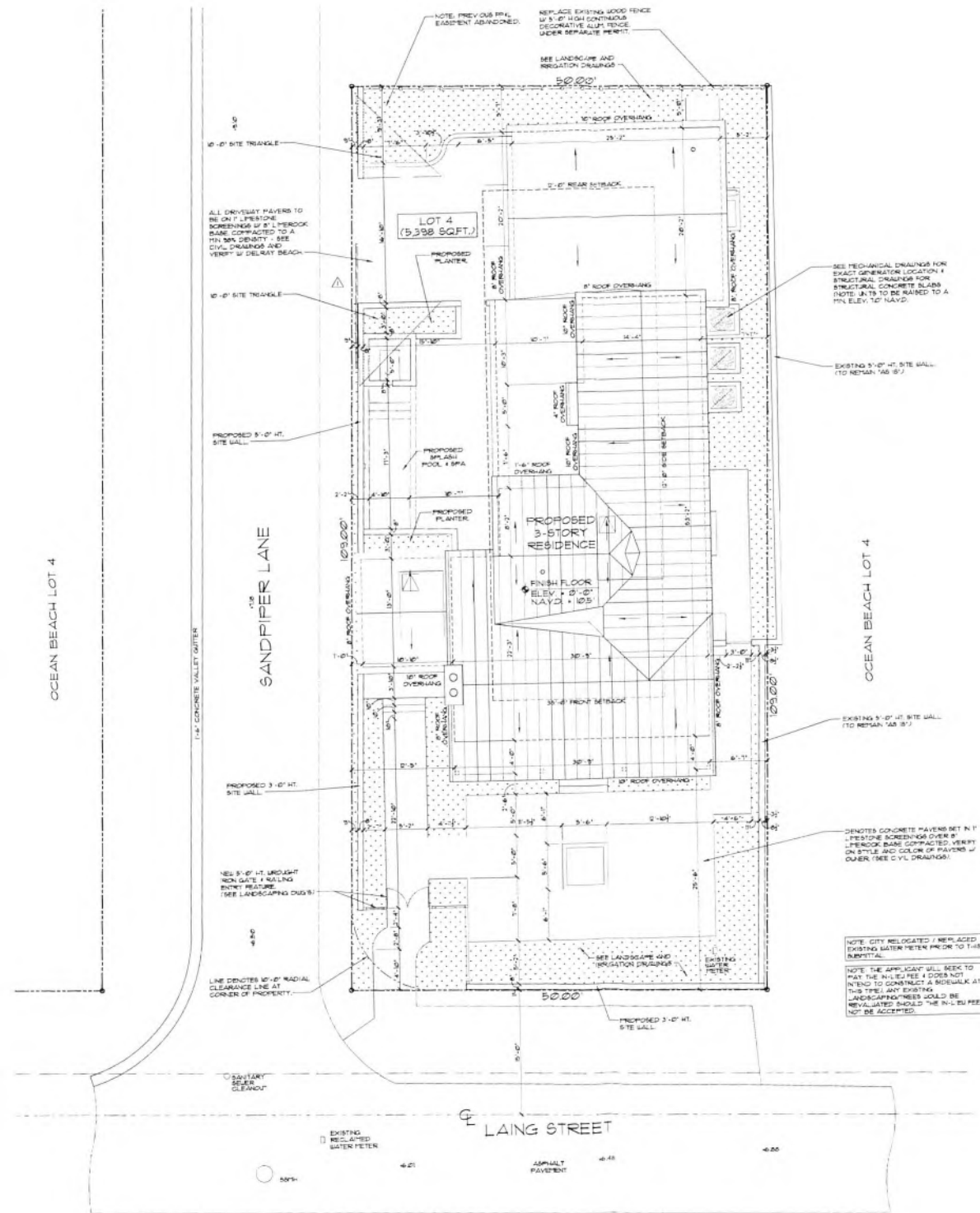


1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

OCT - 8 2024

City of Delray Beach
Development Services Dept.
Planning & Zoning Div.



PROPOSED SITE PLAN

A1.01 SCALE : 1/8" = 1'-0"



VICINITY MAP

1. IF IT IS THE DUTY OF THE ARCHITECT THAT THIS WORK BE CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING DEPARTMENT AND ALL ORDINANCES UNDER THIS TYPE OF CONTRACT AND OCCUPANCY PERMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE PROJECT SITE CONDITIONS AND THE PROJECT PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL IDENTIFY, LOCATE AND BUILD UPON THE EXISTING FOUNDATION, ANCHORS, REINFORCED PLATES, OPENING BOLTS, STUDS, HANGERS, ANGLE IRONS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE TO ATTACH AND ADJUST/COORDINATE OTHER WORK.
4. ALL DETAILS AND CONDITIONS NOT SPECIFICALLY IDENTIFIED TO BE TYPICAL, AND SHALL BE CONTINUED TO A DETAIL. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A DIFFERENT DETAIL IS SHOWN.
5. THE CONTRACTOR SHALL PROVIDE INSTRUMENTS OF SERVICE.
6. THE WORK IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT FROM THE ARCHITECT.

	REQUIRED	PROPOSED SECOND FLOOR	PROPOSED SECOND FLOOR	PROPOSED SECOND FLOOR
FRONT	38'-0"	28'-0"	28'-4"	28'-4"
SIDE STREET	11'-0"	1'-0"	1'-0"	0'-2"
		(5'-7" GARAGE)	(5'-2" GARAGE)	
SIDE INTERIOR	0'-0"	1'-3"		6'-7"
		(6'-11" FRONT CORNER)	(6'-11" FRONT CORNER)	
REAR	0'-0"	5'-0"	8'-0"	28'-7"
ALLOWABLE 4T	38'-0" (MEAN 4T HT)	24'-1"	24'-1"	31'-3"
PROPOSED 4T ELEVATION		(MEAN 4T HT)	(MEAN 4T HT)	(MEAN 4T HT)

TOTAL SITE AREA	5,358 SQ. FT.
TOTAL BLDG FOOTPRINT DRIVEWAY & PAVEMENT	2'10" SQ. FT. (31) SQ. FT.
TOTAL IMPERVIOUS AREA (PAVERS, ASPHALT ETC.)	4,021 SQ. FT.
TOTAL PERVIOUS AREA (LANDSCAPING)	1,337 SQ. FT.
TOTAL LOT COVERAGE = 4,021 SQ. FT. / 5,358 SQ. FT. = 74.45%	

CONFERENCE AT THE SOUTHEAST CORNER OF THE WEST NINE FEET OF THE
FRACTIONAL EAST HALF OF SECTION 16, TOWNSHIP 46 NORTH,
RANGE 10 EAST, IN PLAT BOOK 1, PAGE 25, PUBLIC RECORDS
OF MAHARASHTRA COUNTY, FLORIDA; THENCE RUN EAST ALONG THE SOUTH
LINE OF SAID LOT 4, ALSO BEING THE NORTH LINE OF SAID LOT 5,
NINE FEET; THENCE RUN NORTH
PARALLEL WITH THE WEST LINE OF SAID LOT 4, A DISTANCE OF 150
FEET TO THE POINT OF BEGINNING; THENCE GO SOUTH 15 FEET MORE ON LESS
THE POINT OF BEGINNING; THENCE RUN EAST PARALLEL WITH THE NORTH LINE OF
SAID LOT 4, A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING;
THENCE RUN NORTH PARALLEL WITH THE WEST LINE OF SAID LOT 4, A DISTANCE OF
150 FEET MORE ON LESS TO THE POINT OF BEGINNING; THENCE RUN
EAST PARALLEL WITH THE SAID NORTH LINE OF SAID LOT 4, A DISTANCE OF
150 FEET TO THE POINT OF BEGINNING.

☐ CONCRETE SIDEWALK

☐ CONCRETE PAVING SET IN 1" L'YESTO

☐ TWO STORY RESIDENCE (ROOF TILE)

VARIANCES APPROVED (12/07/07):

1. MAINTAIN A 1ST AND 2ND STORY SETBACK OF 28'-6". ESTABLISH A SETBACK ON THE 3RD STORY AT 28'-6".
2. MAINTAIN EXISTING SETBACK OF 1' FOR THE 1ST STORY, REDUCE THE EXISTING 2ND STORY SETBACK FROM 18'-10" TO 1'.
3. REDUCE EXISTING SETBACK FROM 6'-6" TO 5'-2" FOR A PORTION OF THE 1ST AND 2ND STORIES ASSOCIATED WITH THE CONSTRUCTION OF A TWO-STORY ADDITION. ESTABLISH A SETBACK ON THE 3RD STORY AT 6'-11".
4. ESTABLISHING A REAR SETBACK OF FIVE FEET ASSOCIATED WITH THE CONSTRUCTION OF A TWO-STORY ADDITION WHEREAS FEET IS REQUIRED FOR THE 1ST STORY AND 17 FEET IS REQUIRED FOR THE 2ND STORY.

VARIANCES APPROVED (7/22/07)
ALLOW A POOL TO EXTEND INTO A STREET SIDE SETBACK ARE
MAINTAINING A SETBACK LESS THAN THE MINIMUM REQUIRED 10
FEET TO INSTEAD ALLOW A SETBACK OF 2'-2' AT 1221 LAING ST.

WALVER APPROVED ON 6/12/21
RESOLUTION NO. 89-21
A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA, GRANTING A WAIVER REQUEST TO SECTION 43.414(4)(d) OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW THE SECOND AND THIRD FLOOR BALCONIES TO EXTEND FOUR FEET TWO INCHES INTO THE FRONT SETBACK FOR THE PROPERTY LOCATED AT 1221 LAING STREET, AS MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES.

architect, planner and
designer

1 1045 East Atlantic Ave. Suite 303
 2 Delray Beach, Florida 33483
 3 TEL: 561-276-6011
 4 FAX: 561-276-6129

ISSUED FOR BUILDING PERMIT

9105

PERMIT 09-0323

CONSTRUCTION

12.	PROJECT TITLE
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PROPOSED
WEINBERG
RESIDENCE

1221 LAING ST.
DELRAY BEACH, FL

REV 5/015

REVISIONS

1. REVISION 18022 AS PER RIZ COMMENTS:

1. PLANTERS HAVE BEEN RELOCATED TO NORTH AND SOUTH SIDES OF PROPOSED POOL TO MAINTAIN CONSISTENCY WITH PREVIOUS PLANS.

2. DATA HAS BEEN REVISIONED TO 4.4% IMPERVIOUS / 25.5% PERVIOUS

REVISION 18024 AS PER CLIENT:

1. REMOVED EXISTING FRAMED EXTERIOR WALLS TO CMU BLOCK.

2. AREAS OF EXISTING HANDRAILS AND FLOORING HAS BEEN REVISIONED TO PRE-ENGINEERED TRUSS SYSTEM.

3. EXISTING SITE WALLS HAVE BEEN REVISIONED TO BE PROPOSED SITE WALLS.

FILE NUMBER 810A101

DRAWING TITLE

PROPOSED SITE PLAN

DATE	DRAWN BY
6.30.21	GE/MJ

77 AM
JOE NUMBER 20200810

D6.2
CUT-11
DRAWING NUMBER

A1.01