



7TH AVENUE BANYAN

3 STORY MIXED-USE MASONRY MODERN BUILDING

LOTS 25,33,43 BLOCK 12
DELRAY BEACH, FL

Owner:

MDG Banyan Delray Partners, LLC.
227 West Monroe, Suite 5040
Chicago, Illinois 60606

Architect:

LDG I Living Designs Group Florida Architects, Inc.
1005 Lake Avenue, Lake Worth, FL 33460
www.ldgfla.com

Photometric Consultant:

Sesco Lighting
737 Shotgun Rd, Ft. Lauderdale FL, 33326

Civil Engineer:

Envirodesign Associates Inc.
298 Pineapple Grove Way, Delray Beach FL 33444
www.envdesign.com

Landscape Architect:

AGT Land Landscape Architecture
132 N. Swinton Avenue, Delray Beach FL 33444

Consulting Arborist:

Sutton Consulting Arborist
Lake Worth, FL 33460
561-493-3310

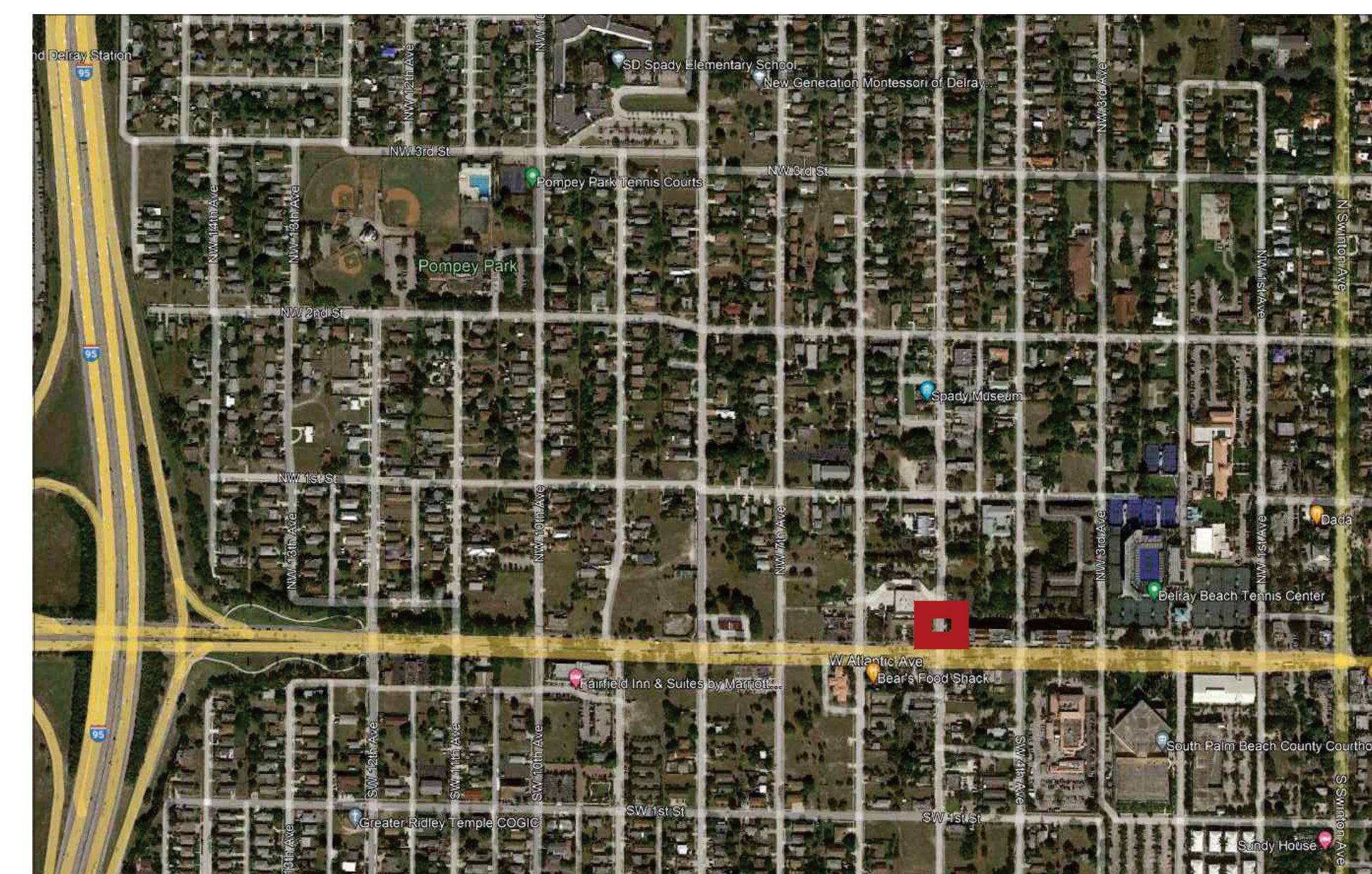
JOHN W SZERDI
AR #7991

Digitally signed by
JOHN W SZERDI
AR #7991
Date: 2022.08.17
13:26:04 -04'00'

SITE PLAN APPROVAL SET

December 22, 2021

(TAC Resubmittal 8/17/2022)



GENERAL NOTES

1.
- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
2.
- SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS
3.
- THE MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. IF CONFLICT IS FOUND BETWEEN DRAWINGS, GENERAL NOTES, AND SPECIFICATIONS, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF SUCH WORK. SHOULD THERE BE A DISCREPANCY BETWEEN ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION BEFORE INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
5.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, AND CONDITIONS AT THE SITE PRIOR TO COMMENCING WITH THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
6.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
7.
- WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
8.
- DIMENSIONS ARE TYPICALLY TO FACE OF FINISH UNLESS OTHERWISE NOTED.
9.
- FLOOR ELEVATIONS ARE TYPICALLY TO TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
10.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.
11.
- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION.
12.
- NO MATERIAL OR PRODUCT SUBSTITUTIONS SHALL BE MADE FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.

CODE REQUIREMENTS

APPLICABLE CODES:
BUILDING CODE - FLORIDA BUILDING CODE, BUILDING 2020
MECHANICAL CODE - FLORIDA BUILDING CODE, MECHANICAL 2020
PLUMBING CODE - FLORIDA BUILDING CODE, PLUMBING 2020
ELECTRICAL CODE - NATIONAL ELECTRICAL CODE 2020 / NATIONAL FIRE ALARM CODE 2020
FIRE CODE - FLORIDA FIRE PREVENTION CODE 7TH EDITION / NFPA 1 UNIFORM FIRE CODE 2021 EDITION
LIFE SAFETY CODE - NFPA 101 LIFE SAFETY CODE 2021 EDITION
ACCESSIBILITY CODE - FLORIDA BUILDING CODE - A, BUILDING 2020
ENERGY CODE - FLORIDA BUILDING CODE, BUILDING 2020

ABBREVIATIONS

ABV	ABOVE	FOS	FACE OF STUD	PLAS	PLASTER
@	AT	FOUND	FOUNDATION	PL	PLATE
ACOUS	ACOUSTICAL	FSP	FIRE STAND PIPE	PLYWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	FT	FEET	PTD	PAINTED
ALUM	ALUMINUM	GALV	GALVANIZED	REQ'D	REQUIRED
BLDG	BUILDING	GD	GRADE	RL	RAIN LEADER
BLKG	BLOCKING	GR FL	GROUND FLOOR	RM	ROOM
BO	BOTTOM OF	GWB	GYPSUM WALL BOARD	RO	ROUGH OPENING
BOW	BOTTOM OF WALL	GYP	GYPSUM	SC	SOLID CORE
BOWF	BOTTOM OF WINDOW FRAME	HC	HANDICAPPED	SER	SERVICE
CER	CERAMIC	HD	HEADER	SHT	SHEET
CHAN	CHANNEL	HDWD	HARDWOOD	SIM	SIMILAR
CJ	CONTROL JOINT	HOR	HORIZONTAL	SPEC	SPECIFICATION
CL	CENTER LINE	HT	HEIGHT	SS	STAINLESS STEEL
CLOS	CLOSET	INSUL	INSULATION	STOR	STORAGE
CLR	CLEAR	JAN	JANITOR	STL	STEEL
CMU	CONCRETE MASONRY UNIT	JT	JOINT	STRUCT	STRUCTURAL
CO	CENTER OF	KIT	KITCHEN	SQ	SQUARE
COL	COLUMN	LCC	LEAD COATED COPPER	TEL	TELEPHONE
CONC	CONCRETE	LOC	LOCATION	TO	TOP OF
CONT	CONTINUOUS	MACH	MACHINE	TOC	TOP OF COPING
CT	CERAMIC TILE	MAS	MASONRY	TODF	TOP OF DOOR FRAME
DWG	DRAWING	MFR	MANUFACTURER	TOS	TOP OF STEEL
DN	DOWN	MECH	MECHANICAL	TOW	TOP OF WALL
EG	EXTERIOR GRADE	MIN	MINIMUM	TOWF	TOP OF WINDOW FRAME
EL	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRICAL	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
EMER	EMERGENCY	MTNG	MEETING	VCT	VINYL COMPOSITE TILE
EQ	EQUAL	MTL	METAL	VEND	VENDING
EXP	EXPANSION	NIC	NOT IN CONTRACT	VERT	VERTICAL
EXT	EXTERIOR	NTS	NOT TO SCALE	VIN	VINYL
FD	FLOOR DRAIN	OC	ON CENTER	VNR	VENEER
FE	FIRE EXTINGUISHER	OH	OPPOSITE HAND	W/	WITH
FF	FINISH FLOOR	OPEN'G	OPENING	W/OUT	WITHOUT
FIN	FINISH	OPP	OPPOSITE	WD	WOOD
FL	FLOOR	P LAM	PLASTIC LAMINATE	WNDW	WINDOW

INDEX OF DRAWINGS

SHEET #	DRAWING TITLE
	COVER SHEET AND AREA MAPS BOUNDARY & TOPOGRAPHIC SURVEY
ARCHITECTURAL	
A0.01	DRAWING INDEX AND GENERAL NOTES
A0.02	PROJECT DATA AND NOTES
A0.20	REGULATING PLAN, NOTES AND DETAILS
A0.21	SITE PLAN & COMPOSITE PLAN
A1.10	FIRST FLOOR PLAN
A1.20	SECOND FLOOR PLAN
A1.30	THIRD FLOOR PLAN
A1.40	ROOF PLAN
A2.00	BUILDING ELEVATIONS
A2.10	PROPORTIONING ELEVATIONS
A2.20	COLORED ELEVATIONS AND MATERIALS
A3.00	STREETSCAPE SECTIONS AND SIGHT LINES
A3.10	3D VIEWS, VISUAL IMPACT & STREETS ELEV.S.
CIVIL	
C1	CIVIL SITE IMPROVEMENT PLAN
C2	PAVING & DRAINAGE DETAILS
C3	PAVING & DRAINAGE DETAILS
C4	GENERAL NOTES
C5	WATER & WASTEWATER DETAILS
C6	WATER & WASTEWATER DETAILS
C7	POLLUTION PREVENTION PLAN
CU-1	COMPOSITE UTILITY PLAN
LANDSCAPE	
TR-1	TREE DISPOSITION PLAN
HS-1	HARDSCAPE PLAN
LP-1	LANDSCAPE PLAN
LP-2	SPECIFICATIONS AND DETAILS
IR-1	IRRIGATION PLAN
PHOTOMETRIC CALCULATIONS	
ES-1	SITE LIGHTING & EMERGENCY PHOTOMETRIC PLAN
ES-2	STREET LIGHTING AND ROOF TERRACE PHOTOMETRIC PLAN

SYMBOLS

	WORK POINT / DATUM POINT		INTERIOR ELEVATION DESIGNATION Elevation Identification Sheet where Elevation is drawn
	REVISION Revision Number		PLYWOOD
	SECTION DESIGNATION Section Identification Sheet where Section is drawn		GLASS
	WALL SECTION DESIGNATION Section Identification Sheet where Section is drawn		ACOUSTICAL TILE OR BOARD
	DETAIL DESIGNATION Detail Identification Sheet where Detail is drawn		GYPSUM WALLBOARD
	ROOM DESIGNATION Room Number		INSULATION, BATT
	DOOR SYMBOL Door Number		INSULATION, RIGID
	WINDOW TYPE / LOUVER TYPE		SAND / MORTAR / PLASTER
			CAST-IN-PLACE CONCRETE
			CONCRETE BLOCK
			BRICK
			STONE / MARBLE / GRANITE
			STEEL / METAL
			WOOD, FINISHED
			WOOD, FRAMING (THROUGH MEMBER)
			WOOD, FRAMING (INTERRUPTED MEMBER)

LDG | Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
ARF7991
www.ldgfla.com

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W SZERDI AR
#7991
Digitally signed by JOHN W SZERDI AR #7991
Date: 2022.08.17 13:26:23 -04'00'

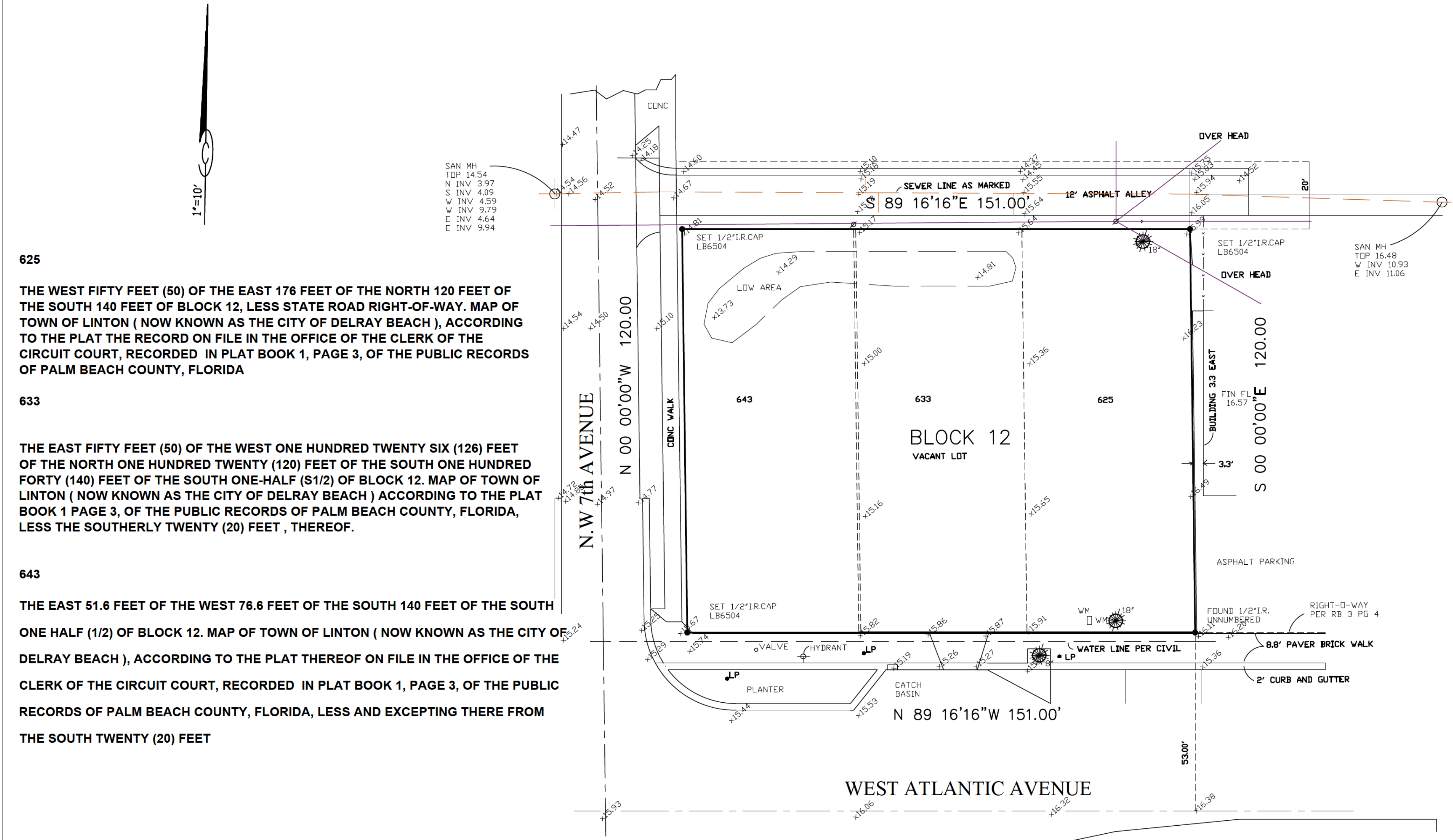
REVISION:	DATE:

GENERAL NOTES &
DRAWING INDEX

DATE: 8/17/2022
SCALE: N.T.S.
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:

A0.01



625

THE WEST FIFTY FEET (50) OF THE EAST 176 FEET OF THE NORTH 120 FEET OF THE SOUTH 140 FEET OF BLOCK 12, LESS STATE ROAD RIGHT-OF-WAY. MAP OF TOWN OF LINTON (NOW KNOWN AS THE CITY OF DELRAY BEACH), ACCORDING TO THE PLAT THE RECORD ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

633

THE EAST FIFTY FEET (50) OF THE WEST ONE HUNDRED TWENTY SIX (126) FEET OF THE NORTH ONE HUNDRED TWENTY (120) FEET OF THE SOUTH ONE HUNDRED FORTY (140) FEET OF THE SOUTH ONE-HALF (S1/2) OF BLOCK 12. MAP OF TOWN OF LINTON (NOW KNOWN AS THE CITY OF DELRAY BEACH) ACCORDING TO THE PLAT BOOK 1 PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE SOUTHERLY TWENTY (20) FEET , THEREOF.

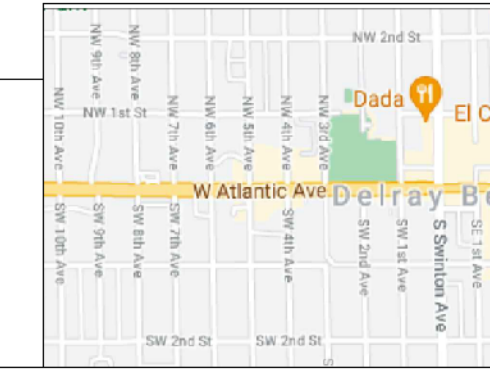
643

THE EAST 51.6 FEET OF THE WEST 76.6 FEET OF THE SOUTH 140 FEET OF THE SOUTH ONE HALF (1/2) OF BLOCK 12. MAP OF TOWN OF LINTON (NOW KNOWN AS THE CITY OF DELRAY BEACH), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS AND EXCEPTING THERE FROM THE SOUTH TWENTY (20) FEET


NOTES:

- 1) BEARINGS SHOWN HEREON ARE RELTAVE TO PLAT AND ARE ASSUMED.
- 2) NO ABSTRACT OR TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICA VERTICAL DATUM 1988 UNLESS OTHERWISE NOTED.
- 4) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

DR.B. = official record book	TRAN. = transformer pad	P.B. = plat book	P = plat	P.G. = page
C.B.S. = concrete block structure	F.P.&L. = Florida power and light	TYP. = typical	Ø = power pole	IR. = iron rod
P.C.C. = point of compound curve	OM = concrete monument	R/W = right-of-way	M = MEASURED	R = radius
P.C.P. = permanent control point	P.R.C. = point of reverse	Δ = central angle	IP = IRON PIPE	D = deed
P.O.C. = point of commencement	P.I. = point of intersection	⊙ = bearing basis line	RP = radius point	D/S = offset
P.O.B. = point of beginning	P.T. = point of tangency	ASPH. = asphalt	L = ARC LENGTH	CONC. = concrete
D/E = drainage easement	* = not field measured	M.H. = manhole	CL = centerline	ESMT. = easement
C.M.P. = corrugated metal pipe	V.P.F. = wood privacy fence	U/E = utility easement	ALUM. = aluminum	CALC. = calculated
R.L.S. = registered land surveyor	CHATT = chattanooga	CLF = chain link fence	P.C. = point of curvature	
L.B. = licensed business	ELEV = elevation	PRM. = permanent reference monument		



NORTH
NOT TO SCALE
VICINITY
MAP

 801 S.E. 6th Ave., Suite 203 Delray Beach, FL 33483 Phone 61-243-4624 Fax 243-4869	CERTIFIED TO:
AUTHORIZATION NUMBER LB6504 I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER SJ-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.	FLOOD ZONE: X MAP NO. 12099C0979 F MAP DATE: 10-5-2017 DATE: 6-8-2021 JOB NO. 4-21-007 REVISED
HARRY A BURGESS PLS 5089	NOT VALID UNLESS SEALED WITH EMBOSSED SURVEYOR'S SEAL

Digitally signed by
HARRY A BURGESS
Date: 2022.04.12
08:03:21 -04'00'

Shared Parking Calculations Table											
		Weekday						Weekend			
		Night		Day		Evening		Day		Evening	
Use	Required	Midnight to 6 AM		9 AM to 4 PM		6 PM to Midnight		9 AM to 4 PM		6 PM to Midnight	
Residential	0	100%	0	60%	0	90%	0	80%	0	90%	0
Office (8,400 sf @ 1/500sf)	16.8	5%	0.84	100%	16.8	10%	1.68	10%	1.68	5%	0.84
Retail (4,650 sf @1/500sf)	9.3	5%	0.465	70%	6.51	90%	8.37	100%	9.3	70%	6.51
Hotel/ Residential Inn	0	80%	0	80%	0	100%	0	80%	0	100%	0
Restaurant (0sf @ 6/1000sf)	0	10%	0	50%	0	100%	0	50%	0	100%	0
Entertainment/Recreational (theatres, bowling alleys, etc)	0	10%	0	40%	0	100%	0	80%	0	100%	0
Reserved Parking	0	100%	0	100%	0	100%	0	100%	0	100%	0
Other		100%	0	100%	0	100%	0	100%	0	100%	0
TOTALS	26		1		23		10		11		7
The minimum number of parking spaces is the highest time period total at the bottom of the table.											
23 Total Spaces Required											

C.B.D. & C.B.D. OVERLAY SITE REGULATIONS				
REQUIREMENT	CODE LIMITATION	EXISTING	PROPOSED	NOTES
ZONING - LOT 25,33,43	N/A	CBD	CBD	
FUTURE LAND USE - LOT 25,33,43	N/A	COMMERCIAL CORE (CC)	COMMERCIAL CORE (CC)	
TOTAL LOT AREA	2,000	18,118	17,568	REDUCED FROM 2'-0" R.O.W. DEDICATION ALONG W. ATLANTIC AVE
TOTAL BUILDING AREA (GROSS)	N/A	N/A	16,375	
COVERED PARKING AREA	N/A	N/A	2,000	
F.A.R. - CBD	3.0	N/A	1.0459	
BUILDING HEIGHT	54'-0"	N/A	38'-0"	
NUMBER OF STORIES	4	N/A	3	
FRONT SETBACK (W. ATLANTIC AVE)	10'-0" - 15'-0"	N/A	11'-8"	
REAR SETBACK (ALLEY)	10'-0"	N/A	50'-6"	
SIDE SETBACK (NW 7TH AVE)	10'-0" - 15'-0"	N/A	* VARIES 14'-6" - 14'-9"	* BUILDING NOT EXACTLY PARALLEL TO P.L.
SIDE SETBACK (NW 7TH AVE)	0'-0"	N/A	* VARIES 2" - 9"	* BUILDING NOT EXACTLY PARALLEL TO P.L.
CIVIC OPEN SPACE	< 20,000 SF = NO REQ.	N/A	NOT REQUIRED	
ALTERNATIVE FUEL VEHICLES PARKING SPACE	3% OF TOTAL PARKING REQ.	N/A	1	3% OF 23 SPACES PROVIDED = .69

BUILDING DATA AREAS (S.F.)				
	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
NET RETAIL	4,075.0	0.0	0.0	4075.0
GROSS RESTAURANT	0.0	0.0	0.0	0.0
OUTDOOR DINING AREA	0.0	0.0	0.0	0.0
NET OFFICE AREA	0.0	5,190.0	3,210.0	8400.0
NET COMMON AREAS	575.0	2,238.0	1,010.0	3823.0
GROSS OFFICE AREA	0.0	7,428.0	4,220.0	11648.0
TOTAL AREA (GROSS)	4,650.0	7,428.0	4,220.0	16298.0

BICYCLE PARKING CALCULATION - COMMERCIAL USES					
USE	RATE	GROSS AREA (S.F.)	TYPE 2 SPACES REQUIRED	TYPE 1 SPACES REQUIRED	SPACES PROVIDED
RETAIL	1 PER 2500 SF	4,650.0	0 (LESS THAN 10K SF)	1.9	TYPE 1
RESTAURANT	1 PER 2500 SF	0.0	0 (LESS THAN 10K SF)	0.0	TYPE 1
OFFICE	1 PER 5000 SF	11,725.0	0 (LESS THAN 30K SF)	2.3	TYPE 1
TOTAL				4.2	4 SPACES

LDG I Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, Fl 33460
www.ldgfla.com
AR#7991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W SZERDI AR
#7991
Digitally signed by JOHN W SZERDI AR
Date: 2022.08.17 13:26:47 -04'00'

REVISION:	DATE:

PROJECT DATA & CALCULATIONS

DATE: 8/17/2022
SCALE: N.T.S.
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:

A0.02



10 TYP WALL SCONCE



9 TY 8FT LIGHT POLE



8 TYPICAL PARKING POLE LIGHT



6 TYPICAL BENCH



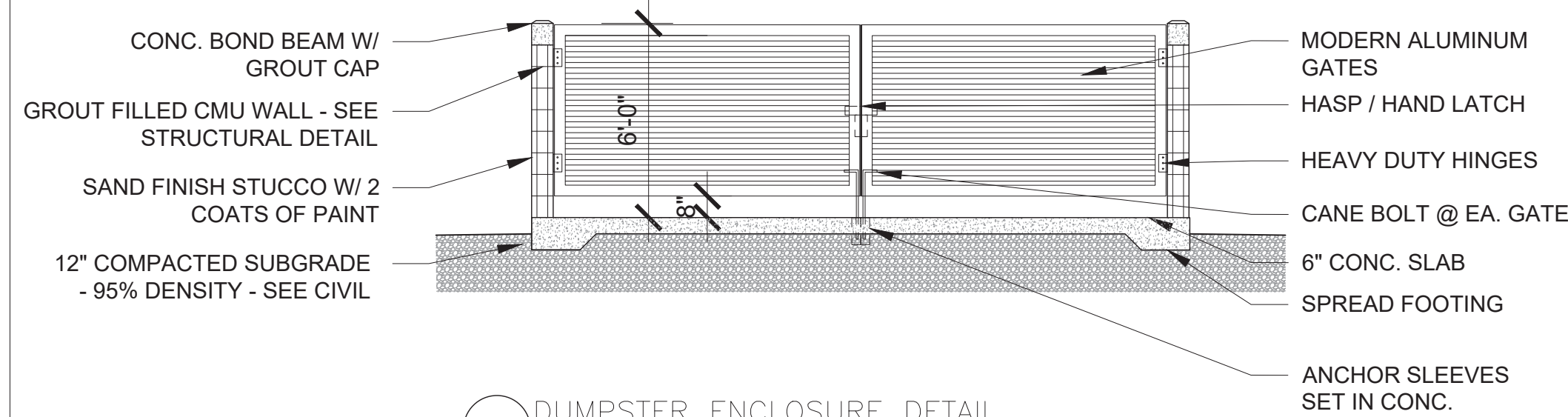
7 TYPICAL BIKE RACK



4 DUMPSTER ENCLOSURE



5 TYPICAL PLANTER



3 DUMPSTER ENCLOSURE DETAIL

REGULATING NOTES

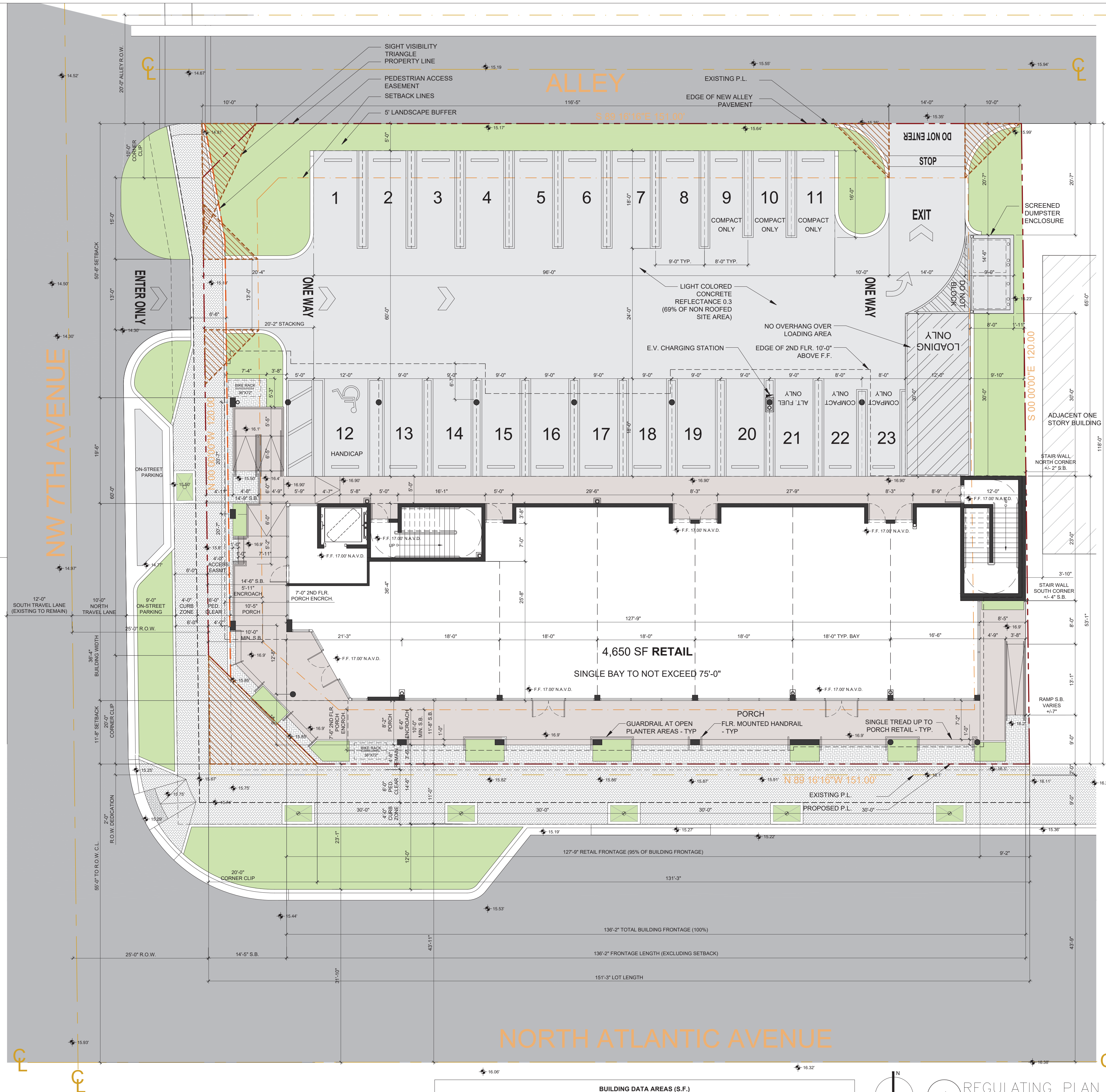
- PER LDR SECTION 4.4.3(F)(10) THE PROJECT WILL COMPLY WITH GREEN BUILDING PRACTICES SUCH AS CROSS-VENTILATION, ENERGY EFFICIENCY, AND GREEN BUILDING DESIGN.
- ALL EMERGENCY GENERATORS PROPOSED ON SITE WILL UTILIZE NATURAL GAS AS A FUEL SOURCE.
- ANTI-SKATE BOARD DEVICES WILL BE INSTALLED ON ALL PLANTERS & KNEEWALLS, TYP. FOR ALL SUBJECT PARCELS.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATED SPRINKLER SYSTEM THAT WILL PROVIDE COMPLETE COVERAGE OF ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED. ALL SYSTEMS SHALL BE DESIGNED TO ALLOW HEAD-TO-HEAD COVERAGE (ONE HUNDRED (100) PERCENT WITH ONE HUNDRED (100) PERCENT OVERLAP.

FIRE DEPARTMENT NOTES

- THIS PROJECT WILL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 5TH EDITION - THE FLORIDA SPECIFIC NFPA 101 FIRE CODE 2021 EDITION AND THE FLORIDA SPECIFIC NFPA 101 LIFE SAFETY CODE 2021 EDITION.
- FIRE PUMPS (IF NEEDED) WILL BE LOCATED ON GROUND LEVEL.
- FIRE ALARM CONTROL PANELS FOR EACH BUILDING WILL BE IN A FIRE SPRINKLER PROTECTED ROOM WHICH WILL BE ACCESSIBLE TO THE FIRE DEPARTMENT AT GRADE LEVEL, WHERE CONDITIONS MEET NFPA 72 NATIONAL FIRE ALARM CODE 2021 EDITION.
- ALL FIREFIGHTING ACCESS POINTS TO BE LABELED AND PLACED ON THE REGULATING PLAN.
- A KEY BOX WILL BE LOCATED ON AN OUTSIDE LOCATION TO THE MAIN LOBBY ENTRY AREAS THAT LEAD TO THE ELEVATOR CORE. A NOTE TO THIS EFFECT WILL BE PLACED ON THE SITE PLAN.
- LIFE SAFETY PLANS WILL BE PROVIDED FOR ALL BUILDINGS IN THE ENGINEERED BUILDING PERMIT DRAWINGS. A NOTE TO THIS EFFECT WILL BE PLACED ON SITE PLAN.

LINETYPE LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	MIN. REQUIRED SETBACK
	R.O.W. CENTER LINE
	EASEMENT
	SIGHT VISIBILITY TRIANGLE

BUILDING DATA AREAS (S.F.)				
	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
NET RETAIL	4,075.0	0.0	0.0	4075.0
GROSS RESTAURANT	0.0	0.0	0.0	0.0
OUTDOOR DINING AREA	0.0	0.0	0.0	0.0
NET OFFICE AREA	0.0	5,190.0	3,210.0	8400.0
NET COMMON AREAS	575.0	2,238.0	1,010.0	3823.0
GROSS OFFICE AREA	0.0	7,428.0	4,220.0	11648.0
TOTAL AREA (GROSS)	4,650.0	7,428.0	4,220.0	16298.0



REVISION:	DATE:

BUILDING AREA AND USES

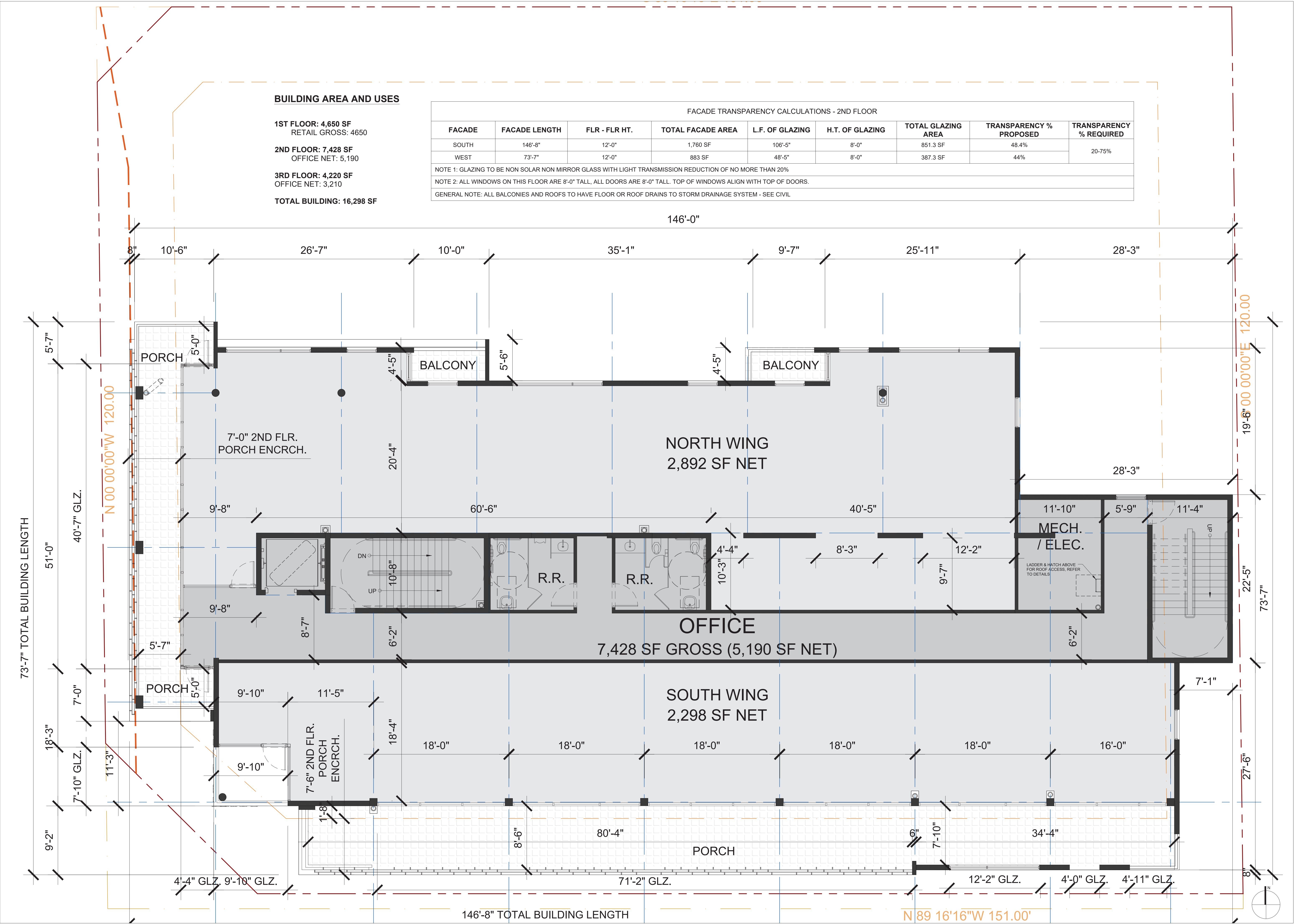
1ST FLOOR: 4,650 SF
RETAIL GROSS: 4650

2ND FLOOR: 7,428 SF
OFFICE NET: 5,190

3RD FLOOR: 4,220 SF
OFFICE NET: 3,210

TOTAL BUILDING: 16,298 SF

FACADE TRANSPARENCY CALCULATIONS - 2ND FLOOR								
FACADE	FACADE LENGTH	FLR - FLR HT.	TOTAL FACADE AREA	L.F. OF GLAZING	H.T. OF GLAZING	TOTAL GLAZING AREA	TRANSPARENCY % PROPOSED	TRANSPARENCY % REQUIRED
SOUTH	146'-8"	12'-0"	1,760 SF	106'-5"	8'-0"	851.3 SF	48.4%	20-75%
WEST	73'-7"	12'-0"	883 SF	48'-5"	8'-0"	387.3 SF	44%	
NOTE 1: GLAZING TO BE NON SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%								
NOTE 2: ALL WINDOWS ON THIS FLOOR ARE 8'-0" TALL, ALL DOORS ARE 8'-0" TALL. TOP OF WINDOWS ALIGN WITH TOP OF DOORS.								
GENERAL NOTE: ALL BALCONIES AND ROOFS TO HAVE FLOOR OR ROOF DRAINS TO STORM DRAINAGE SYSTEM - SEE CIVIL								



LDG | Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com
A07/1991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

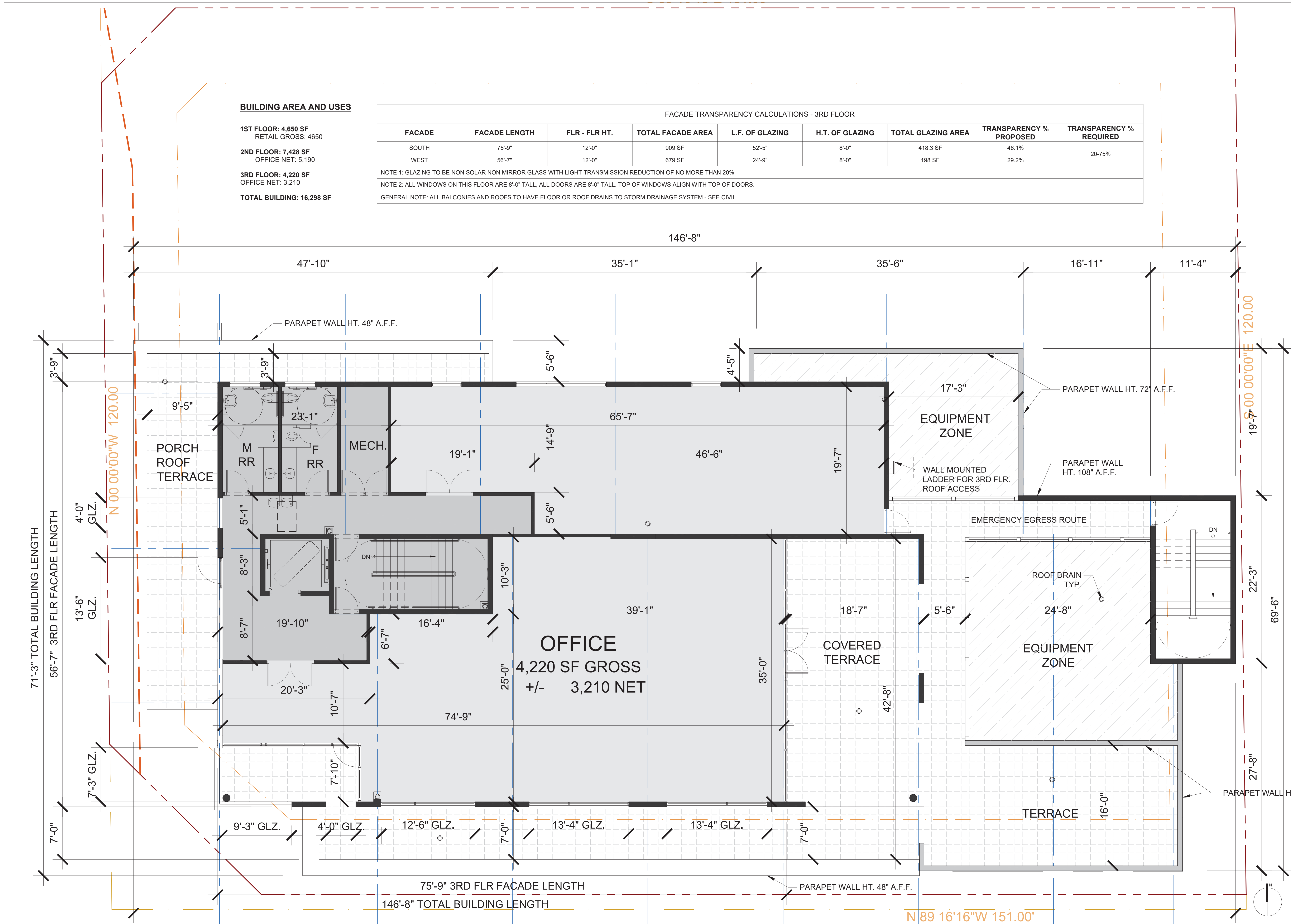
JOHN W SZERDI AR #7991
Digitally signed by JOHN W SZERDI AR #7991
Date: 2022.08.17 13:29:08 -04'00'

REVISION:	DATE:

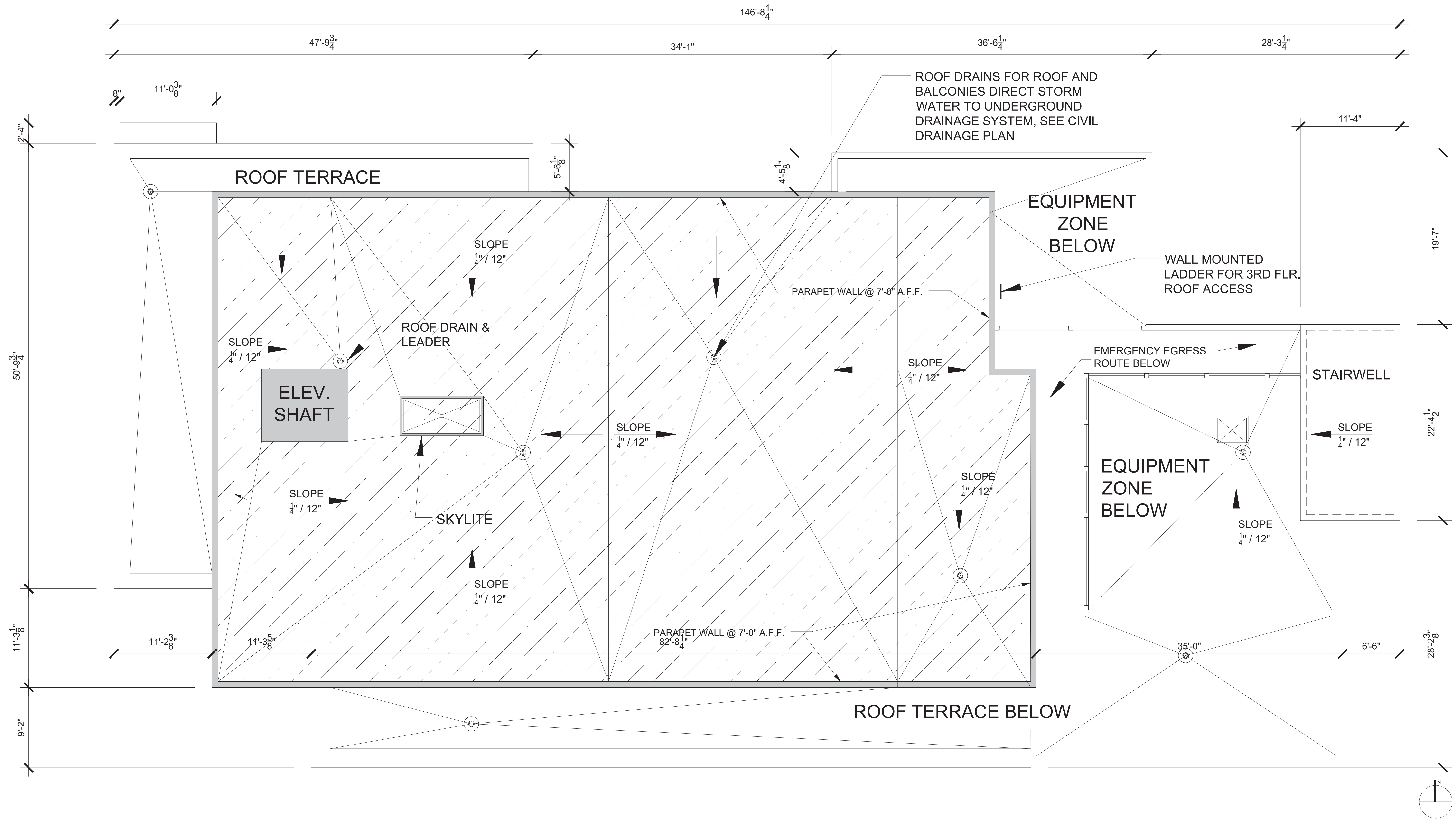
SECOND FLOOR
PLAN

DATE: 8/17/2022
SCALE: 3/8" = 1'
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

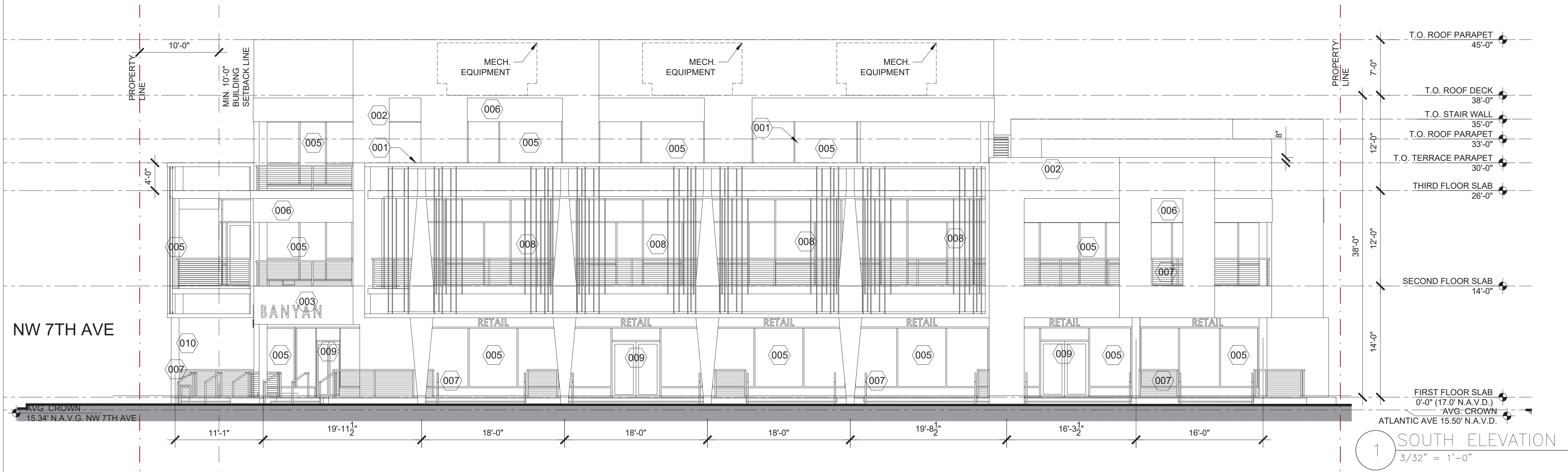
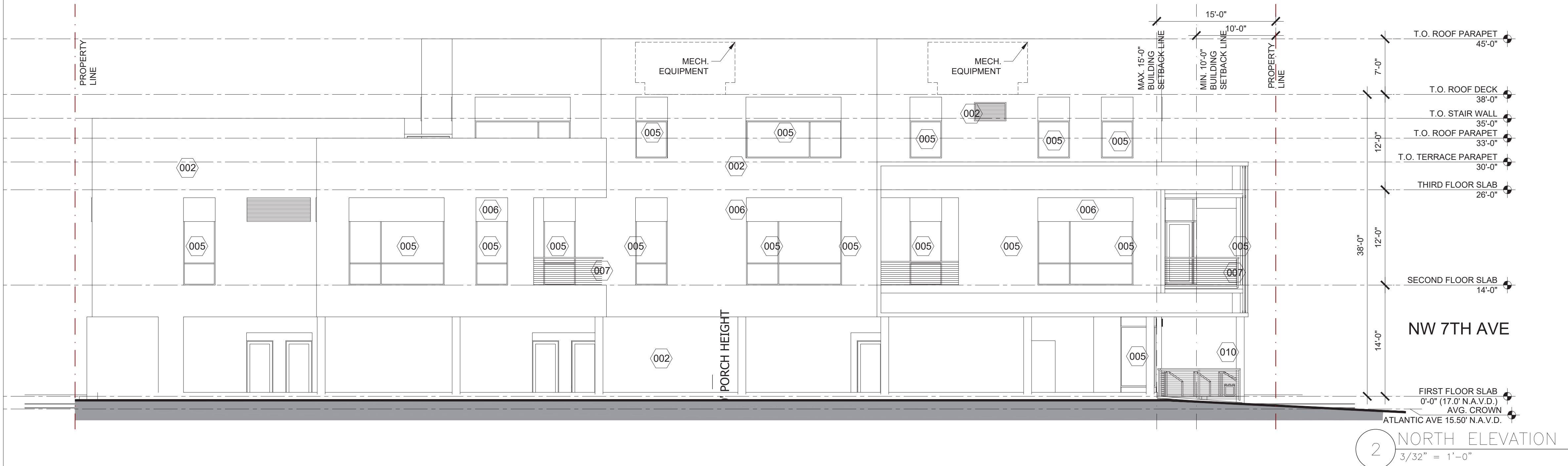
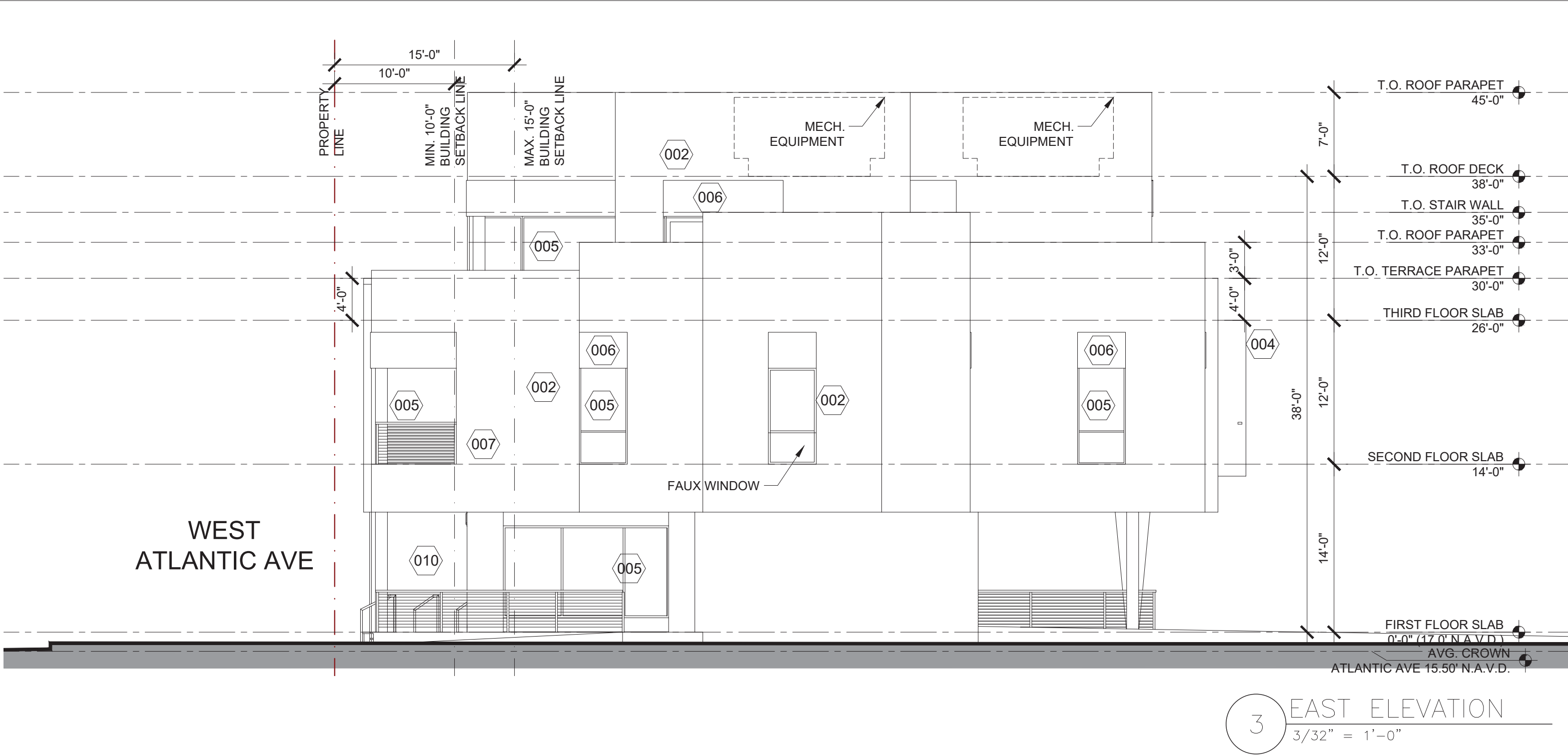
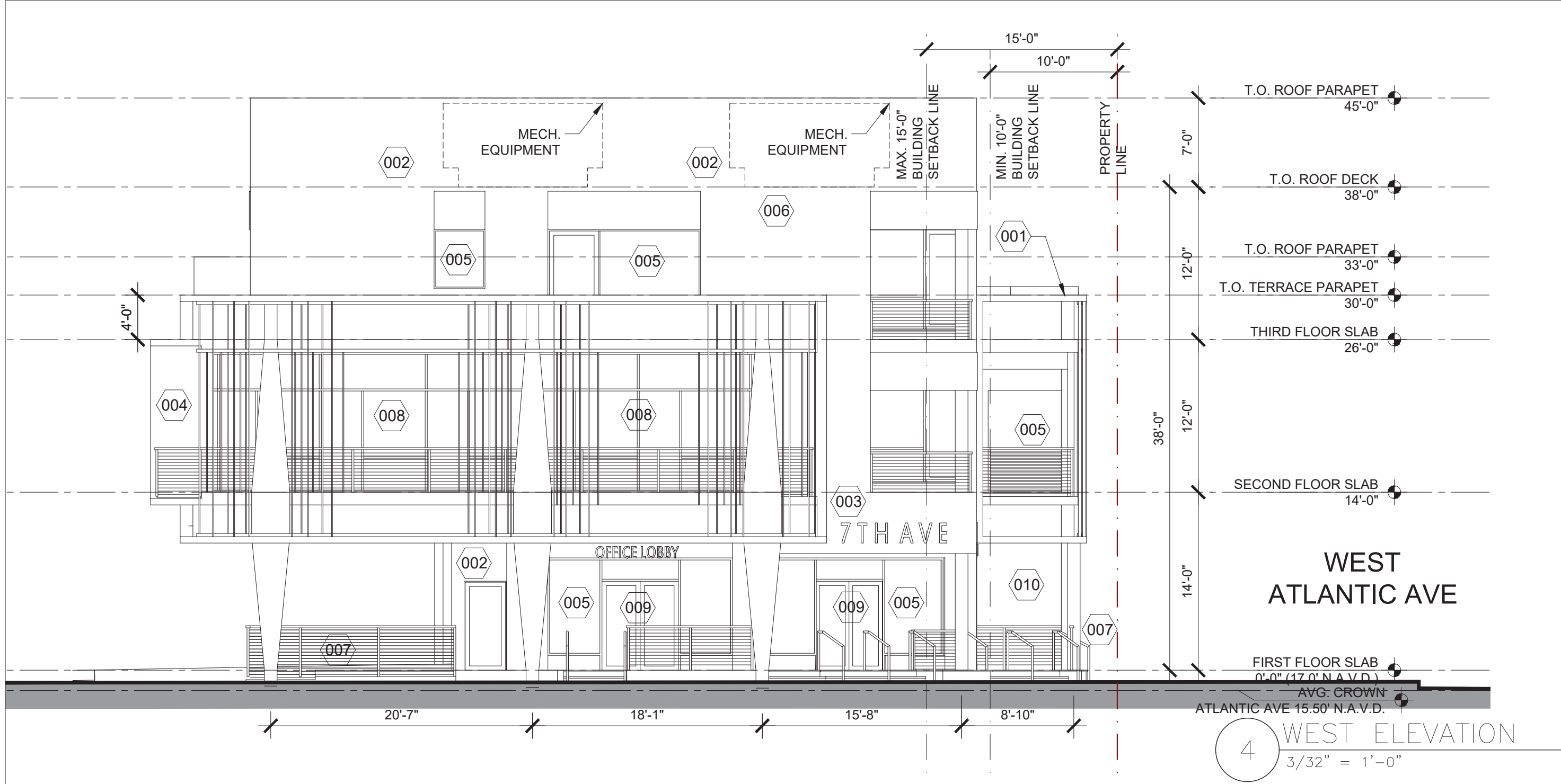
DRAWING:
A1.2



ENERGY STAR ROOF-COMPLIANT, HIGH-REFLECTANCE AND HIGH EMISSIVITY ROOFING (INITIAL REFLECTANCE OF AT LEAST 0.65 AND THREE-YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM E903 AND EMISSIVITY OF AT LEAST 0.9 WHEN TESTED IN ACCORDANCE WITH ASTM 4080 FOR A MINIMUM OF 75 PERCENT OF THE ROOF SURFACE; OR INSTALL A "GREEN" (VEGETATED) ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA
100% OF PROPOSED ROOFING AND TERRACE MATERIALS TO COMPLY WITH ABOVE REFLECTANCE AND EMISSIVITY REQUIREMENTS ABOVE.



REVISION:	DATE:



EXTERIOR WINDOW & DOOR SCHEDULE				
MARK	MASONRY OPENING *2	TYPE	NOA #	GLAZING
005	VARIABLES W X 60'-96H	FIXED WINDOW	FL35065	WHITE
008	VARIABLES W X 96H	STOREFRONT	FL35065	WHITE
009	36"W X 96"H	EXTERIOR DOOR	FL3905	WHITE

NOTES

NOTE 1: GLAZING TO BE NON SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.

NOTE 3: STOREFRONT WINDOWS SHALL HAVE A MIN. BASE OF NINE INCHES TO THREE FEET HIGH. PROPOSED BASE IS 12 INCHES HIGH.

NOTE 4: ALL STOREFRONTS AT GROUND FLOOR SHOULD HAVE A 9" MIN. SILL HT.

NOTE 5: ALL WINDOWS SHALL BE HURRICANE IMPACT, PROVIDE METRO DADE APPROVAL.

NOTE 6: ALL MASONRY OPENINGS TO BE VERIFIED WITH THE MANUFACTURER SPECIFICATIONS.

MATERIAL SPECIFICATIONS			
MARK	DESCRIPTION	MARK	DESCRIPTION
001	ROOFTOP TERRACE WITH EXTENDED PARAPET WALL	006	STONE / TILE LINTELS
002	SMOOTH STUCCO FINISH	007	STL. CABLE GUARDRAILS AND MTL. RAILINGS
003	ENTRANCE SIGNAGE WITH MODERN FONT TYPE	008	MTL. FINS SCREEN SYSTEM
004	CANTILEVERED MASONRY BALCONY	009	EXTERIOR DOORS WITH GLASS
005	WINDOWS & STOREFRONT (WHITE FRAMES)	010	PORCH

COLOR / PAINT SPECIFICATIONS (SHERWIN - WILLIAMS)		
MARK	DESCRIPTION	TYPICAL LOCATIONS
001	WHITE	MAIN STUCCO FACADE
002	LIGHT GRAY	CONCRETE FACADE
003	DARK GRAY	TRIM & ACCENTS
004	DEEP BURGANDY	METAL FINS & WINDOW LINTELS

- GENERAL NOTES
- EXTERIOR BUILDING ELEVATIONS FOR GRAPHIC REPRESENTATION ONLY, REFER TO FLOOR PLANS AND STREET SCAPES SECTIONS.
 - SMOOTH PAINTED STUCCO ON ALL EXTERIOR WALLS, CANOPIES, SOFFITS, AND PARAPETS.
 - ALL CORNICES & MOLDINGS IN 'CBD' DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM THE FACE OF A WALL SURFACE ATTACHED TO.
 - ALL RAILINGS TO BE POWDER COATED ALUMINUM. ALL RAILINGS TO BE CONSTRUCTED SO THAT 4" SPHERE SHALL NOT PASS.
 - ALL WINDOWS AND DOORS TO BE IMPACT RATED. ALL FRAMES TO BE WHITE. SAMPLES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - BUILDING ARCHITECTURAL STYLE IS MASONRY MODERN

LDG I Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com
ARF7991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

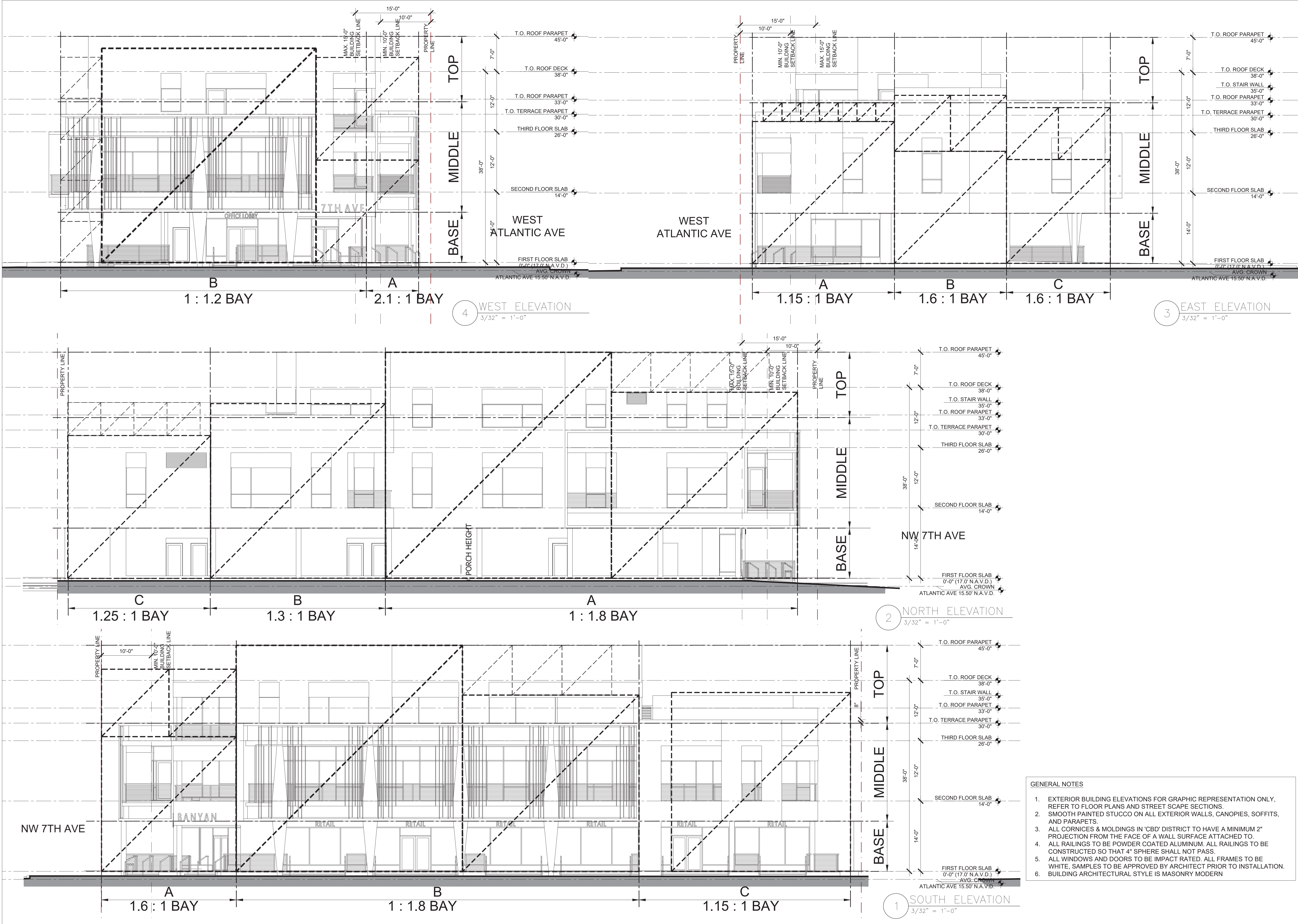
JOHN W
SZERDI AR
#7991
Digitally signed by JOHN
W SZERDI AR #7991
Date: 2022.08.17
13:31:14 -04'00'

REVISION:	DATE:

ARCHITECTURAL
BUILDING
ELEVATIONS

DATE: 8/17/2022
SCALE: AS NOTED
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:
A2.00



LDG | Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com
ARF7991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W
SZERDI AR
#7991
Digitally signed by JOHN
W SZERDI AR #7991
Date: 2022.08.17
13:31:34 -04'00'

REVISION:	DATE:

BUILDING
PROPORTIONING
ELEVATIONS

DATE: 8/17/2022
SCALE: AS NOTED
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:
A2.1



EXTERIOR WINDOW & DOOR SCHEDULE				
MARK	MASONRY OPENING *2	TYPE	NOA #	GLAZING
005	VARIES W X 60'-96H	FIXED WINDOW	FL35065	WHITE
008	VARIES W X 96H	STOREFRONT	FL35065	WHITE
009	36"W X 96"H	EXTERIOR DOOR	FL3905	WHITE
NOTES				
NOTE 1: GLAZING TO BE NON SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%				
NOTE 3: STOREFRONT WINDOWS SHALL HAVE A MIN. BASE OF NINE INCHES TO THREE FEET HIGH. PROPOSED BASE IS 12 INCHES HIGH.				
NOTE 4: ALL STOREFRONTS AT GROUND FLOOR SHOULD HAVE A 9" MIN. SILL HT.				
NOTE 5: ALL WINDOWS SHALL BE HURRICANE IMPACT, PROVIDE METRO DADE APPROVAL				
NOTE 6: ALL MASONRY OPENINGS TO BE VERIFIED WITH THE MANUFACTURER SPECIFICATIONS				

COLOR / PAINT SPECIFICATIONS (SHERWIN - WILLIAMS)		
MARK	DESCRIPTION	TYPICAL LOCATIONS
001	WHITE	MAIN STUCCO FACADE
002	LIGHT GRAY	CONCRETE FACADE
003	DARK GRAY	TRIM & ACCENTS
004	DEEP BURGANDY	METAL FINS & WINDOW LINTELS

- GENERAL NOTES
- EXTERIOR BUILDING ELEVATIONS FOR GRAPHIC REPRESENTATION ONLY, REFER TO FLOOR PLANS AND STREET SCAPE SECTIONS.
 - SMOOTH PAINTED STUCCO ON ALL EXTERIOR WALLS, CANOPIES, SOFFITS, AND PARAPETS.
 - ALL CORNICES & MOLDINGS IN 'CBD' DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM THE FACE OF A WALL SURFACE ATTACHED TO. ALL RAILINGS TO BE POWDER COATED ALUMINUM. ALL RAILINGS TO BE CONSTRUCTED SO THAT 4" SPHERE SHALL NOT PASS.
 - ALL WINDOWS AND DOORS TO BE IMPACT RATED. ALL FRAMES TO BE WHITE. SAMPLES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - BUILDING ARCHITECTURAL STYLE IS MASONRY MODERN

FACADE TRANSPARENCY CALCULATIONS - 3RD FLOOR							
FACADE	FACADE LENGTH	FLR - FLR HT.	TOTAL FACADE AREA	L.F. OF GLAZING	H.T. OF GLAZING	TOTAL GLAZING AREA	TRANSPARENCY % PROPOSED
SOUTH	12'-0"	12'-0"	144 SF	52'-0"	8'-0"	416.3 SF	45.1%
WEST	8'-0"	12'-0"	96 SF	48'-0"	8'-0"	384 SF	24.4%

FACADE TRANSPARENCY CALCULATIONS - 2ND FLOOR							
FACADE	FACADE LENGTH	FLR - FLR HT.	TOTAL FACADE AREA	L.F. OF GLAZING	H.T. OF GLAZING	TOTAL GLAZING AREA	TRANSPARENCY % PROPOSED
SOUTH	14'-0"	12'-0"	168 SF	52'-0"	8'-0"	416.3 SF	45.1%
WEST	12'-0"	12'-0"	144 SF	48'-0"	8'-0"	384 SF	45%

FACADE TRANSPARENCY CALCULATIONS - 1ST FLOOR				
FACADE	FACADE LENGTH	L.F. OF STOREFRONT GLAZING	TRANSPARENCY % PROPOSED	TRANSPARENCY % REQUIRED
SOUTH	136'-2"	113'-11"	94%	80% MIN.
WEST	36'-4"	28'-2"	94%	80% MIN.

LDG I Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
ARF7991
www.ldgfla.com

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W SZERDI AR #7991
Digitally signed by JOHN W SZERDI AR #7991
Date: 2022.08.17 13:31:59 -04'00'

REVISION:	DATE:

COLOR
BUILDING
ELEVATIONS

DATE: 8/17/2022
SCALE: AS NOTED
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:

A2.2

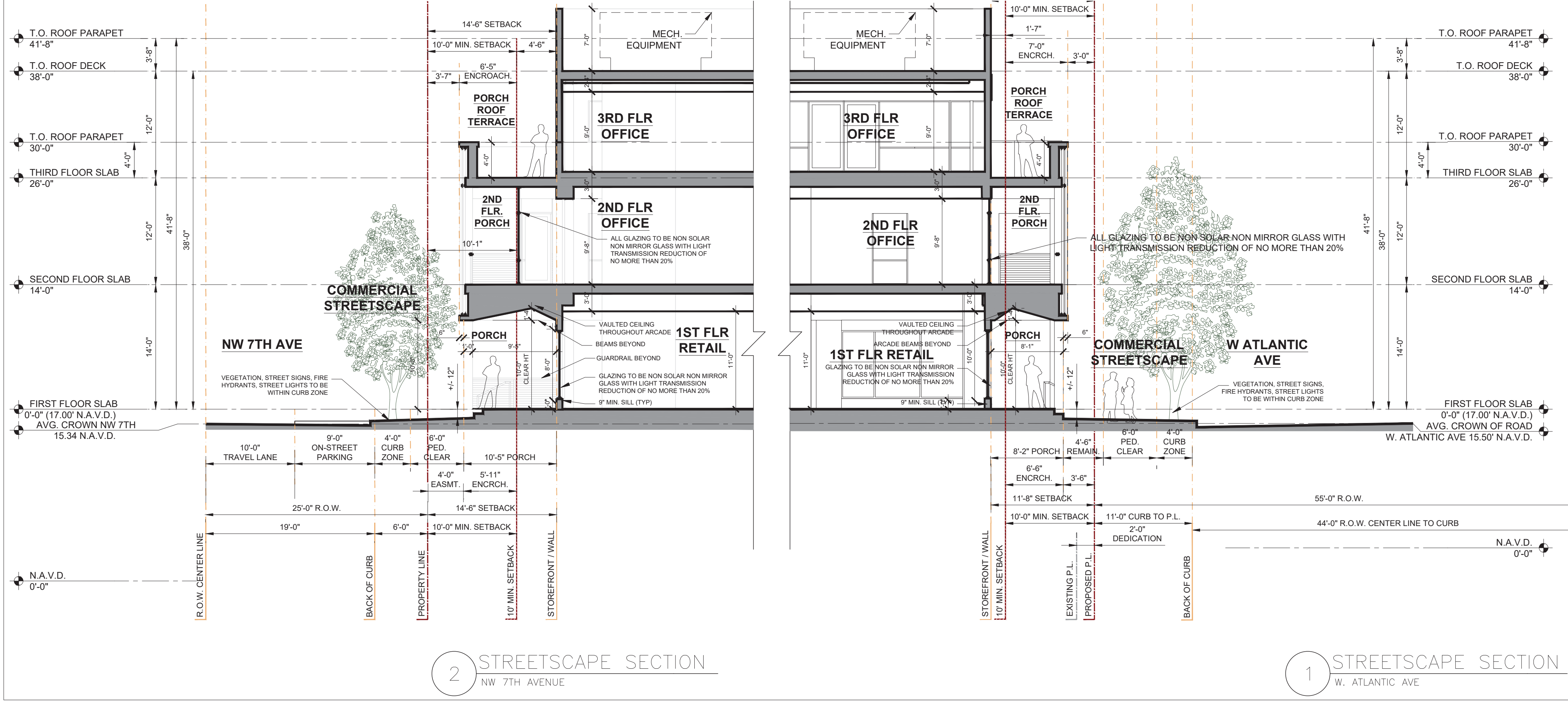
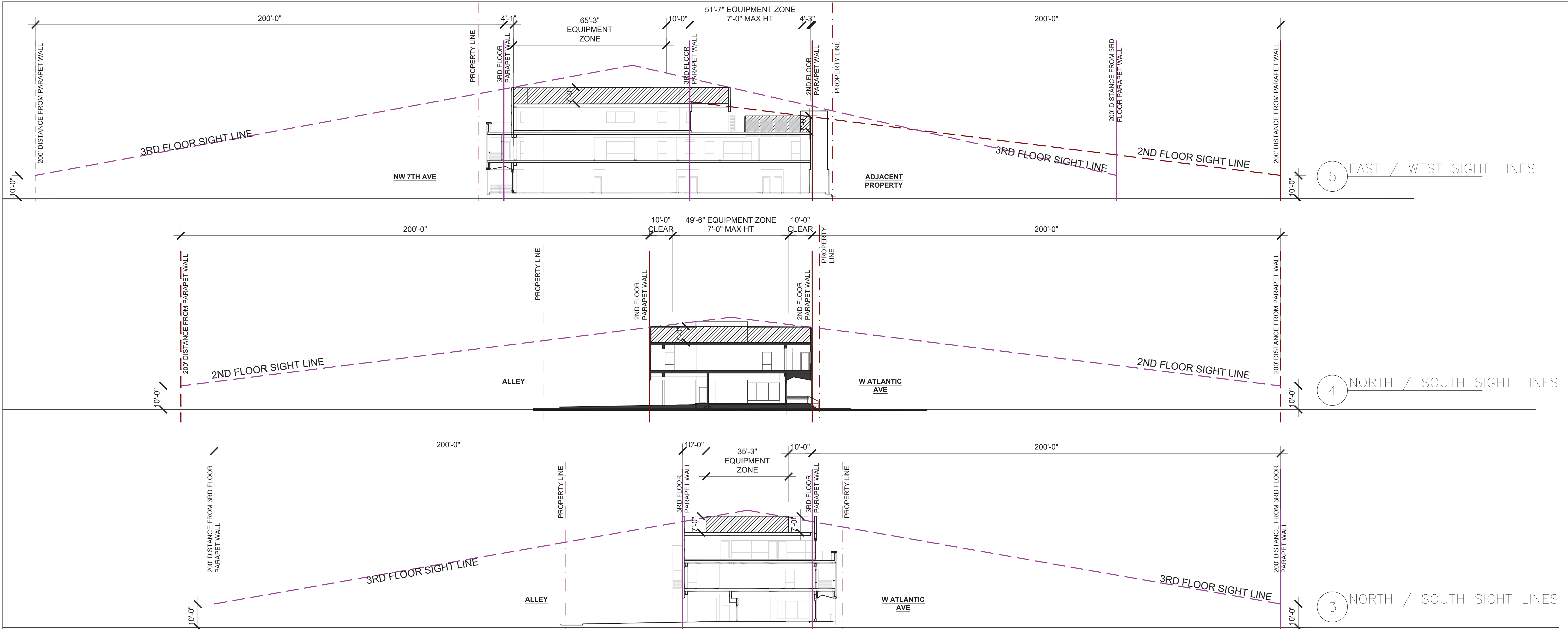


Table 4.4.13(E) Dimensional Requirements for Porch				
		MINIMUM	MAXIMUM	PROPOSED
A	BUILDING SETBACK	VARIES	15 FT.	W. ATLANTIC AVE: 11'-8"
				NW 7TH AVE: VARIES 14'-4" - 14'-9"
B	DEPTH	8 FT.	12 FT.	W. ATLANTIC AVE: 8'-2"
				NW 7TH AVE: 10'-5"
C	WIDTH	40% FACADE	100% FACADE	W. ATLANTIC AVE: +/- 95%
				NW 7TH AVE: 100%
D	FLOOR ELEVATION	.5 FT.	4 FT.	VARIES +/- 1 FT
*	ALLOWABLE ENCROACHMENT *	-	8 FT.	W. ATLANTIC AVE: 6'-6"
				NW 7TH AVE: 5'-11"

* May not encroach into the curb zone or pedestrian clear zone (See Section 4.4.13(E)(2))

LDG | Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com
ARF7991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W SZERDI AR #7991
Digitally signed by JOHN W SZERDI AR #7991
Date: 2022.08.17 13:32:23 -04'00'

REVISION:	DATE:

STREETSCAPE
SECTIONS &
SIGHT LINE
SECTIONS

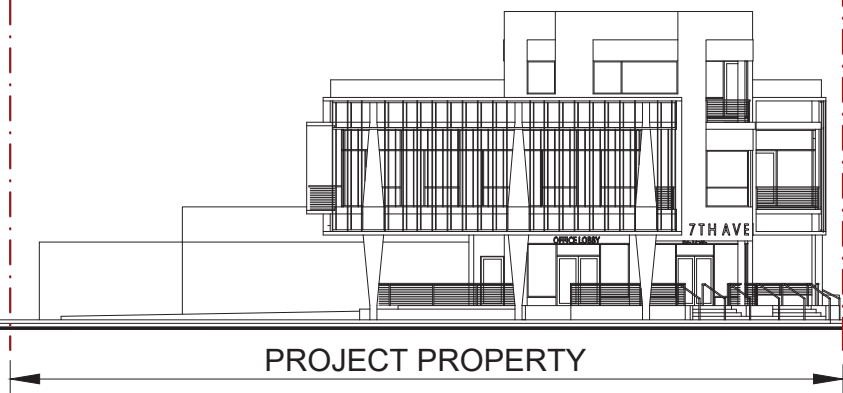
DATE: 8/17/2022
SCALE: AS NOTED
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:

A3.0



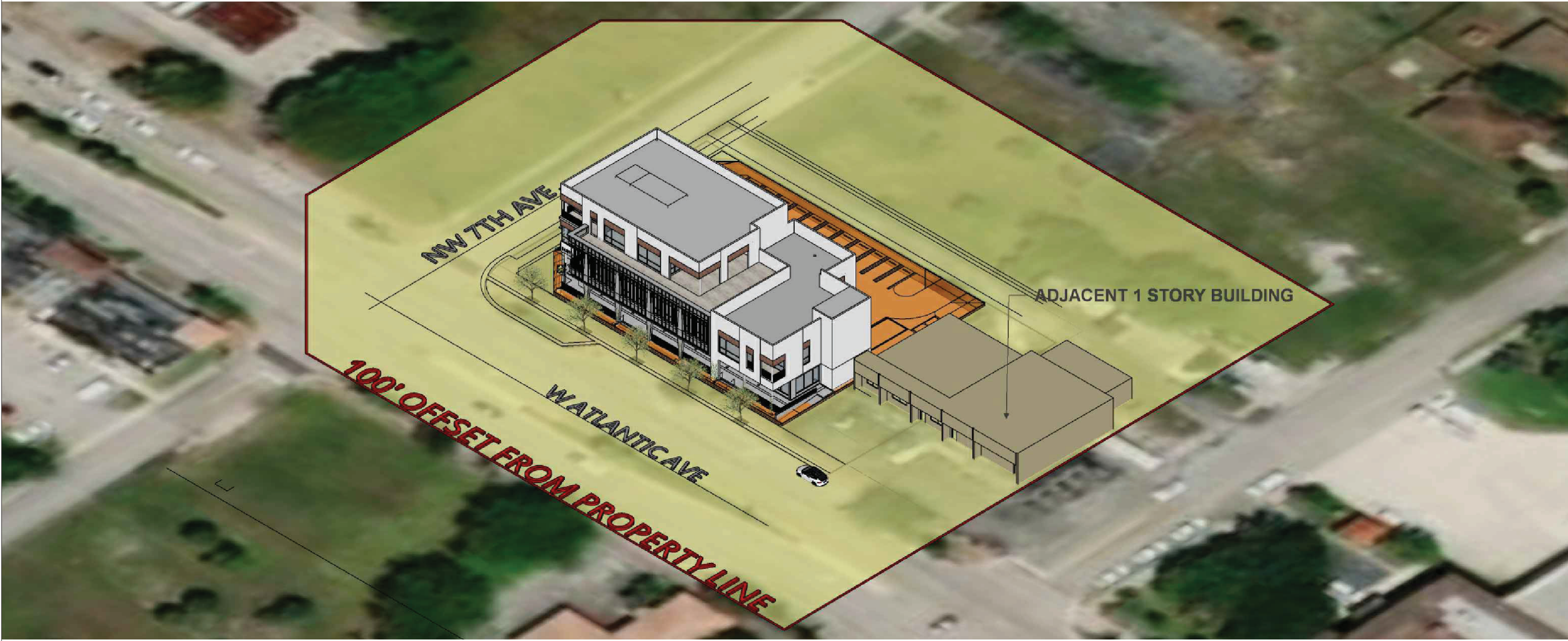
ADJACENT PROPERTIES ARE VACANT OF EXISTING BUILDING STRUCTURES



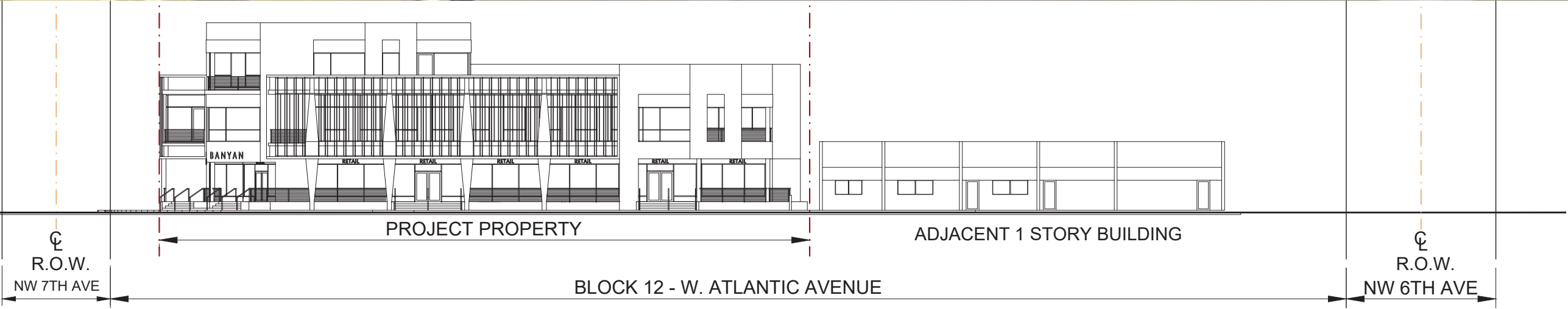
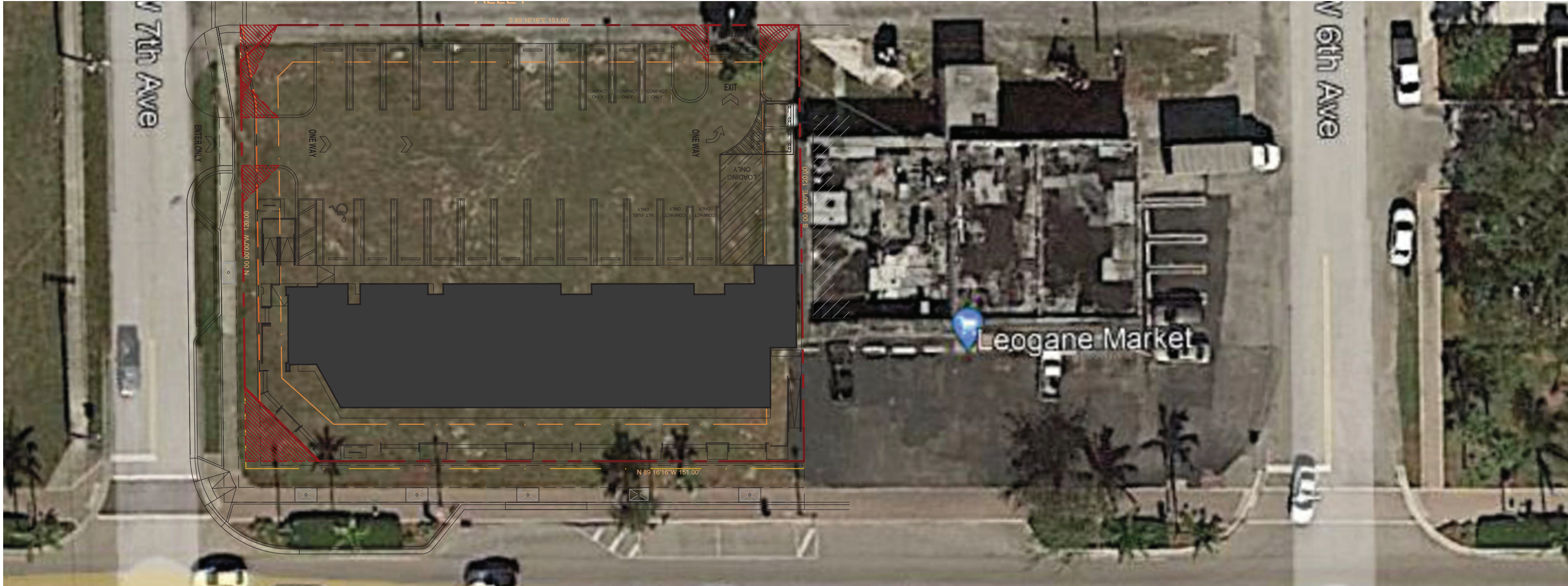
7 STREET ELEVATION
NW 7TH AVE



6 ADJACENT PROPERTY
STREETVIEW PHOTO



5 VISUAL IMPACT
100' OFFSET ANALYSIS



4 STREET ELEVATION
W ATLANTIC AVE



3D VIEW - SOUTH WEST CORNER



3D VIEW - W ATLANTIC AVE



3D VIEW - SOUTH EAST CORNER

LDG I Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com
AR#7991

SITE PLAN
APPROVAL
MIXED-USE BUILDING
NW 7th Ave & Atlantic Ave
Delray Beach, Florida

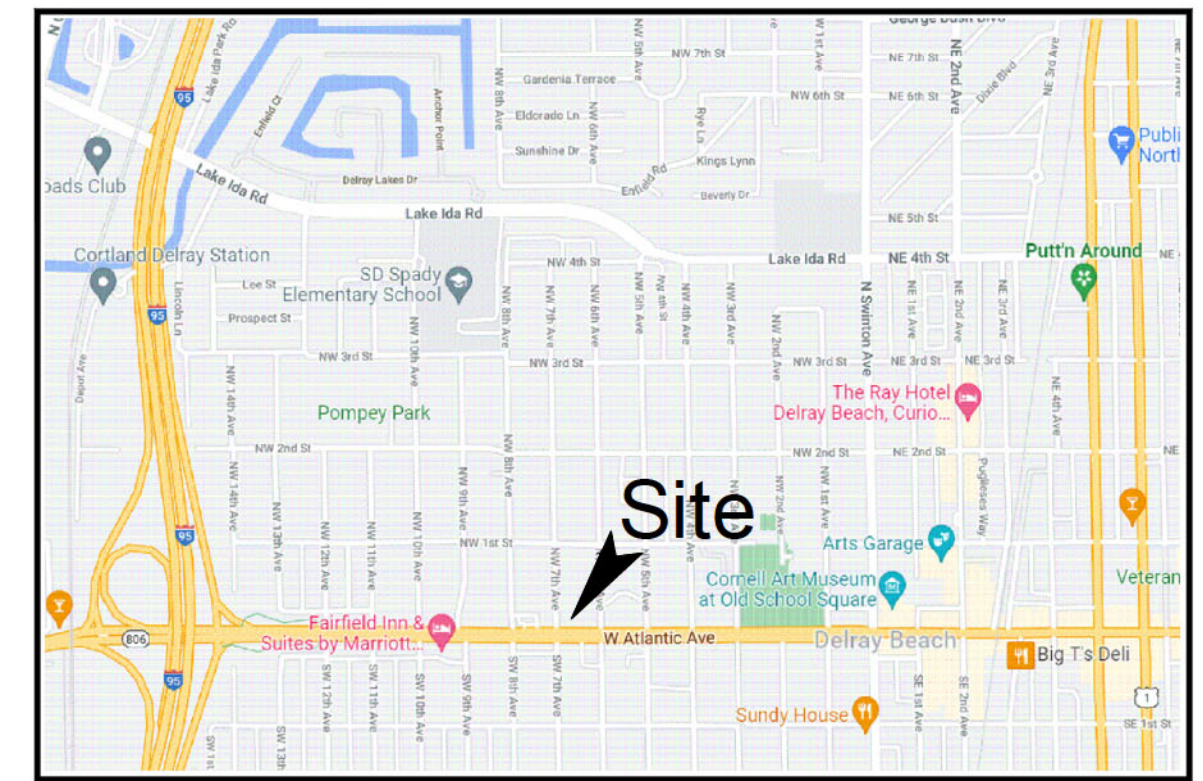
JOHN W SZERDI AR #7991
Digitally signed by JOHN W SZERDI AR #7991
Date: 2022.08.17 13:33:06 -04'00'

REVISION:	DATE:

3D VIEWS & VISUAL
IMPACT ANALYSIS &
STREET ELEVATIONS

DATE: 8/17/2022
SCALE: 1/4" = 1'-0"
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING:
A3.10



LOCATION MAP N.T.S.

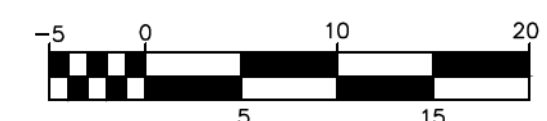
LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER
PLAN PAGE
DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED CONCRETE PAVING
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA PROPOSED 1" MILL & OVERLAY
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- DENOTES AREA OF EXISTING PAVEMENT TRENCH REPAIR FOR UTILITY INSTALLATION - SEE DETAIL SHEET 2
- PROPOSED CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN 8' WIDE X 5' DEEP ROCK TRENCH (BOTTOM EL = 9.0' NAVD)
- STRUCTURE TYPE-NUMBER
RIM ELEVATION
INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED WATER SERVICE TO BE CONNECTED TO MAIN WITH 316 SS DOUBLE STRAP TAPPING SADDLE
- PROPOSED WATER SERVICE WITH BACKFLOW PREVENTER TO BE CONNECTED TO MAIN WITH 316 SS DOUBLE STRAP TAPPING SADDLE
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- EXISTING GATE VALVE
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT
- EXISTING MANHOLE
RIM ELEVATION
INV EL & DIRECTION
INV EL & DIRECTION

Joseph
Pike, PE

Digitally signed by Joseph Pike, PE
DN: cn=Joseph Pike, PE,
o=EnviroDesign Associates, Inc.,
ou,email=jpike@envirodesign.com,
c=US
Date: 2022.08.16 14:26:30 -04'00'

SCALE: 1" = 10'

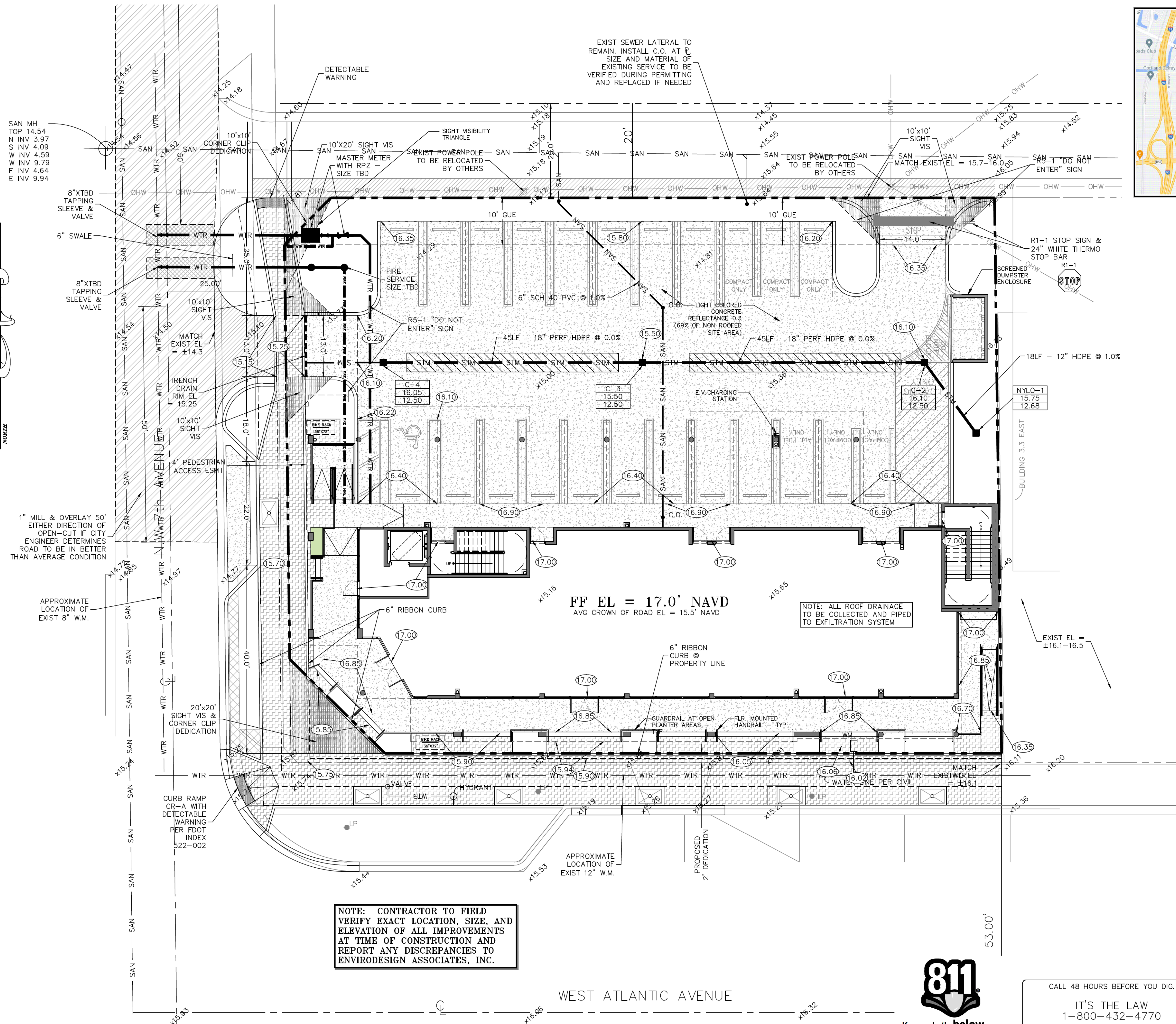


© COPYRIGHT 2022 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

CIVIL SITE IMPROVEMENTS PLAN FOR:
BANYAN WEST ATLANTIC
ATLANTIC AVE & NW 7TH AVE
DELRAY BEACH, FLORIDA

ENVIRODESIGN ASSOCIATES, INC.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-8558 Fax: (561) 274-8558

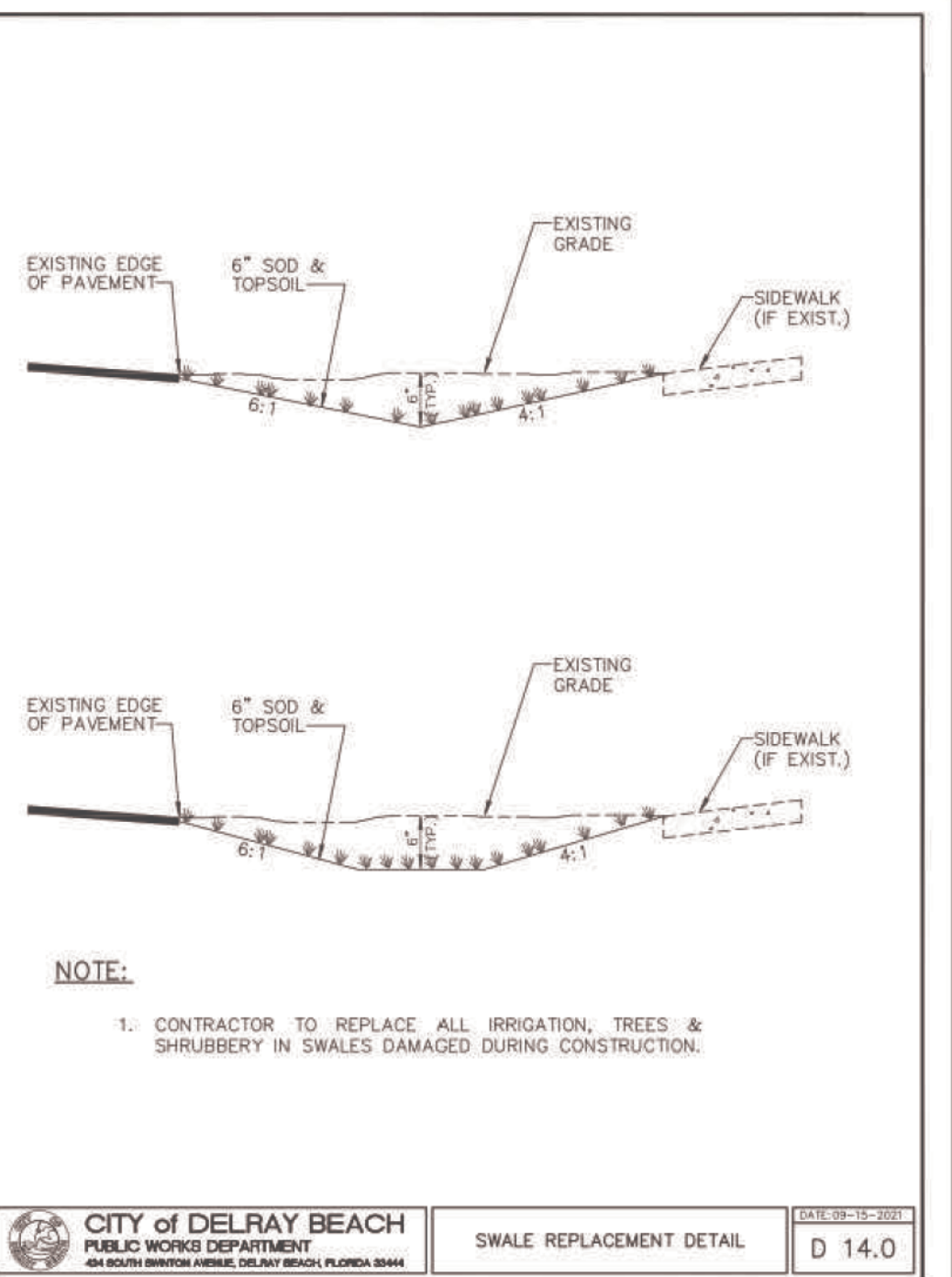
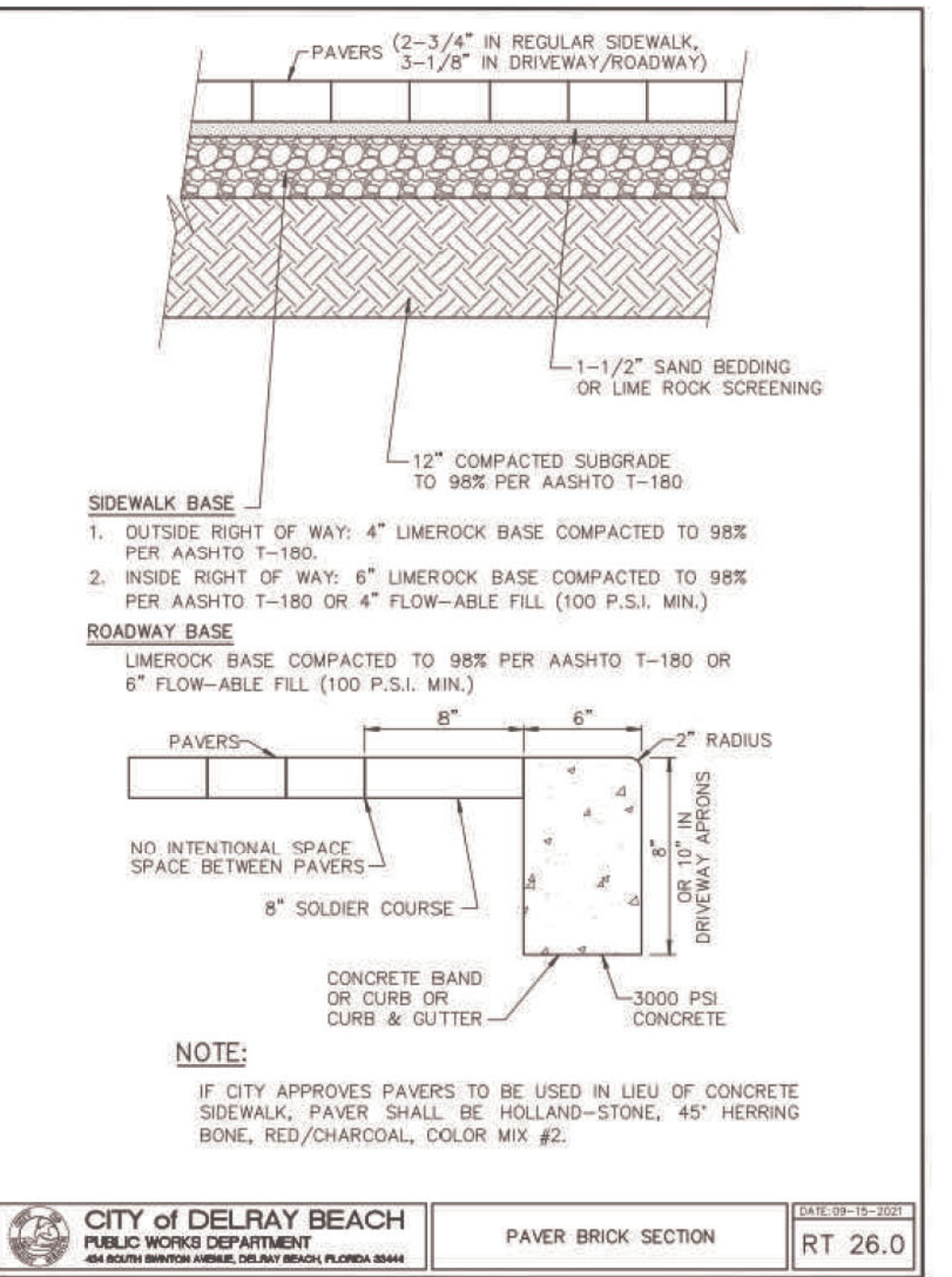
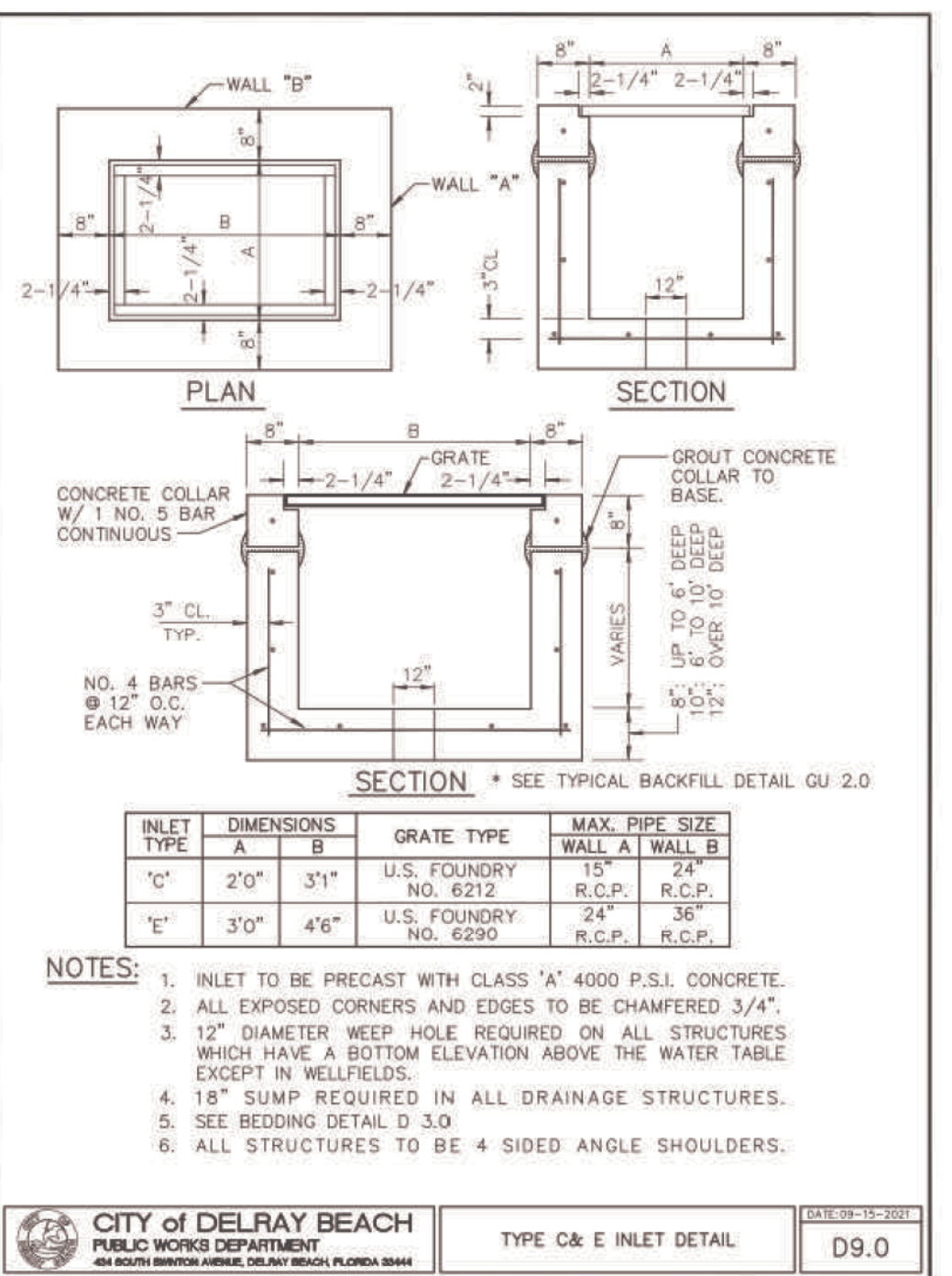
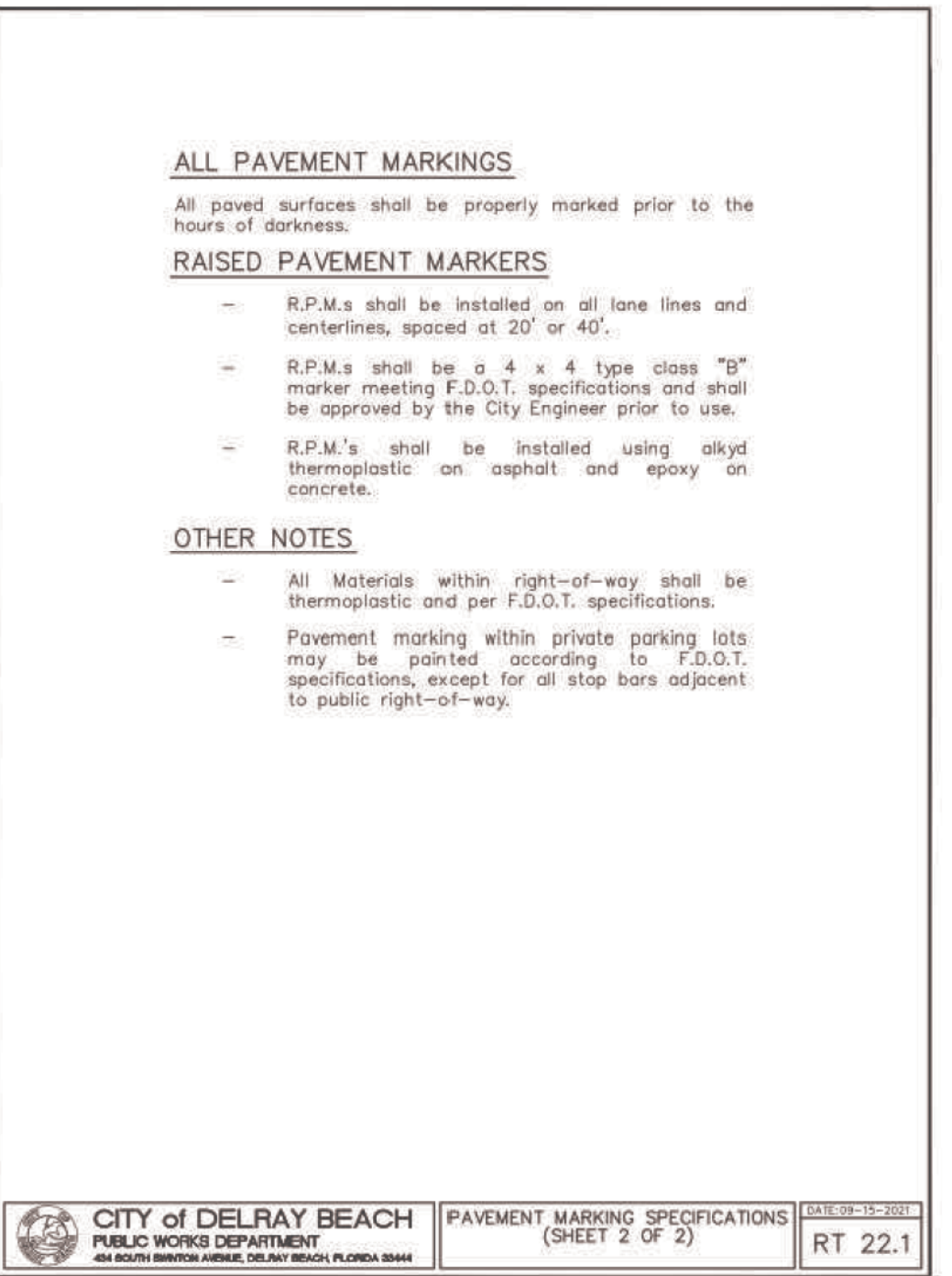
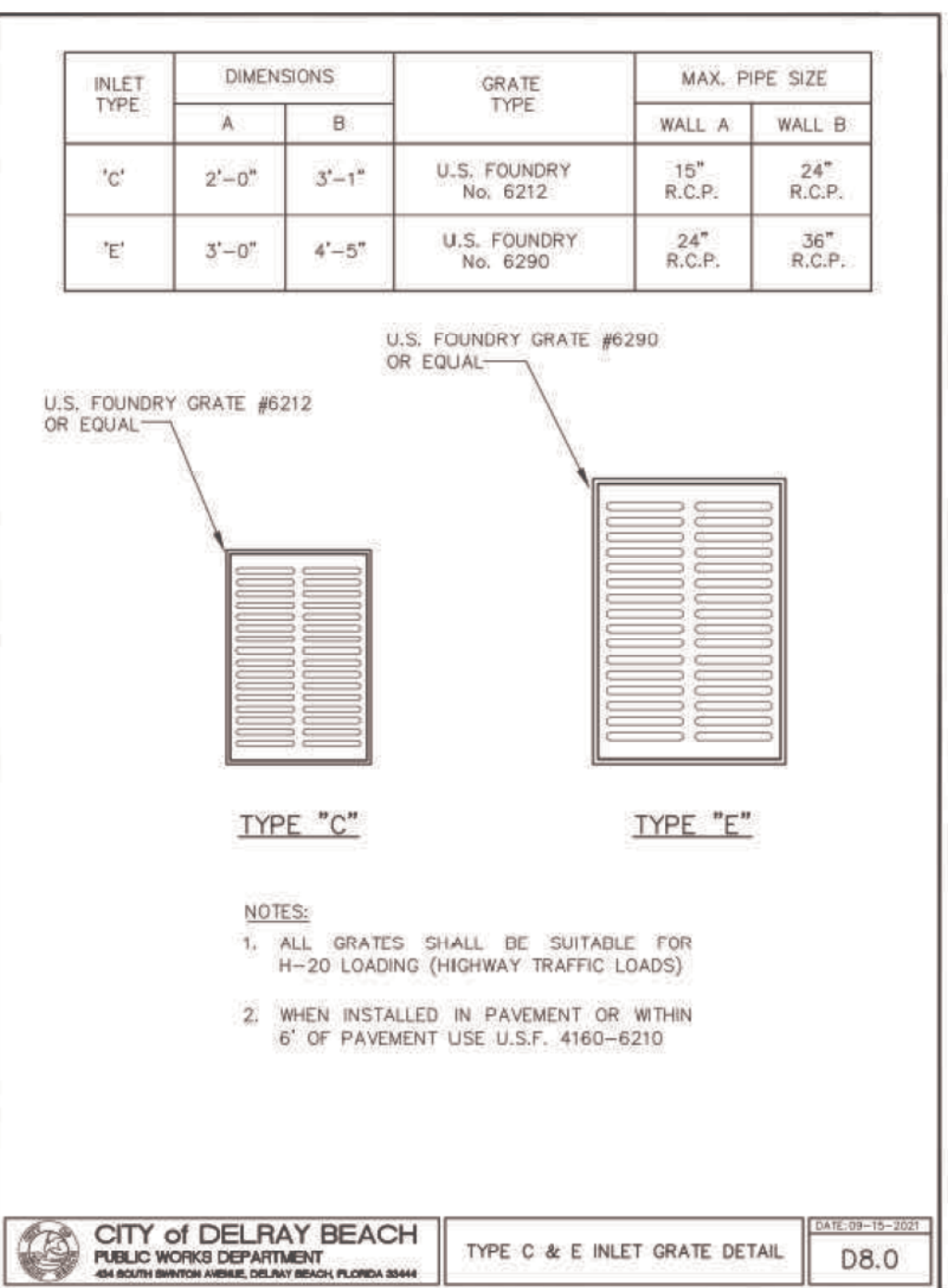
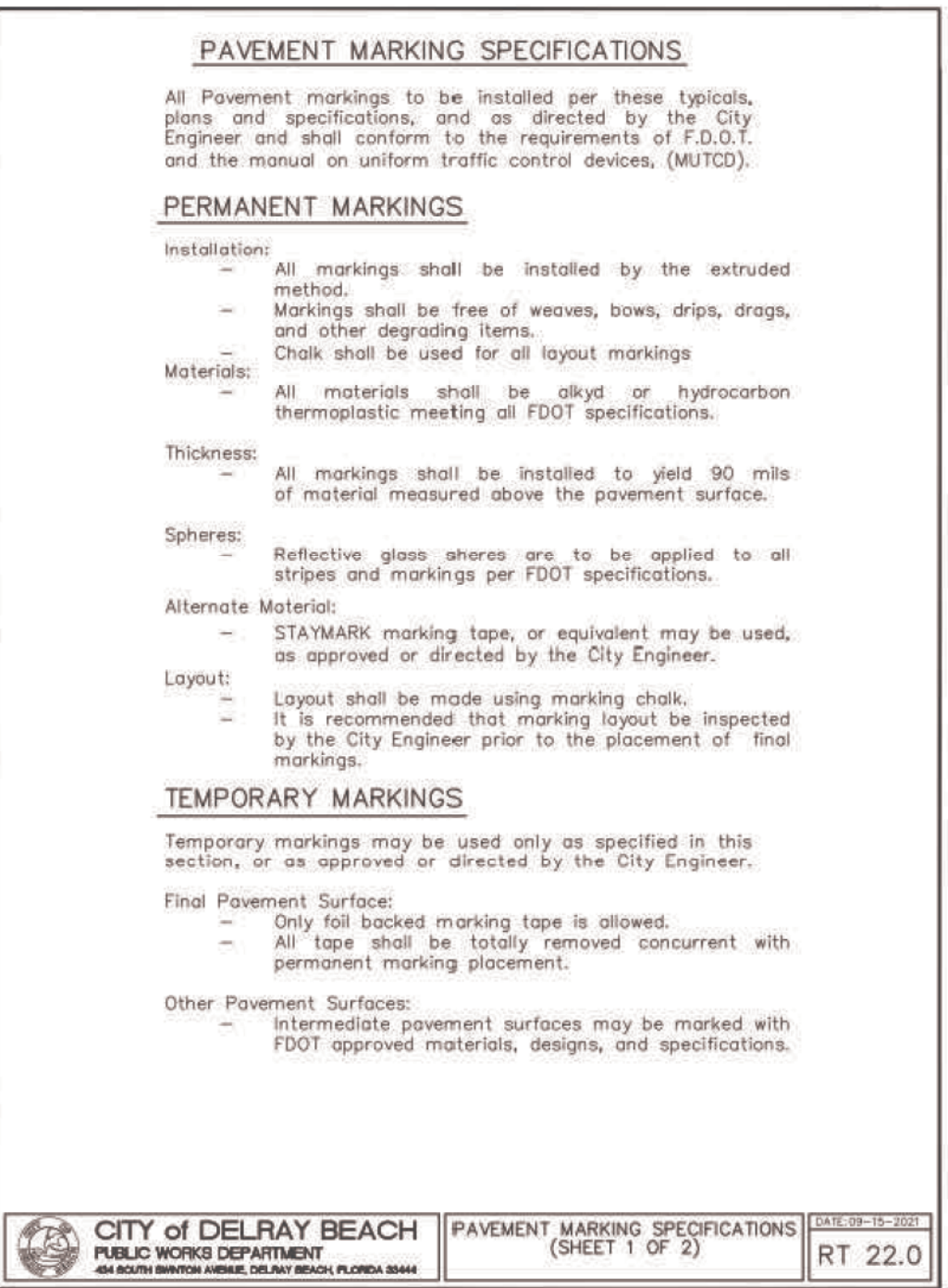
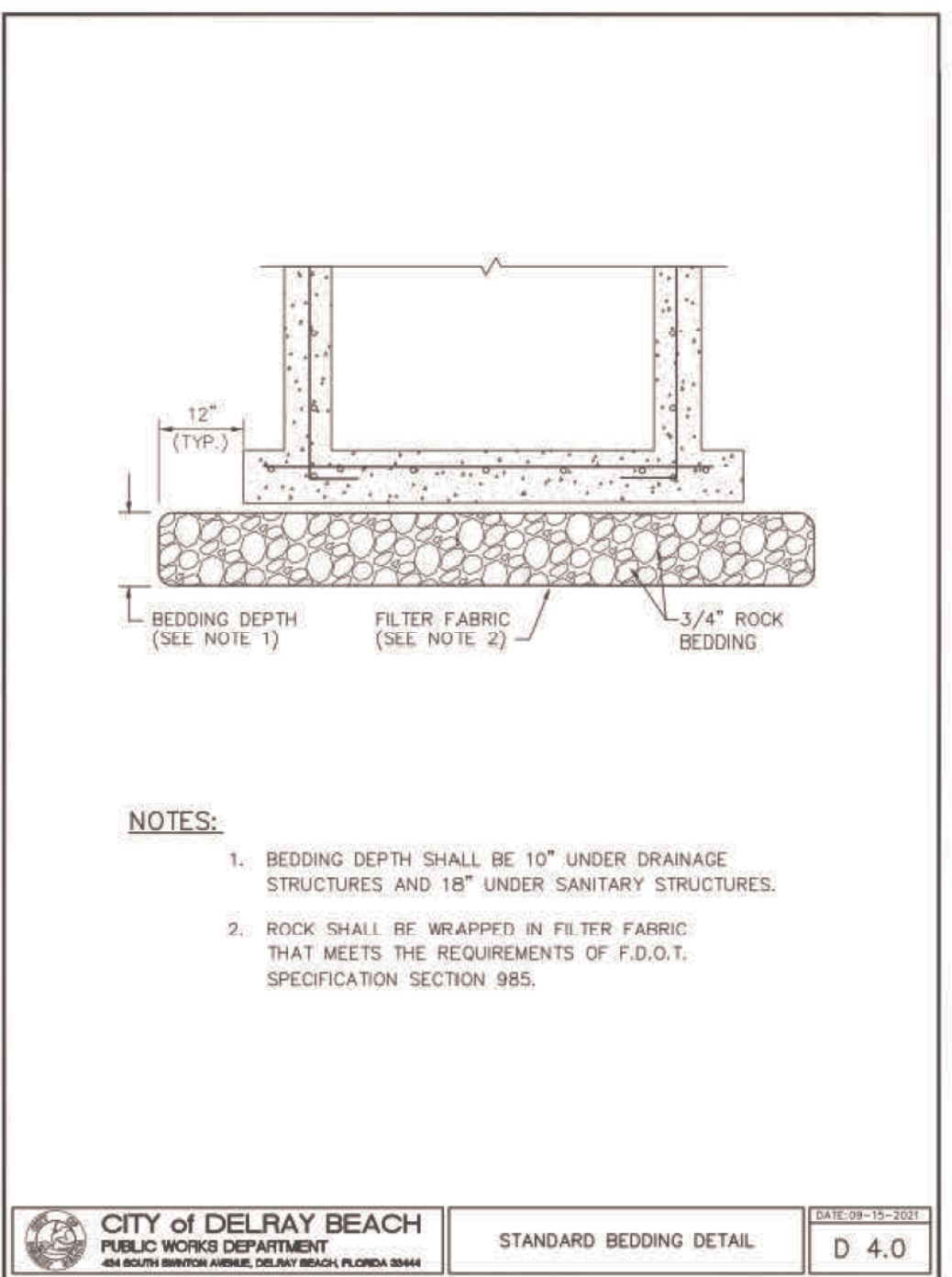
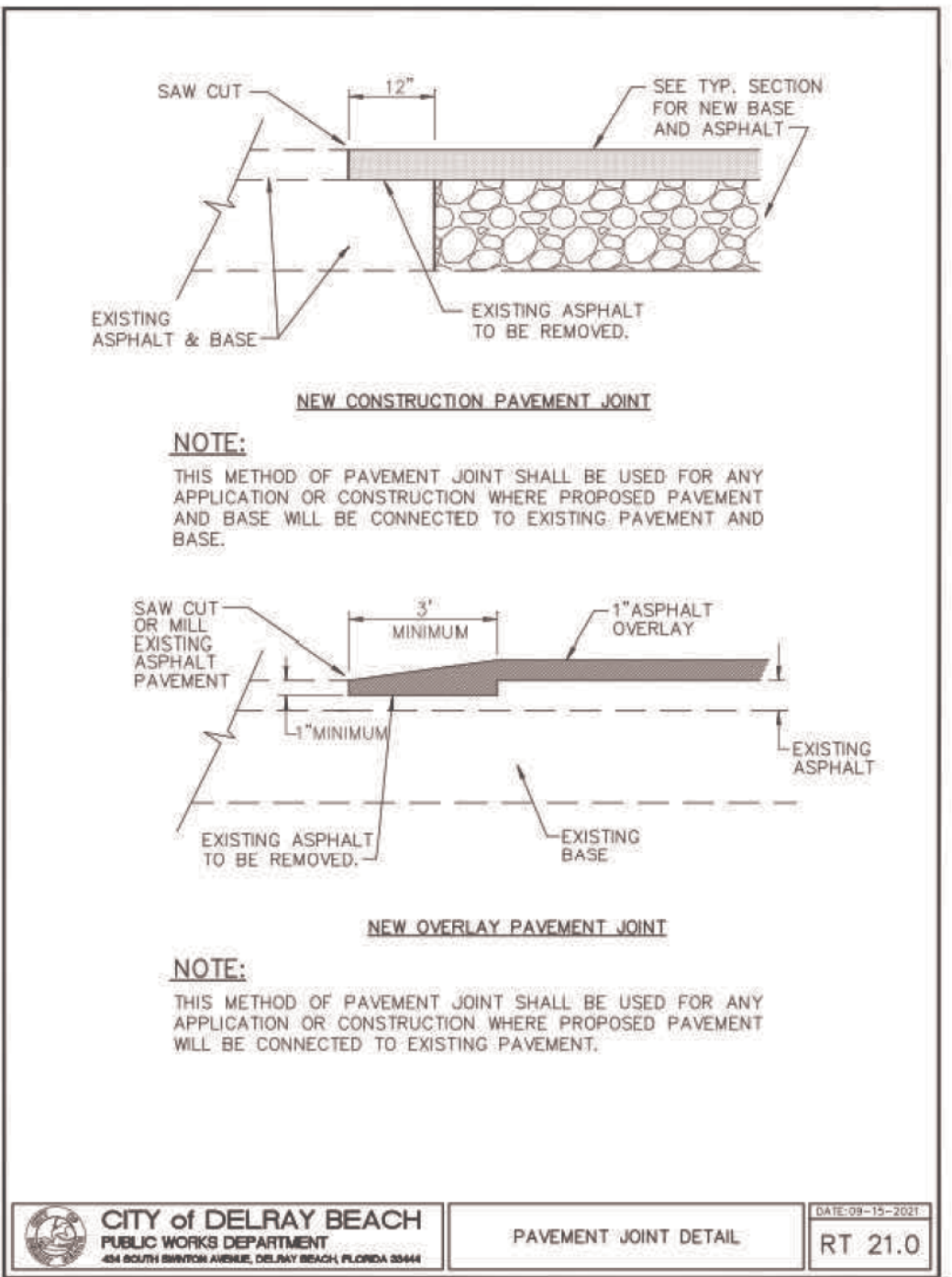
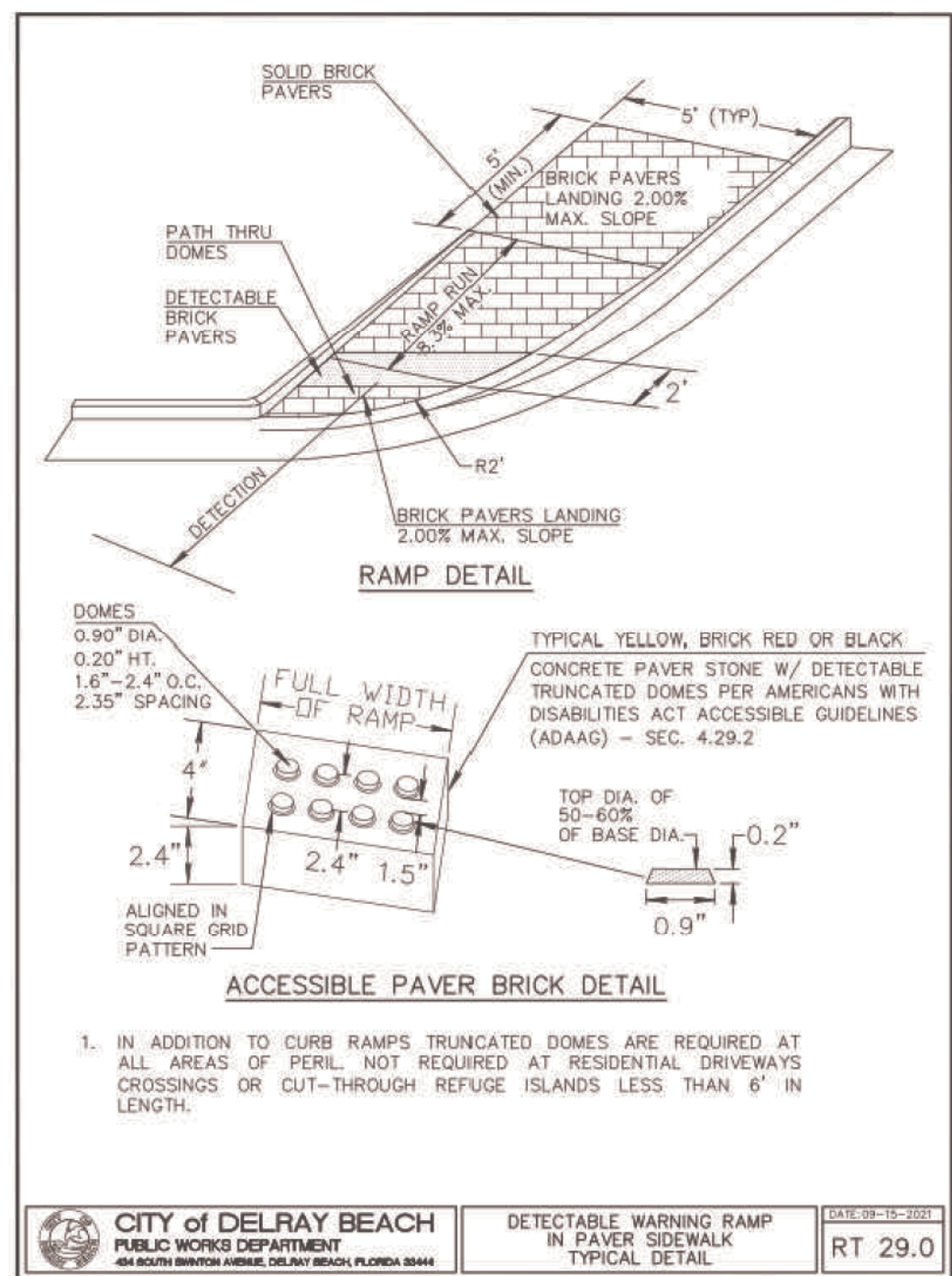
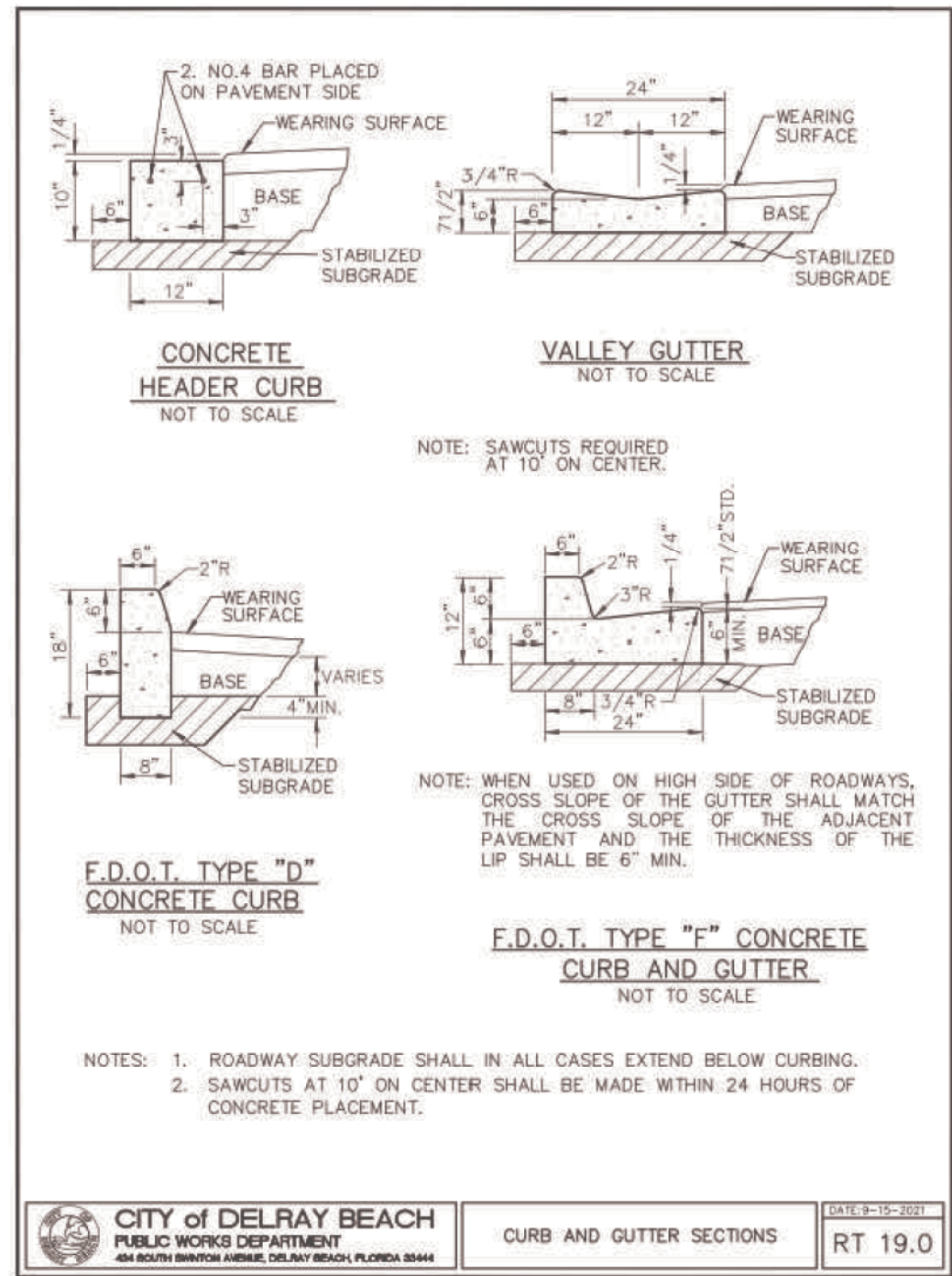
DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
08/16/22
JOB NO.
21065-ENG
SHEET NO.
C-1



CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



"NOT FOR CONSTRUCTION"

PAVING & DRAINAGE DETAILS FOR:
BANYAN WEST ATLANTIC
ATLANTIC AVE & NW 7TH AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
07/20/22
JOB NO.
21065-DTL
SHEET NO.
C-3



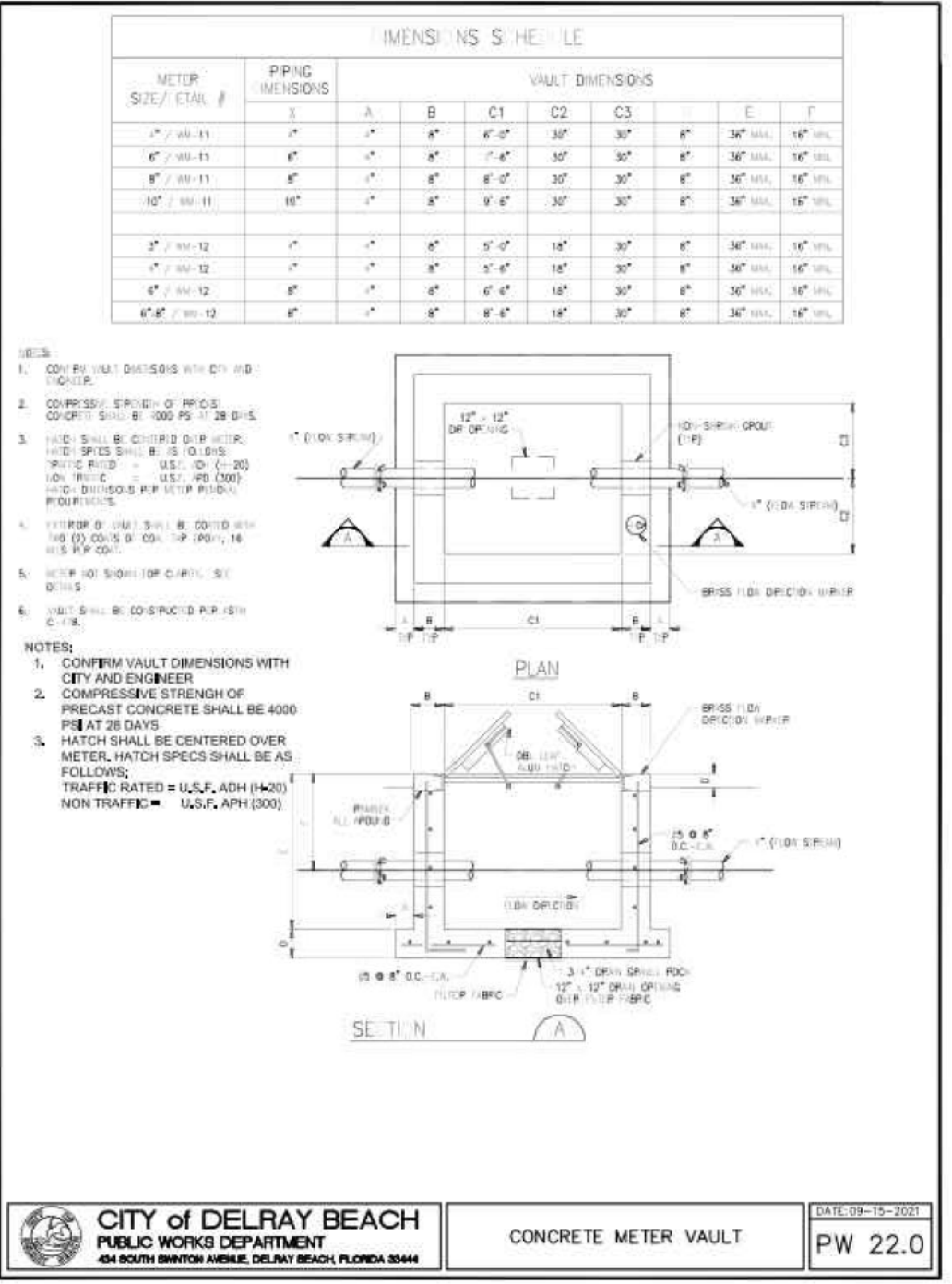
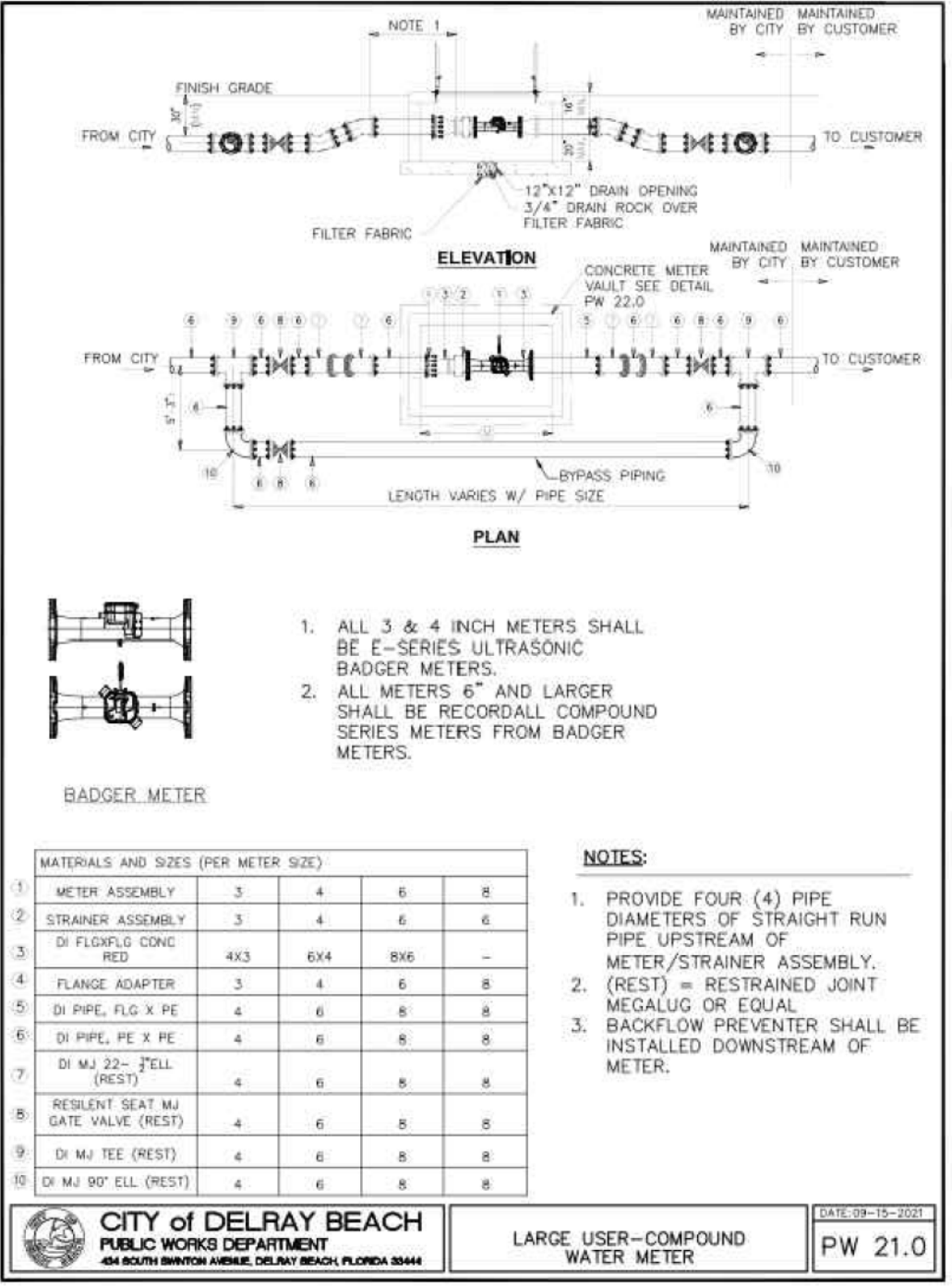
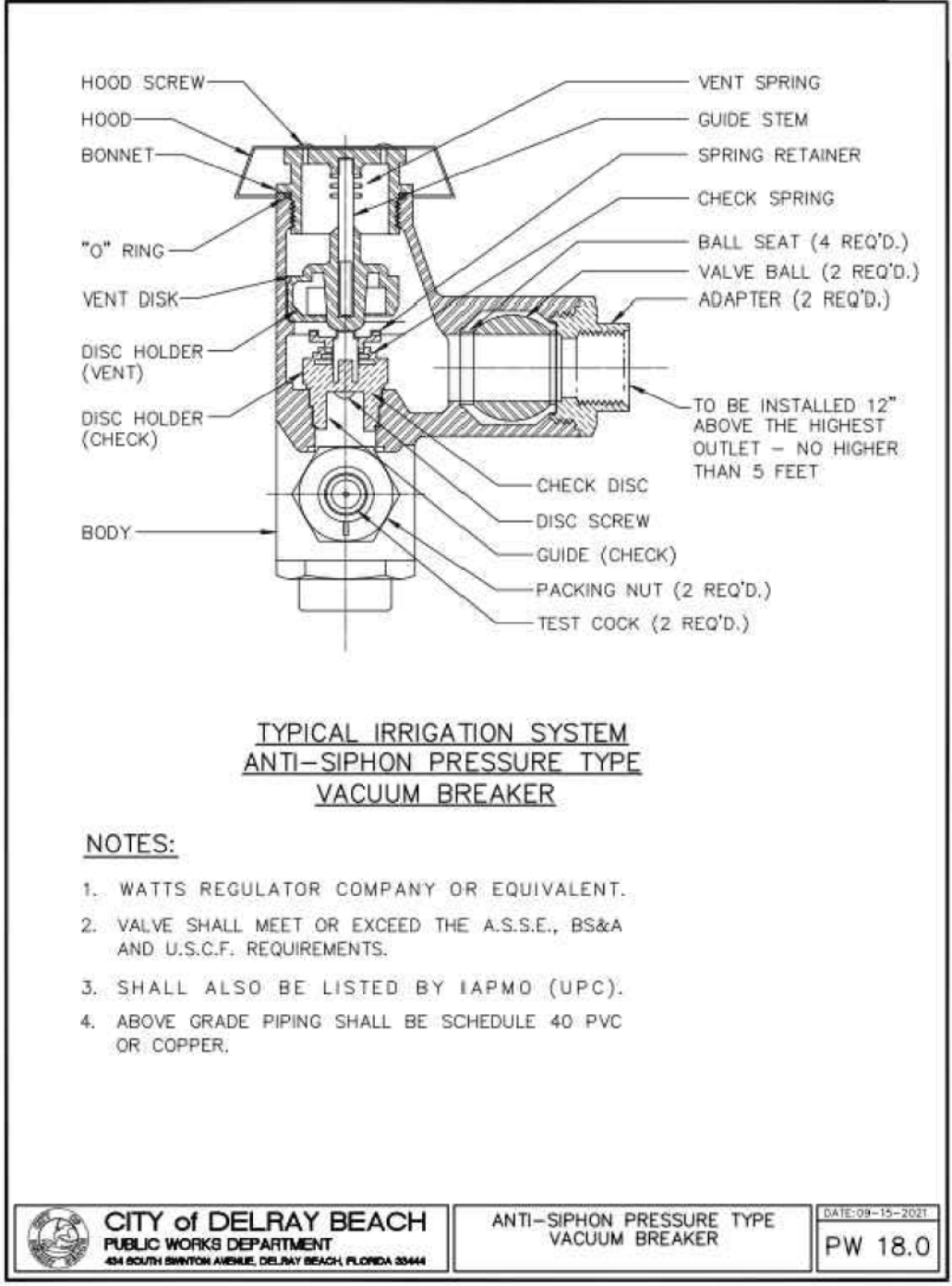
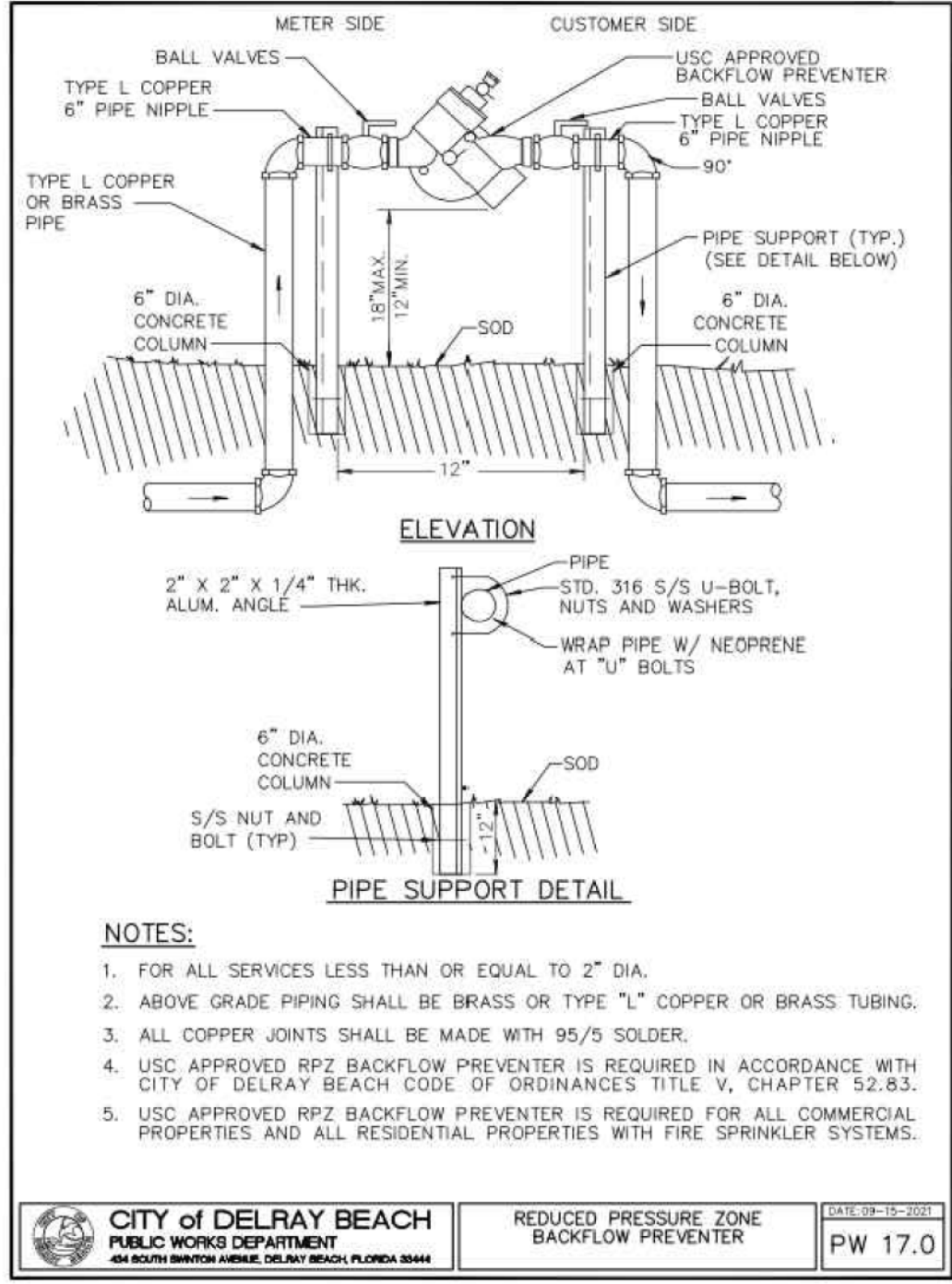
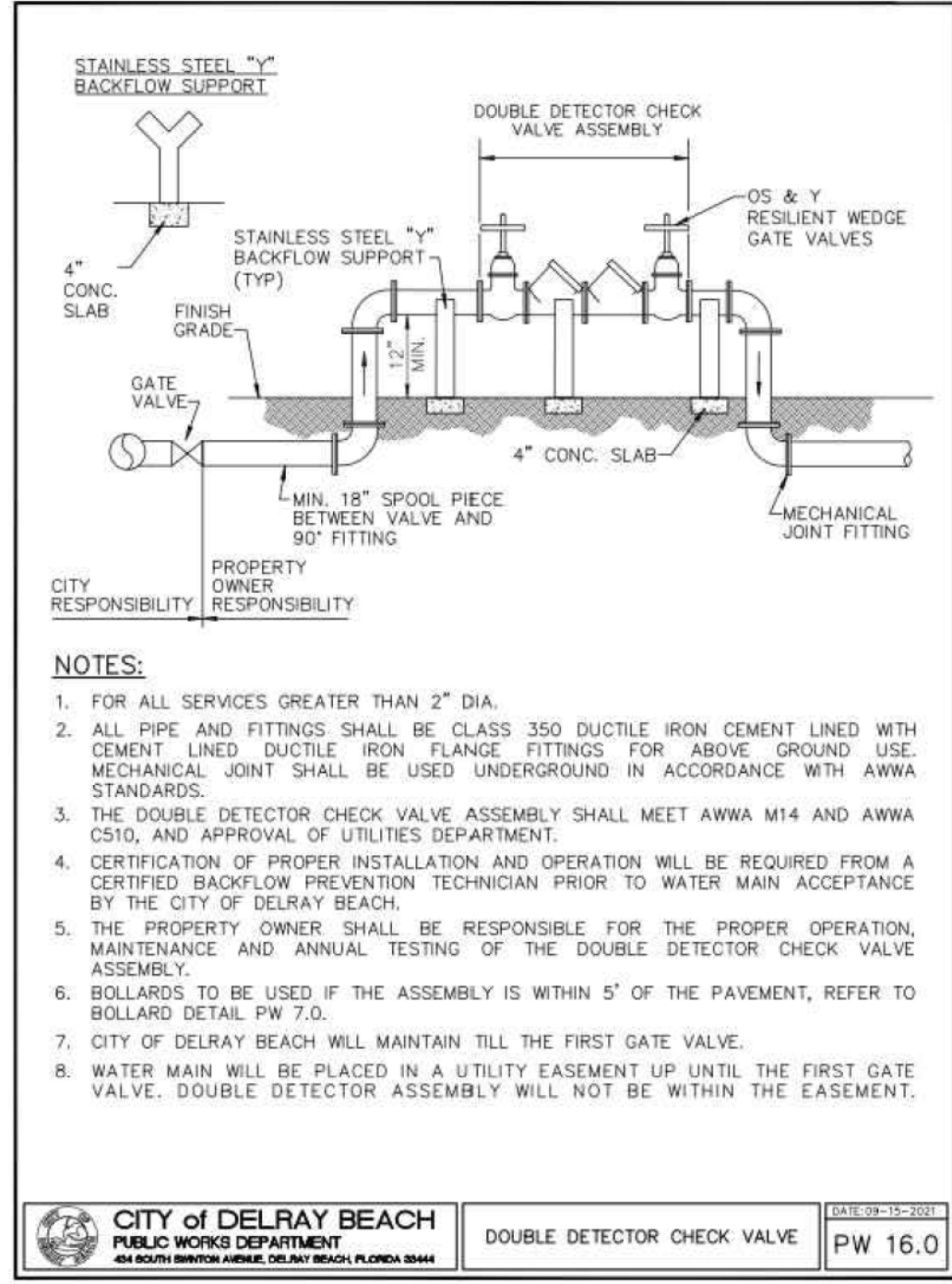
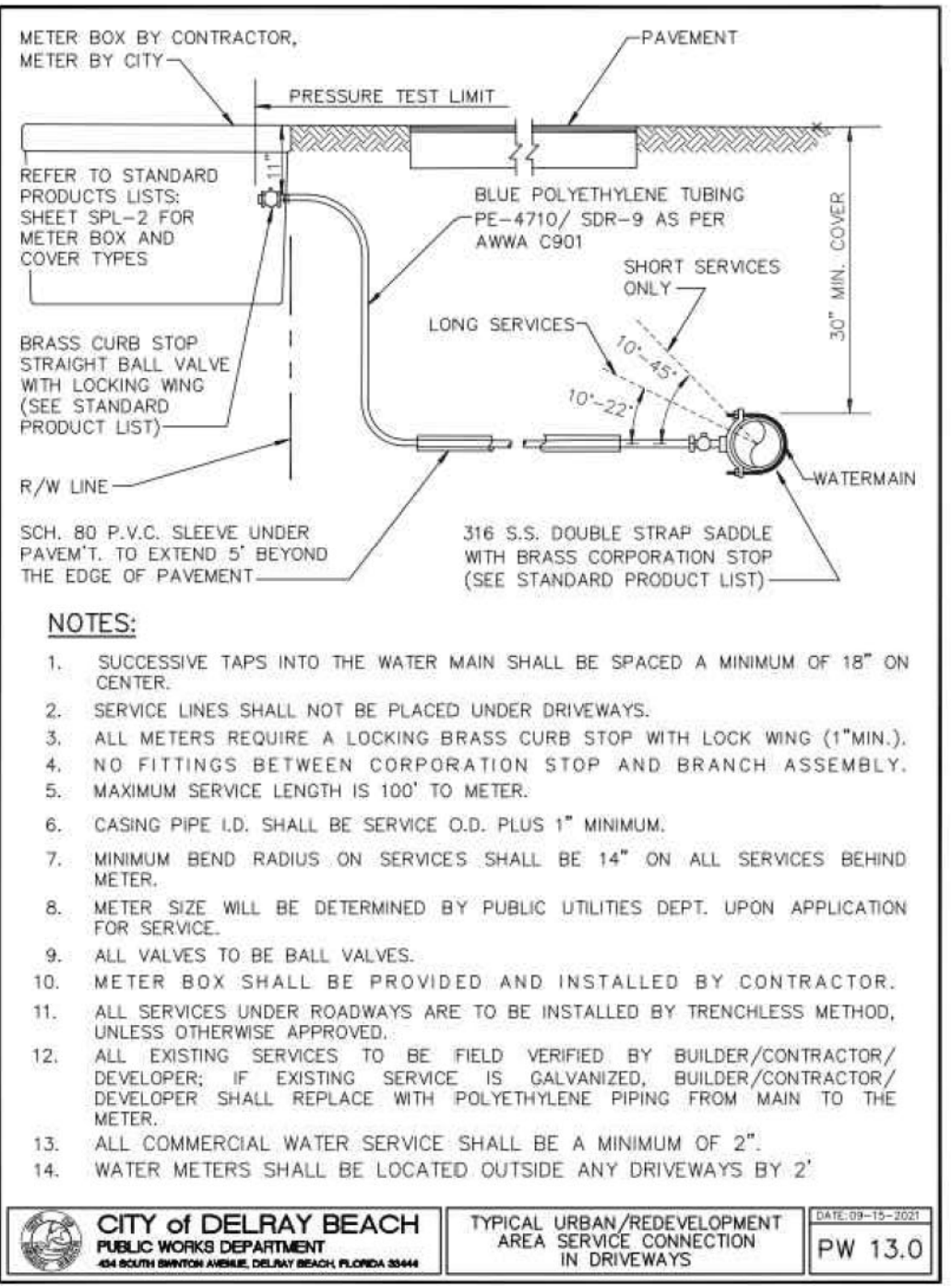
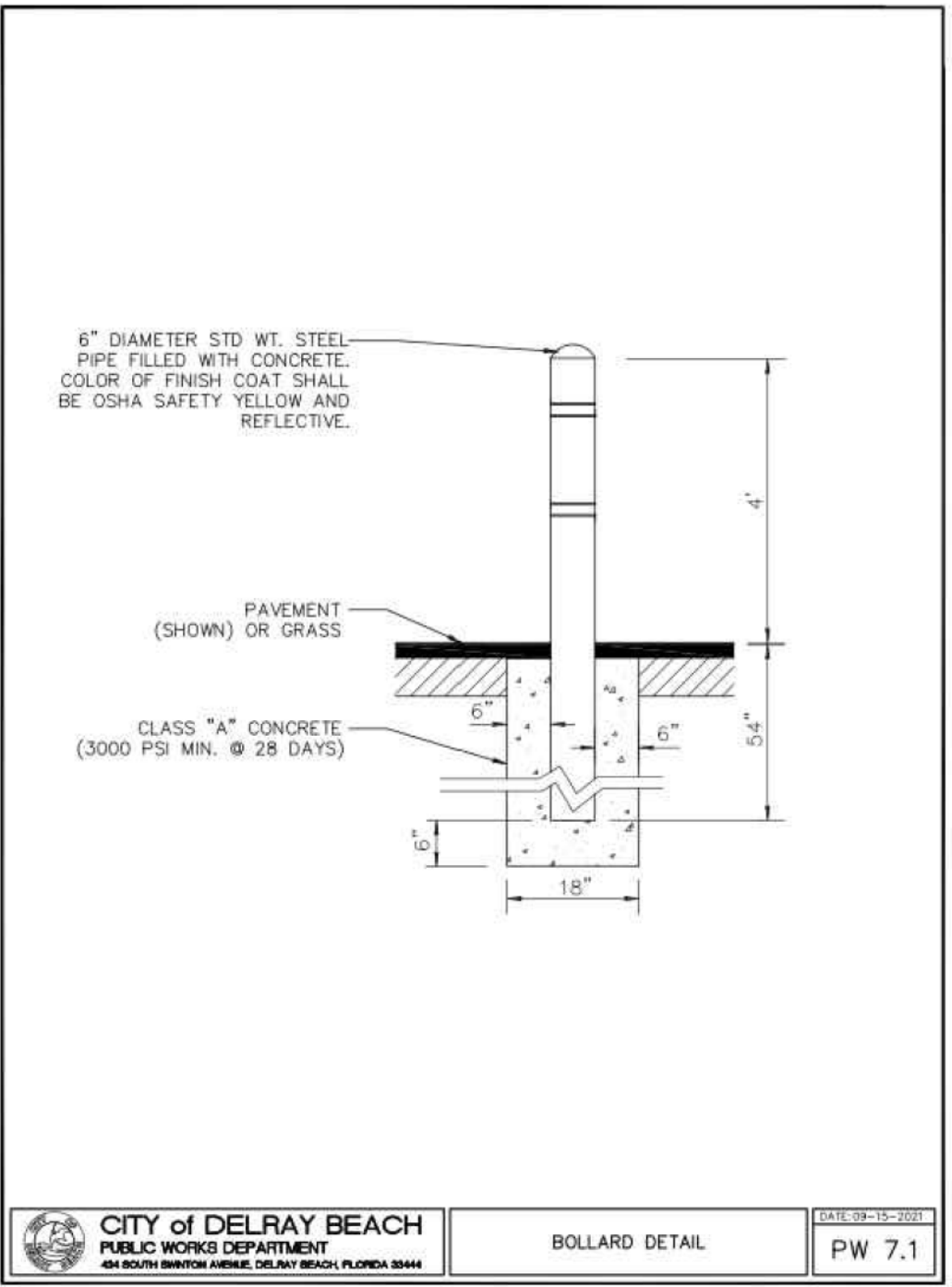
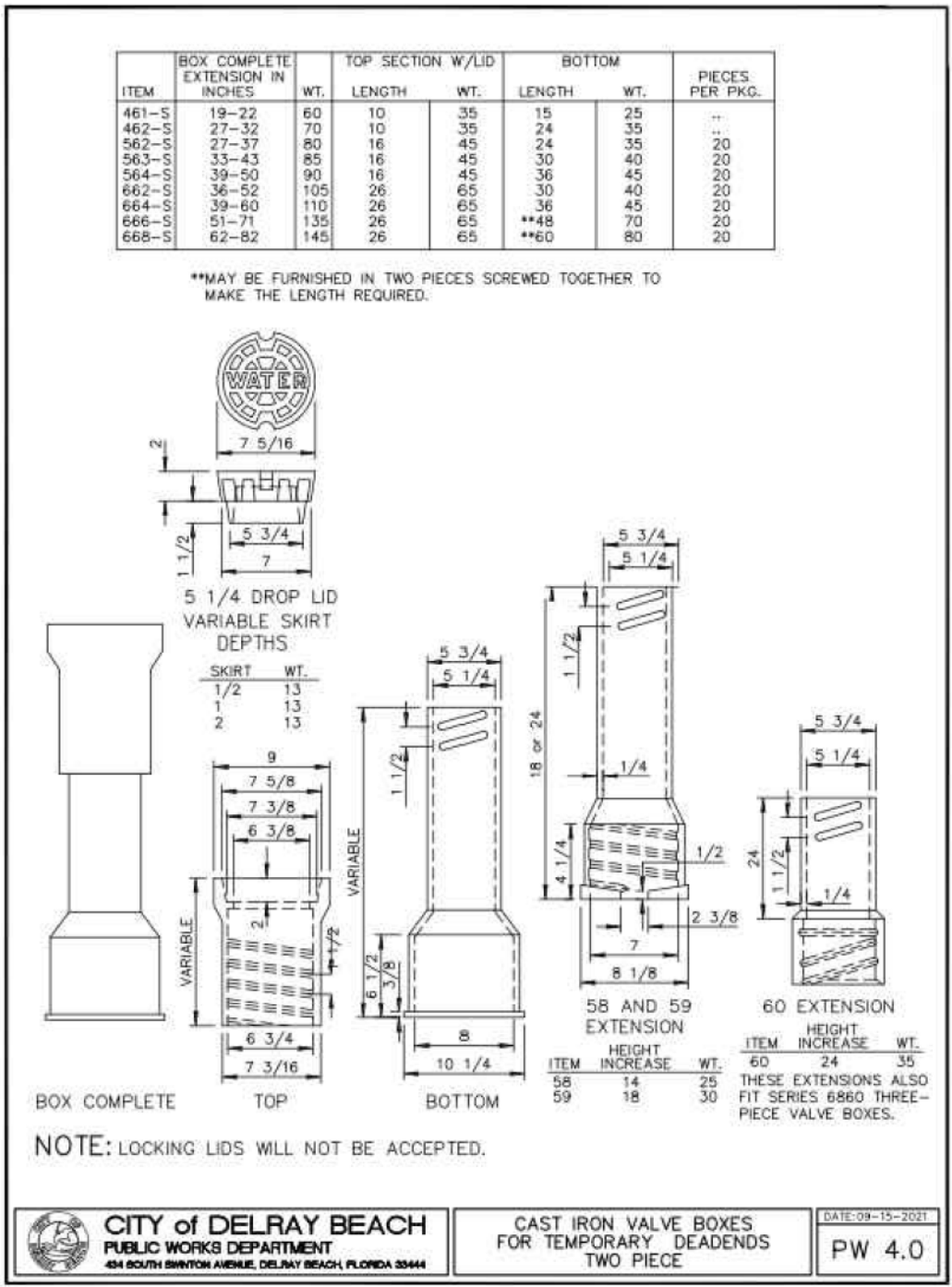
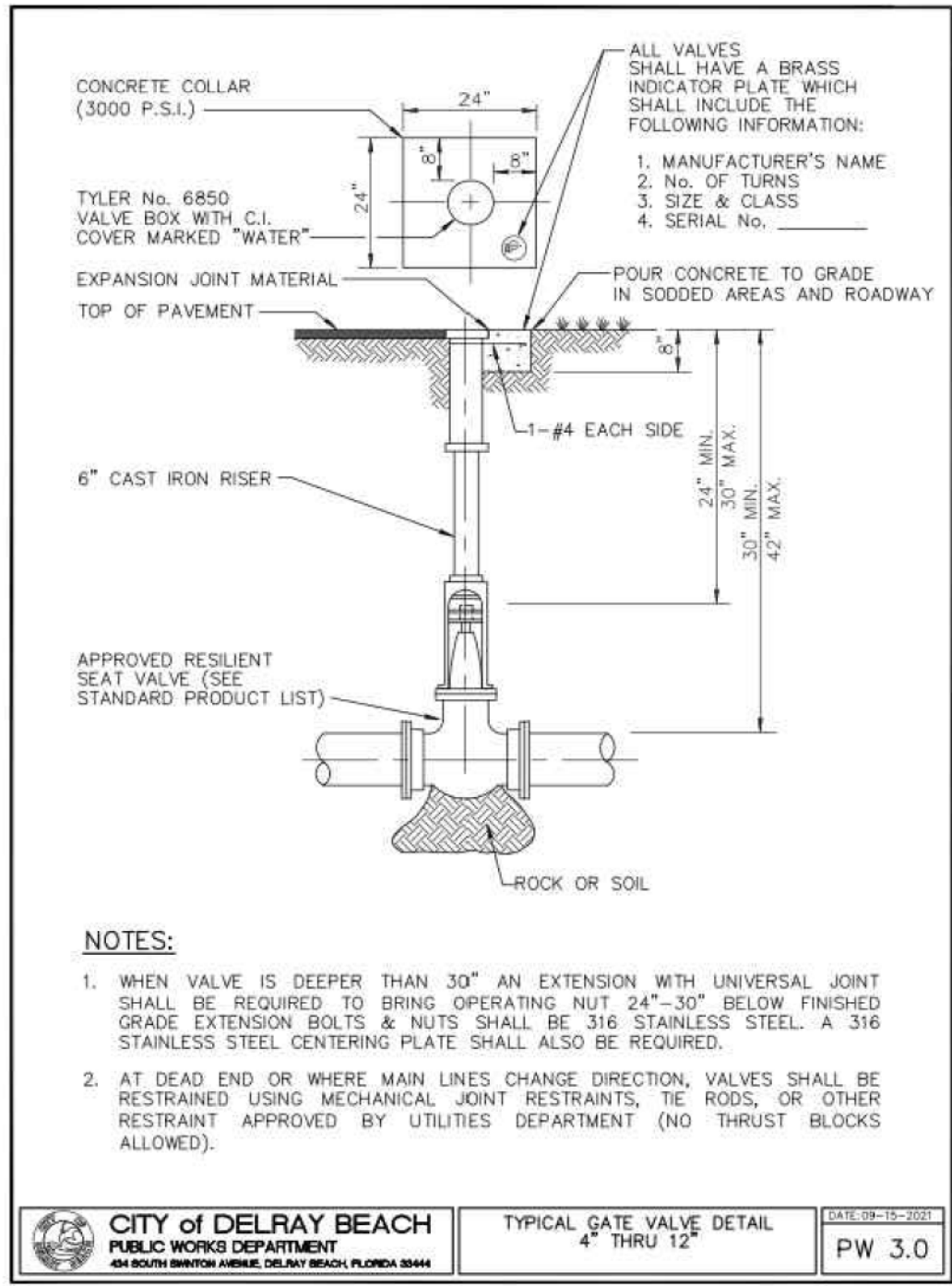
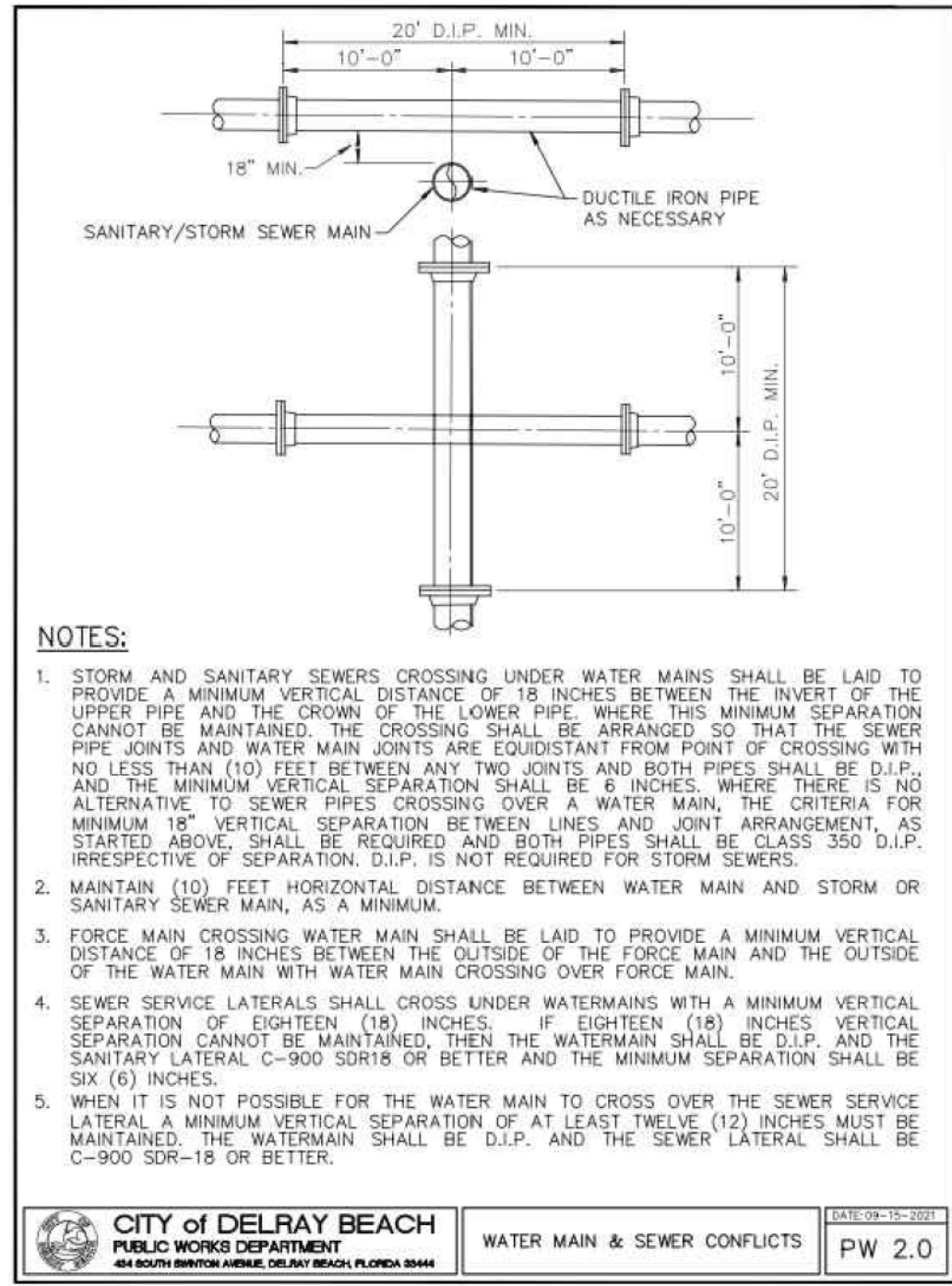
Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2022 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.



"NOT FOR CONSTRUCTION"

WATER & WASTEWATER DETAILS FOR:
BANYAN WEST ATLANTIC
ATLANTIC AVE & NW 7TH AVE
DELRAY BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
07/20/22
JOB NO.
21065-DTL
SHEET NO.
C-5

811
Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2022 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

MINIMUM LENGTHS OF PIPE (FT) TO BE RESTRAINED												
FITTING TYPE		PIPE SIZE										
		4"	6"	8"	10"	12"	16"	20"	24"			
90° HORIZ. BEND		14	20	25	30	35	45	54	62			
45° HORIZ. BEND		6	8	11	13	15	19	22	26			
22.5° HORIZ. BEND		3	4	5	6	7	9	11	12			
11.25° HORIZ. BEND		1	2	3	3	4	4	5	6			
90° VERT. OFFSET	UPPER BEND	55	79	103	125	147	189	228	266			
	LOWER BEND	22	38	49	59	69	88	106	123			
45° VERT. OFFSET	UPPER BEND	22	32	42	51	60	77	93	109			
	LOWER BEND	10	14	19	23	28	35	43	50			
22.5° VERT. OFFSET	UPPER BEND	7	12	17	21	26	34	42	49			
	LOWER BEND	2	4	6	8	10	14	17	21			
11.25° VERT. OFFSET	UPPER BEND	3	4	6	9	11	15	19	22			
	LOWER BEND	1	1	1	2	3	5	7	8			
PLUG (DEAD END)		32	45	59	70	83	107	129	151			
INLINE VALVE		32	45	59	70	83	107	129	151			
TEE (BRANCH RESTRAINT)	4" x 8"	23										
	6" x 8"	21	35									
	8" x 8"	18	34	47								
	10" x 8"	16	32	46	58							
	12" x 8"	13	30	44	57	69						
	16" x 8"	7	26	41	55	67	90					
REDUCER (LARGER PIPE RESTRAINT)	20" x 8"	1	21	36	52	65	88	109				
	24" x 8"	1	16	34	49	62	86	108	129			
	8" x 8"	23										
	8" x 8"	38										
	10" x 8"	57	43	24								
	12" x 8"	72	60	44	41							
	16" x 8"	99	90	78	75	45						
	20" x 8"	123	116	107	105	81	45					
	24" x 8"	146	140	132	131	111	82	45				
	RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE											

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

PIPE RESTRAINT TABLE
PRESSURE PIPE
(SHEET 1 OF 2)
PP 2.0

- NOTES:
- THE DATA IN THE PREVIOUS TABLE IS BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:
 - SOIL TYPESAND
 - TEST PRESSURE150 PSI, 200 PSI FOR PIPES LARGER THAN 24"
 - DEPTH OF BURY3'
 - TRENCH TYPE3'
 - SAFETY FACTOR1.5
 - VERTICAL OFF-SET3'
 - MINIMUM PIPE LENGTHS ALONG TEE RUN5'
 - THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON PIPE AND PVC PIPE.
 - ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.
 - RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES
 - THE PREVIOUS TABLE SHALL SERVE AS A GENERAL DESIGN GUIDE ONLY; IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO JUSTIFY AND DOCUMENT ANY DEVIATIONS FROM THE PIPE LENGTHS SPECIFIED IN THE PREVIOUS TABLE.
 - SOURCES: EBAA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, RELEASE 3.1 (LATEST EDITION) AND DIPRA RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2 (LATEST EDITION).
 - RESTRAINED JOINTS SHALL EXTEND ONE JOINT BEYOND MINIMUM LENGTH REQUIRED.

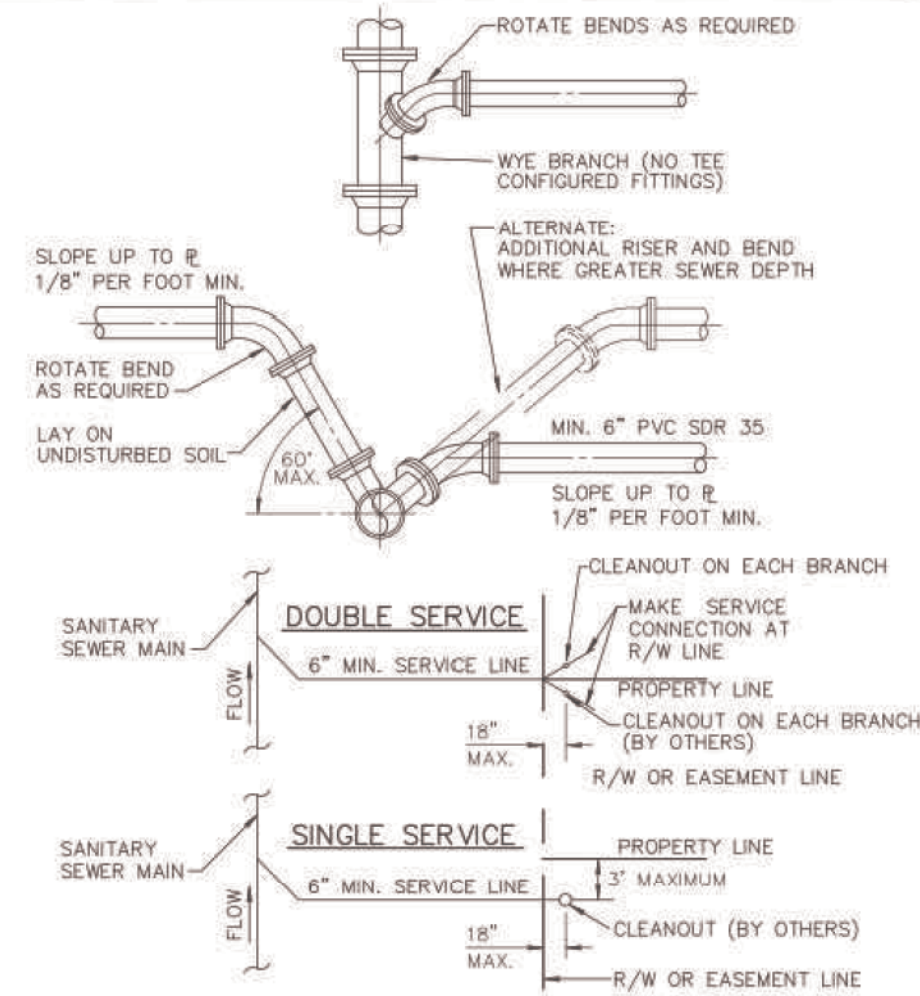
CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

PIPE RESTRAINT TABLE
PRESSURE PIPE
(SHEET 2 OF 2)
PP 2.1

- GRAVITY SEWER NOTES**
- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
 - ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
 - ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
 - (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
 - (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, 401 EPOXY LINED OR AS OTHERWISE APPROVED BY UTILITIES DEPARTMENT.
 - NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
 - MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
 - TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
 - PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING RITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
 - BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
 - ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
 - WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
 - UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
 - EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
 - COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
 - AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
 - NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
 - ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC 300M OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
 - ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWER COAT OR APPROVED EQUAL.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

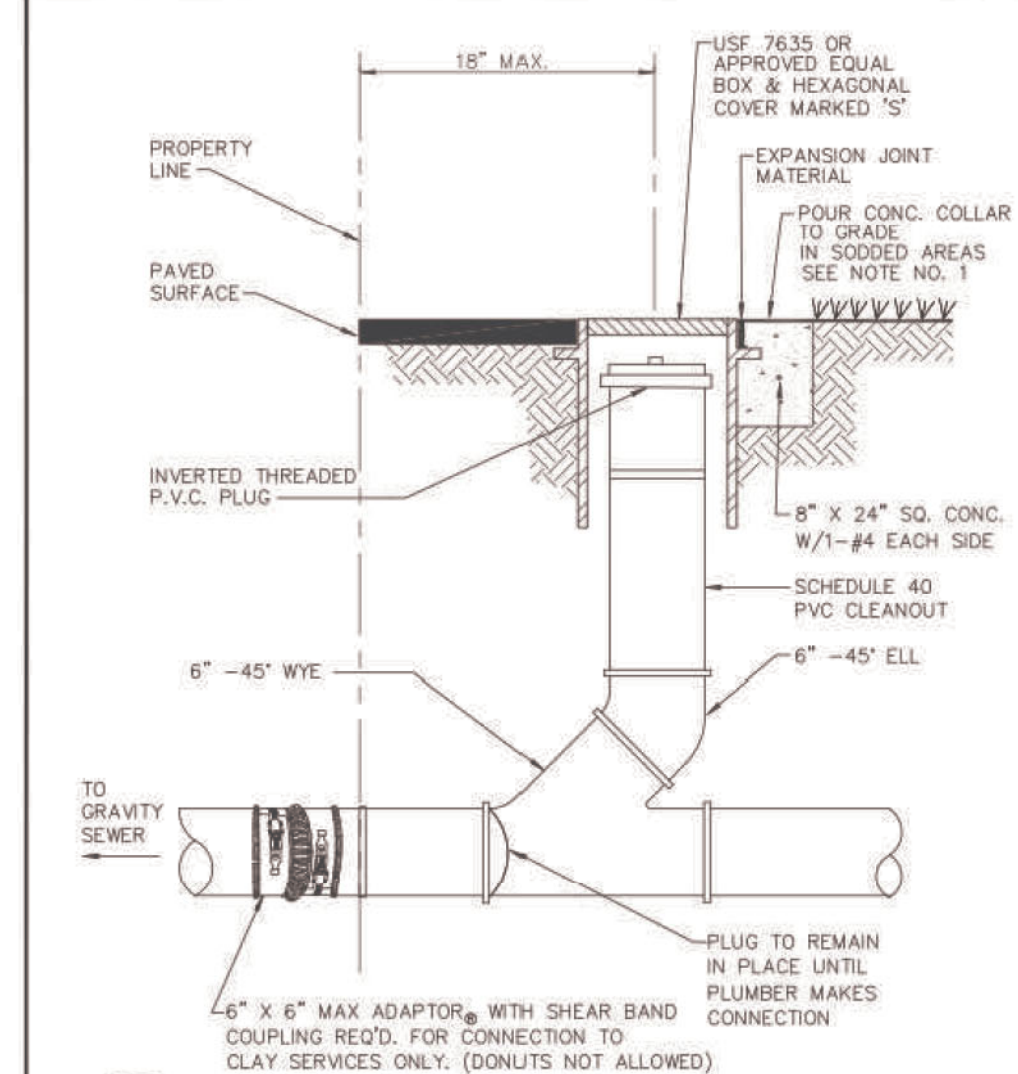
GRAVITY SEWER NOTES
WW 1.0



- NOTE:**
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"x 4" TREATED STAKE.
 - CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
 - SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

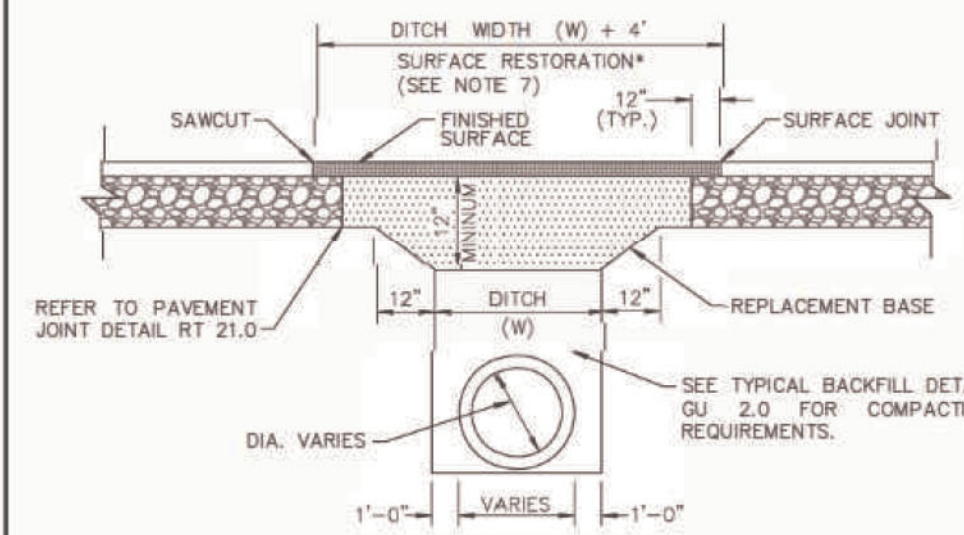
SEWER SERVICE CONNECTION
WW 8.0



- NOTE:**
- INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
 - MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

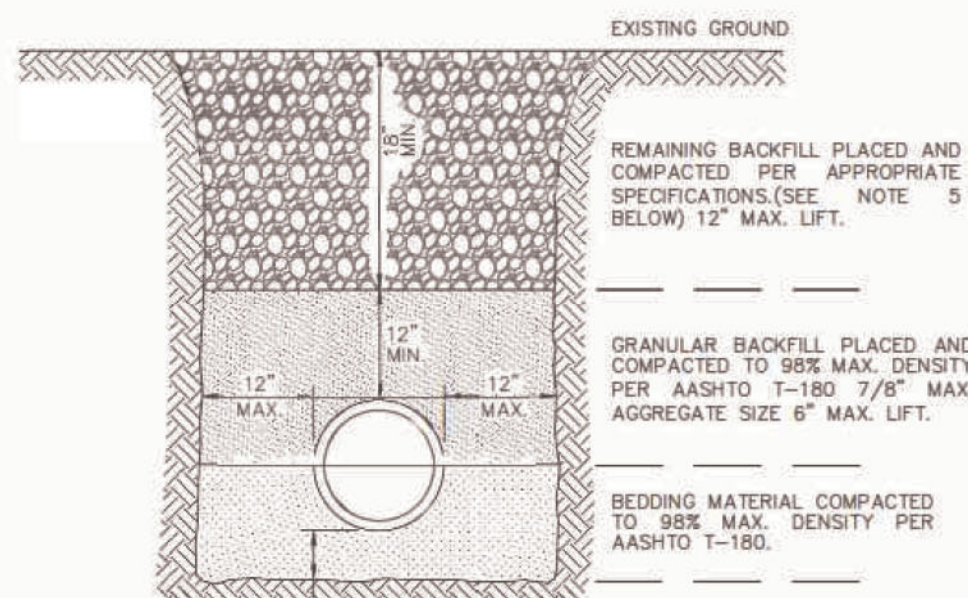
TYPICAL COMMERCIAL CLEANOUT
WW 10.0



- REPLACEMENT BASE TO BE AT MIN. 12" THICK.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180 (MAX. LIFT THICKNESS = 6").
- 24" EXCAVATABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE 5-III ASPHALTIC CONCRETE (THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.
- ROADWAYS SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION AT TIME OF PAVEMENT REPAIR. THE SURFACE RESTORATION SHALL EXTEND 50' IN EACH DIRECTION.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

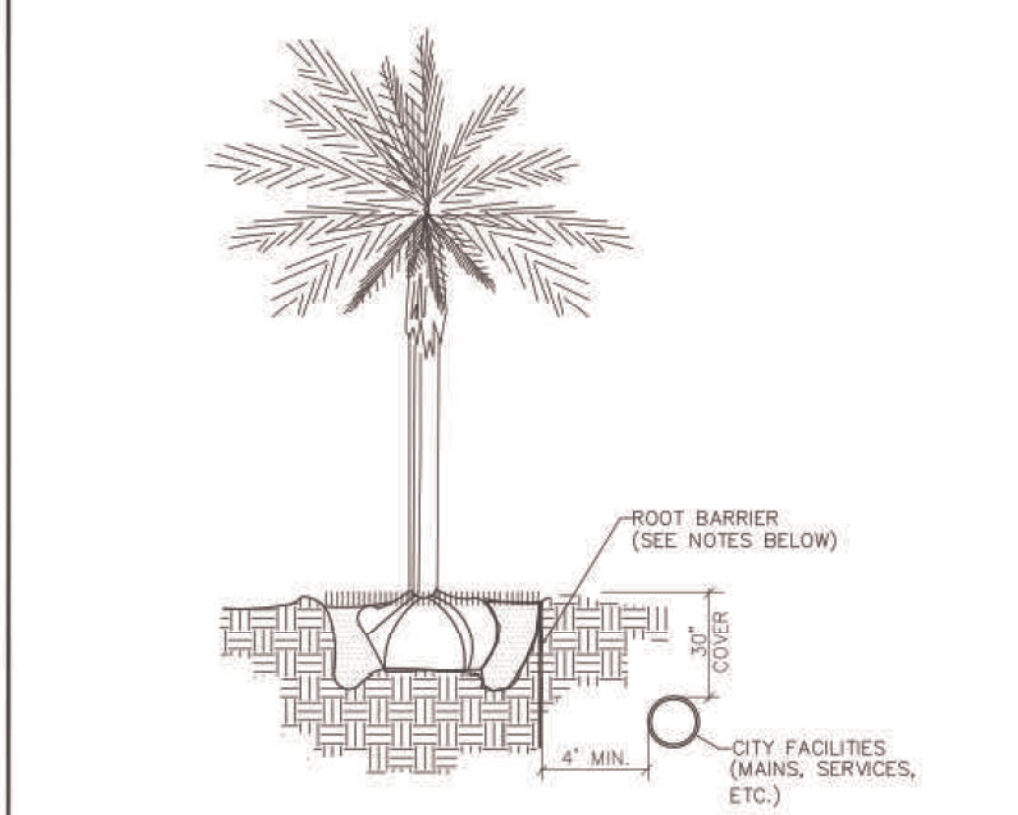
PAVEMENT REPAIR DETAIL
GU 1.0



- NOTES:**
- UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL. BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIME ROCK 3/8" - 7/8" SIZING.
 - THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
 - COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE (AASHTO T-180)
 - COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

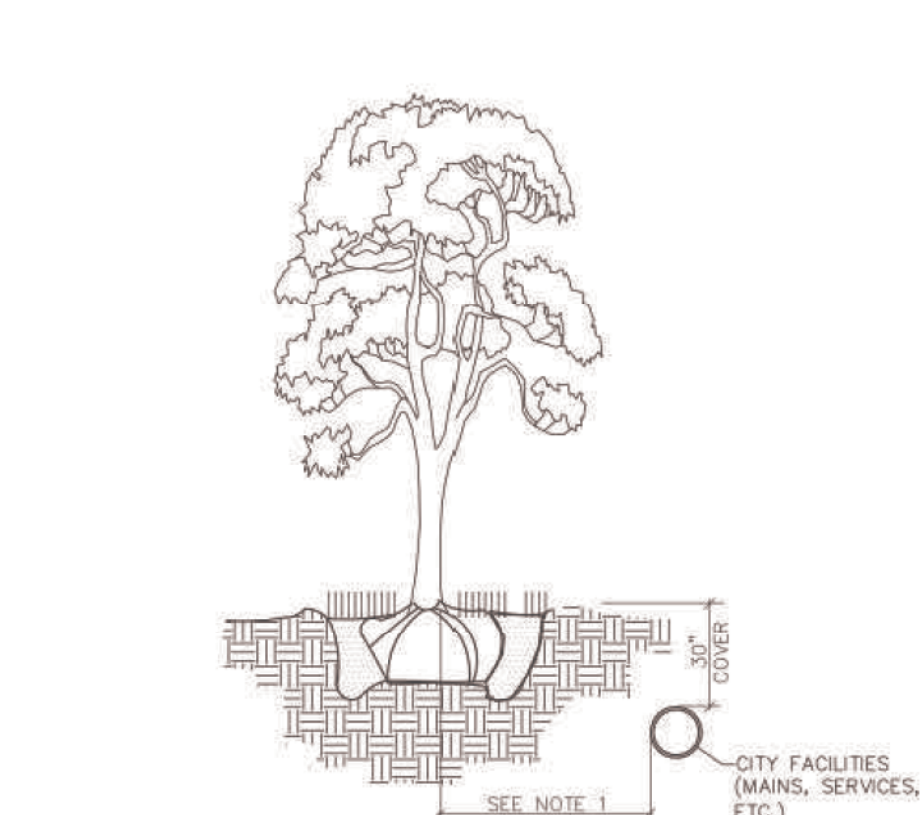
TYPICAL BACKFILL DETAIL
GU 2.0



- NOTES:**
- ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
 - THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 - ROOT BARRIERS SHALL BE MINIMUM 36" DEEP, APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 - ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL TREE WITH ROOT BARRIER
LD 1.0



- NOTES:**
- THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL TREE WITHOUT ROOT BARRIER
LD 2.0

"NOT FOR CONSTRUCTION"

WATER & WASTEWATER DETAILS FOR:
BANYAN WEST ATLANTIC
ATLANTIC AVE & NW 7TH AVE
DELRAY BEACH, FLORIDA

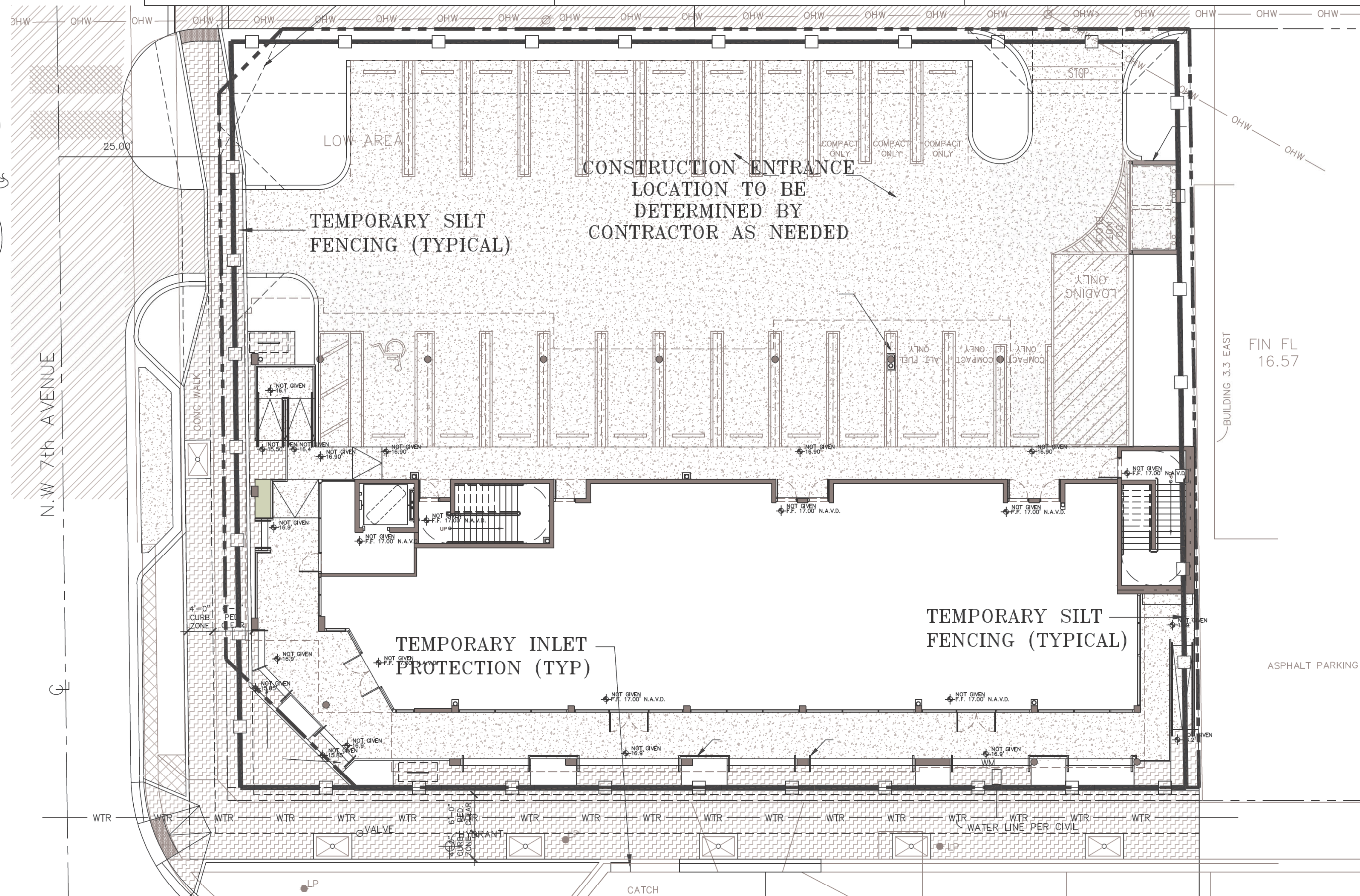
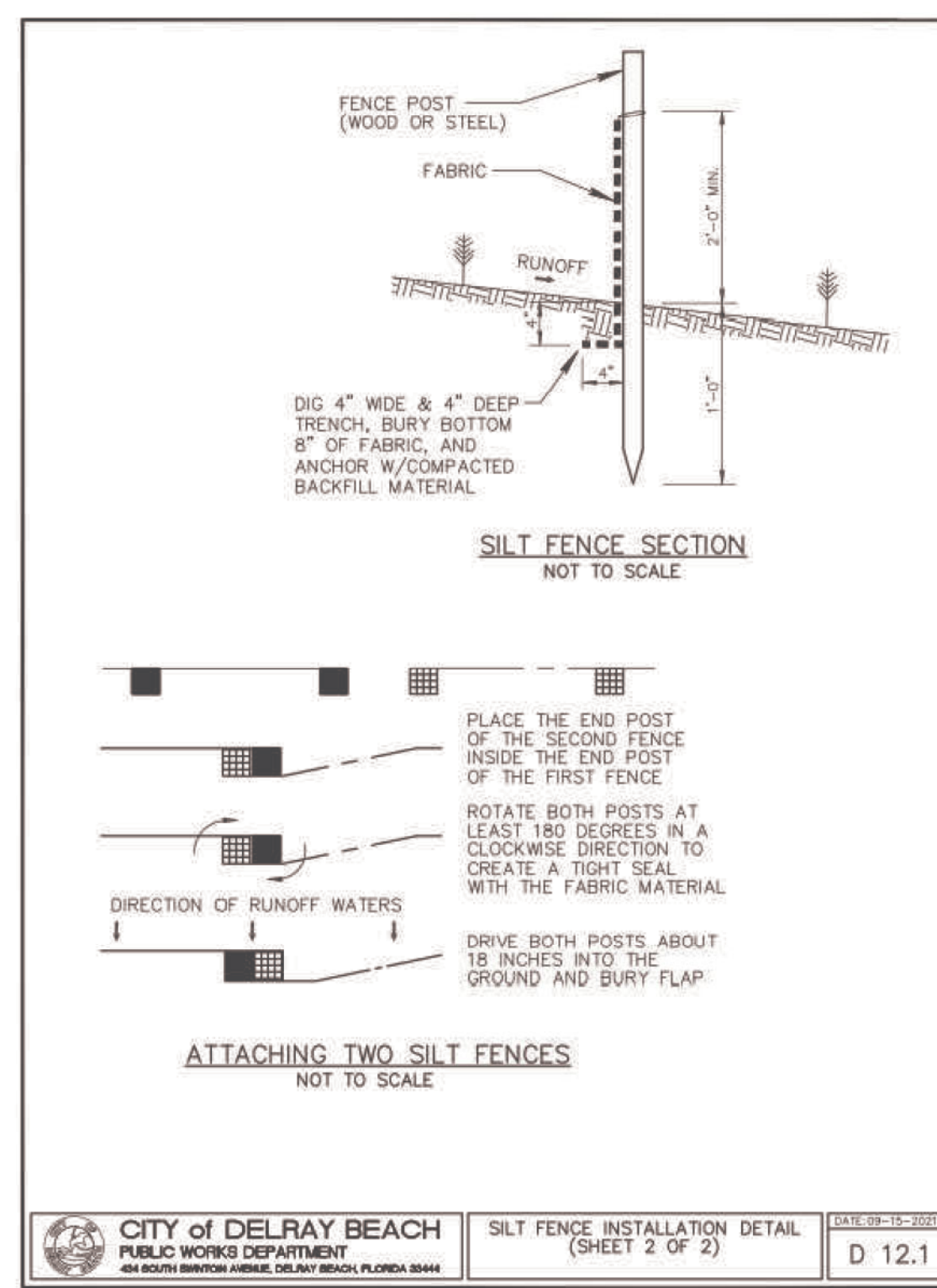
EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
07/20/22
JOB NO.
21065-DTL
SHEET NO.
C-6

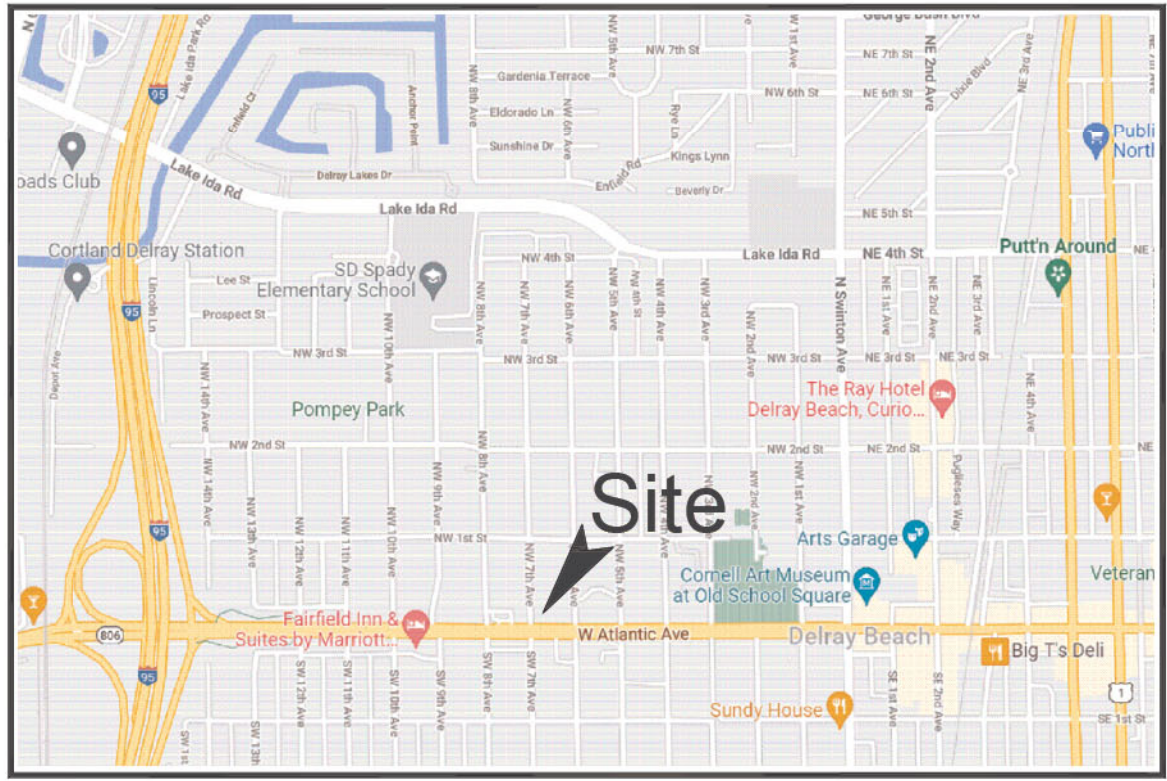
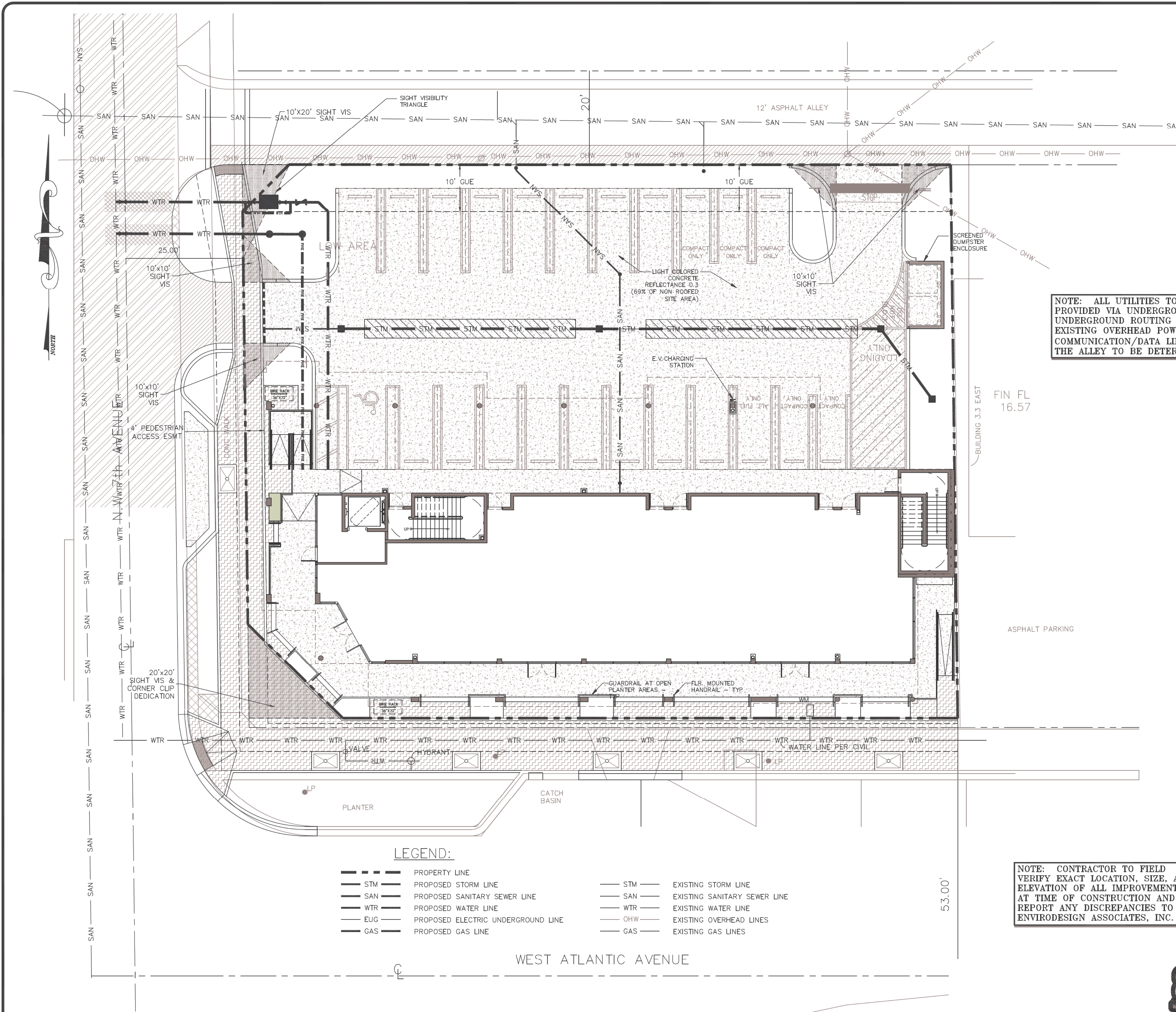


CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2022 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.



DRAWN: B.A.B.
CHECKED: J.A.P.
DATE: 08/16/22
JOB NO. 21065-ENG
SHEET NO. C-7



NOTE: ALL UTILITIES TO BE PROVIDED VIA UNDERGROUND. UNDERGROUND ROUTING FROM EXISTING OVERHEAD POWER AND COMMUNICATION/DATA LINES IN THE ALLEY TO BE DETERMINED.

UTILITY PROVIDER SIGNOFF:

FPL:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
COMCAST:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
AT&T:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
FPU:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____

LEGEND:

- | | | | |
|-----|------------------------------------|-----|------------------------------|
| --- | PROPERTY LINE | --- | EXISTING STORM LINE |
| STM | PROPOSED STORM LINE | SAN | EXISTING SANITARY SEWER LINE |
| SAN | PROPOSED SANITARY SEWER LINE | WTR | EXISTING WATER LINE |
| WTR | PROPOSED WATER LINE | OHW | EXISTING OVERHEAD LINES |
| EUG | PROPOSED ELECTRIC UNDERGROUND LINE | GAS | EXISTING GAS LINES |
| GAS | PROPOSED GAS LINE | | |

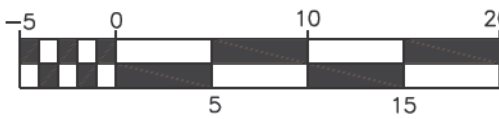
NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'



Know what's below.
Call before you dig.

© COPYRIGHT 2022 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

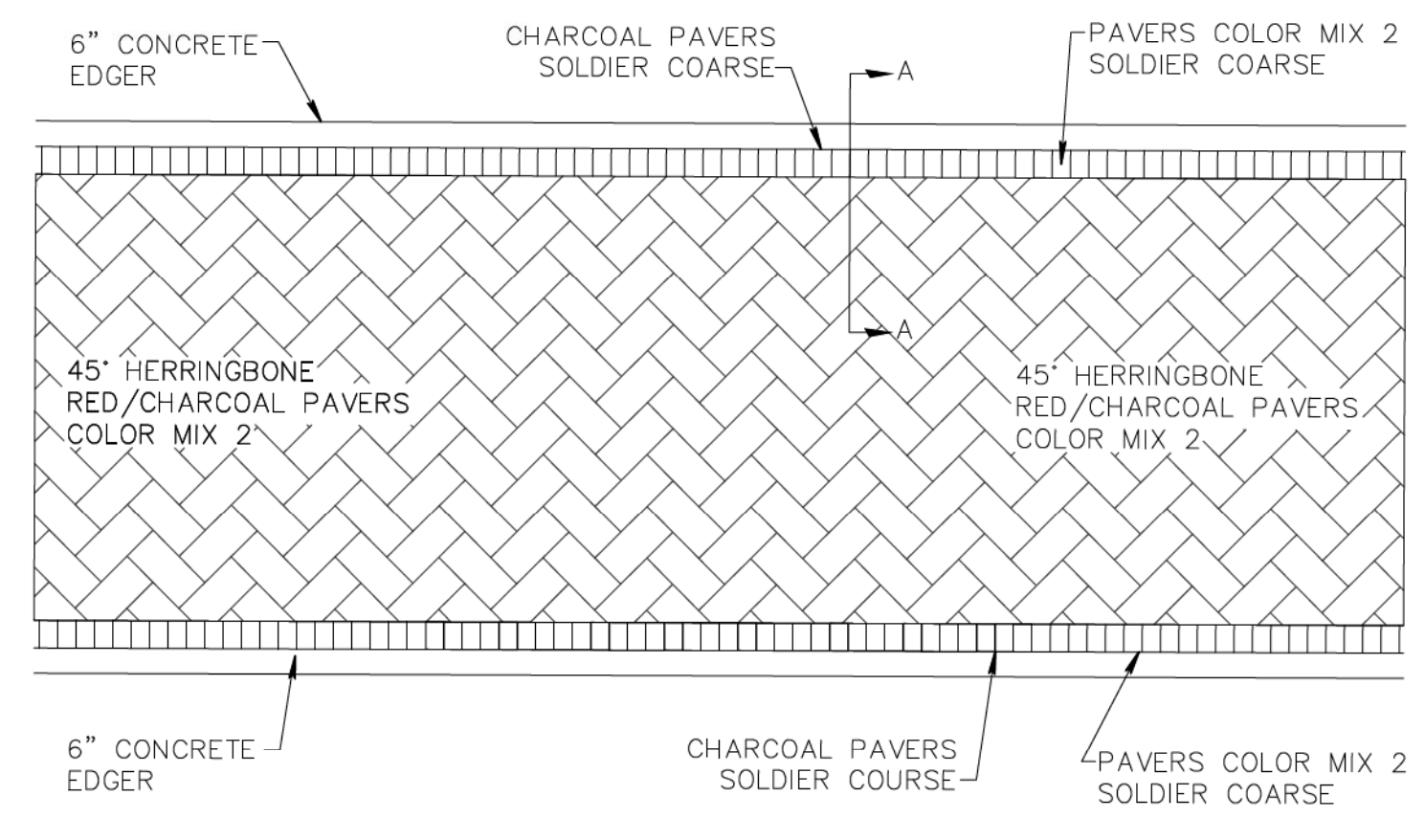
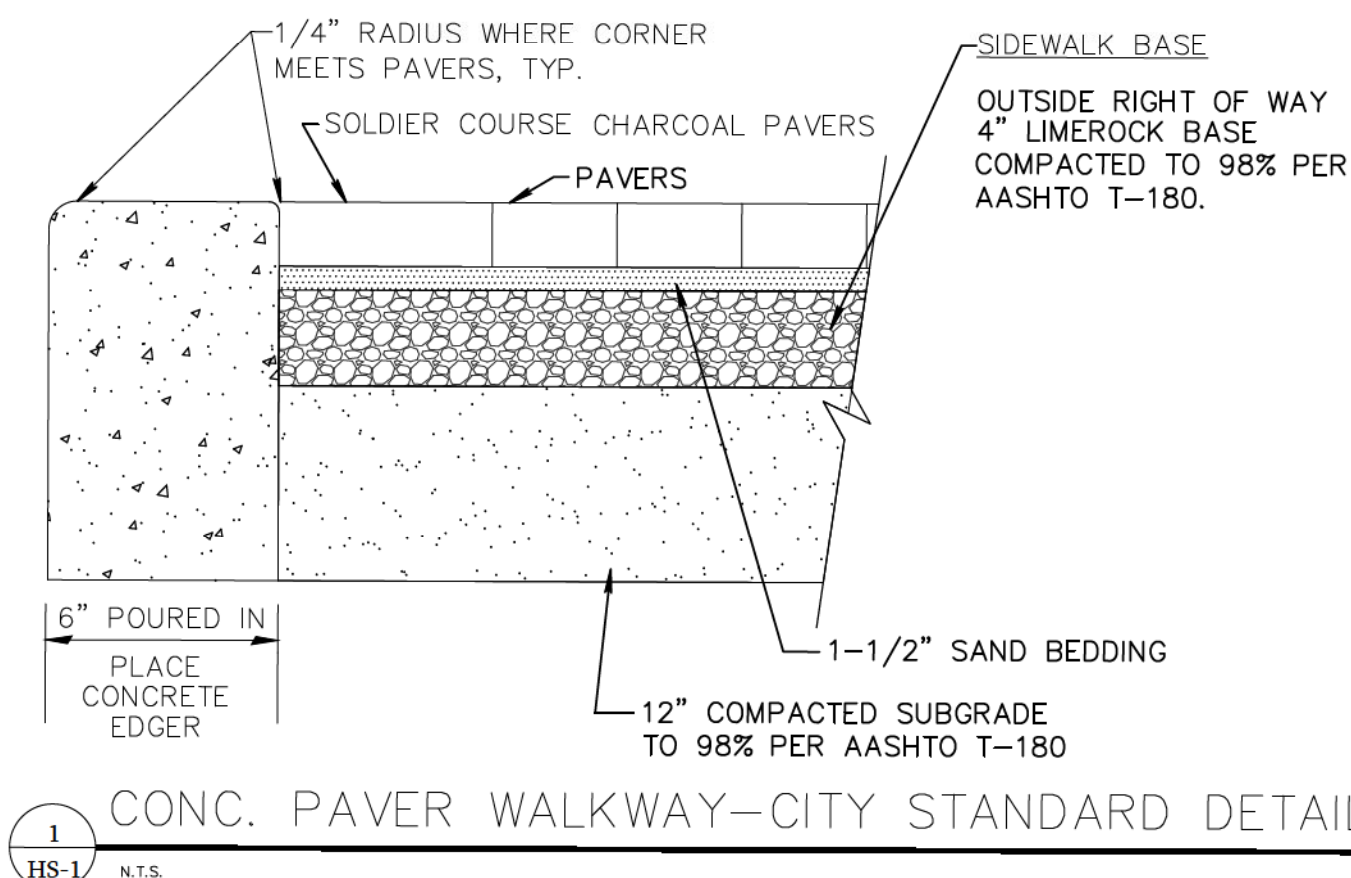
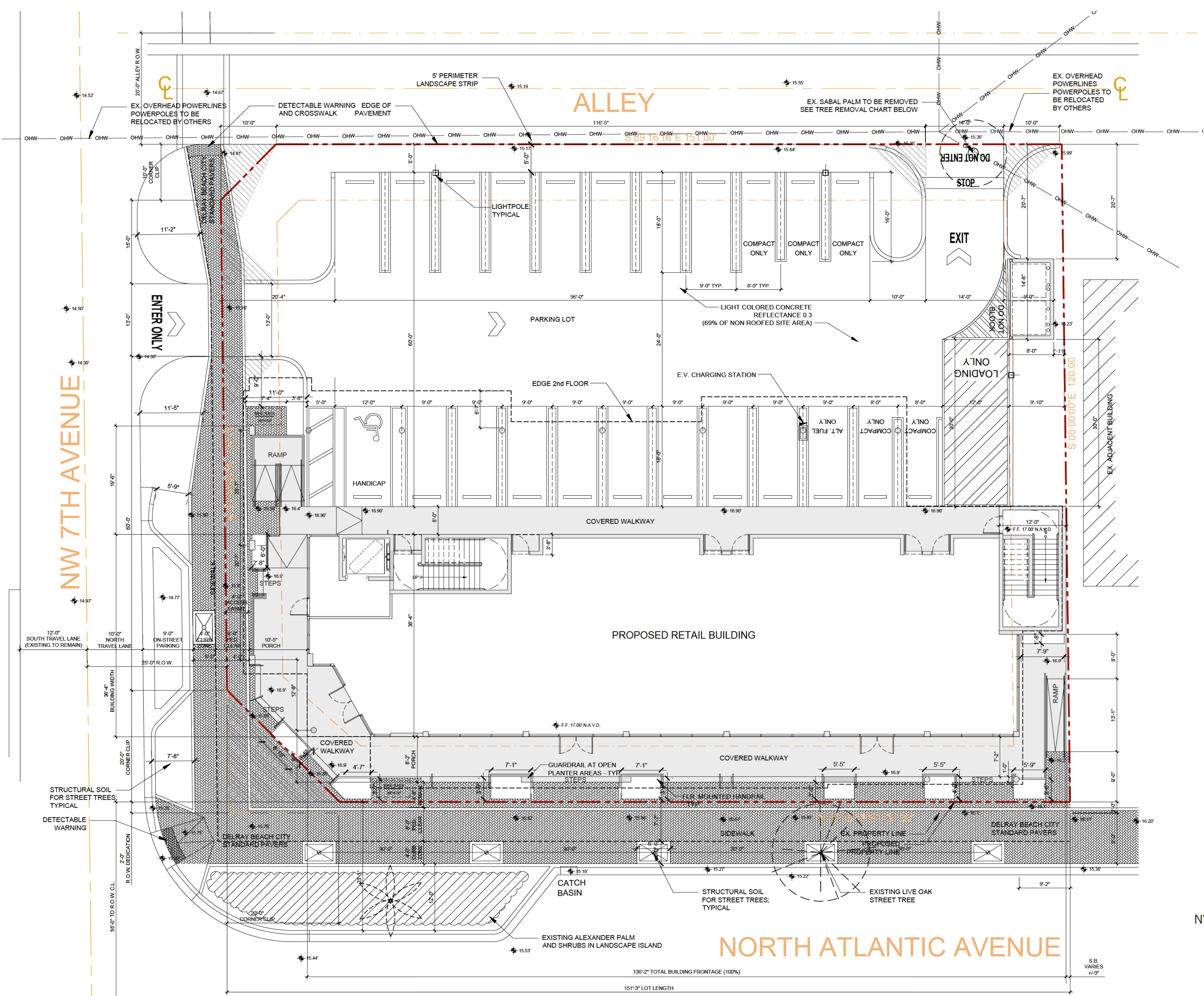
"NOT FOR CONSTRUCTION"

COMPOSITE UTILITY PLAN FOR:
BANYAN WEST ATLANTIC
ATLANTIC AVE & NW 7TH AVE
DELRAY BEACH, FLORIDA

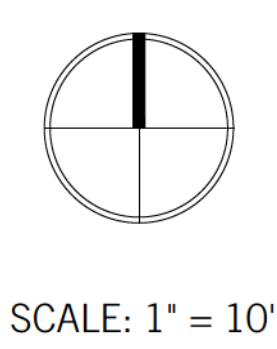
EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
08/16/22
JOB NO.
21065-ENG
SHEET NO.
CU-1

\\SERVER\Shared Folders\Shares\Work\Project Files\Banyan West Atlantic\AgL\LP-5.dwg Saved: 7/20/2022 11:54 AM

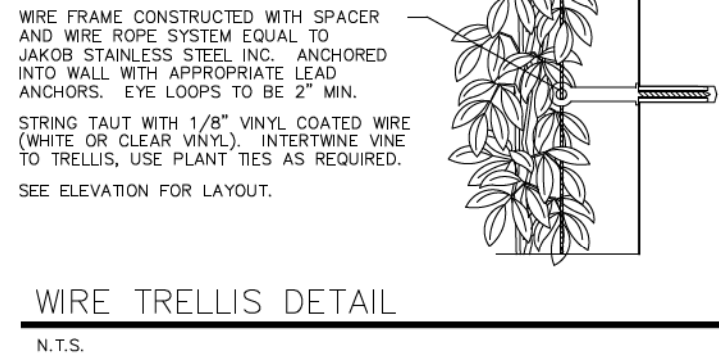


Carol B Perez
Digitally signed by Carol B Perez
Date: 2022.07.20 12:18:16 -04'00'



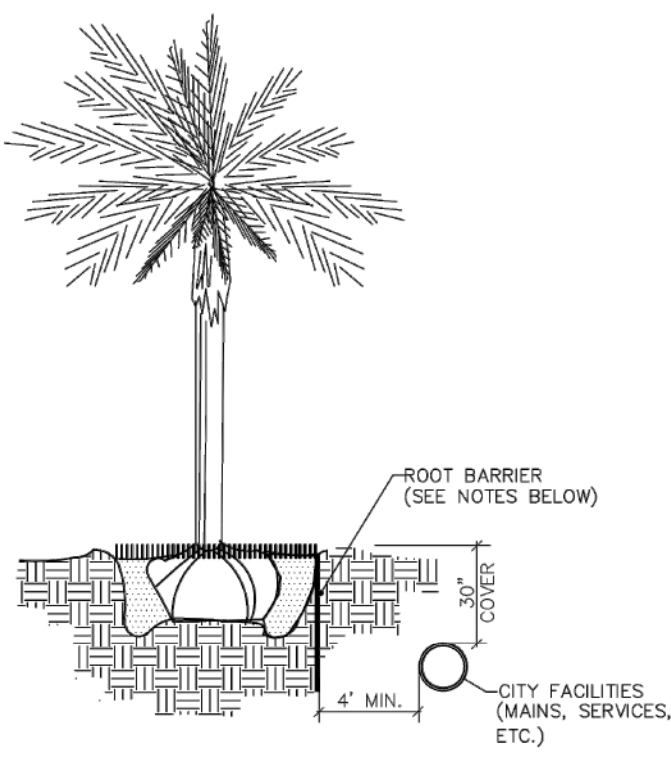
PROJECT
BANYAN WEST ATLANTIC
NW 7TH AVE & ATLANTIC BLVD
DELRAY BEACH, FL
TITLE
HARDSCAPE PLAN

PROJ. NO.
FILE NAME
BB DRAWN
05-20-22 DATE
REV.



PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES		
** BA	5	Bulnesia arborea (Bulnesia) 16' ht., 8' spr., 8' c.t. 6' single straight trunk, full, matched
** N CES	6	Conocarpus erectus 'Sericeus' (Silver Buttonwood) 16' ht., 7' spr., 8' c.t. 6' single straight trunk, full, matched, right tree right place
** N QV	7	Quercus virginiana (Live Oak) 16' ht., 8' spr., 8' c.t., 6' single straight trunk, matched
TA	1	Tabebuia argentea (Yellow Tabebuia) 16' ht., 8' spr., 8' c.t., 6' single straight trunk, character branching
TH	1	Tabebuia heterophylla (Pink Tabebuia) 14' ht., 8' spr., 6' c.t., 6' single straight trunk
PALMS AND ACCEENTS		
** PM	2	Ptychosperma macarthuri (Macarthur Palm) 16' ht., clump, 8' c.t., full
** BGS	2	Bougainvillea arborea (Red Bougainvillea Tree) 8' ht., 6' spr., standard, 4' c.t., full
** N MF	6	Myrcianthes fragrans (Simpson's Stopper) 8'-10' ht., 4' spr., multi-trunk, matched
VINES		
CON	5	Trachelospermum jasminoides (Confederate Jasmine) 8' ht. train to trellis columns
THU	5	Thunbergia grandiflora (Sky Vine) 8' ht. train to wall
SHRUBS AND GROUNDCOVERS		
ARA	170	Arachis glabrata (Perennial Peanut) 4" ht., 12" spr., 4" pots., 12" o.c., full
ALO	6	Alcocia portora (Giant Elephant Ear) 4' ht., full clump, matched
BRO	omit	Acanthaceae odorata (Giant Silver Bromeliad) 30" spr., 30" ht., matched
** N CHR	74	Chrysalobianus icaco (Cocoplum) 24" ht., 24" spr., full, 24" o.c.
** FGI	180	Ficus microcarpa 'Green Island' (Green Island Ficus) 14" ht., 14" spr., 18" o.c., full
** N HYM	35	Hymenocallis latifolia (Spider Lily) 24" ht., 8' spr., full, 2' o.c.
** N LAN	38	Lantana sp. 'Yellow Trailing' (Yellow Trailing Lantana) 14" ht., 14" spr., 18" o.c., full
** N LAM	40	Lantana montevidensis (Purple Trailing Lantana) 14" ht., 14" spr., 18" o.c., full
** LIR	92	Liriope muscari 'Super Blue' (Super Blue Liriope) 12" ht., 12" spr., 12" o.c., full
** N MUH	31	Muhlenbergia capillaris (Muhly Grass) 24" o.a., full, 30" o.c.
PBM	16	Philodendron 'Burle Marx' (Burle Marx Philodendron) 16" ht., 16" spr., 18" o.c., full
POD	44	Podocarpus macrophyllus (Podocarpus) 6' ht., 20" spr., full, 24" o.c.
PRI	132	Podocarpus macrophyllus 'Pringles' (Pringles Podocarpus) 18" ht., 18" spr., full, 18" o.c.
PRC	10	Philodendron 'Rojo Congo' (Rojo Congo Philodendron) 24" ht., 24" spr., 30" o.c., full
N DENOTES NATIVE SPECIES		
** DENOTES DROUGHT TOLERANT		
MULCH	Brown mulch, non-Cypress, 3" depth, contractor to determine quantity	
SOD	St. Augustine 'Palmetto' Sod see plan for locations, contractor to determine quantity	



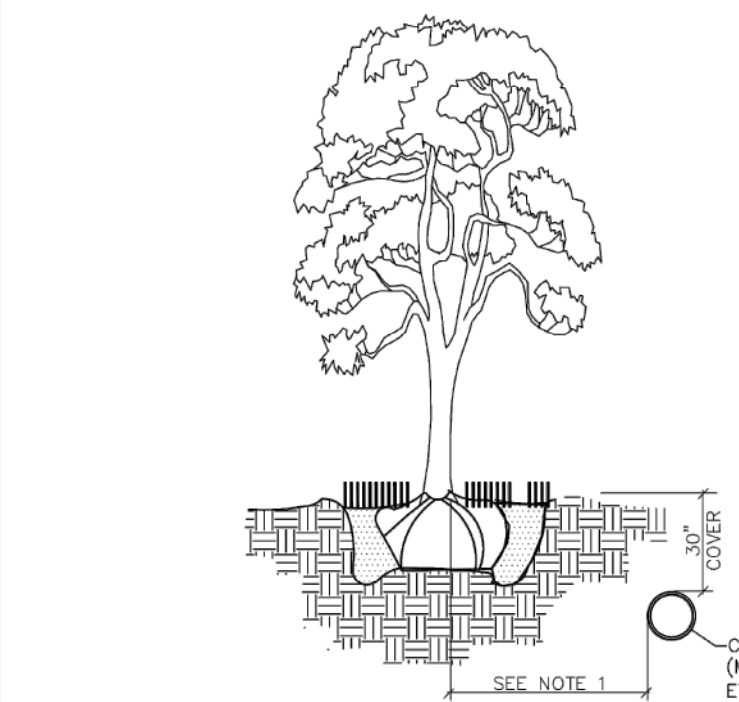
NOTES:

- ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
- THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



TYPICAL TREE WITH ROOT BARRIER

LD 1.1



NOTES:

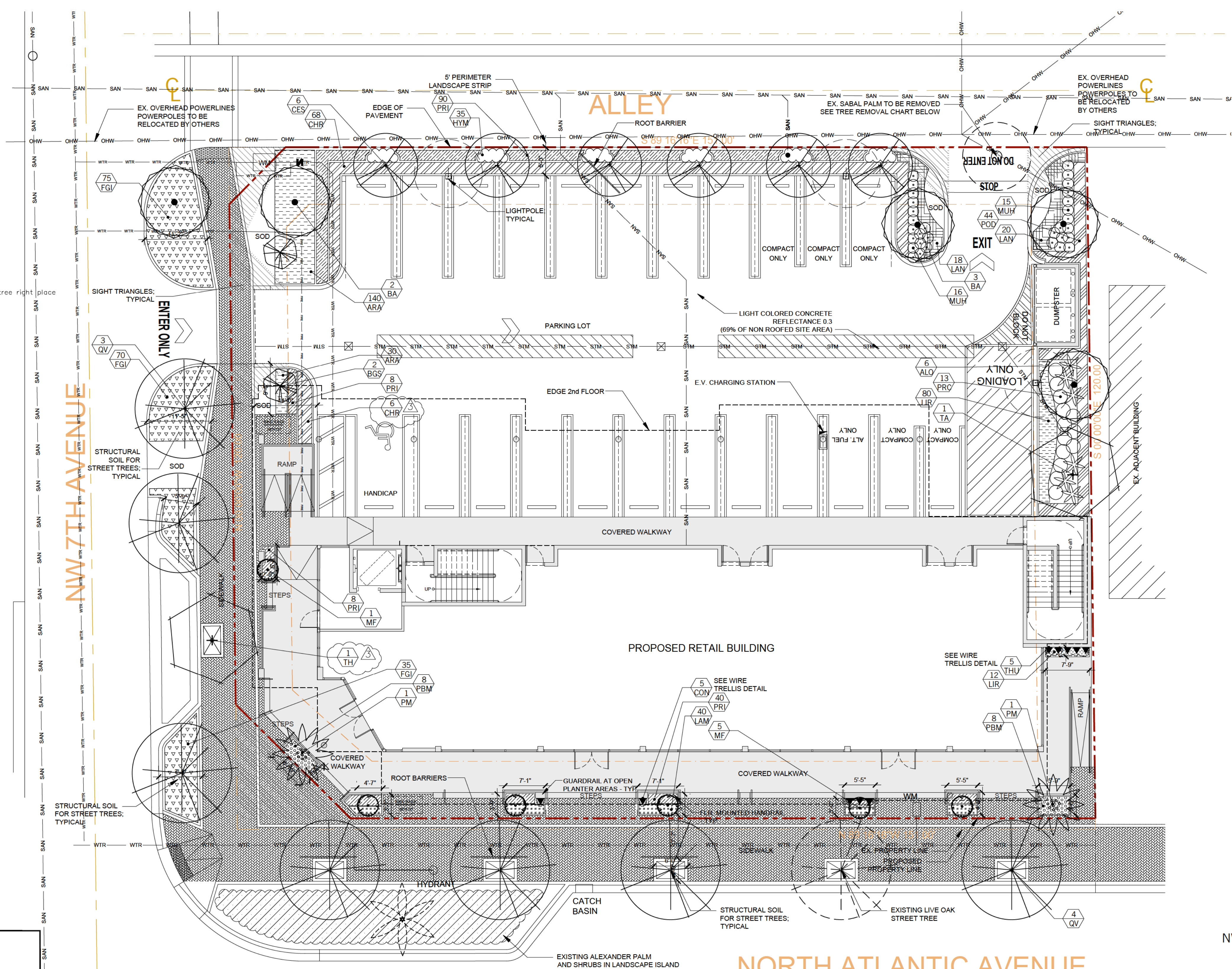
- THIS DISTANCE SHALL BE 10" MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.



TYPICAL TREE WITHOUT ROOT BARRIER

LD 1.2

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD1.1 & LD1.2

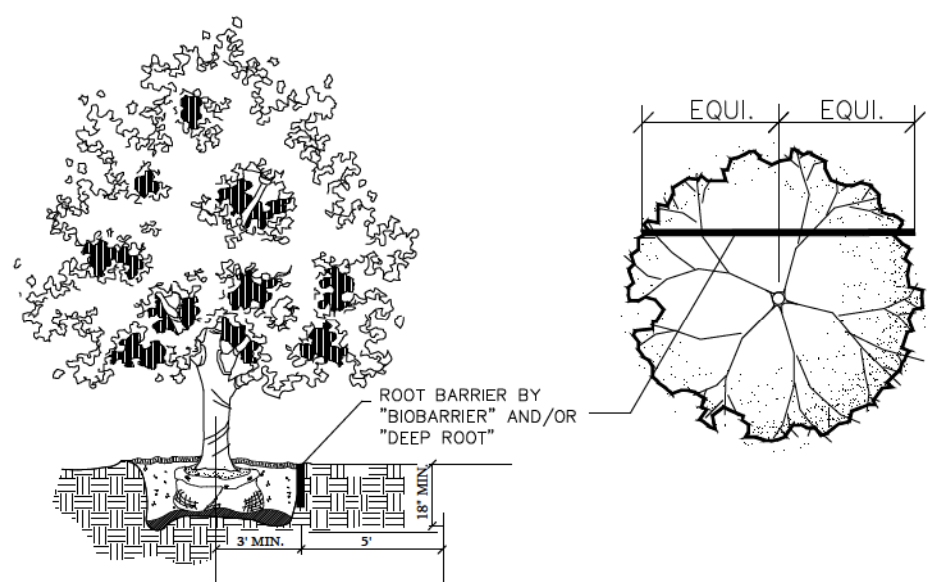


TREE REMOVAL CHART

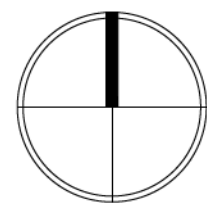
LATIN NAME	COMMON NAME	HT., SPR., C.T.	CONDITION	DBH"	PROPOSED ACTION	MITIGATION REQUIREMENTS PER LDR Sec.4.6.19(E)(5)
Sabal palmetto	SABAL PALM	15' ht., 12' spr.	60%	16"	REMOVE - volunteer, under overhead utilities, invasive Schefflera growing out of head	MITIGATED ON SITE WITH 1 PALM

LANDSCAPE REQUIREMENT CHART

ITEM	REQUIRED	PROVIDED	PLANT LIST
INTERIOR LANDSCAPING LDR Sec 4.6.16.(h)(3)(g)&(h)	10% OF 7,600 S.F. PARKING & ACCESSWAYS, ONE TREE FOR EVERY 125 S.F. (760 S.F./125 S.F. = 6 TREES)	4 TREES	2 - SILVER BUTTONWOOD 1 - BULNESIA 1 - TABEBUIA
LANDSCAPE STRIP LDR Sec 4.6.16.(h)(3)(a) LANDSCAPE BARRIER LDR Sec 4.6.16.(h)(3)(d)	ONE TREE FOR EVERY 30 L.F. WITH CONTINUOUS HEDGE (116 L.F./30 L.F. = 4 TREES)	4 TREES AND CONTINUOUS HEDGE	4 - SILVER BUTTONWOOD 68 - COCOPLUM HEDGE
FOUNDATION LANDSCAPING LDR Sec 4.6.16.(h)(4)	TOTAL BUILDING FACADE LENGTH FACING ROW'S (198 L.F.)	62 L.F.	6 - SIMPSON'S STOPPER 5 - CONFEDERATE JASMINE 5 SKY VINE 2 - MACARTHUR PALM 16 - PHILODENDRON BURLE MAR 48 - PURPLE TRAILING LANTANA 48 - PODOCARPUS PRINGLES 12 - LIRIOPE
STREET TREES LDR Sec 4.6.16.(h)(6)	ONE TREE FOR EVERY 40 L.F. WITH A MINIMUM OF 1 TREE PER PROPERTY (238 L.F./40 L.F. = 9 TREES)	9 TREES	7 - LIVE OAK 1 - EXISTING LIVE OAK 1 - BULNESIA
LANDSCAPE ISLAND AND STRIP FOR PARKING LOT LDR Sec 4.6.16.(h)(3)(j)&(k)	NUMBER OF PARKING ISLANDS (3 TREES)	3 TREES	3 - BULNESIA
NATIVE REQUIREMENTS	50% NATIVE TREES AND PALMS 25% NATIVE SHRUBS AND GROUNDCOVER	65% 31%	



ROOT BARRIER DETAIL



SCALE: 1" = 10'

PROJECT

BANYAN WEST ATLANTIC
NW 7TH AVE & ATLANTIC BLVD

DELRAY BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

FILE NAME

BB DRAWN

11-12-21 DATE

12-16-21 REV.

05-20-22

07-11-22

SHEET

LP-1

OF

2

1. GENERAL CONDITIONS

A. SCOPE

- Contractor shall furnish labor, equipment, and materials required to perform all work necessary for the construction of the project as indicated in the drawings. Such work includes but is not limited to the following:
 - Finish grading of planting areas.
 - Planting.
 - Sodding (if required).
- Contractor shall have a competent representative at the site who shall be capable of reading and understanding plan specifications, and other contract documents. The representative shall be knowledgeable in all areas of landscape construction in Florida.
- Contractor shall be responsible for knowledge of the contents of these specifications and the requirements of any accompanying drawings.

B. DRAWINGS

The drawings and plant lists together with these written specifications shall be considered as one contract document and shall be accordingly read together. The drawings and specifications remain the property of the Landscape Architect and, if required, shall be returned to him upon completion of the work. The contractor shall keep one copy of the drawings and the specifications at the construction site for the use of the Landscape Architect, Owner, and their representatives.

C. REQUIREMENTS OF REGULATORY AGENCIES

- Perform work in accordance with all applicable codes, laws, and regulations required by authorities having jurisdiction over such work for all inspections and permits required by Federal, State, and local authorities in furnishing, transporting and installing materials.
- Certificates of inspection required by law for transportation shall accompany invoice for each shipment of plants. File copies of certificates with Landscape Architect or Owner after acceptance of material. Inspection by Federal or State Governments at place of growth does not preclude rejection of plants at project site.

D. PROTECTION OF WORK AND PROPERTY

- Contractor is responsible for maintaining adequate protection of his work from, injury and loss resulting from the execution of this contract. He must make good all repairs and replacements to the satisfaction of the Landscape Architect or the Owner except when caused by the Owner or his agents. He must provide all safety or protective measures required by public authorities or local conditions.
- Existing plant material to remain must be protected by barriers or fences at the drip line surrounding the material. No burning, storage, or parking shall be permitted within these protected areas. Contractor shall notify the Landscape Architect or Owner of any situation he feels may damage the existing plants to remain in the normal execution of this contract. Do not proceed with such work until directed by the Landscape Architect or Owner. Contractor damages plants shall be replaced with plants of the same species, size, and quality as those damaged at no cost to the Owner. The Landscape Architect shall determine the extent and value of the damaged plants.

E. CHANGES IN THE WORK

- The Owner reserves the right to make changes in the work and thereby changes in the cost of the work within the conditions of the original contract. All changes shall be in written form and once accepted, shall become a part of the contract documents.
- The Contractor shall not begin any work on extras or changes from the contract document before written approval has been given by the Owner or Owner's representative. Any work done prior to such written approval may or may not be paid for, at the discretion of the Owner..

F. OWNER'S RIGHT TO DO WORK

The Owner reserves the right, upon two (2) days written notice to the Contractor, remedy any neglected provisions of the contract and to deduct the cost of the work or deficiencies from the contract payments.

G. SURFACE AND SUBSURFACE OBSTRUCTIONS

It is the Contractor's responsibility to acquaint himself with the existence and location of all surface and subsurface structures and installations, existing or proposed, before commencing work. Any damage by the Contractor during the execution of this contract shall be made good at the Contractor's own time and expense. If subsurface construction or obstructions are encountered during planting, alternate locations may be selected by the Landscape Architect or Owner.

H. OWNER'S RIGHT TO TERMINATE

Should the Contractor at any time fail, refuse, or neglect to comply with the provisions of this contract, the Owner, or his representative shall without prejudice to any other rights or remedy and after having given seven (7) days written notice to the Contractor, terminate the contract and take possession of the premises. The cost of completion will be deducted from the amount of the contract.

I. COORDINATION OF WORK

Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.

J. INSPECTION OF SITE

- Contractor shall visit the site and inspect site conditions as they exist prior to submitting bid.
- No additional compensation nor relief from any obligation of the contract will be granted because of lack of knowledge of the site or of the conditions under which the work will be accomplished.

II. PLANTING SPECIFICATIONS

A. PLANT MATERIALS

- Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project, unless otherwise noted.
- Quantities, sizes, and spacing will be determined by the drawings and specifications. Where discrepancies exist, the Landscape Architect or Owner is to be notified for clarification. Contractor shall be responsible for completing installation as called for in the plans, plant lists, and specifications.

B. ABBREVIATIONS ON PLANT LIST

B&B – Balled and burlapped. Plants shall be dug with a firm natural ball of earth of sufficient size to encompass the fibrous root system necessary for recovery of the plant. Broken or loose balls will not be accepted.
G. – One (1) gallon container.
R.C. – Rooted cutting. A cutting which has calloused and produced roots. Applies equally to cuttings rooted in a propagation bed or in individual containers.

Cal. – Caliper of trunk measured four (4) feet above the ground.
C.T. – Clear trunk. Measurement from top of root ball to first branching.
G.W. – Grey wood area on palms between ground level and base of fronds.

O.A. HT. – Overall height from ground level to midpoint of current season's growth.

SPR. – Spread measured across the average diameter of plant.
O.C. – On center. Horizontal spacing of plants center to center.
P.P.P.– Plants per pot.

Container sizes are only a guide. Contractor is responsible for size and quantity of plant material as specified. No container material shall be rootbound. Where B&B material is specified, container material will not be accepted without written consent of Landscape Architect or Owner.

C. QUALITY AND SIZE

Plants shall have a habit of growth which is normal for the species and shall be free from physical damage, insects or pests, and adverse conditions that would prevent thriving growth. Measurements specified in the plant list are the minimum acceptable sizes. All plant materials used shall be true to name and size in conformance with the Grades and Standards for Nursery Plants, State Plant Board of Florida, and shall be graded Florida No. 1 or greater, except where noted in the contract documents. Plants shall be graded before pruning. Any necessary pruning shall be done after planting and with the consent of the Landscape Architect or Owner. Plants which do not meet the requirements will not be accepted.

D. SUBSTITUTIONS

No substitutions shall be accepted without the written consent of the Landscape Architect, Owner or their representatives. Proof must be submitted that the plant in question is not available in the type or size specified. The Landscape Architect or Owner shall determine the nearest equivalent replacement.

E. TRANSPORTATION AND STORAGE

All plant material shall be protected from possible injury or breakage of branches. All plants shall be delivered adequately covered to prevent windburn, drying, or damage. Plants which can not be planted immediately shall be adequately heeled in and protected from the drying of sun and wind. All plants shall be watered as necessary until planting. Storage period shall not exceed 72 hours. All palms shall have their buds tied with burlap strips to remain in place until the tree is well established in its new location (this may be waived with the consent of the Landscape Architect or Owner). Trees moved by crane or winch shall be adequately protected from chain marks and girdling by approved methods.

F. INSPECTION

No plant material shall be planted until it is inspected and approved by the Landscape Architect, Owner, or their representatives. Contractor shall give the Landscape Architect or Owner two (2) days notice for inspection of plant material. Inspection may be waived at the discretion of the Landscape Architect or Owner, in which case, the Contractor will still be responsible for complying with all specifications. Contractor shall be responsible for all inspections of plant material that may be required by State or Federal authorities and inspection certificates shall be submitted to the Landscape Architect or Owner. Rejected material shall be replaced at no additional cost. Landscape Architect, at his discretion, may tag any or all plant material in the nursery.

G. PLANTING SOIL

Planting soil shall consist of fertile friable soil of a sandy loam nature and shall be derived from 50% minimum amount of decomposed organic matter (muck or peat) and 50% clean sand with no trace of salinity. There must be a slight acid reaction to the soil. Planting soil shall be free from stones, plants, roots, clods, sticks and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. Planting soil shall be applied in accordance with the Methods of Installation and details.

H. MULCH

Mulch shall be approved (as per Municipality) non-cypress mulch, unless otherwise specified, and shall be free of weeds, weed seeds, sticks and other foreign materials. It shall be applied to a minimum three (3) inch depth, unless otherwise specified, and moistened at the time of application to prevent wind displacement.

I. COMMERCIAL FERTILIZER

Commercial fertilizer shall be an organic fertilizer containing equal percentages of nitrogen, phosphoric acid and potash as available plant food by weight. 50% of the nitrogen shall be derived from natural organic sources. The trace elements of iron and magnesium must also be present. The minimum analysis acceptable shall be 6%N-6%P-5%K. Fertilizer shall be dry, free flowing, and delivered to the site in unopened original containers, each bearing the manufacturers guaranteed analysis. If Milorganite with trace elements is to be used, application rates are as follows:

Trees: 12 lbs./2"-3" caliper tree
7gal + 4 lbs./container
3gal.: 1 lb./container
1 Gal. Can: .5 lbs./container
4" Pot: .25 lbs./container
Groundcover Beds 10 lbs./100 sq. ft.

Fertilizer shall be spread before laying mulch and at the above recommended rates, unless otherwise specified. If plant tablets are called for, they shall be Agriform 20-10-5 formula, 21 gram tablets. Tablets shall be placed mid-way to the plant ball in the back fill material and at manufacturer's rates, unless otherwise specified.

J. WATER

Water is to be furnished by the Owner. The Contractor shall transport as required.

K. SOD (WHEN APPLICABLE)

Sod shall be one year old and of the variety indicated in the plant list. Sod shall be dense, vigorous, and green, with the grass having been mowed at least three times at a 2"-2 1/2" height before lifting from the field. Sod shall have a good root development and compact growth and contain no weeds, vermin, fungus, or other diseases. No sod shall be used which is not certified as being free of the imported fire ant. All sticks, stones, and other foreign material over one inch in diameter shall be removed from the top 2" of soil. Grade areas to be sodded so that the top of sod will be the finished grade. Solid sod shall be laid with closely abutting joints with a tamped or rolled even surface. Avoid a continuous seam along the line of water flow in swales. Place sod at right angles to slope. All sod edges shall be neat and even and conform to the shape of the planting plans. Rolling may be required at the discretion of the Landscape Architect or Owner. If the Landscape Architect or Owner determines that top-dressing is required after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in. Rolling and top-dressing shall be done at no extra cost to the Owner.

L. SEED (WHERE APPLICABLE)

Grass seed shall be of the mixture called for in the plant list. It shall be a standard grade seed of the current or last year's crop. Seed which has become wet, moldy, or otherwise damaged will not be accepted. Seed must come in unopened packages with the procurer's guaranteed analysis attached. Weed seed content shall not exceed 0.25%. Before any planting, the ground shall be plowed or scarified to a depth of at least 4" and shall be raked and smoothed evenly to establish a final grade. All sticks, and other foreign material over one inch in diameter shall be removed. Contractor shall use the Hydromulch seeding method and supply all material and equipment necessary to perform the specified work. Seed shall be applied at a rate of 2-3 pounds per 1000 sq. ft. (90-100 lbs./acre). Mulch shall be "Silv Fiber" processed wood fiber or approved equal and applied at the rate of 50 lbs./acre. All materials shall be uniformly blended in an agitating system using clean water and applied uniformly at the rates specified. Contractor shall be responsible for proper watering of the seeded area in order to avoid runoff, and for keeping the ground moist until the grass is re-established, and watering for proper growth until the work is accepted. Contractor shall repair erosion caused by excessive rainfall or watering at no extra cost to the Owner. Any areas which are damaged or disturbed during the first thirty (30) days shall be re-seeded and maintained until grass is established. Grass shall be vigorous and healthy and coverage shall be at least 95% prior to final acceptance.

III. METHODS OF INSTALLATION

A. LAYOUT

Location of plants and layout of all beds are indicated on the plans. Plant locations are to be staked in the field by the Contractor. Landscape Architect or Owner will check staking of plants in the field and shall adjust to his satisfaction before planting begins. Where surface or subsurface obstructions are encountered or where changes have been made in construction, necessary adjustments will be approved by the Landscape Architect or Owner.

B. EXCAVATION FOR PLANTING

Shrub beds are to be excavated a minimum of 18" and backfilled with planting soil as defined in Section II, G and as shown on details.

Tree and palm planting holes shall be excavated to a minimum depth of four (4) inches deeper than the depth of the root ball except for trees over 10 feet in height (see section II, C).

Holes shall be a minimum of six (6) inches greater in diameter than the root ball for shrubs and eighteen (18) inches greater in diameter for trees. All existing vegetation, including sod, shall be completely removed from all planting beds before planting. Four (4) inches of planting soil shall be incorporated into all planting beds for rooted cuttings. Where applicable, planting holes for all trees, shrubs, and groundcovers shall be excavated through any compacted building subgrade or road rock to undisturbed subsoil or clean sand fill. All excess excavation material shall be removed from the site by the Contractor. Holes shall be back-filled with planting soil as defined in Section II, G and as shown in details. The following is a guide for planting soil quantities:

Trees – 10" or greater 9 cu. ft.
Trees – 8" ht. 6 cu. ft.

Quantities of planting soil needed may be greater if excavation of building subgrade or roadrock is necessary.

C. SETTING TREES AND SHRUBS

All trees and shrubs are to be planted plumb on four (4) inches of planting soil and centered in the planting hole as to give the best appearance in relation to adjacent plants and structures. Trees over ten (10) feet in height shall be planted directly on the undisturbed subgrade. The finished grade level of the plant after settlement shall be the same as that at which the plant was grown. Rootballs on container grown material shall be scarified to prevent a root-bound condition. When the plant holes have been backfilled approximately 2/3 full with planting soil, water thoroughly, saturating rootball, before installing remainder of planting soil to top of hole, eliminating all air pockets. After settlement, add planting soil to top level of the finished grade, allowing three (3) inches for mulch. Form a shallow saucer around each plant by forming a ridge of soil along the edge of the planting hole. All Sabal palmetto are to be planted in sand. Water all plants immediately after planting.

D. PRUNING

Remove dead and broken branches from all plant material. Prune with sharp instrument flush with trunk or branch so as to leave no stubs. Prune to retain typical growth habit of the particular species. Pinch cuts over 1 1/2" in diameter with a waterproof antiseptic tree paint.

E. STAKING AND GUYING

Staking and guying of trees, where specified, is an option to be used by the Contractor, who will be responsible for material remaining plumb and straight for all given conditions through the guarantee period. The Landscape Architect, Owner or Owner's representative may require that a tree or trees be staked or guyed if the tree(s) are obviously unstable or pose a threat to person or property if they should fall. Tree support, if required by Landscape Architect or Owner, shall be done according to staking details provided. Staking and guying shall be done at no extra cost to the Owner. No method of support shall be permitted which causes physical damage to the plant. Any method of staking or guying not shown must be approved by the Landscape Architect.

F. MULCHING

All tree and shrub beds shall be mulched immediately after planting to a three (3) inch depth and thoroughly wetted down. Unless otherwise specified, the following configurations will apply:

Trees and Palms: 3' diameter ring
Hedges: 3' wide beds
Shrub masses continuous bed extending 2' outside of plants, in configurations shown on plans
Ground cover beds:entire surface (mulching of certain ground cover plants may be waived by Landscape Architect)

G. FINISH GRADES

- Finish grades for all sod areas after settlement shall be 1/2" below top of adjacent curbs, walks, walls, and abutments.
- Finish grade of all ground cover beds after mulching and settling shall be 1/2" below finish grade of sod, adjacent curbs, walks and walls.
- Finish grading shall include the removal of all surface rock and other debris that prevents a smooth level surface.

H. CLEANUP

All areas shall be kept clean and orderly as the work progresses. Upon completion of planting, all excess deleterious materials and debris shall be removed from the site or disposed of as directed by the Landscape Architect or Owner. All tags and ribbons shall be removed from trees and shrubs.

I. MAINTENANCE

A maintenance period shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance of new planting shall consist of watering, cultivating, weeding, mulching, restaking, repairing and tightening guys, resetting plants to proper grades and positions, removal of dead materials, restoration of planting saucers, maintaining any barriers or fences, and any other necessary operations. Any damage created by the planting operation shall be repaired promptly. All trees and other B&B material shall be deep watered for a period of least twenty one (21) days after installation and at least once every other day during the (21) day period.

IV. FINAL INSPECTION AND ACCEPTANCE

- Inspection of work to determine completion of contract, but exclusive of the replacement of plant materials under the Warranty Period, will be made by the Landscape Architect or Owner at the conclusion of all planting and at the written request of the Contractor.
- The Contractor will be notified by the Landscape Architect or Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to Warranty.

V. WARRANTY PERIOD AND REPLACEMENT

- The Contractor, as part of this contract, shall guarantee all materials, workmanship, and plant materials for a period of twelve (12) months from the time of final acceptance. Exception: sod shall be guaranteed for thirty (30) days. Guarantee shall apply to the position,, health, shape, condition, and specified size and quality of all plant material.
- The guarantee shall be null and void for plant material that is damaged or dies as a result of freeze, hail or hurricane-force winds, provided the material was properly planted and in a healthy growing condition prior to such acts of Nature. The Contractor shall not be held responsible for failures due to neglect by Owner or acts of vandalism during the Warranty Period.
- During, or at the end of the Warranty Period, any plant that is dead or not in satisfactory condition, as determined by the Landscape Architect or Owner, shall be replaced by the Contractor at no cost to the Owner. Subsequent replacement costs shall be shared equally by the Owner and the Contractor, should the replacement not survive, unless the plant(s) have not been planted in accordance with previous specifications as determined by the Landscape Architect or Owner. All replacements shall be furnished and planted as specified herein.
- The Warranty Period for replaced plant material shall commence on the date of acceptance of the replaced item(s) of plant material.

VI. ADDENDA

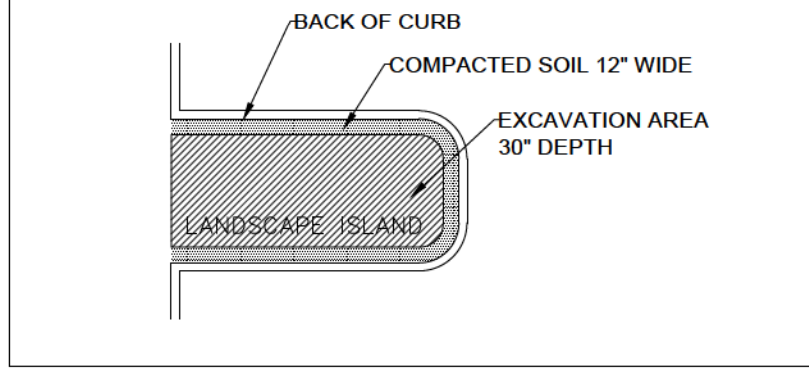
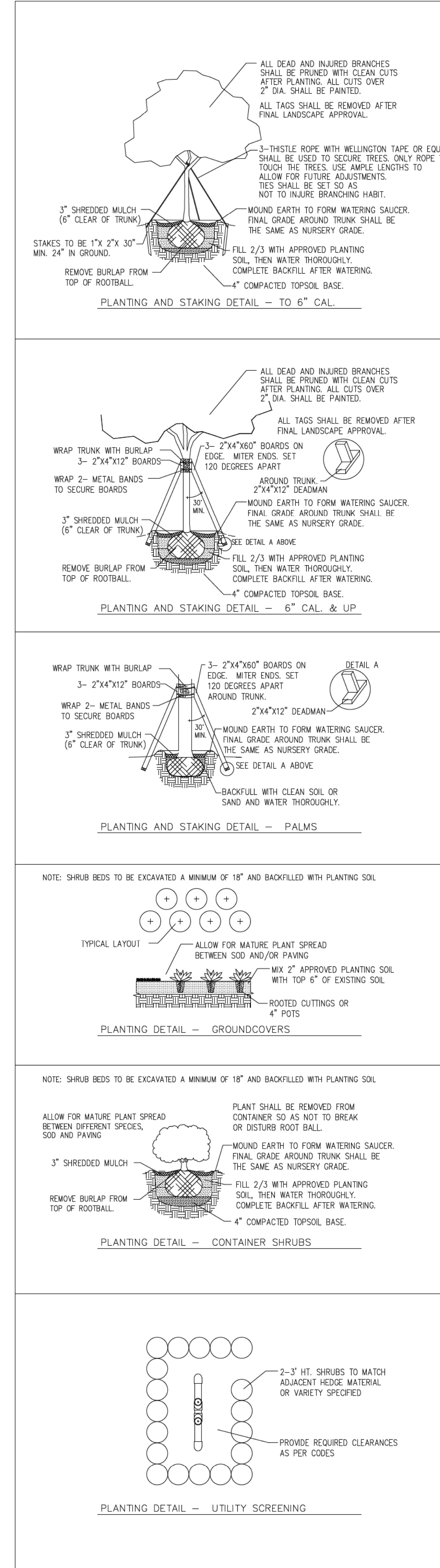
All addenda apply to section(s) specified in the contract documents and therefore are to be considered a part of the contract.

SITE RESTORATION

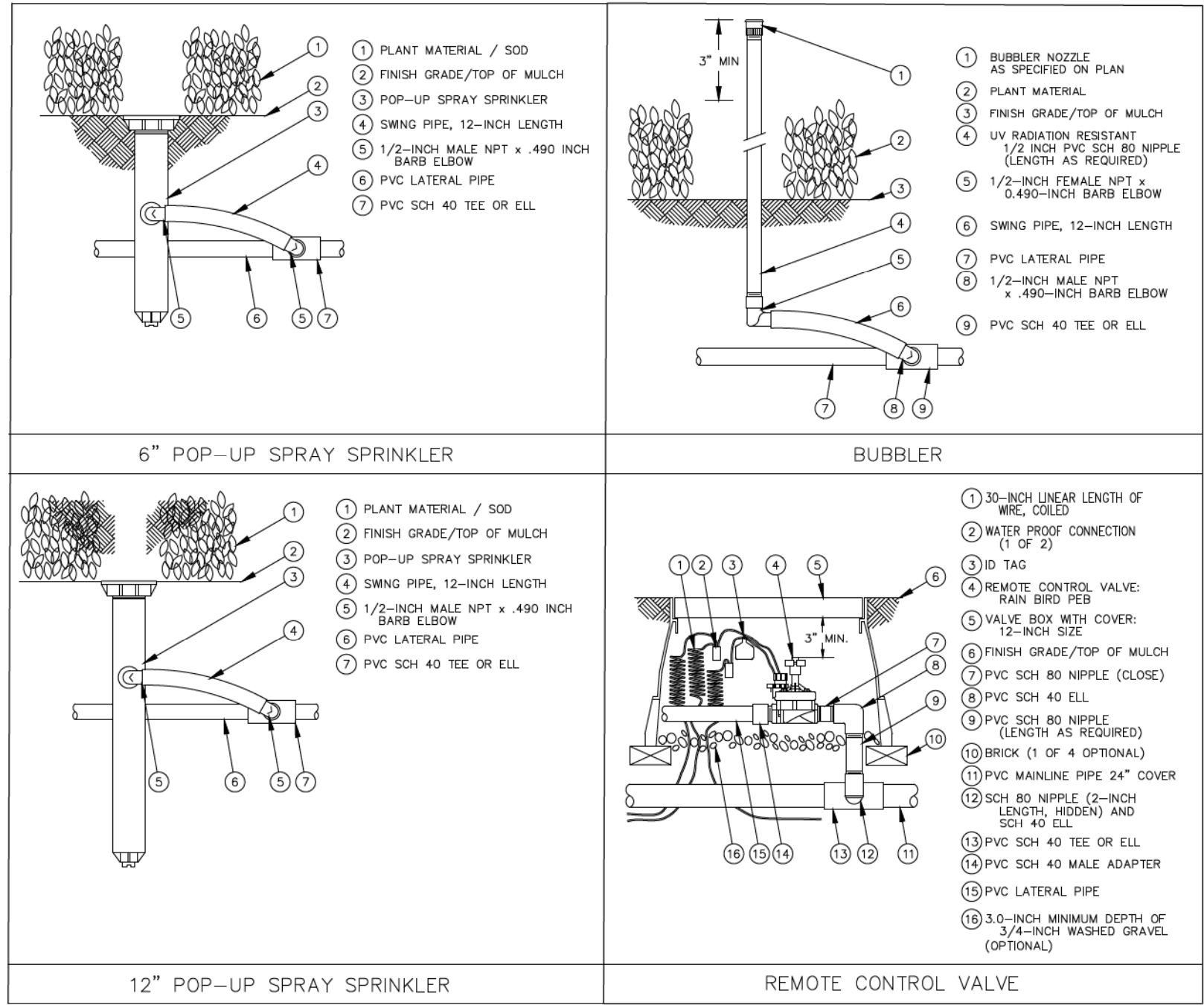
The contractor shall remove all excess material and shall clean up and restore the site to its original condition or better. All damage, as a result of work under this Contract, done to existing structure, pavement, driveways, paved areas, curbs and gutters, sidewalks, shrubbery, grass, trees, utility poles, utility pipe lines, conduits, drains, catch basins, flagstones, rocked, graveled or stabilized areas or driveways and including all obstructions not specifically named herein, shall be repaired and restored to a condition acceptable to the Landscape Architect or owner.

CONTRACTOR TO CHECK DRAWINGS AND DATA

The Contractor shall verify all dimensions, quantities, locations, materials and details shown on the Drawings, supplementary drawings, schedules or other data received from the Landscape Architect, and shall notify him of all errors, omissions, conflicts and discrepancies found therein. Failure to discover or correct errors, conflictions or discrepancies shall not relieve the Contractor of full responsibility for unsatisfactory work, faulty construction, or improper operation resulting therefrom nor from rectifying such condition at his own expense. He will not be allowed to take advantage of any error or omissions, as full instructions will be furnished by the Landscape Architect or Owner, should any error or omissions be discovered. All schedules are given for the convenience of the Client, Landscape Architect and Contractor and are not guaranteed to be complete.



PROJECT	
BANYAN WEST ATLANTIC NW 7TH AVE & ATLANTIC BLVD	
DELRAY BEACH, FL	
TITLE	
DETAILS & SPECIFICATIONS	
PROJ. NO.	
FILE NAME	
DRAWN	
BB	
11-12-21	DATE
12-16-21	REV.
05-20-22	



IRRIGATION LEGEND

MIST HEADS

RAINBIRD 1806 6" POP-UP MIST HEAD OR EQUAL WITH THE FOLLOWING NOZZLES: (USE 12" POP-UP MIST HEAD FOR TALLER PLANT MATERIAL. ADJUST RISER HEIGHT TO PLANT MATERIAL.)

- 15' SERIES NOZZLE.
- 12' SERIES NOZZLE.
- 10' SERIES NOZZLE.
- 8' SERIES NOZZLE.

BUBBLER NOZZLES

RAINBIRD BUBBLER NOZZLE ON FIXED RISER 3" ABOVE FINISH GRADE. AS FOLLOWS:
5H-B .5 - 1.0 GPM

VALVES

RAINBIRD PEB SERIES ELECTRIC GLOBE VALVE, SIZE AS NOTED ON PLAN, IN AMETEK OR CARSON 12"x18" VALVE BOX OR EQUAL

CONTRACTOR TO SUPPLY:
RAINBIRD RSD SERIES RAIN SENSOR OR EQUAL

FIELD CONTROLLERS LOCATION
RAINBIRD ESP SERIES OR EQUAL

SCH 40 PVC SLEEVES UNDER PAVEMENT
SLEEVES: SCH 40 PVC OR RATED EQUAL CLASS. SLEEVES TO BE MIN. 24"- MAX. 36" DEEP - See FPC Chart

IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
- IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITIES TO VERIFY LOCATIONS. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
- PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
- THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURRED ROADWAYS.
- ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 24" BELOW FINISH GRADE.
- CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
- PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
- ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
- SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC, SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 50% OVERLAP MIN.

IRRIGATION PIPE INSTALLATION to follow specifications called for in Florida Plumbing Code Appendix F:

PIPE SIZE (inches)	DEPTH of COVER (inches)
1/2 - 2 1/2	18 - 24
3 - 5	24 - 36
6 and larger	30 - 36

PIPE SIZE (inches)	DEPTH of COVER (inches)
1/2 - 1 1/4	6 - 12
1 1/2 - 2	12 - 18
2 1/2 - 3	18 - 24
4 and larger	24 - 36

Depths of cover to meet or exceed SCS Code 430-00

(*) ALL TESTING AND INSPECTIONS OF INSTALLED IRRIGATION SYSTEM SHALL BE AS PER FBC APPENDIX "F", PART VI

Irrigation installation shall observe all other standards established by FPC.

PIPE SIZE (inches)	max. GPM
3/4	10
1	15
1 1/4	25
1 1/2	35
2	55
2 1/2	85
3	over 85

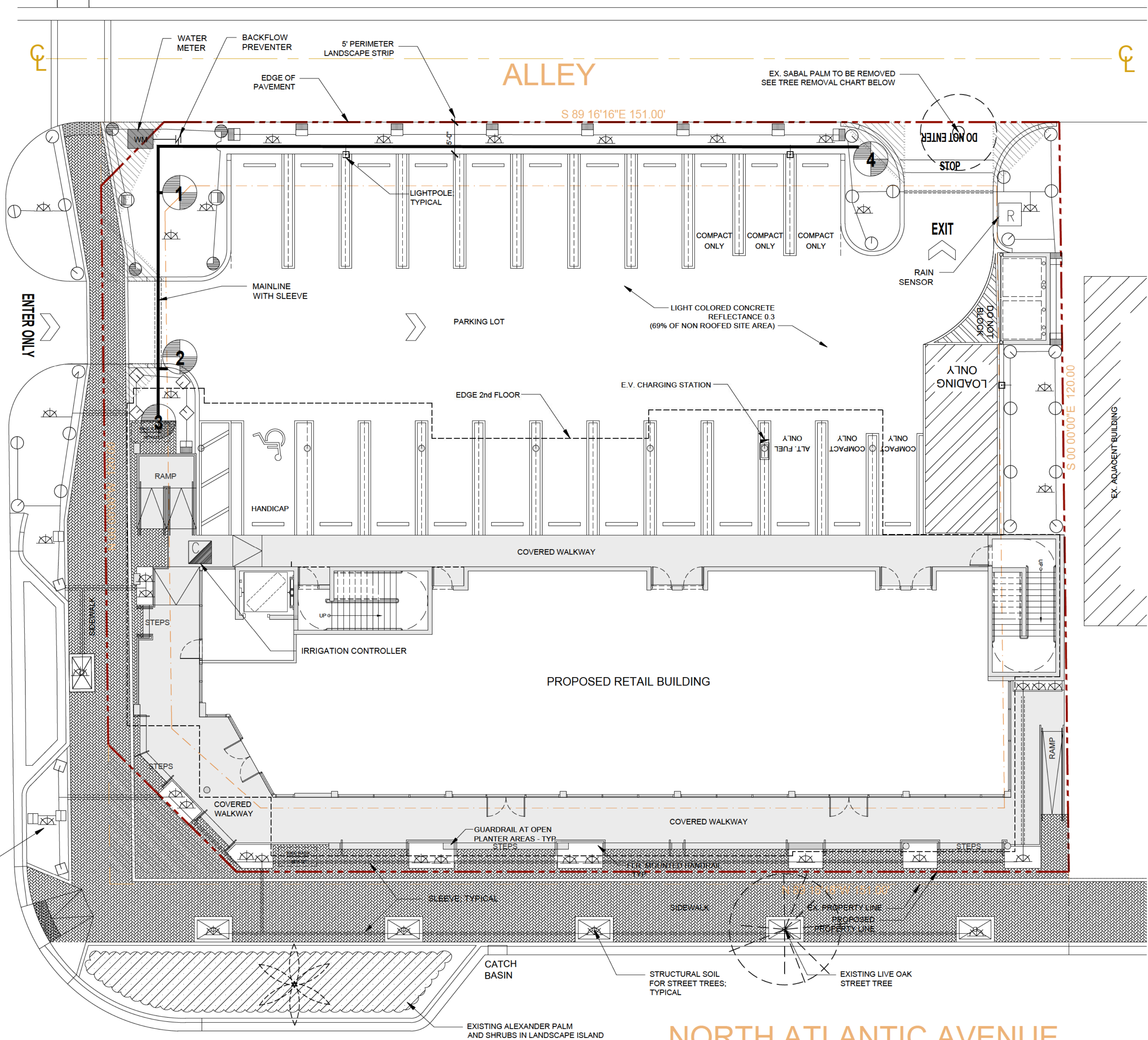
City required backflow valve provided. (pressure vacuum breaker)

Irrigation heads shall have 100 % coverage / 100 % overlap.

Irr. system to have rain sensor.

Site has high irrigation demand separated from low demand areas.

NW 7TH AVENUE

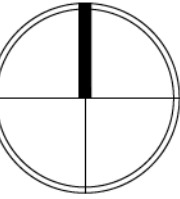


AGT LAND
LANDSCAPE ARCHITECTURE

132 NORTH SWINTON AVENUE
DELRAY BEACH, FL 33444
T (561) 276-5050
www.agtland.com

Carol B
Perez

Digitally signed
by Carol B Perez
Date: 2022.07.20
12:19:05 -04'00'



SCALE: 1" = 10'

PROJECT

BANYAN WEST ATLANTIC
NW 7TH AVE & ATLANTIC BLVD

DELRAY BEACH, FL

TITLE

IRRIGATION
HEAD LAYOUT PLAN

PROJ. NO.

FILE NAME

BB DRAWN

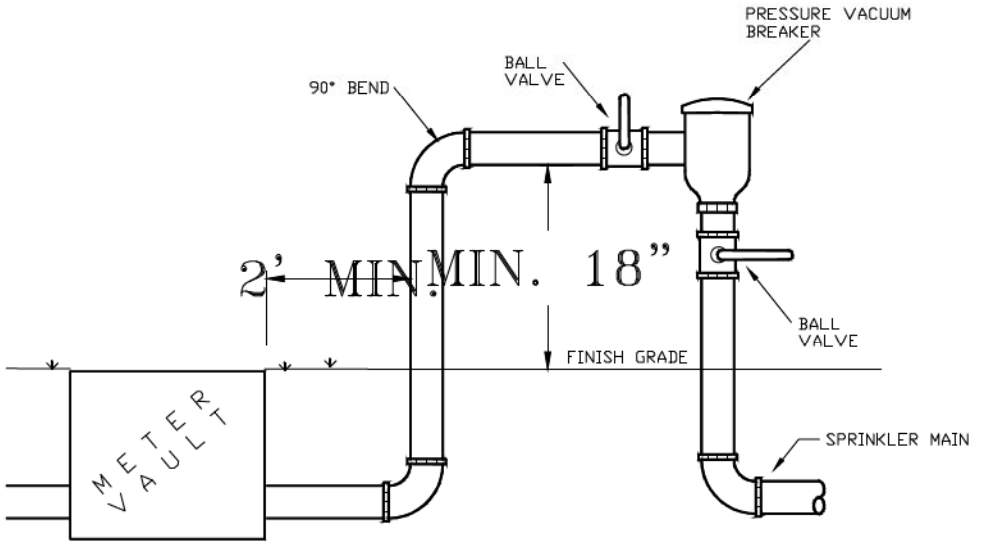
12-16-21 DATE

05-20-22 REV.

SHEET

IR-1

OF
1



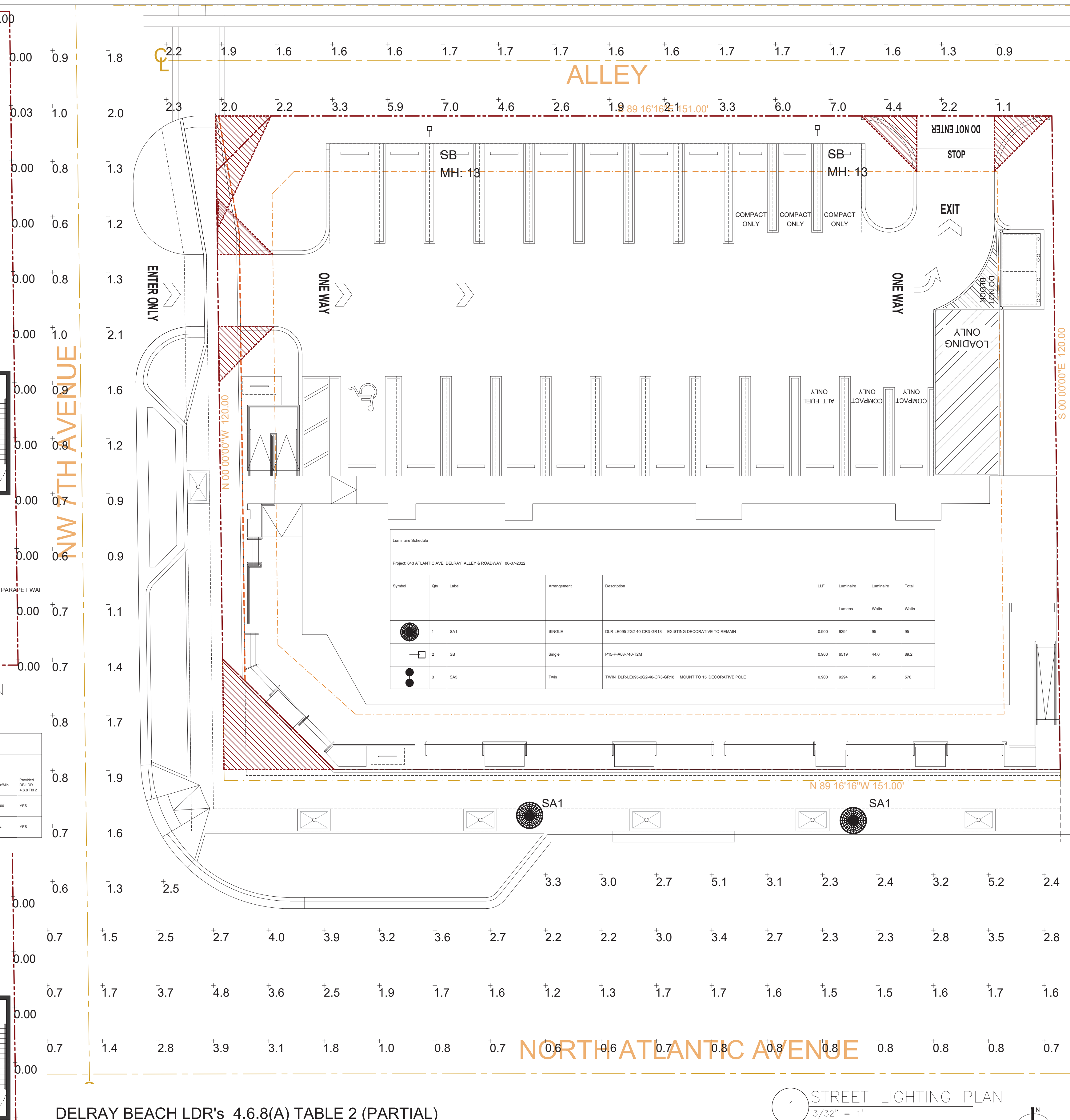
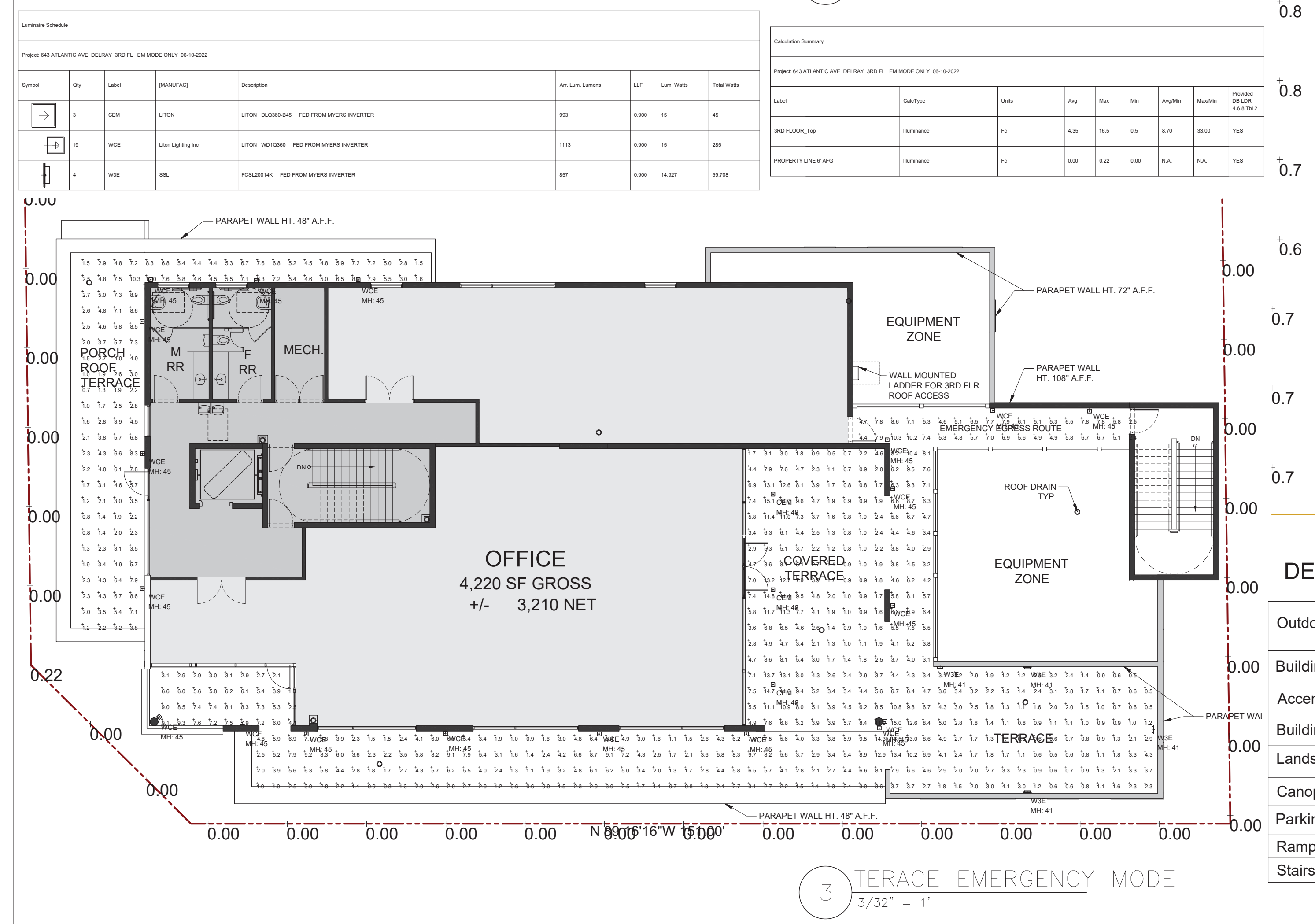
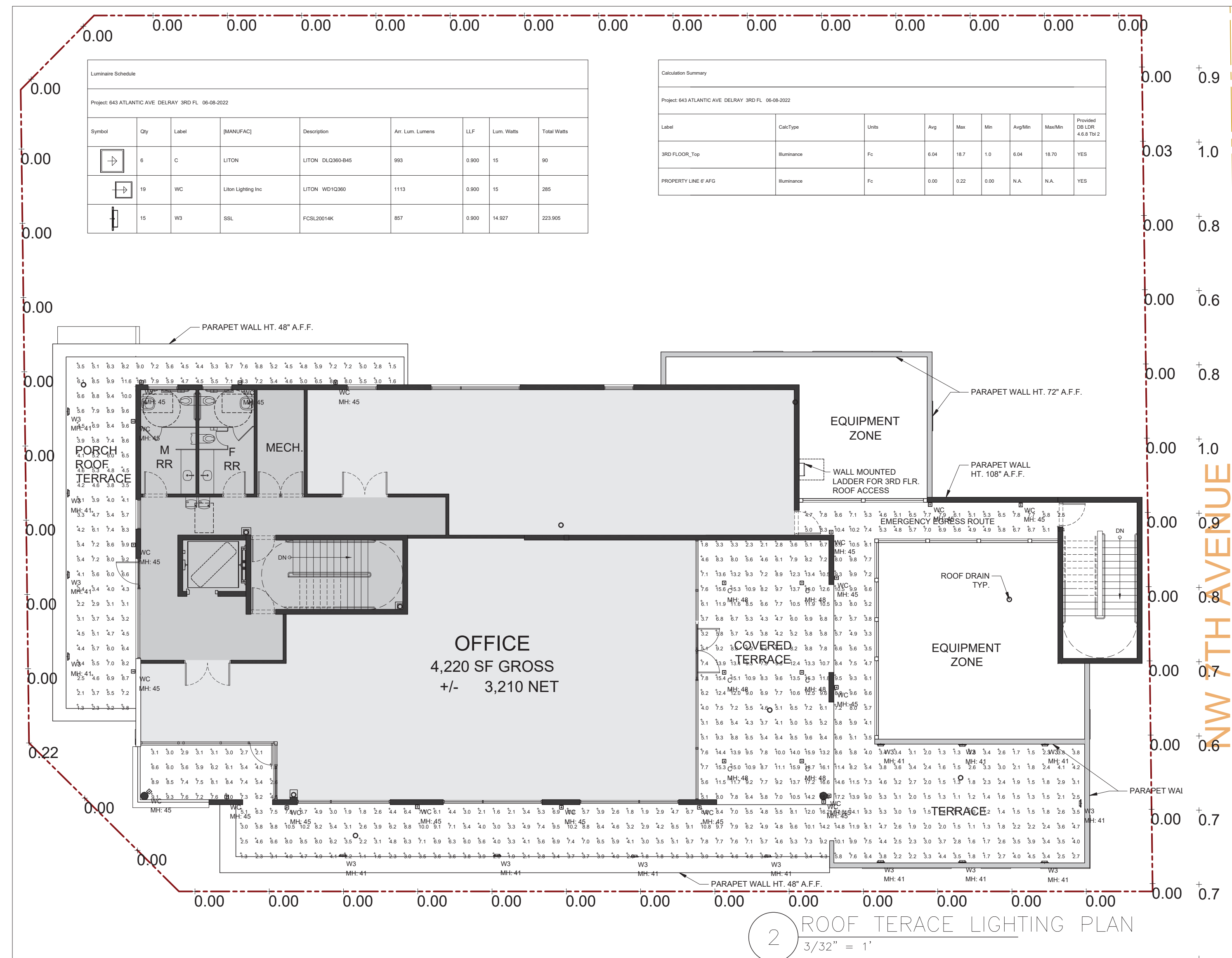
SUPPLY - PRESSURE VACUUM BREAKER

CODE SHALL TAKE PRECEDENCE OVER ANY DETAIL SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLY.

N.T.S.

C O U N T Y T O T A L \$

 SCALE: N.T.S. DWG. NO. 1805-046



DELRAY BEACH LDR's 4.6.8(A) TABLE 2 (PARTIAL)

Outdoor Lighting	Max Illumination (ft-candles)	Min Illumination (ft-candles)	Max/Min	Average/Min
Buildings and Structures				
Accent pathway	5.0 (2)	0.5	—	—
Building Entrance	1 0.0	1 .0	—	3:1
Landscape Lighting	5.0	—	—	—
Canopies, Drive-Thru and Overhangs	30.0	3.0	1 0:1	2.5:1
Parking Lots - Commercial	12.0	1.0	12:1	3:1
Ramps - Night	10.0	1.0	1 0:1	
Stairs	5.0	2 .0	1 0:1	

Calculation Summary							
Project: 643 ATLANTIC AVE DELRAY ALLEY & ROADWAY 05-07-2022							
Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
ALLEY_Planar	Illuminance	Fc	2.63	7.0	0.9	2.92	7.78
NORTH ATLANTIC AVENUE_Planar	Illuminance	Fc	2.15	5.2	0.6	3.58	8.67
NW 7TH AVENUE_Planar	Illuminance	Fc	1.16	2.5	0.6	1.93	4.17

LDG | Living Designs Group Florida Architects, Inc.
1005 Lake Avenue Lake Worth, FL 33460
www.ldgfla.com AR#7991

**SITE PLAN
APPROVAL**
MIXED-USE BUILDING
W 7th Ave & Atlantic Ave
Delray Beach, Florida

JOHN W SZERDI AR
#7991
Digitally signed by
JOHN W SZERDI AR
#7991
Date:
2022.08.17
13:34:14
-04'00'

[illegible]

STREET LIGHTING & ROOF TERRACE PHOTOMETRIC CALCULATIONS

DATE: 8/17/2022
SCALE: AS NOTED
DRAWN BY: JSG, DAG
CHECKED BY: JWS
REFERENCE: 210205

DRAWING: