

# SLOAN RESIDENCE :: PHASE 2

## KITCHEN & MEDIA RM. ADDITION

### 106 SE Seventh Avenue, Delray Beach, Florida 33483

#### STRUCTURAL ENGINEER:

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PE #49952

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AR 95577 & AA26002208

#### INTERIOR DESIGNER:

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ID 0002725 & AR95577  
AA26002208

No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

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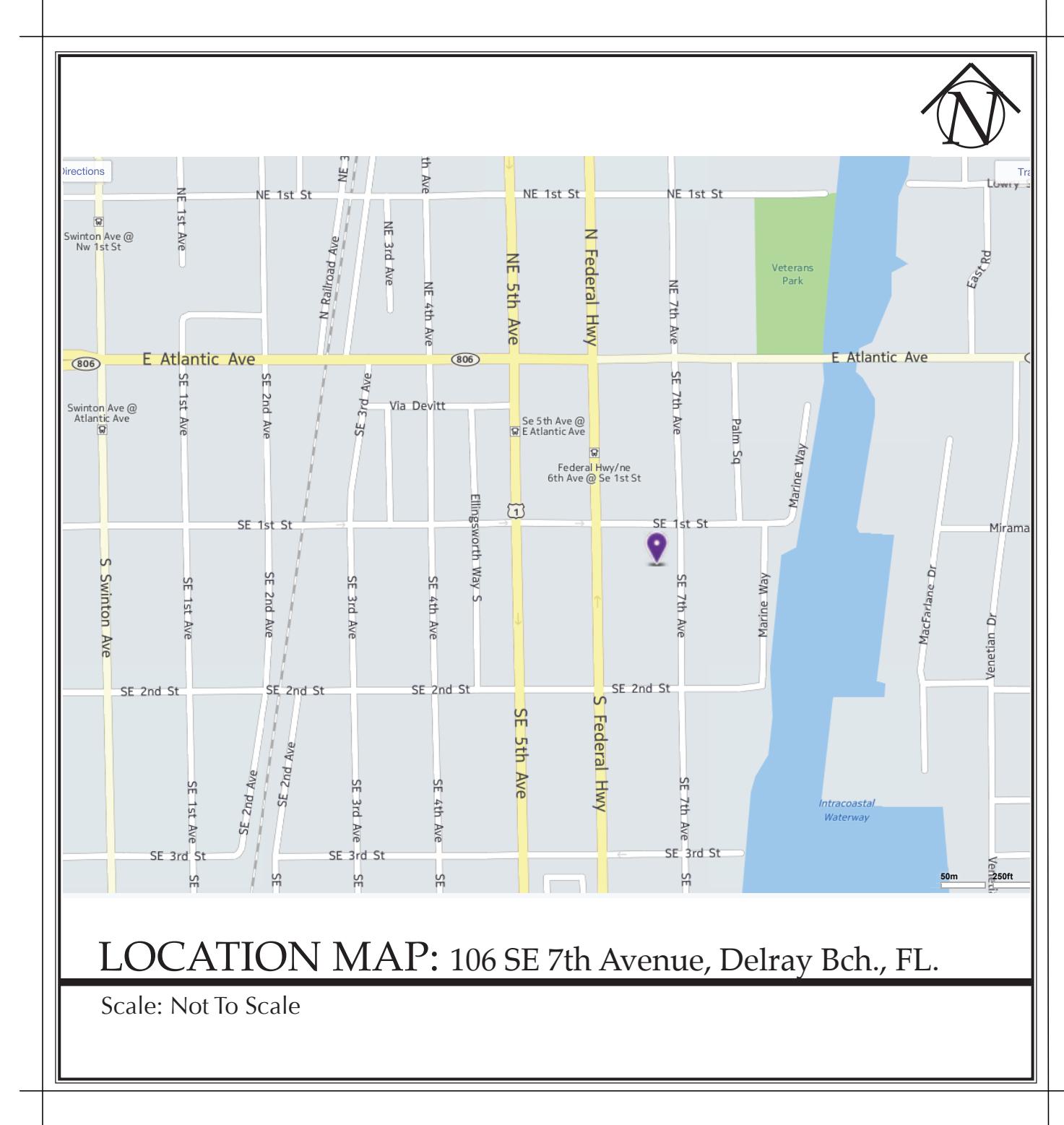
Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

**OCCUPANCY CLASSIFICATION:**  
GROUP RM- MEDIUM DENSITY MULTI FAMILY RESIDENTIAL

**TYPE OF CONSTRUCTION:**  
TYPE V -Unprotected/Unsprinkled  
(Existing 1 Single Family Residential Structure  
to become 2 Story Structure)

#### APPLICABLE CODES:

2017 FLORIDA BUILDING CODE  
2017 FLORIDA MECHANICAL CODE  
2017 FLORIDA ELECTRICAL CODE  
2017 FLORIDA PLUMBING CODE  
2017 FLORIDA BUILDING CODE  
2014 ICC 600- STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS



Sloan Residence Additions & Renovations :: Phase 2 Kitchen - Media Rm. Addition  
106 SE 7th Avenue, Delray Beach, FL  
Design Parameters- revised 11/11/2018  
Zoning: Multi Family Medium Density: RM  
File: Sloan\_SiteTbIns&DsnParamtrs.xls

#	ITEM	Single Family	SEC. R301.2.1.4.3 2017 FLORIDA RESIDENTIAL CODE
1	OCCUPANCY: (Single Family, Multifamily, Commercial, Industrial, Institutional)	<input checked="" type="checkbox"/>	
2	EXPOSURE CONDITION:	B	
3	MEAN ROOF HEIGHT: (Kitchen-Media Rm Addtn) (23'-6" above Reference FFL of Main Res.)	23'	(above grade at this structure)
4	BUILDING HEIGHT: (If < or = 60' may use FBC 2017 Low Rise Provisions. If >60' use ASCE7-10)	<input checked="" type="checkbox"/>	< or = 60' Height
		<input type="checkbox"/>	> 60' Height
5	BUILDING DESIGNED AS:	<input checked="" type="checkbox"/>	Partly enclosed
		<input checked="" type="checkbox"/>	Enclosed
		<input type="checkbox"/>	Open
		<input type="checkbox"/>	Tested (Wind Tunnel)
6	IMPORTANCE FACTOR: (Determined by Building Use /Occupancy. Refer to FBC 2017 or ASCE 7-10)	1.0	
7	BASIC WIND VELOCITY PRESURES: FBC 2017. VERIFY APPROPRIATE POSITIVE/VEGETIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS & CLADDING AS APPLICABLE.		
	FBC 2017 WIND SPEED:	132	(Wind Speed in mph)
	FBC 2017 BASIC VELOCITY PRESSURE:	32	IN PSF
	ASCE 7-10 WIND SPEED:	170	(Ultimate Wind Speed in mph)
	ASCE 7-10 BASIC VELOCITY PRESSURE:	n/a	IN PSF
	NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.		
8	ROOF DEAD LOAD (Actual Dead Load of Materials Used for Determining Net Uplift Reactions.)	15	LBS
9	SOIL BEARING CAPACITY: (Supported by Soils Report from Geotechnical Engineer)	2500	PSF
10	REVIEWED FOR SHEARWALL REQUIREMENTS:	<input checked="" type="checkbox"/>	Yes No, if no Explain why
	NOTE: Geotechnical Report Supporting 2500PSF soil bearing capacity is ON FILE with 1996 Delray Building Permit Application /drawing package for 106 SE 7th Ave.		

LIST OF DRAWINGS	
Sloan Residence: New Kitchen/Media Rm. 2nd Floor Addition (710 Gross SF +66SF Bridge=776 SF Total SF) 106 SE 7th Avenue, Delray Beach, FL Revised: 4/14/19 By Dan Sloan	
#	Title
A0	Cover Sheet
SR.1	Site Plan: Entire Sloan Hammock Land Condo
A1.01	Site Plan
A2.02	NEW First Floor Plan
A2.03	NEW 2nd Floor Plan: Kitchen/Media Rm. Addtn
A2.04	NEW Reflected Ceiling Plan
A2.05	Roof Plan: Kitchen/Media Rm. Addtn
A3.01	EXISTING North & South Elevations
A3.02	EXISTING East & West Elevations
A3.03	NEW North & South Elevations
A3.04	NEW East & West Elevations
A3.05	NEW Notated South Elevation
A4.01	New Building Section "1" @ Kitchen/Media Rm. Addtn
A4.02	New Building Section "2" @ Kitchen/Media Rm. Addtn
S1.01	Existing & New Foundation Plan
S2.02	New Second Floor Roof Framing Plan
S2.03	New Second Floor Roof Framing Plan
S2.04	New Second Floor Roof Framing Details
S2.05	New Second Floor Roof Framing Details
S2.06	Wind Pressures & Bridge Section/Detail
S8.01	Structural Notes and Details
M1.02	New 2nd Fl. HVAC Plan: Kitchen/Media Rm.
	incl. Mechanical Notes, Details, & Schedule(s) utilizing 16 SEER Lennox Equipment
E1.02	New 1st Fl. ELECTRICAL Plan: Kitchen/Media Rm.
E1.03	Showing Only ADDED Outlets & Devices- Showing All Outlets & Devices W/ Symbol Key, Electrical Notes
E2.01	New 2nd Fl. LIGHTING/RCP Plan: Kitchen/Media Rm.
	Showing Lighting, Fans, Switches (New Subpanel for 2nd Floor Fed from Extg. 1st Floor panel)
P1.02	New Second Floor PLUMBING Plan
	Showing Plumbing Fixtures & Notes & Schedule

Cover Sheet  
A0.00

Project Manager	D. Sloan	Project ID	Sloan Res Kit-Media Rm Addition
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	
Date	4/14/2019	of	A.00
CAD File Name	Sloan Res_PH2_Kitchen-Media	RM.WXW	

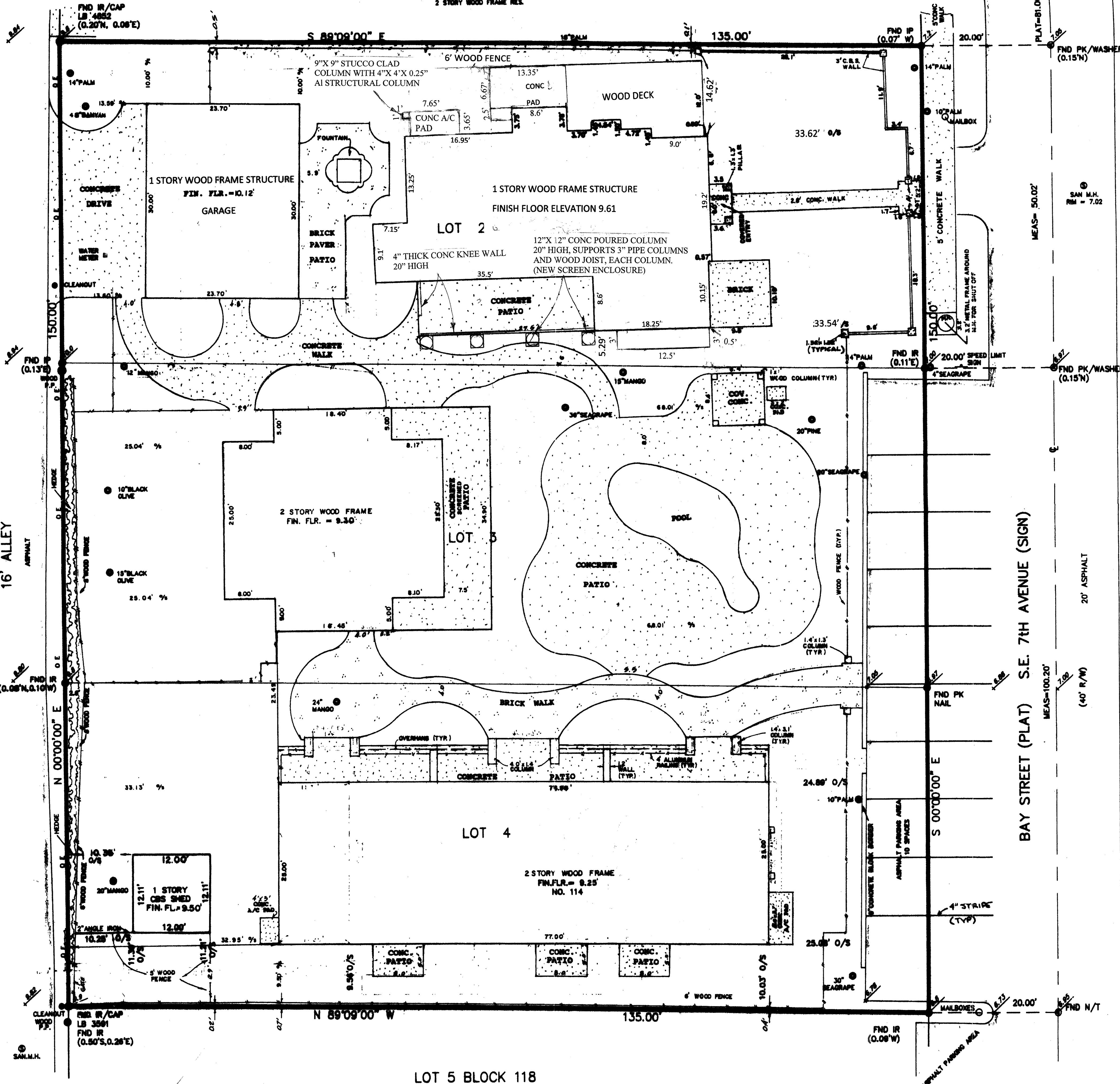


LAWRENCE STREET(PLAT) S.E. 1st STREET(SIGN)

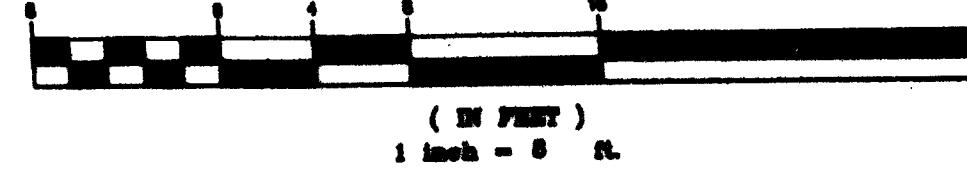
30' R/W

LOT 1 BLOCK 118

**2 STORY WOOD FRAME RES.**



## GRAPHIC SCALE



## CRITICAL NOTES

C -	AIR CONDITIONER	LOW. -	LOWEST
ARC LENGTH		M.H. -	MANHOLE
PH. -	ASPHALT	MEAS -	MEASURED
UM. -	ALUMINUM	MON. -	MONUMENT
G. BUILDING		N/T -	NAIL & TAB
L. -	BLOCK	NO. -	NUMBER
L & G -	CURB AND GUTTER	O.E. -	OVERHEAD ELECTRIC
L. -	CATCH BASIN	O/L -	ON LINE
L.P. -	CORRUGATED METAL PIPE	O/S -	BUILDING OFFSET
L. -	CLEANOUT	O.R.B. -	OFFICIAL RECORD BOOK
L.C. -	CALCULATED	P.B. -	PLAT BOOK
L.TV. -	CABLE TELEVISION RISER	P.C. -	POINT OF CURVATURE
L -	CONCRETE BLOCK & STUCCO	P.C.P. -	PERMANENT CONTROL POINT
NC. -	CONCRETE	P.I. -	POINT OF INTERSECTION
CR. -	CORNER	P.O.B. -	POINT OF BEGINNING
C. COVERED		P.O.C. -	POINT OF COMMENCEMENT
L. -	DRAINAGE EASEMENT	P.P. -	POWER POLE
D.P. -	EDGE OF PAVEMENT	P.R.M. -	PERMANENT REFERENCE MONUMENT
D.W. -	EDGE OF WATER	PROP. -	PROPOSED
EC. -	ELECTRIC	P.T. -	POINT OF TANGENCY
EV. -	ELEVATION	R -	RADIUS
MT. -	EASEMENT	R.R. -	RAILROAD
EXIST. -		R/W -	RIGHT-OF-WAY
H. -	FIRE HYDRANT	RES. -	RESIDENTIAL
F.L. -	FLORIDA POWER & LIGHT	RGE. -	RANGE
F. -	FINISHED	S.B.T. -	SOUTHERN BELL TELEPHONE
F. -	FLOOR	SAN. -	SANITARY
F. -	FOUND	SEC -	SECTION
G. -	GATE VALVE	SQ. FT. -	SQUARE FEET
I. -	IRON PIPE	T.O.B. -	TOP OF BANK
I./CAP -	IRON ROD & CAP	T.V. -	TELEVISION
I -	INTERSECTION	TWP. -	TOWNSHIP
I. -	INVERT	U.E. -	UTILITY EASEMENT
L. -	LIGHT POLE	W.M. -	WATER METER
MATT. -	CHATTahoochee	Δ -	DELTA (CENTRAL ANGLE)
W.D.D. -	Lake Worth	ALUM -	ALUMINUM
DRAINAGE DISTRICT		 SCHEFFLERA	
---	STORM MANHOLE		
---	SANITARY MANHOLE		
-	WATER VALVE		
-	GATE VALVE		
---	NON VEHICULAR ACCESS		
	LINER PER PLAT		

**LAND DESCRIPTION:**

Lots 2, 3 and 4, Block 118, "BLOCK 118 - DELRAY, FLA.", according to the plat thereof, as recorded in Plat Book 2, Page 8 of the Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach County, Florida.

Containing 20,248 Square Feet / 0.4648 Acres, more or less.  
Subject to Easements, Restrictions, Reservations, Covenants  
and Rights-of-Way of Record.

## CERTIFICATION:

SITE SURVEY FOR BOUNDARY OF LOT 2 AND EXISTING WOOD FRAME  
RESIDENCE ON EAST SIDE OF LOT 2, ALL OTHER ON SITE IMPROVEMENTS  
BY OTHERS, BUT WERE VERIFIED AS EXISTING.

A BURLISON GENTRY P.E. P.S.M.

LICENSED FLORIDA SURVEYOR AND MAPPER NO. 2580

I B NO 2322

DATE OF SURVEY: FEB. 1, 2017

DATE OF FINAL SURVEY:AUG, 31, 2018

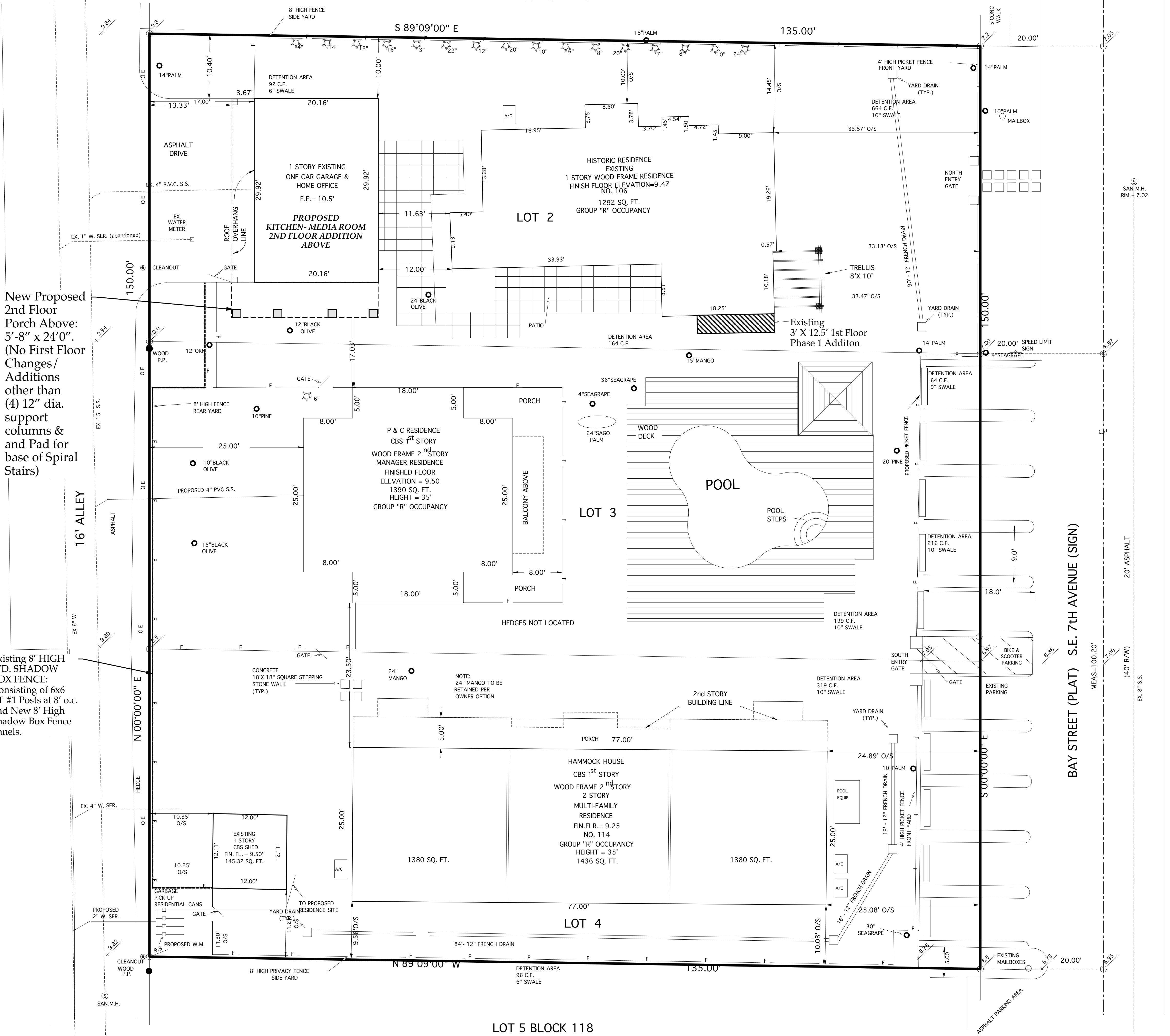
NO.	DATE	REVISION	PROJECT NO.
SHEET TITLE  SITE SURVEY, LOT 2 ONLY			SCALE 1" - 2'
PROJECT SLOAN RESIDENCE RENOVATION  SE 7 <sup>TH</sup> AVENUE  DELRAY BEACH, FLORIDA			DATE  DRAWN BY  CHECKED BY
<p><b>GENTRY ENGINEERING &amp; LAND SURVEYING. INC.</b></p> <p>P.O. BOX 243 DELRAY BEACH, FLORIDA 33447-0243 (561) 272-1924</p> <p>— OF — SH</p>			

LAWRENCE STREET(PLAT) S.E. 1st STREET(SIGN)

(50' R/W)

LOT 1 BLOCK 118

2 STORY WOOD FRAME RES.



**SLOAN HAMMOCK SITE PLAN**

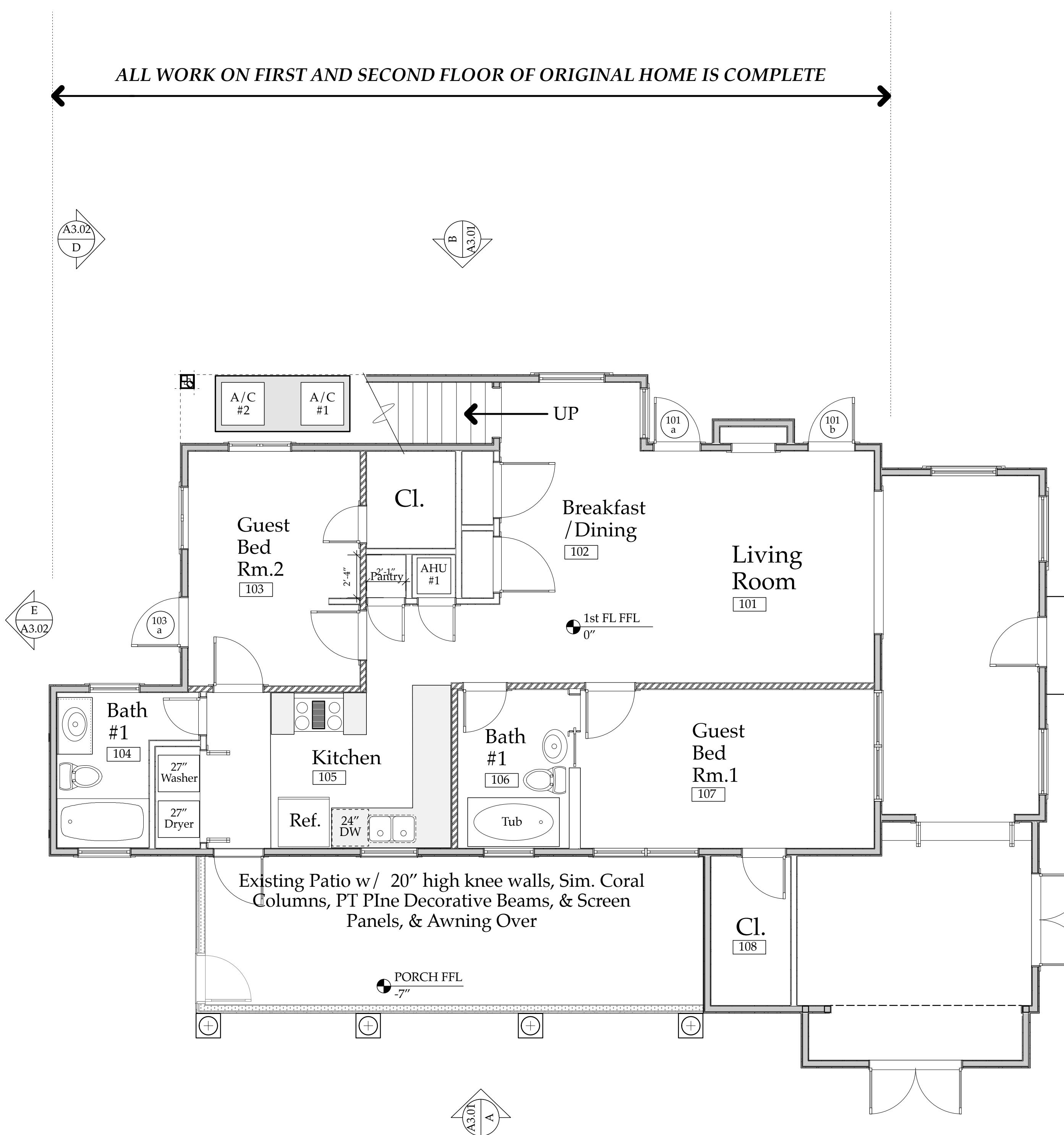
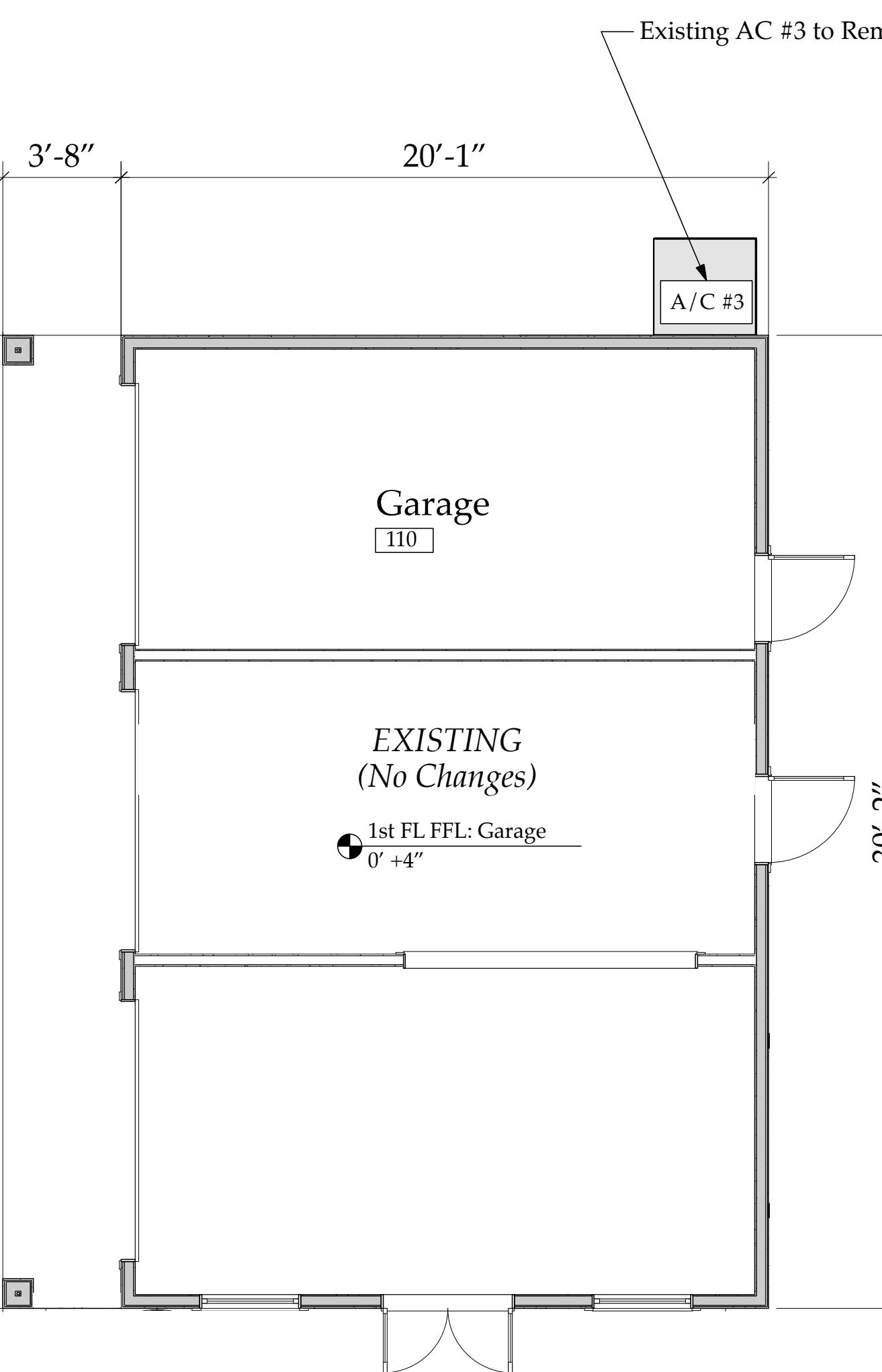
SHOWING PROPOSED 2nd FLOOR KITCHEN-MEDIA RM. ADDITION

File: SH\_SitePlan\_PH2\_v2016.vwx

UPDATED: Oct 15, 2018

SP.1

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



**FIRST FLOOR PLAN- EXISTING**  
Scale: 1/4" = 1'-0"

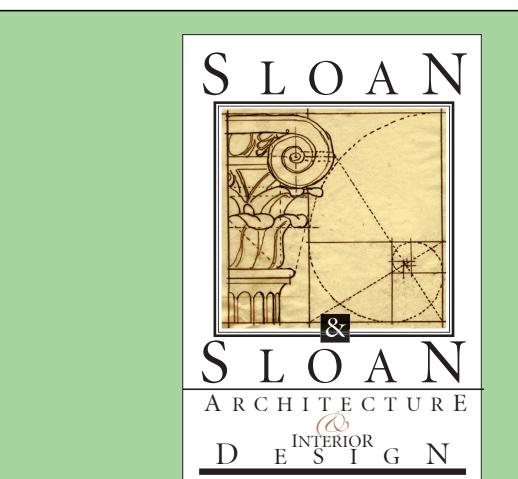
**Wall Type Key**

**Exterior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate, dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

**Non Bearing Interior Wall**  
w/ 3.625" Mtl. Stud at 24" oc, 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

**Interior Bearing Wall**  
w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate, dbl. top plate, Sound Batts, and 1/2" GWB each Side.

**Existing First Floor Plan A2.01**



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**Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition**

No. Date Issue Notes  
Daniel Sloan, AR95577  
Design Firm Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

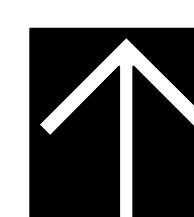
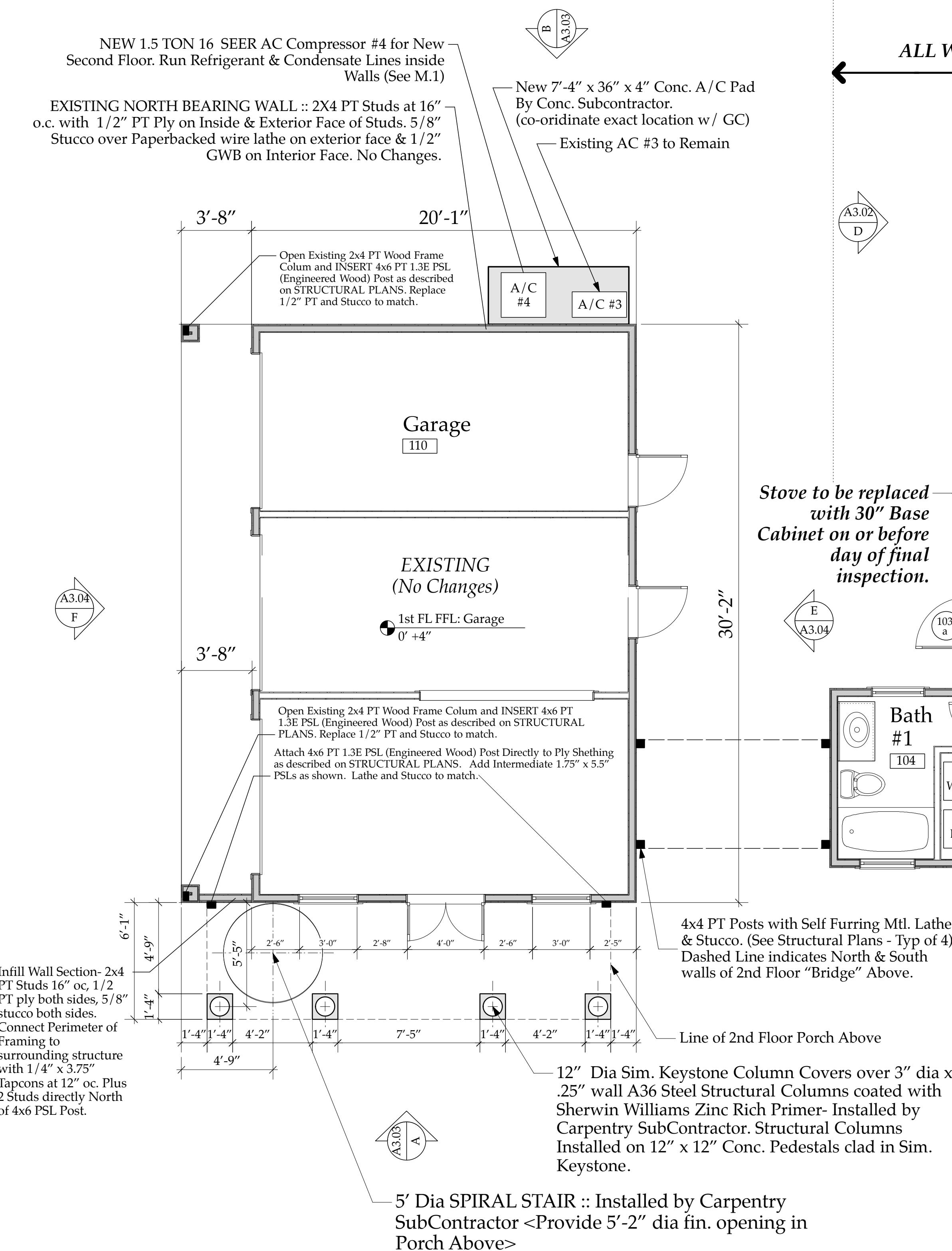
Consultant:

Project Title Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title EXISTING FIRST FLOOR PLAN  
Showing Existing Configuration

Project Manager	D. Sloan	Project ID	Sloan Res Kit-Media Rm Addition
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	
Date	4/14/2019		A2.01
CAD File Name	Sloan Res_PH2_Kitchen-Media	of	Rm.vwx

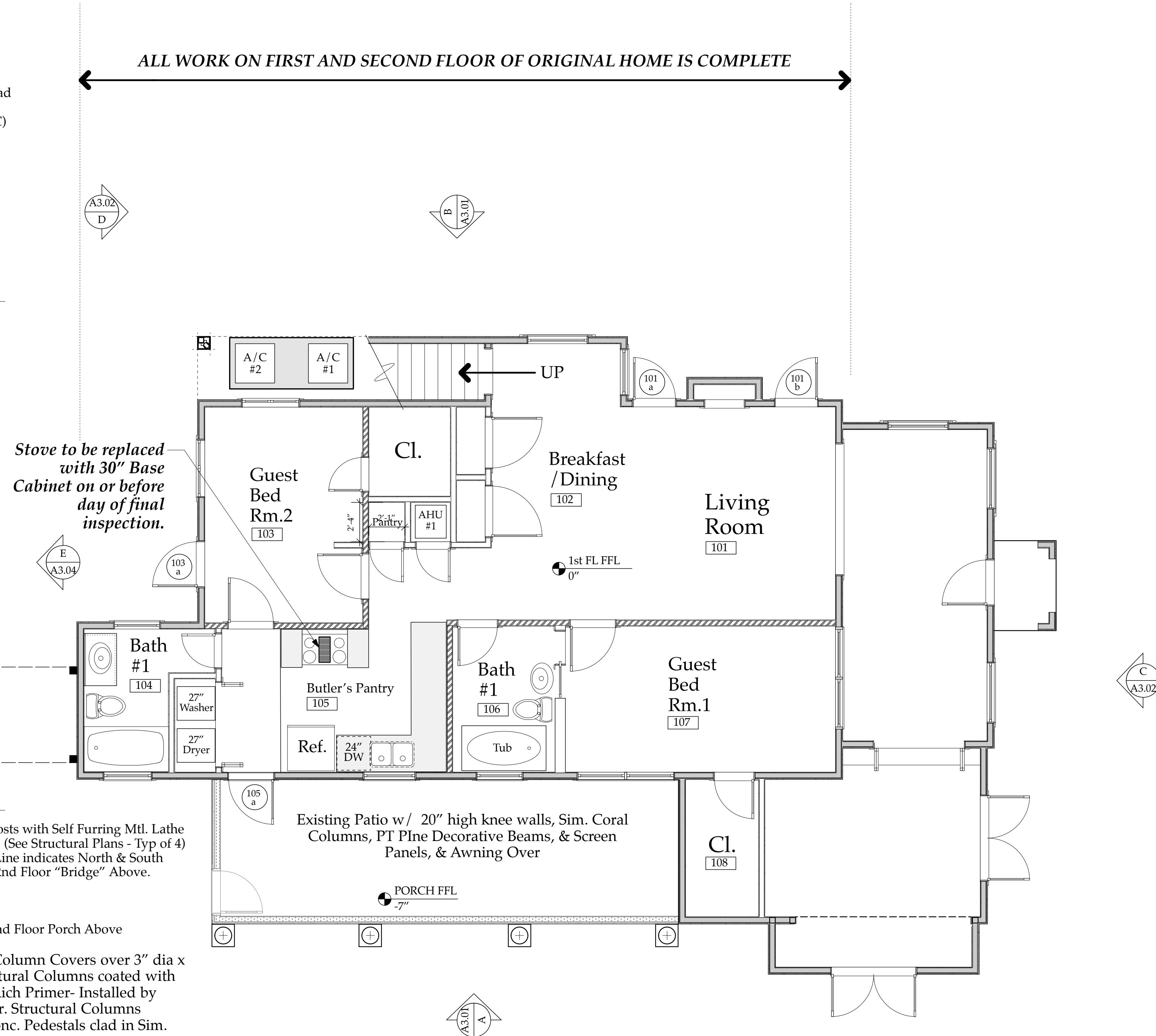
The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



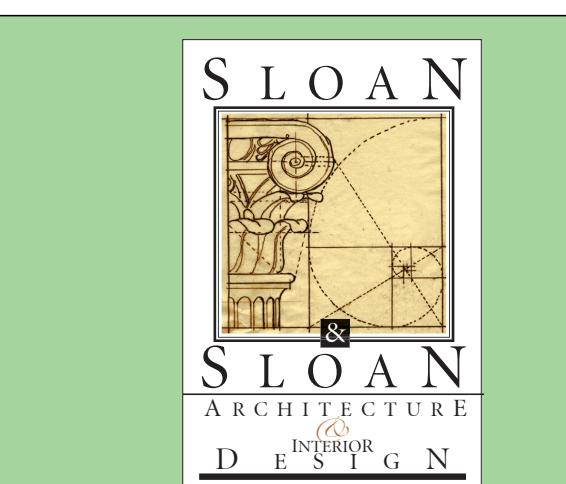
## FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New Columns & Pads to support 2nd Floor Porch & Spiral Stair.



NEW First Floor Plan w/ New Porch Support Columns A2.02



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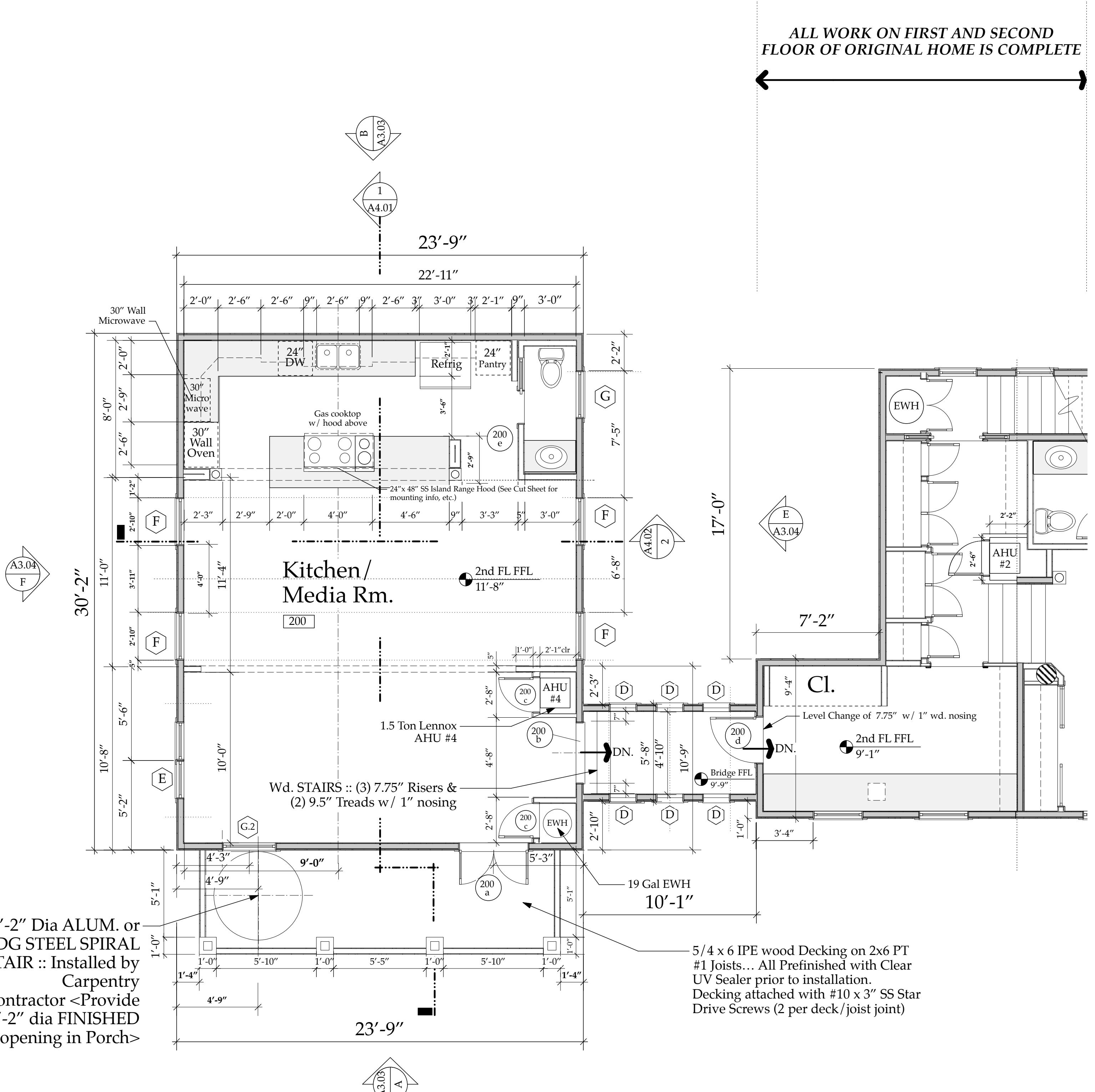
Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

Design Firm Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant  
Project Title Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title New FIRST FLOOR PLAN  
Showing New 2nd Floor Porch  
Support Columns  
Project Manager D. Sloan  
Project ID Sloan Res Kit-Media Rm Addition  
Drawn By D. Sloan  
Reviewed By D. Sloan  
Date 4/14/2019  
Drawing No. A2.02  
CAD File Name Sloan Res\_PH2\_Kitchen-Media Rm.vwx  
of \_\_\_\_\_

Daniel Sloan, AR95577  
Date:



**SECOND FLOOR PLAN- NEW**  
Scale: 1/4" = 1'-0"

**PGT WINDOW SCHEDULE: Aluminium Windows: Phase 2 :: Kitchen-Media Rm.**

WINDOW #	PATTERN	Quantity	Type	DESCRIPTION	GLASS FINISH	Exterior FINISH	Exterior SASH FINISH	WOOD FRAME MANUF.	WOOD FRAME MODEL #	Width (in)	Height (in)	Remarks	Head Ht. above Room	FFL of that Room		
<b>First Floor Windows</b>																
K	4/1	0	Wood Clad Double Hung Window	**EXISTING WINDOW TO REMAIN**		Weathershield	28x16	2'-9 13/16"	3'-5 1/8"	Existing	Existing					
<b>Second Floor Windows:</b>																
A	15/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**		PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"					
B (Egress)	4/1	0	Alum. SH Window: SH700 (2 mull together)	**EXISTING WINDOW TO REMAIN**		PGT Windguard	25	36.25"	62.25"	Low E glass	7'-6"					
C	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**		PGT Windguard	24	36.25"	49.875"	Low E glass	7'-6"					
D	1 vert.	6	Alum. Fixed Glass Window: PW700 Series	Note #1	Eterna-Dk Walnut	Eterna-Dk Walnut	PGT Windguard	Fixed GL	18"	18"	Low E glass	6'-6"				
E	3/1	2	Alum. SH Window: SH700 (2 mull together)	Note #1	Bronze	Bronze	PGT Windguard	H35	26"	62.5"	Low E glass	8'-0"				
F	4/1	4	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	2853	31.5"	62.5"	Low E glass	8'-0"				
G	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	2843	31.5"	50.125"	Low E glass	8'-0"				
G.2	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	24	36.25"	49.875"	Low E glass	6'-10"				
H	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**		PGT Windguard	H34	25.75"	49.875"	Low E glass	7'-6" 2'-2"					
I	5/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**		PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"					
J	4/1	0	Alum. Single Hung Window: SH700 Series	**EXISTING WINDOW TO REMAIN**		PGT Windguard	25	36.25"	62.25"	Low E glass	7'-6"					

Note #1: All windows IMPACT RESISTANT. Fl. Blks. Code Approved (Palm Beach Co.), CLEAR glass. Use High Performance Impact Rating "Low E" Glass (Impact Resistant Laminate "Enerstar Star Max")

Note #2: All windows poplar 1x Jamb Extensions / wood sills & to be Cased out by TRIM CARPENTER (to match all other Windows). Outside to have 2" x1.25" Solid Composite Fls. Brickmold to match 1st Floor Windows. If sill is 24" or less provide ASTM F2090 Window Guard(s)

All Simulated Divided Light to have 3/4" Dimensional Grilles INSIDE & OUT

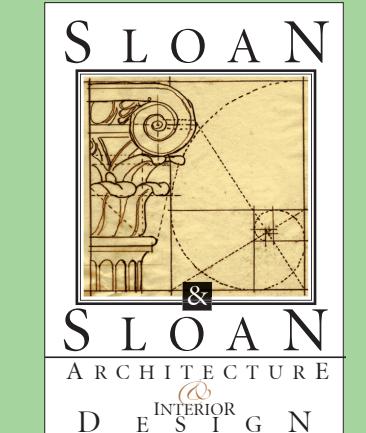
Note #3: Consult with Local Code for Energy Installation techniques. Provide Window Installer to follow manufacturers installation and finishing directions. Where mull are specified use 3/4" Colonial outside/low profile colonial inside; match interior/exterior finish.

Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to framing.

Note #5: ALL Windows to have screens; color to match sash. Where mulls are specified use 3/4" Colonial outside/low profile colonial inside; match interior/exterior finish.

Note #6: PGT SH Windows are Bronze Finish. PGT Doors & Fixed Glass Units to have Eterna Finish in "Dark Walnut" Color.

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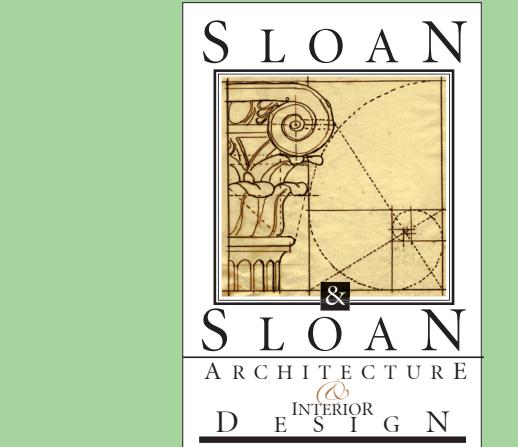
**Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition**

Design Firm: Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant:  
Project Title: Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue  
Drawing Title: SECOND FLOOR PLAN  
of Kitchen-Media Rm.  
Project Manager: D. Sloan  
Drawn By: D. Sloan  
Reviewed By: D. Sloan  
Date: 4/14/2019  
CAD File Name: Sloan\_Res\_PH2\_Kitchen-Media Rm.vwx  
of \_\_\_\_\_  
A2.03

New Second  
Floor Plan  
A2.03

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### Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm: Sloan & Sloan- Architecture + I.D.  
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Consultant:

Project Title: Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title: SECOND FLOOR PLAN  
of Kitchen-Media Rm.

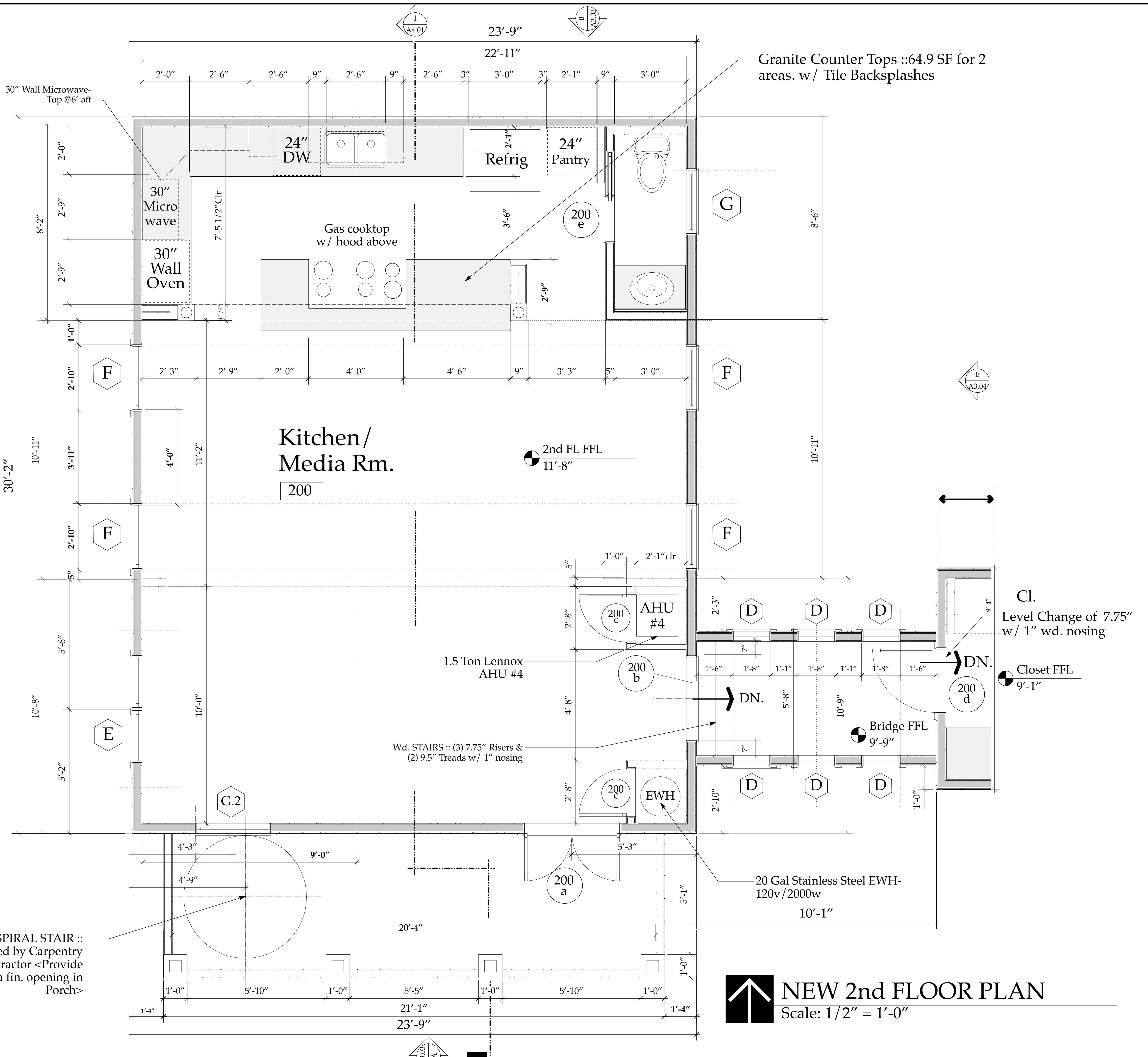
Project Manager: D. Sloan  
Project ID: Sloan Res Kit-Media Rm Addition

Drawn By: D. Sloan  
Scale: As Noted

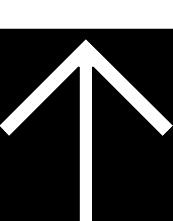
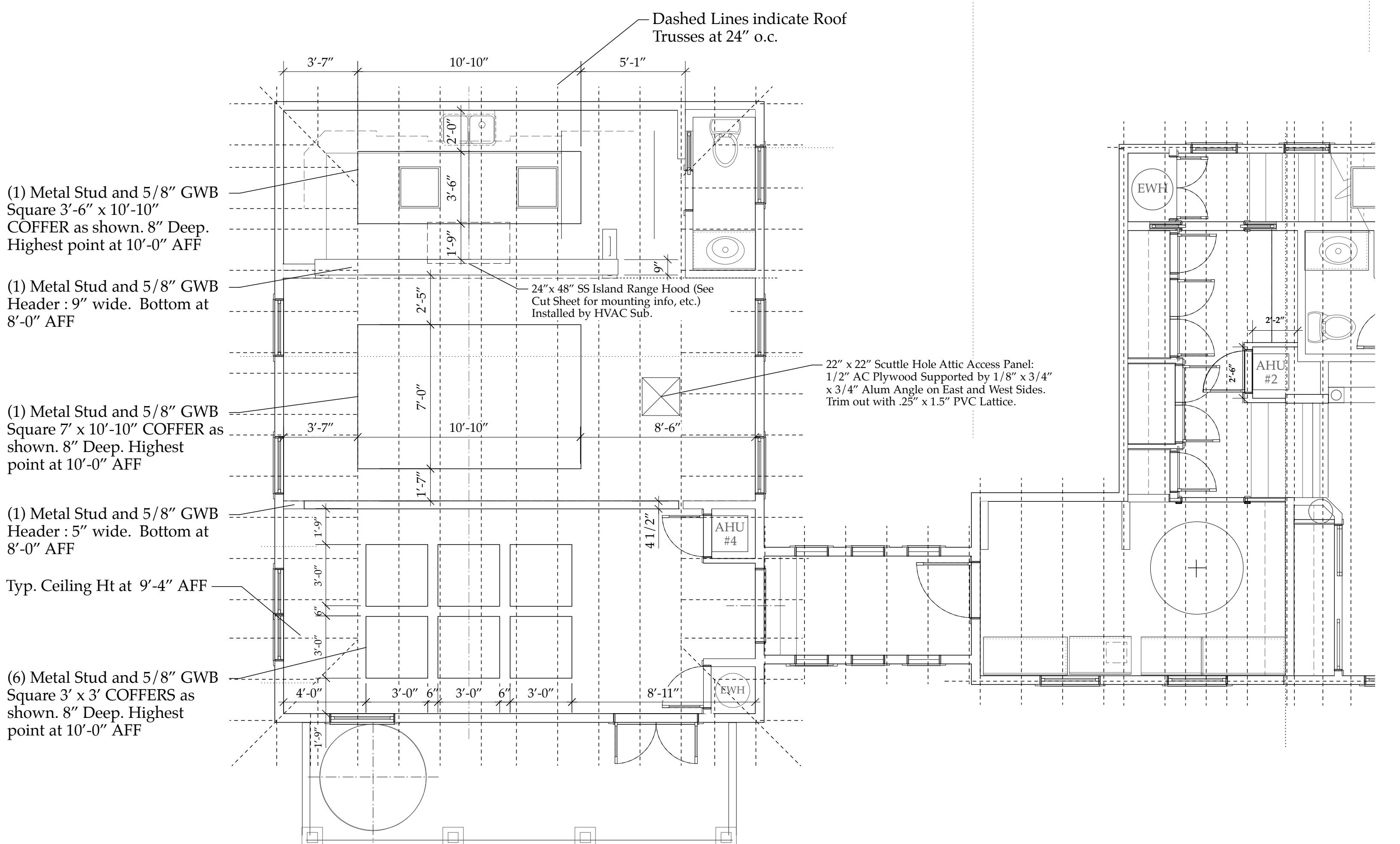
Reviewed By: D. Sloan  
Drawing No.:

Date: 4/14/2019  
CAD File Name: Sloan Res\_PH2\_Kitchen-Media Rm.rvwx

A2.03b  
of



ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



## SECOND FLOOR REFLECTED CEILING PLAN- NEW

Scale: 1/4" = 1'-0"

## GENERAL CONSTRUCTION NOTES

Sloan Residence Phase 2; Kitchen/Media Rm. Addition Project

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. *Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.*

2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system and provide all requirements for the equipment to be placed in proper working order. Prior to submission of bids, Contractor, Subcontractors, and Vendors shall visit the site and bring any discrepancies at the site, with the plans, and specs to the attention of the Architect and shall verify that their final bid includes all items and assemblies needed to comply with the FBC, PBC, and City requirements, codes, and rules and the intent depicted in these drawings. A complete set of approved, signed and sealed drawings, together with approved "Change Order" sheets, addenda, Shop Drawings, and Supplemental Information, along with all permit copies shall be maintained at the jobsite at all times.

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

4. Shop drawings shall be submitted for approval for the following items:

1. Trusses	XX	6. Stairs	XX
2. Wall Panels	—	7. Structural Connections	XX
3. A/C	—	8. Plumbing Riser	XX
4. Windows/Storefront	XX	9. Electrical Riser	XX
5. Doors	XX	10. Cabinets	XX
		11. Other	—

5. XX General Contractor or Owner : shall maintain Temporary Electrical, Water, and Sanitary Facilities for the duration of construction unless Specifically otherwise provided for in the Construction Contract.

6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

7. All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on site dumpster each day. Jobsite shall be cleaned daily by each Subcontractor. If not done, GC may backcharge Subcontractor for the cost of such cleanup as required.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

9. TRUSS MANUFACTURER: co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M.2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Manf. as part of Truss Package.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any material containing Asbestos or PCBs. If the project is a renovation project the observation of either substance shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

12. Each Subcontractor, Specialty Contractor, and Vendor shall install his/her portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of another Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediately be brought to the attention of the GC.

13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry Installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for devices, fixtures, or equipment. All millwork shall have finished interiors be fabricated and installed in accordance with the Architectural Millwork Institute "Premium Grade" standard. No Urea Formaldehyde Glues or VOC containing Stains or Finishes shall be utilized. SEE INTERIOR DESIGN DRAWINGS & WRITTEN SPECS FOR ADDITIONAL INFORMATION.

14. GREEN PROJECT: (ONLY IF NOTED IN RFP) This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldehyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Consultant in advance of ordering or utilizing any such item.

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

SLOAN

ARCHITECTURE

DESIGN

INTERIOR

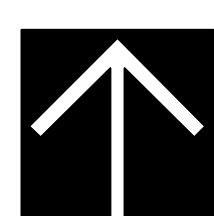
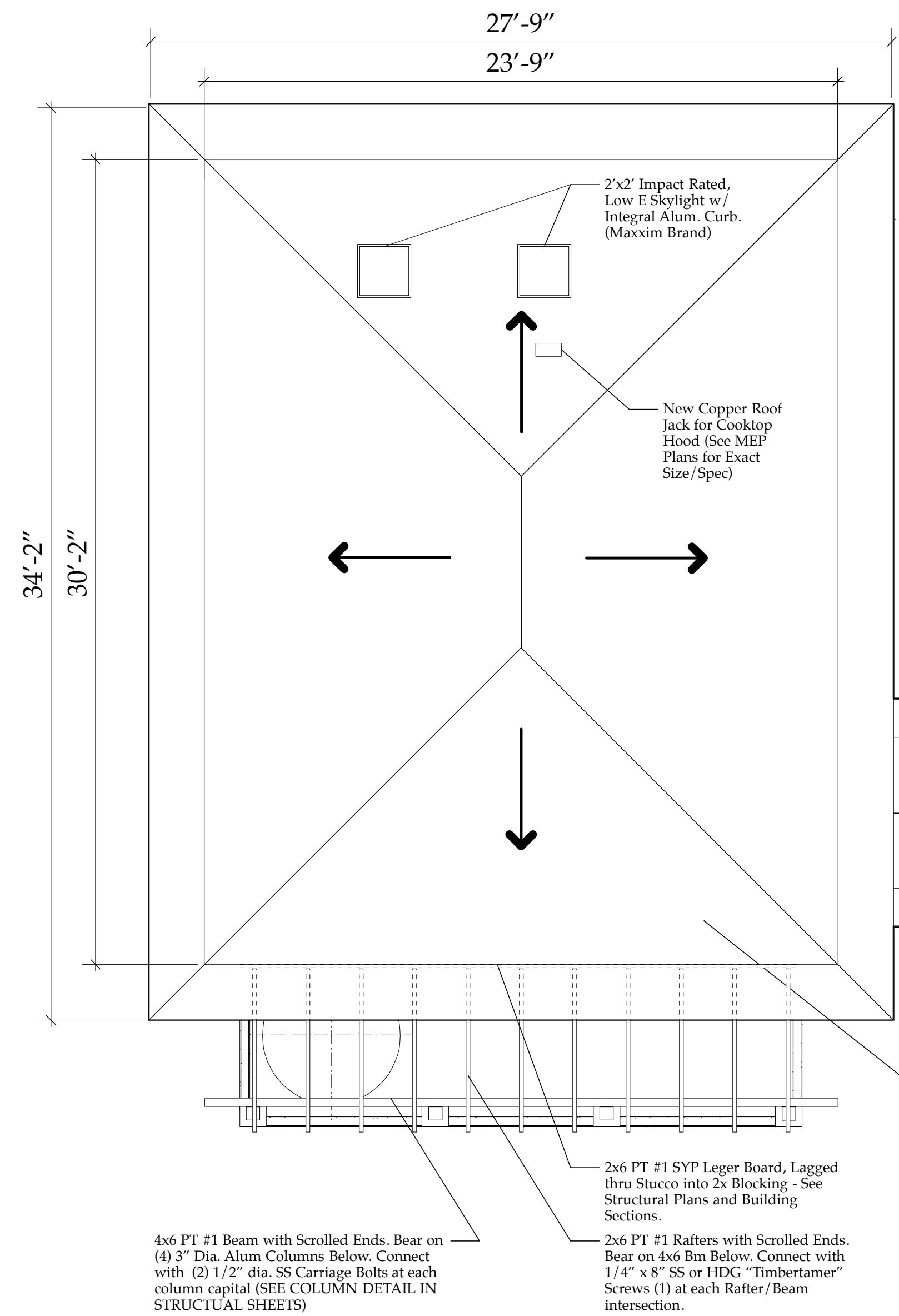
GRAPHICS

INTERIOR

DESIGN

INTERIOR

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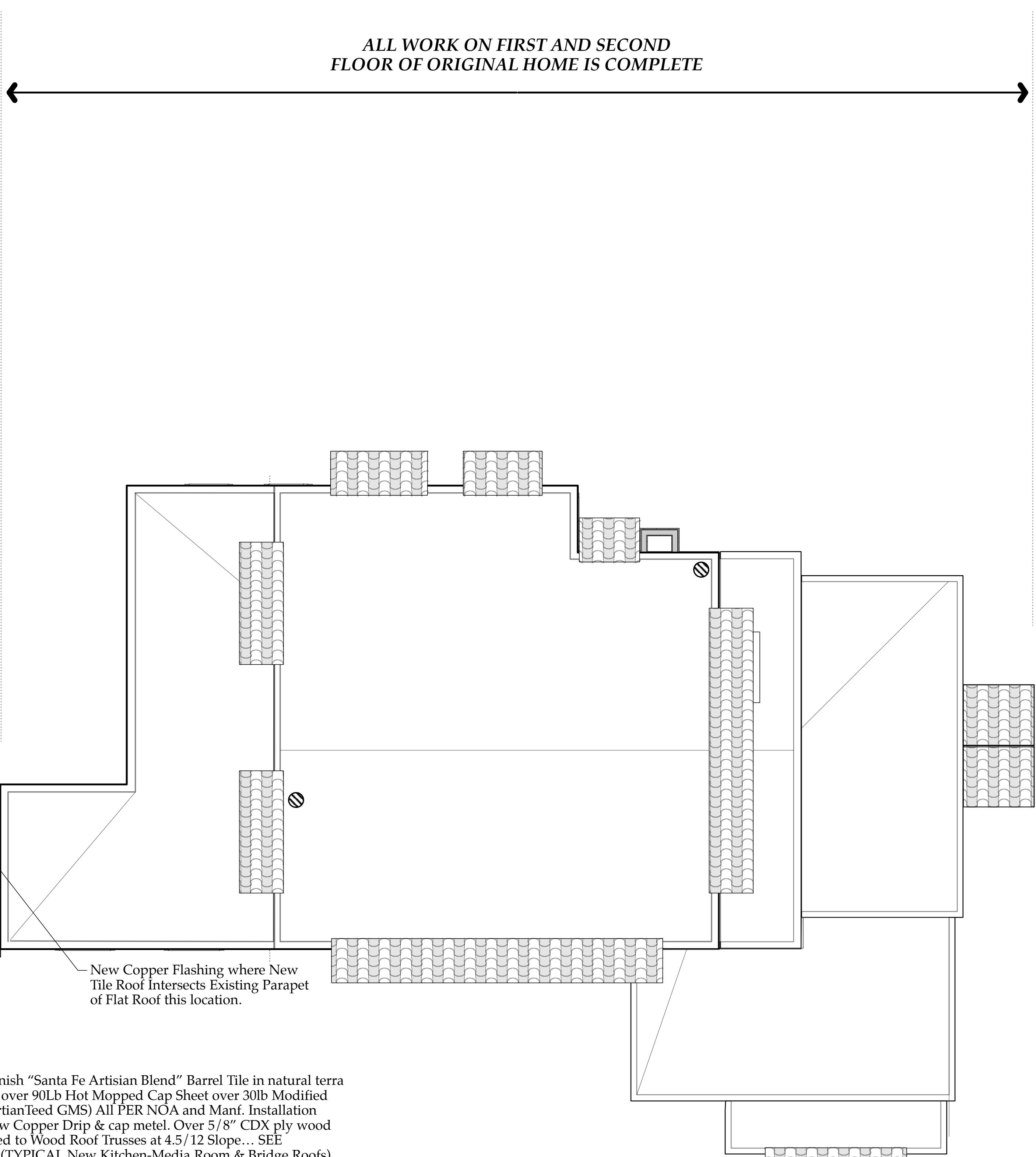
## NEW ROOF PLAN- w/ NEW SECOND FLOOR

Scale: 1/4" = 1'-0"

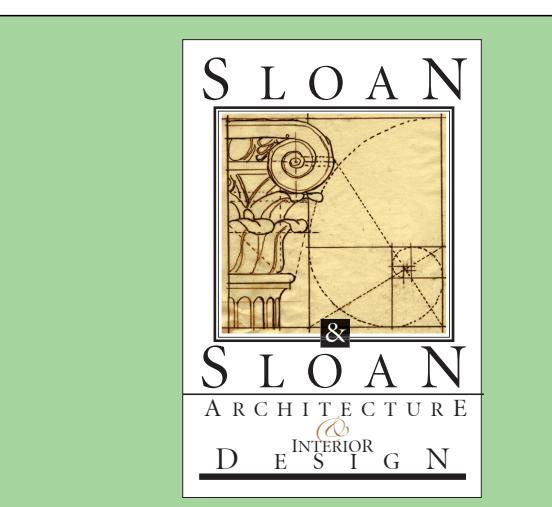
### NOTES:

1. Approx. Roof Areas: 1078 SF or 11 square of barrel tile roofing (1015sf Kitchen-Media Rm & 63sf Bridge Roof)
2. Provide Price Option for 1/2 round Copper Gutter and 3" dia round Downspouts on either South End (opt 1) or Entire New Roof Perimeter (opt 2)

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



New Roof Plan::  
Kitchen-Media  
Room Addition  
A2.05



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AA26002208

No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

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Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm: Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

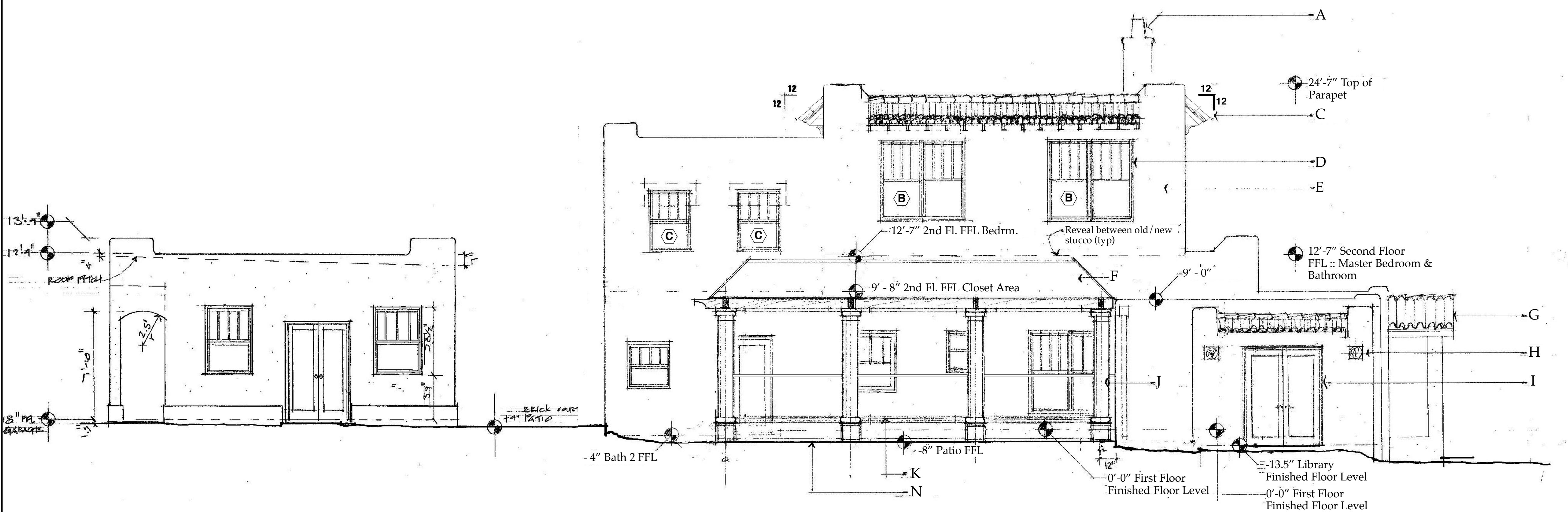
Consultant:

Project Title: Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title: NEW ROOF PLAN  
of Kitchen/Media Room

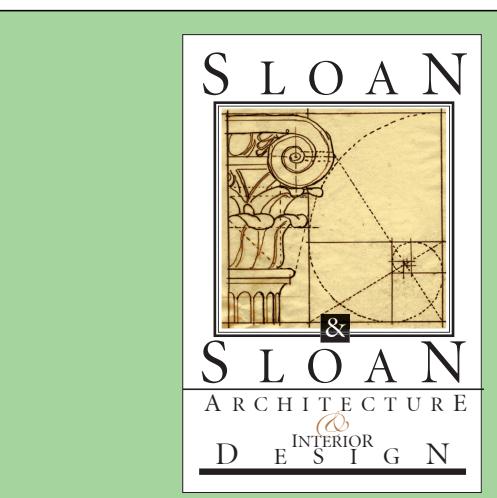
Project Manager	Project ID
D. Sloan	Sloan Res Kit.-Media Rm Addition
Drawn By	Scale
D. Sloan	As Noted
Reviewed By	Drawing No.
D. Sloan	
Date	4/14/2019
CAD File Name	A2.05
	of
	Sloan Res_PH2_Kitchen-Media Rm.rwv

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**Existing South Elevation: Main Residence & Garage "A-A3.01"**

Scale: 1/4" = 1'-0"



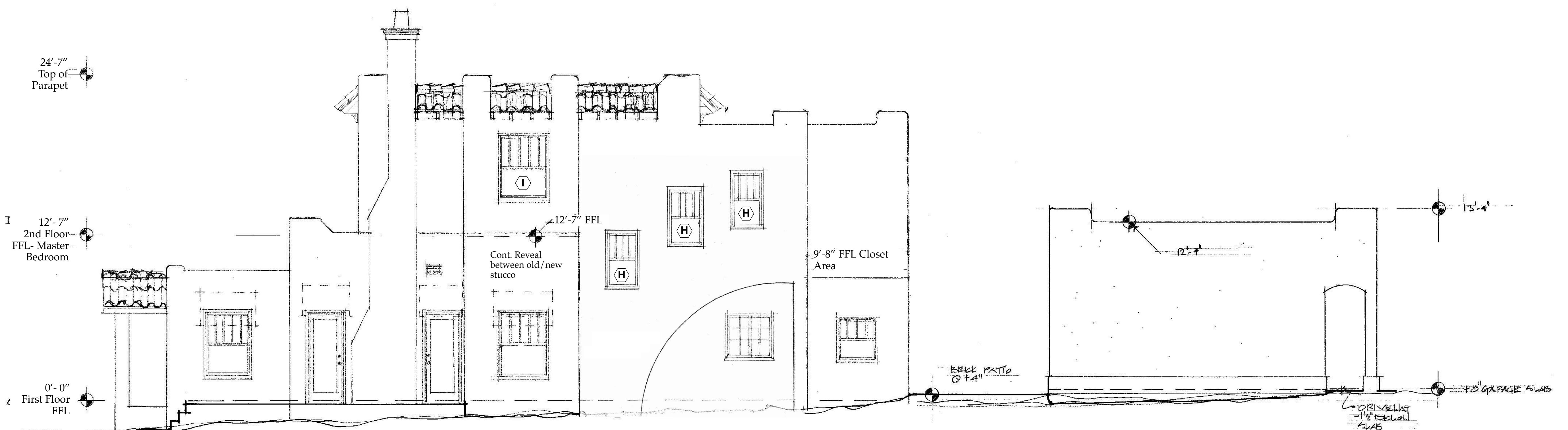
Sloan & Sloan Inc.  
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No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

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Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition



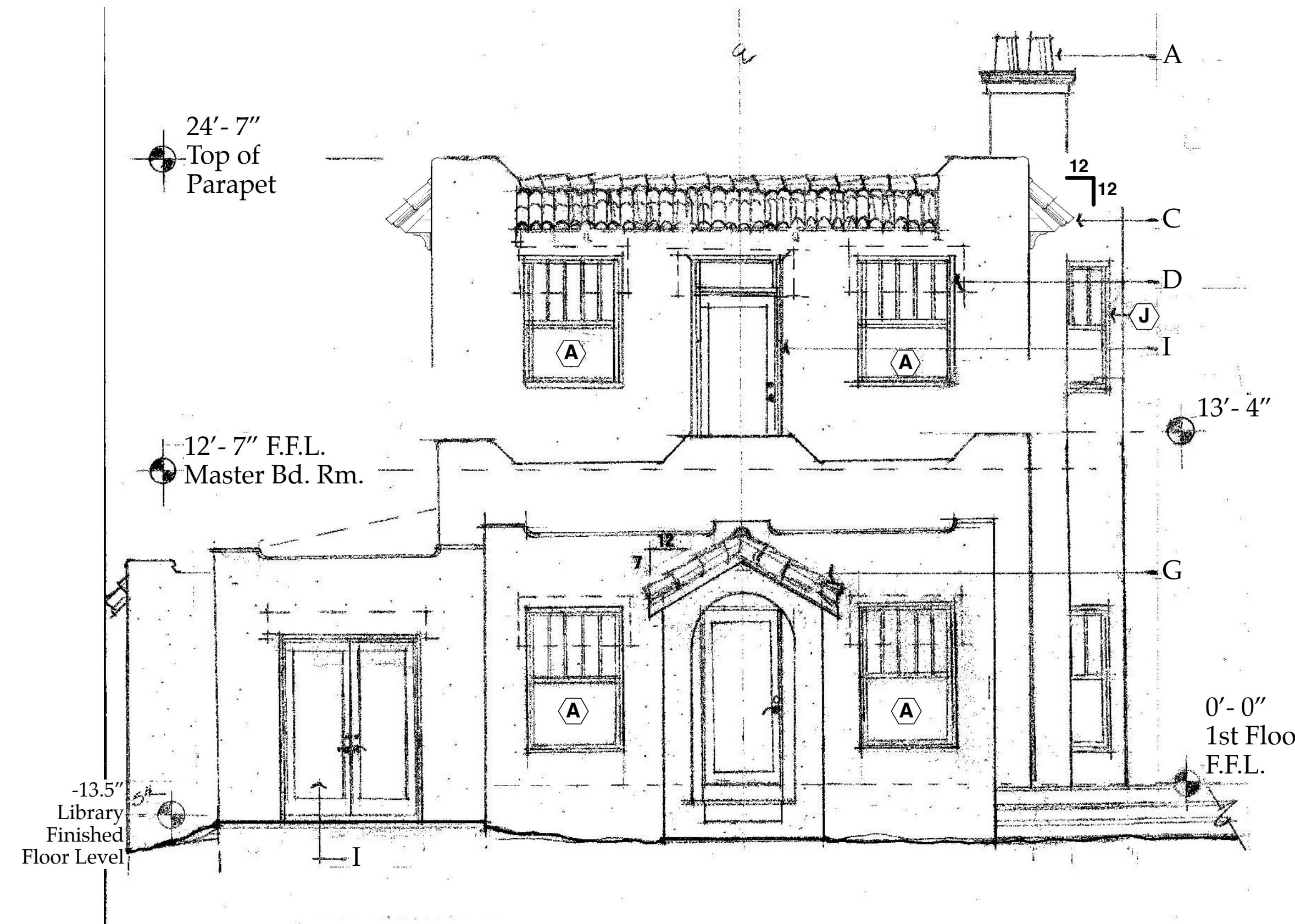
**Existing North Elevation: Main Residence & Garage "B-A3.01"**

Scale: 1/4" = 1'-0"

**Existing Elevation  
A3.01**

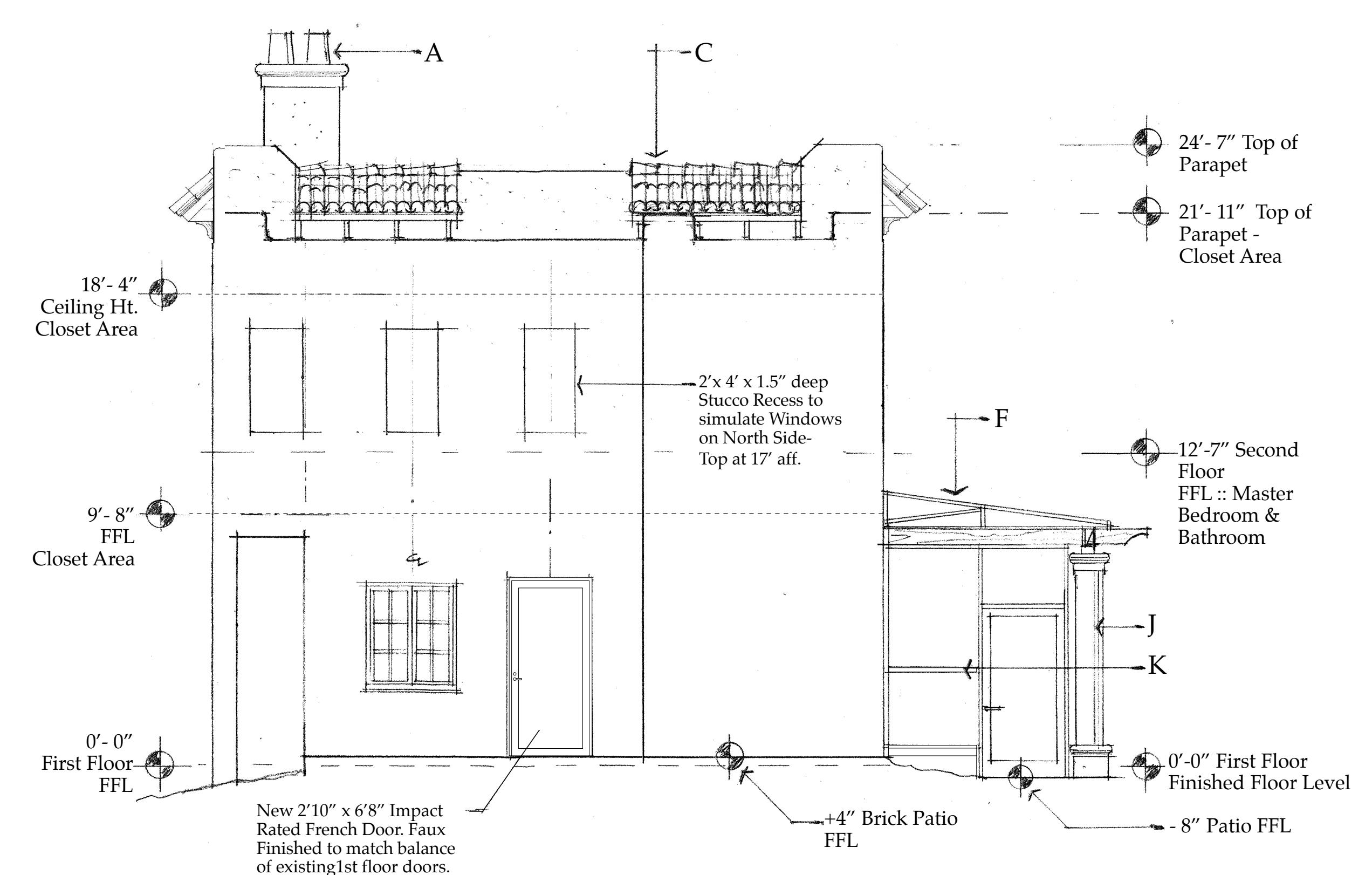
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755
Consultant	
Project Title	Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION 106 SE 7th Avenue
Drawing Title	EXISTING ELEVATIONS of Main Residence & Garage
Project Manager	D. Sloan
Drawn By	D. Sloan
Reviewed By	D. Sloan
Date	11/11/2018
CAD File Name	Sloan Res_PH2_Kitchen-Media Rm.rvwx

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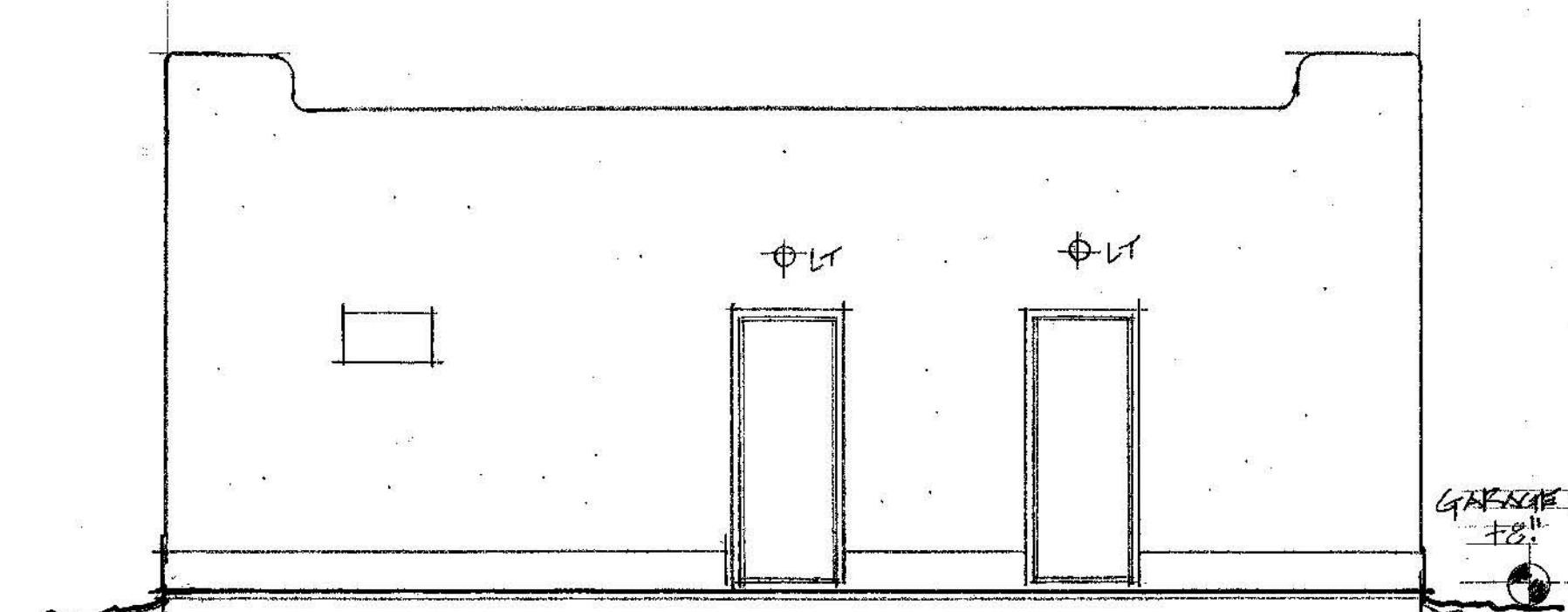
**Existing East Elevation: Main Residence "C-A3.02"**

Scale: 1/4" = 1'-0"



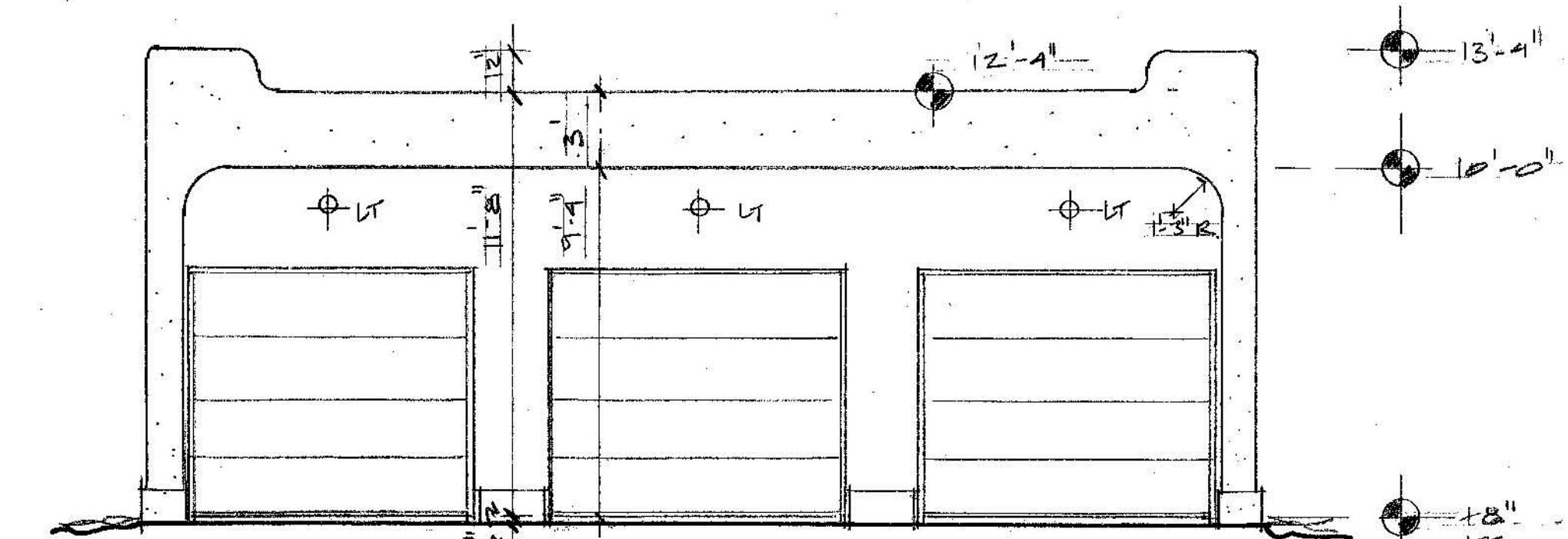
**Existing West Elevation: Main Residence "D-A3.02"**

Scale: 1/4" = 1'-0"



**Existing East Elevation: 1 Story Garage "E-A3.02"**

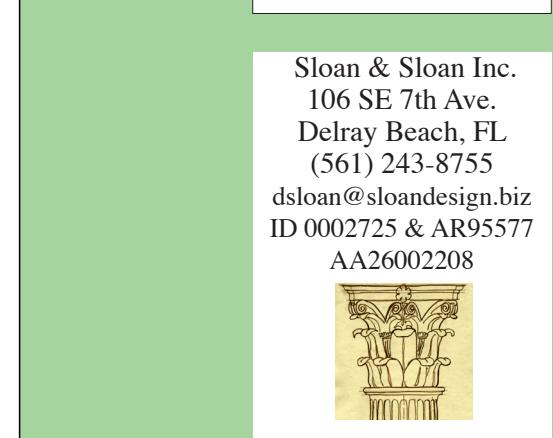
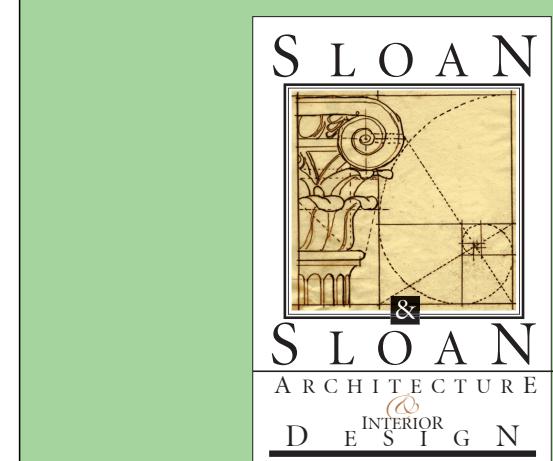
Scale: 1/4" = 1'-0"



**Existing West Elevation: 1 Story Garage "F-A3.02"**

Scale: 1/4" = 1'-0"

**Existing Elevations A3.02**



No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

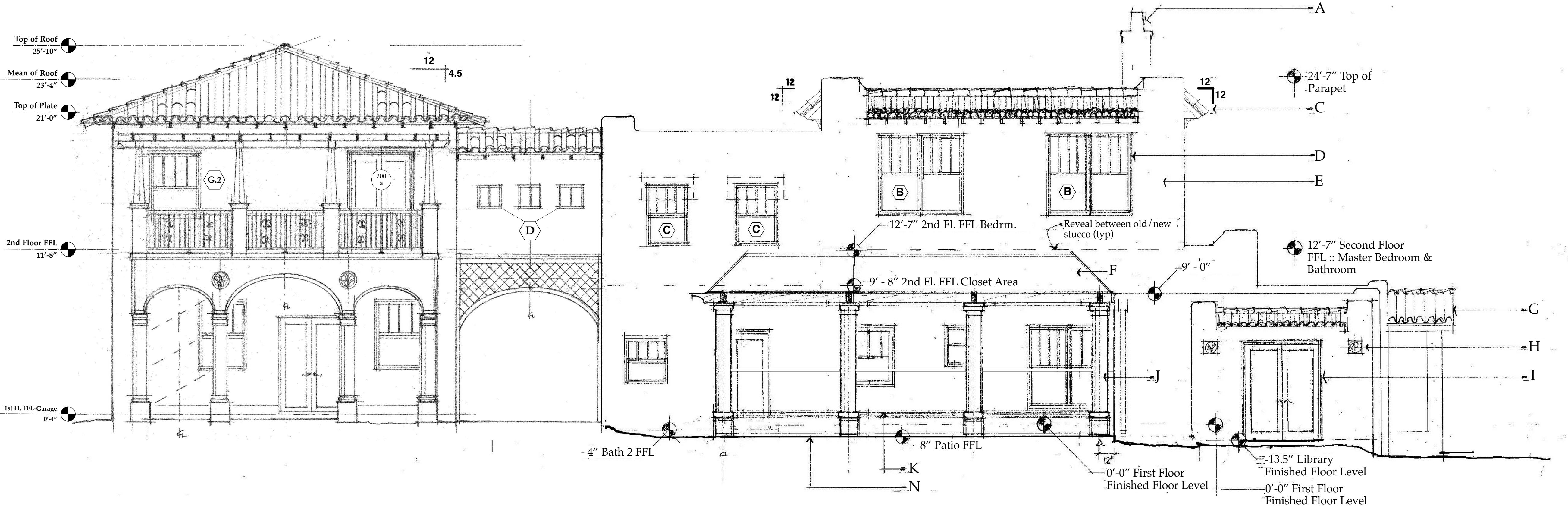
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Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

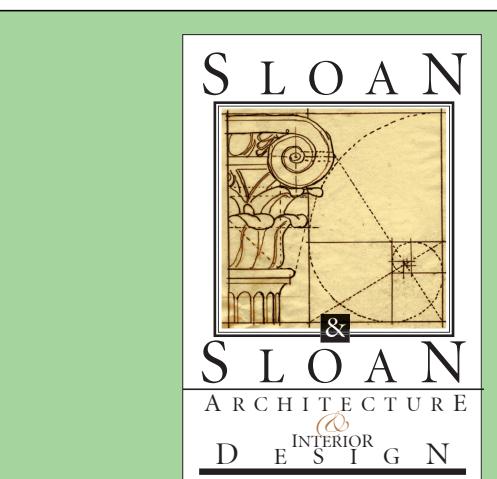
No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant		
Project Title	Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION 106 SE 7th Avenue	
Drawing Title	EXISTING ELEVATIONS of Main Residence & Garage	
Project Manager	D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By	D. Sloan	Scale 1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No. A3.02
Date	11/11/2018	CAD File Name Sloan Res_PH2_Kitchen-Media Rm.rvwx

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New South Elevation: Main Residence & Kitchen-Media Rm. Addition "A-A3.03"

Scale: 1/4" = 1'-0"



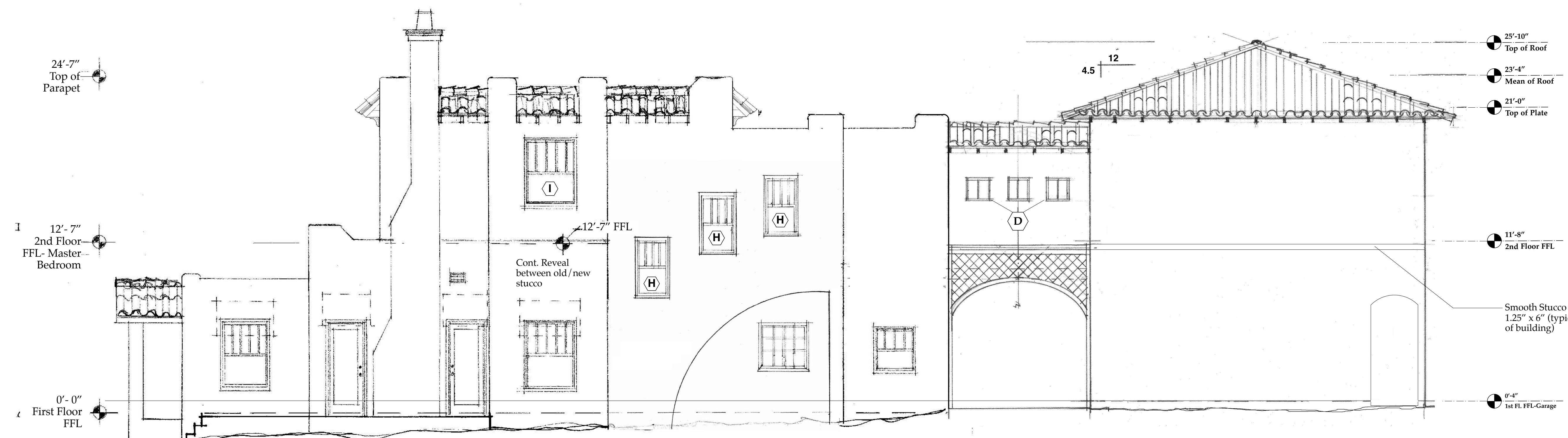
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No.	Date	Appr	Revision Notes
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Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition

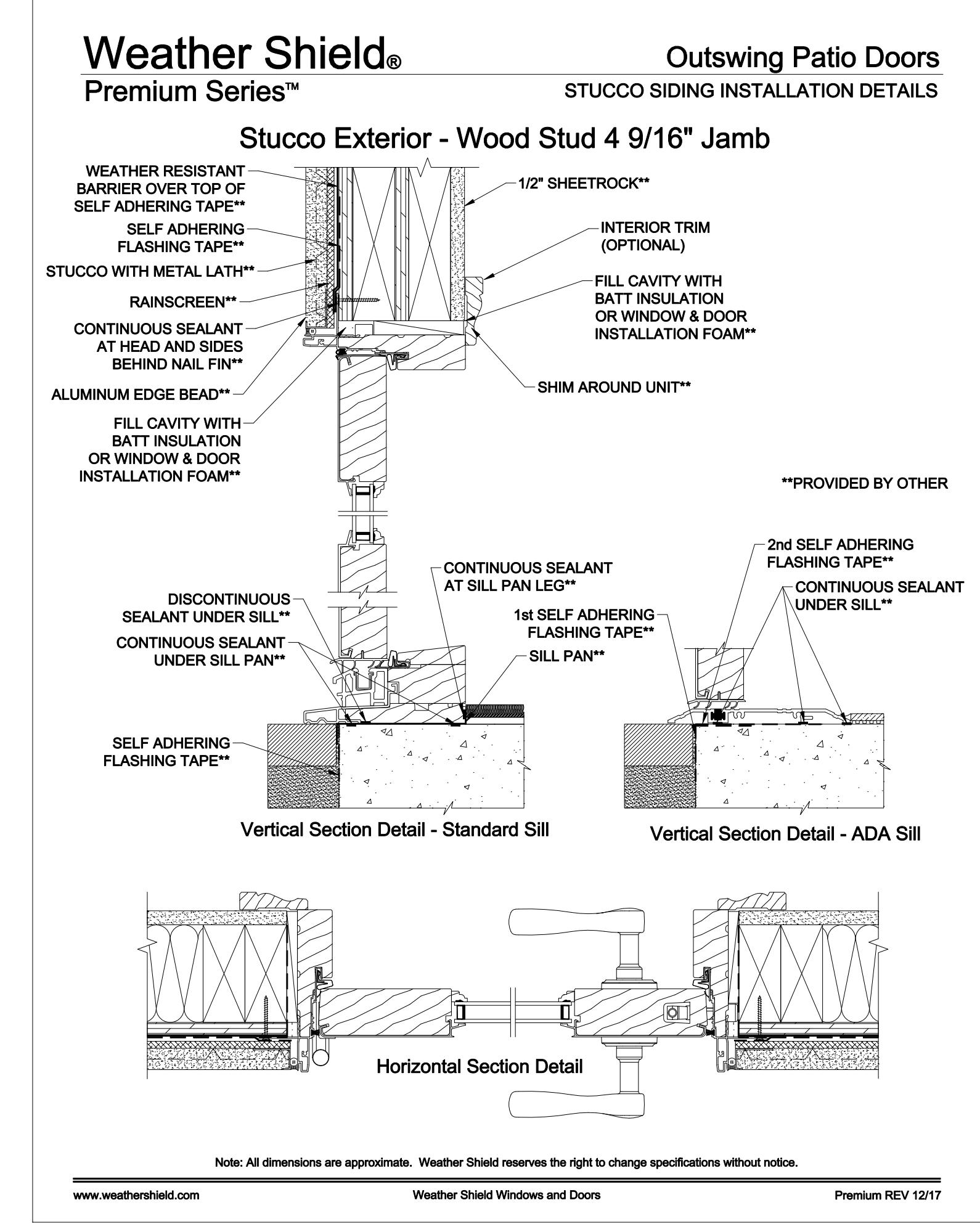
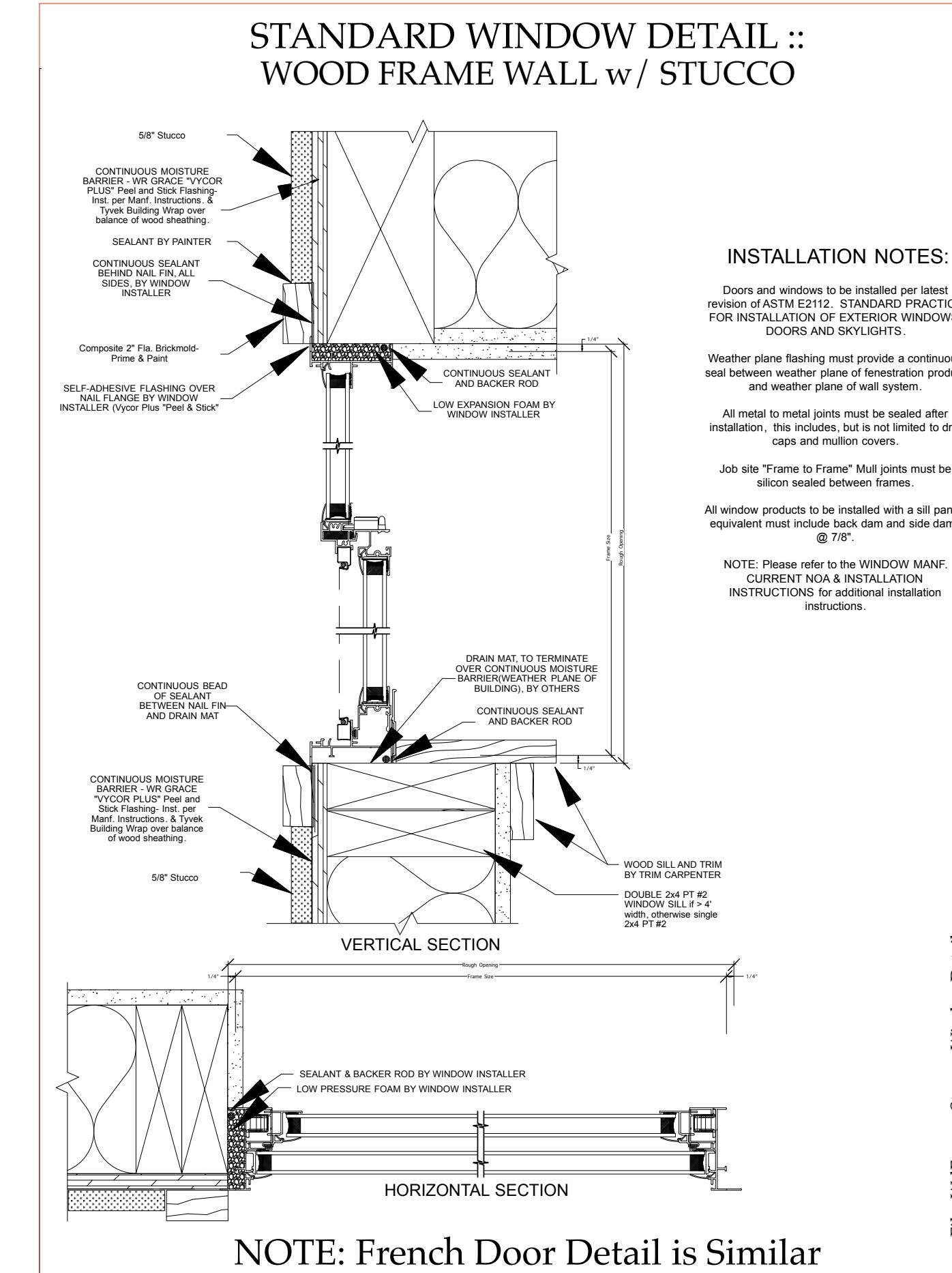


New North Elevation: Main Residence & Kitchen-Media Rm. Addition "B-A3.03"

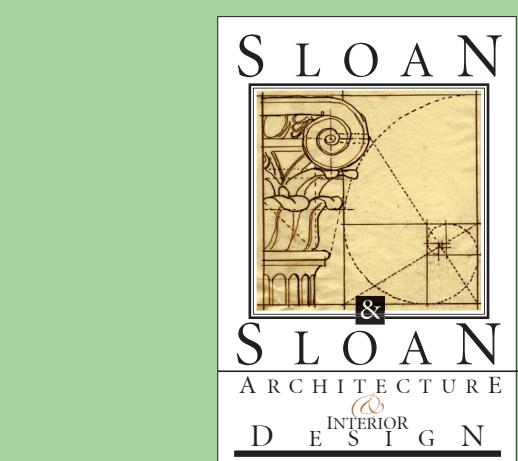
Scale: 1/4" = 1'-0"

New North & South  
Elevations  
A3.03

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755	
Consultant		
Project Title	Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION 106 SE 7th Avenue	
Drawing Title	NEW North & South ELEVATIONS of Kitchen/Media Rm. Addition	
Project Manager	D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
Drawn By	D. Sloan	Scale 1/4" = 1'-0"
Reviewed By	D. Sloan	Drawing No. A3.03
Date	11/11/2018	CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx of



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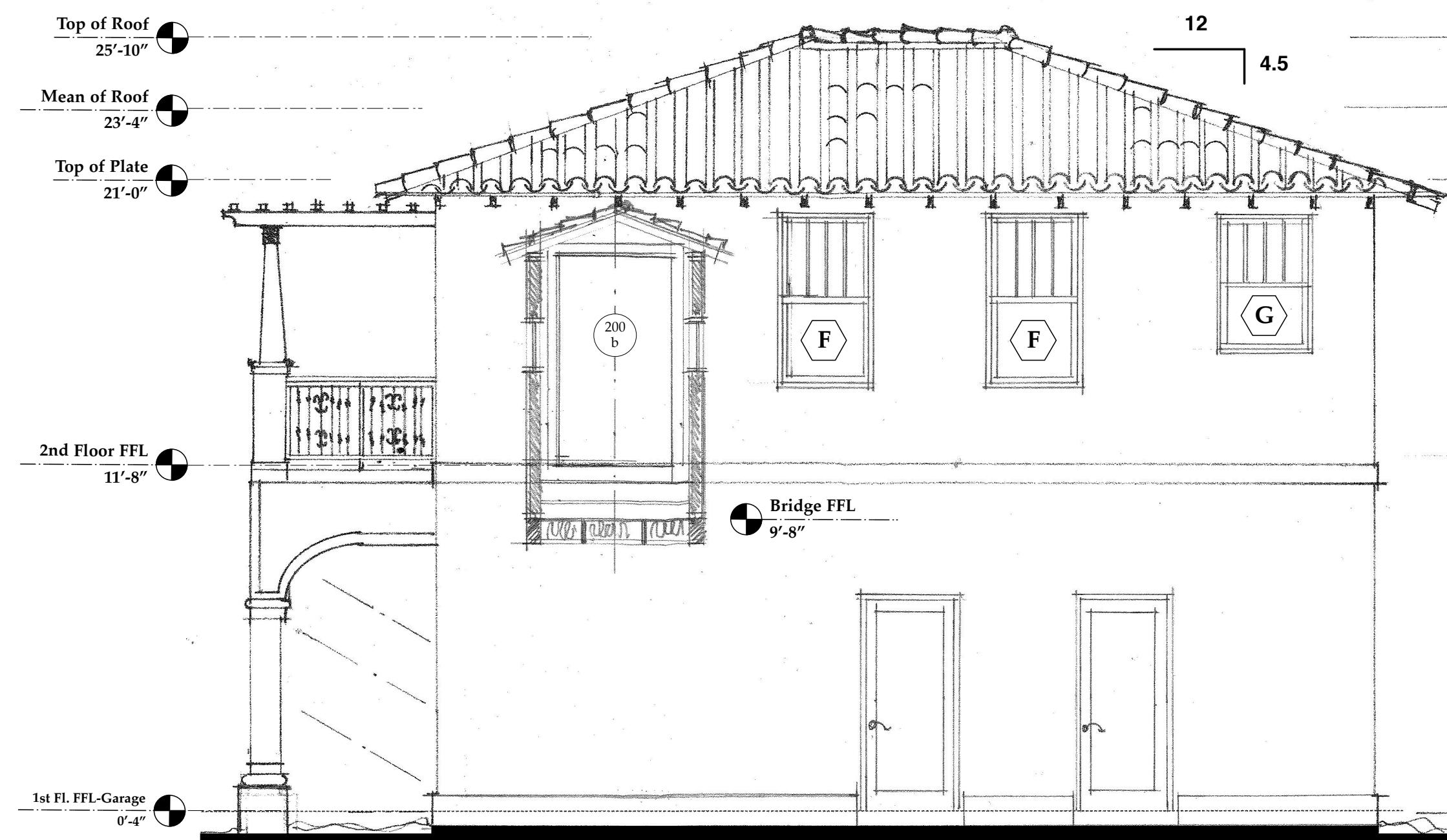


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No.	Date	Appr	Revision Notes
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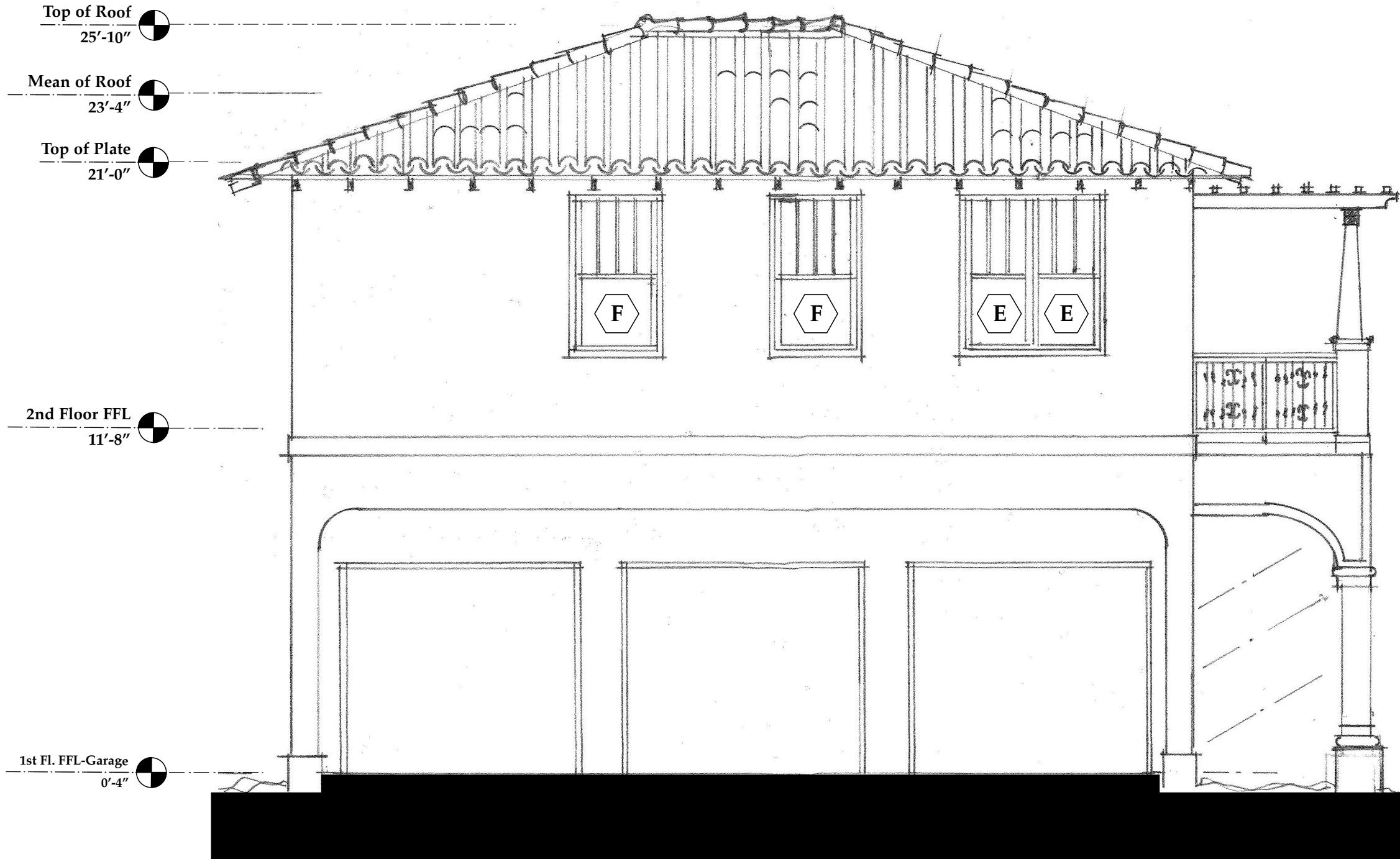
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**EAST ELEVATION**  
A.3.04

**New East Elevation: Kitchen-Media Rm. Addition "E-A3.04"**  
Scale: 1/4" = 1'-0"



**WEST ELEVATION**  
A.3.04

**New West Elevation: Kitchen-Media Rm. Addition "F-A3.04"**  
Scale: 1/4" = 1'-0"

**Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition**

No. Date Issue Notes

Daniel Sloan, AR95577  
Date:

Design Firm Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
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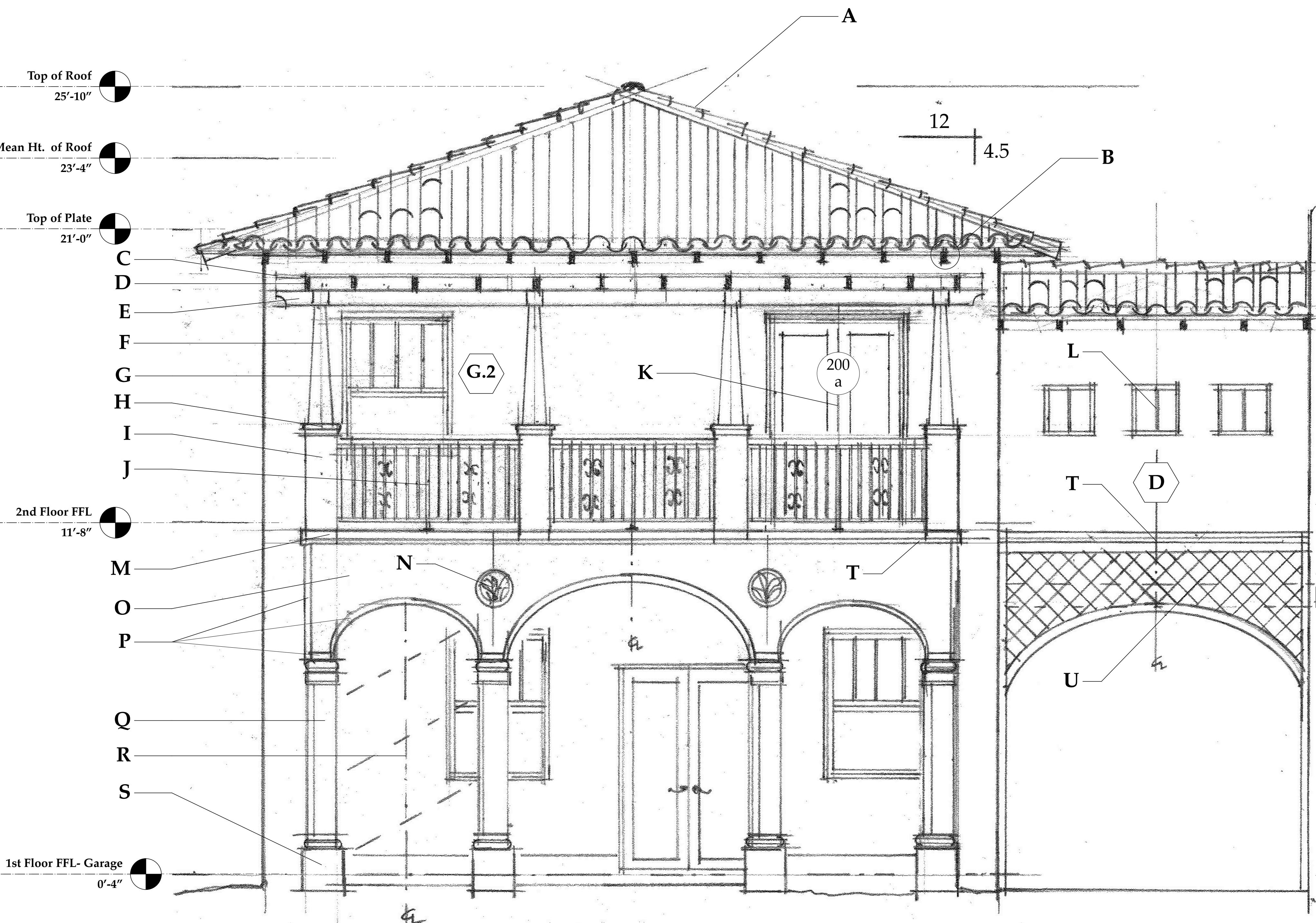
Consultant:

Project Title Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title NEW ELEVATIONS  
of Kitchen-Media Rm. Additon

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No.
Date 11/11/2018	A3.04
CAD File Name Sloan Res_Ph2_Kitchen-Media	of
	Rm.vwx

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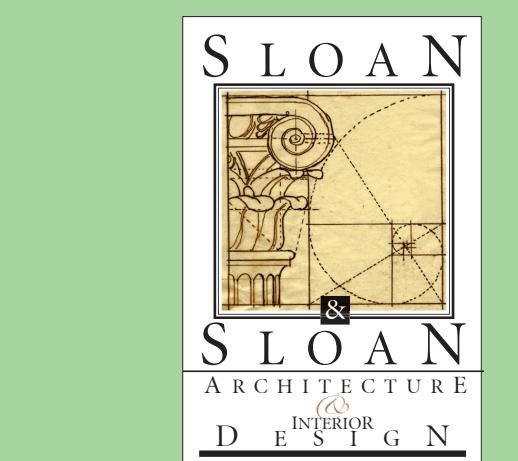
**New Notated Partial South Elevation: 2nd Floor Kitchen-Media Rm. Addition "A-A3.03"**

Scale: 1/2" = 1'-0"

#### ELEVATION MATERIALS LEGEND

- A. **Terra Cotta Barrel Tile** :: Hand Made "Artisan Blend" natural terra cotta colors. with copper drip, and half round copper gutter and downspout on south facade.
- B. **Exposed Rafter Tails** :: 2x4 Pressure Treated Rafter Tails (outermost 3' of top chord of truss is Pressure Treated #2 or btr. SYP, with 1x6 v joint roof deck to 6" inboard of exterior wall, balance of roof is 5/8" CDX plywood glued & nailed.
- C. **2x2 PT #1 SYP** :: run north and south at 12" o.c.
- D. **2x6 PT #1 SYP Trellis Rafters** :: w/ Scrolled Ends, spaced 24" o.c. connected to Ledger on east side
- E. **4x6 PT SYP #1 Beam** :: w/ Scrolled Ends, running north-south supported by Alum Tube Columns.
- F. **Alum Tube Column** :: Powdercoated Dk. Brown, 2.5" x 2.5" x 1/8" wall 6061 Alum. with Tapered Composite 1x8 Boards on 4 sides. Typ of 4 Columns. (SEE DETAIL DRAWINGS Sht 51.01)
- G. **Single Hung Windows** :: PGT Impact Rated Fin Frame units w/ dimensional Mulls outside, low profile inside, 4/1 Pattern, Low E Glass - Bz Frames, 2" composite brickmold, with field applied faux wood finish to match balance of windows and doors on main residence.
- H. **Simulated Keystone Pier Cap** :: bullnosed 4 sides, Base, and curved Trim at face of arched openings
- I. **Stucco Finish 12" x 12" Pier** :: PT 2x4 Framing, 1/2 PT Ply Shtg, Wrapped with WR Grace Fire & Ice HT peel & stick, 5/8" Stucco on paperback lath.
- J. **36" High Railing** :: Welded Alum. Perimeter Rectangular frame composed of 3/4" x 1.5" x 1/8" wall Verticals, 1.5" x 1.5" x 1/8" wall center vertical, 1.5" x 2" x 1/8" wall Horizontals, 1/2" x 1/2" Iron Double Twist Pickets at 4" o.c with Decorative Double Butterfly in 2 locations as shown. Entire Assembly Powdercoated Satin Black. 1.5" x 3" Rounded IPE Handrail on Top.  
ALTERNATE: Construct Perimeter w/ Ctr Support Frame of IPE Wood in Same Dimensions (Typ of 5 Segments)
- K. **Double 2068 Clad Wood French Doors** :: Impact Rated Weathershield Clad Units, "western adobe" color, 2" Composite Brickmold, all faux finished wood pattern to match balance of doors.
- L. **Fixed Glass 18" x 18" Windows** :: PGT "Fin Frame" Units, Low E Glass, Bz. Metal, faux finished to match. Single Center Vertical Dimensional Mull/Low Profile Mull inside.
- M. **Sim. Keystone Trim** :: "base board" on piers & band on stucco just below porch FFL.
- N. **Cast Stone Medallian** :: "Fern and Fiddlehead" pattern, 16" diameter in Buff Color "Beach Stone" as Manf. by "Pineapple Grove Designs".
- O. **Stucco Finish** :: to Match Extg First Floor Wall Texture. At Inside Faces of Arches apply Smooth Sand Texture.
- P. **Sim. Keystone Trim** :: as shown, applied over stucco
- Q. **Sim. Keystone 12" Columns** :: Tuscan to match Screen Porch Area Columns.
- R. **New Spiral Stairs** :: 5'-2" Circular Stair - Galvanized Steel or Alum. FBC Code Compliant. Installed by Carpentry Subcntr.
- S. **Sim. Keystone Clad Pedestal Bases** :: 18" x 18" x 20" ht
- T. **Sim. Keystone or Stucco Banding "Crown Moulding" & "Banding" at arches to match**: with solid top surface pitched 5 deg.
- U. **Scored Stucco Pattern** :: 6" x 6" squares canted 45degrees. Created with 1/2" x 1/2" Stucco Reveals (typ both sides of arch) #1-21 by VinylCorp or Equal

File:SloanPh2\_Elevation\_Materials\_Legend.doc



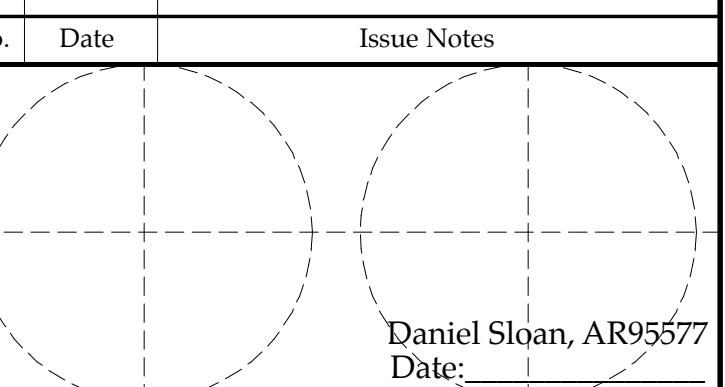
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No.	Date	Appr	Revision Notes
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Sloan Residence  
Renovations  
2nd Floor  
Kitchen-Media Rm.  
Addition



Daniel Sloan, AR95577  
Date:

Design Firm: Sloan & Sloan- Architecture + I.D.  
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(561) 243-8755

Consultant:

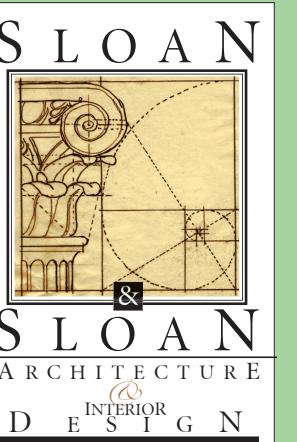
Project Title: Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title: NOTATED SOUTH ELEVATION  
of Kitchen-Media Room Addtn.  
(Partial Elevation)

Project Manager	Project ID
D. Sloan	Sloan Res Kit.-Media Rm Addition
Drawn By	Scale
D. Sloan	As Noted
Reviewed By	Drawing No.
D. Sloan	
Date	A3.05
11/11/2018	
CAD File Name	
Sloan Res_Ph2_Kitchen-Media	Rm.vwx
of	

New Notated  
Elevation  
A3.05

The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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ID 0002725 & AR95577  
AA26002208

No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

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## Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

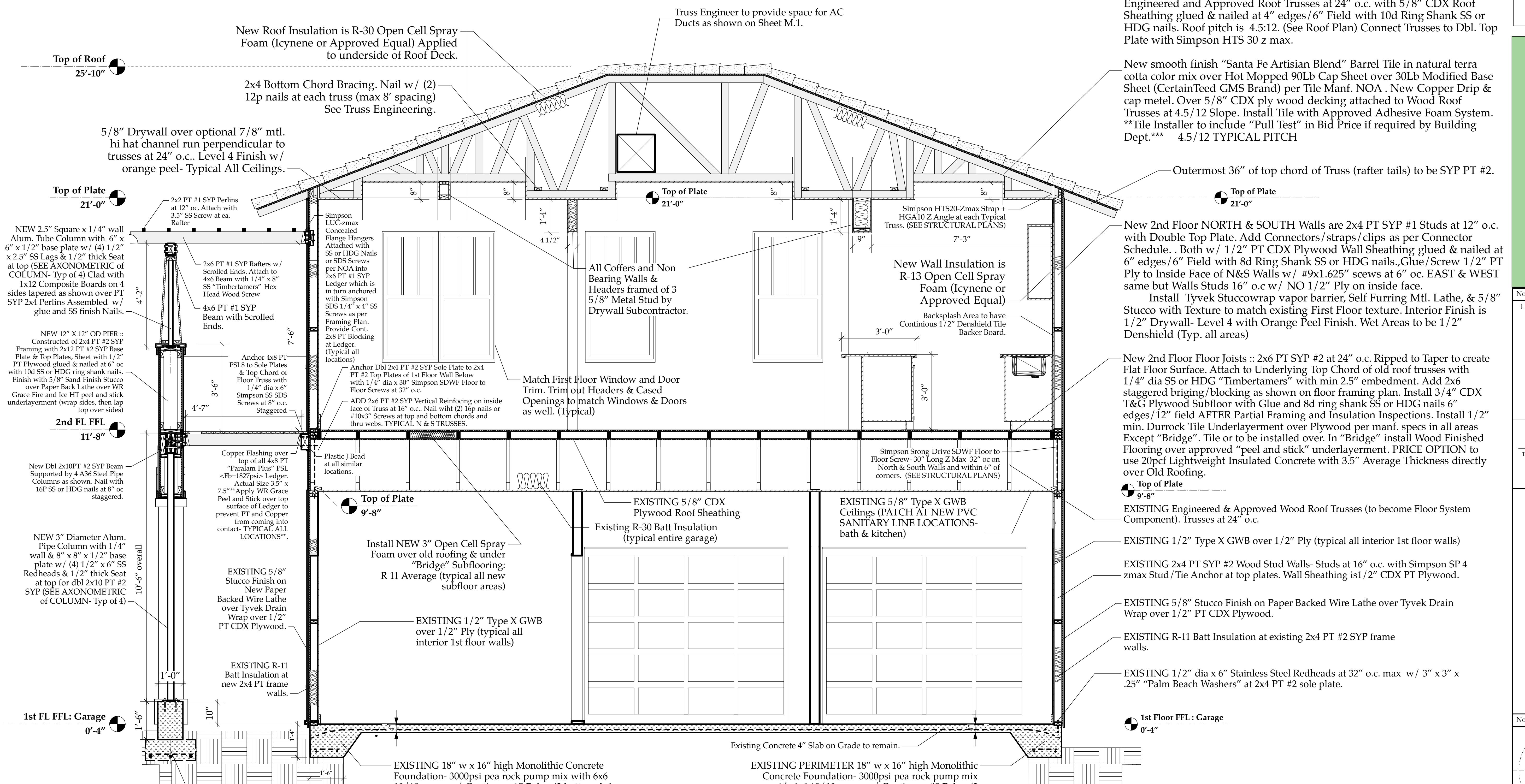
Design Firm Sloan & Sloan- Architecture + I.D.  
106 SE 7th Avenue, Ste. B  
Delray Bch, FL 33483  
(561) 243-8755

Consultant:

Project Title Sloan Residence Phase 2  
KITCHEN-MEDIA RM. ADDITION  
106 SE 7th Avenue

Drawing Title BUILDING SECTION "1"  
of Kitchen-Media Rm.

Project Manager	D. Sloan	Project ID	Sloan Res Kit-Media Rm Addition
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	
Date	4/14/2019		A4.01
CAD File Name	Sloan Res_PH2_Kitchen-Media	of	Rm.vwx



## Section 1

Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

## New Building Section "1-A4.01"

1  
A4.01

NEW 24" x 24" x 16" high Concrete Pad  
with 12" x 12" x 18" high Integral  
Concrete Pedestal- 3000psi pea rock  
pump mix with w/ (3) #5 Rebar E.W.  
Over 6mil Visqueen Vapor Barrier over  
Clean, Treated, Compacted Fill. (Typical  
of 4)

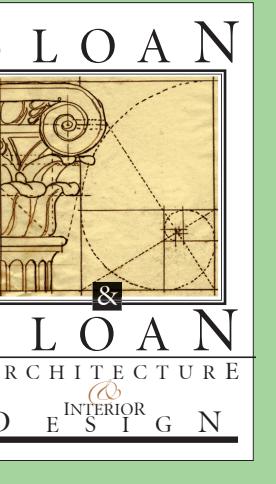
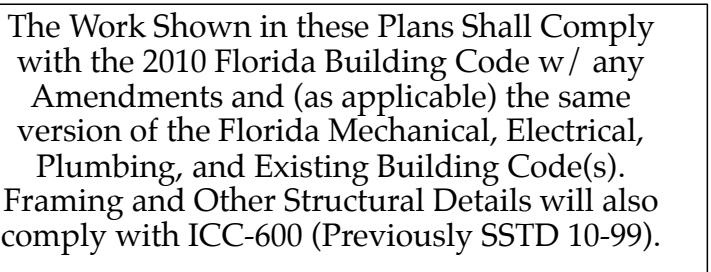
EXISTING 18" w x 16" high Monolithic Concrete  
Foundation- 3000psi pea rock pump mix with 6x6  
10/10 wwm w/ Continous #5 Rebar (2 bottom & 1  
Top). Over 6mil Visqueen Vapor Barrier over Clean,  
Treated, Compacted Fill.

EXISTING PERIMETER 18" w x 16" high Monolithic  
Concrete Foundation- 3000psi pea rock pump mix  
with 6x6 10/10 wwm w/ Continous #5 Rebar (2  
bottom & 1 Top). Over 6mil Visqueen Vapor Barrier  
over Clean, Treated, Compacted Fill.

Existing Concrete 4" Slab on Grade to remain.

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).



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No.	Date	Appr	Revision Notes
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# Sloan Residence Renovations 2nd Floor Kitchen-Media Rm.

Date	Issue Notes
	<p>Daniel Sloan, AR95577 Date: _____</p>

Design Firm  
Sloan & Sloan- Architecture + I.D.  
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ultant (501) 215 8755

ct Title

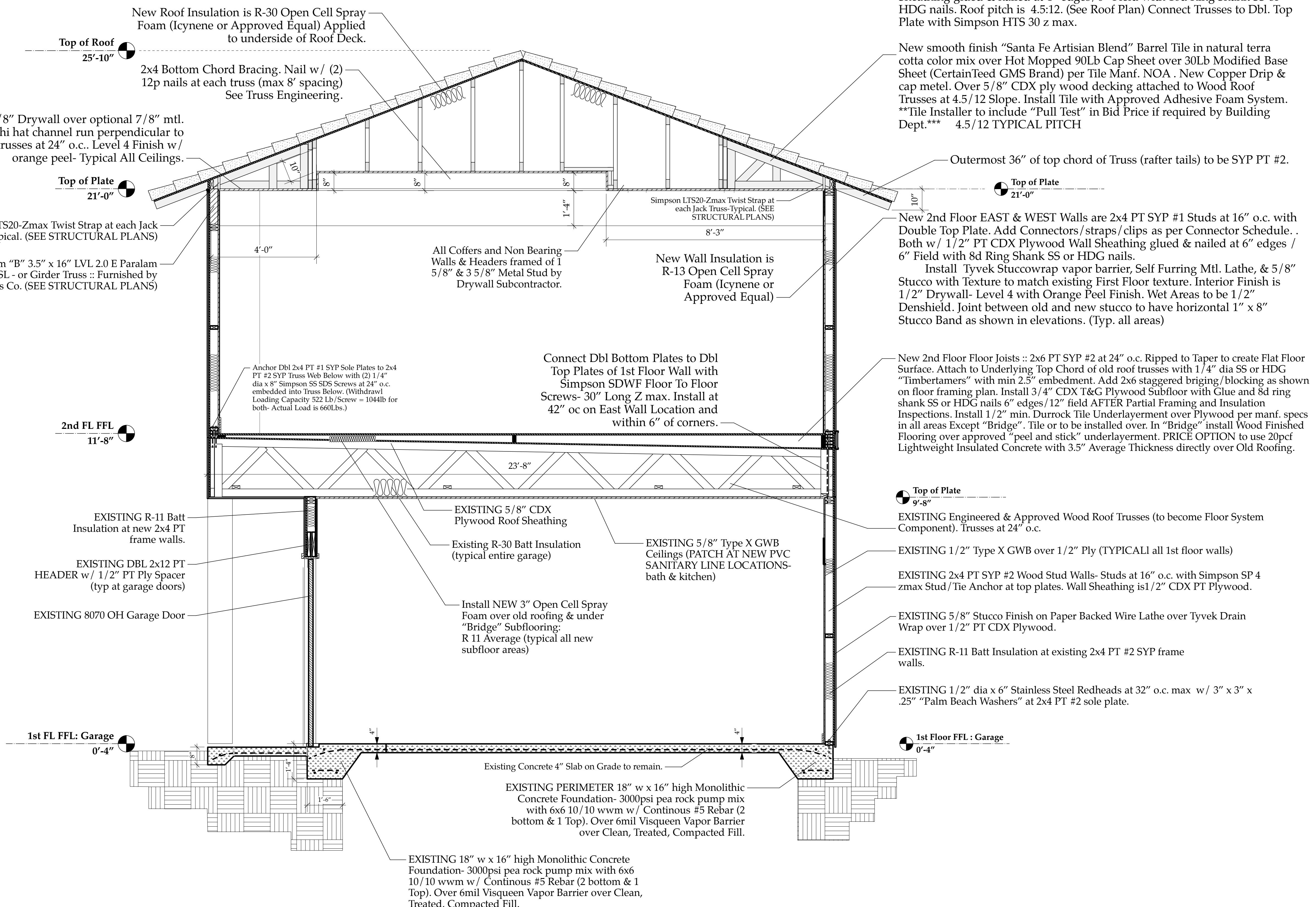
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**Sloan Residence Phase 2**  
**KITCHEN-MEDIA RM. ADDITION**  
**106 SF 7th Avon 110**

## **BUILDING SECTION "2" of Kitchen-Media Rm.**

Project Information	
Project Manager	Project ID
D. Sloan	Sloan Res Kit.-Media Rm Addition

Drawn By <b>D. Sloan</b>	Scale <b>As Noted</b>
Reviewed By <b>D. Sloan</b>	Drawing No. <b>A4.02</b>
<b>4/14/2019</b>	_____ of _____
File Name	



# Section 2

Scale:  $1/2'' = 1$

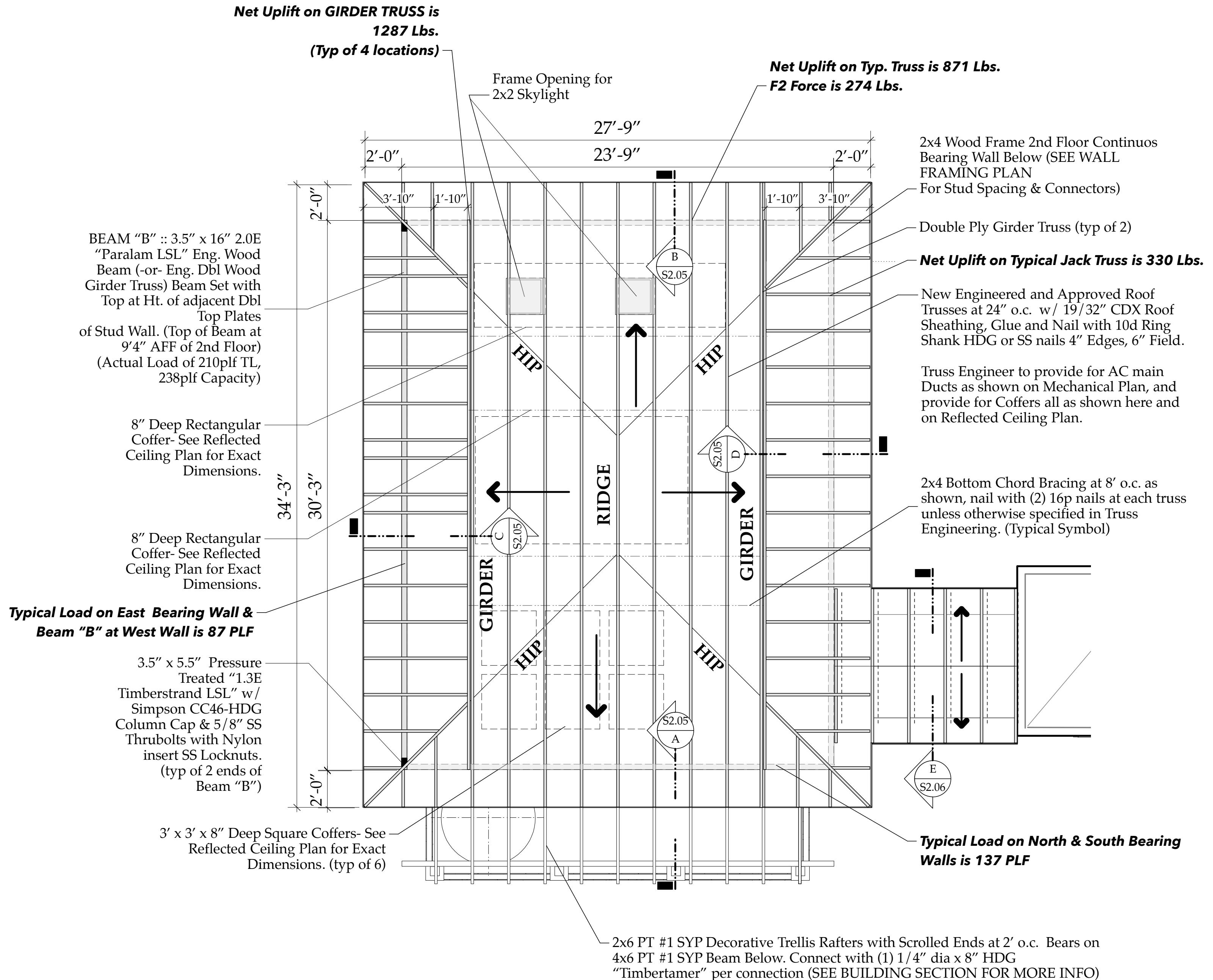
*NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.*

*NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).*

# New Building Section "2-A4.02"

**\*\*NOTE: Truss Co. to Make Provisions for HVAC Ductwork as Per M1.01.\*\***

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



# 2nd FL. ROOF FRAMING PLAN

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Scale: 1/4" = 1'-0"

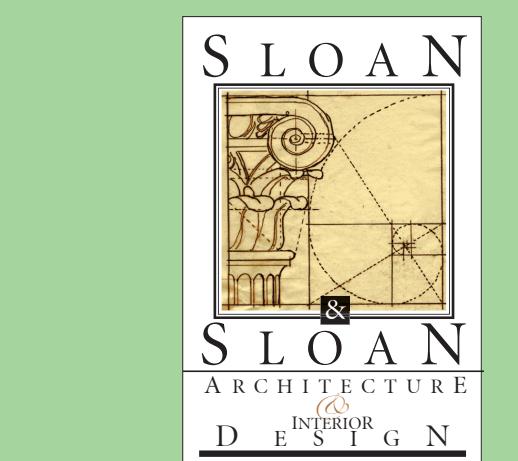
Updated: April 14, 2019

File: SloanPH2\_Connector\_Schedule.indd

# Structural Connector Schedule: Sloan Residence Addition Project

NO.	DESCRIPTION	MANUFACTURER	UPLIFT Capacity Required	UPLIFT Capacity Provided: lbs	PRODUCT #
1	Roof Truss to Dbl. Top Plate (Typ 2nd Fl. Walls)	Simpson	871 lbs *	1310 lbs	HTS 20 zmax
	*2nd Floor Exterior Walls*	Simpson		650up & 940f2	+ HGA10 zmax
2	New Dbl. Top Plate to 2nd Fl. Wall Studs	Simpson	830 lbs	1065 lbs	SP2 zmax
	*2nd Floor Exterior Walls, 830 lb worst case, 810 lb typical uplift value/stud*				
3	New 2nd Fl. Studs to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
4	New dbl. 2x4 Sole Plate >Top Chord Floor Truss	Simpson	310 lbs/screw	375 lbs /screw	3" embedment
	(1) .25" x 6" SS SDS Screw at 6" o.c. THRU sole plate into Truss		Below @ North and South Walls		
4B	ALT; New dbl. 2x4 Sole Plate >Top Chord Floor Truss	Commodity	310 lbs/lag	705 lbs /lag	3" embedment
	(1) .25" x 6" SS LAG Screw at 6" o.c. THRU sole plate into Truss		Below @ North and South Walls		
4C	New 2nd Fl Wall 2x4 Sole Plate >Top Chord Floor Truss	Simpson SDWF-Z	835lbs/screw	885 lbs /screw	3" embedmt/32" oc
5	New LVL Beam "B" to 4x6 Eng Post Below	Simpson	2499 lbs	2800 lbs	CC46 HDG
5b	New 4x6 Eng Post at 2nd Fl. to 4x6 at 1st Floor	Simpson	1249 lbs/strap	2050 lbs/strap	(2) MSTA36 zmax
5c	New 1st Floor 4x6 Eng Post to Foundation	Simpson	2499 lbs	4770 lbs	HTT4 Zmax
6	New 2nd Fl. 2x6 Rim Joist for Porch	Simpson	104 lbs/screw	350lbs /screw-Shear	3" embedment
	Attached to dbl Bottom Plate of 2nd Floor	Walls & Top Chord	of Floor Trusses	(install 2 screws every 16" oc)	
6b	2x6 PT #1 Floor Joist Hangers	Simpson	120 lb uplift load	730 lb uplift Capacity	LUC 26 zmax
6b	(For use on 2nd Floor Wood Porch)	Simpson	207lb LL+DL	845 lb Gravity Capacity	LUC 26 zmax
6c	Dbl2x10 PT #2 Bms to Ext Wall	Simpson	120 lb uplift load	1135 lb uplift Capacity	HUC 210-2 zmax
6d	Join (2) Dbl2x10 PT #2 Bms Together	Simpson	120 lb uplift load	2115 lb uplift Capacity	HL 79 zmax
6d	(ALT) Join (2) Dbl2x10 PT #2 Bms Together	Cstm 1/2" 6061-t6 Alum Powercoated, 9" h, (2)			8" legs (4) 1/2"bolts

# New 2nd Floor Roof Framing Plan S2.03



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# Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

## Issue Notes

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residence Phase 2  
EDIA RM. ADDITION  
E 7th Avenue

1 FL FLOOR  
FRAMING PLAN  
hen-Media Rm.  
object ID  
Sloan Res Kit.-Media Rm Addition

ale  
1/4" = 1'-0"  
awing No.  
**S2.03**  
— of —  
1.VWX