

SLOAN RESIDENCE :: PHASE 2  
KITCHEN & MEDIA RM. ADDITION  
106 SE Seventh Avenue,  
Delray Beach, Florida 33483

**STRUCTURAL ENGINEER:**

**McCarthy and Associates, A Division of Pennoni**  
ENGINEERS  
Robert Selinsky, PE, SI, Project Mgr.  
601 N. Congress Ave., Unit 106A  
Delray Beach, FL 33445  
(561) 265-6864  
email: [rselinsky@pennoni.com](mailto:rselinsky@pennoni.com)  
PE #49952

**ARCHITECT:**

**SLOAN & SLOAN, INC.-  
ARCHITECTS & INT. DESIGNERS**  
Dan Sloan, Project Mgr.  
106 SE 7th Ave., Ste. B  
Delray Beach, FL 33483  
(561) 243-8755  
email: [dan@sloandesign.biz](mailto:dan@sloandesign.biz)  
AR 95577 & AA26002208

**INTERIOR DESIGNER:**

SLOAN & SLOAN, INC.-  
ARCHITECTS & INT. DESIGNERS  
Donna Sloan, Project Mgr.  
106 SE 7th Ave., Ste. B  
Delray Beach, FL 33483  
(561) 243-8755  
email: donna@sloandesign.biz  
ID 0002527

**OCCUPANCY CLASSIFICATION:**

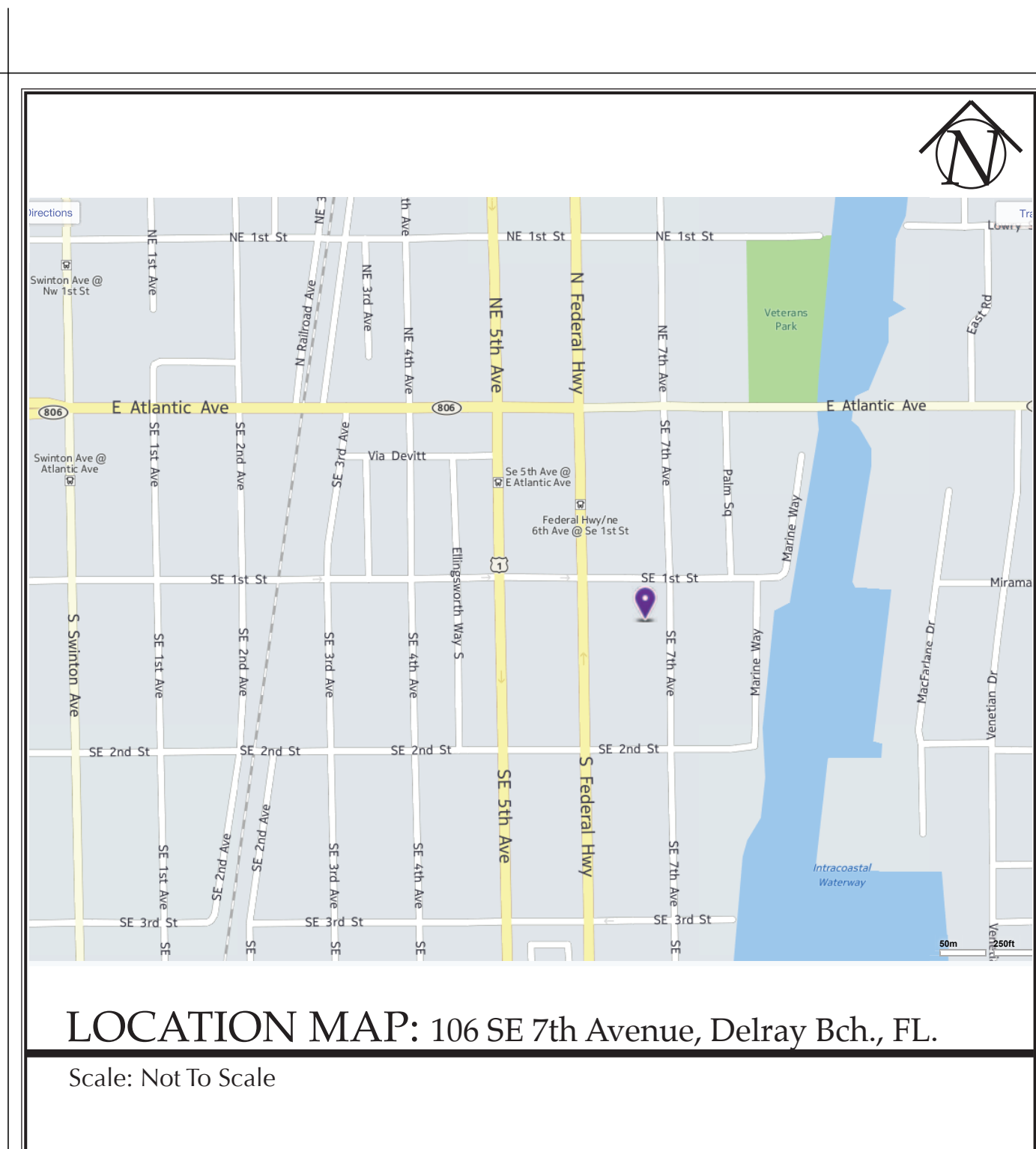
GROUP RM- MEDIUM DENSITY MULTI FAMILY RESIDENTIAL

**TYPE OF CONSTRUCTION:**

TYPE V -Unprotected/Unsprinkled  
(Existing 1 Single Family Residential Structure  
to become 2 Story Structure)

**APPLICABLE CODES:**

2017 FLORIDA BUILDING CODE  
2017 FLORIDA MECHANICAL CODE  
2017 FLORIDA ELECTRICAL CODE  
2017 FLORIDA PLUMBING CODE  
2017 FLORIDA BUILDING CODE  
2014 ICC 600- STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS



**Sloan Residence Additions & Renovations :: Phase 2 Kitchen - Media Rm. Addition**  
106 SE 7th Avenue, Delray Beach, FL

Design Parameters- revised 11/11/2018  
Zoning: Multi Family Medium Denisty: RM  
File: Sloan\_SiteTblns&DsnParamtrs.xls

#	ITEM		
1	<b>USAGE:</b> (Single Family, Multifamily, Commercial, Industrial, Institutional)	<b>Single Family</b>	<input checked="" type="checkbox"/> SEC. R301.2.1.4.3 2017 FLORIDA RESIDENTIAL CODE
2	<b>EXPOSURE CONDITION:</b>	<b>B</b>	
3	<b>MEAN ROOF HEIGHT:</b> (Kitchen-Media Rm Additn) (23'-6" above Reference FFL of Main Rcs.)	<b>23'</b>	(above grade at this structure)
4	<b>BUILDING HEIGHT:</b> (If < or = 60' may use FBC 2017 Low Rise Provisions. If > 60' use ASCE7-10)		<input checked="" type="checkbox"/> < or = 60' Height <input type="checkbox"/> > 60' Height
5	<b>BUILDING DESIGNED AS:</b>		<input type="checkbox"/> Partly enclosed <input checked="" type="checkbox"/> Enclosed <input type="checkbox"/> Open <input type="checkbox"/> Tested (Wind Tunnel)
6	<b>IMPORTANCE FACTOR:</b> (Determined by Building Use /Occupancy. Refer to FBC 2017 or ASCE 7-10)	<b>1.0</b>	
7	<b>BASIC WIND VELOCITY PRESURES: FBC 2017. VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS &amp; CLADDING AS APPLICABLE.</b>		
	<b>FBC 2017 WIND SPEED:</b>	<b>132</b>	(Wind Speed in mph)
	<b>FBC 2017 BASIC VELOCITY PRESSURE:</b>	<b>32</b>	IN PSF
	<b>ASCE 7-10 WIND SPEED:</b>	<b>170</b>	(Ultimate Wind Speed in mph)
	<b>ASCE 7-10 BASIC VELOCITY PRESSURE:</b>	<b>n/a</b>	IN PSF
	<b>NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.</b>		
8	<b>ROOF DEAD LOAD</b> (Actual Dead Load of Materials Used for Determining Net Uplift Reactions.)	<b>15</b>	LBS
9	<b>SOIL BEARING CAPACITY:</b> (Reported by Soils Report from Geotechnical Engineer)	<b>2500</b>	PSF
10	<b>REVIEWED FOR SHEARWALL REQUIREMENTS:</b>	<input checked="" type="checkbox"/>	Yes

**NOTE:** Geotechnical Report Supporting 2500PSF soil bearing capacity is ON FILE with 1996 Delray Building Permit Application /drawing package for 106 SE 7th Ave.

LIST OF DRAWINGS		
Sloan Residence: New Kitchen/Media Rm. 2nd Floor Addition (710 Gross SF +66SF Bridge=776 SF Total)		
106 SE 7th Avenue, Delray Beach, FL		
Revised: 4/14/19 By Dan Sloan		
#	Title	Includes
A0	Cover Sheet	W/ Consultant List, Location Map, Drawing List
SP.1	Site Plan: Entire Sloan Hammock Land Condo	Showing Overall Context
A1.01	Site Plan	Showing Setbacks, Driveway, Pool Deck Areas with General Notes
A2.02	New First Floor Plan	With Door & Window Schedules
A2.03	NEW 2nd Floor Plan: Kitchen/Media Rm. Addtn	Showing New Ceiling w/ Coffers, Crown Mldgs, etc.
A2.04	NEW 2nd Floor Reflected Ceiling Plan	Showing Roofing Materials, Gutters, etc.
A2.05	Roof Plan: Kitchen/Media Rm. Addtn	
A3.01	EXISTING North & South Elevations	Showing Extg. Windows, Doors, & Exterior Elements of Extg. Main Residence + Garage Building
A3.02	EXISTING East & West Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.03	New North & South Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.04	New East & West Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.05	New Notated South Elevation	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A4.01	New Building Section "1"- @ Kitchn/Media Rm. Addtn	Showing New Construction Elements- Section "1"
A4.02	New Building Section "2"- @ Kitchn/Media Rm. Addtn	Showing New Construction Elements- Section "2"
S1.01	Existing + New Foundation Plan	Showing New & Existing Foundations
S2.02	New Second Floor Floor Framing Plan	w/ New Floor Joists over Old Roof + New Roof Trusses
S2.04	New Second Floor Floor Framing Details	
S2.05	New Second Floor Roof Framing Details	
S2.06	Wind Pressures & Bridge Section/Detail	Including Wind Pressures on Doors/Windows
S8.01	Structural Notes and Details	
M1.02	New 2nd Fl. HVAC Plan: Kitchen/Media Rm.	incl. Mechanical Notes, Details, & Schedule(s) utilizing 16 SEER Lennox Equipment(s)
E1.02	New 1st Fl. ELECTRICAL Plan: Kitchen/Media Rm.	Showing Only ADDED Outlets & Devices-
E1.03	New 2nd Fl. ELECTRICAL Plan:Kitchen/Media Rm.	Showing All Outlets & Devices- W/ Symbol Key, Electrical Notes
E2.01	New 2nd Fl. LIGHTING/RCP Plan: Kitchen/Media Rm.	Showing Lightings, Fans, Switches (New Subpanel for 2nd Floor Fed from Extg. 1st Floor panel)
PL.02	New Second Floor PLUMBING Plan	Showing Plumbing Fixtures & Notes & Schedule

Cover Sheet  
A0.00

CAD File Name  
Sloan Res\_PH2\_Kitchen-Media Rm.vwx

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTF 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208

[illegible]

## COPYRIGHT NOTICE

These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc.  
© 2010-forever. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px dashed gray; border-radius: 50%; width: 150px; height: 150px; margin: 10px;"></div> <div style="border: 1px dashed gray; border-radius: 50%; width: 150px; height: 150px; margin: 10px;"></div> </div> <div style="text-align: right; margin-top: 10px;">             Daniel Sloan, AR95577              Date: _____           </div>		

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant	
------------	--

Project Title	<p>Sloan Residence Phase 2</p> <p>KITCHEN-MEDIA RM. ADDITION</p> <p>106 SE 7th Avenue</p>
---------------	---

Drawing Title	COVER SHEET
---------------	-------------

Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
-----------------------------	--

Drawn By D. Sloan	Scale As Noted
----------------------	-------------------

Reviewed By D. Sloan	Drawing No. A000
-------------------------	---------------------

Date 4/14/2019







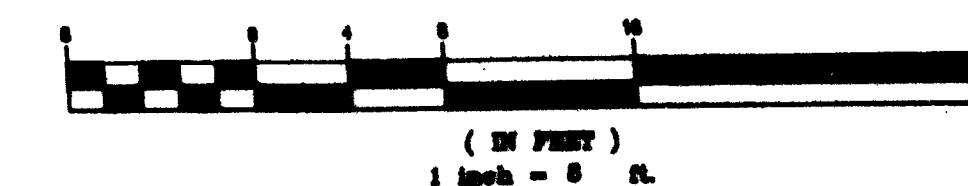
# LAWRENCE STREET (PLAT) S.E. 1st STREET (SIGN)

(30' R/W)

LOT 1 BLOCK 118

2 STORY WOOD FRAME RES.

GRAPHIC SCALE



- TYPICAL LEGEND NOTES**
- A/C - AIR CONDITIONER
  - L - ARC LENGTH
  - ASPH. - ASPHALT
  - ALUM. - ALUMINUM
  - BLDG. - BUILDING
  - BLK. - BLOCK
  - C & G - CURB AND GUTTER
  - C.B. - CATCH BASIN
  - C.M.P. - CORRUGATED METAL PIPE
  - C.O. - CEMENT
  - CALC. - CALCULATED
  - CATV - CABLE TELEVISION RISER
  - CS - CONCRETE BLOCK & STUCCO
  - CONC. - CONCRETE
  - COR. - CORNER
  - COV. COVERED
  - D.E. - DRAINAGE EASEMENT
  - E.O.P. - EDGE OF PAVEMENT
  - E.O.W. - EDGE OF WATER
  - ELEC. - ELECTRIC
  - ELEV. - ELEVATION
  - EMT. - EASEMENT
  - EXIST. - EXISTING
  - F.H. - FIRE HYDRANT
  - F.P.L. - FLORIDA POWER & LIGHT
  - FIN. - FINISHED
  - FLR. - FLOOR
  - FND. - FOUND
  - G.V. - GATE VALVE
  - I.R./CAP. - IRON ROD & CAP
  - INT. - INTERSECTION
  - INV. - INVERT
  - L.P. - LIGHT POLE
  - CHATT. - CHATTAHOOCHEE
  - L.W.D. - LAKE WORTH DRAINAGE DISTRICT
  - LOW. - LOWEST
  - M.H. - MANHOLE
  - MEAS. - MEASURED
  - MON. - MONUMENT
  - N/T - NAIL & TAB
  - NO. - NUMBER
  - O.E. - OVERHEAD ELECTRIC
  - O/L - ON LINE
  - O/S - BUILDING OFFSET
  - O.R.B. - OFFICIAL RECORD BOOK
  - P.B. - PLAT BOOK
  - P.C. - POINT OF CURVATURE
  - P.C.P. - PERMANENT CONTROL POINT
  - P.I. - POINT OF INTERSECTION
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCEMENT
  - P.P. - POWER POLE
  - P.R.M. - PERMANENT REFERENCE MONUMENT
  - PROP. - PROPOSED
  - P.T. - POINT OF TANGENCY
  - R - RADIUS
  - R.R. - RAILROAD
  - R/W - RIGHT-OF-WAY
  - RES. - RESIDENTIAL
  - RGE. - RANGE
  - S.B.T. - SOUTHERN BELL TELEPHONE
  - SAN. - SANITARY
  - SEC. - SECTION
  - SQ. FT. - SQUARE FEET
  - T.O.B. - TOP OF BANK
  - T.V. - TELEVISION
  - TWP. - TOWNSHIP
  - U.E. - UTILITY EASEMENT
  - W.M. - WATER METER
  - Δ - DELTA (CENTRAL ANGLE)
  - ALUM. - ALUMINUM
  - SCHEFFLERA

## LAND DESCRIPTION:

Lots 2, 3 and 4, Block 118, "BLOCK 118 - DELRAY, FLA.", according to the plat thereof, as recorded in: Plat Book 2, Page 8 of the Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach County, Florida.

Containing 20,248 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants, and Rights-of-Way of Record.

## CERTIFICATION:

SITE SURVEY FOR BOUNDARY OF LOT 2 AND EXISTING WOOD FRAME RESIDENCE ON EAST SIDE OF LOT 2, ALL OTHER ON SITE IMPROVEMENTS BY OTHERS, BUT WERE VERIFIED AS EXISTING.

*[Signature]*

A. BURLISON GENTRY P.E. P.S.M.

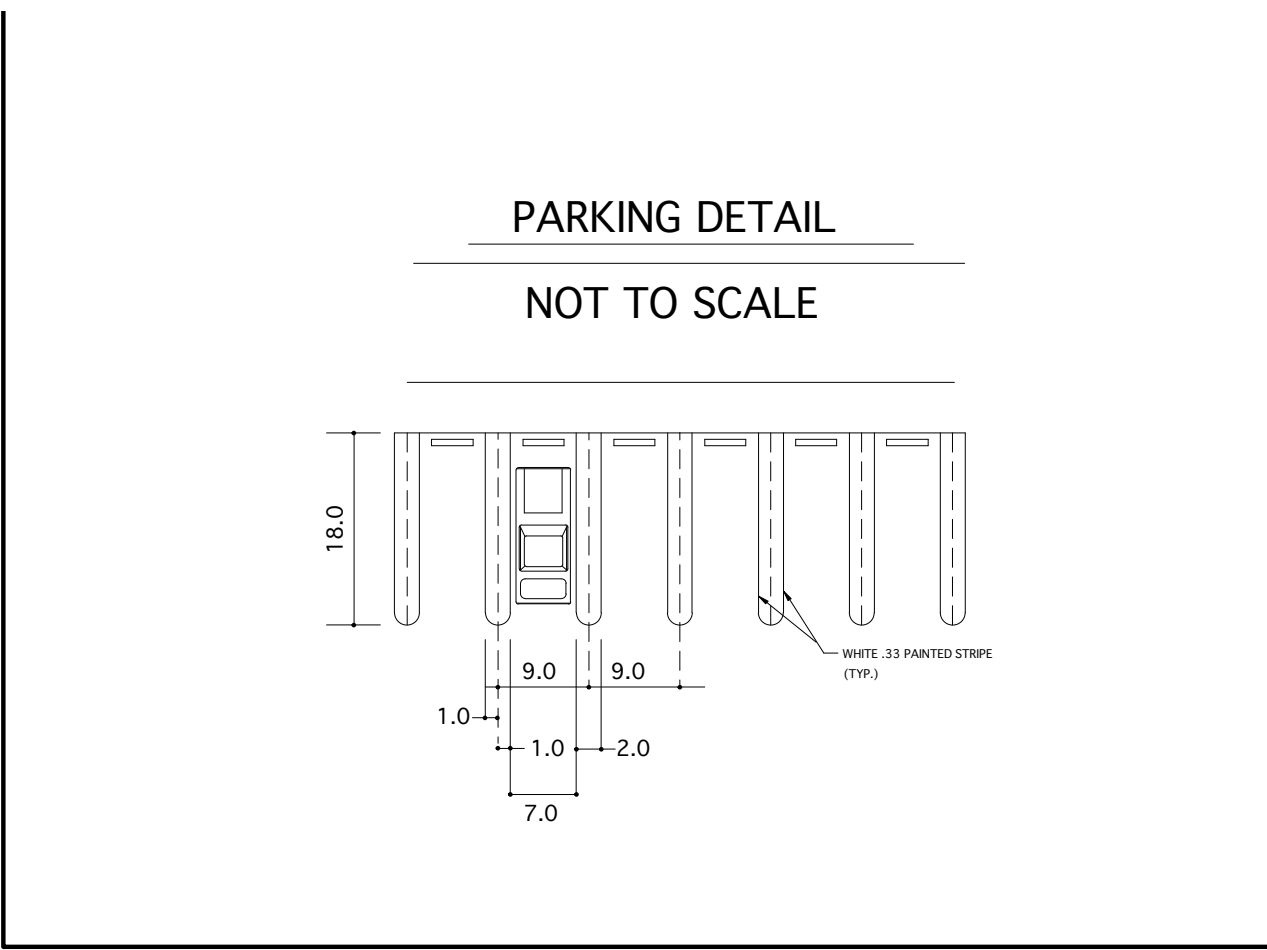
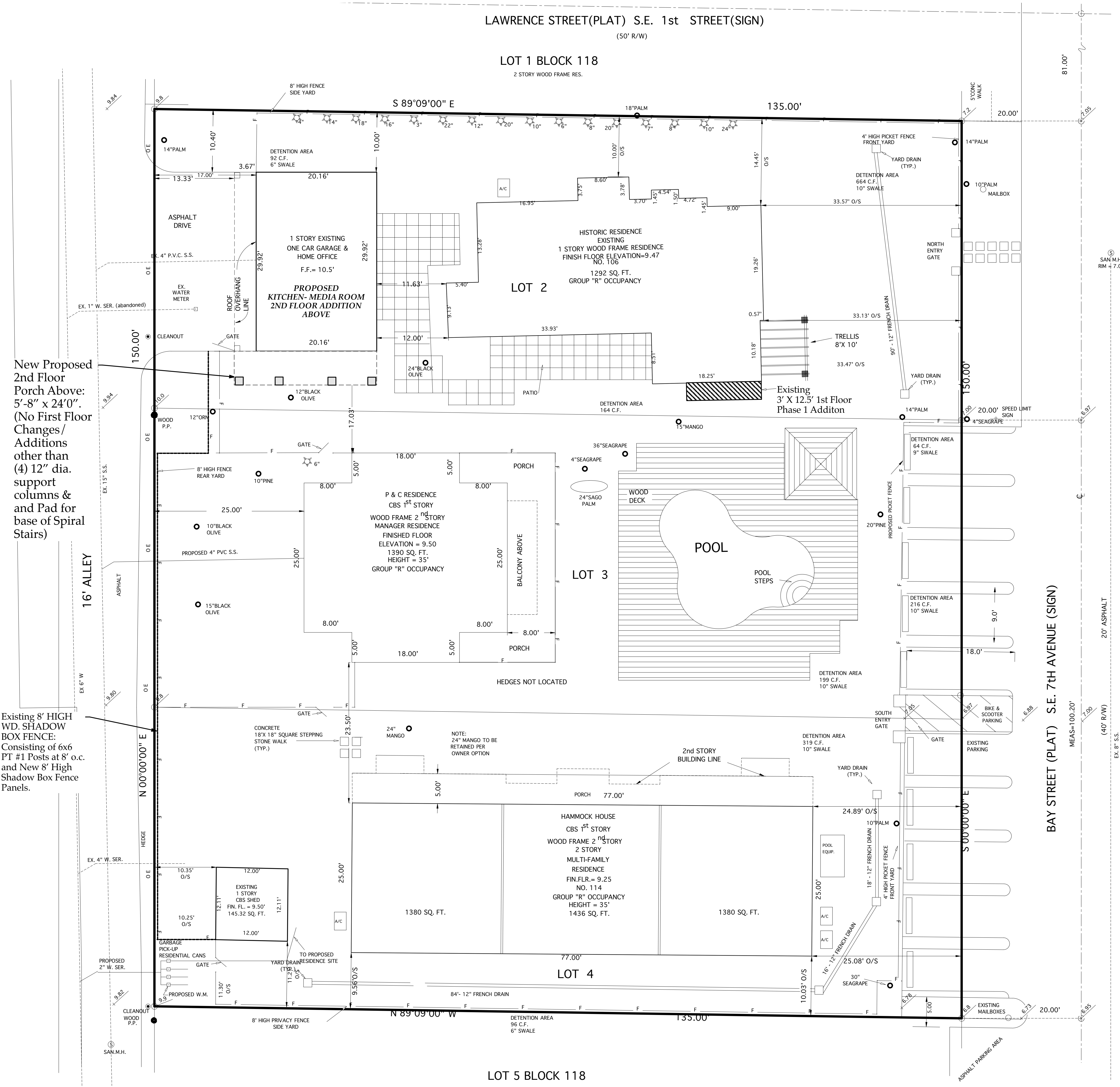
LICENSED FLORIDA SURVEYOR AND MAPPER NO. 2580

L.B. NO. 2322

DATE OF SURVEY: FEB. 1, 2017

DATE OF FINAL SURVEY: AUG. 31, 2018

NO.	DATE	REVISION	PROJECT NO.
1			
SHEET TITLE			SCALE
SITE SURVEY, LOT 2 ONLY			1" = 2'
PROJECT			DATE
SLOAN RESIDENCE RENOVATION			
SE 7TH AVENUE			DRAWN BY
DELRAY BEACH, FLORIDA			CHECKED BY
GENTRY ENGINEERING & LAND SURVEYING, INC.			DRAWING NO.
P.O. BOX 243			
DELRAY BEACH, FLORIDA 33447-0243			
(561) 272-1924			OF SHEETS



**TYPICAL LEGEND NOTES**

A/C - AIR CONDITIONER  
L - ARC LENGTH  
ASPH - ASPHALT  
ALUM - ALUMINUM  
BLDG - BUILDING  
BLK - BLOCK  
C & G - CURB AND GUTTER  
C.B. - CATCH BASIN  
C.M.P. - CORRUGATED METAL PIPE  
C.O. - CLEANOUT  
CALC. - CALCULATED  
CATV - CABLE TELEVISION RISER  
CBS - CONCRETE BLOCK & STUCCO CONC. - CONCRETE  
COR. - CORNER  
COV. - COVERED  
D.E. - DRAINAGE EASEMENT  
E.O.P. - EDGE OF PAVEMENT  
E.O.W. - EDGE OF WATER  
ELEC. - ELECTRIC  
ELEV. - ELEVATION  
ESMT. - EASEMENT  
EXIST. - EXISTING  
F.H. - FIRE HYDRANT  
F.P.L. - FLORIDA POWER & LIGHT  
FIN. - FINISHED  
FLK. - FLOOR  
FND. - FOUND  
G.V. - GATE VALVE  
I.P. - IRON PIPE  
I.R./CAP. - IRON ROD & CAP  
INT. - INTERSECTION  
INV. - INVERT  
L.P. - LIGHT POLE  
CHATT. - CHATTAHOOCHEE  
L.W.D.D. - LAKE WORTH DRAINAGE DISTRICT  
S. - STORM MANHOLE  
S. - SANITARY MANHOLE  
W. - WATER VALVE  
G. - GATE VALVE  
N.V. - NON VEHICULAR ACCESS LINE PER PLAT

LOW - LOWEST  
M.H. - MANHOLE  
MEAS - MEASURED  
MON. - MONUMENT  
N/T - NAIL & TAB  
NO. - NUMBER  
O.E. - OVERHEAD ELECTRIC  
O/L - ON LINE  
O/S - BUILDING OFFSET  
O.R.B. - OFFICIAL RECORD BOOK  
P.B. - PLAT BOOK  
P.C. - POINT OF CURVATURE  
P.C.P. - PERMANENT CONTROL POINT  
P.I. - POINT OF INTERSECTION  
P.O.B. - POINT OF BEGINNING  
P.O.C. - POINT OF COMMENCEMENT  
P.P. - POWER POLE  
P.R.M. - PERMANENT REFERENCE MONUMENT  
PROP. - PROPOSED  
P.T. - POINT OF TANGENCY  
R - RADIUS  
R.R. - RAILROAD  
R/W - RIGHT-OF-WAY  
RES. - RESIDENTIAL  
RGE. - RANGE  
S.B.T. - SOUTHERN BELL TELEPHONE  
SAN. - SANITARY  
SEC. - SECTION  
SQ. FT. - SQUARE FEET  
T.O.B. - TOP OF BANK  
T.V. - TELEVISION  
TWP. - TOWNSHIP  
U.E. - UTILITY EASEMENT  
W.M. - WATER METER  
Δ - DELTA (CENTRAL ANGLE)  
ALUM. - ALUMINUM  
SCHEFFLERA

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 8 ft.

**LAND DESCRIPTION :**  
Lots 2, 3 and 4, BLOCK 118, "BLOCK 118 - DELRAY, FLA.", according to the plat book thereof, as recorded in Plat Book 2, Page 8 of the Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach County, Florida.

Containing 20,248 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants, and Rights-of-Way of Record.

TABULAR DATA		
TOTAL SITE AREA	20,250 SQ. FT.	0.4648 AC.
BUILDING COVERAGE	5,814 SQ. FT.	28.7%
TOTAL FLOOR COVERAGE	13,345 SQ. FT.	
PARKING/PAVED AREA	1,364 SQ. FT.	6.7%
OPEN (LANDSCAPED) SPACE	13,072 SQ. FT.	64.6%
5 DWELLING UNITS		
10.6 DWELLING UNITS PER ACRE		
5 UNITS RANGING FROM 1,292 TO 1,898 SQ. FT.		
USE SINGLE FAMILY:	CALCULATED AT 2 SPACES PER UNIT = 4	
USE MULTI/3BR:	CALCULATED AT 2 SPACES PER UNIT = 6	
TOTAL SPACES REQUIRED	= 10 + GUEST x 0.5/UNIT = 25 = 12.5	
TOTAL SPACES PROVIDED	= 13	
SETBACKS		
FRONT:	25 FT.	
REAR:	25 FT.	
INTERIOR SIDE:	15 FT: ONE STORY & TWO STORY	
STREET SIDE	N/A	
HEIGHT:	35FT. 2 FLOORS	
WATER QUALITY VOLUME REQUIRED & PROVIDED - 1688 c.f.		
SITE LIGHTING TO BE PROVIDED ON INDIVIDUAL UNITS		
RENTALS TO BE ON A YEARLY LEASE BASIS		

**NOTE:**  
NEW 2016 PROPOSED 3' X 12.5' FIRST FLOOR ADDITION IS 2/10 OF 1% CHANGE TO LOT COVERAGE RATIO = 0% CHANGE

REVISIONS

BY	DATE	

2242

JOB NO.

DATE

5-12-93

DATE

5-12-93

J.F.W.

J.F.W.

APPROVED BY

APPROVED BY

1" = 8'

SCALE

1" = 8'

SLOAN HAMMOCK

SITE PLAN

SHOWING PROPOSED 2nd FLOOR, KITCHEN-MEDIA RM. ADDITION

File: SH\_SitePlan\_PFI\_2\_2016.vwx

UPDATED: Oct 15, 2018

SP.1



The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA2600208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR COA REVIEW

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-~~XXXX~~. All rights reserved. Not to be used without the express written permission of the Design Firm.

**Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition**

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

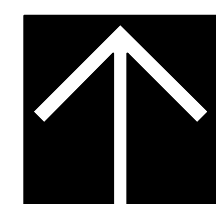
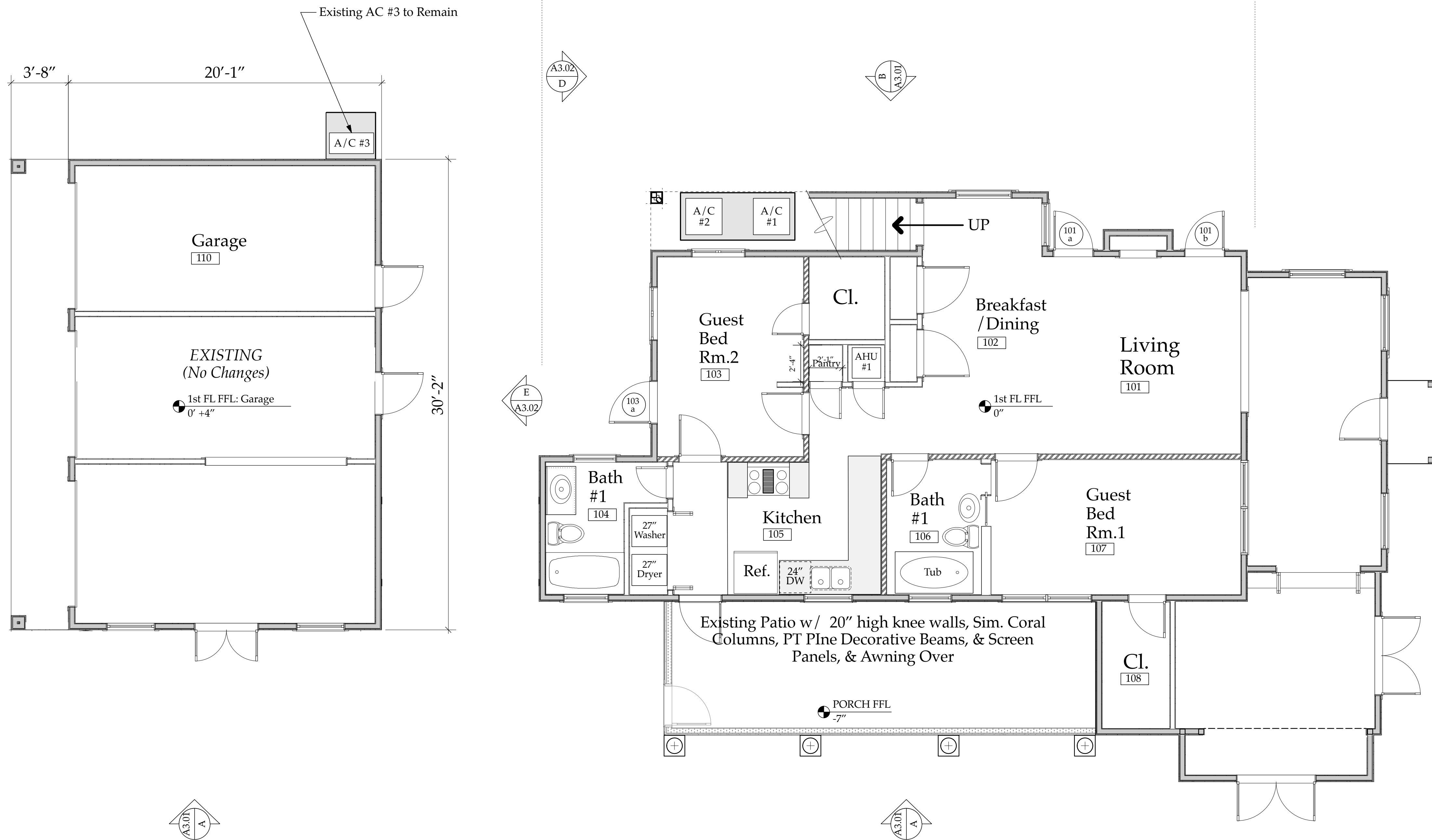
Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
EXISTING FIRST FLOOR PLAN  
Showing Existing Configuration

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 4/14/2019	_____ of _____
CAD File Name Sloan_Res_PH2_Kitchen-Media Rm.vwx	

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



## FIRST FLOOR PLAN- EXISTING

Scale: 1/4" = 1'-0"

### Wall Type Key

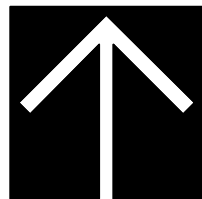
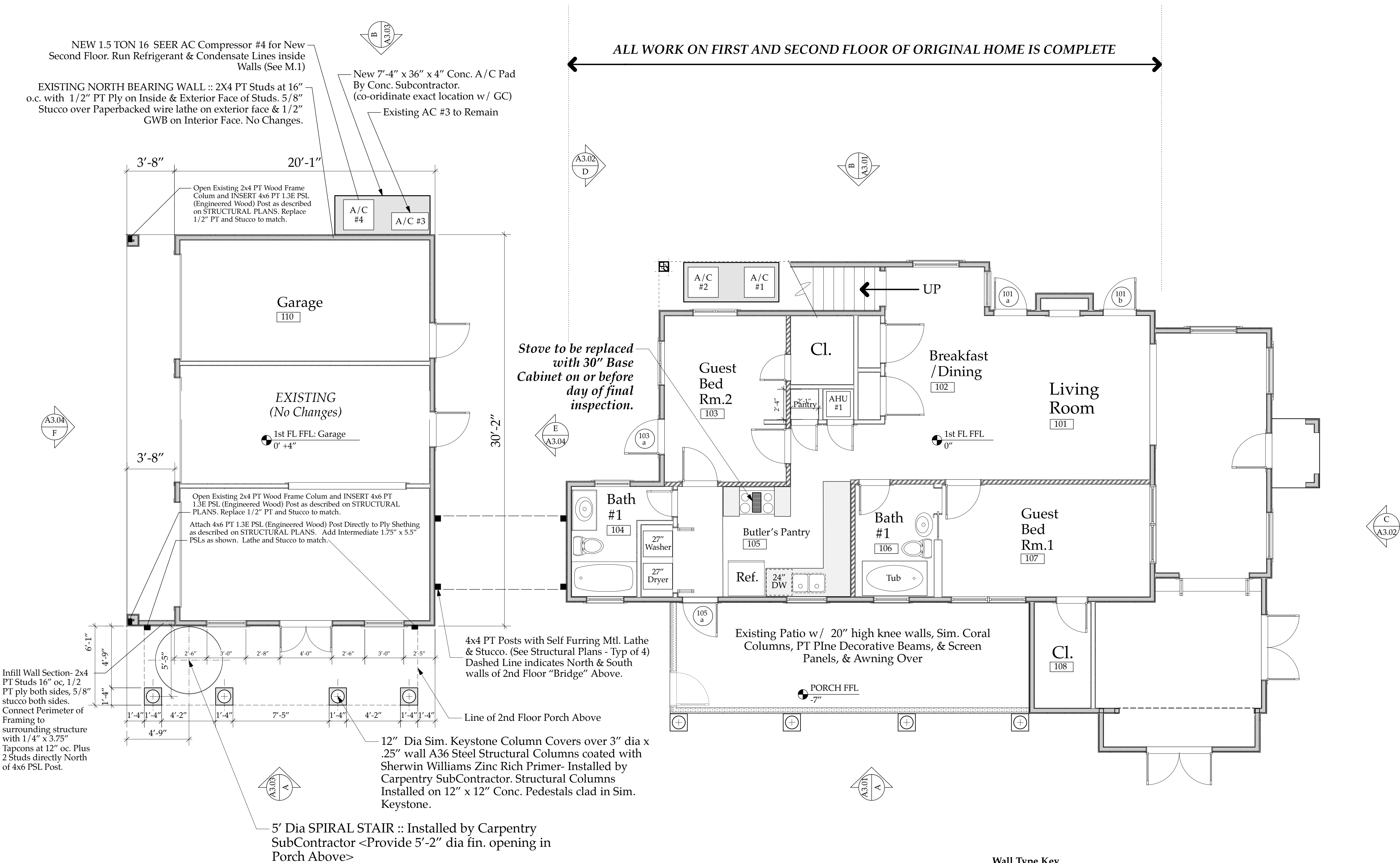
**Exterior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

**Non Bearing Interior Wall**  
w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

**Interior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.

Existing First  
Floor Plan  
A2.01





# FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New Columns & Pads to support 2nd Floor Porch & Spiral Stair.

## Wall Type Key

**Exterior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

**Non Bearing Interior Wall**  
w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

**Interior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.

NEW First Floor Plan w/ New Porch Support Columns  
A2.02

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR COA REVIEW

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-2019. All rights reserved. Not to be used without the express written permission of the Design Firm.

**Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition**

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

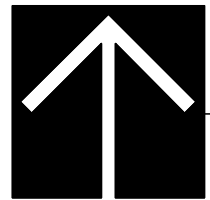
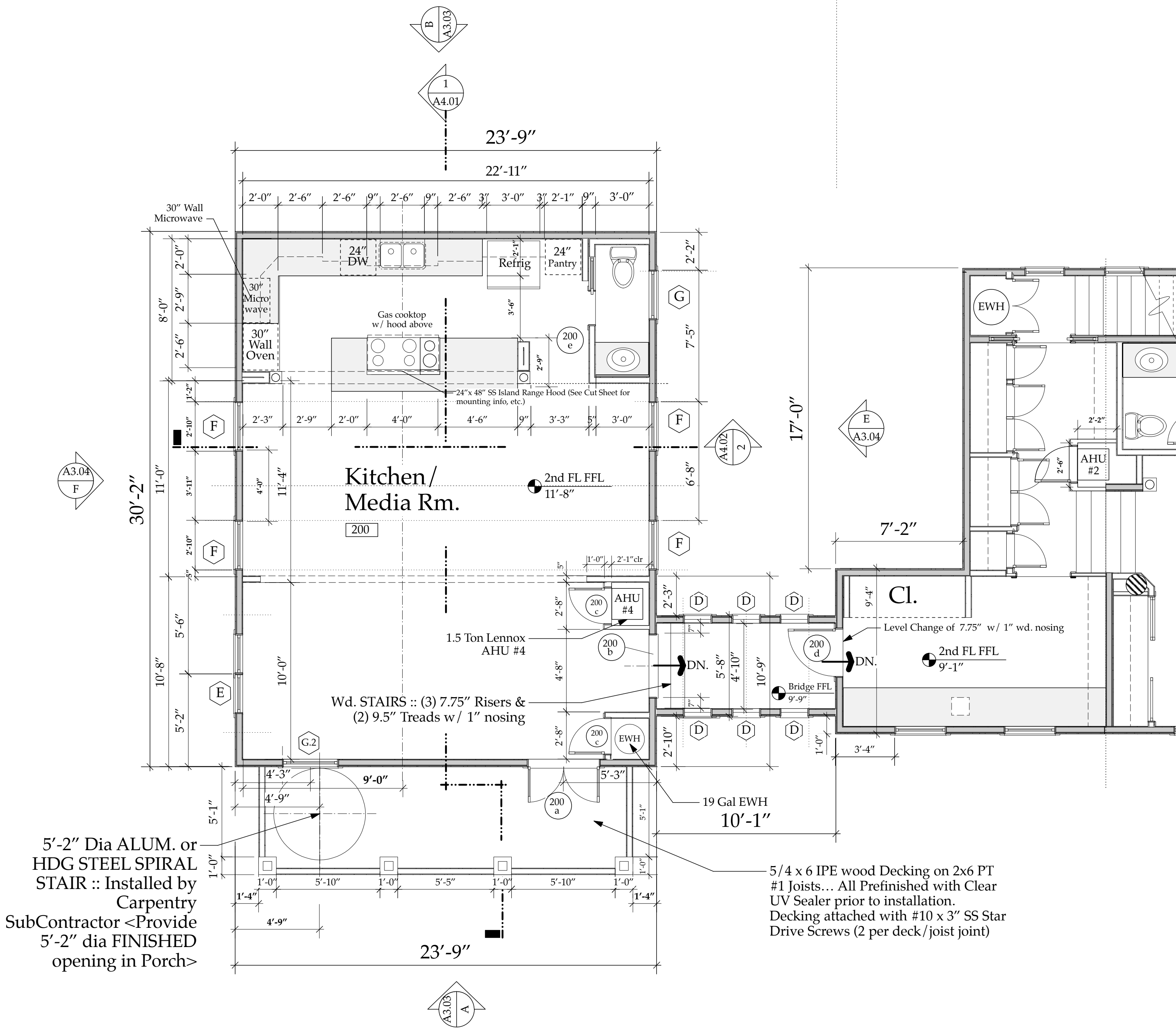
Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
New FIRST FLOOR PLAN  
Showing New 2nd Floor Porch Support Columns

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02
Date 4/14/2019	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	



ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



## SECOND FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

5'-2" Dia ALUM. or  
HDG STEEL SPIRAL  
STAIR :: Installed by  
Carpentry  
SubContractor <Provide  
5'-2" dia FINISHED  
opening in Porch>

5/4 x 6 IPE wood Decking on 2x6 PT  
#1 Joists... All Prefinished with Clear  
UV Sealer prior to installation.  
Decking attached with #10 x 3" SS Star  
Drive Screws (2 per deck/joint joint)

1/8/19 WINDOW Schedule\_SloanResPH2\_2018.xls 10:21 AM

### PGT WINDOW SCHEDULE: Aluminium Windows: Phase 2 :: Kitchen-Media Rm.

WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room
<b>First Floor Windows</b>												
K	4/1	0	Wood Clad Double Hung Window	**EXISTING WINDOW TO REMAIN**	Weathershield			28x16	2'-9 13/16"	3'-5 1/8"	Existing	Existing
<b>Second Floor Windows:</b>												
A	5/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**	PGT Windguard			3853	43.25"	62.25"	Low E glass	7'-6"
B (Egress)	4/1	0	Alum. SH Window: SH700 (2 milled together)	**EXISTING WINDOW TO REMAIN**	PGT Windguard			25	36.25"	62.25"	Low E glass	7'-6"
C	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**	PGT Windguard			24	36.25"	49.875"	Low E glass	7'-6"
D	1 vert.	6	Alum. Fixed Glass Window: PW720 Series	Note #1 Eterna-DK Walnut	Eterna-DK Walnut	PGT Windguard	Fixed Gl.	18"	18"		Low E glass	6'-6"
E	3/1	2	Alum. SH Window: SH700 (2 milled together)	Note #1 Bronze	Bronze	PGT Windguard	H35	26"	62.5"		Low E glass	8'-0"
F	4/1	4	Alum. Single Hung Window: SH700 Series	Note #1 Bronze	Bronze	PGT Windguard	2853	31.5"	62.5"		Low E glass	8'-0"
G	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1 Bronze	Bronze	PGT Windguard	2843	31.5"	50.125"		Low E glass	8'-0"
G.2	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1 Bronze	Bronze	PGT Windguard	24	36.25"	49.875"		Low E glass	6'-10"
H	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**	PGT Windguard		H34	25.75"	49.875"		Low E glass	7'-6 1/2"-8"
I	5/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**	PGT Windguard		3853	43.25"	62.25"		Low E glass	7'-6"
J	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**	PGT Windguard		25	36.25"	62.25"		Low E glass	7'-6"
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass.												
Use High Performance Impact Rated "Low E" Glass-(Impact Resistant Laminated "Energy Star Max")												
Note #2: All windows poplar 1x Jamb Extensions/ wood sills & to be Cased out by TRIM CARPENTER (to match all other Windows).												
Outside to have 2" x 1.25" Solid Composite Fla. Brickmold to match 1st Floor Windows. If Sill is 24" or less provide ASTM F2090 Window Guard(s)												
All Simulated Divided Lights to have 3/4" Dimensional Grilles INSIDE & OUT												
Note #3: Must Comply with all Local Codes for Strength & Installation techniques. Also Window Installer to follow manufacturers installation and flashing directions. Window Installer to Flash w/ WR Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.												
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to Framing.												
Note #5: ALL Windows to have screens, color to match sash. Where mulls are specified use 3/4" colonial outside/low profile colonial inside; match interior/exterior finish.												
Note #6: PGT SH Windows are Bronze Finish, PGT Doors & Fixed Glass Units to have Eterna Finish in "Dark Walnut" Color.												

11/24/18 DOOR Schedule\_SloanResPH2\_2018.xls 1:40 PM

### DOOR SCHEDULE: 2nd Fl. KITCHEN-MEDIA RM. ADDITION

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS
200a	4068 Dbl. French Door	Weathershield	1 7/8" Wood-Pine	Ext = "Adobe" color cladding	5/4 Composite Jambes x 5.25"	Deadbolt & Lockset	Bright Brass 4x4 Bright Brass	Ball Bearing	Clear Glass
	Full View, Vinyl Clad Wood OUTSWING, LH	Legacy/Lifeguard Series (Alternate PGT)	Alum. Clad Exterior	w/ matching stain inside faces to match existing	Fla. Brickmold	+ Dummies (lifetime fin.)	(lifetime fin.)	(lifetime fin.)	IMPACT RATED Insulated Low E Glass (20-e-shield glass)
200b	3668 Cased Opening		3/4 wood	painted	3/4 wood				Case out to match Windows & Doors in all other areas (typ).
200c	2068 S/C 1 3/8" Prehung	Timberland SSS 3100 Stick Series	Three Square Panels	painted	3/4 wood	Passage	Omnia 904PA US14 Lever Set	Pol. Nickel US 14	Case out to match **PROVIDE GASKETED JAMB & THRESHOLD**
200d	3068 French Door: outswing RH (replace temp door)	Commodity Pine or Clr. Fir	1 3/8" Pine	1 3/8" Pine (price option)	Stained "Red Mahogany" to match other French Doors & 2 coats satin poly	Cased Out	Privacy Set	Omnia 904PA US14 Lever Set	Pol. Nickel US 14
200e	2068 S/C 1 3/8" Pocket Door	Timberland SSS 3100 Stick Series	Three Square Panels	painted	3/4 wood	Privacy	US14 Privacy	Pol. Nickel US 14	Case out to match
NOTE #1: Weathershield Doors & Windows to have White Clad exterior frame, Western Adobe Color (with Timberlake as price option) Sashes or Door Slabs, clear pine interior surfaces. Bright Brass PVD door & window hardware. Alternate at Owners Option: PGT Winguard F0750 Impact rated Alum. French Door with "Eterna Dk. Walnut Finish"									
PAINTER to Stain interiors "Red Mahogany" & then 2 coats satin Poly. Exteriors to be Fair Finished to Match 1st Floor units.									
NOTE #2: Entry Sets to have Lifetime Finish. All locks keyed alike, all Thresholds are Aluminum with Oak Overlay. Entry Doors to have Solid Brass Dome Shape Floor mounted door stops (stop									
NOTE #3: All interior and exterior hardware to have lifetime finish factory applied. Double French Doors to have flush bolts top and bottom & Dummy set on inactive Leaf.									
NOTE #4: All interior Doors to have Casing Profiles to Match Windows & Ives Artisan Series screw on Door Stops in US14. All bi-fold doors to be in casj out with Jamb & matching casing.									

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA2000208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-2019. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
SECOND FLOOR PLAN  
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.03
Date 4/14/2019	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	

New Second  
Floor Plan  
A2.03



The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-2019. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
SECOND FLOOR PLAN  
of Kitchen-Media Rm.

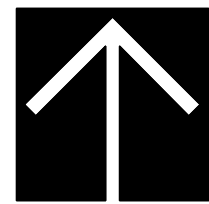
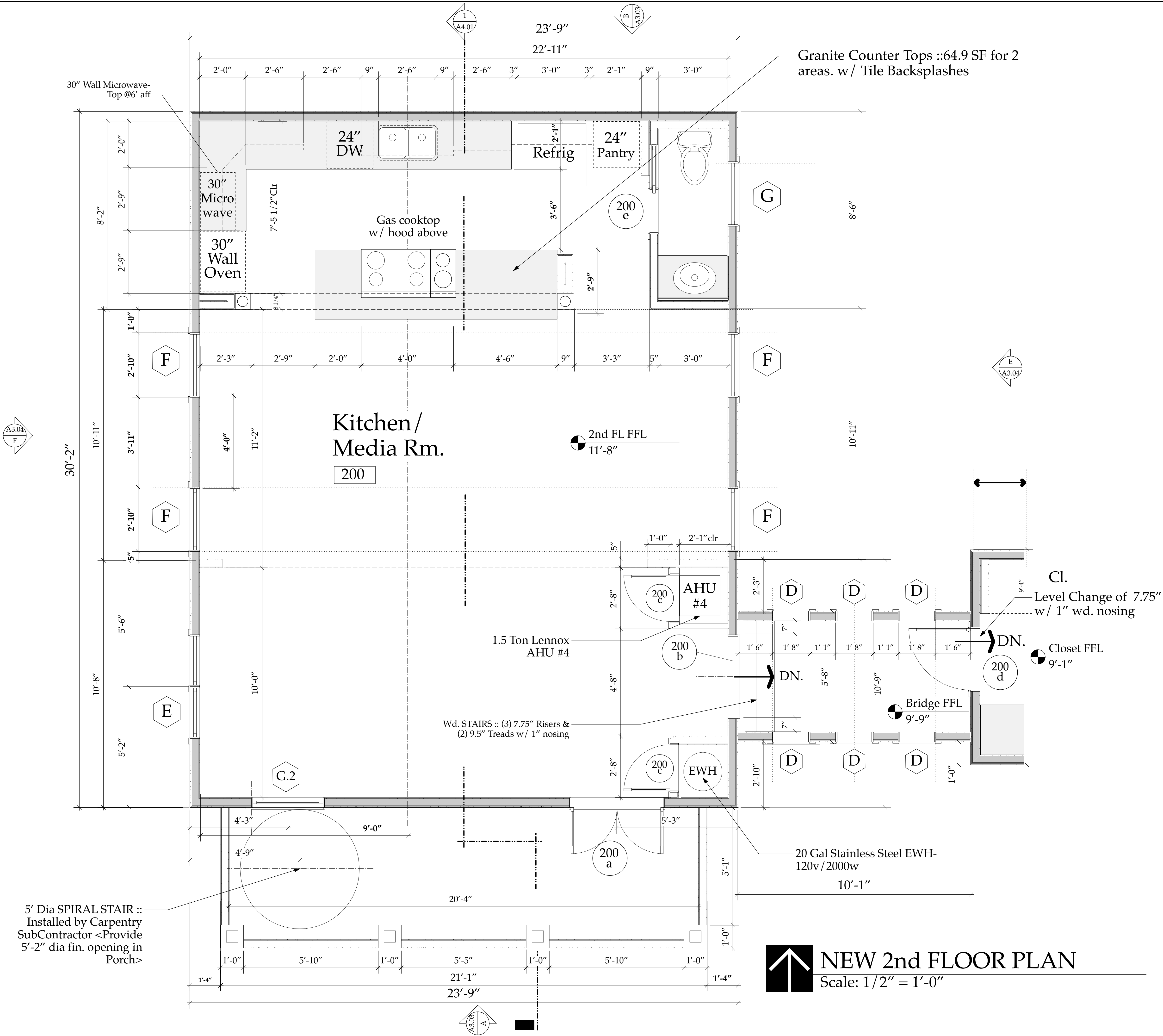
Project Manager  
D. Sloan  
Project ID  
Sloan Res Kit-Media Rm Addition

Drawn By  
D. Sloan  
Scale  
As Noted

Reviewed By  
D. Sloan  
Drawing No.  
A2.03b

Date  
4/14/2019  
of

Sloan Res\_PH2\_Kitchen-Media Rm.vwx



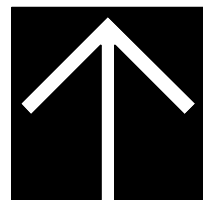
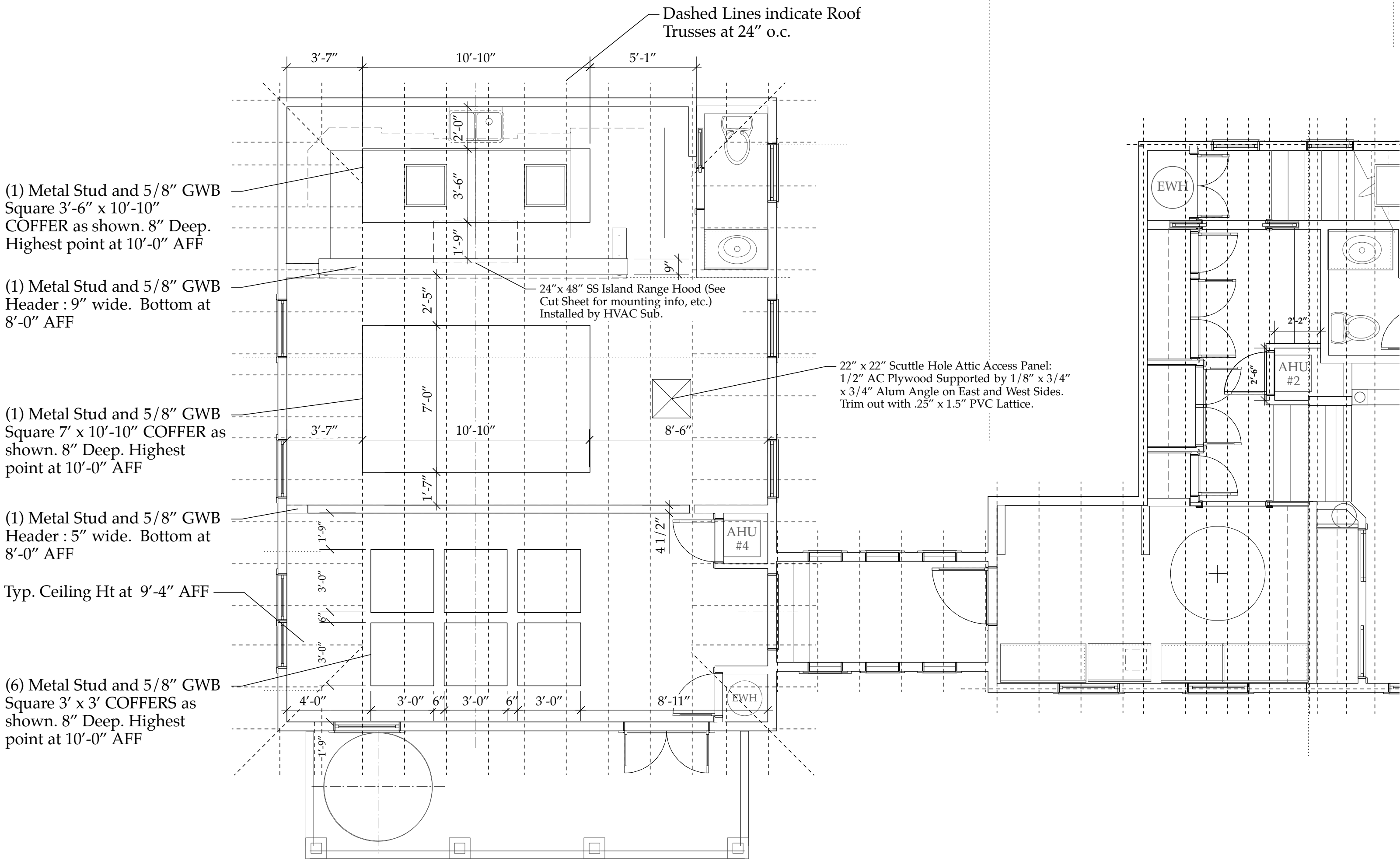
NEW 2nd FLOOR PLAN

Scale: 1/2" = 1'-0"

New Second  
Floor Plan  
A2.03b  
ENLARGED



ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



## SECOND FLOOR REFLECTED CEILING PLAN- NEW

Scale: 1/4" = 1'-0"

## GENERAL CONSTRUCTION NOTES-

### Sloan Residence Phase 2; Kitchen/Media Rm. Addition Project

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. **Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.**

2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system and provide all requirements for the equipment to be placed in proper working order. Prior to submission of bids, Contractor, Subcontractors, and Vendors shall visit the site and bring any discrepancies at the site, with the plans, and specs to the attention of the Architect and shall verify that their final bid includes all items and assemblies needed to comply with the FBC, PBC, and City requirements, codes, and rules and the intent depicted in these drawings. A complete set of approved, signed and sealed drawings, together with approved "Change Order" sheets, addenda, Shop Drawings, and Supplemental Information, along with all permit copies shall be maintained at the jobsite at all times.

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

4. Shop drawings shall be submitted for approval for the following items:

1. Trusses	XX	6. Stairs	XX
2. Wall Panels	—	7. Structural Connections	XX
3. A/C	—	8. Plumbing Riser	XX
4. Windows/Storefront	XX	9. Electrical Riser	XX
5. Doors	XX	10. Cabinets	XX
		11. Other	—

5. XX General Contractor or \_\_\_\_Owner : shall maintain Temporary Electrical, Water, and Sanitary Facilities for the duration of construction unless Specifically otherwise provided for in the Construction Contract.

6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

7. All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on site dumpster each day. Jobsite shall be cleaned daily by each Subcontractor. If not done, GC may backcharge Subcontractor for the cost of such cleanup as required.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

9. TRUSS MANUFACTURER; co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M.2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Manf. as part of Truss Package.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any material containing Abestos or PCBs. If the project is a renovation project the observation of either substance shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

12. Each Subcontractor, Speciality Contractor, and Vensdor shall install his/her portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of antother Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediatlty be brought to the attention of the GC.

13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry Installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for devices, fixtures, or equipment. All millwork shall have finished interiors be fabricated and installed in accordance with the Architectural Millwork Institute "Premium Grade" standard. No Urea Formaldahyde Glues or VOC containing Stains or Finishes shall be utilized. SEE INTERIOR DESIGN DRAWINGS & WRITTEN SPECS FOR ADDITIONAL INFORMATION.

14. GREEN PROJECT: (ONLY IF NOTED IN RFP) This project is going to be submitting for Green Certification thru the Florida Green Building Coaliton, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractaors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldahyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Constultant in advance of ordering or utilizing any such item.

2nd Floor Reflected  
Ceiling Plan  
A2.04

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA20002208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-present. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date: _____

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
2nd FLOOR R. CEILING PLAN  
of Kitchen-Media Rm.

Project Manager  
D. Sloan

Project ID  
Sloan Res Kit-Media Rm Addition

Drawn By  
D. Sloan

Scale  
1/4" = 1'-0"

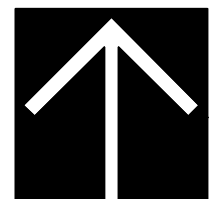
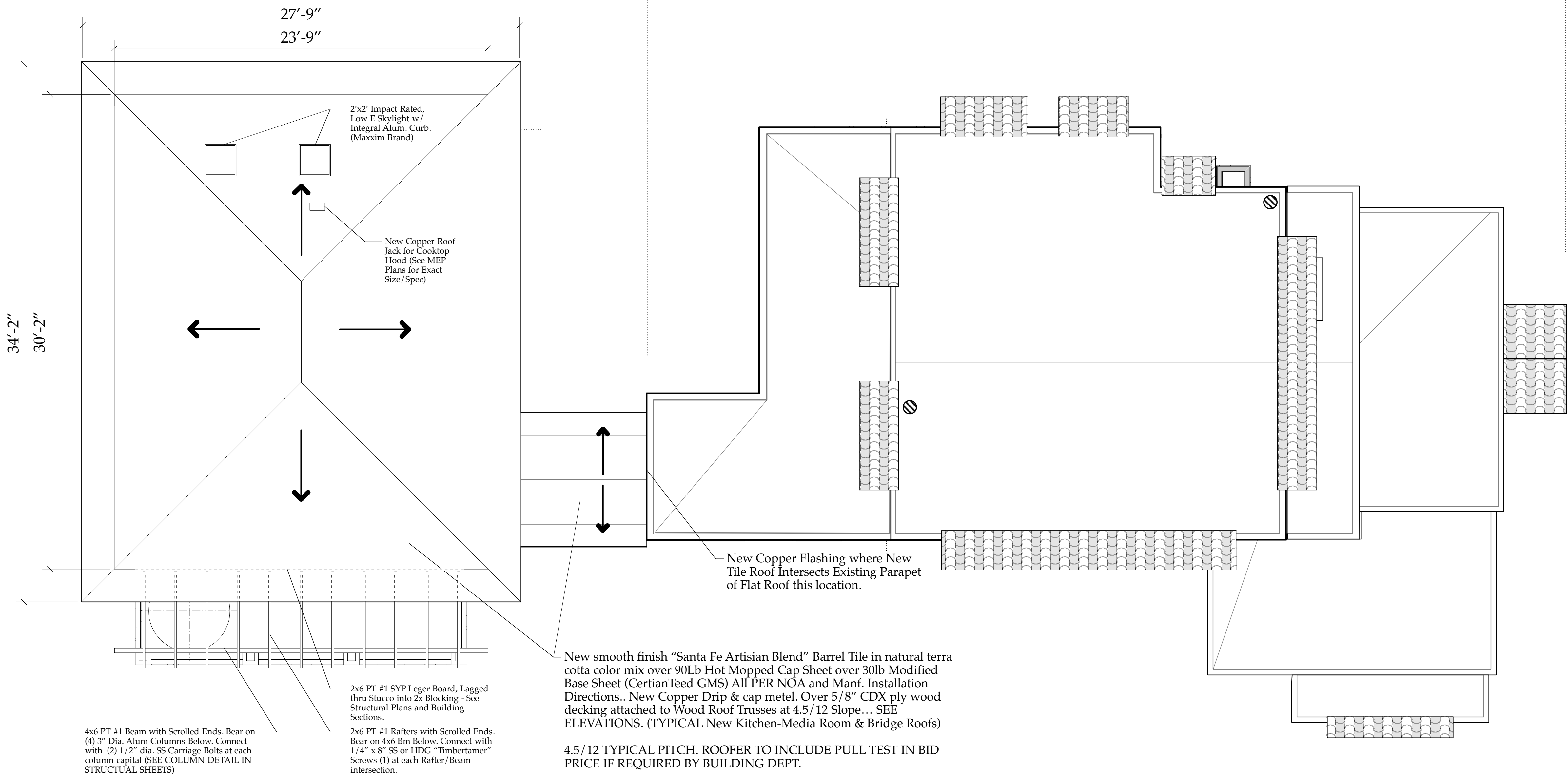
Reviewed By  
D. Sloan

Drawing No.  
A2.04

Date  
4/14/2019

CAD File Name  
Sloan Res\_PH2\_Kitchen-Media Rm.vwx





## NEW ROOF PLAN- w/ NEW SECOND FLOOR

Scale: 1/4" = 1'-0"

- NOTES:**
- 1. Approx. Roof Areas: 1078 SF or 11 square of barrel tile roofing (1015sf Kitchen-Media Rm & 63sf Bridge Roof)**
  - 2. Provide Price Option for 1/2 round Copper Gutter and 3" dia round Downspouts on either South End (opt 1) or Entire New Roof Perimeter (opt 2)**

New Roof Plan::  
Kitchen-Media  
Room Addition  
A2.05

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA2600208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-~~xxxx~~. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
NEW ROOF PLAN  
of Kitchen/Media Room

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.05
Date 4/14/2019	_____ of _____
CAD File Name Sloan_Res_PH2_Kitchen-Media	Rm.vwx

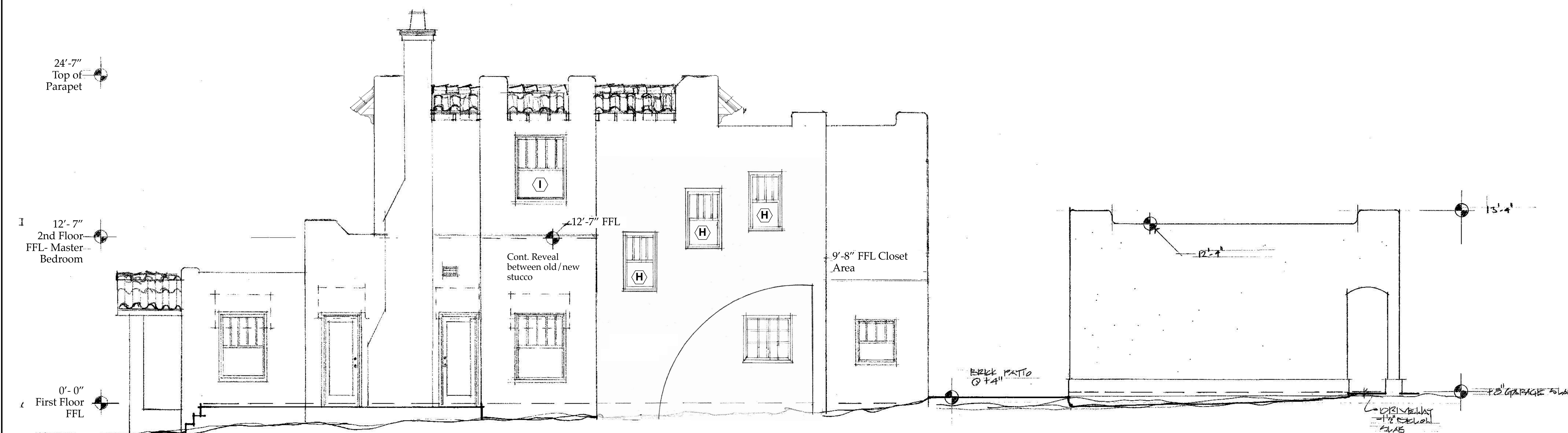
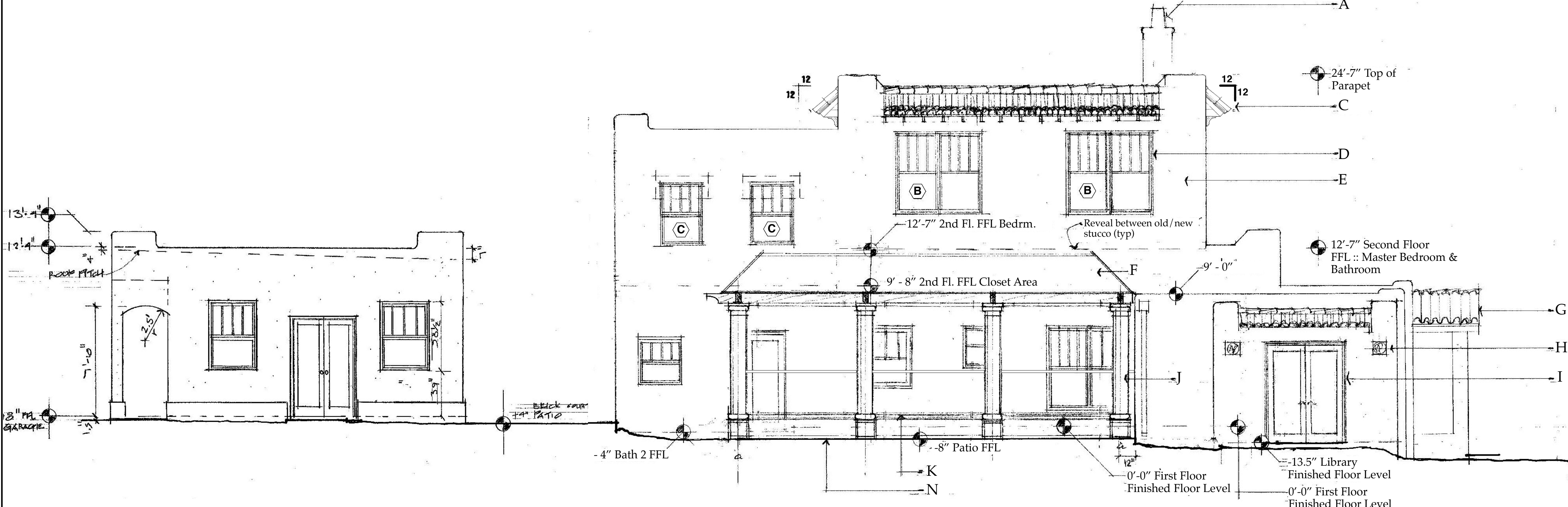
Sloan\_Res\_PH2\_Kitchen-Media



SLOAN  
ARCHITECTURE  
&  
INTERIOR  
DESIGN

## COPYRIGHT NOTICE

**Scale: 1/4" = 1'-0"**

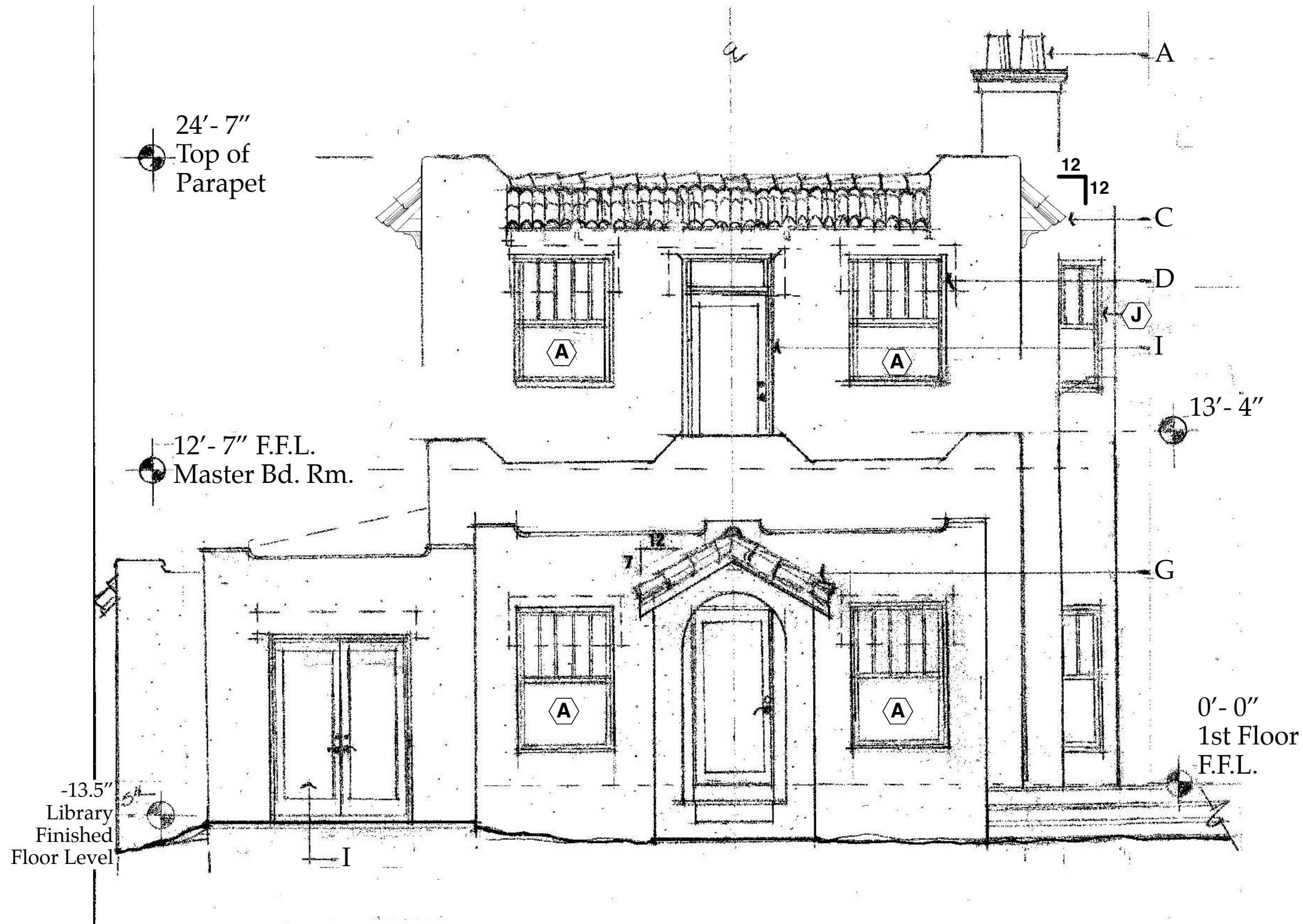


**Scale: 1/4" = 1'-0"**

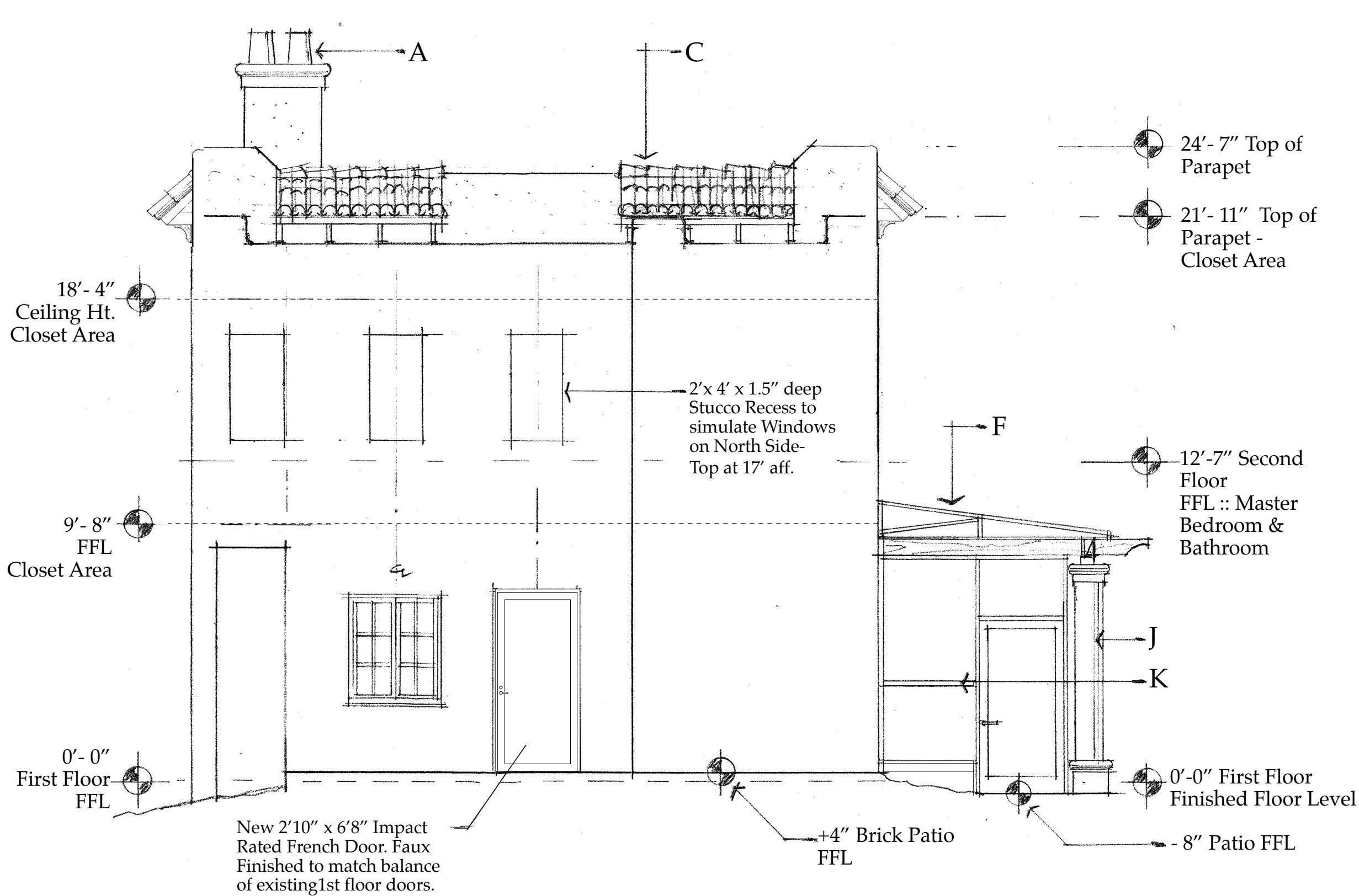
Existing Elevations  
A3.01

Date 11/11/2018

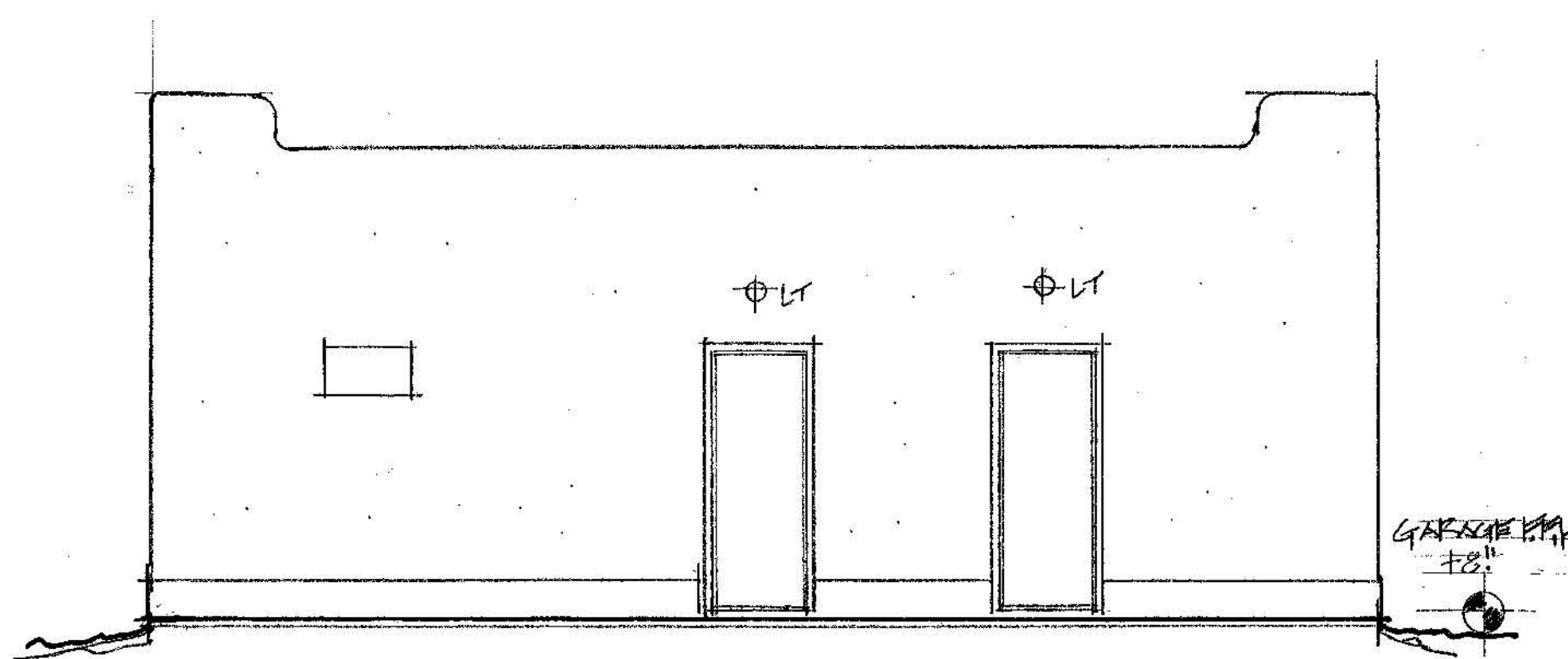




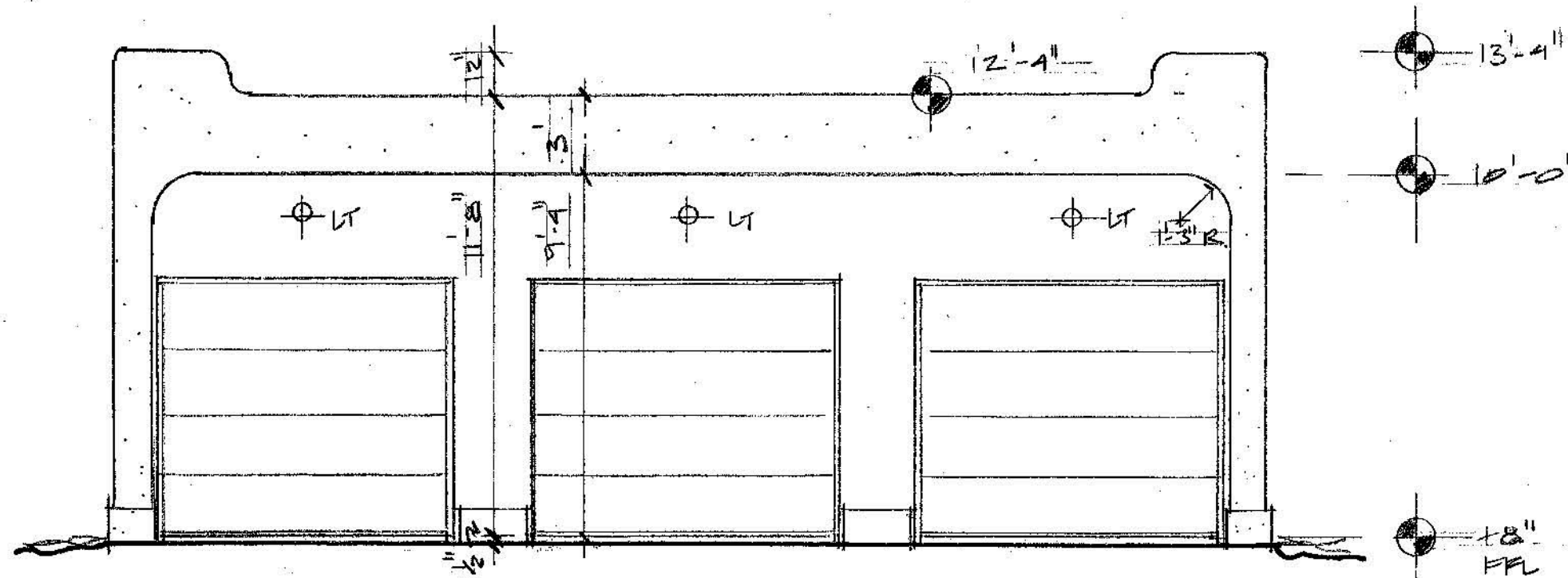
**Existing East Elevation: Main Residence "C-A3.02"**  
**Scale: 1/4" = 1'-0"**



**Existing West Elevation: Main Residence "D-A3.02"**  
**Scale: 1/4" = 1'-0"**



**Existing East Elevation: 1 Story Garage "E-A3.02"**  
**Scale: 1/4" = 1'-0"**



**Existing West Elevation: 1 Story Garage "F-A3.02"**  
**Scale: 1/4" = 1'-0"**

Existing Elevations  
A3.02

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208



No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-2018. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

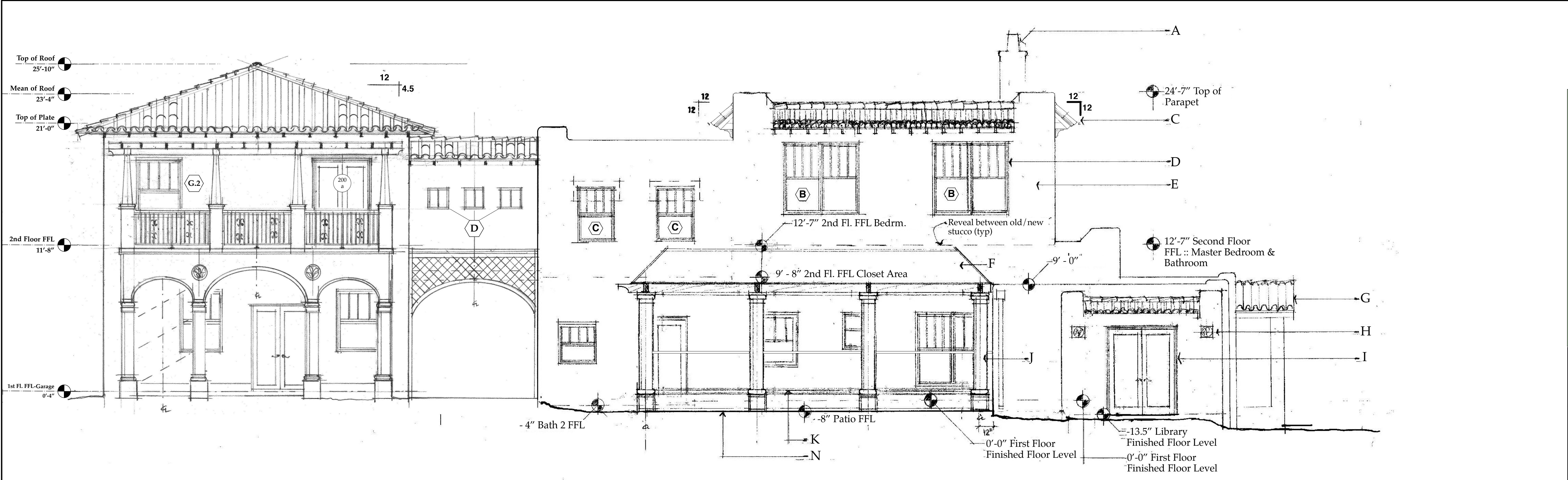
Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

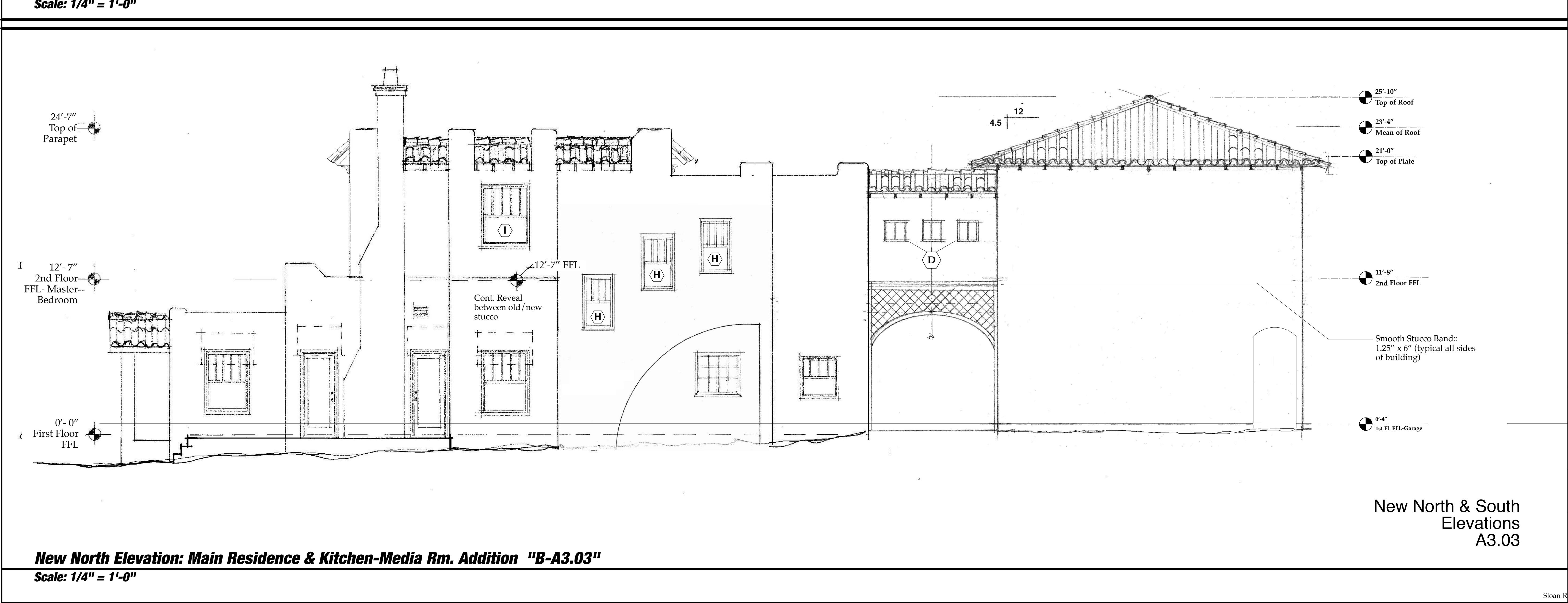
Drawing Title  
EXISTING ELEVATIONS  
of Main Residence & Garage

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.02
Date 11/11/2018	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media	Rm.vwx





**New South Elevation: Main Residence & Kitchen-Media Rm. Addition "A-A3.03"**  
**Scale: 1/4" = 1'-0"**



**New North Elevation: Main Residence & Kitchen-Media Rm. Addition "B-A3.03"**  
**Scale: 1/4" = 1'-0"**

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208



No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-present. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
NEW North & South  
ELEVATIONS  
of Kitchen/Media Rm. Addition

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.03
Date 11/11/2018	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	



5/8" Stucco

CONTINUOUS MOISTURE BARRIER - W/IN SPACE "V"VOID FLUSH With and Slope Flashing that use Barfl Instructions & Tyvek Flashing wrap over balance of wood sheathing

SEALANT BY HANDY

CONTINUOUS SEALANT BEHIND INFL FIN ALL SIDES BY WINDOW INSTALLER

Composite 2" Fla. Backsboard - Plyne & Panel

SELF-ADHESIVE FLASHING OVER EXISTING FLANGE BY WINDOW INSTALLER (Tyvek Plus "Panel & Seal"

CONTINUOUS SEALANT AND BACKER ROD

LOW EXPANSION FOAM BY WINDOW INSTALLER

CONTINUOUS BEAD (OF SEALANT BETWEEN INFL FIN AND DRAIN MAT)

CONTINUOUS MOISTURE BARRIER - W/IN SPACE "V"VOID FLUSH With and Slope Flashing that use Barfl Instructions & Tyvek Flashing wrap over balance of wood sheathing

5/8" Stucco

VERTICAL SECTION

WOOD SILL AND TRIM BY TRIM CARPENTER

DOUBLE 2x4 PT #2 WINDOW SILL 6" x 4" with 45-degree angle 2x4 PT #2

SEALANT & BACKER ROD BY WINDOW INSTALLER

LOW PRESSURE FOAM BY WINDOW INSTALLER

HORIZONTAL SECTION

NOTE: French Door Detail is Similar

INSTALLATION NOTES:

Doors and windows to be installed per latest revision of ASTM E2112. STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS AND SLYGLIGHTS.

Weather plane flashing must provide a continuous seal between weather plane of penetration product and weather plane of wall system.

At metal to metal joints must be sealed after installation. This includes, but is not limited to drip caps and mullion covers.

Job site "Frame to Frame" Mul joints must be silicon sealed between frames.

All window products to be installed with a sill pan or equivalent must include back dam and side dams @ 7/8".

NOTE: Please refer to the WINDOW MANUF. CURRENT "NOA & INSTALLATION INSTRUCTIONS for additional installation instructions.

File WdFrame\_Stucco\_WindowDetail.vwx

File: WdFrame\_Stucco\_WindowDetail.vwx

### Stucco Exterior - Wood Stud 4 9/16" Jamb

**WEATHER RESISTANT BARRIER OVER TOP OF SELF ADHERING TAPE\*\***

**SELF ADHERING FLASHING TAPE\*\***

**STUCCO WITH METAL LATH\*\***

**RAINSCREEN\*\***

**CONTINUOUS SEALANT AT HEAD AND SIDES BEHIND NAIL FIN\*\***

**ALUMINUM EDGE BEAD\*\***

**FILL CAVITY WITH BATT INSULATION OR WINDOW & DOOR INSTALLATION FOAM\*\***

**1/2" SHEETROCK\*\***

**INTERIOR TRIM (OPTIONAL)**

**FILL CAVITY WITH BATT INSULATION OR WINDOW & DOOR INSTALLATION FOAM\*\***

**SHIM AROUND UNIT\*\***

**\*\*PROVIDED BY OTHER**

**DISCONTINUOUS SEALANT UNDER SILL\*\***

**CONTINUOUS SEALANT UNDER SILL PAN\*\***

**SELF ADHERING FLASHING TAPE\*\***

**CONTINUOUS SEALANT AT SILL PAN LEG\*\***

**1st SELF ADHERING FLASHING TAPE\*\***

**SILL PAN\*\***

**2nd SELF ADHERING FLASHING TAPE\*\***

**CONTINUOUS SEALANT UNDER SILL\*\***

**Vertical Section Detail - Standard Sill**

**Vertical Section Detail - ADA Sill**

**Horizontal Section Detail**

**Note:** All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

**www.weathershield.com**

**Weather Shield Windows and Doors**

**Premium REV 12/17**

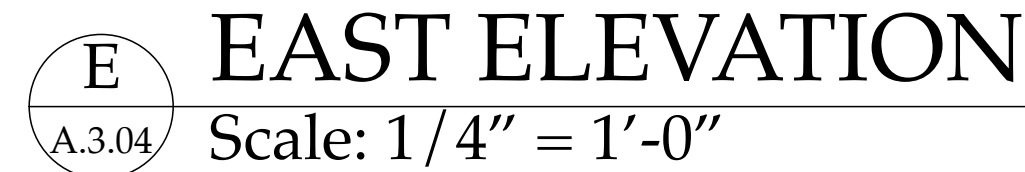
SLOAN  
&  
SLOAN  
ARCHITECTURE  
INTERIOR  
DESIGN

Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208



No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc.  
© 2010-FOREVER. All rights reserved. Not to be used without the express written permission of the Design Firm.



WEST ELEVATION  
Scale: 1/4" = 1'-0"

### New East & West Elevations A3.04

No.	Date	Issue Notes
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div> <div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>
		<div style="border: 1px dashed black; border-radius: 50%; width: 100px; height: 100px; margin: 0 auto;"></div>

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant	
------------	--

Project Title

Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title	NEW ELEVATIONS of Kitchen-Media Rm. Additon
---------------	--

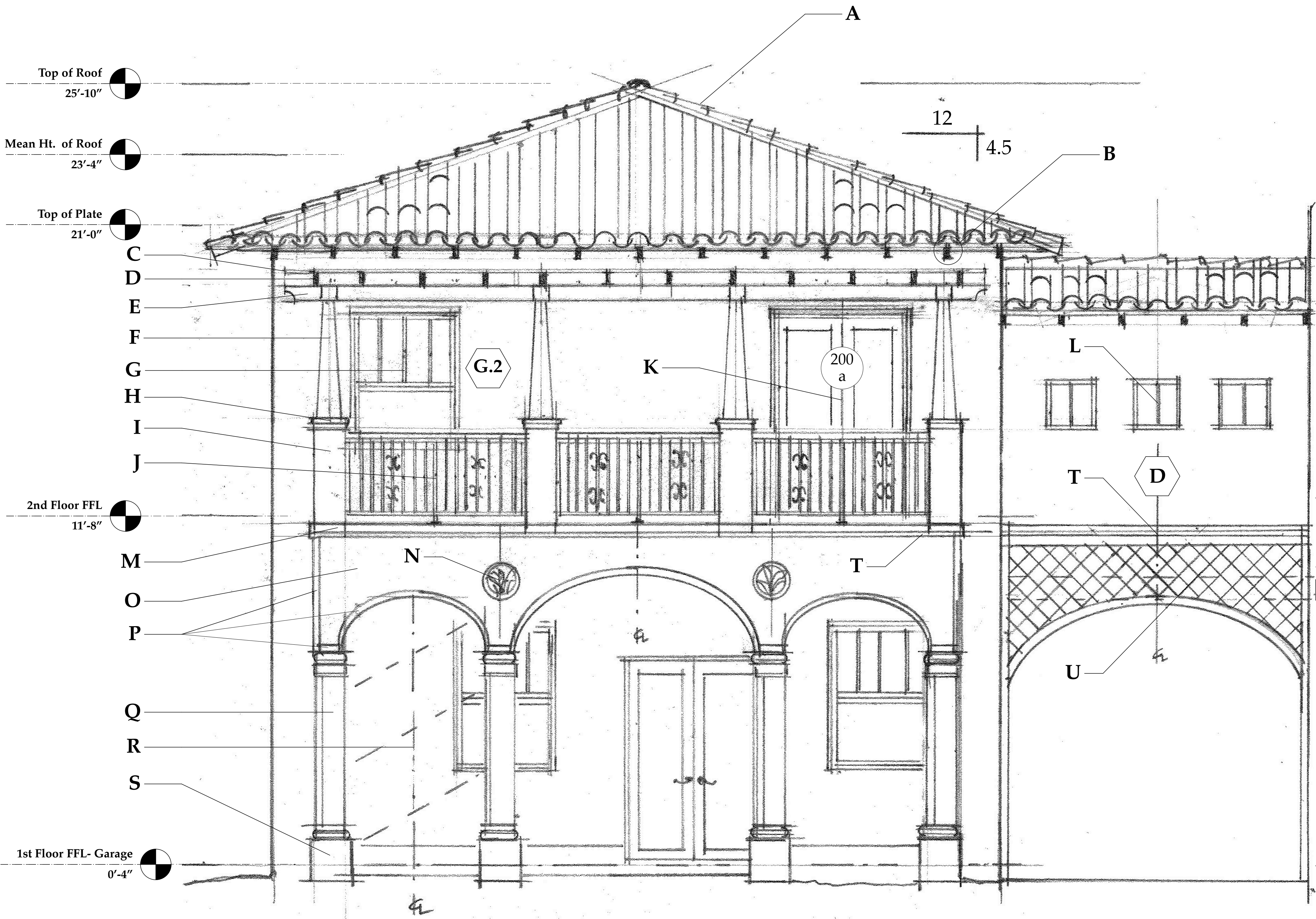
Project Manager	Project ID
D. Sloan	Sloan Res Kit.-Media Rm Addition

Drawn By D. Sloan	Scale $1/4" = 1'-0"$
Reviewed By D. Sloan	Drawing No.

Date <div style="text-align: center;">11/11/2018</div>	<div style="text-align: center; font-size: 24pt; font-weight: bold;">A3.04</div> <div style="text-align: center; font-size: 18pt;">_____ of _____</div>
---	---

CAD File Name  
Sloan Res\_PH2\_Kitchen-Media Rm.vwx





**New Notated Partial South Elevation: 2nd Floor Kitchen-Media Rm. Addition "A-A3.03"**  
**Scale: 1/2" = 1'-0"**

ELEVATION MATERIALS LEGEND

- A. **Terra Cotta Barrel Tile** :: Hand Made "Artisan Blend" natural terra cotta colors. with copper drip, and half round copper gutter and downspout on south façade.
- B. **Exposed Rafter Tails** :: 2x4 Pressure Treated Rafter Tails (outermost 3' of top chord of truss is Pressure Treated #2 or btr. SYP, with 1x6 v joint roof deck to 6" inboard of exterior wall, balance of roof is 5/8" CDX plywood glued & nailed.
- C. **2x2 PT #1 SYP** :: run north and south at 12" o.c.
- D. **2x6 PT #1 SYP Trellis Rafters** :: w/ Scrolled Ends, spaced 24" o.c. connected to Ledger on east side
- E. **4x6 PT SYP #1 Beam** :: w/ Scrolled Ends, running north-south supported by Alum Tube Columns.
- F. **Alum Tube Column** :: Powdercoated Dk. Brown, 2.5" x 2.5" x 1/8" wall 6061 Alum. with Tapered Composite 1x8 Boards on 4 sides. Typ of 4 Columns. (SEE DETAIL DRAWINGS Sht S1.01)
- G. **Single Hung Windows** :: PGT Impact Rated Fin Frame units w/ dimensional Muls outside, low profile inside, 4/1 Pattern, , Low E Glass – Bz Frames, 2" composite brickmold, with field applied faux wood finish to match balance of windows and doors on main residence.
- H. **Simulated Keystone Pier Cap** :: bullnosed 4 sides, Base, and curved Trim at face of arched openings
- I. **Stucco Finish 12" x 12" Pier** :: PT 2x4 Framing, ½ PT Ply Shtg, Wrapped with WR Grace Fire & Ice HT peel & stick, 5/8" Stucco on paperback lathe.
- J. **36" High Railing** :: Welded Alum. Perimeter Rectangular frame composed of 3/4" x 1.5" x 1/8" wall Verticals, 1.5" x 1.5" x 1/8" wall center vertical, 1.5" x 2" x 1/8" wall Horizontals, ½" x ½" Iron Double Twist Pickets at 4" oc with Decorative Double Butterfly in 2 locations as shown. Entire Assembly Powdercoated Satin Black. 1.5" x 3" Rounded IPE Handrail on Top. ALTERNATE: Construct Perimeter w/ Ctr Support Frame of IPE Wood in Same Dimensions (Typ of 5 Segments)
- K. **Double 2068 Clad Wood French Doors** :: Impact Rated Weathershield Clad Units, "western adobe" color, 2" Composite Brickmold, all faux finished wood pattern to match balance of doors.
- L. **Fixed Glass 18" x 18" Windows** :: PGT "Fin Frame" Units, Low E Glass, Bz. Metal , faux finished to match. Single Center Vertical Dimensional Mul/Low Profile Mull inside.
- M. **Sim. Keystone Trim** :: "base board" on piers & band on stucco just below porch FFL.
- N. **Cast Stone Mediallian** :: "Fern and Fiddlehead" pattern, 16" diameter in Buff Color "Beach Stone"as Manf. by "Pineapple Grove Designs".
- O. **Stucco Finish** :: to Match Extg First Floor Wall Texture. *At Inside Faces of Arches apply Smooth Sand Texture.*
- P. **Sim. Keystone Trim** :: as shown, applied over stucco
- Q. **Sim. Keystone 12" Columns** :: Tuscan to match Screen Porch Area Columns.
- R. **New Spiral Stairs** :: 5'-2" Circular Stair – Galvanized Steel or Alum. FBC Code Compliant. Installed by Carpentry Subcntr.
- S. **Sim. Keystone Clad Pedestal Bases** :: 18" x 18" x 20" ht
- T. **Sim. Keystone or Stucco Banding "Crown Moulding" & "Banding" at arches to match::** with solid top surface pitched 5 deg.
- U. **Scored Stucco Pattern** :: 6" x 6" squares canted 45degrees. Created with ½" x 1/2" Stucco Reveals (typ both sides of arch) #1-21 by VinlyCorp or Equal

File:SloanPh2\_Elevation\_Materials\_Legend.doc

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA2000208



No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

**COPYRIGHT NOTICE**  
These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-~~xxxx~~. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
NOTATED SOUTH ELEVATION  
of Kitchen-Media Room Addtn.  
(Partial Elevation)

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A3.05
Date 11/11/2018	_____ of _____

Sloan Res\_PH2\_Kitchen-Media Rm.vwx

New Notated  
Elevation  
A3.05



The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA2600208



No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

#### COPYRIGHT NOTICE

These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-2019. All rights reserved. Not to be used without the express written permission of the Design Firm.

## Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
BUILDING SECTION "1"  
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.01
Date 4/14/2019	_____ of _____
CAD File Name Sloan_Res_PH2_Kitchen-Media Rm.vvwx	

## New Building Section "1-A4.01"

Engineered and Approved Roof Trusses at 24" o.c. with 5/8" CDX Roof Sheathing glued & nailed at 4" edges/6" Field with 10d Ring Shank SS or HDG nails. Roof pitch is 4.5:12. (See Roof Plan) Connect Trusses to Dbl. Top Plate with Simpson HTS 30 z max.

New smooth finish "Santa Fe Artisian Blend" Barrel Tile in natural terra cotta color mix over Hot Mopped 90Lb Cap Sheet over 30Lb Modified Base Sheet (CertainTeed GMS Brand) per Tile Manf. NOA . New Copper Drip & cap metel. Over 5/8" CDX ply wood decking attached to Wood Roof Trusses at 4.5/12 Slope. Install Tile with Approved Adhesive Foam System. \*\*Tile Installer to include "Pull Test" in Bid Price if required by Building Dept.\*\*\* 4.5/12 TYPICAL PITCH

Outermost 36" of top chord of Truss (rafter tails) to be SYP PT #2.

New 2nd Floor NORTH & SOUTH Walls are 2x4 PT SYP #1 Studs at 12" o.c. with Double Top Plate. Add Connectors/straps/clips as per Connector Schedule. . Both w/ 1/2" PT CDX Plywood Wall Sheathing glued & nailed at 6" edges/6" Field with 8d Ring Shank SS or HDG nails.Glue/Screw 1/2" PT Ply to Inside Face of N&S Walls w/ #9x1.625" scews at 6" oc. EAST & WEST same but Walls Studs 16" o.c w/ NO 1/2" Ply on inside face.  
Install Tyvek Stuccowrap vapor barrier, Self Furring Mtl. Lathe, & 5/8" Stucco with Texture to match existing First Floor texture. Interior Finish is 1/2" Drywall- Level 4 with Orange Peel Finish. Wet Areas to be 1/2" Denshield (Typ. all areas)

New 2nd Floor Floor Joists :: 2x6 PT SYP #2 at 24" o.c. Ripped to Taper to create Flat Floor Surface. Attach to Underlying Top Chord of old roof trusses with 1/4" dia SS or HDG "Timbertamers" with min 2.5" embedment. Add 2x6 staggered briging/blocking as shown on floor framing plan. Install 3/4" CDX T&G Plywood Subfloor with Glue and 8d ring shank SS or HDG nails 6" edges/12" field AFTER Partial Framing and Insulation Inspections. Install 1/2" min. Durrock Tile Underlayerment over Plywood per manf. specs in all areas Except "Bridge". Tile or to be installed over. In "Bridge" install Wood Finished Flooring over approved "peel and stick" underlayerment. PRICE OPTION to use 20pcf Lightweight Insulated Concrete with 3.5" Average Thickness directly over Old Roofing.

EXISTING Engineered & Approved Wood Roof Trusses (to become Floor System Component). Trusses at 24" o.c.  
EXISTING 1/2" Type X GWB over 1/2" Ply (typical all interior 1st floor walls)  
EXISTING 2x4 PT SYP #2 Wood Stud Walls- Studs at 16" o.c. with Simpson SP 4 zmax Stud/Tie Anchor at top plates. Wall Sheathing is1/2" CDX PT Plywood.  
EXISTING 5/8" Stucco Finish on Paper Backed Wire Lathe over Tyvek Drain Wrap over 1/2" PT CDX Plywood.  
EXISTING R-11 Batt Insulation at existing 2x4 PT #2 SYP frame walls.  
EXISTING 1/2" dia x 6" Stainless Steel Redheads at 32" o.c. max w/ 3" x 3" x .25" "Palm Beach Washers" at 2x4 PT #2 sole plate.

Truss Engineer to provide space for AC Ducts as shown on Sheet M.1.

New Roof Insulation is R-30 Open Cell Spray Foam (Icynene or Approved Equal) Applied to underside of Roof Deck.

2x4 Bottom Chord Bracing. Nail w/ (2) 12p nails at each truss (max 8' spacing) See Truss Engineering.

5/8" Drywall over optional 7/8" mtl. hi hat channel run perpendicular to trusses at 24" o.c.. Level 4 Finish w/ orange peel- Typical All Ceilings.

All Coffers and Non Bearing Walls & Headers framed of 3 5/8" Metal Stud by Drywall Subcontractor.

Match First Floor Window and Door Trim. Trim out Headers & Cased Openings to match Windows & Doors as well. (Typical)

New Wall Insulation is R-13 Open Cell Spray Foam (Icynene or Approved Equal)

Backsplash Area to have Continuous 1/2" Denshield Tile Backer Board.

Simpson Strong-Drive SDWF Floor to Floor Screw- 30" Long Z Max 32" oc on North & South Walls and within 6" of corners. (SEE STRUCTURAL PLANS)

EXISTING 5/8" CDX Plywood Roof Sheathing  
Existing R-30 Batt Insulation (typical entire garage)

Install NEW 3" Open Cell Spray Foam over old roofing & under "Bridge" Subflooring: R 11 Average (typical all new subfloor areas)

EXISTING 1/2" Type X GWB over 1/2" Ply (typical all interior 1st floor walls)

EXISTING 5/8" Stucco Finish on New Paper Backed Wire Lathe over Tyvek Drain Wrap over 1/2" PT CDX Plywood.

EXISTING R-11 Batt Insulation at new 2x4 PT frame walls.

Existing Concrete 4" Slab on Grade to remain.

EXISTING 18" w x 16" high Monolithic Concrete Foundation- 3000psi pea rock pump mix with 6x6 10/10 wwm w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

EXISTING PERIMETER 18" w x 16" high Monolithic Concrete Foundation- 3000psi pea rock pump mix with 6x6 10/10 wwm w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

Top of Roof  
25'-10"

Top of Plate  
21'-0"

2nd FL FFL  
11'-8"

Top of Plate  
9'-8"

Top of Plate  
9'-8"

1st Floor FFL : Garage  
0'-4"

1st FL FFL: Garage  
0'-4"

NEW 24" x 24" x 16" high Concrete Pad with 12" x 12" x 18" high Integral Concrete Pedestal- 3000psi pea rock pump mix with w/ (3) #5 Rebar E.W.. Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill. (Typical of 4)

## Section 1 Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).



The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208

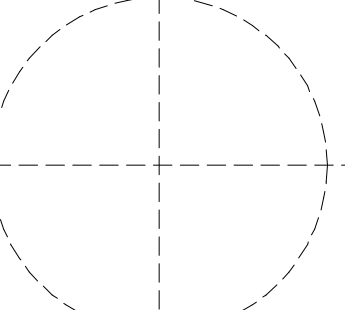
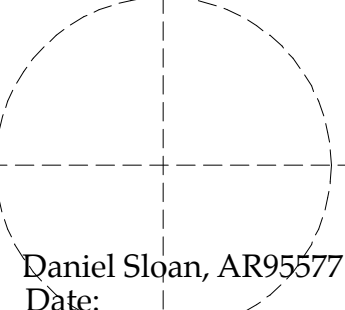


No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

#### COPYRIGHT NOTICE

These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc. © 2010-~~xxxx~~. All rights reserved. Not to be used without the express written permission of the Design Firm.

## Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		  <div>Daniel Sloan, AR95577 Date: _____</div>

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

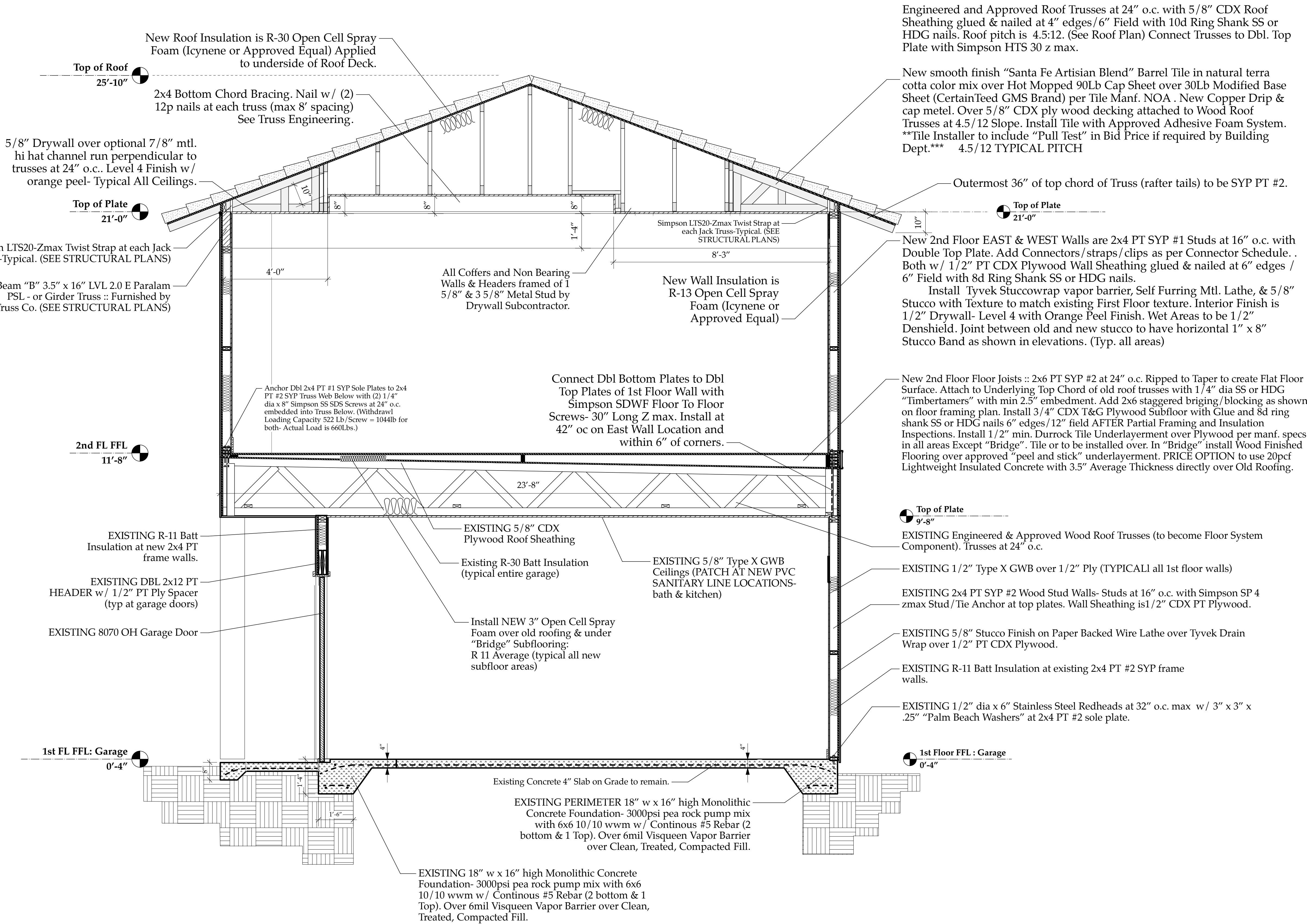
Consultant

Project Title  
Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title  
BUILDING SECTION "2"  
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.02
Date 4/14/2019	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media	Rm.vvwx

## New Building Section "2-A4.02"



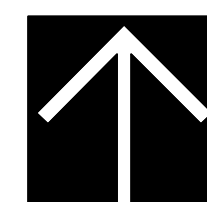
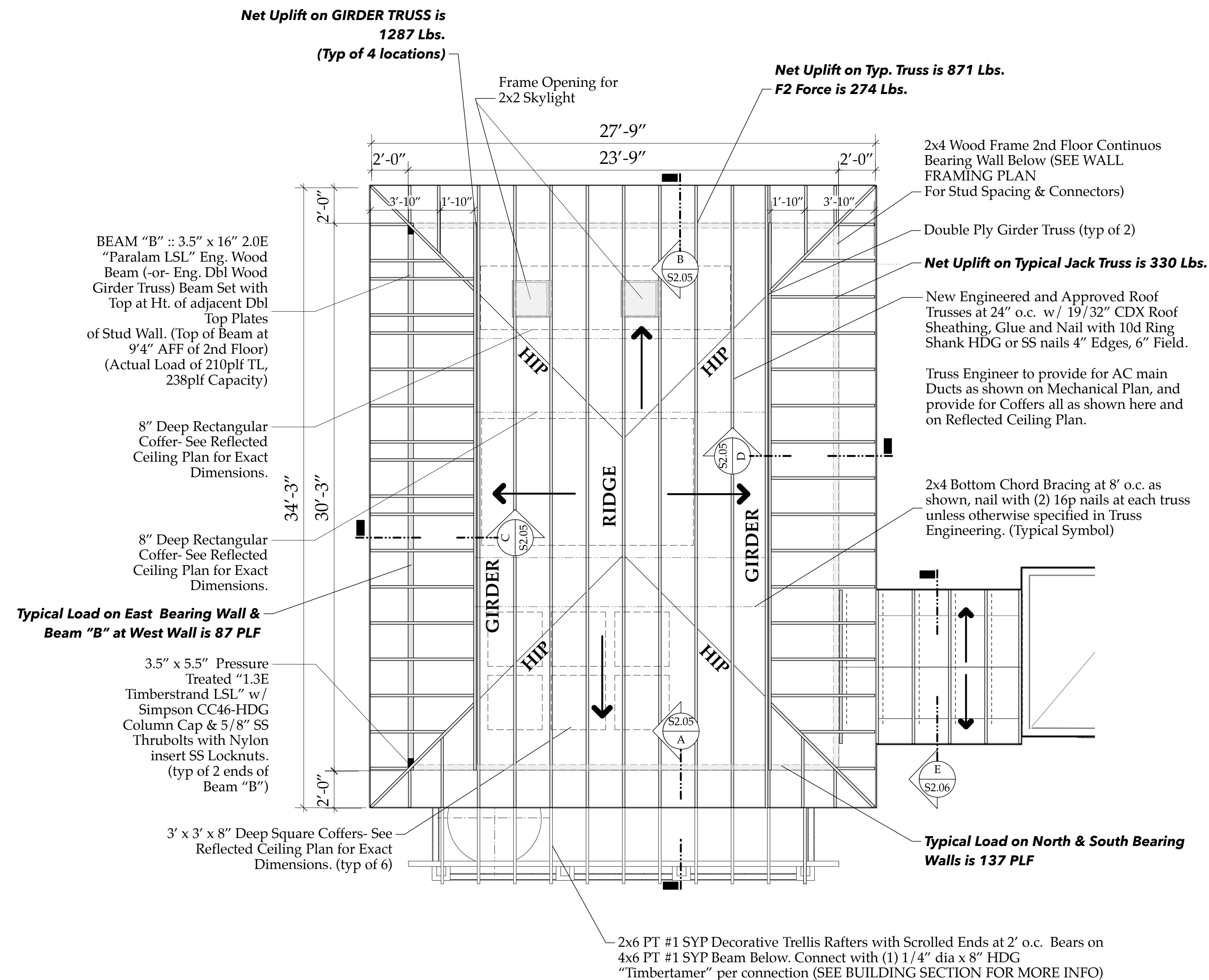
## Section 2 Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).



**\*\*NOTE: Truss Co. to  
Make Provisions for  
HVAC Ductwork  
as Per M1.01.\*\***



2nd FL. ROOF FRAMING PLAN  
Scale: 1/4" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



Sloan & Sloan Inc.  
106 SE 7th Ave.  
Delray Beach, FL  
(561) 243-8755  
dsloan@sloandesign.biz  
ID 0002725 & AR95577  
AA26002208




No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

## COPYRIGHT NOTICE

These Construction Documents, and the Conceptual Design Drawings which they are predicated upon are the property of Sloan & Sloan Inc.  
© 2010-forever. All rights reserved. Not to be used without the express written permission of the Design Firm.

Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		
		Daniel Sloan, AR95577 Date:

Design Firm  
Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant	
------------	--

Project Title	<p>Sloan Residence Phase 2</p> <p>KITCHEN-MEDIA RM. ADDITION</p> <p>106 SE 7th Avenue</p>
---------------	---

Drawing Title

2nd FL FLOOR  
ROOF FRAMING PLAN  
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
-----------------------------	--

Drawn By D. Sloan	Scale 1/4" = 1'-0"
----------------------	-----------------------

Reviewed By	Drawing No.
Reviewed By	S2 03

Date 4/14/2019 02:00 of       

es\_PH2\_Kitchen-Media Rm.vwx

Updated: April 14, 2019

File: SloanPH2\_Contractor\_Schedule.indd

# Structural Connector Schedule: Sloan Residence Addition Project

NO.	DESCRIPTION	MANUFACTURER	UPLIFT Capacity Required	UPLIFT Capacity Provided: lbs	PRODUCT #
1	Roof Truss to Dbl. Top Plate (Typ 2nd Fl. Walls) "2nd Floor Exterior Walls"	Simpson Simpson	871 lbs *	1310 lbs 650up & 940f2	HTS 20 zmax + HGA10 zmax
2	New Dbl. Top Plate to 2nd Fl. Wall Studs "2nd Floor Exterior Walls, 830 lb worst case, 810 lb typical	Simpson	830 lbs uplift value/stud"	1065 lbs	SP2 zmax
3	New 2nd Fl. Studs to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
4	New dbl. 2x4 Sole Plate >Top Chord Floor Truss (1) .25" x 6" SS SDS Screw at 6" o.c. THRU sole plate into Truss	Simpson	310 lbs/screw Below @ North and South Walls	375 lbs /screw	3" embedment
4B	ALT, New dbl. 2x4 Sole Plate >Top Chord Floor Truss (1) .25" x 6" SS LAG Screw at 6" o.c. THRU sole plate into Truss	Commodity	310 lbs/lag Below @ North and South Walls	705 lbs /lag	3" embedment
4C	New 2nd Fl Wall 2x4 Sole Plate >Top Chord Floor Truss	Simpson SDWF-Z	835lbs/screw	885 lbs /screw	3" embedmt/32" oc
5	New LVL Beam "B" to 4x6 Eng Post Below	Simpson	2499 lbs	2800 lbs	CC46 HDG
5b	New 4x6 Eng Post at 2nd Fl. to 4x6 at 1st Floor	Simpson	1249 lbs/strap	2050 lbs/strap	(2) MSTA36 zmax
5c	New 1st Floor 4x6 Eng Post to Foundation	Simpson	2499 lbs	4770 lbs	HTT4 Zmax
6	New 2nd Fl. 2x6 Rim Joist for Porch Attached to Bottom Plate of 2nd Floor Walls & Top Chord of Floor Trusses	Simpson	104 lbs/screw (install 2 screws every 16" oc)	350lbs /screw-Shear	3" embedment
6b	2x6 PT #1 Floor Joist Hangers	Simpson	120 lb uplift load	730 lb uplift Capacity	LUC 26 zmax
6b	(For use on 2nd Floor Wood Porch)	Simpson	207lb LL+DL	845 lb Gravity Capacity	LUC 26 zmax
6c	Dbl2x10 PT #2 Bms to Ext Wall	Simpson	120 lb uplift load	1135 lb uplift Capacity	HUC 210-2 zmax
6d	Join (2) Dbl2x10 PT #2 Bms Together	Simpson	120 lb uplift load	2115 lb uplift Capacity	HL 79 zmax
6d	(ALT) Join (2) Dbl2x10 PT #2 Bms Together	Cstm 1/2" 6061-T6 Alum	Powercoated, 9" h, (2) 8" legs (4) 1/2"bolts		

New 2nd Floor  
Roof Framing Plan  
S2.03

CAD File Name  
Sloan Res\_PH2\_Kitchen-Media Rm.vwx