 4TH STREET

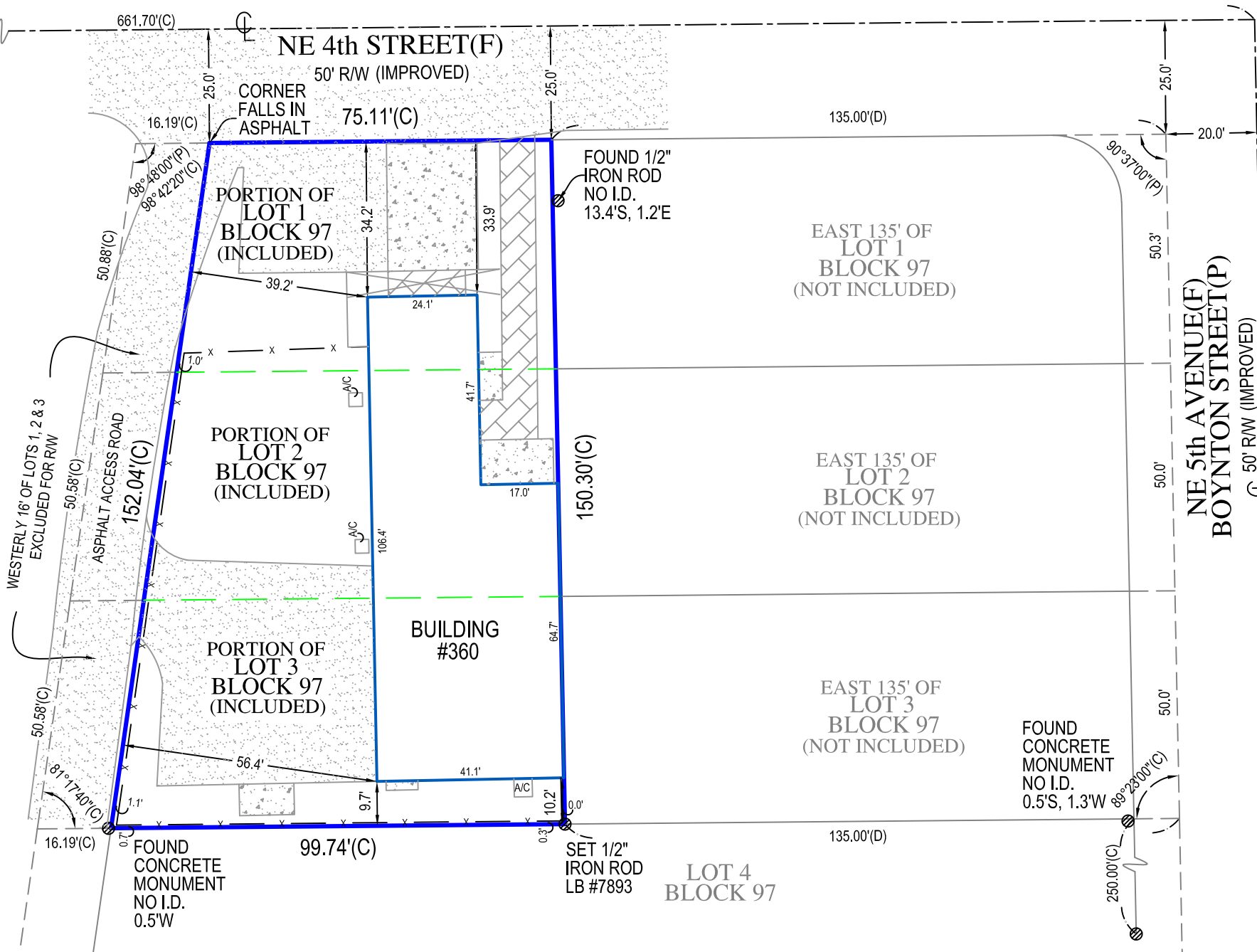
DELRAY BEACH, FL 33483

SURVEY NUMBER: 640008

SURVEY NOTES

ASPHALT CROSSING OVER PROPERTY
LINE ON NORTHERLY AND WESTERLY SIDES OF LOT.

THERE ARE FENCES NEAR THE REAR AND
SIDES OF THE PROPERTY.



ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
D	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- ONLY VISIBLE ENCROACHMENTS LOCATED.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.

- FENCE OWNERSHIP NOT DETERMINED.
- ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFRENCED TO N.A.V.D. 1988
- THIS SURVEY HAS BEEN COMPLETED FOR A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO DESIGN OR CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT APPROVAL FROM TARGET SURVEYING PRIOR TO SUCH USE. TARGET SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

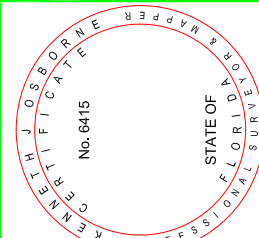
REVISIONS:

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND
CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY
DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC
SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL OR A RAISED
EMBOSSED SEAL AND SIGNATURE.

(SIGNED)

KENNETH J OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415



LB #7893
SERVING FLORIDA

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407

PHONE (561) 640-4800

STATEWIDE PHONE (800) 226-4807

STATEWIDE FACSIMILE (800) 741-0576

WEBSITE: <http://targetsurveying.net>

TARGET
SURVEYING, LLC



360 NE 4th Street - Wall/Building Details and Rendering



To see more details, open Image file ("Mural Wall Doors Closed With dimensions") also provided.

The lower part of the building is 41.7' x 8' = 333.6 SqFt (including windows)

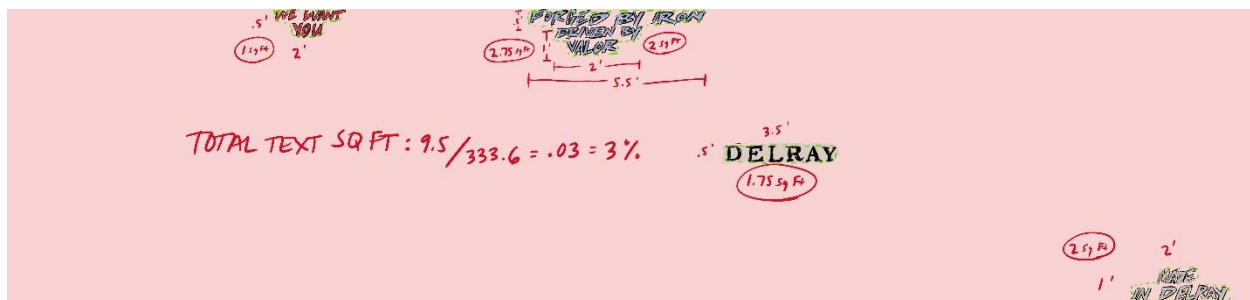
The taller part of the building is 64.7' x 13.75' = 889.6 SqFt (including bay doors and entrance door)

Total SqFt = 1223.2



360 NE 4th Street - Wall/Building Details and Rendering

Lower/Office wall mural (Office Wall V2 image file) 41.7' x 8' = 333.6 SqFt



"We Want You": 0.5' x 2' = 1 SqFt

"Forged By Iron": 0.5' x 5.5' = 2.75 SqFt

"Driven By Valor": 1' x 2' = 2 SqFt

"DELRAY": 0.5' x 3.5' = 1.75 SqFt

"Made In Delray": 1' x 2' = 2 SqFt

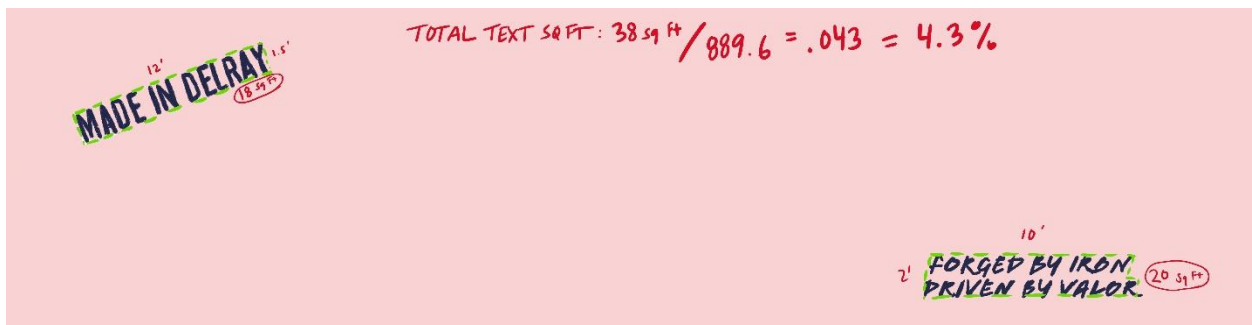
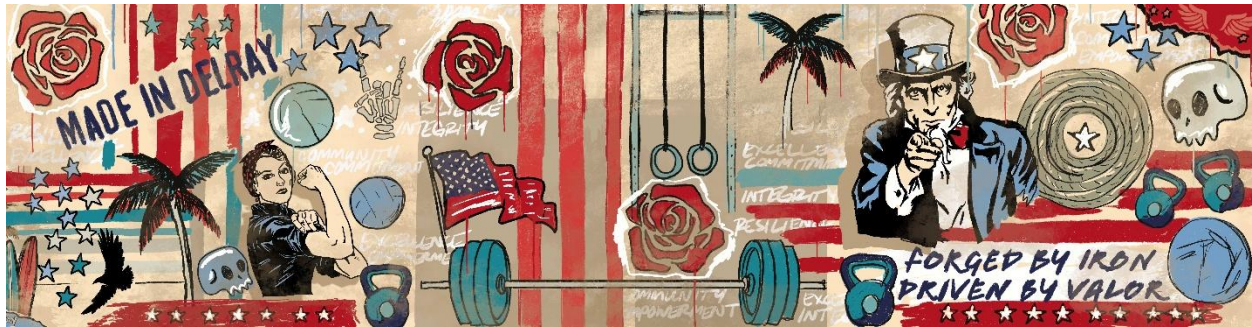
Total: 9.5 Sqft / 333.6 Sqft = .03 (3%)



360 NE 4th Street - Wall/Building Details and Rendering

Continuation of mural on gym wall (Gym Wall V2 image file) 64.7' x 13.75' = 889.6 SqFt.

Both garage doors and entry doors will be painted.



“Made In Delray”: 12' x 1.5' = 18 SqFt

“Forged By Iron Driven By Valor”: 2' x 10' = 20 SqFt

Total: 38 Sqft / 889.6 Sqft = .043 (4.3%)

TIFF URQUHART

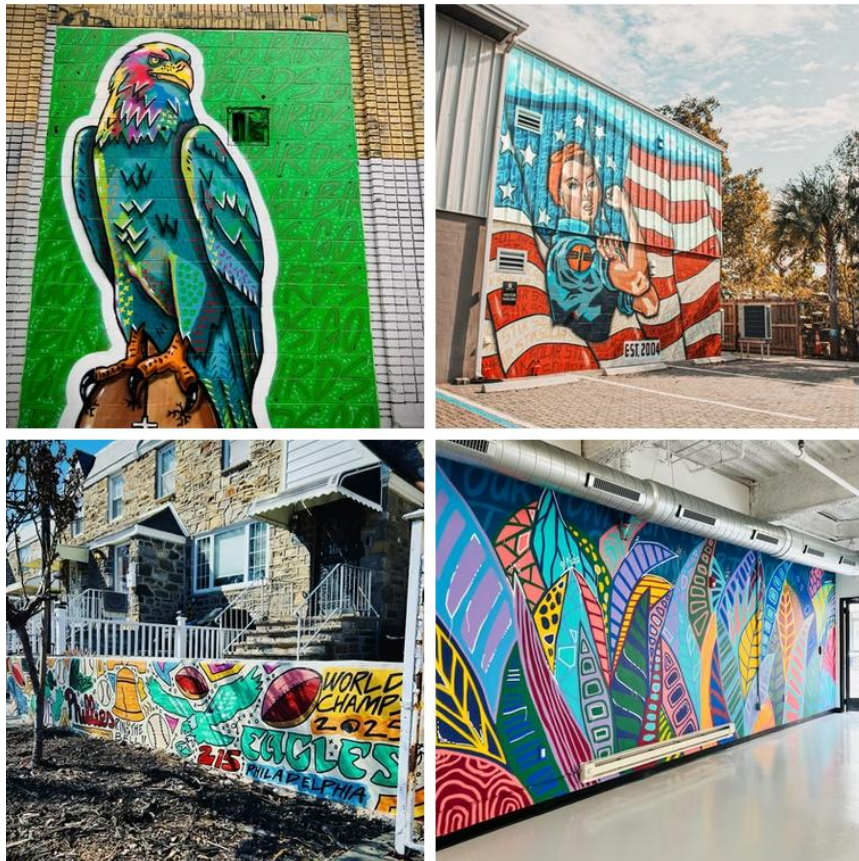
Tiff Urquhart is a queer, female contemporary artist shaking things up on the East Coast. Born and raised in Florida, she found inspiration in the raw beauty of her surroundings, turning a childhood passion for art into a mission-driven career. With a Bachelor of Arts in Graphic Design and Fine Art from Flagler College, Tiff has made waves with her fearless, bold creations that merge environmental and social activism.

From street murals to high-profile commissions, Tiff's portfolio spans the country, featuring clients like the Philadelphia 76ers, Philadelphia Eagles, Mural Arts Philadelphia, and more. Her work even graced the halls of the U.S. Capitol while she was still in high school.

Now focusing on street art and community-driven projects, Tiff is all about making art that matters. With a style that's unapologetic and a voice that's impossible to ignore, she's here to leave her mark—one wall at a time.

URL: <https://www.tiffurquhart.com/home>

<https://www.tiffurquhart.com/murals>



TIFF URQUHART





Iron Valor CrossFit Mural Maintenance Plan

1. Paint Specifications

- **Paint Type:** *Montana Colors MTN 94* — synthetic matte finish aerosol spray paint, designed for exterior murals with high pigment load and weather resistance

- **Color Palette & Codes:**

The mural will exclusively utilize MTN 94 Spray Paint in the following colors:

- *Shadow Black*
- *Judea Brown*
- *Solar Orange*
- *Pearl Grey*
- *Native Grey*
- *Turquoise Green*
- *Erasmus Green*
- *Bali Green*
- *Perseus Blue*
- *Navy Blue*
- *Marseilles Blue*
- *Vivid Red*
- *Blood Red*
- *Fever Red*
- *Tana Brown*
- *Kraft Brown*
- *Sundance*
- *Black*
- *White*



Iron Valor CrossFit Mural Maintenance Plan

A comprehensive paint log with can codes and batch numbers will be archived at project completion.

2. Surface Preparation & Painting Technique

- **Surface Prep:**
 - Wall cleaned by pressure washing at 2500–3000 psi
 - Existing loose paint, mildew, or contaminants removed
 - Cracks, voids, and imperfections patched with *Sherwin-Williams Loxon Patch and Seal*
 - Primer coat of *Loxon Concrete & Masonry Primer* (or equivalent) applied to ensure adhesion of aerosol paints
 - **Painting Method:**
 - Mural painted exclusively using Montana 94 aerosol spray paints
 - Application techniques include:
 - Freehand spray techniques (soft gradients, fades, clean linework)
 - Cap variations (fat cap, skinny cap, calligraphy cap) for desired line weights
 - Minimum of two coats per color where applicable to ensure opacity and colorfastness
-

3. UV Protection Application

- **Protective Product:** *MuralGuard* — a two-component, high-performance, zero-VOC, odorless, water-based aliphatic polyurethane varnish
 - Key features:
 - Provides 10+ years of UV protection



Iron Valor CrossFit Mural Maintenance Plan

- Shields against harsh weather, graffiti, corrosion, and chemical exposure
 - Compatible with aerosol surfaces
 - **Application Method:**
 - Applied using a **pump sprayer** in thin, even coats
 - A minimum of **2–3 coats** will be applied with drying time as specified by the manufacturer between coats
 - Application will be conducted in optimal weather conditions (temperatures 50–85°F, low humidity, no direct rainfall forecasted within 24 hours)
-

4. UV Protection Reapplication Schedule

- **Inspection:** Annually, each Spring (March–May)
 - **Reapplication:** Every **10 years**, or sooner if inspection reveals diminished protection or wear
 - **Documentation:** All maintenance and reapplications will be recorded.
-

5. Ongoing Maintenance & Graffiti Removal

- **Annual Cleaning:**
 - Surface gently washed with soft brush and mild soap/water solution
 - No abrasive cleaning methods (power washing, harsh solvents) to be used
- **Graffiti Removal:**
 - Light graffiti may be removed using MuralGuard-compatible graffiti removers as recommended by the manufacturer

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Blaine C. Dickenson, Esq.

Dickenson Law, P.A.

4800 N. Federal Highway Unit E100

Boca Raton, Florida 33431

Property Appraisers Parcel Identification (Folio) Number: 12-43-46-16-05-097-0011

CFN 20240253174

OR BK 35160 PG 958

RECORDED 7/23/2024 3:33 PM

Deed Consideration Amt: \$2,500,000.00

DEED DOC \$17,500.00

Palm Beach County, Florida

Joseph Abruzzo, Clerk

Pgs: 958 - 959; (Open)

____ Space Above This Line For Recording Data _____

WARRANTY DEED

THIS WARRANTY DEED, made the 22nd day of **July, 2024** by **Northeast 4th Street, LLC, a Florida limited liability company**, whose post office address is **3725 Lone Pine Road, Delray Beach, FL 33445**, herein called the Grantor, to **Stein Time, LLC, a Florida limited liability company**, whose post office address is **2232 Widener Terrace, Wellington, FL 33414**, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in PALM BEACH County, State of Florida, viz.:

Lots 1, 2, and 3, Less the East 135 feet thereof, and Less the West 16 feet thereof for alley right of way, Block 97, Highland Park, according to the plat thereof as recorded in Plat Book 2, Page 79, Public Records of Palm Beach County, Florida.

Subject to easements, restrictions and reservations of record, which are not hereby reimposed, and taxes for the year 2024 and thereafter.

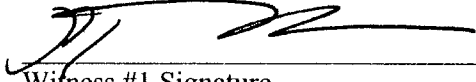
TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness #1 Signature

Thomas N. Murphy
Witness #1 Printed Name

6 D. F. Wood Landing
Witness #1 Printed Address

Gulf Stream, FL 33483
Witness #1 Printed City, State & Zip

Abbie Young
Witness #2 Signature

Abbie Young
Witness #2 Printed Name

4800 N. Federal Highway, #E-100, Boca Raton, FL 33431

Witness #2 Printed Address.

Witness #2 Printed City, State & Zip

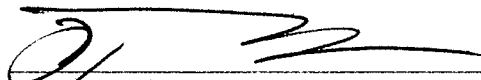
Northeast 4th Street, LLC, a Florida limited liability company

By: Sonya M. Costin
Sonya M. Costin as Trustee of the Costin Family Revocable Living Trust dated April 20, 2012, as Amended and Restated, its Authorized Member

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 11th day of July, 2024 by Sonya M. Costin as Trustee of the Costin Family Revocable Living Trust dated April 20, 2012, as Amended and Restated, the Authorized Member of Northeast 4th Street, LLC, a Florida limited liability company who is personally known to me or has produced _____ as identification.

SEAL


Notary Public

Thomas N. Murphy
Printed Notary Name

My Commission Expires:



THOMAS N. MURPHY, JR.
Notary Public
State of Florida
Comm# HH457496
Expires 1/4/2028