

SQ. FT. CALC.'S	
TOTAL LIVING	1,431 SQ. FT.
COVERED ENTRY ELEV 'C'	93 SQ. FT.
COVERED ENTRY ELEV 'S'	19 SQ. FT.
2 CAR GARAGE	398 SQ. FT.
<hr/>	
TOTAL ELEVATION 'C'	1,928 SQ. FT.
TOTAL ELEVATION 'S'	1,854 SQ. FT.

WALL LEGEND	
	INTERIOR BEARING WALL
	EXTERIOR C.B.S WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS
-ALL INTERIOR DOORS TO BE 6'-8" -ALL EXTERIOR DOORS TO BE 6'-8" UNLESS NOTED OTHERWISE	

- GENERAL NOTES:
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
 - BATH-TUB/SHOWER GLASS ENCLOSURES IF USED TO BE CAT II SAFETY GLAZING
 - SHOWER HEADS SHALL HAVE ANTI-SCALD DEVICES.
 - ALL BATHROOM DOOR LOCKS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE DOOR FROM THE OUTSIDE IN CASE OF EMERGENCY.
 - USE APPROPRIATE CEMENT BOARD, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - BATHTUB & SHOWER FLOORS & WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.
 - BATHROOM FINISHED FLOOR SHALL BE OF IMPERVIOUS MATERIAL AS TILE.
 - FIRE STOPPING AND DRAFT STOPPING SHALL BE INSTALLED IN WOOD CONSTRUCTION AS SPECIFIED IN FBOR SECTIONS R302.11 AND R302.12.
 - WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 PER SECTION R302.9.
 - STRUCTURE TO ADHERE TO CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA FOR DAMAGE PROBABILITIES FROM WEATHERING AND TERMITE INFESTATION PER TABLE R302.1(1).
 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD & FBOR 302.7
 - EXTERIOR WINDOWS SHALL BE CAPABLE OF WITHSTANDING A FORCE OF 150 POUNDS APPLIED IN AN OPERABLE DIRECTION.
 - AN OUTSIDE WINDOW OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH 24" IN HEIGHT AND 57 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" AND NOT LESS THAN 24" ABOVE FINISHED FLOOR AND NO GREATER THAN 12" ABOVE FINISHED GRADE PER FBOR 312.1. ALL WINDOWS SHALL BE PROTECTED W/ FLORIDA APPROVED NOA STORM SHUTTERS.
 - ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 PER SECTION R302.10.
 - WOOD WALLS WILL BE WATERPROOFED (WRAPPED) PER FBOR SECTION R103 AND FOLLOWING MANUFACTURER'S SPECS.

ARCHITECTS

Design Group LLC
 1441 N. RONALD REAGAN BLVD
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 AA #: 0003325

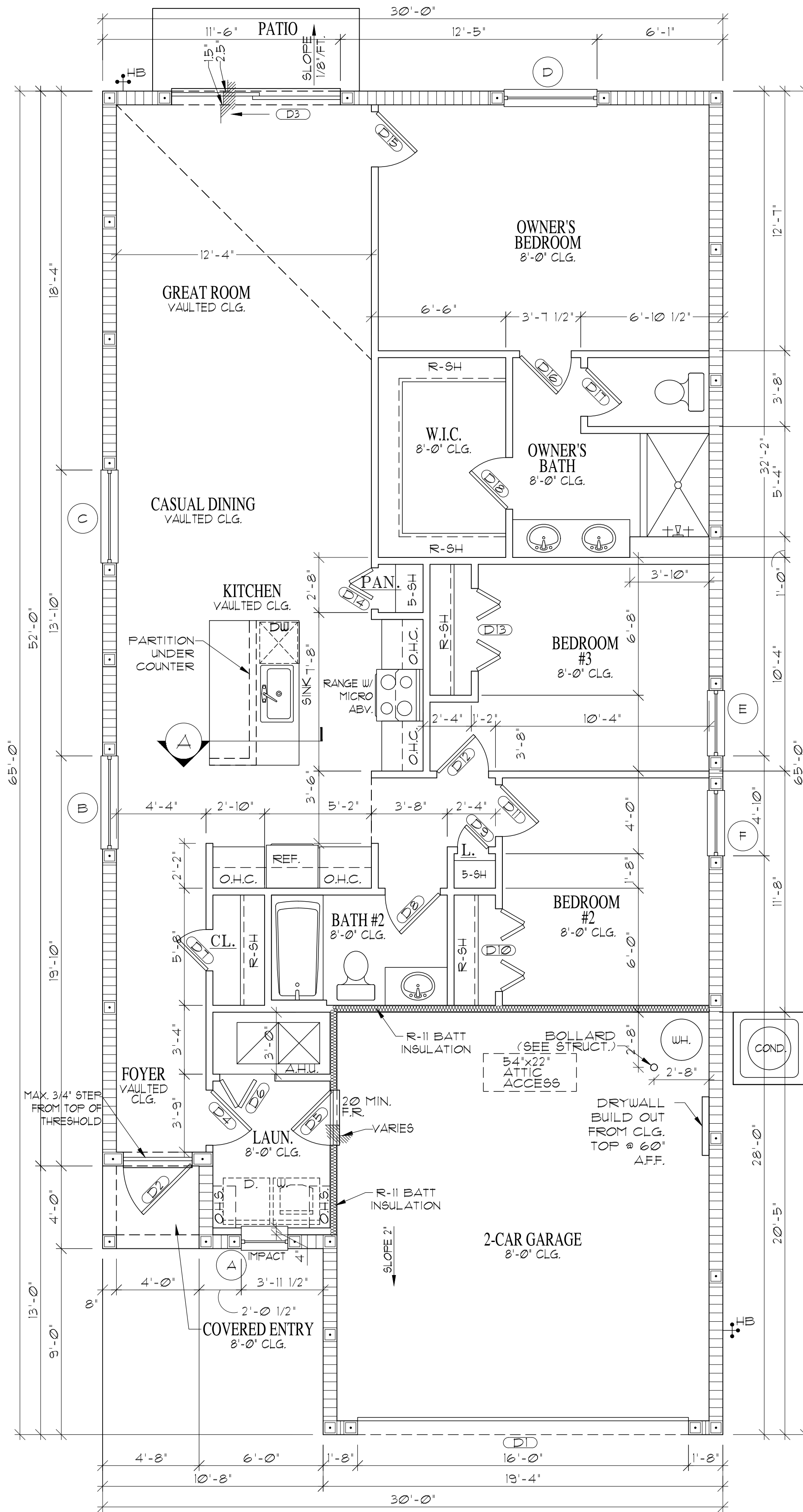
DATE	DESCRIPTION

LENNAR
 8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.038/####
 LENNAR# #77??
 VERSION:
 ANNAPOLIS 1450 ELEV. C & S
 GARAGE SWING:
 RIGHT
 PAGE:
 FIRST FLOOR
 PLAN
 ELEVATION "C"
 170 MPH EXPOSURE C

ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

PLAN DATE: 09/22/20
 SCALE: AS NOTED
 SHEET NO:
 A1C



SQ. FT. CALC.'S	
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	EXTERIOR C.B.S WALL
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-ALL INTERIOR DOORS TO BE 6'-8"	
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DATE	DESCRIPTION

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 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.038/####
 LENNAR# #77??
 VERSION:
 ANNAPOLIS 1450 ELEV. C & S
 GARAGE SWING:
 RIGHT
 PAGE:
 FIRST FLOOR
 PLAN
 ELEVATION "S"
 170 MPH EXPOSURE C

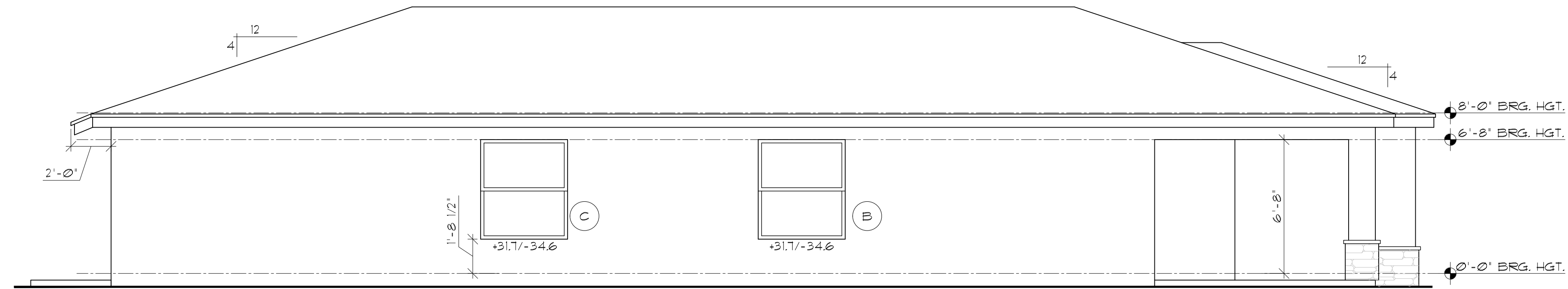
ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

PLAN DATE: 09/22/20
 SCALE: AS NOTED
 SHEET NO:
 A1S

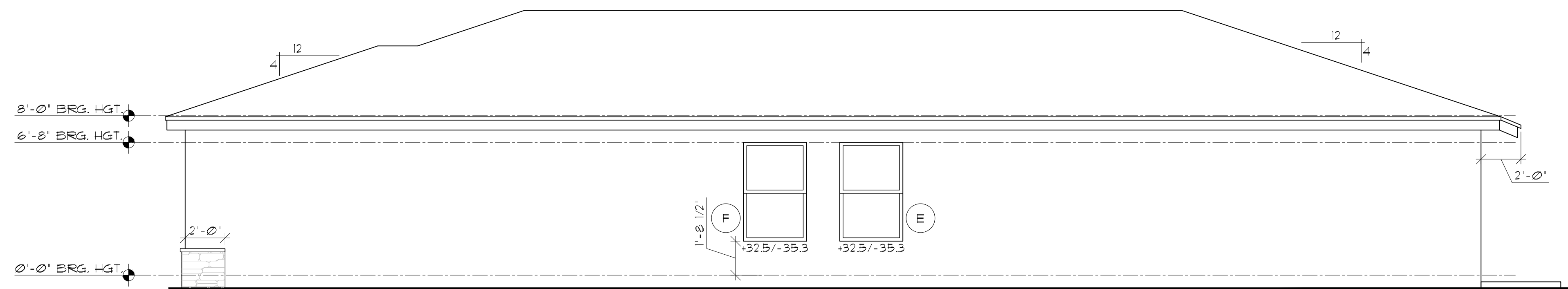


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DATE	DESCRIPTION



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

LENNAR
 8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.036/#####
 LENNAR# #77??
 VERSION:
 ANNAPOLIS 1450 ELEV. C & S
 GARAGE SWING:
 RIGHT
 PAGE:
 ELEVATION "C"
 LEFT & RIGHT
 170 MPH EXPOSURE C

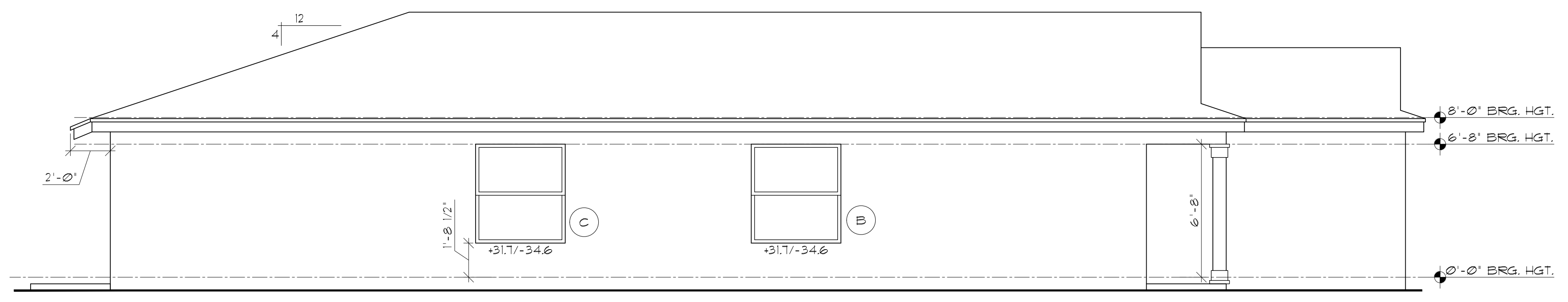
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 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

PLAN DATE: 09/22/20
 SCALE: AS NOTED
 SHEET NO:
 A4C

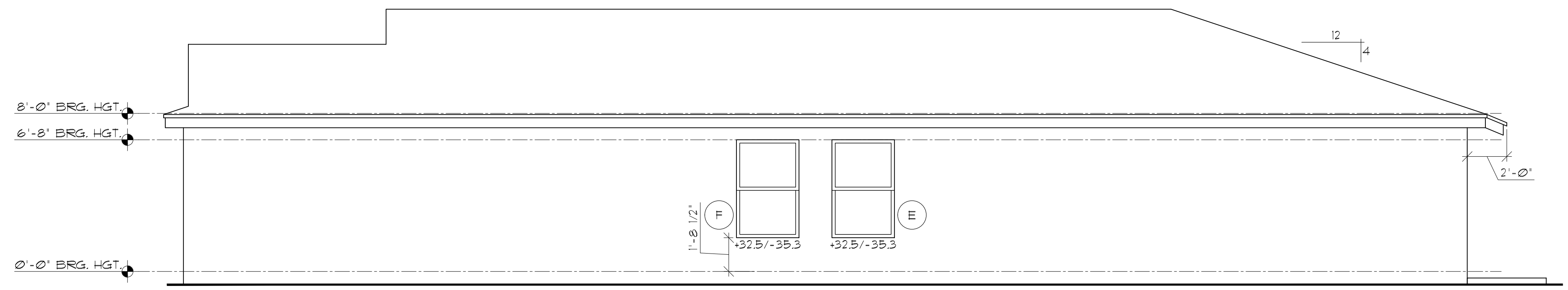


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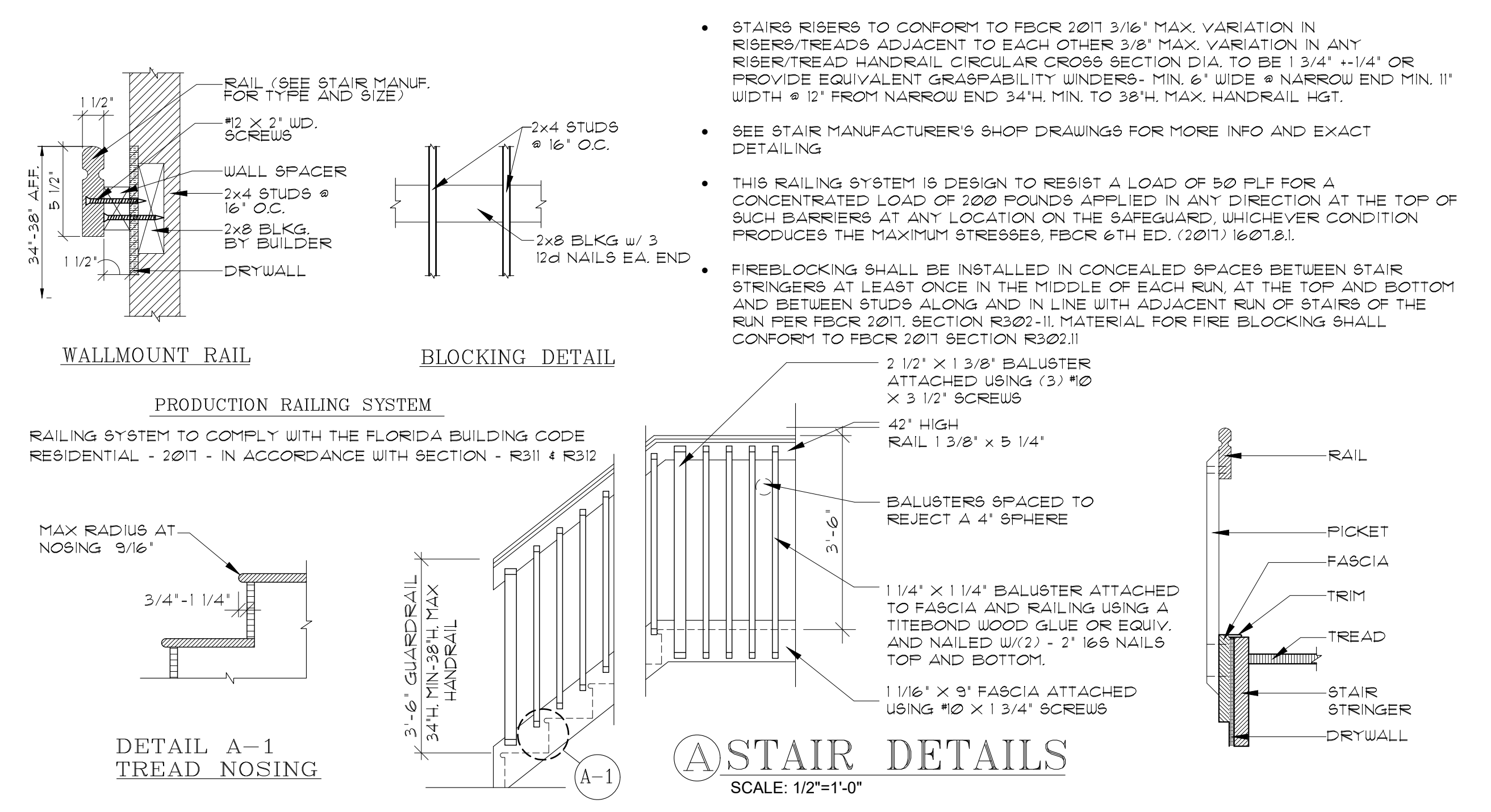
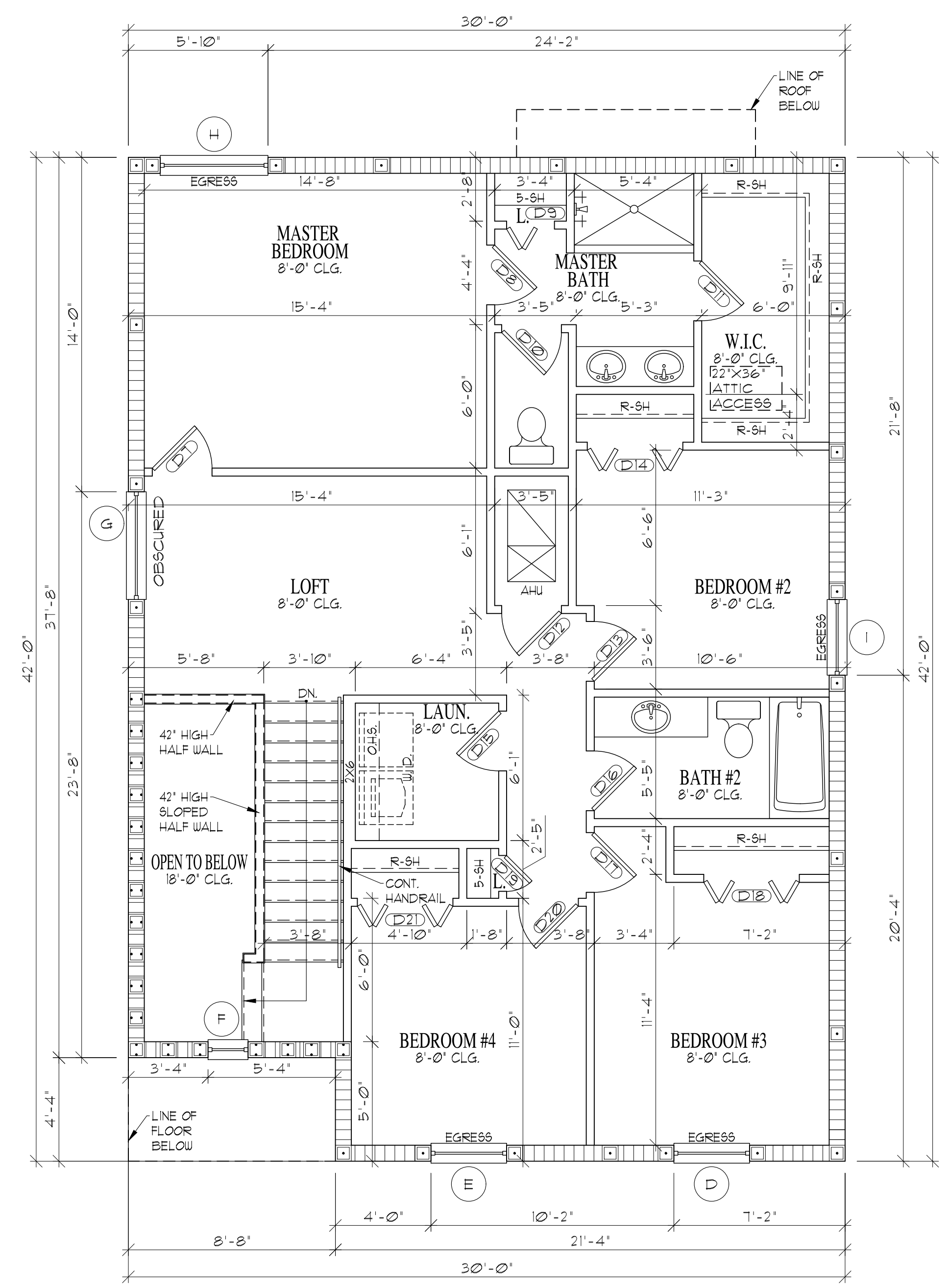


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SQ. FT. CALC.'S		
1ST FLOOR LIVING	780	SQ. FT.
2ND FLOOR LIVING ELEV. 'C'	1,089	SQ. FT.
<hr/>		
TOTAL LIVING ELEVATION 'C'	1,869	SQ. FT.
<hr/>		
COVERED ENTRY	38	SQ. FT.
2 CAR GARAGE	443	SQ. FT.
PATIO	40	SQ. FT.
<hr/>		
TOTAL ELEVATION 'C'	2,390	SQ. FT.

WALL LEGEND	STAIR DATA
INTERIOR BEARING WALL	16 RISERS @ 7 9/16"
EXTERIOR C.B.S. WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS	15 TREADS @ 10"
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-ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	

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DATE	DESCRIPTION

LENNAR
8895 N. Military Trail, Suite 101-B
Palm Beach Gardens, FL 33410
Palm Atlantic Division

SUBDIV. & LOT:
BANYAN COURT

(AMERICAN DREAM SERIES)
PROJECT# 03300.037/20101

LENNAR# #

VERSION:

ATLANTA 1871, "C" & "S"
GARAGE SWING:
RIGHT

PAGE:

SECOND FLOOR
PLAN
ELEVATION "C"

160 MPH EXPOSURE C


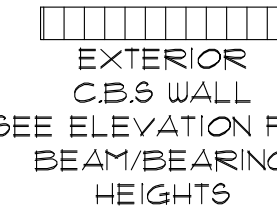
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STATE OF FLORIDA

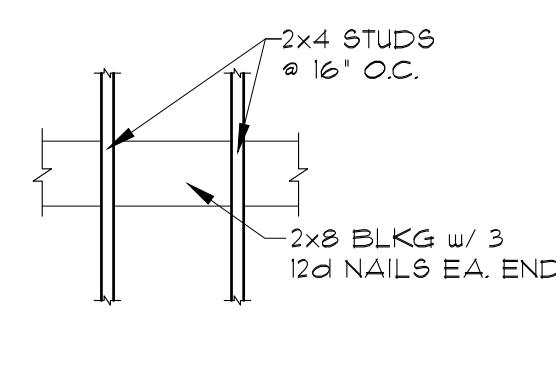
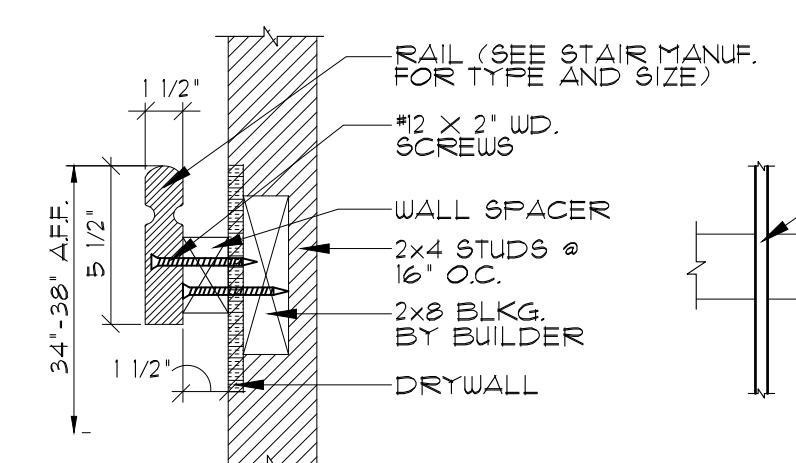
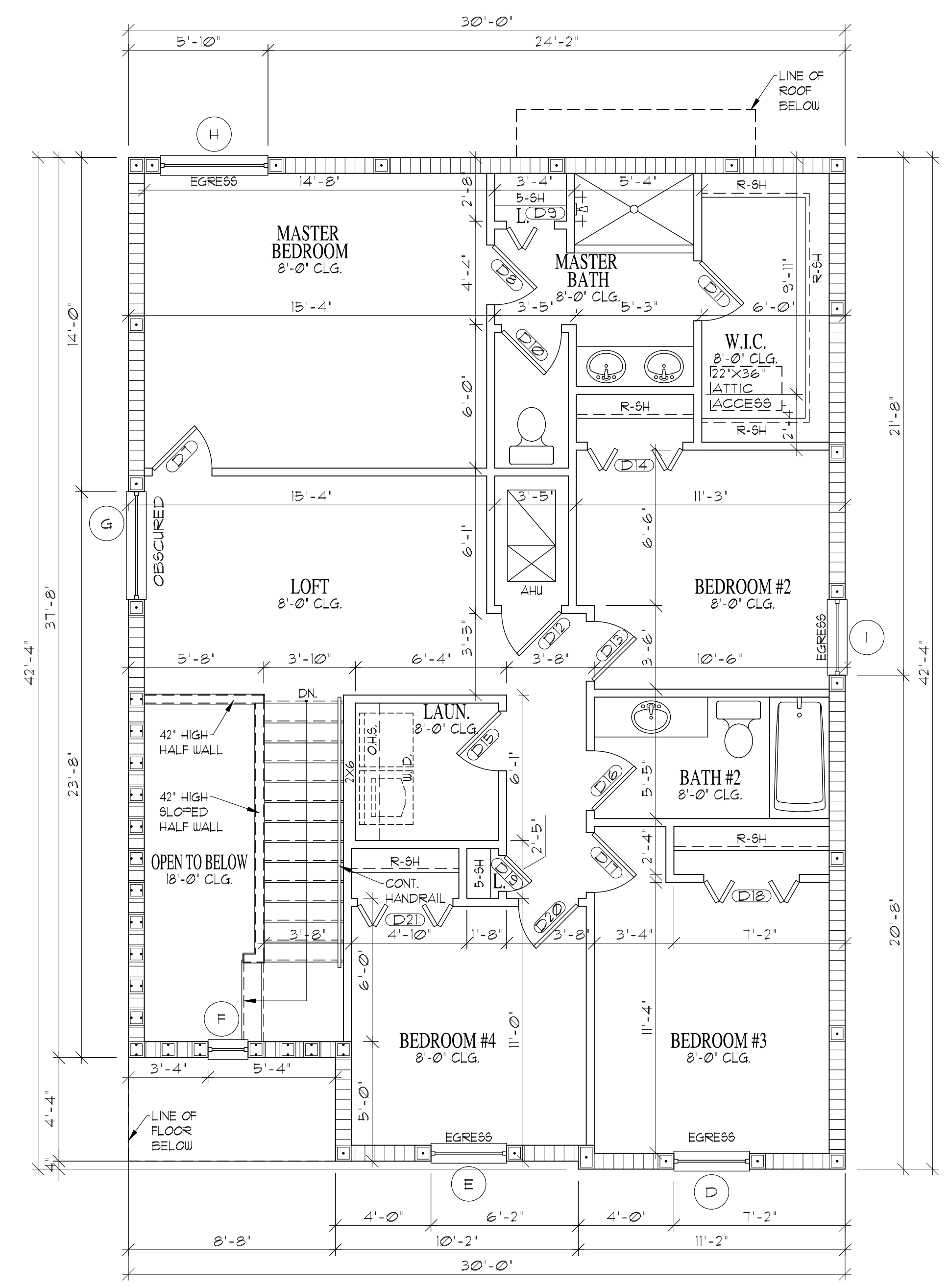
JAMES CANTWELL
AR NO 12079

PLAN DATE: 08/17/20
SCALE: AS NOTED
SHEET NO:
A2C

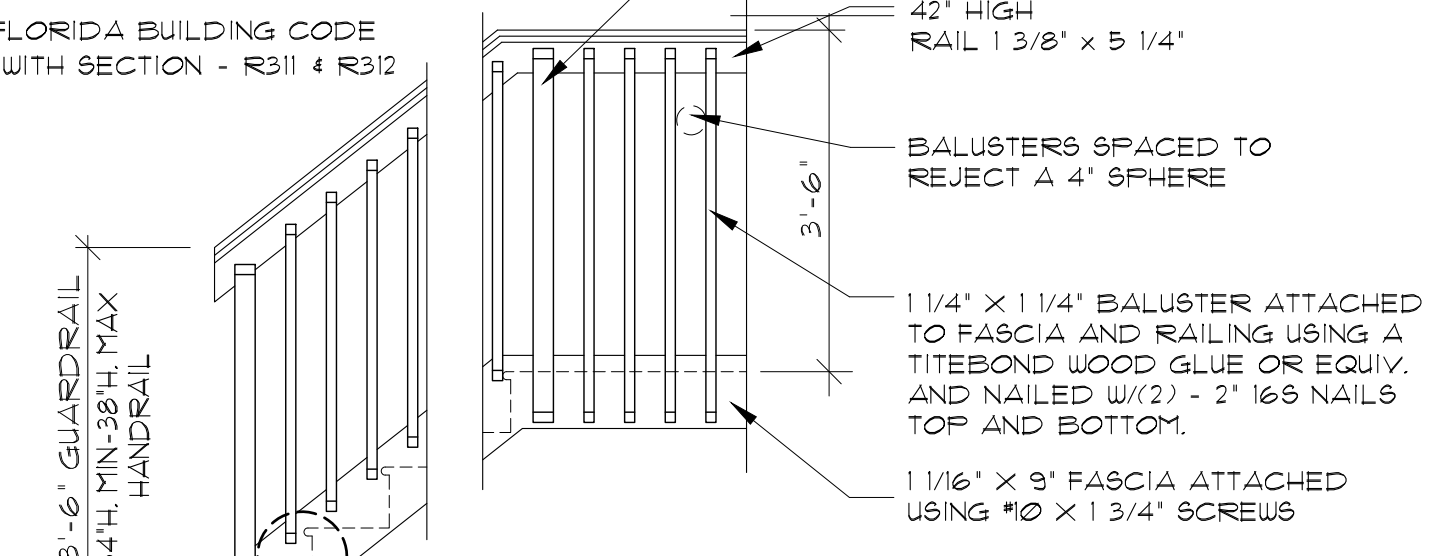
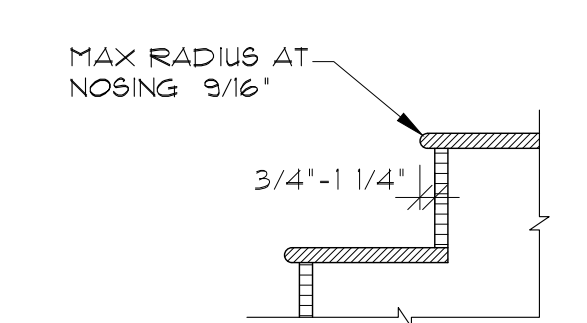
SQ. FT. CALC.'S		
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WALL LEGEND	STAIR DATA
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WALLMOUNT RAIL
BLOCKING DETAIL
PRODUCTION RAILING SYSTEM
 RAILING SYSTEM TO COMPLY WITH THE FLORIDA BUILDING CODE RESIDENTIAL - 2011 - IN ACCORDANCE WITH SECTION - R311.4 R312



- STAIRS RISERS TO CONFORM TO FBRC 2011 3/16" MAX. VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER 3/8" MAX. VARIATION IN ANY RISER/TREAD HANDRAIL CIRCULAR CROSS SECTION DIA. TO BE 1 3/4" +/- 1/4" OR PROVIDE EQUIVALENT GRASPABILITY WINDERS- MIN. 6" WIDE @ NARROW END MIN. 11" WIDTH @ 12" FROM NARROW END 3/4" MIN. TO 3/8" MAX. HANDRAIL HGT.
- SEE STAIR MANUFACTURER'S SHOP DRAWINGS FOR MORE INFO AND EXACT DETAILING
- THIS RAILING SYSTEM IS DESIGN TO RESIST A LOAD OF 50 PLF FOR A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT THE TOP OF SUCH BARRIERS AT ANY LOCATION ON THE SAFEGUARD, WHICHEVER CONDITION PRODUCES THE MAXIMUM STRESSES, FBRC 6TH ED. (2011) 1607.8.1.
- FIREBLOCKING SHALL BE INSTALLED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AT THE TOP AND BOTTOM AND BETWEEN STUDS ALONG AND IN LINE WITH ADJACENT RUN OF STAIRS OF THE RUN PER FBRC 2011, SECTION R302-11. MATERIAL FOR FIRE BLOCKING SHALL CONFORM TO FBRC 2011 SECTION R302.11

STAIR DETAILS
 SCALE: 1/2"=1'-0"

DATE	DESCRIPTION

LENNAR
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 Palm Atlantic Division

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 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.037/20101
 LENNAR# #
 VERSION:
 ATLANTA 1871, "c" & "s"
 GARAGE SWING:
 RIGHT
 PAGE:
 SECOND FLOOR
 PLAN
 ELEVATION "S"
 160 MPH EXPOSURE C
 ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079
 PLAN
 DATE: 08/17/20
 SCALE: AS NOTED
 SHEET NO:
 A2S



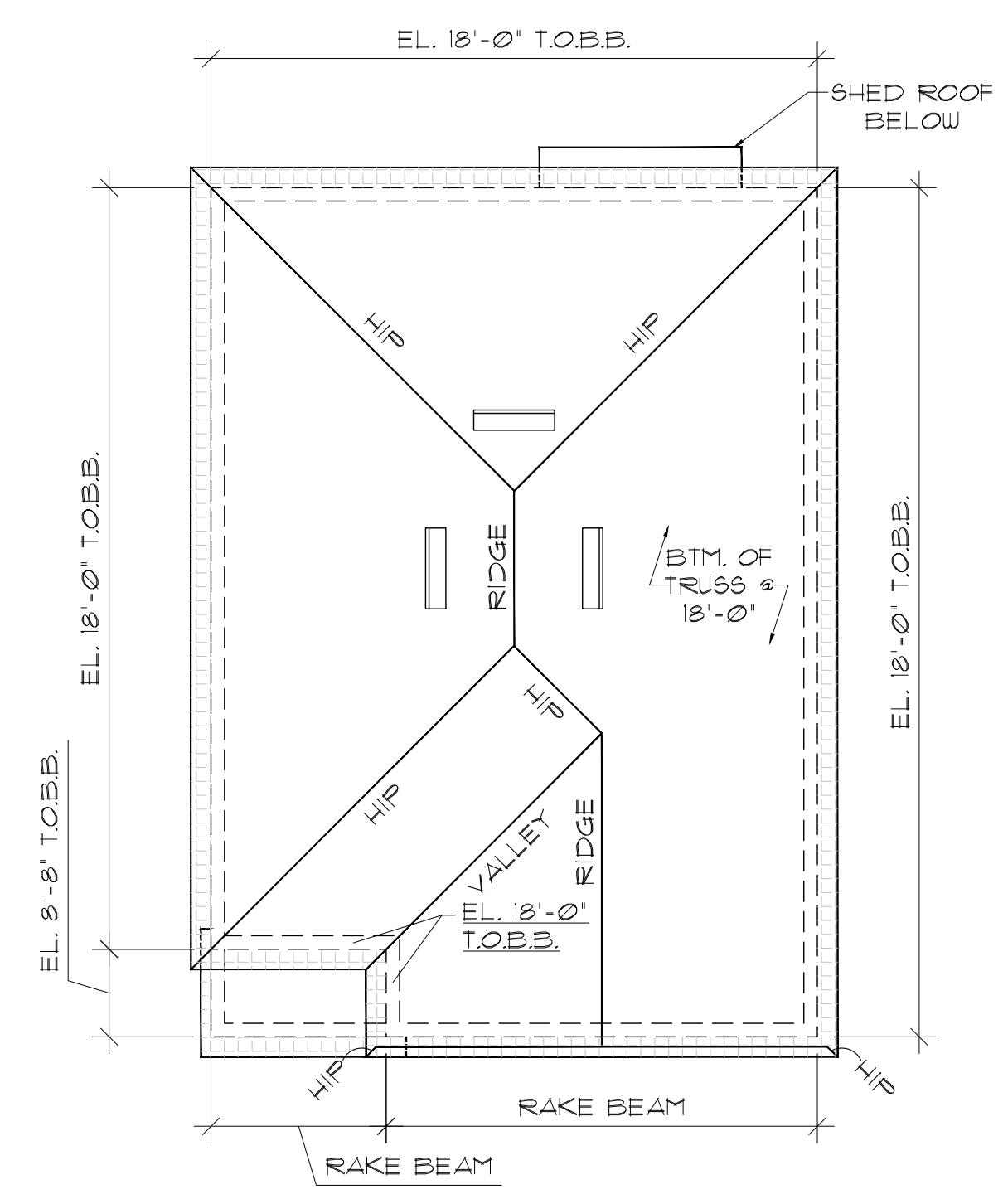
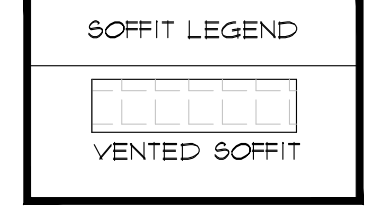
1441 N. RONALD REAGAN BLVD
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 PH: 407-774-6078
 FAX: 407-774-4078
 www.abdesigngroup.com
 AA #: 0003325

AREA TO BE VENTILATED (ON BASIS OF FLOOR)	= 1222.52 SF
AREA TO BE VENTILATED (ON BASIS OF ROOF)	= 17300
AREA TO BE VENTILATED (ON BASIS OF WALL)	= 1000
AREA TO BE VENTILATED (ON BASIS OF CEILING)	= 1000
TOTAL AREA TO BE VENTILATED	= 15022.52 SF
AREA OF ROOF TO BE VENTILATED	= 17300
AREA OF WALL TO BE VENTILATED	= 1000
AREA OF CEILING TO BE VENTILATED	= 1000
TOTAL AREA TO BE VENTILATED	= 15022.52 SF
AREA OF ROOF TO BE VENTILATED	= 17300
AREA OF WALL TO BE VENTILATED	= 1000
AREA OF CEILING TO BE VENTILATED	= 1000
TOTAL AREA TO BE VENTILATED	= 15022.52 SF

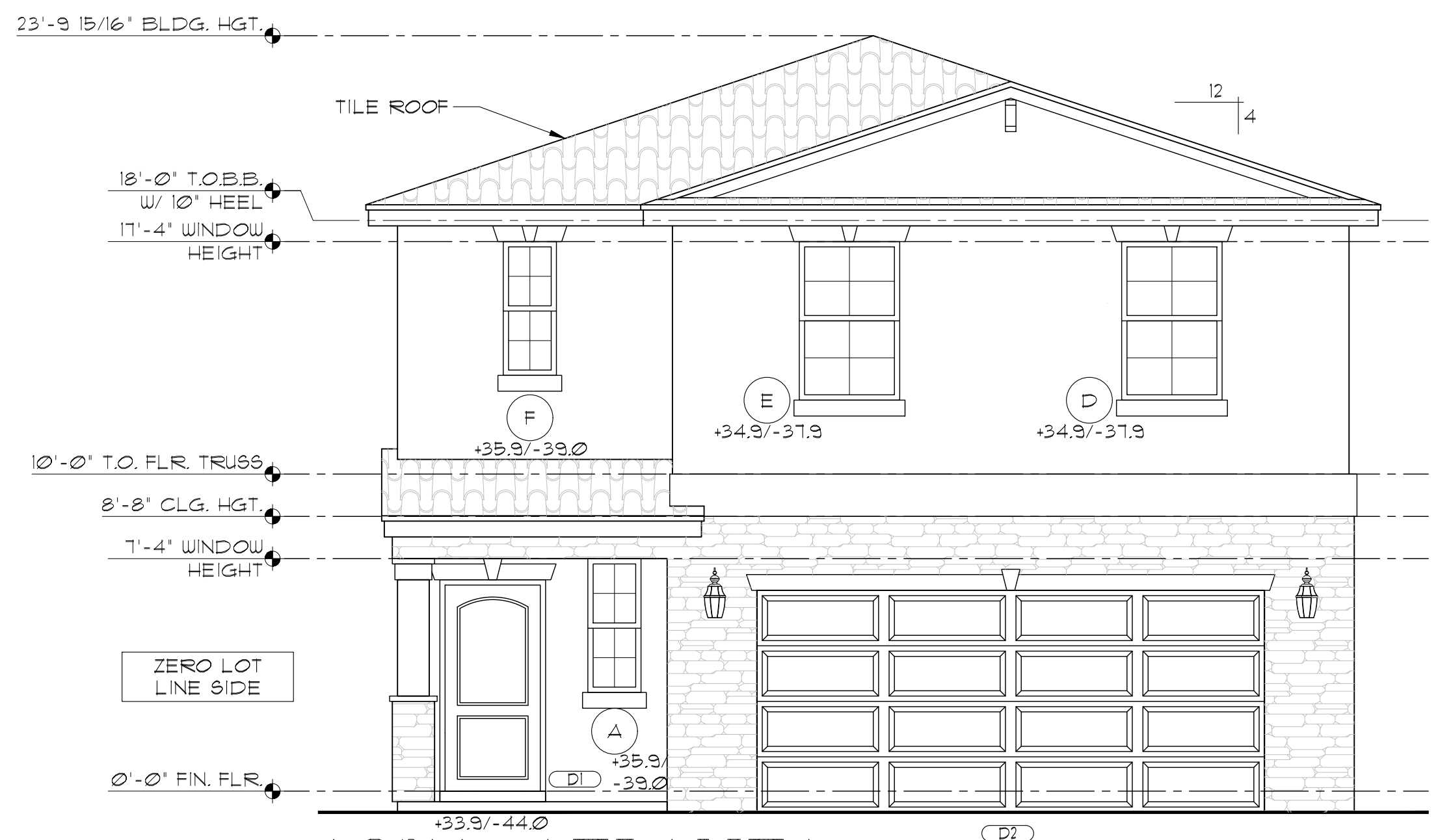
2ND FLOOR ROOF

ROOF VENTILATION CALCULATION PER FBC 1203.2	
REQUIRED VENTILATION:	
$\frac{32 \text{ SF}}{150}$	= 0.21 SF.
SOFFIT VENTILATION PROVIDED:	
$0.49 \text{ SF/L.F.} \times 16 \text{ L.F.}$	= 0.78 SF.
GENERAL NOTE:	
1 SQUARE INCHES OF NET FREE AREA PROVIDES 0.49 SF OF VENTILATION PER LINEAR FOOT	

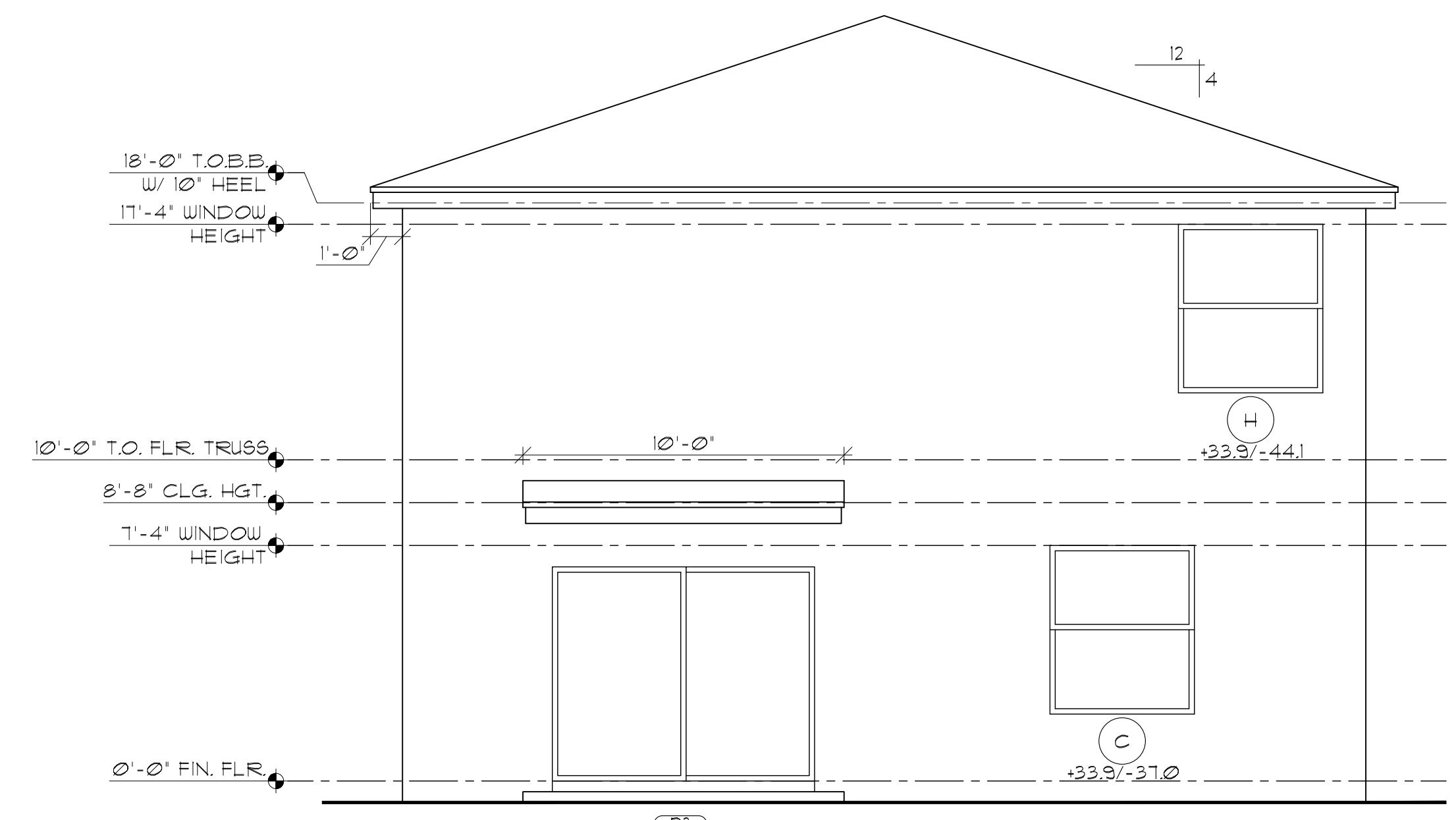
COV. ENTRY ROOF



ROOF PLAN ELEV. "C"
 SCALE: 1/8" = 1'-0"



1871 ATLANTA FRONT ELEVATION C W/ STONE
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION

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 Palm Atlantic Division

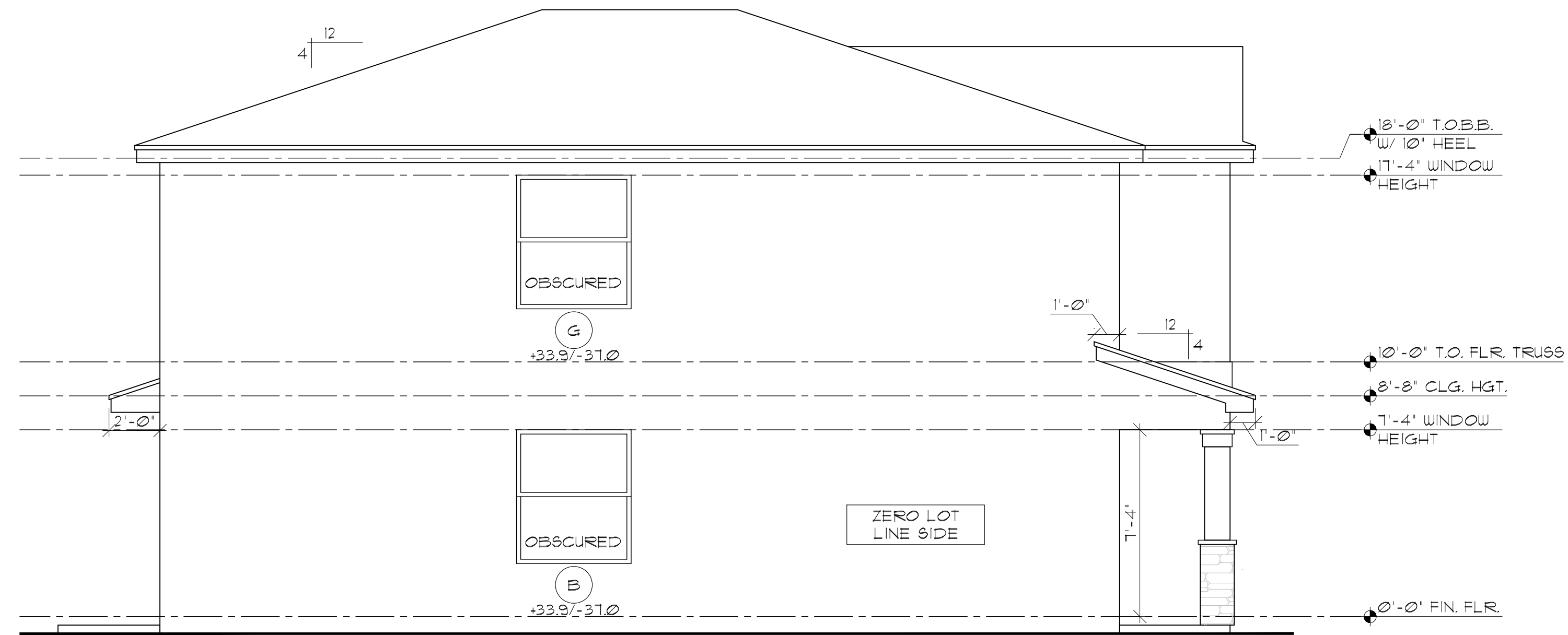
SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.037/20101
 LENNAR# #
 VERSION:
 ATLANTA 1871, "C" & "S"
 GARAGE SWING:
 RIGHT
 PAGE:
 ELEVATION "C"
 FRONT & REAR
 160 MPH EXPOSURE C

ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

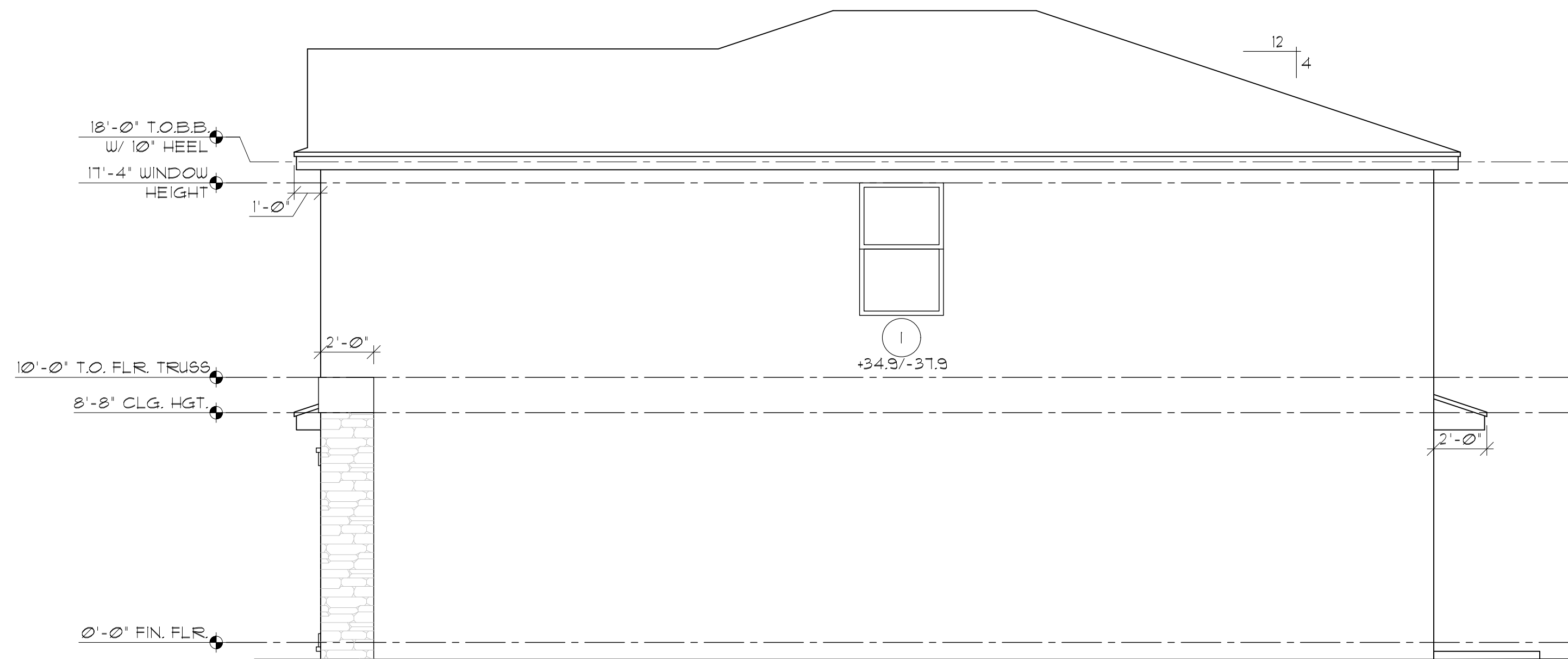
PLAN DATE: 08/17/20
 SCALE: AS NOTED
 SHEET NO:
A3C



1441 N. RONALD REAGAN BLVD
 LONGWOOD, FL 32750
 PH: 407-774-6078
 FAX: 407-774-4078
 www.abdesigngroup.com
 AA #: 0003325



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION

LENNAR
 8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

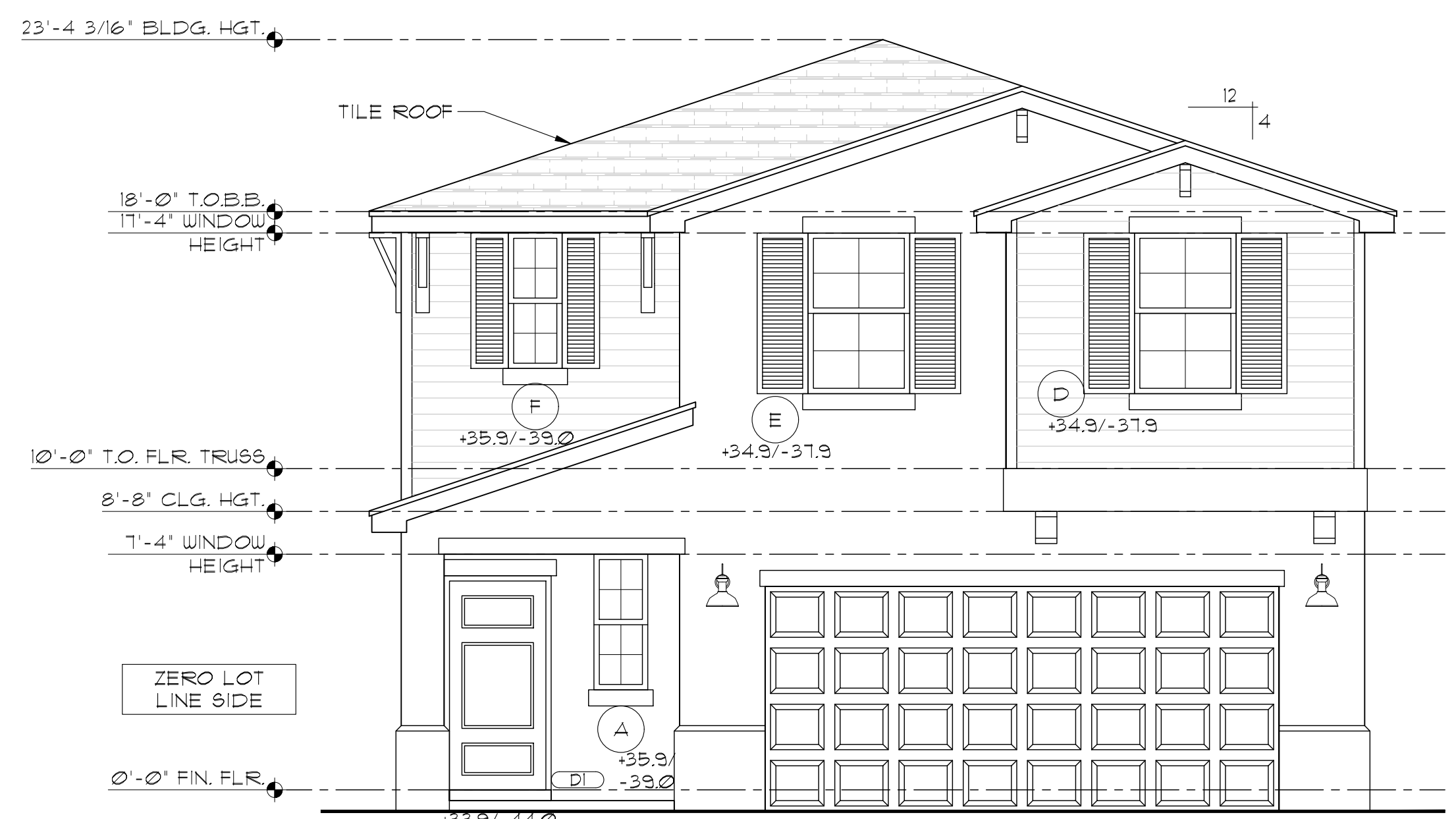
SUBDIV. & LOT:
 BANYAN COURT

(AMERICAN DREAM SERIES)
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 VERSION:
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ARCHITECT:
 STATE OF FLORIDA

JAMES CANTWELL
 AR NO 12079

PLAN DATE: 08/17/20
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 SHEET NO:
 A4C



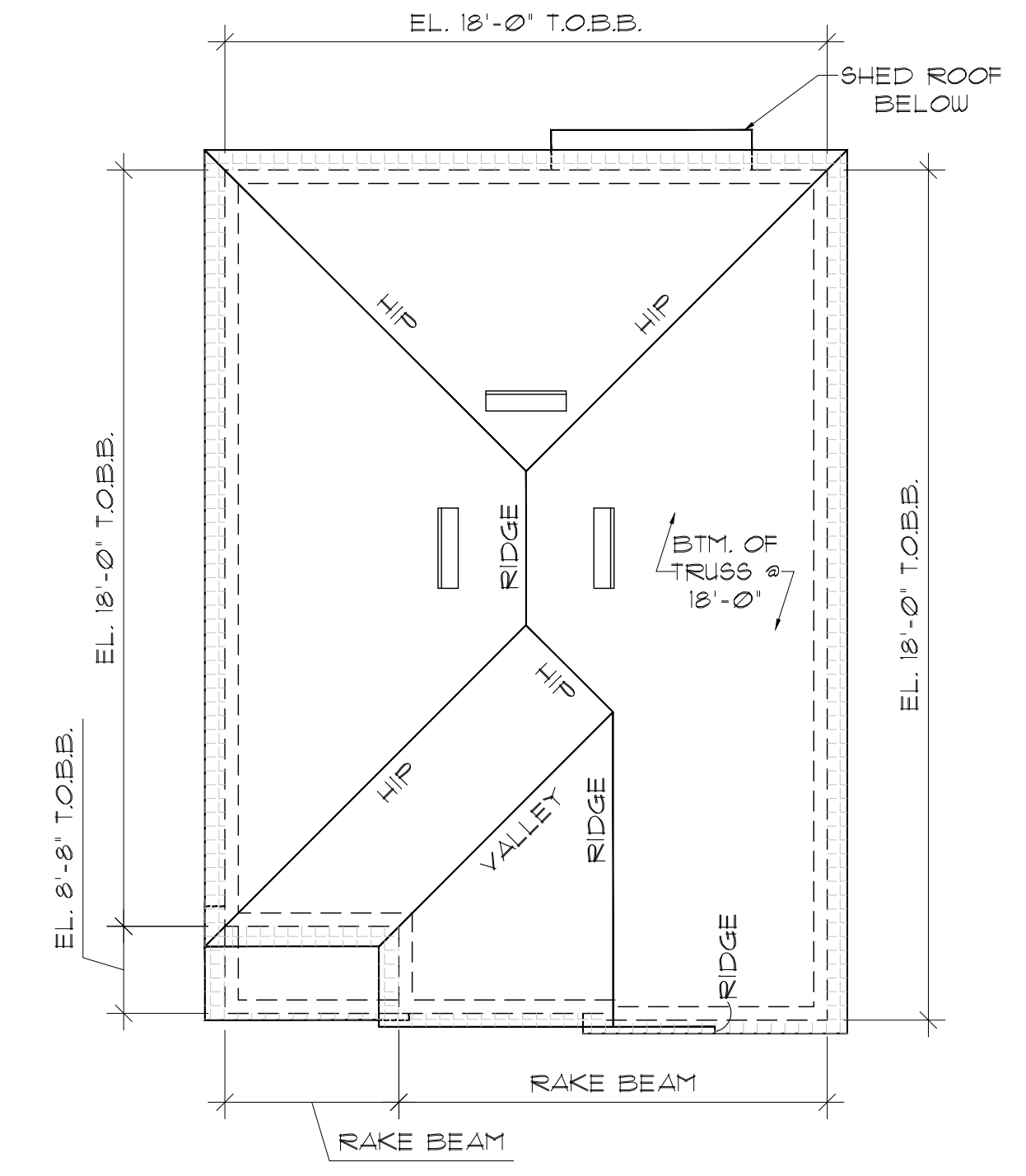
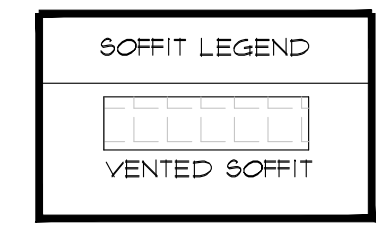
1871 ATLANTA
FRONT ELEVATION S BRITISH WEST INDIES
SCALE: 1/4" = 1'-0"

AREA ATTIC	1320 SQ.FT.
NET AREA ON AREA ROOF (F1)	1320 SQ.FT.
ROOF PITCH AREA ON AREA	1320 SQ.FT.
AREA	4800
VOLUME AT ELEVATION NO. 1001 (F1) (F2) (F3)	50400 CU.FT.
VOLUME AT ELEVATION NO. 1002 (F1) (F2) (F3)	50400 CU.FT.
AREA OF ATTIC	1320 SQ.FT.
AREA OF ATTIC ON AREA ROOF (F1)	1320 SQ.FT.
ROOF PITCH AREA ON AREA	1320 SQ.FT.
AREA	4800
VOLUME AT ELEVATION NO. 1001 (F1) (F2) (F3)	50400 CU.FT.
VOLUME AT ELEVATION NO. 1002 (F1) (F2) (F3)	50400 CU.FT.

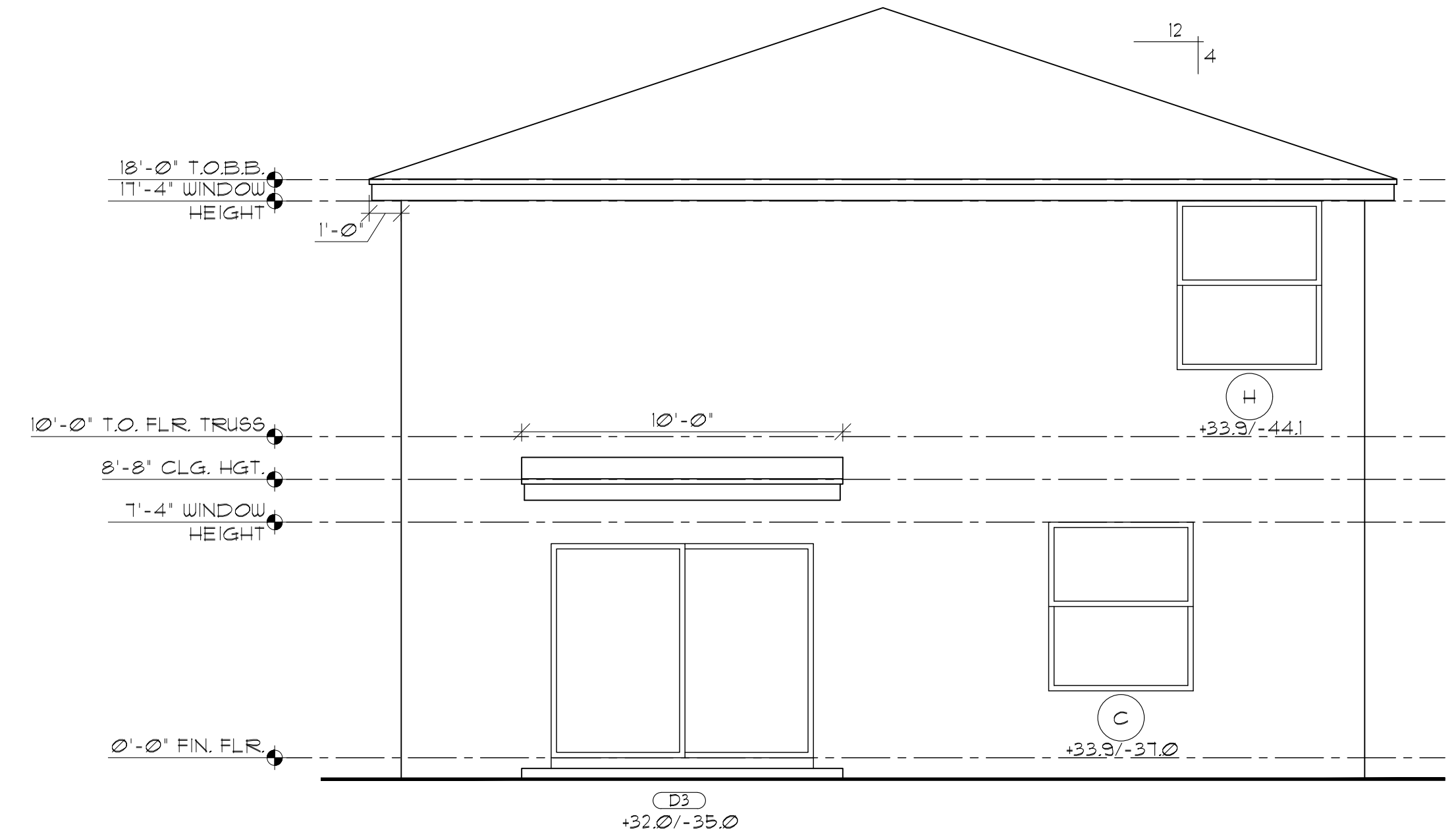
2ND FLOOR ROOF

ROOF VENTILATION CALCULATION PER FCC 12032	
REQUIRED VENTILATION:	
28 SF	= 0.25 SF.
150	
SOFFIT VENTILATION PROVIDED:	
0.49 SF/L.F. x 15 L.F.	= 0.14 SF.
GENERAL NOTE:	
1 SQUARE INCHES OF NET FREE AREA PROVIDES 0.49 SF OF VENTILATION PER LINEAR FOOT	

COV. ENTRY ROOF



ROOF PLAN ELEV. "S"
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION

LENNAR
8895 N. Military Trail, Suite 101-B
Palm Beach Gardens, FL 33410
Palm Atlantic Division

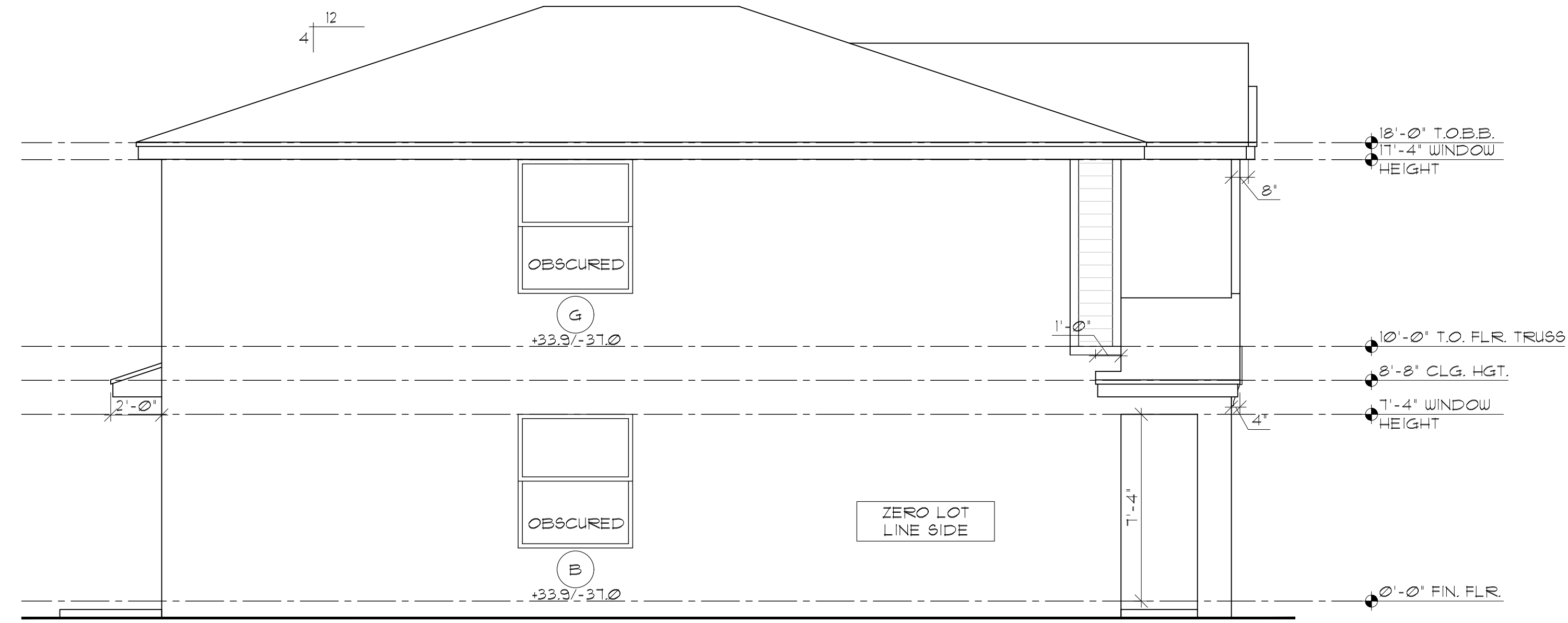
SUBDIV. & LOT:
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PROJECT# 03300.037/20101
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FRONT & REAR
160 MPH EXPOSURE C

ARCHITECT:
STATE OF FLORIDA
JAMES CANTWELL
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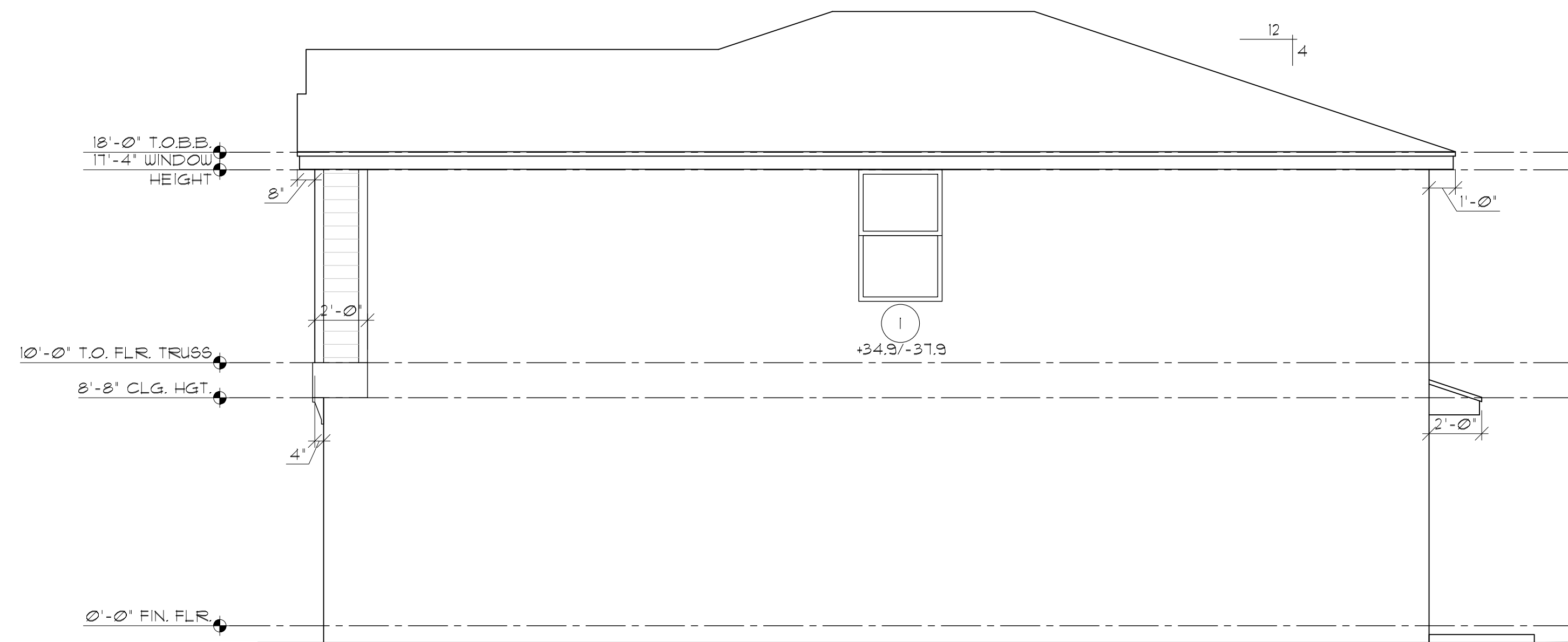
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SHEET NO:
A3S



1441 N. RONALD REAGAN BLVD
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LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

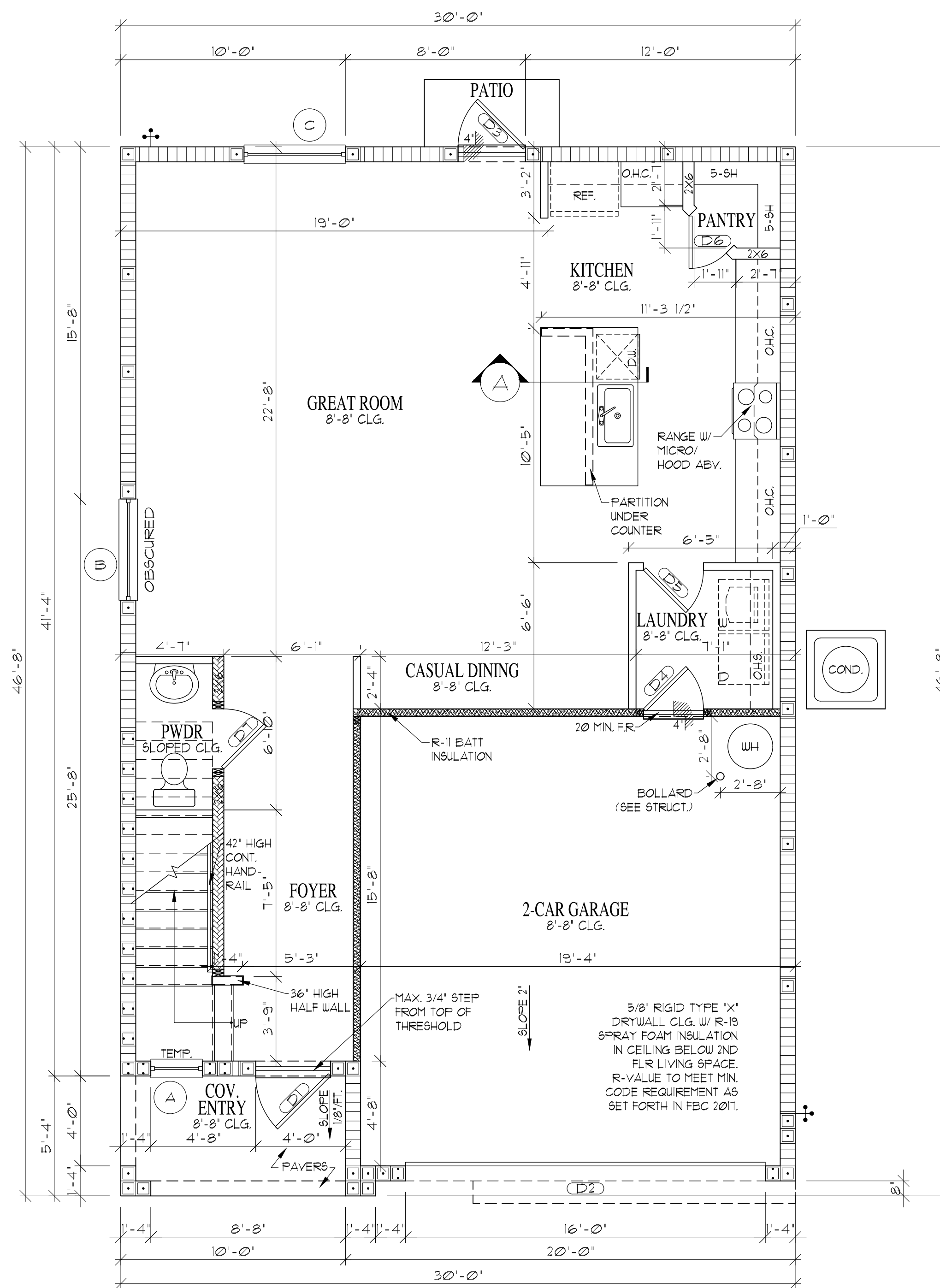
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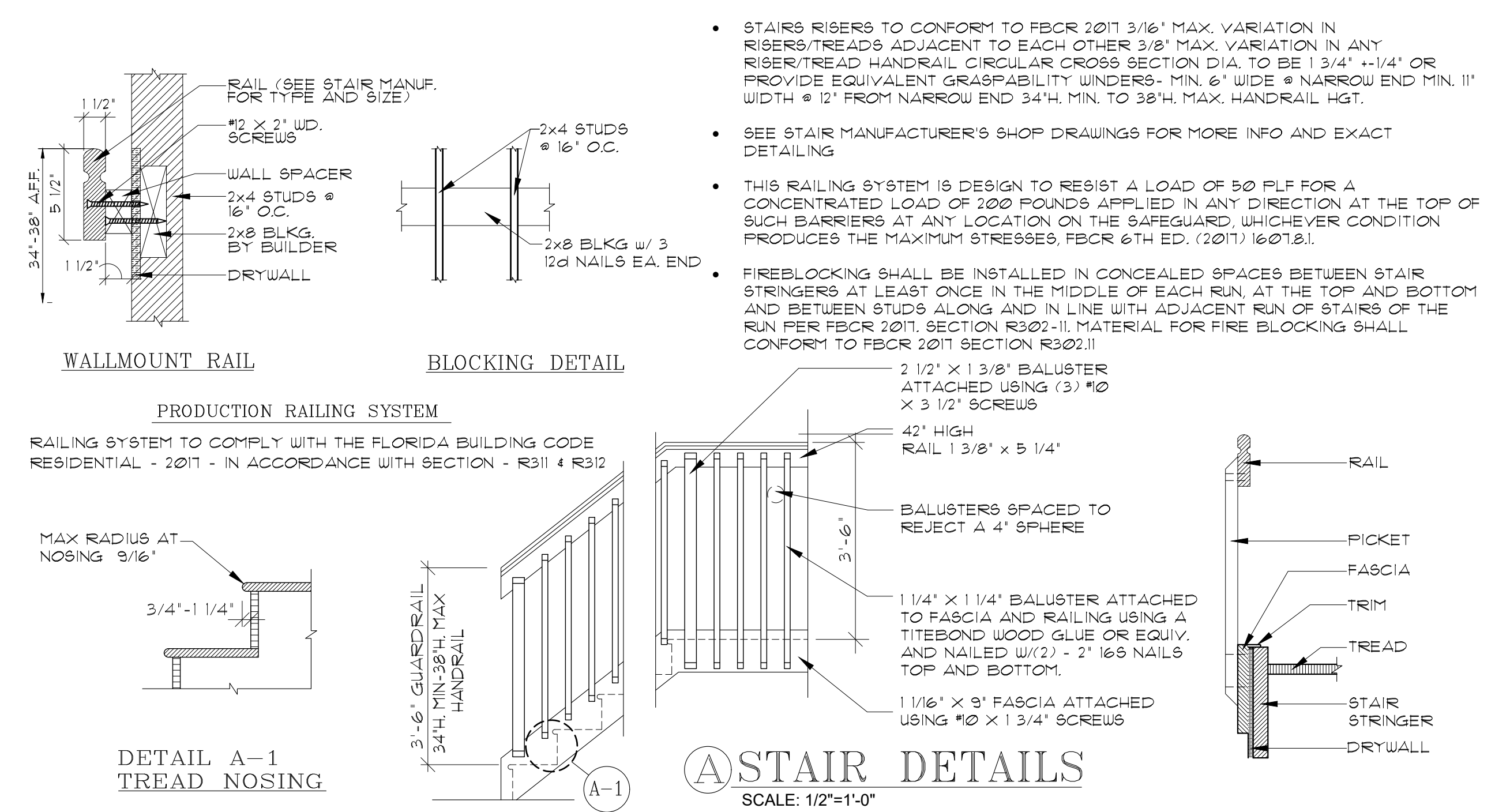


SQ. FT. CALC.'S	
1ST FLOOR LIVING	931 SQ. FT.
2ND FLOOR LIVING	1281 SQ. FT.
TOTAL LIVING	2218 SQ. FT.
COVERED ENTRY ELEV. 'C'	54 SQ. FT.
2 CAR GARAGE	403 SQ. FT.
PATIO	18 SQ. FT.
TOTAL ELEVATION 'C'	2,693 SQ. FT.

WALL LEGEND
INTERIOR BEARING WALL
EXTERIOR C.B.S. WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS
-ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE

STAIR DATA
16 RISERS @ 7 9/16"
15 TREADS @ 10"

- GENERAL NOTES:
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
 - BATH-TUB/SHOOWER GLASS ENCLOSURES IF USED TO BE CAT II SAFETY GLAZING
 - SHOWER HEADS SHALL HAVE ANTI-SCALD DEVICES.
 - ALL BATHROOM DOOR LOCKS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE DOOR FROM THE OUTSIDE IN CASE OF EMERGENCY.
 - USE APPROPRIATE CEMENT BOARD, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - BATHTUB & SHOWER FLOORS & WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.
 - BATHROOM FINISHED FLOOR SHALL BE OF IMPERVIOUS MATERIAL AS TILES.
 - FIRE STOPPING AND DRAFT STOPPING SHALL BE INSTALLED IN WOOD CONSTRUCTION AS SPECIFIED IN FBCR SECTIONS R302.11 AND R302.12.
 - WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 PER SECTION R302.9.
 - STRUCTURE TO ADHERE TO CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA FOR DAMAGE PROBABILITIES FROM WEATHERING AND TERMITE INFESTATION PER TABLE R302.1(1).
 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD & FBCR 302.7
 - EXTERIOR WINDOWS SHALL BE CAPABLE OF WITHSTANDING A FORCE OF 150 POUNDS APPLIED IN AN OPERABLE DIRECTION.
 - AN OUTSIDE WINDOW OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH 24" IN HEIGHT AND 57 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" AND NOT LESS THAN 24" ABOVE FINISHED FLOOR AND NO GREATER THAN 12" ABOVE FINISHED GRADE PER FBCR 312.1. ALL WINDOWS SHALL BE PROTECTED W/ FLORIDA APPROVED NOA STORM SHUTTERS.
 - ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 PER SECTION R302.10.
 - WOOD WALLS WILL BE WATERPROOFED (WRAPPED) PER FBCR SECTION R103 AND FOLLOWING MANUFACTURER'S SPECS.



ARCHITECTS
Design Group LLC

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AA #: 0003325

DATE	DESCRIPTION

LENNAR

8895 N. Military Trail, Suite 101-B
Palm Beach Gardens, FL 33410

Palm Atlantic Division

SUBDIV. & LOT:
BANYAN COURT

(AMERICAN DREAM SERIES)
PROJECT# 03300.037/20101

LENNAR# #

VERSION:

ATLANTA 1871, "C" & "S"

GARAGE SWING:
RIGHT

PAGE:

FIRST FLOOR
PLAN
ELEVATION "C"

160 MPH EXPOSURE C

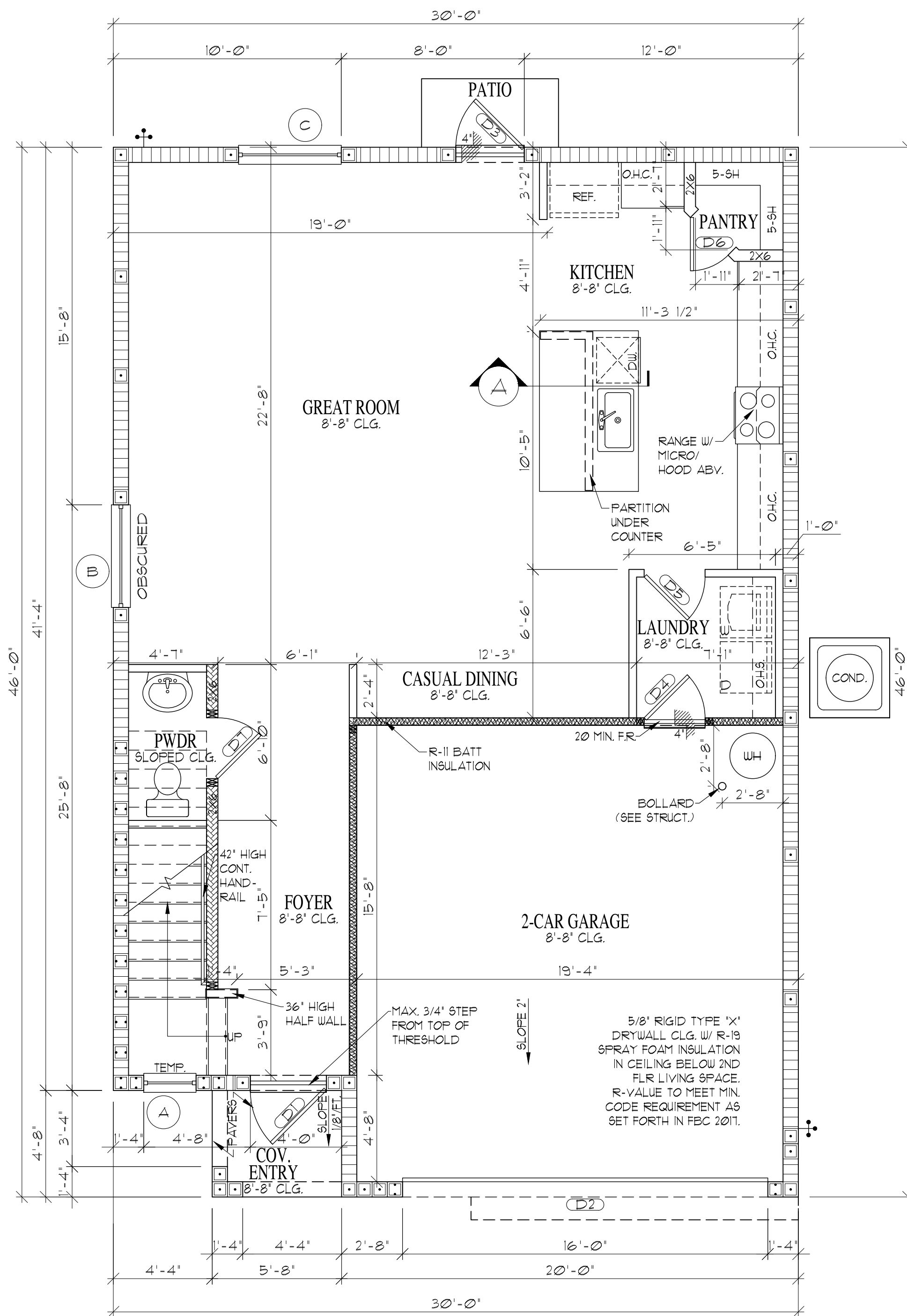
ARCHITECT:
STATE OF FLORIDA

JAMES CANTWELL
AR NO 12079

PLAN
DATE: 08/17/20

SCALE: AS NOTED

SHEET NO:
A1C



SQ. FT. CALC.'S	
1ST FLOOR LIVING	931 SQ. FT.
2ND FLOOR LIVING	1281 SQ. FT.
TOTAL LIVING	2218 SQ. FT.
COVERED ENTRY ELEV. 'S'	26 SQ. FT.
2 CAR GARAGE	403 SQ. FT.
PATIO	18 SQ. FT.
TOTAL ELEVATION 'S'	2665 SQ. FT.

WALL LEGEND	STAIR DATA
INTERIOR BEARING WALL EXTERIOR C.B.S. WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS -ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	16 RISERS @ 7 9/16" 15 TREADS @ 10"

- GENERAL NOTES:
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ARCHITECTS

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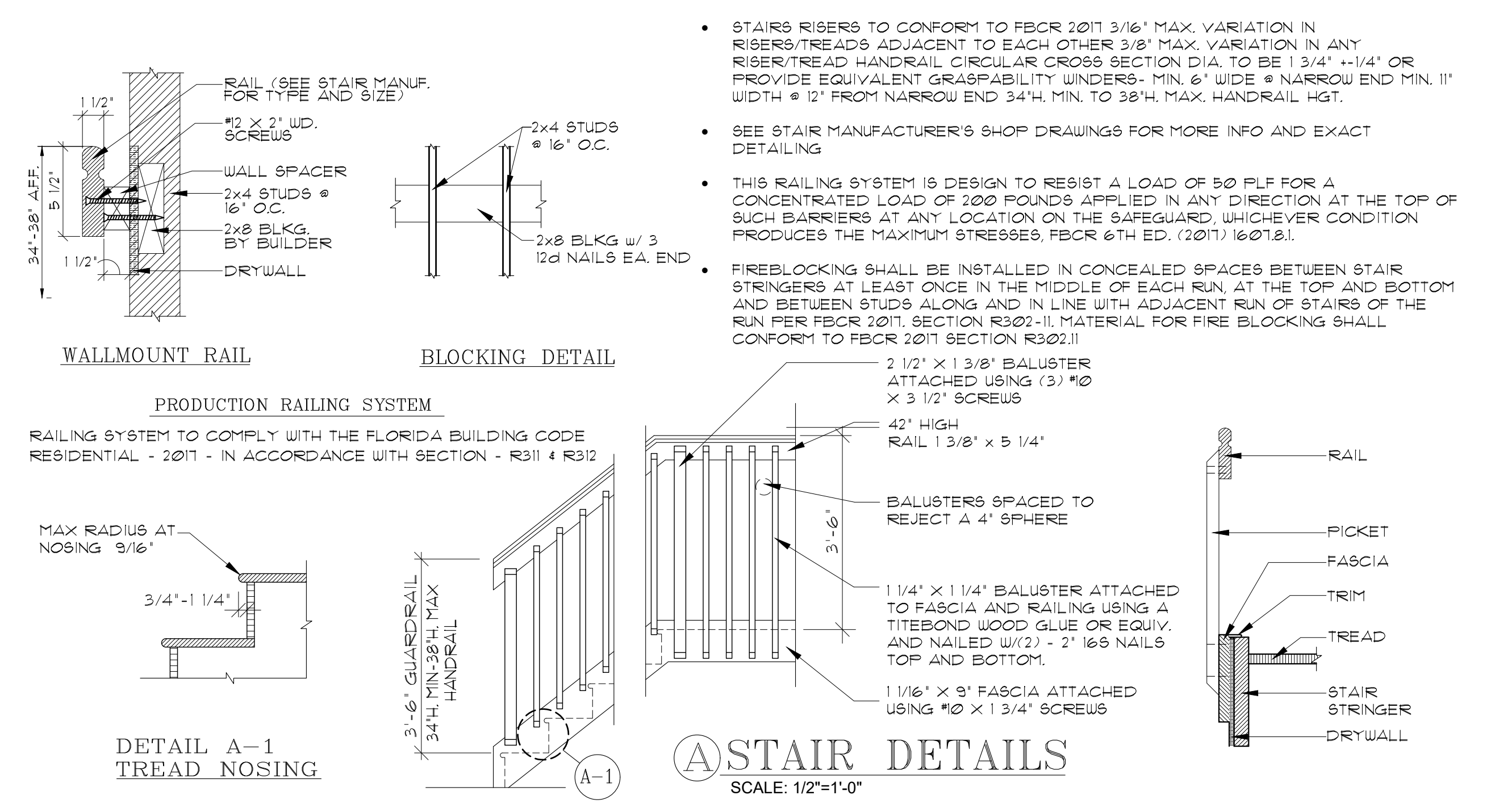
DATE	DESCRIPTION

LENNAR
 8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.037/20101
 LENNAR# #
 VERSION:
 ATLANTA 1871, "C" & "S"
 GARAGE SWING:
 RIGHT
 PAGE:
 FIRST FLOOR
 PLAN
 ELEVATION "S"
 160 MPH EXPOSURE C

ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

PLAN DATE: 08/17/20
 SCALE: AS NOTED
 SHEET NO:
 A1S



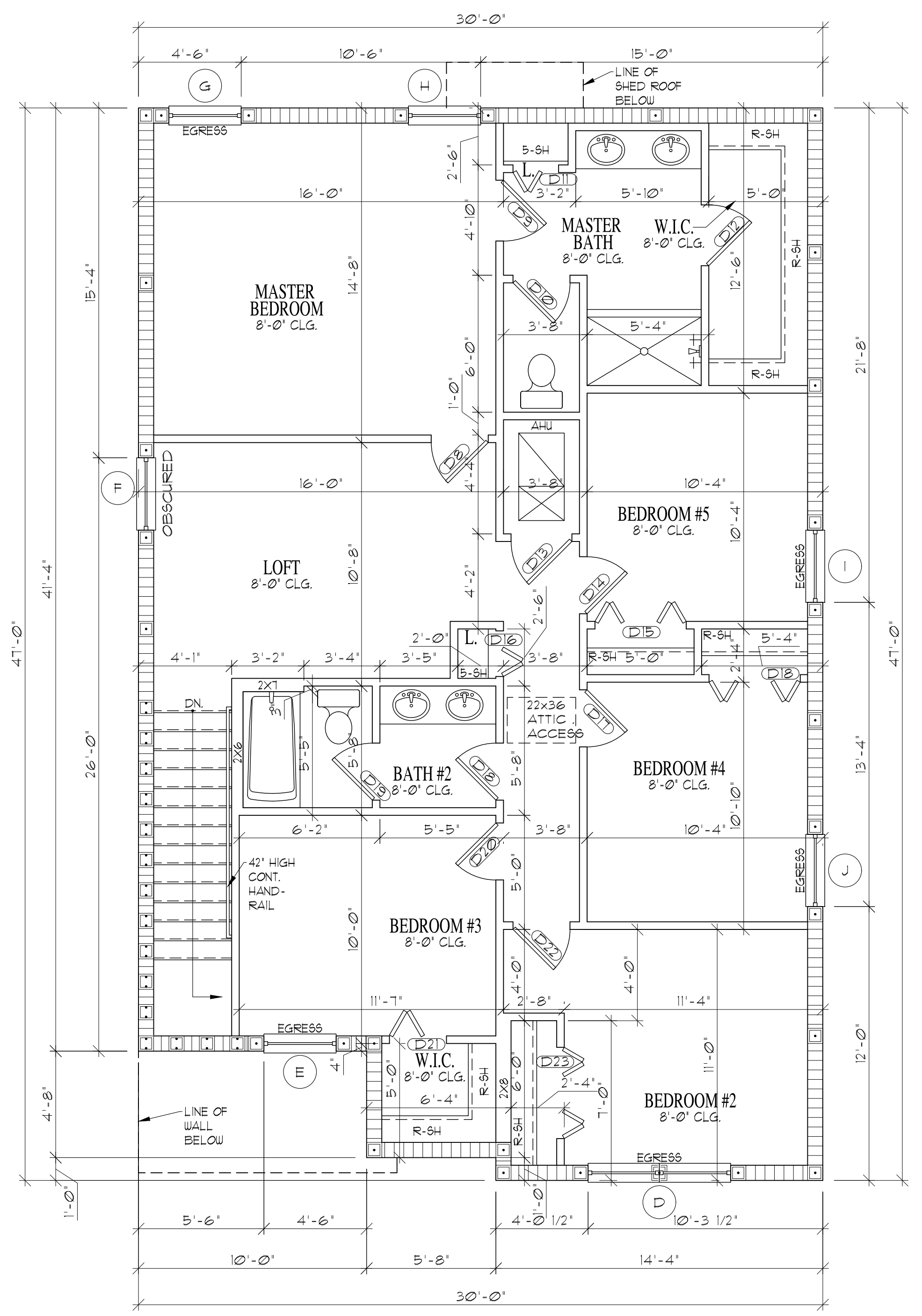


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SQ. FT. CALC.'S	
1ST FLOOR LIVING	931 SQ. FT.
2ND FLOOR LIVING	1281 SQ. FT.
TOTAL LIVING	2218 SQ. FT.
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WALL LEGEND	STAIR DATA
INTERIOR BEARING WALL EXTERIOR C.B.S. WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS -ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	16 RISERS @ 7 9/16" 15 TREADS @ 10"



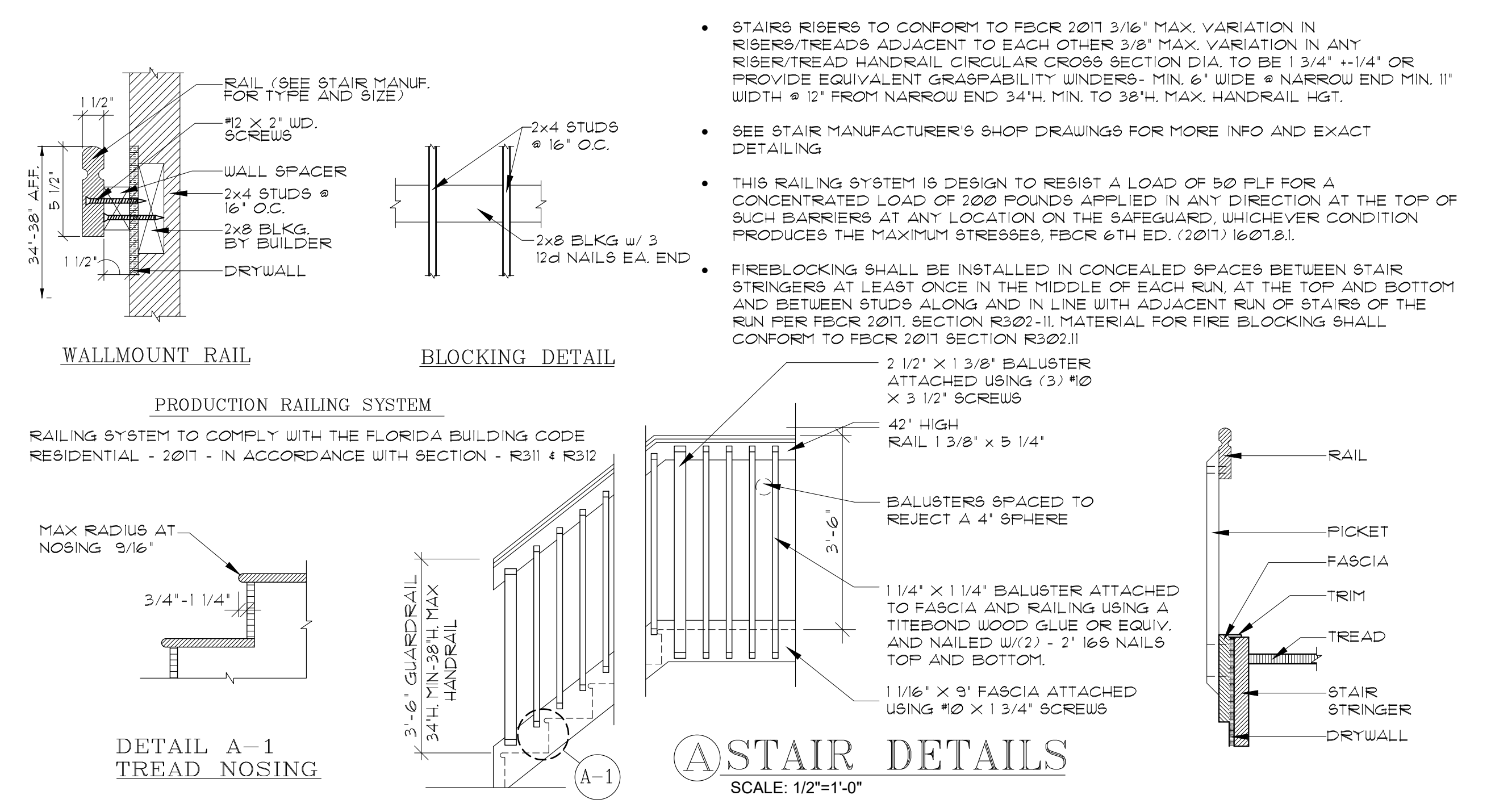
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LENNAR
8895 N. Military Trail, Suite 101-B
Palm Beach Gardens, FL 33410
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ELEVATION "C"
160 MPH EXPOSURE C

ARCHITECT:
STATE OF FLORIDA
JAMES CANTWELL
AR NO 12079

PLAN DATE: 08/17/20
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A2C

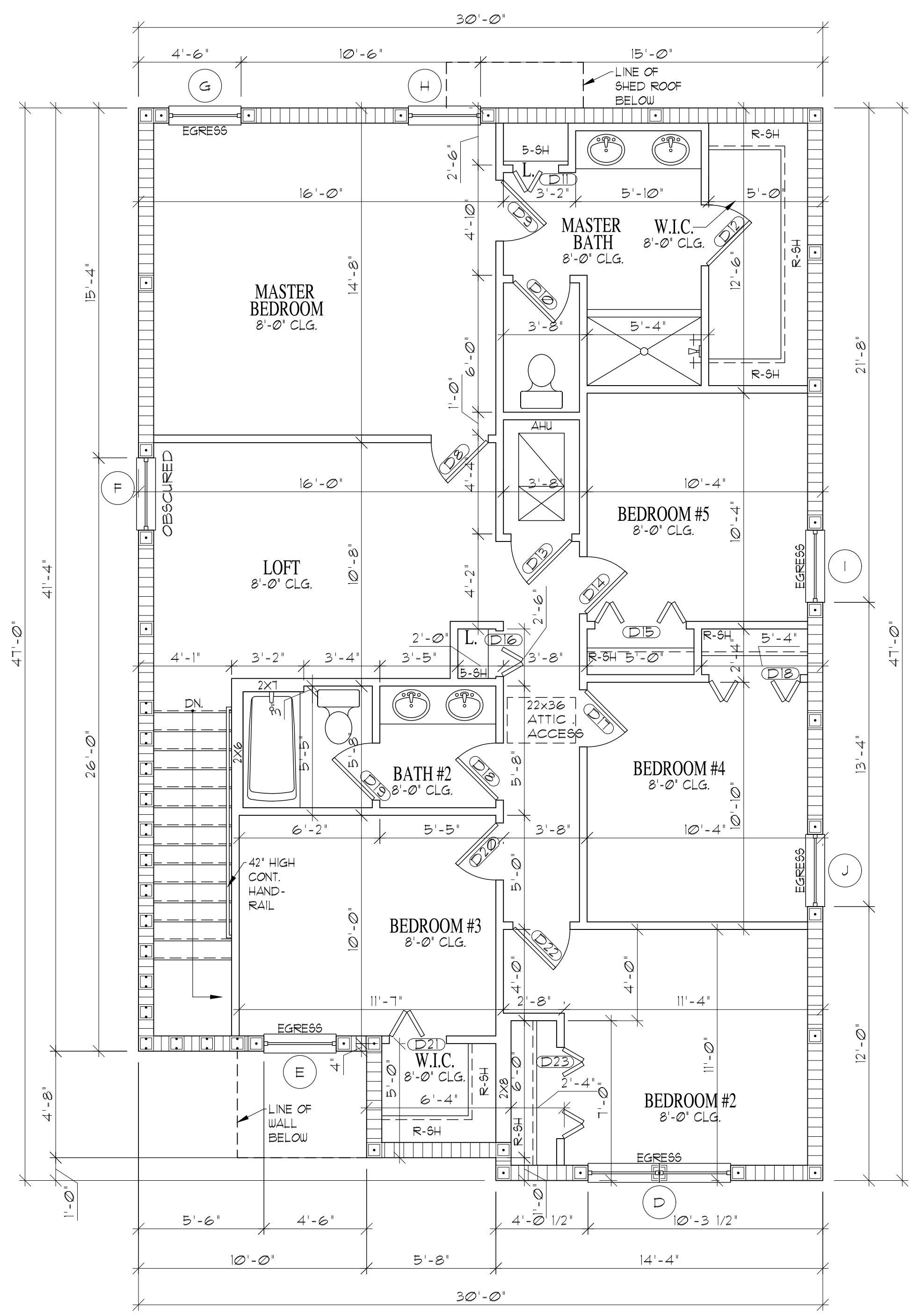


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SQ. FT. CALC.'S	
1ST FLOOR LIVING	931 SQ. FT.
2ND FLOOR LIVING	1281 SQ. FT.
TOTAL LIVING	2218 SQ. FT.
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WALL LEGEND	STAIR DATA
INTERIOR BEARING WALL EXTERIOR C.B.S. WALL SEE ELEVATION FOR BEAM/BEARING HEIGHTS -ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	16 RISERS @ 7 9/16" 15 TREADS @ 10"



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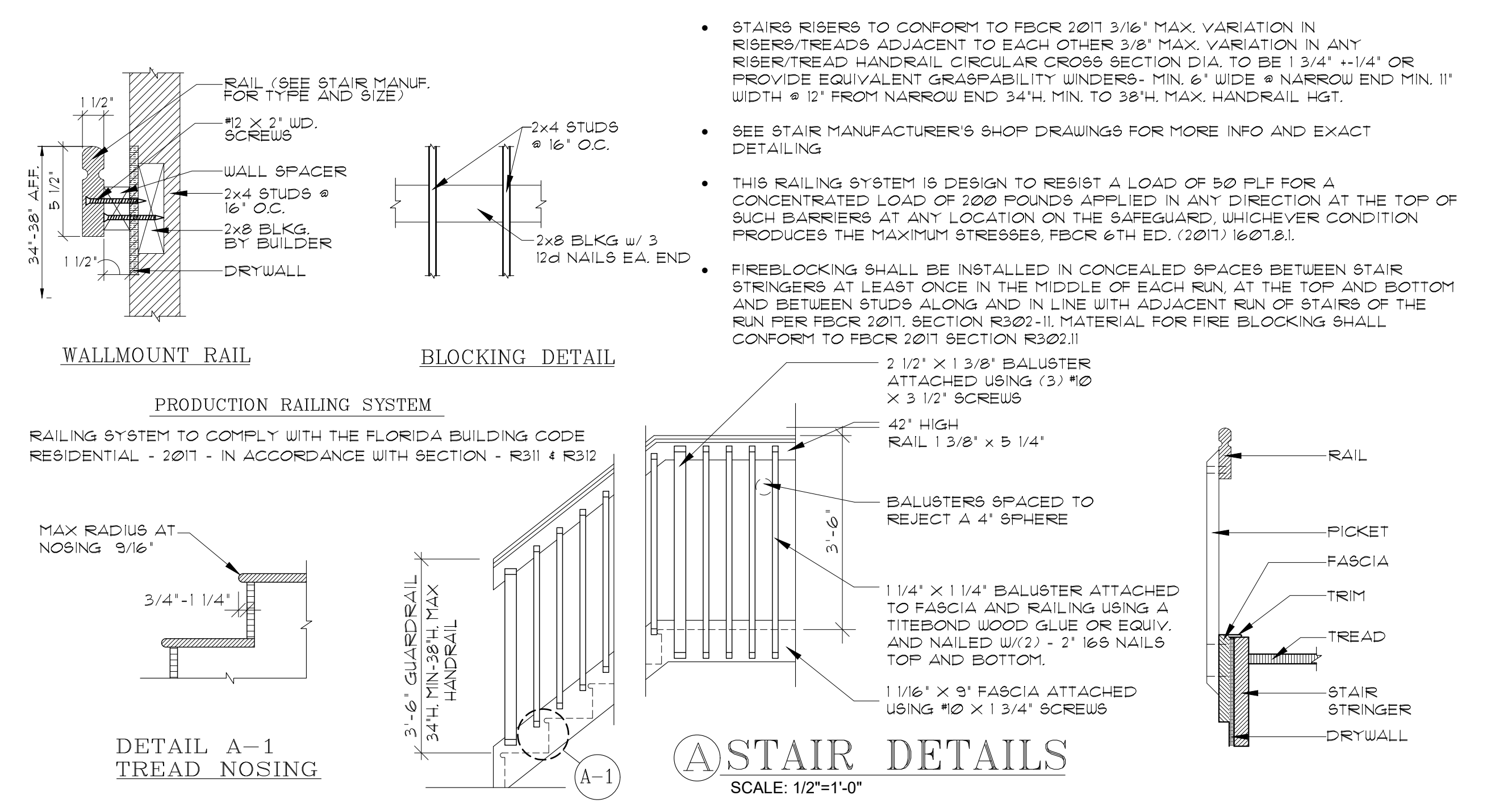
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PAGE:
SECOND FLOOR
PLAN
ELEVATION "S"
160 MPH EXPOSURE C

ARCHITECT:
STATE OF FLORIDA

JAMES CANTWELL
AR NO 12079

PLAN DATE: 08/17/20
SCALE: AS NOTED
SHEET NO:

A2S



WALLMOUNT RAIL
BLOCKING DETAIL
PRODUCTION RAILING SYSTEM
RAILING SYSTEM TO COMPLY WITH THE FLORIDA BUILDING CODE RESIDENTIAL - 2011 - IN ACCORDANCE WITH SECTION - R311.4 R312



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ELEVATION "C"
FRONT & REAR

160 MPH EXPOSURE C

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JAMES CANTWELL
AR NO 12079

PLAN DATE: 08/17/20
SCALE: AS NOTED
SHEET NO:

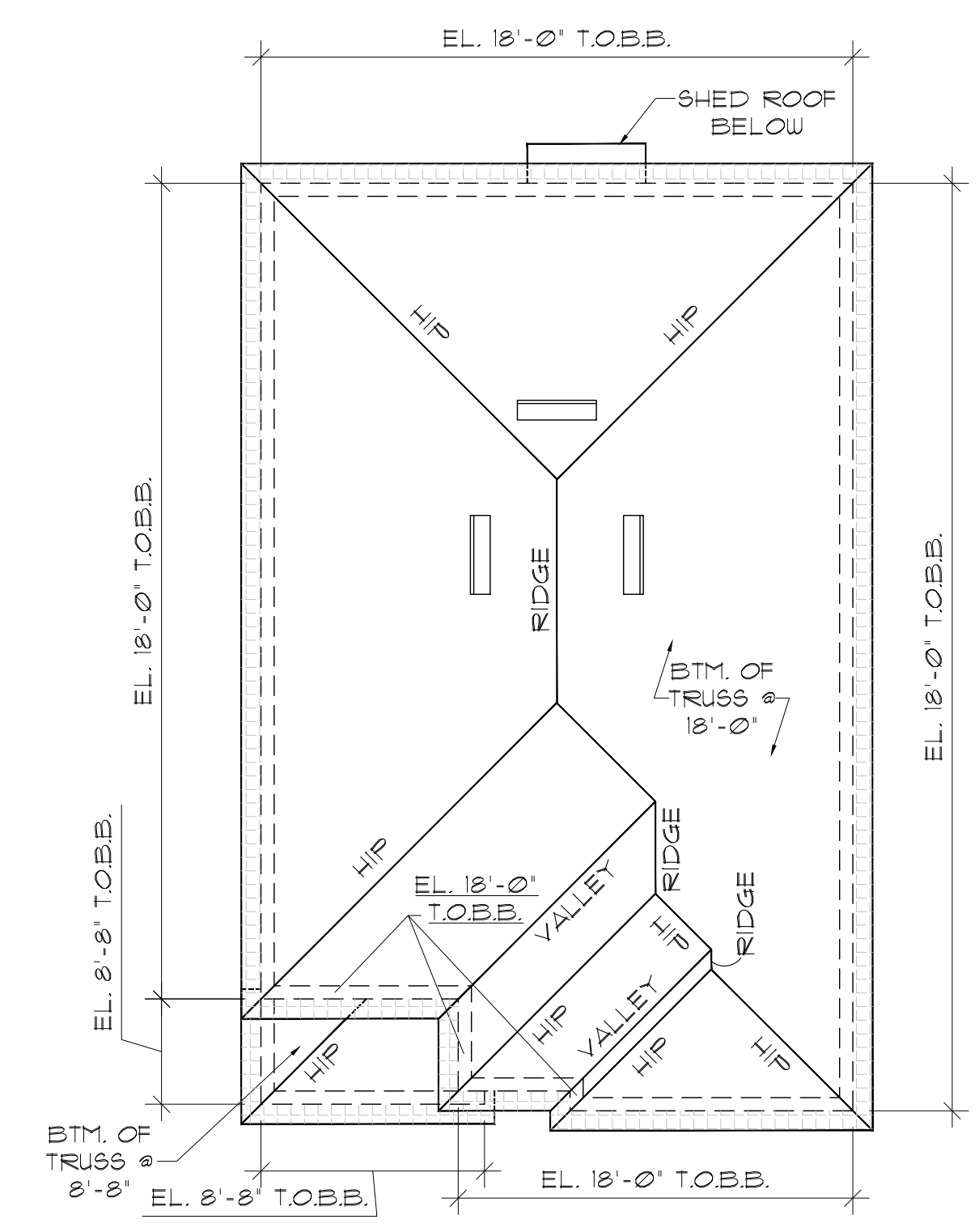
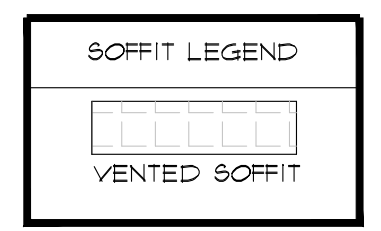
A3C

AREA: GABLE	=	148.52 SF
NET FREE VENTILATION ON AREA (4.0/12)	=	12.38 SF
REQUIRED VENTILATION AT 12.38	=	12.38 SF
AREA: SHED	=	148.70 SF
NET FREE VENTILATION ON AREA (4.0/12)	=	12.39 SF
REQUIRED VENTILATION AT 12.39	=	12.39 SF
AREA: TOTAL	=	297.22 SF
NET FREE VENTILATION ON AREA (4.0/12)	=	24.77 SF
REQUIRED VENTILATION AT 24.77	=	24.77 SF
AREA: COV. ENTRY	=	10.00 SF
NET FREE VENTILATION ON AREA (4.0/12)	=	8.33 SF
REQUIRED VENTILATION AT 8.33	=	8.33 SF
AREA: TOTAL	=	307.22 SF
NET FREE VENTILATION ON AREA (4.0/12)	=	24.77 SF
REQUIRED VENTILATION AT 24.77	=	24.77 SF

2ND FLOOR ROOF

ROOF VENTILATION CALCULATION PER FBC 1203.2	
REQUIRED VENTILATION:	
54 SF / 150	= 0.33 SF.
SOFFIT VENTILATION PROVIDED:	
0.49 SF/L.F. x 19.6 L.F.	= 0.96 SF.
GENERAL NOTE: 1 SQUARE INCHES OF NET FREE AREA PROVIDES 0.49 SF. OF VENTILATION PER LINEAR FOOT	

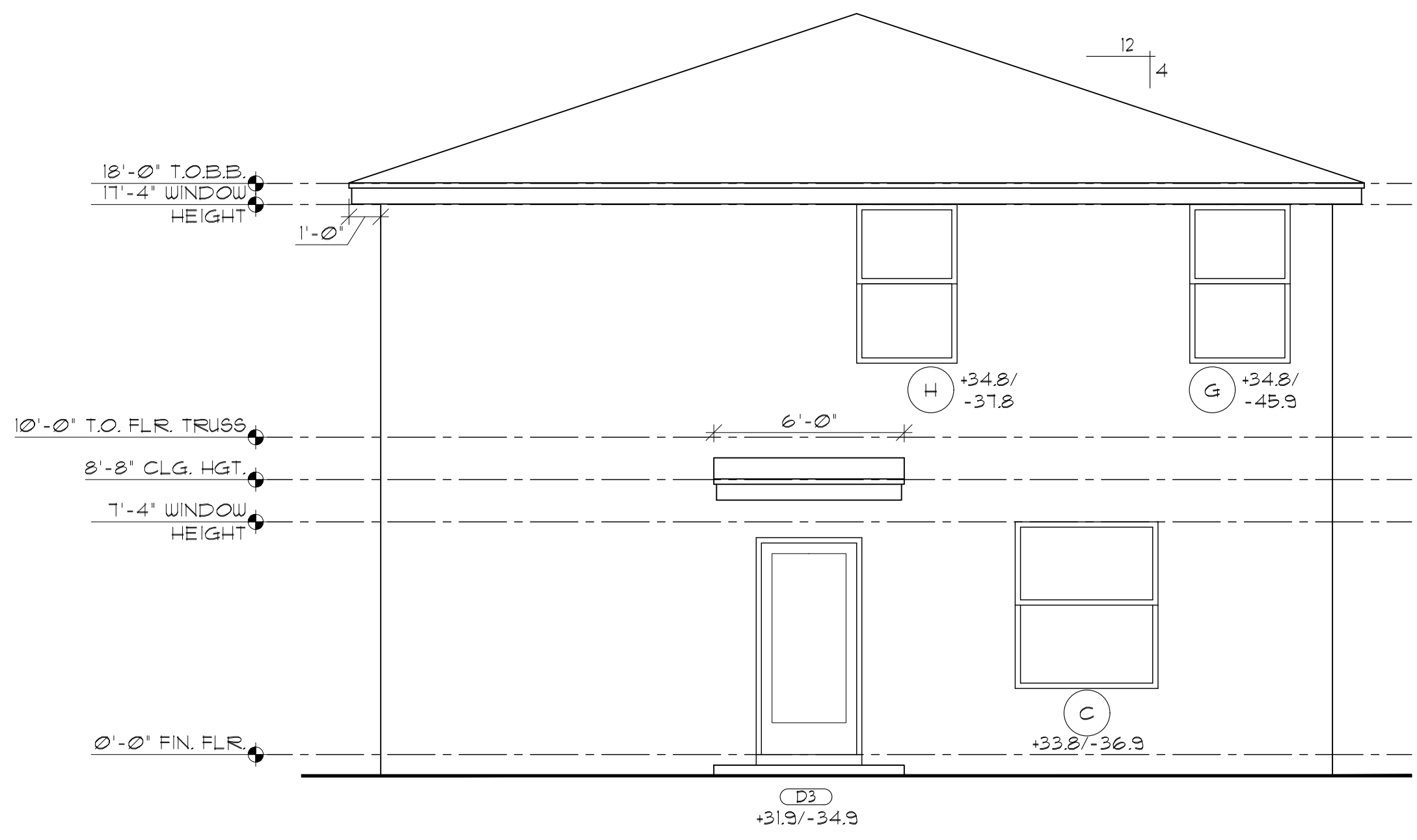
COV. ENTRY ROOF



ROOF PLAN ELEV. "C"
SCALE: 1/8" = 1'-0"



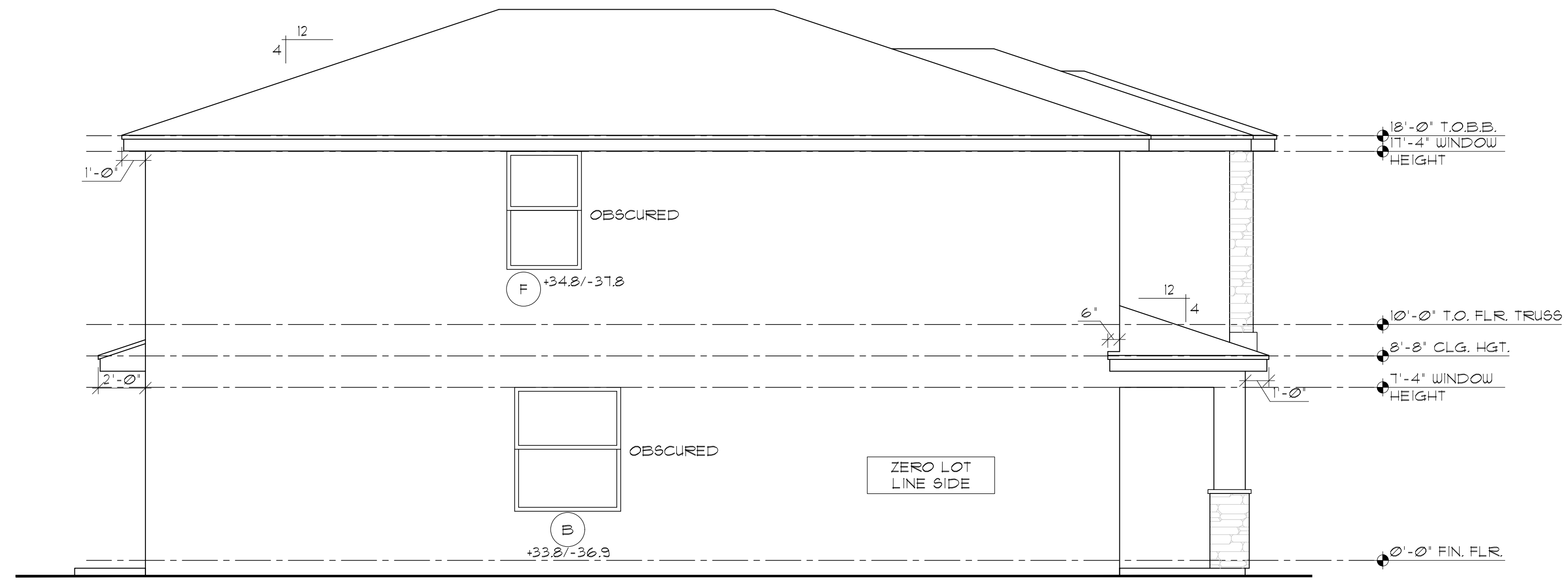
2216 BOSTON
FRONT ELEVATION C W/ STONE
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

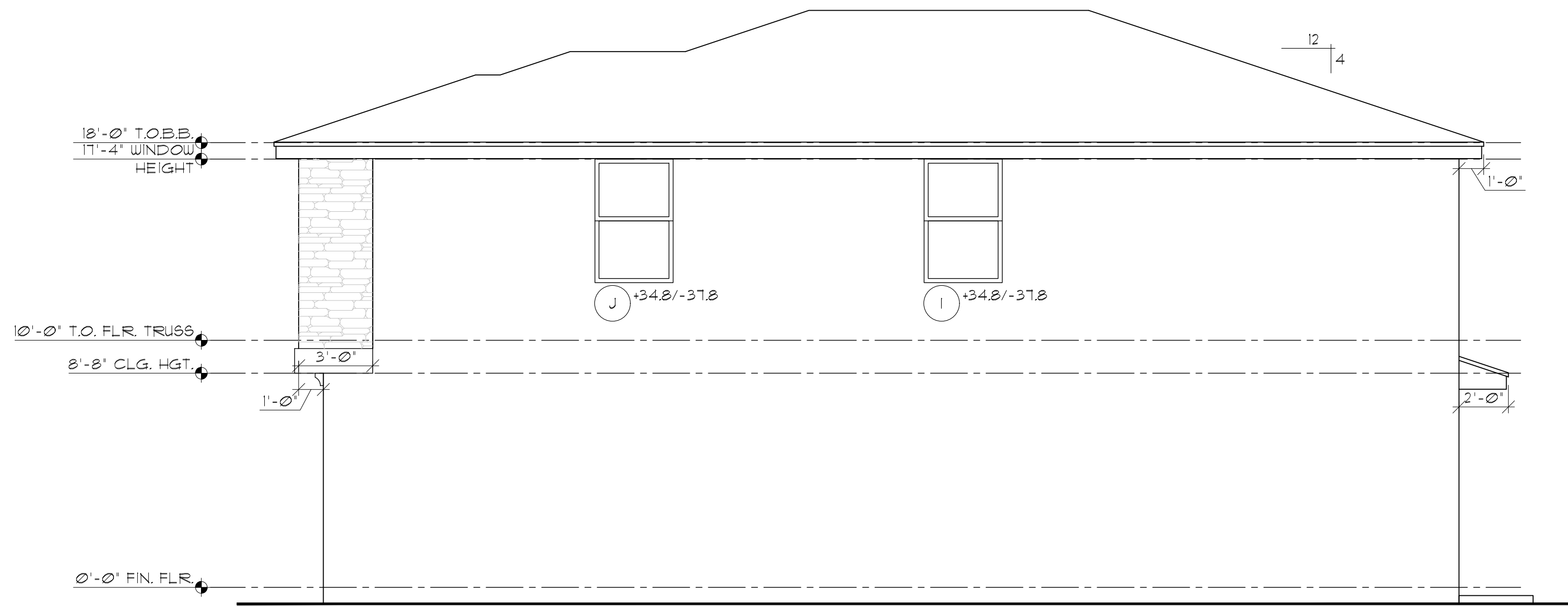


1441 N. RONALD REAGAN BLVD
 LONGWOOD, FL 32750
 PH: 407-774-6078
 FAX: 407-774-4078
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 AA #: 0003325



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

DATE

LENNAR

8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410

Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT

(AMERICAN DREAM SERIES)
 PROJECT# 03300.037/20101

LENNAR# #

VERSION:
 ATLANTA 1871, "C" & "S"
 GARAGE SWING:
 RIGHT

PAGE:

ELEVATION "C"
 LEFT & RIGHT

160 MPH EXPOSURE C

ARCHITECT:
 STATE OF FLORIDA

JAMES CANTWELL
 AR NO 12079

PLAN
 DATE: 08/17/20

SCALE: AS NOTED
 SHEET NO:

A4C



1441 N. RONALD REAGAN BLVD
LONGWOOD, FL 32750
PH: 407-774-6078
FAX: 407-774-4078
www.abdesigngroup.com
AA #: 0003325

DATE	DESCRIPTION

LENNAR
8895 N. Military Trail, Suite 101-B
Palm Beach Gardens, FL 33410
Palm Atlantic Division

SUBDIV. & LOT:
BANYAN COURT

(AMERICAN DREAM SERIES)
PROJECT# 03300.037/20101
LENNAR# #
VERSION:
ATLANTA 1871, "C" & "S"
GARAGE SWING:
RIGHT
PAGE:

ELEVATION "S"
FRONT & REAR

160 MPH EXPOSURE C

ARCHITECT:
STATE OF FLORIDA

JAMES CANTWELL
AR NO 12079

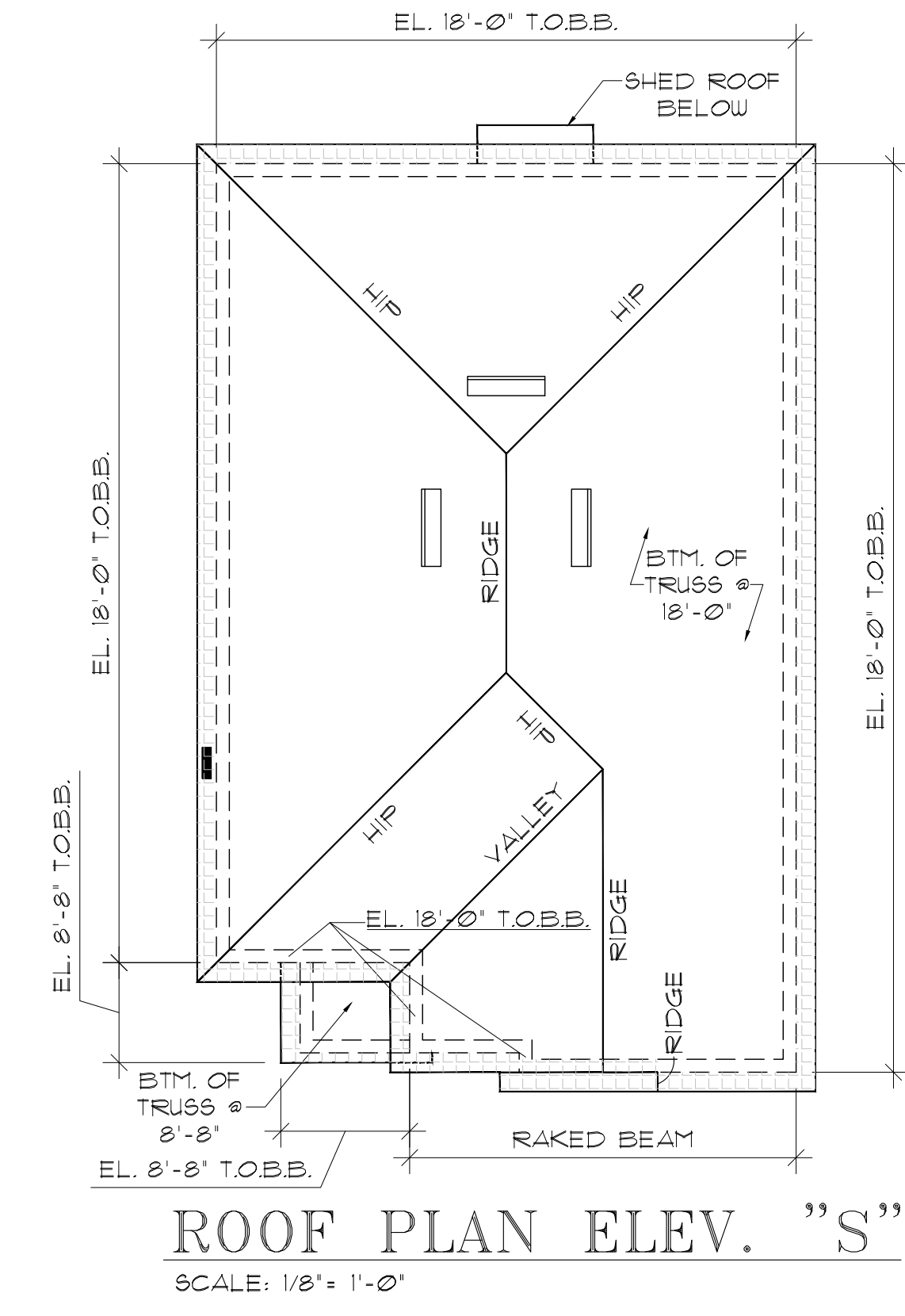
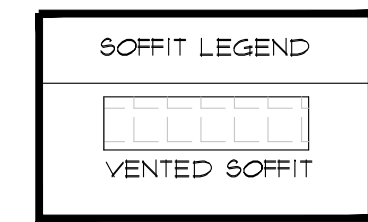
PLAN DATE: 08/17/20
SCALE: AS NOTED
SHEET NO:
A3S

AREA OF ATTIC	=	1340 SQ. FT.
NET AREA EXPOSED ON BATH ROOF (S)	=	410 SQ. FT.
ROOF PITCH FROM ATTIC AREA	=	8:12
VENT. AT FIN. FLOOR	=	0.48
VENT. AT FIN. FLOOR (MIN. REQUIRED FOR FIVE)	=	0.48
VENT. REQUIREMENT AT FIN. FLOOR	=	1.35
VENT. REQUIREMENT AT FIN. FLOOR (MIN. REQUIRED FOR FIVE)	=	1.35
SOFFIT AREA AT FIN. FLOOR	=	3270 SQ. FT.
AREA OF GARAGE COV. ROOF	=	3480 SQ. FT.
AREA OF GARAGE COV. ROOF (MIN. REQUIRED FOR FIVE)	=	3480 SQ. FT.
AREA OF GARAGE COV. ROOF (MIN. REQUIRED FOR FIVE)	=	3480 SQ. FT.
AREA OF GARAGE COV. ROOF (MIN. REQUIRED FOR FIVE)	=	3480 SQ. FT.

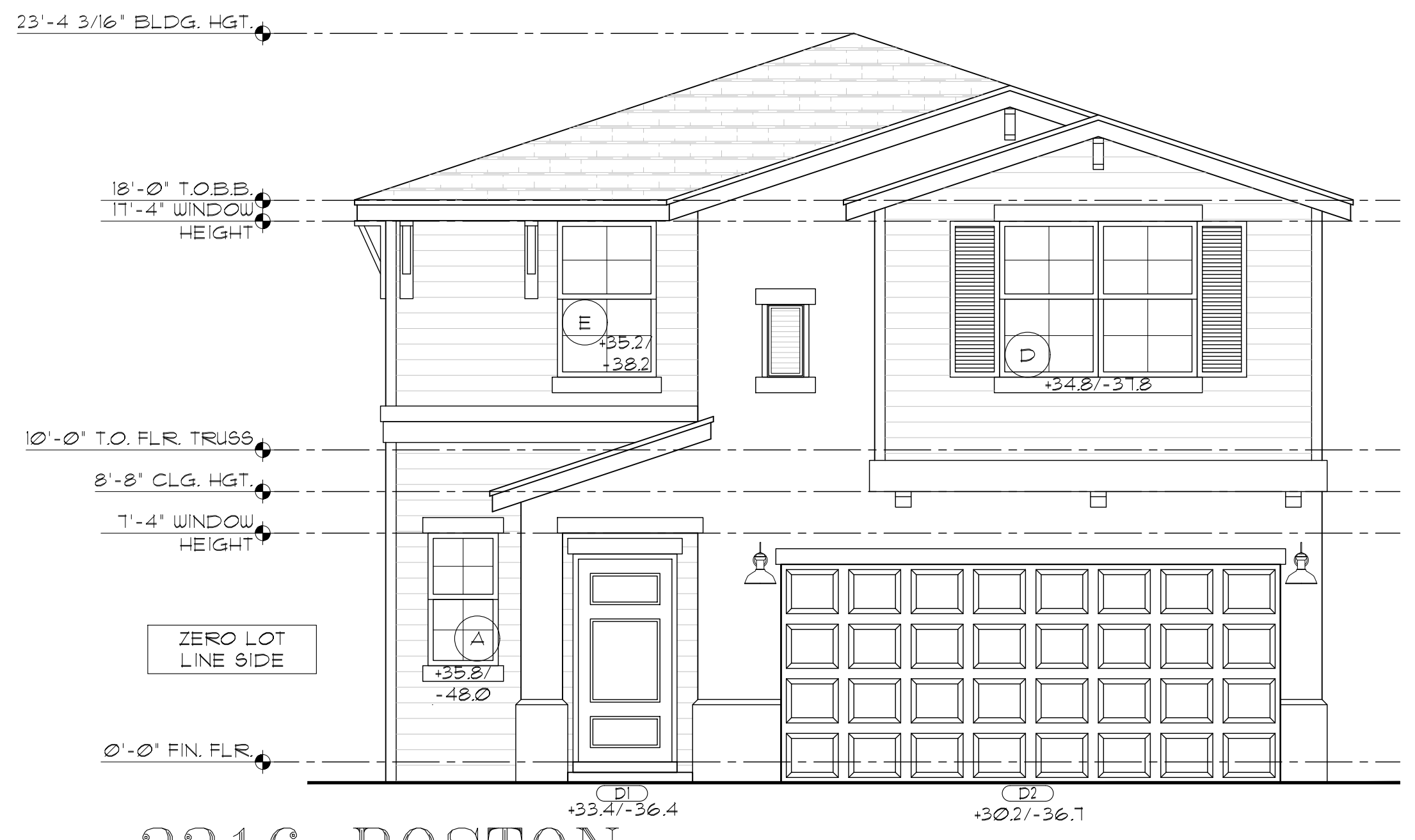
2ND FLOOR ROOF

ROOF VENTILATION CALCULATION PER FBC 12032
REQUIRED VENTILATION: $\frac{26.88}{150} = 0.18$ SF.
SOFFIT VENTILATION PROVIDED: $0.48 \text{ SF./L.F.} \times 13 \text{ L.F.} = 6.24 \text{ SF.}$
GENERAL NOTE: 1 SQUARE INCHES OF NET FREE AREA PROVIDES 0.48 SF. OF VENTILATION PER LINEAR FOOT.

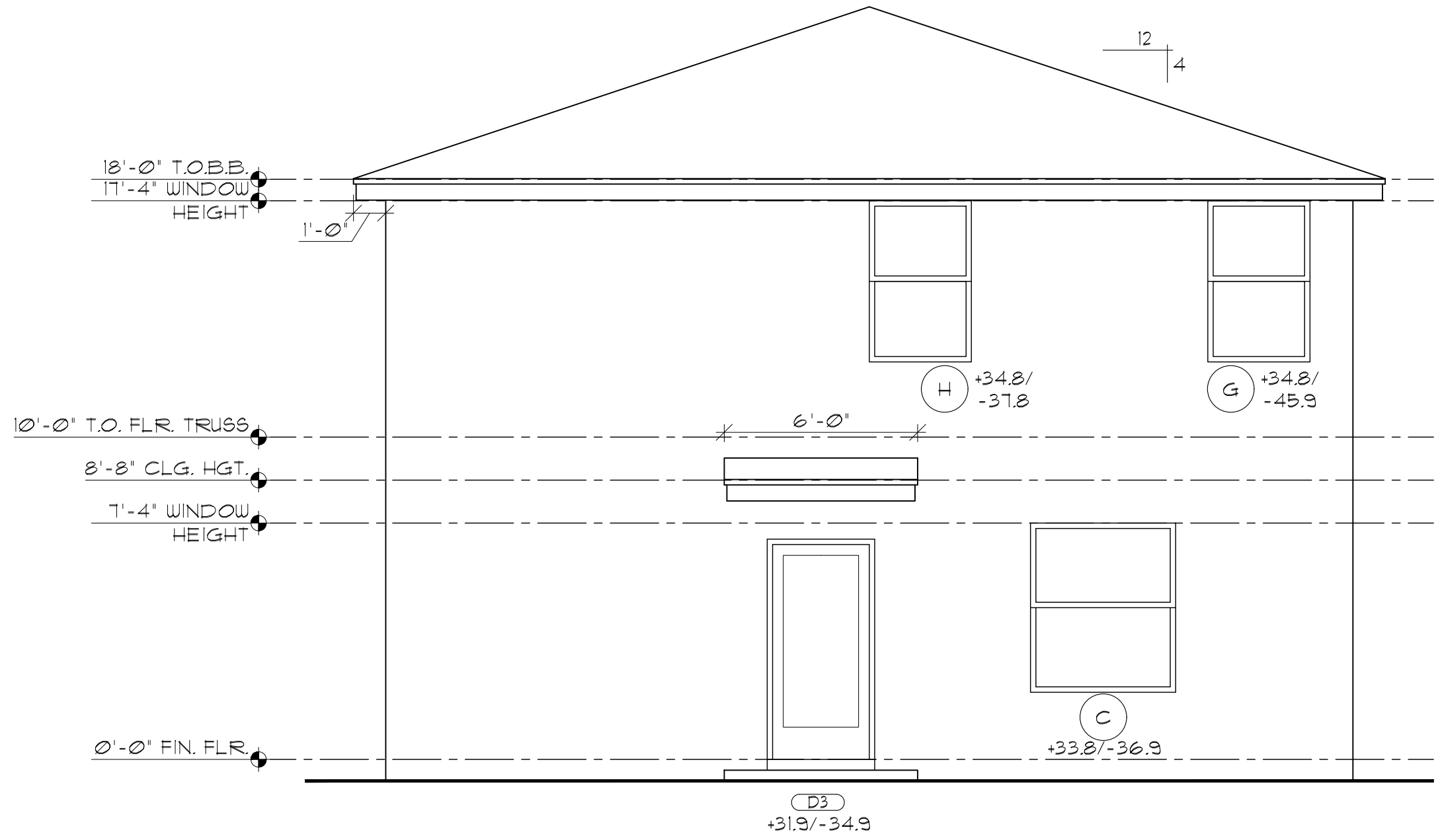
COV. ENTRY ROOF



ROOF PLAN ELEV. "S"
SCALE: 1/8" = 1'-0"



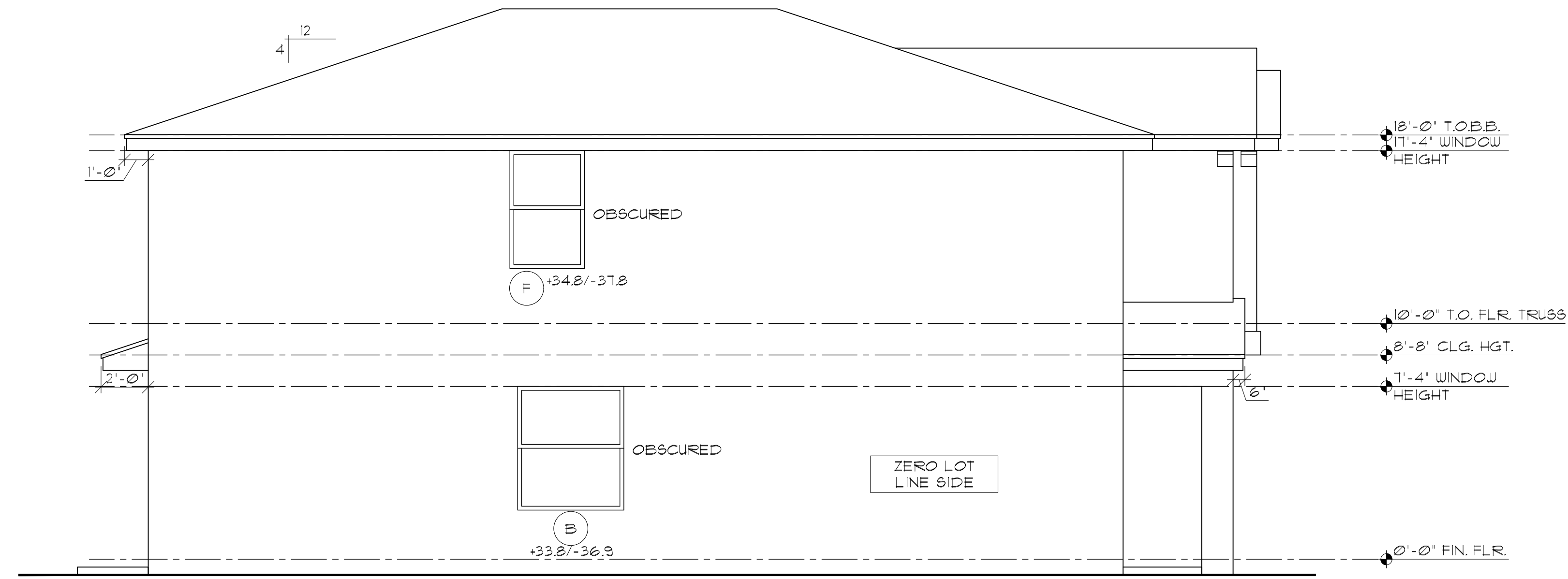
2216 BOSTON FRONT ELEVATION S BRITISH WEST INDIES
SCALE: 1/4" = 1'-0"



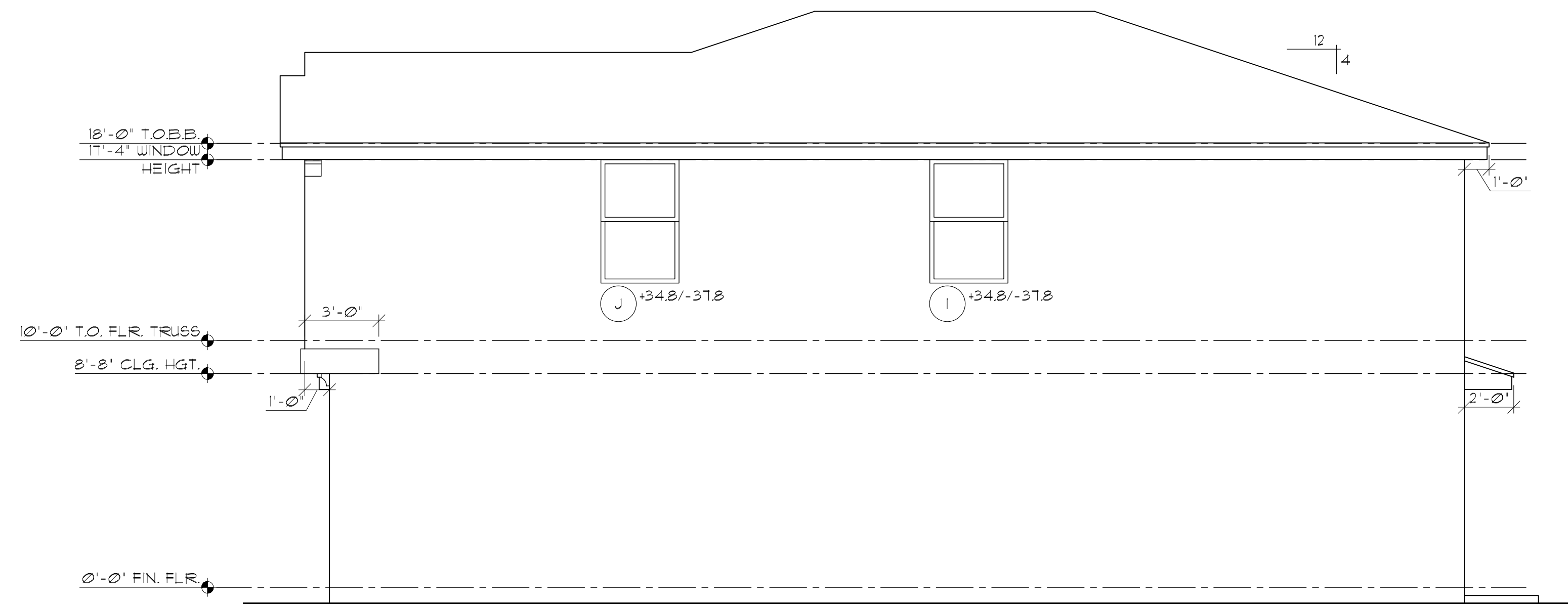
REAR ELEVATION
SCALE: 1/4" = 1'-0"



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LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

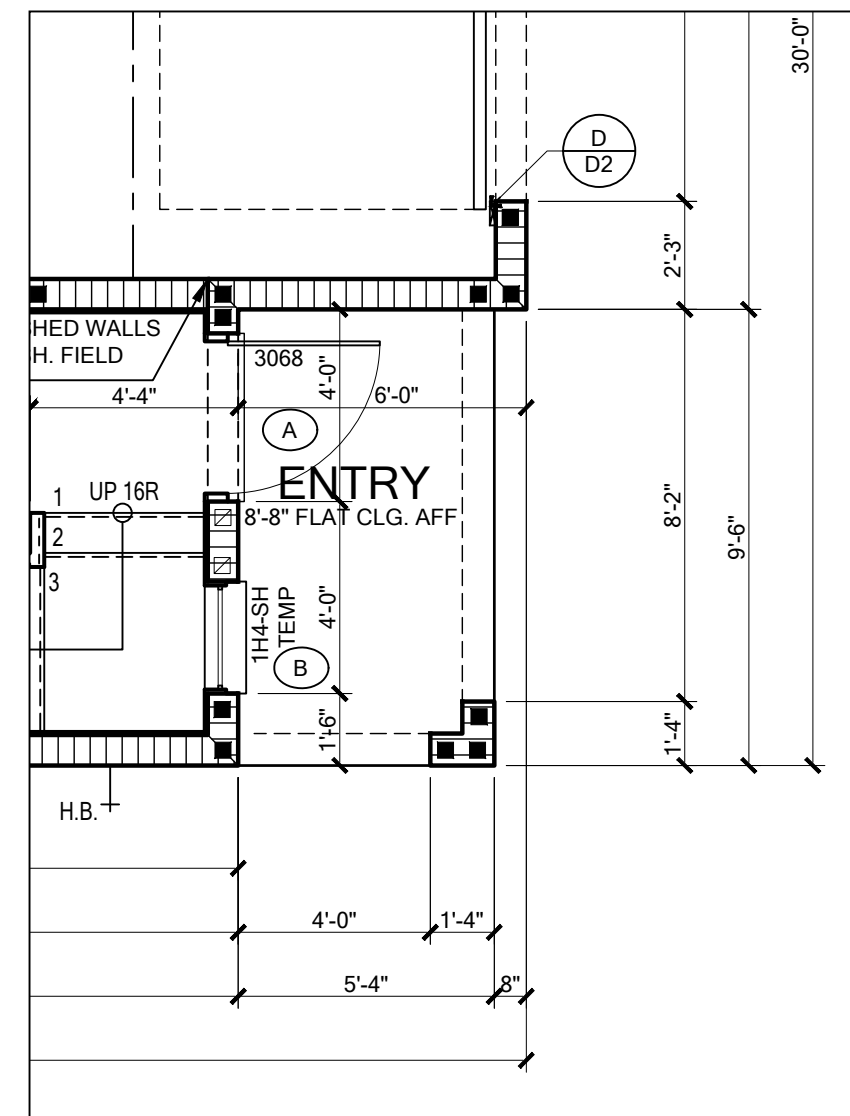
DATE	DESCRIPTION

LENNAR
 8895 N. Military Trail, Suite 101-B
 Palm Beach Gardens, FL 33410
 Palm Atlantic Division

SUBDIV. & LOT:
 BANYAN COURT
 (AMERICAN DREAM SERIES)
 PROJECT# 03300.037/20101
 LENNAR# #
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 ATLANTA 1871, "C" & "S"
 GARAGE SWING:
 RIGHT
 PAGE:
 ELEVATION "S"
 LEFT & RIGHT
 160 MPH EXPOSURE C

ARCHITECT:
 STATE OF FLORIDA
 JAMES CANTWELL
 AR NO 12079

PLAN DATE: 08/17/20
 SCALE: AS NOTED
 SHEET NO:
A4S



**FIRST FLOOR
PLAN - ELEV-S**

SCALE: 1/4"=1'-0"

NOTE:
SECTIONS BETWEEN REINFORCED FILLED
CELLS ARE CONSIDERED SHEARWALL
SEGMENTS UNLESS OPENINGS ARE BETWEEN
THEM.

FILLED CELL LEGEND

- CONT. FILLED CELL W/ 3,000 PSI FROM LOWER WALL TO UPPER
- FILLED CELL ABOVE OR BELOW WINDOW, STD. 90° HOOK INTO BOND BEAM OR CONCRETE BEAM W/ 3,000 PSI CONCRETE AND SPACE PER PLAN

MARK	HEADER SIZE	REMARKS
H1	(2) - 2X6 #2 SYP W/ 1/2" FLITCH PLATE	
H2	(2) - 2X8 #2 SYP W/ 1/2" FLITCH PLATE	
H3	(2) - 2X10 #2 SYP W/ 1/2" FLITCH PLATE	
H4	(2) - 2X12 #2 SYP W/ 1/2" FLITCH PLATE	
H5	(2) - 1 3/4" X 11 1/4" LVL 2.0E Fb=2950	
H6	(2) - 1 3/4" X 9 1/4" LVL 2.0E Fb=2950	
H7	(2) - 1 3/4" X 16" LVL 2.0E Fb=2950	
H8	(2) - 1 3/4" X 7 1/4" LVL 2.0E Fb=2950	
R.A.G.	(2) - 2X4 #2 SYP W/ 1/2" FLITCH PLATE	Follow Q/S4. See Plan for Bearing Wall Call Out When Straps are Required

* VERIFY W/ PLAN CORRECT LENGTH OF HEADER REQUIRED ** SEE PLAN FOR DETAIL CALL OUT FOR CONNECTIONS AND REQUIRED STUDS

SIZE	R.O. CMU (Flange)	R.O. FRAME (Fin)	TYPE
12	20 X 26	18 1/2 X 25 1/2	S.H.
13	20 X 38 1/2	18 1/2 X 37 1/2	S.H.
14	20 X 50 1/2	18 1/2 X 50	S.H.
15	20 X 63	18 1/2 X 62 1/2	S.H.
16	20 X 72	18 1/2 X 71 1/2	S.H.
1H2	27 1/4 X 26	26 X 25 1/2	S.H.
1H3	27 1/4 X 38 1/2	26 X 37 1/2	S.H.
1H4	27 1/4 X 50 1/2	26 X 50	S.H.
1H5	27 1/4 X 63	26 X 62 1/2	S.H.
1H6	27 1/4 X 72	26 X 71 1/2	S.H.
22	37 1/2 X 26	36 1/2 X 25 1/2	S.H.
23	37 1/2 X 38 1/2	36 1/2 X 37 1/2	S.H.
24	37 1/2 X 50 1/2	36 1/2 X 50	S.H.
25	37 1/2 X 63	36 1/2 X 62 1/2	S.H.
26	37 1/2 X 72	36 1/2 X 71 1/2	S.H.
DOUBLE 2 WIDE	75" TALL	73" WIDE	S.H.
32	54 X 26	52 1/2 X 25 1/2	S.H.
33	54 X 38 1/2	52 1/2 X 37 1/2	S.H.
34	54 X 50 1/2	52 1/2 X 50	S.H.
35	54 X 63	52 1/2 X 62 1/2	S.H.
36	54 X 72	52 1/2 X 71 1/2	S.H.
39X59	40 X 59	N/A	S.H.
DOUBLE 39X59	79 X 59	N/A	S.H.

General Notes
R302.5 Dwelling/Garage Opening/Penetration Protection. Opening and penetrations through walls or ceilings separating the dwelling from the garage shall be in accordance with sections R302.5.1 through R302.5.3.

R302.5.1 Opening Protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Door between garage and residence shall be equipped with solid doors not less than 1 3/8" in thickness, solid or honeycomb-core steel doors not less than 1 3/8" thick, or 20-minute fire-rated doors.

R302.5.2 Duct Penetration. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel, 1 inch minimum rigid nonmetallic class 0 or class 1 duct board, or other approved material and shall have no openings into the garage.

R302.5.3 Other Penetrations. Penetrations through the separation required in Section R302.6 shall be protected as required by section R302.11, Item 4.

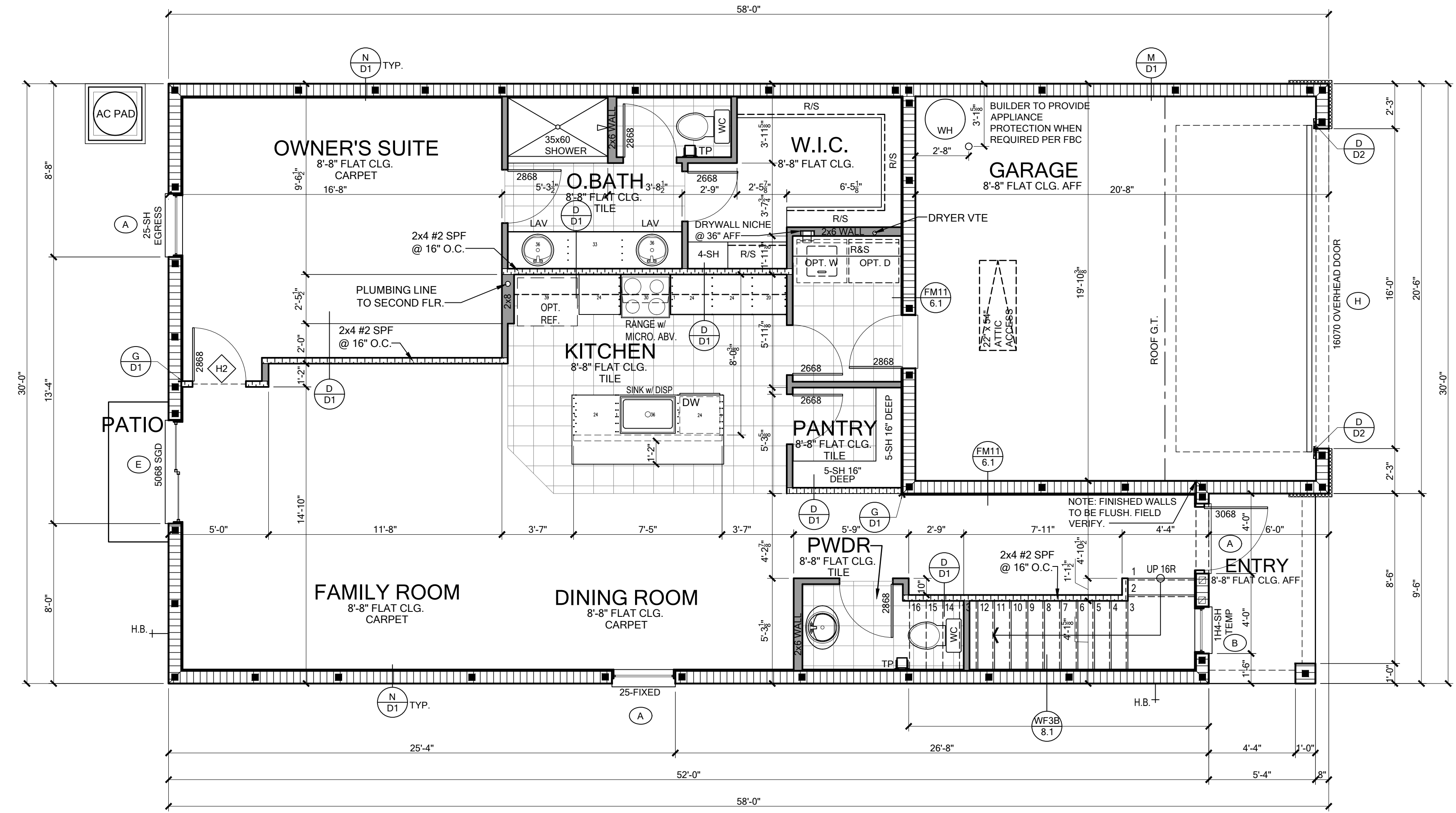
R302.6 Dwelling/Garage Fire Separation. The garage shall be separated from the dwelling as per the following:
 • From the Residence & Attics - Not Less than 1/2" Gyp. Bd. or equivalent applied to garage side.
 • From Habitable Rooms Above Garage - Not Less than 5/8" Type-X Gyp. Bd. or equivalent.
 • Structure(s) Supporting Floor/Ceiling Assemblies - Not Less than 1/2" Gyp. Bd. or equivalent.
 • Garages Located Less Than 3 Feet From Dwelling On The Same Lot - Not Less than 1/2" Gyp. Bd. or equivalent applied to the interior side of exterior walls that are within this area.

R312.2.1 Window Sills. In dwelling units, where the top of the sill of an operable window is located less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished grade or other surface below the exterior of the building, the operable window shall comply with one of the following:
 1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
 2. Operable windows that are provided with window fall prevention devices that comply with ASTM F2090.
 3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

Chapter 45 Private Swimming Pools, Section R4501.17.1.9 All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm complying with UL 2017 that has a minimum sound pressure rating of 85 db at 10 feet. Any deactivation switch shall be located at least 54 inches above the threshold of the access. Separate alarms are not required for each door or window if sensors wired to a central alarm sound when contact is broken at any opening.

M1507.2 Recirculation of Air. Exhaust air from Bathrooms and toilet rooms shall not be recirculated within a residence or to another dwelling unit and shall be exhausted directly to the outdoors. Exhaust air from bathrooms and toilet rooms shall not discharge into an attic, crawl space or other areas inside the building.

GAS APPLIANCES
G.C. to verify location of gas riser before commencement of work. Where gas water heaters are installed, water heaters shall be installed a min. of 18" above fr. per FBCR G2408.2. Except where appliances that are listed as flammable vapor ignition resistant.



**FIRST FLOOR
PLAN - ELEV-C**

SCALE: 1/4"=1'-0"

**OPENING PRESSURES
ENCLOSED - EXPOSURE "C"**

A	+33.5 / -36.3	B	+33.5 / -44.8
C	+32.0 / -34.8	D	+32.0 / -41.8
E	+30.0 / -32.8	F	+30.0 / -37.8
G	+29.5 / -33.4	H	+28.3 / -31.5

160 MPH

NOTE: WIND SPEED INDICATED ABOVE IS AN "ULTIMATE" WIND SPEED. THE WIND PRESSURES LISTED ABOVE ARE ALLOWABLE PRESSURES

WALL LEGEND

	MASONRY HGT. @ 8'-8" AFF
	TYP. 2x4 #2 SPF @ 24" O.C. MAX. U.N.O.
	BEARING WALL

INTERIOR BEARING WALLS NOTED "FLOOR BEARING ONLY" ARE FLOOR SYSTEM SUPPORTING ONLY AND REQUIRES NO UPLIFT CONNECTORS TO FLOOR SYSTEM

AREA TABULATION

1ST FLOOR LIVING AREA	1269
2ND FLOOR LIVING AREA	1140
LIVING TOTAL	2409
GARAGE	414
FRONT ENTRY	51
TOTAL AREA	2874
PATIO	21

INSULATION REQ.

LOCATION	R-VALUE / TYPE
EXT CONC WALL	R-4.1 HIGH PERM
EXT FRAME 2 x 4	R-11/R-13 KRAFT FACED
EXT FRAME 2 x 6	R-19 KRAFT FACED
CONDITIONED CEILING	R-30 BLOWN-IN (INSTALL BAFFLES AT EAVE)
GARAGE SEPARATION (GARAGE/LIVING)	R-11/R-13 KRAFT FACED

FOR BUILDING DEPT. USE ONLY

08/18/2020

To the best of the Engineer's knowledge, information and belief, the structural plans and specifications contained within these drawings comply with the 2017 Florida Building Code - Residential 6th Edition. Engineer's signature and seal is only for the structural engineering portions of the drawing pages bearing Engineer's signature and seal.

FDS
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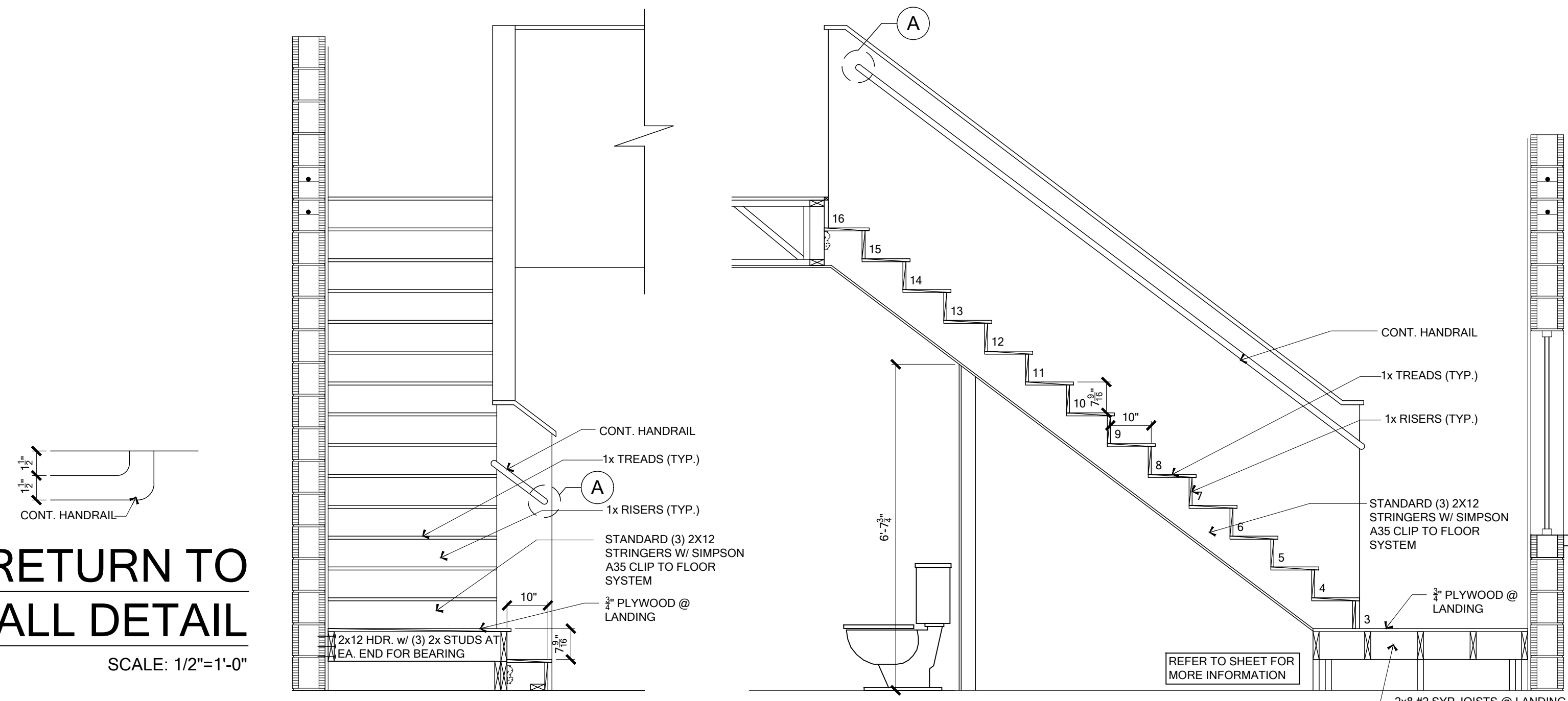
LENNAR
LENNAR Millington Trail | Palm Beach Gardens, FL 33410
www.lennar.com

Version: 1.1
Plan Name: 2382 COLUMBIA (PA)
Community: Banyan Court
Lot: 0000 Block: 0000
Address: Job Address
City and State
Date: 8/18/2020
Lennar No.: 00000 00 0000
Garage: RH

JOB NO : 00-0000
SCALE : AS NOTED
SHEET NO. 1.1

A RETURN TO WALL DETAIL

SCALE: 1/2"=1'-0"



STAIR SECTION

SCALE: 1/2"=1'-0"

STAIR CALCULATIONS:
 TOTAL RISE = 10'-0 3/4"
 (16) RISERS AT 7 9/16"
 (17) TREADS W/ 1" NOSING

Stairway construction shall conform to the FBC Residential 6th Edition (2017) sections R311.7, R312 and R302.7.

Riser height:
 The riser height shall be not more than 7 3/4 inches. The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch.

Tread depth:
 The tread depth shall be not less than 10 inches. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the treads' leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch.

Winders:
 Winders shall have a tread depth of not less than 10 inches measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winders shall have a tread depth of not less than 6 inches at any point within the clear width of the stair.

Nosings:
 The radius of curvature at the nosing shall be not greater than 9/16 inch. A nosing projection not less than 3/4 inch and not more than 1 1/4 inches shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch between two stories, including the nosing at the level of floors and landings. Beveling of nosings shall not exceed 1/2 inch.

Handrails:
 Handrails shall be provided on not less than one side of each continuous run of treads or flight with four or more risers. Handrail height measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches and not more than 38 inches. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches between the wall and the handrails.

Grip-size:
 Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches and not greater than 2 inches or provide equivalent grasp-ability in compliance with Section R311.7.8.3.

Guards:
 Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches measured vertically to the floor or grade below at any point within 24 inches horizontally to the edge of the open side. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads. Required guards shall not have openings from the walking surface to the required guard height that allow passage of a sphere 4 inches in diameter.

Under-stair protection:
 Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board.

FILLED CELL LEGEND

- CONT. FILLED CELL W/ 3,000 PSI FROM LOWER WALL TO UPPER
- FILLED CELL ABOVE OR BELOW WINDOW, STD. 90° HOOK INTO BOND BEAM OR CONCRETE BEAM W/ 3,000 PSI CONCRETE AND SPACE PER PLAN

WINDOW SCHEDULE

SIZE	R.O. CMU (Flange)	R.O. FRAME (Fin)	TYPE
12	20 X 26	18 1/2 X 25 1/2	S.H.
13	20 X 38 1/2	18 1/2 X 37 1/2	S.H.
14	20 X 50 1/2	18 1/2 X 50	S.H.
15	20 X 63	18 1/2 X 62 1/2	S.H.
16	20 X 72	18 1/2 X 71 1/2	S.H.
1H2	27 1/4 X 26	26 X 25 1/2	S.H.
1H3	27 1/4 X 38 1/2	26 X 37 1/2	S.H.
1H4	27 1/4 X 63	26 X 50	S.H.
1H5	27 1/4 X 72	26 X 62 1/2	S.H.
1H6	27 1/4 X 72	26 X 71 1/2	S.H.
22	37 1/2 X 26	36 1/2 X 25 1/2	S.H.
23	37 1/2 X 38 1/2	36 1/2 X 37 1/2	S.H.
24	37 1/2 X 50 1/2	36 1/2 X 50	S.H.
25	37 1/2 X 63	36 1/2 X 62 1/2	S.H.
26	37 1/2 X 72	36 1/2 X 71 1/2	S.H.
DOUBLE 2 WIDE	75" TALL	73 1/2 WIDE	S.H.
32	54 X 26	52 1/2 X 25 1/2	S.H.
33	54 X 38 1/2	52 1/2 X 37 1/2	S.H.
34	54 X 50 1/2	52 1/2 X 50	S.H.
35	54 X 63	52 1/2 X 62 1/2	S.H.
36	54 X 72	52 1/2 X 71 1/2	S.H.
39X59	40 X 59	N/A	S.H.
DOUBLE 39X59	79 X 59	N/A	S.H.

HEADER SCHEDULE

MARK	HEADER SIZE	REMARKS
H1	(2) - 2X6 #2 SYP W/ 1/2" FLITCH PLATE	
H2	(2) - 2X8 #2 SYP W/ 1/2" FLITCH PLATE	
H3	(2) - 2X10 #2 SYP W/ 1/2" FLITCH PLATE	
H4	(2) - 2X12 #2 SYP W/ 1/2" FLITCH PLATE	
H5	(2) - 1 3/4" X 11 1/4" LVL 2.0E Fb=2950	
H6	(2) - 1 3/4" X 9 1/4" LVL 2.0E Fb=2950	
H7	(2) - 1 3/4" X 16" LVL 2.0E Fb=2950	
H8	(2) - 1 3/4" X 7 1/4" LVL 2.0E Fb=2950	
R.A.G.	(2) - 2X4 #2 SYP W/ 1/2" FLITCH PLATE	Follow O/S4. See Plan for Bearing Wall Call Out When Straps are Required

* VERIFY W/ PLAN CORRECT LENGTH OF HEADER REQUIRED
 ** SEE PLAN FOR DETAIL CALL OUT FOR CONNECTIONS AND REQUIRED STUDS

General Notes
 R302.5 Dwelling/Garage Opening/Penetration Protection. Opening and penetrations through walls or ceilings separating the dwelling from the garage shall be in accordance with sections R302.5.1 through R302.5.3.

R302.5.1 Opening Protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Door between garage and residence shall be equipped with solid doors not less than 1 3/8" in thickness, solid or honeycomb-core steel doors not less than 1 3/8" thick, or 20-minute fire-rated doors.

R302.5.2 Duct Penetration. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel, 1 inch minimum rigid nonmetallic class 0 or class 1 duct board, or other approved material and shall have no openings into the garage.

R302.5.3 Other Penetrations. Penetrations through the separation required in Section R302.5 shall be protected as required by section R302.11, Item 4.

R302.6 Dwelling/Garage Fire Separation.
 The garage shall be separated from the dwelling as per the following:
 • From the Residence & Attics - Not Less than 1/2" Gyp. Bd. or equivalent applied to garage side.
 • From Habitable Rooms Above Garage - Not Less than 5/8" Type-X Gyp. Bd. or equivalent.
 • Structural Supporting Floor/Ceiling Assemblies - Not Less than 1/2" Gyp. Bd. or equivalent.
 • Garages Located Less Than 3 Feet From Dwelling On The Same Lot - Not Less than 1/2" Gyp. Bd. or equivalent applied to the interior side of exterior walls that are within this area.

R312.2.1 Window Sills.
 In dwelling units, where the top of the sill of an operable window is located less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:
 1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
 2. Operable windows that are provided with window fall prevention devices that comply with ASTM F2099.
 3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

Chapter 45 Private Swimming Pools, Section R4501.17.1.9
 All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm complying with ILL 2017 that has a minimum sound pressure rating of 85 db at 10 feet. Any deactivation switch shall be located at least 54 inches above the threshold of the access. Separate alarms are not required for each door or window if sensors wired to a central alarm sound when contact is broken at any opening.

M1507.2 Recirculation of Air.
 Exhaust air from Bathrooms and toilet rooms shall not be recirculated within a residence or to another dwelling unit and shall be exhausted directly to the outdoors. Exhaust air from bathrooms and toilet rooms shall not discharge into an attic, crawl space or other areas inside the building.

GAS APPLIANCES
 G.C. to verify location of gas riser before commencement of work. Where gas water heaters are installed, water heaters shall be installed a min. of 18" above fr. per FBCR G2408.2. Except where appliances that are listed as flammable vapor ignition resistant.

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08/18/2020

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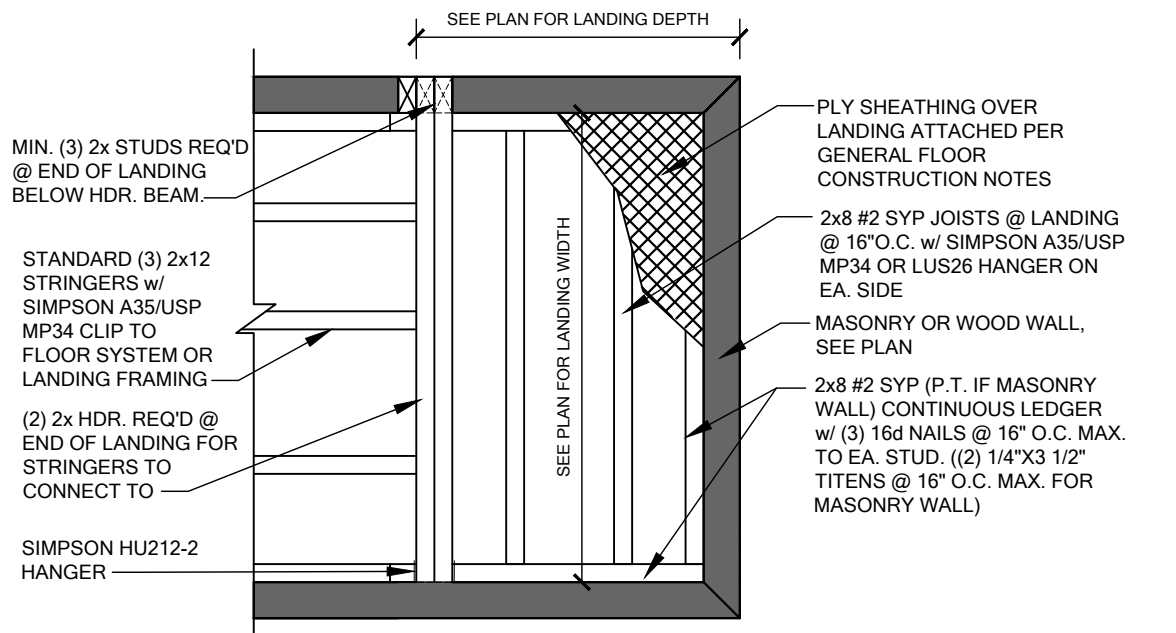
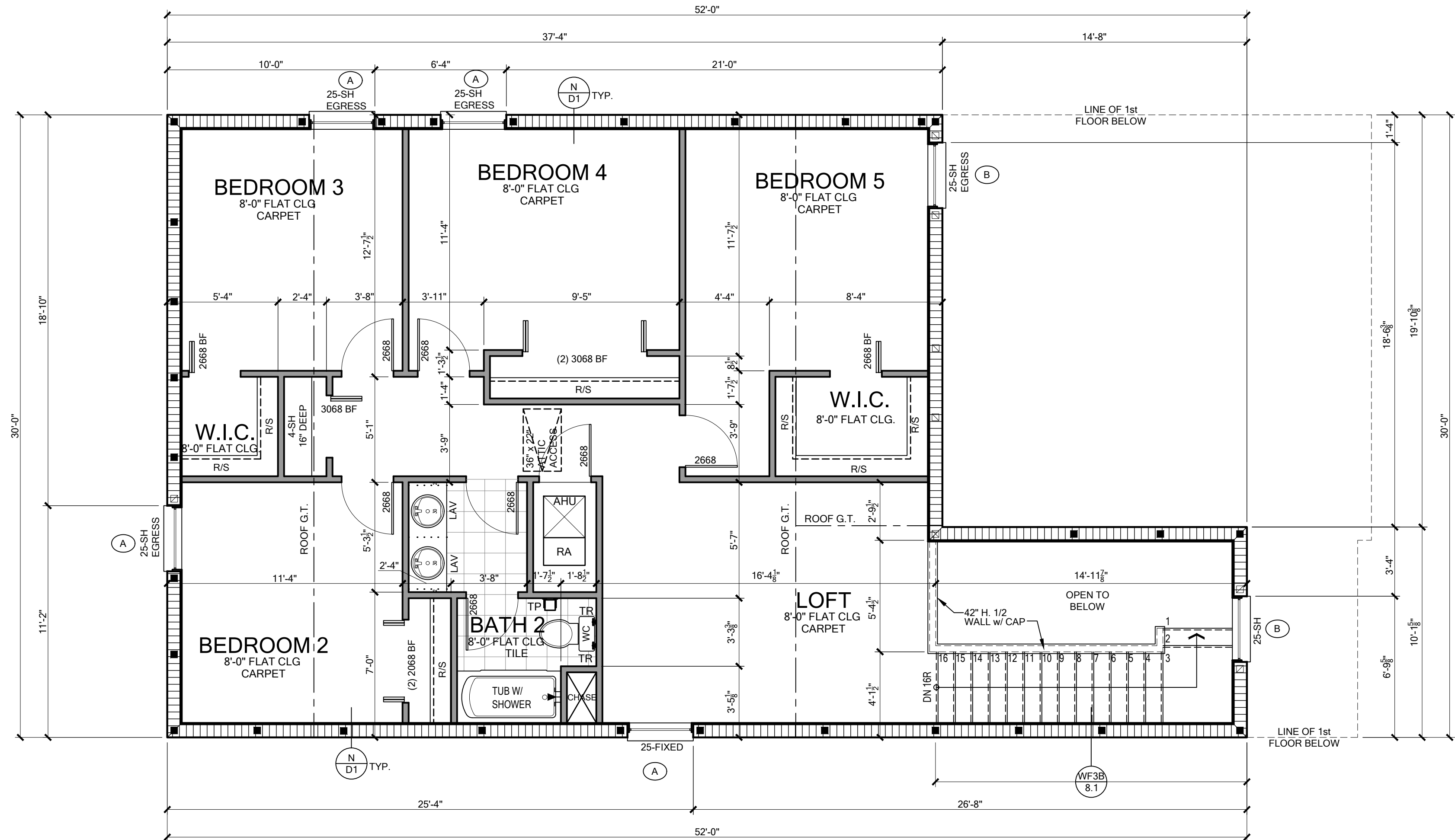
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Plan Name: 2382 COLUMBIA (PA) 1.1
 Community: Banyan Court
 Lot: 0000 Block: 0000
 Address: Job Address City and State
 Date: 8/18/2020
 Lennar No.: 00000 00 0000
 Garage: RH

JOB NO.: 00-0000
 SCALE: AS NOTED
 SHEET NO.



OPENING PRESSURES

ENCLOSED - EXPOSURE "C"

MARK	WIND SPEED	WIND PRESSURE
A	+33.5 / -36.3	B +33.5 / -44.8
C	+32.0 / -34.8	D +32.0 / -41.8
E	+30.0 / -32.8	F +30.0 / -37.8
G	+29.5 / -33.4	H +28.3 / -31.5

160 MPH

NOTE: WIND SPEED INDICATED ABOVE IS AN "ULTIMATE" WIND SPEED. THE WIND PRESSURES LISTED ABOVE ARE ALLOWABLE PRESSURES

WALL LEGEND

- MASONRY HGHT. @ 8'-8" AFF
- TYP. 2x4 #2 SPF @ 24" O.C. MAX. U.N.O.
- BEARING WALL

INTERIOR BEARING WALLS NOTED "FLOOR BEARING ONLY" ARE FLOOR SYSTEM SUPPORTING ONLY AND REQUIRE NO UPLIFT CONNECTORS TO FLOOR SYSTEM

AREA TABULATION

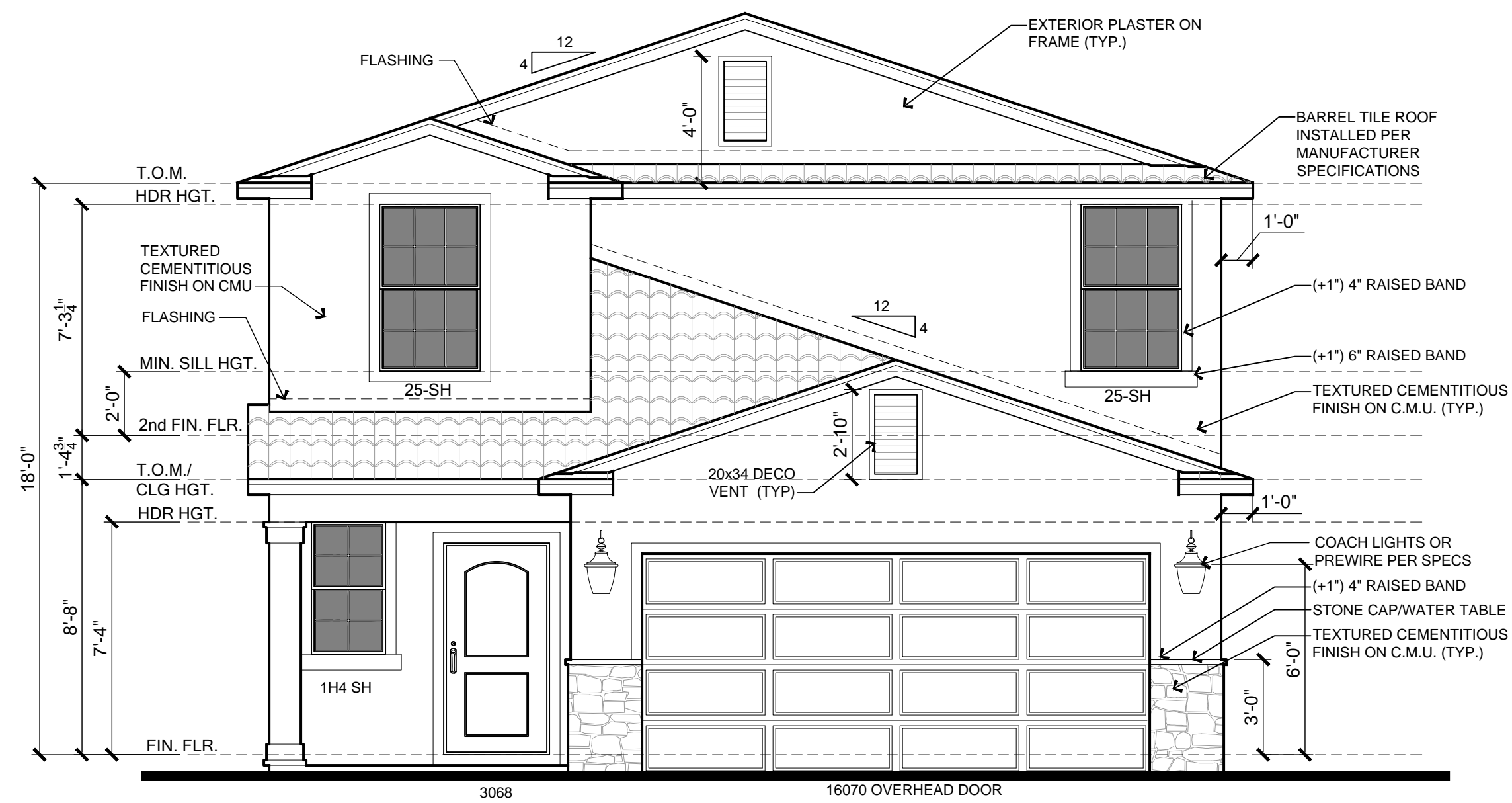
1ST FLOOR LIVING AREA	1269
2ND FLOOR LIVING AREA	1140
LIVING TOTAL	2409
GARAGE	414
FRONT ENTRY	51
TOTAL AREA	2874
PATIO	21

INSULATION REQ.

LOCATION	R-VALUE / TYPE
EXT CONC WALL	R-4.1 HIGH PERM
EXT FRAME 2 x 4	R-11/R-13 KRAFT FACED
EXT FRAME 2 x 6	R-19 KRAFT FACED
CONDITIONED CEILING	R-30 BLOWN-IN (INSTALL BAFFLES AT EAVE)
GARAGE SEPARATION (GARAGE/LIVING)	R-11/R-13 KRAFT FACED

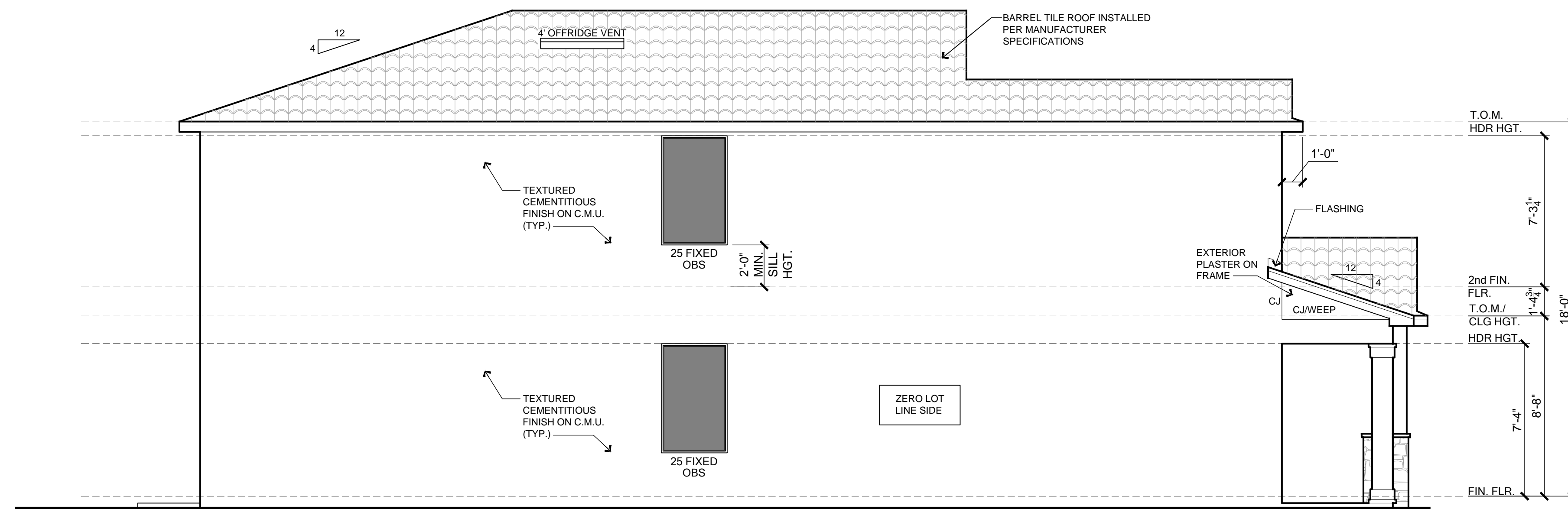
SECOND FLOOR PLAN - ELEV-CS

SCALE: 1/4"=1'-0"



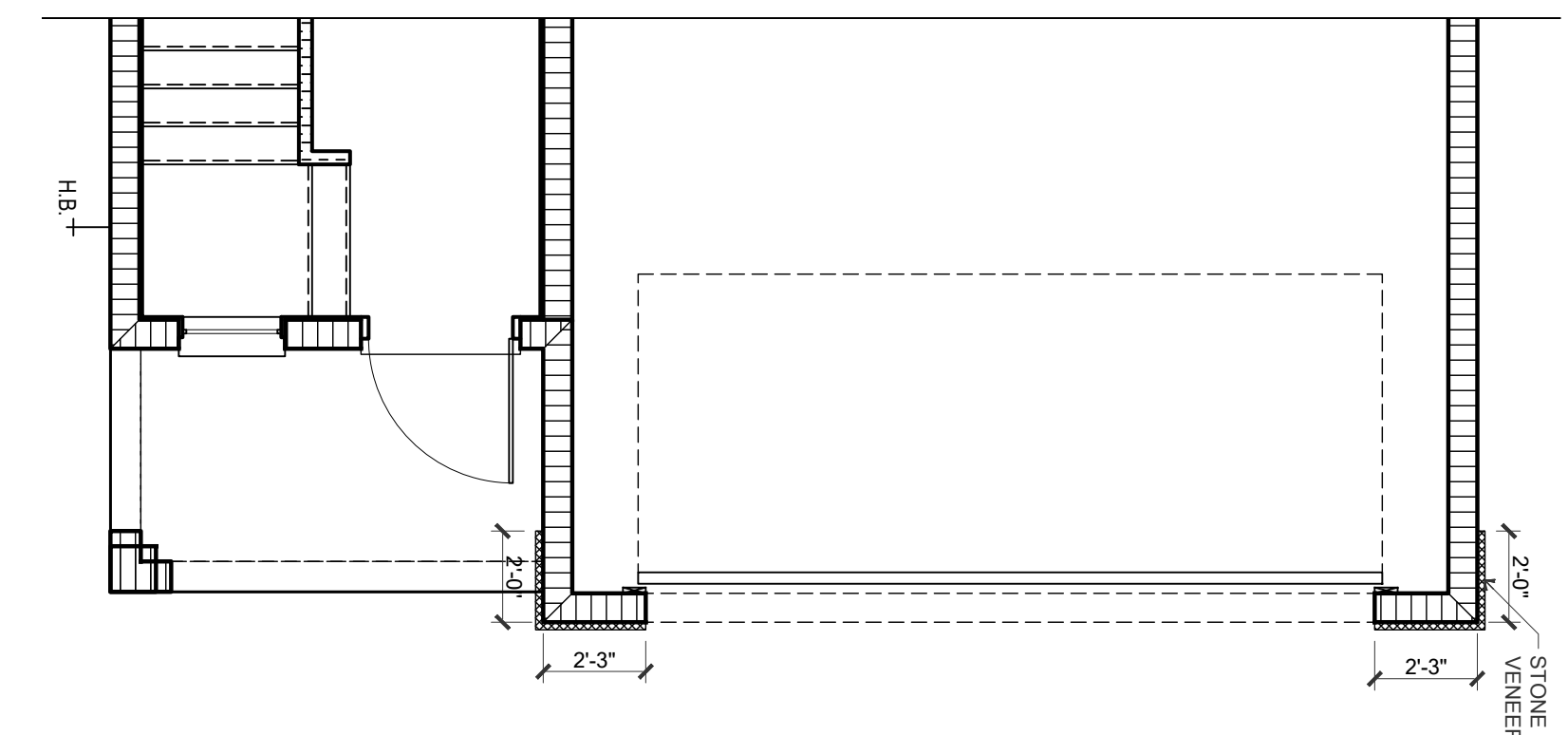
FRONT ELEVATION - C

SCALE: 1/4"=1'-0"



LEFT ELEVATION - C

SCALE: 1/4"=1'-0"



VENEER KEY LAYOUT

SCALE: 1/4"=1'-0"

General Notes

ROOF CRITERIA:

- 12" OVERHANG U.N.O.
- PLUMB CUT FASCIA ROOF
- PITCH PER ELEVATION

****G.C. VERIFY ROOF PITCH****

ROOF PITCH VARIES PER SUBDIVISIONS IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ROOF SLOPE REQUIREMENTS WITH TRUSS MANUFACTURER.

****ELECTRICAL SPECIFICATION NOTES****

ELECTRICAL CONTRACTOR MUST VERIFY WITH THE SPECIFICATIONS FOR THE TYPE OF FIXTURE TO BE USED. LIGHT FIXTURES SHOWN ARE FOR LOCATION PURPOSES.

Exterior Covering

R703.7 Exterior plaster. Installation of these materials shall be in compliance with ASTM C 926 and ASTM C 1063.

R703.7.1 Lath. All lath and lath attachments shall be of corrosion-resistant materials. Attached per ASTM C 1063.

R703.7.2 Plaster. Plastering w/ portland cement plaster shall be not less than three coats when applied over metal lath or wire lath and shall be not less than two coats when applied over masonry, concrete.

R703.7.3 Water-Resistive Barriers. Water-resistive barriers shall be installed where cement plaster (stucco) is to be applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier. The individual layers shall be installed independently such that each layer provides a separate continuous plane and any flashing intended to drain to the water-resistive barrier is directed between the layers. The barriers shall consist of one of the following.

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- Under and at the ends of masonry, wood or metal copings and sills.
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- At wall and roof intersections.
- At Built-in gutters.

Coastal Flashings

All flashing material for coastal locations (ex. within 3,000 feet of the ocean) shall be corrosion resistant material (ex. zinc and/or stainless steel) and shall be selected for compatibility with adjacent wood preservatives per the manufacturer's recommendations.

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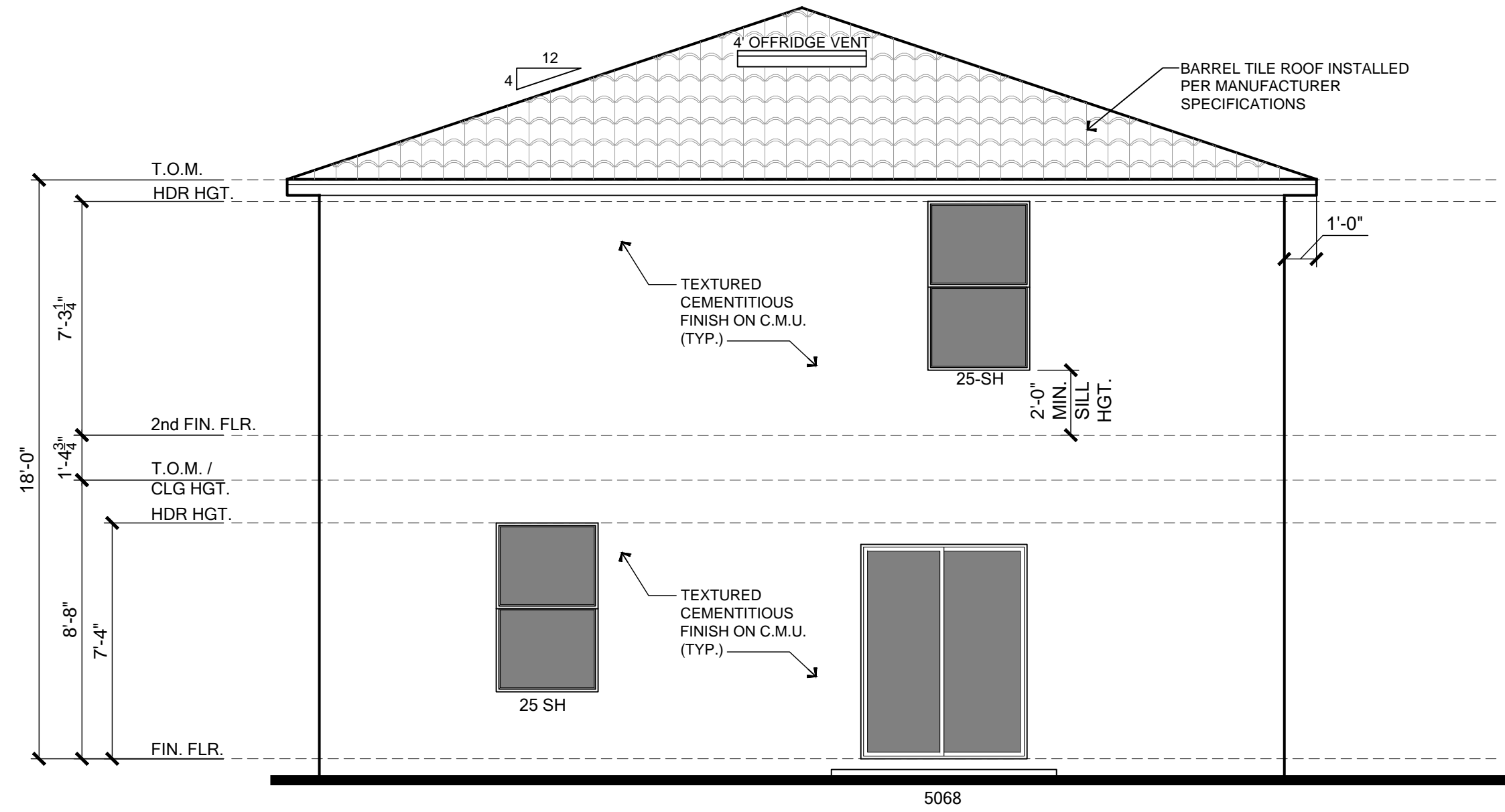
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Lennar No.: 00000 00 0000
Garage: RH

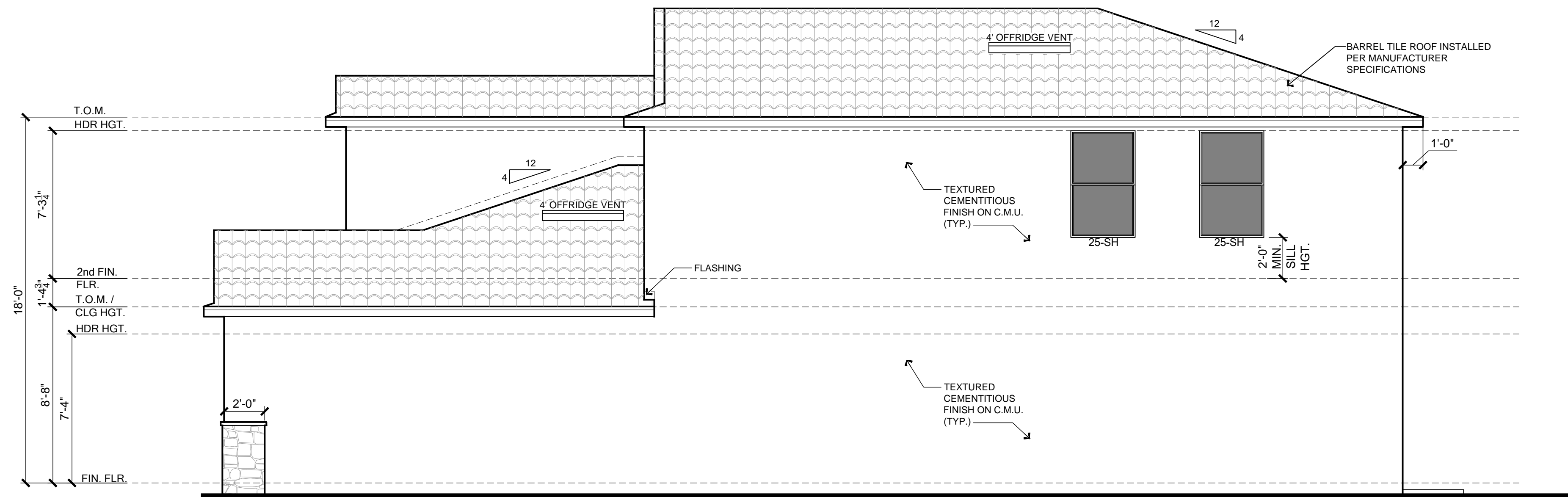
JOB NO : 00-0000
SCALE : AS NOTED
SHEET NO.

3.1



REAR ELEVATION - C

SCALE: 1/4"=1'-0"



RIGHT ELEVATION - C

SCALE: 1/4"=1'-0"

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 - PLUMB CUT FASCIA ROOF
 - PITCH PER ELEVATION
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Keeseee associates
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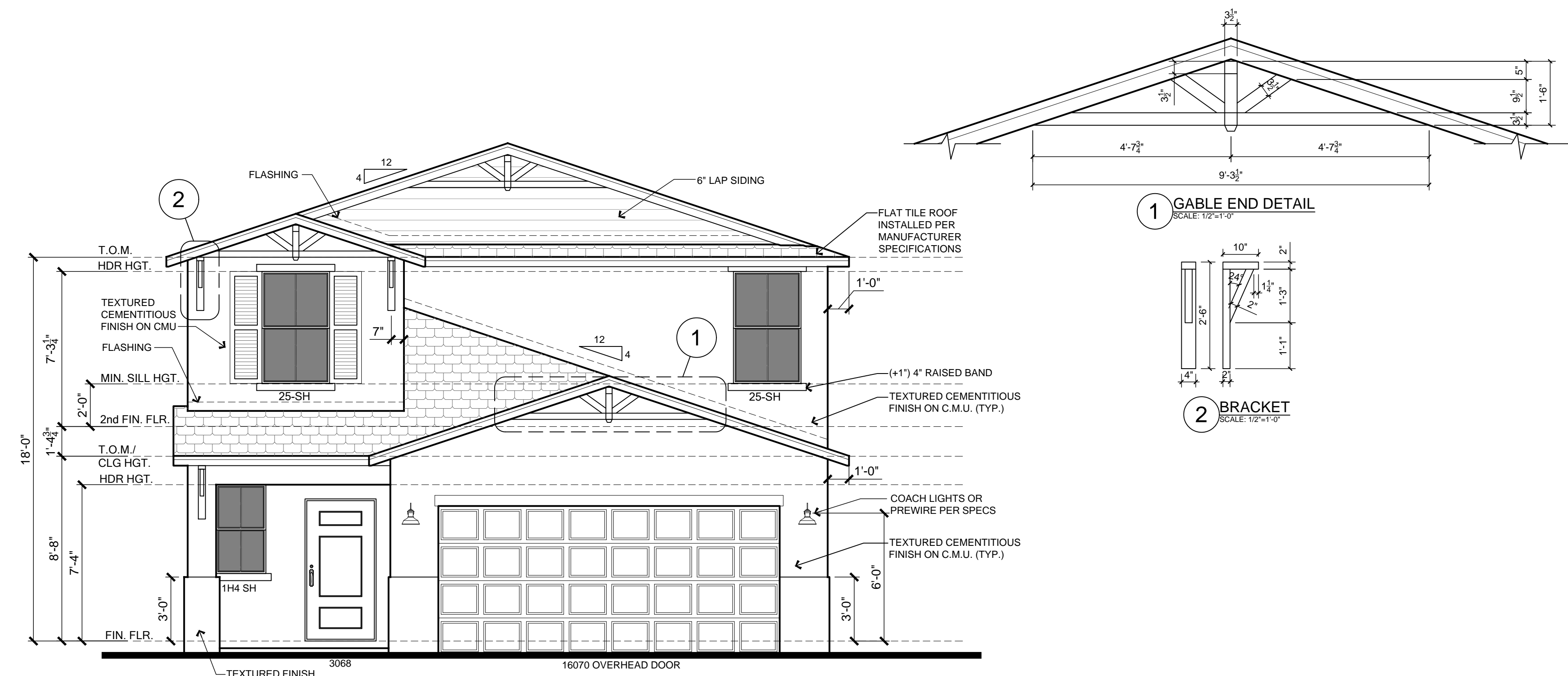
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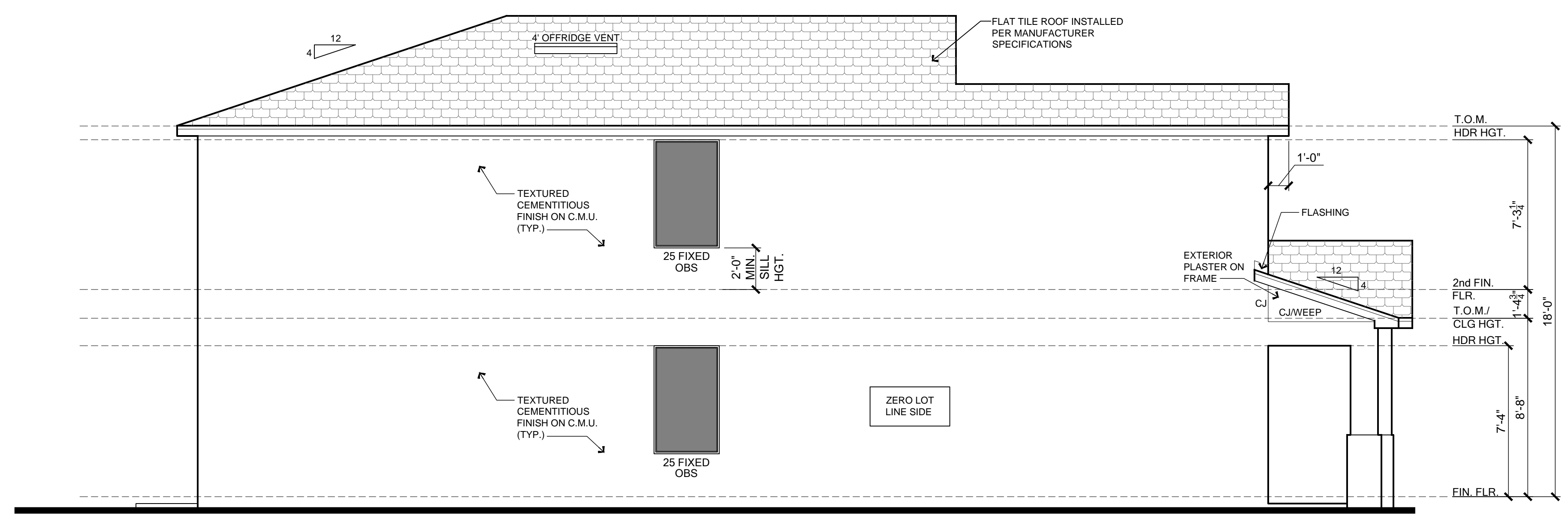
JOB NO : 00-0000
 SCALE : AS NOTED
 SHEET NO.

3.2

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 8/18/2020 10:05:01 AM



FRONT ELEVATION - S
 SCALE: 1/4"=1'-0"



LEFT ELEVATION - S
 SCALE: 1/4"=1'-0"

General Notes

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- PITCH PER ELEVATION

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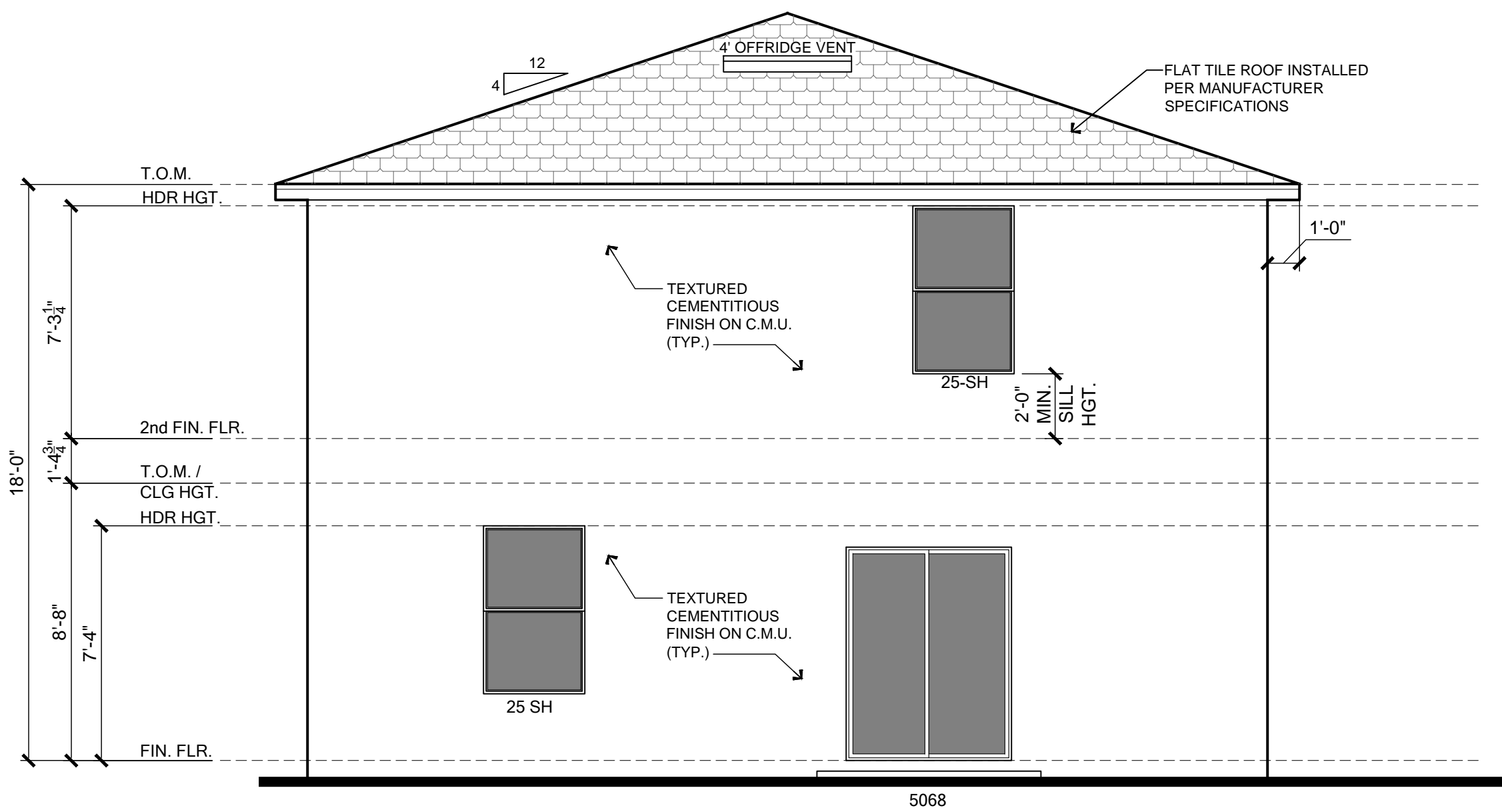
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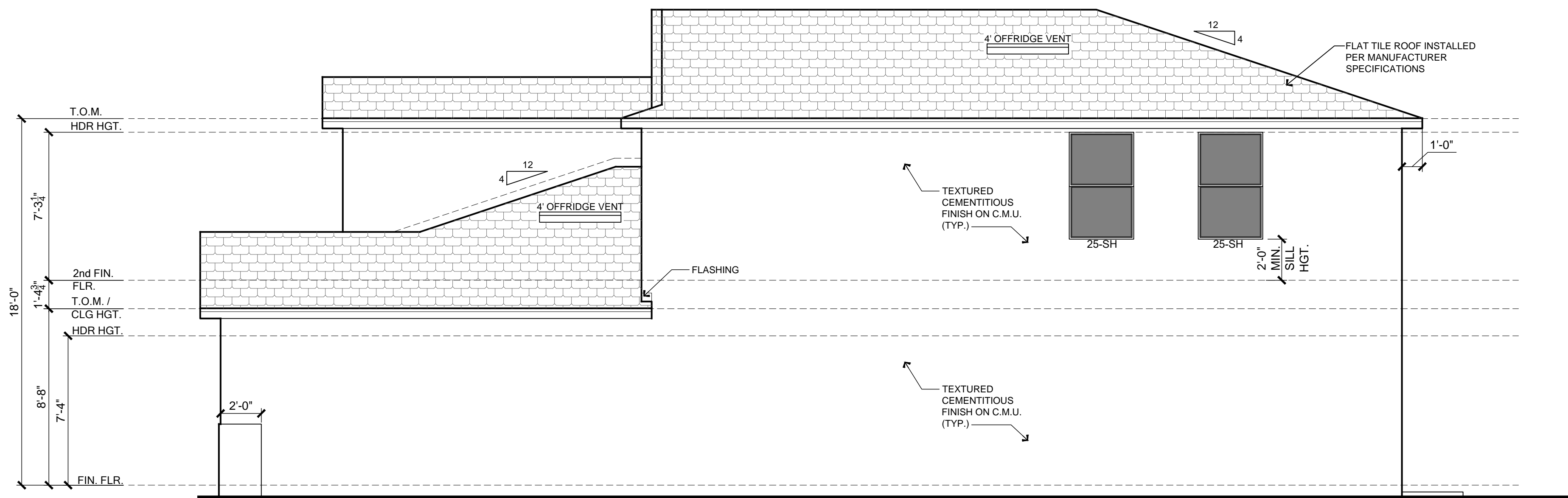
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 Community: Banyan Court
 Lot: 0000 Block: 0000
 Address: Job Address
 City and State
 Date: 8/18/2020
 Lennar No.: 00000 00 0000 Garage: RH

JOB NO : 00-0000
 SCALE : AS NOTED
 SHEET NO.
3.3



REAR ELEVATION - S

SCALE: 1/4"=1'-0"



RIGHT ELEVATION - S

SCALE: 1/4"=1'-0"

General Notes

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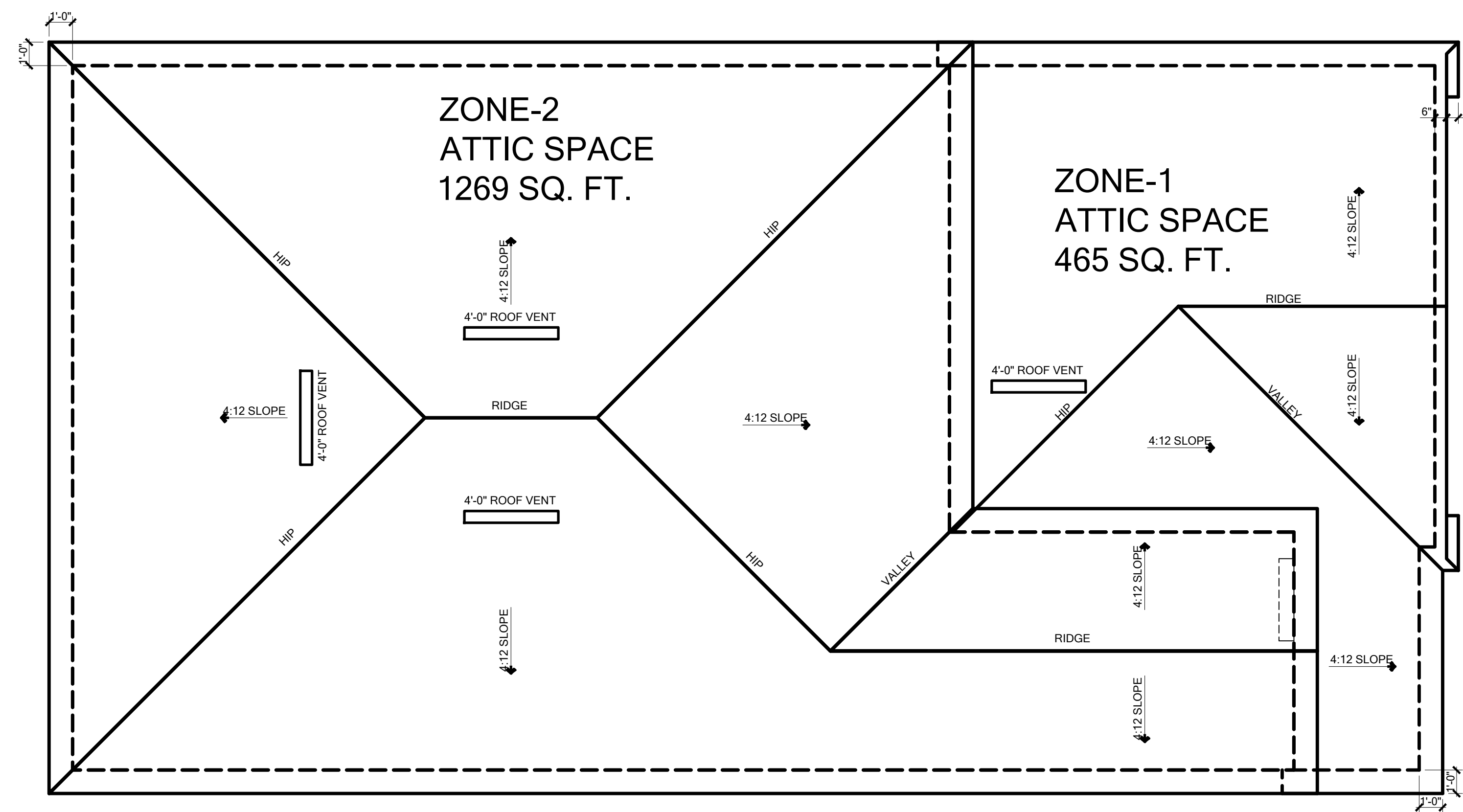
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SCALE : AS NOTED

SHEET NO. 3.4



ROOF PLAN - ELEV-CS

SCALE: 1/4"=1'-0"

ATTIC VENTILATION CALCULATIONS									
ATTIC SPACE	ATTIC VENTILATION REQUIRED					UPPER VENTILATION PROVIDED		Total Ventilation Provided by Upper Ventilators (See Elev)	
	1/150 Rule (No Upper Ventilators Req.)		1/300 Rule (Must Provide Upper Ventilators)			Ridge Vent Amt (Ft.)	Off-Ridge Amt.		
	SQ. IN. of ventilation required	SQ. FT. of vented soffit needed	Total SQ. IN. of ventilation required	SQ. FT. of vented soffit needed	SQ. IN. of ventilation to be provided by upper ventilators	SQ. IN. of Ventilation	SQ. IN. of Ventilation		
Main Floor (Zone 1)	465	446	64	223	16	112	0 0.0	1 138.0	138.0
Upper Floor (Zone 2)	1269	1218	174	609	44	305	0 0.0	3 414.0	414.0

NOTE
GENERAL CONTRACTOR MUST ENSURE THAT PROPER VENTILATION IS PROVIDED AT EAVES/SOFFITS AS REQUIRED BY FBC 6th ED. RESIDENTIAL.

Attic Ventilation
Attic Ventilation to be in compliance with the Florida Building Code 6th Edition (2017) Residential R806.
The Minimum net free ventilating area shall be 1/150 of the area of the vented space. The ventilating area may be reduced to 1/300 provided that at least 40% but no more than 50% of the required ventilation is provided in the upper portion of the space to be ventilated. Upper ventilators shall be located no more than 3 feet (measured vertically) below the ridge or highest point of the space, with the balance of the required ventilation provided by eave or cornice vents.
CALCULATIONS BASED ON THE FOLLOWING VALUES, SEE ROOF PLAN
(Values to be verified with Manufacturer Specifications)
• OFF-RIDGE VENTS - 138 SQ. IN. OF NET FREE AREA / UNIT
• SOFFIT VENTS - 7 SQ. IN. OF NET FREE AREA / SQ. FT.
*If not enough vented soffit is provided due to fire protection, the contractor shall use the following approved vents:
• LOMANCO DECK-AIR (Chingle Roof) - 9 SQ. IN. OF NET FREE AREA / FT.
*Formula: (Sq. Ft. Soffit Needed) x 7 = (Sq. In. Needed) / 9 = (Linear Ft. of Deck-Air Needed)

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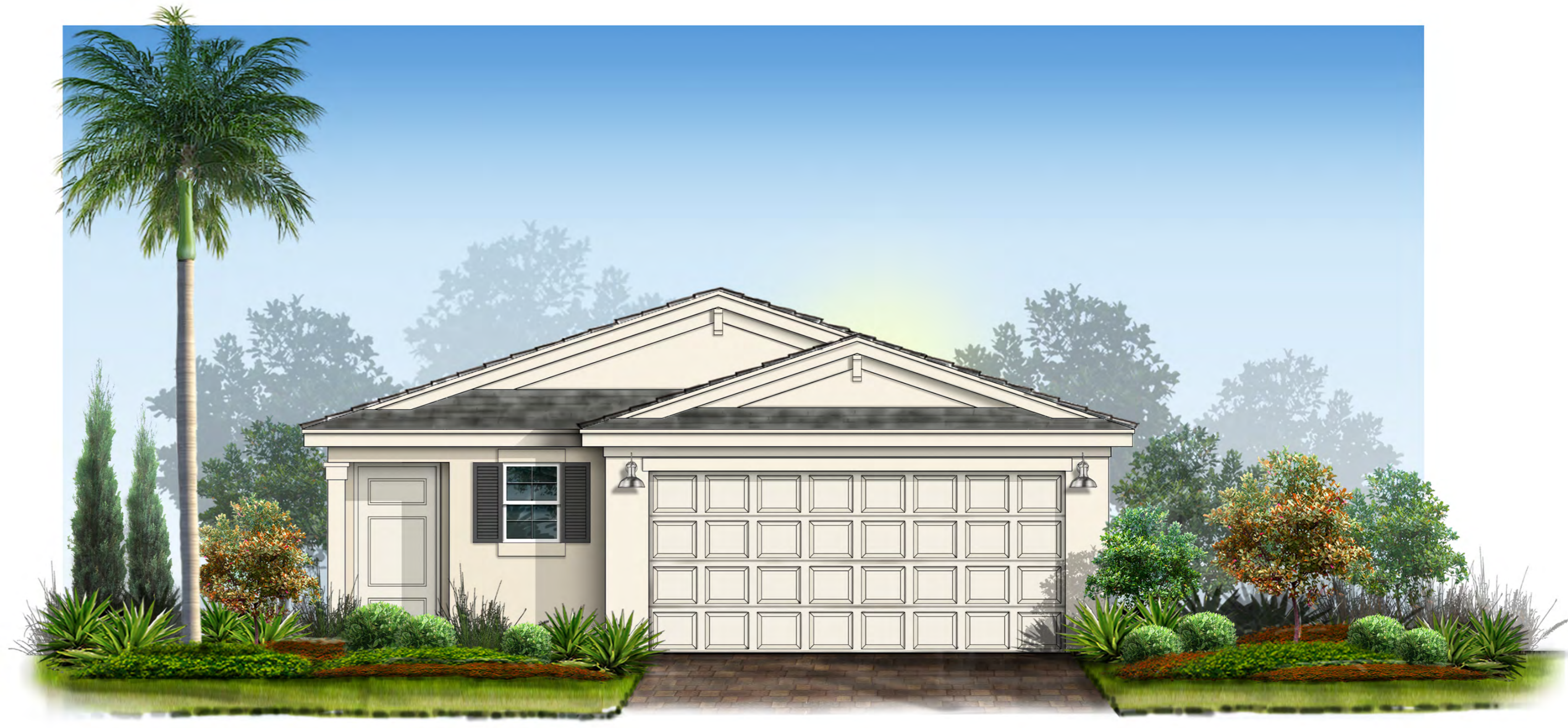
5

ANNAPOLIS PLAN 1450

1 Story / 3 Bed / 2.5 Bath / 2 Car / 1,885 Sq. Ft.



ELEVATION C



ELEVATION S

BANYAN COURT

LENNAR

 **EVERYTHING'S
INCLUDED**

ATLANTA PLAN 1871

2 Story / 4 Bed / 2.5 Bath / 2 Car / 1,870 Sq.Ft.



C - SPANISH w/ STONE



S - BRITISH WEST INDIES

BANYAN COURT
LENNAR



NOTE: REFER TO COLOR AND MATERIALS FOR ACCURATE DEPICTION
OF COLOR SCHEMES FOR MODEL HOME

KA August 2020 UB

BOSTON PLAN 2216

2 Storv / 5 Bed / 2.5 Bath / 2 Car / 2,216 Sq.Ft.



C - SPANISH w/ STONE



S - BRITISH WEST INDIES

BANYAN COURT
LENNAR



NOTE: REFER TO COLOR AND MATERIALS FOR ACCURATE DEPICTION
OF COLOR SCHEMES FOR MODEL HOME

KA August 2020 UB

Columbia (2382)

2 Story / 5 Bed / 2.5 Bath / 2 Car / 2,409 Sq. Ft.



C-Spanish with stone



S-British West Indies