

PROPOSED RENOVATION/ADDITION FOR

JASON & ALANA

SYLVESTER

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW "F.B.C.2017" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN IT'S ENTIRELY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION, ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.

- THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS IT'S COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
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- BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH F.B.C. 2017.
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH F.B.C. 2017.
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

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PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER

215 NE 1ST AVE

DELRAY BEACH, FL

REVISIONS	BY
12/5/2016 BLDG. DEPT.COMM.	A.G.
6/10/2016 HPB COMMENTS	A.G.
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Shane Ames - Architect

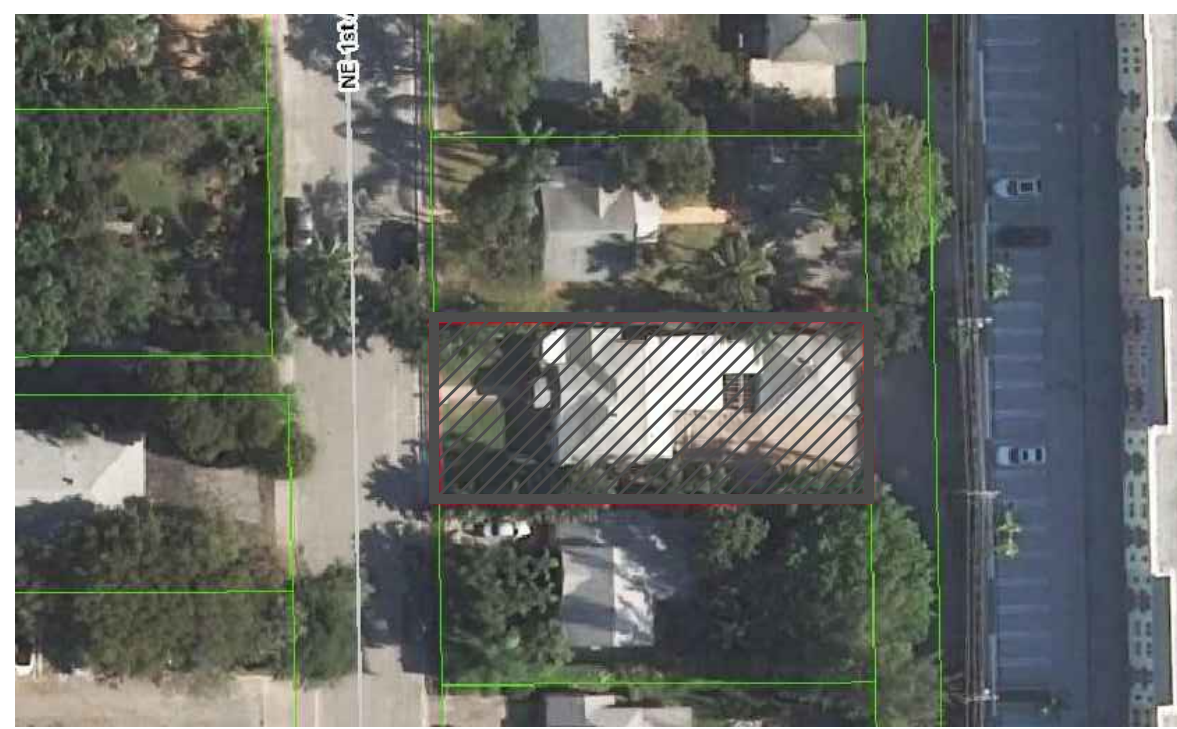
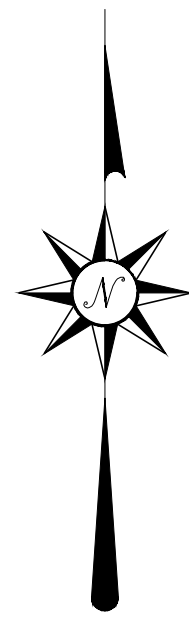
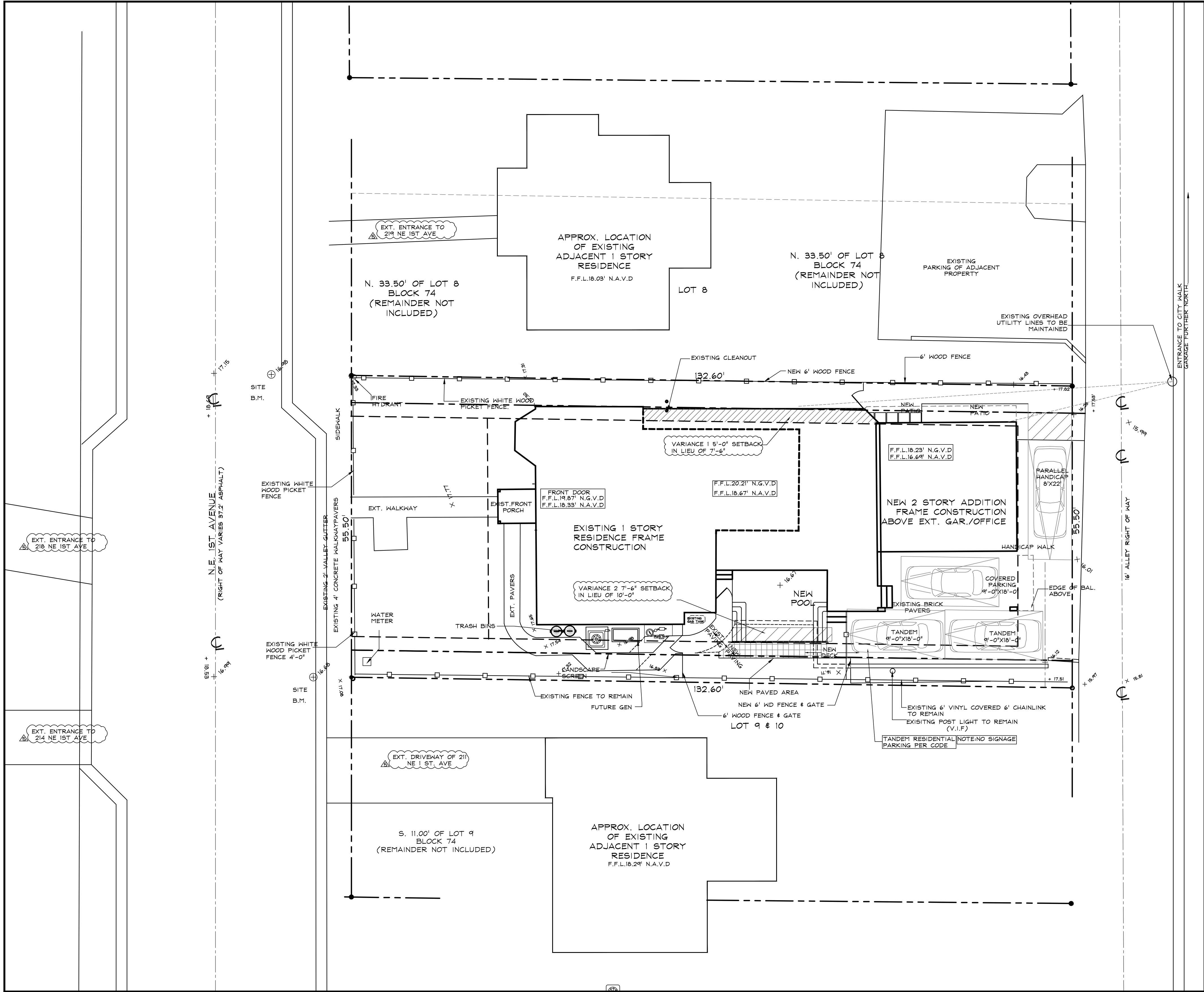


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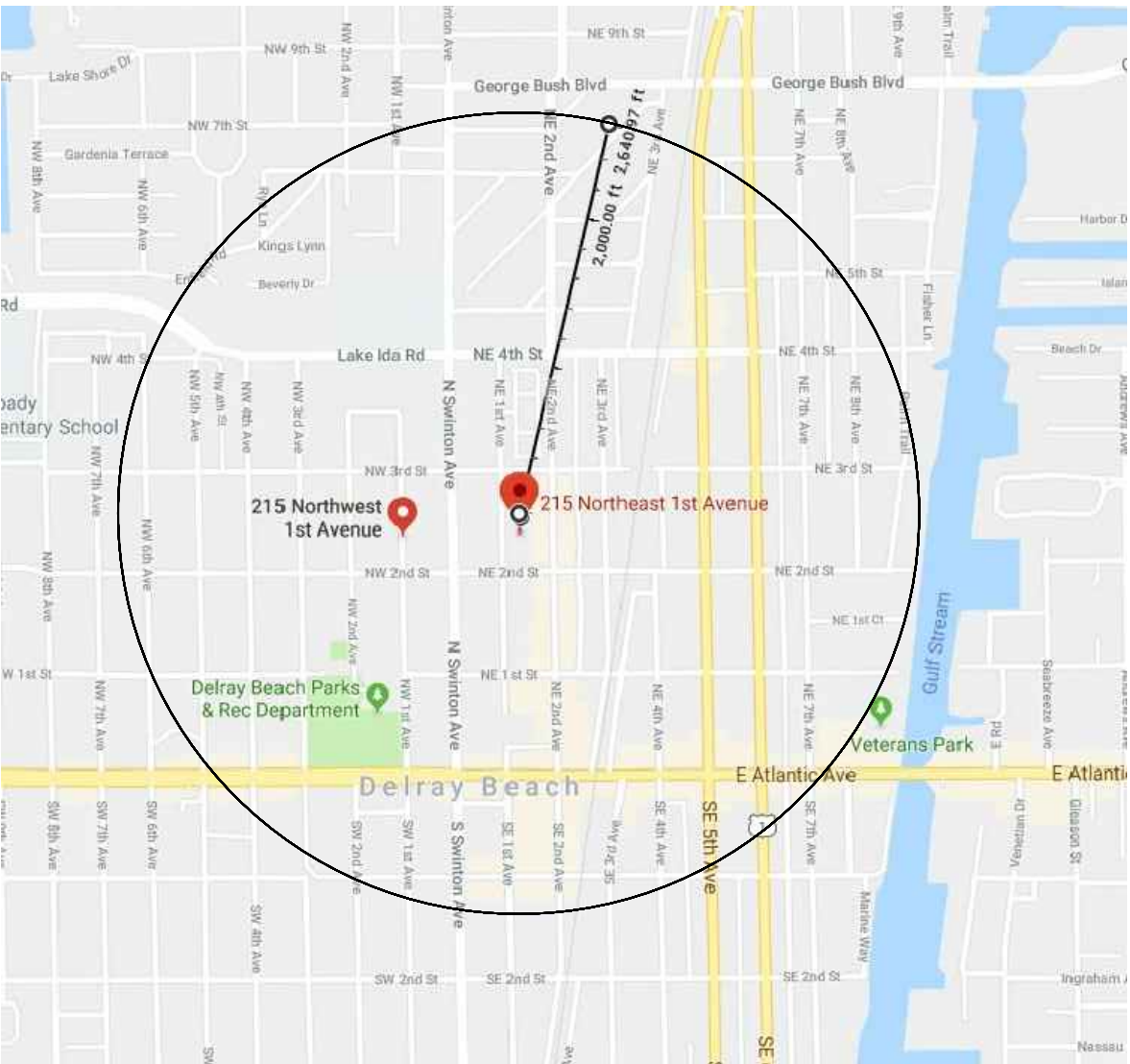
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JOB NO. 14_4433
SHEET
A01
OF 16 SHEETS

COVER SHEET

Address : 181000 DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DINE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561) 274-6444. FAX : (561) 274-6448



LOCATION MAP
NTS



VICINITY MAP 1/2 MILE RADIUS
NTS

AREA CALCULATIONS				
	AREA	EXT. OFFICE	EXT. HOUSE	PROPOSED TOTAL
BUILDING	1ST FLOOR A/C	610	1572 S.F.	425 S.F.
	COV'D PARKING		0 S.F.	273 S.F.
	COV'D VERANDA		0 S.F.	219 S.F.
	COV'D ENTRY		43 S.F.	0 S.F.
	2ND FLOOR GUEST-A/C		0 S.F.	905 S.F.
	OPEN BALCONY		0 S.F.	110 S.F.
SITE	TOTAL A/C 1st&2nd FL.			3512 S.F.
	TOTAL UNDER ROOF			4047 S.F.
	TOTAL LOT AREA			7360 S.F.
	LOT COVERAGE 40%	2944S.F.	2225S.F.	699 S.F.
	GREEN AREA 25%	1840 S.F.	2802S.F.	1841 S.F.

CODE PARAMETERS	
GOVERNING CODE	2017 F.B.C.
MUNICIPALITY	CITY OF DELRAY BEACH
OCCUPANCY CLASS.	GROUP RESIDENTIAL
MAX. BUILDING HEIGHT	35'-0" ABOVE GRADE
FRONT SETBACK	25'-0"
REAR SETBACK	10'-0"
SIDE SETBACK	7'-6"
POOL SETBACK	10'-0"
ZONING	OSSHAD

LEGAL DESCRIPTION	
ALL OF SOUTH 1/65' OF LOT 8 AND THE NORTH 39' OF LOT 9, BLK 74, CITY OF DELRAY BCH. FL. PB 11, P12 OF PALM BCH COUNTY FL	

PARKING DATA (PER BANKERS ROW PLAN)		
REQUIRED	EXISTING PARKING	PROPOSED PARKING
4	2 (CAR GARAGE)	4
REGULAR 1		
HANDICAP 1		
TANDEM 2		
TOTAL PARKING		4

PARKING SPACES REQUIRED PURSUANT TO SECTION 4.4.24(G)(4)(D).
-1 SPACE PER 400 SFT OF GROSS FLOOR AREA, OR BY AT LEAST ONE SPACE, WHERE THERE IS A MIX OF RESIDENTIAL & NON-RESIDENTIAL USE IN THE SAME STRUCTURE.

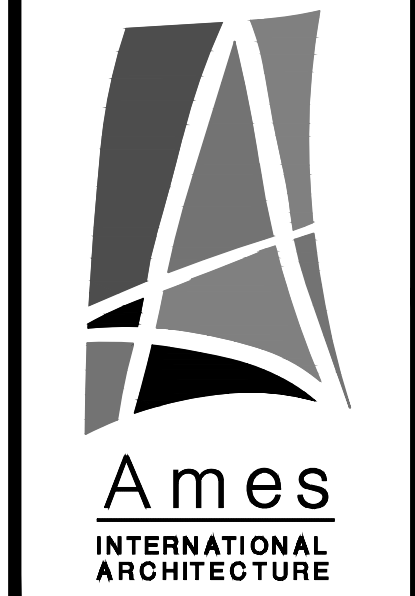
- SITE PLAN NOTES**
- LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
 - LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
 - LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
 - DRIVENWAYS, WALKWAYS, SLAB ON GRADE, POOL DECKS, SWIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY.(NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE, CONTRACT).
 - SWIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS. PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
 - LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
 - SITE PLAN AS DRAWN REFLECTS ARCHITECT'S CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES, AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER
215 NE 1ST AVE
DELRAY BEACH, FL

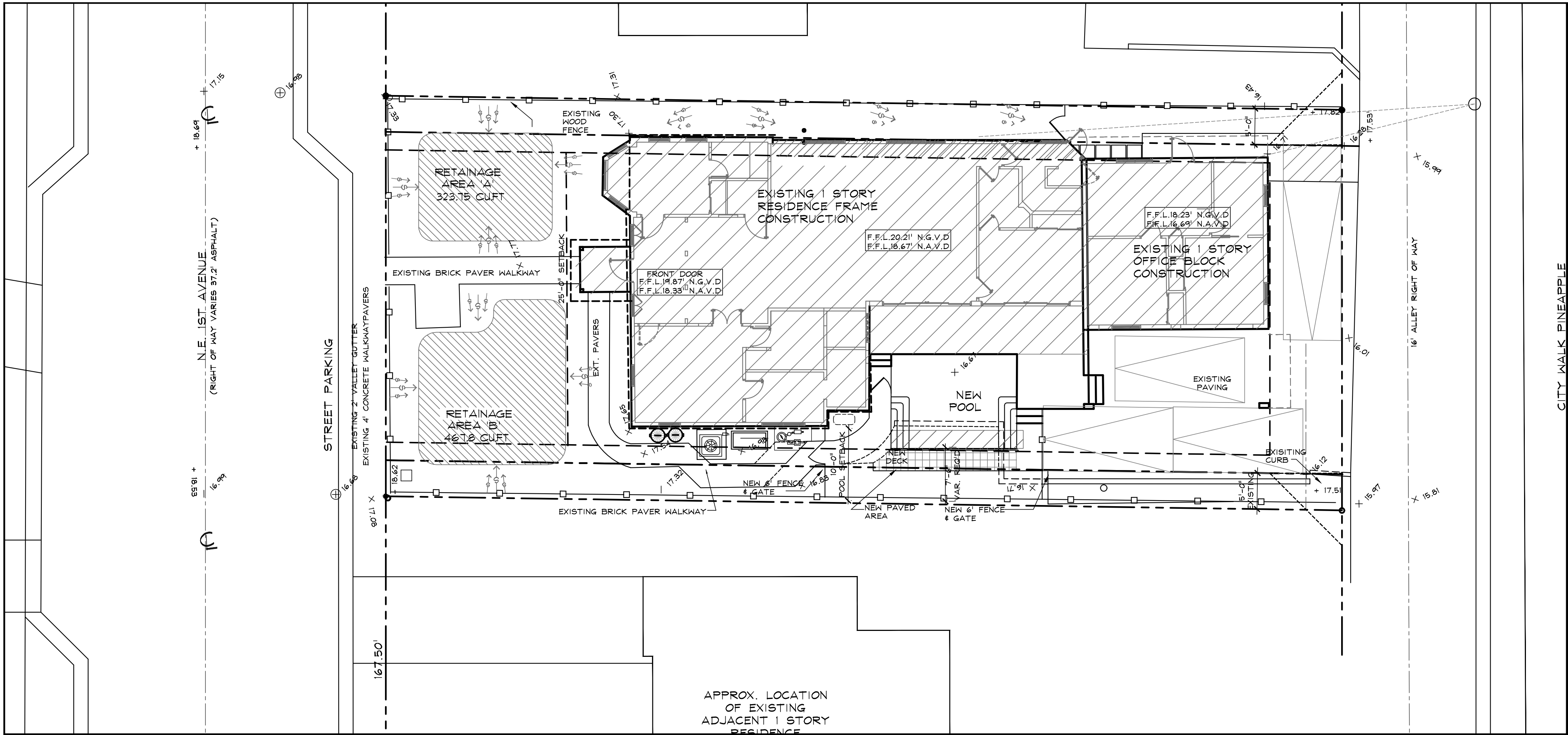
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Shane Ames - Architect

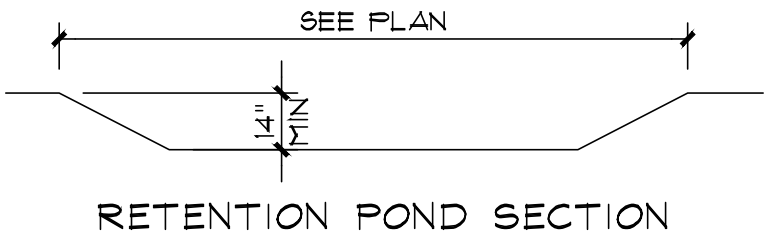


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A03



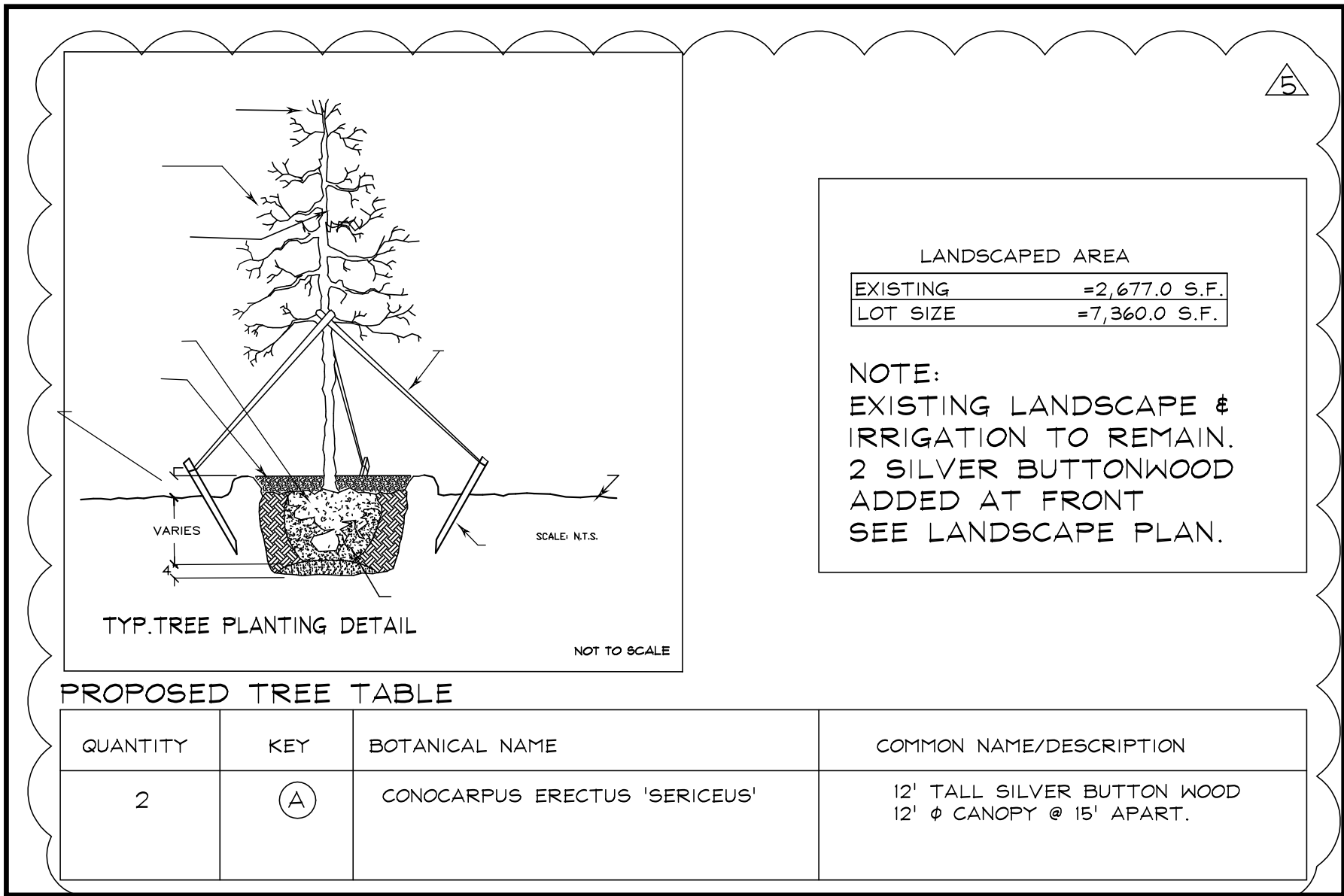
SITE DRAINAGE CALCULATIONS		
SITE RETENTION PONDS (12" DP)		
AREA 'A'	323.0 CU.FT	
AREA 'B'	467.8 CU.FT	
TOTAL AREA PROVIDED		790.0 CU.FT



A	TOTAL LOT AREA	7300 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	4750 S.F.
C	TOTAL PERVIOUS LOT AREA	2610 S.F.
D	AREA OF SHRUBS AND GROUND COVER REQUIRED	D = (A - B)
E	AREA OF SHRUBS AND GROUND COVER PROVIDED	522 S.F.
F	NATIVE VEGETATION REQUIRED	F = (D x .25)
G	NATIVE VEGETATION PROVIDED	130.5 S.F.
H	TOTAL NUMBER OF TREES REQUIRED ON SITE	2479 S.F.
I	TOTAL NUMBER OF TREES REQUIRED ON PLAN PROVIDED	12
J	TOTAL NUMBER OF TREES REQUIRED ON PLAN PROVIDED	I = [(A/2500 SF) - (H)]
K	TOTAL NUMBER OF NATIVE TREES PROVIDED	-9
L	TOTAL NUMBER OF NATIVE TREES PROVIDED	14
		K = [(H + I) x .50]
		2
		2

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.

LANDSCAPE CALCULATION

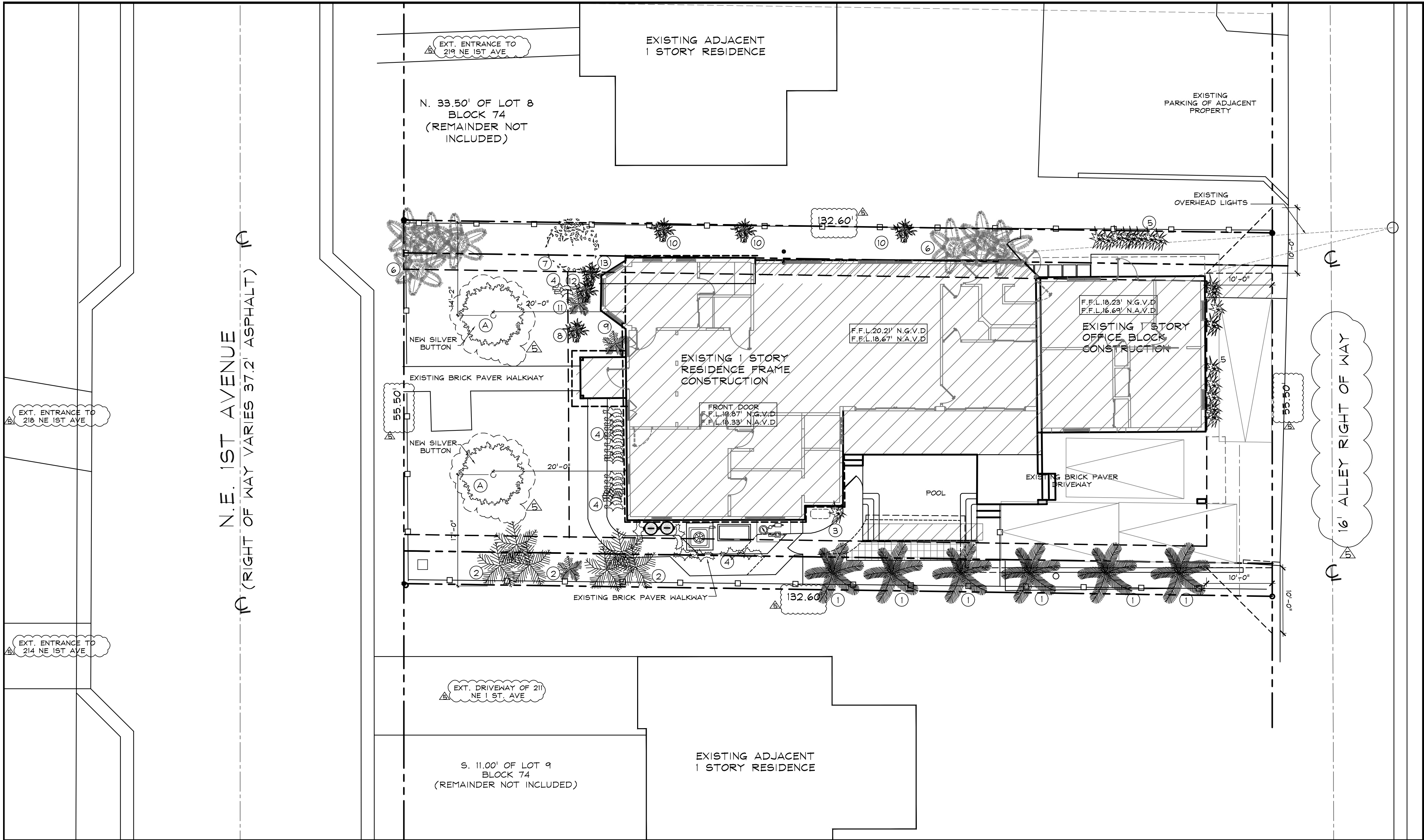


PROPOSED TREE TABLE

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME/DESCRIPTION
2	(A)	CONOCARPUS ERECTUS 'SERICEUS'	12' TALL SILVER BUTTON WOOD 12' Ø CANOPY @ 15' APART.

EXISTING TREE SCHEDULE

SHRUBS	SCIENTIFIC NAME	COMMON NAME	REMARKS	QUANTITY
	CORDYLINE FRUTICOSA	TI-PLANT	EXISTING TO REMAIN	1
	IXORA COCCINEA	DWARF IXORA	EXISTING TO REMAIN	8
	EUPHORBIA PULCHERRIMA	POINSIETTA	EXISTING TO REMAIN	1
	EUGENIA MYRTIFOLIUM	EUGENIA GLOBE	EXISTING TO REMAIN	1
	COCCOLOBA UVIFERA	WILD SEA GRAPE	EXISTING TO REMAIN	1
	DURANTA ERECTA	DURANTA	EXISTING TO REMAIN	3
	HIBISCUS ROSA-SINENSIS	HIBISCUS	EXISTING TO REMAIN	3
	BOUGAINVILLEA GLABRA	BOUGAINVILLEA	EXISTING TO REMAIN	6
	ATHYRIUM PYCNOCARPON	FERN	EXISTING TO REMAIN	50
PALMS				
	ROYSTONIA	ROYAL PALM	EXISTING TO REMAIN	1
	SABAL PALMETTO	SABAL PALM	EXISTING TO REMAIN	1
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	EXISTING TO REMAIN	1
	CHAMAEDOREA	BAMBOO PALM	EXISTING TO REMAIN	1
	DYPSIS LUTESCENS	ARECA PALM	EXISTING TO REMAIN	36
	RAVENALA MADAGASCARIENSIS	TRAVELLERS PALM	EXISTING TO REMAIN	30
TREE				
	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	EXISTING TO REMAIN	1



PRELIMINARY DRAWINGS-HPB

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Shane Ames - Architect

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LOT DRAINAGE + EXISTING LANDSCAPE PLAN + DETAILS

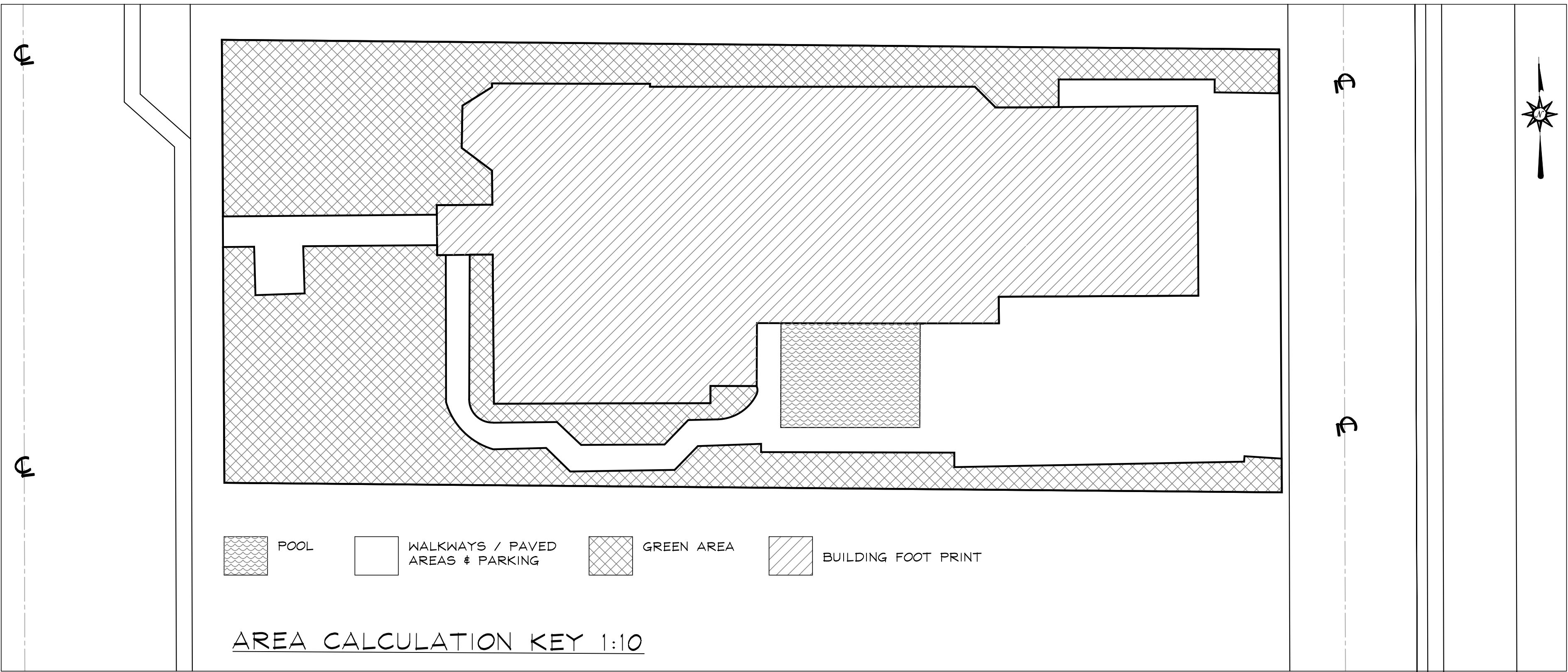
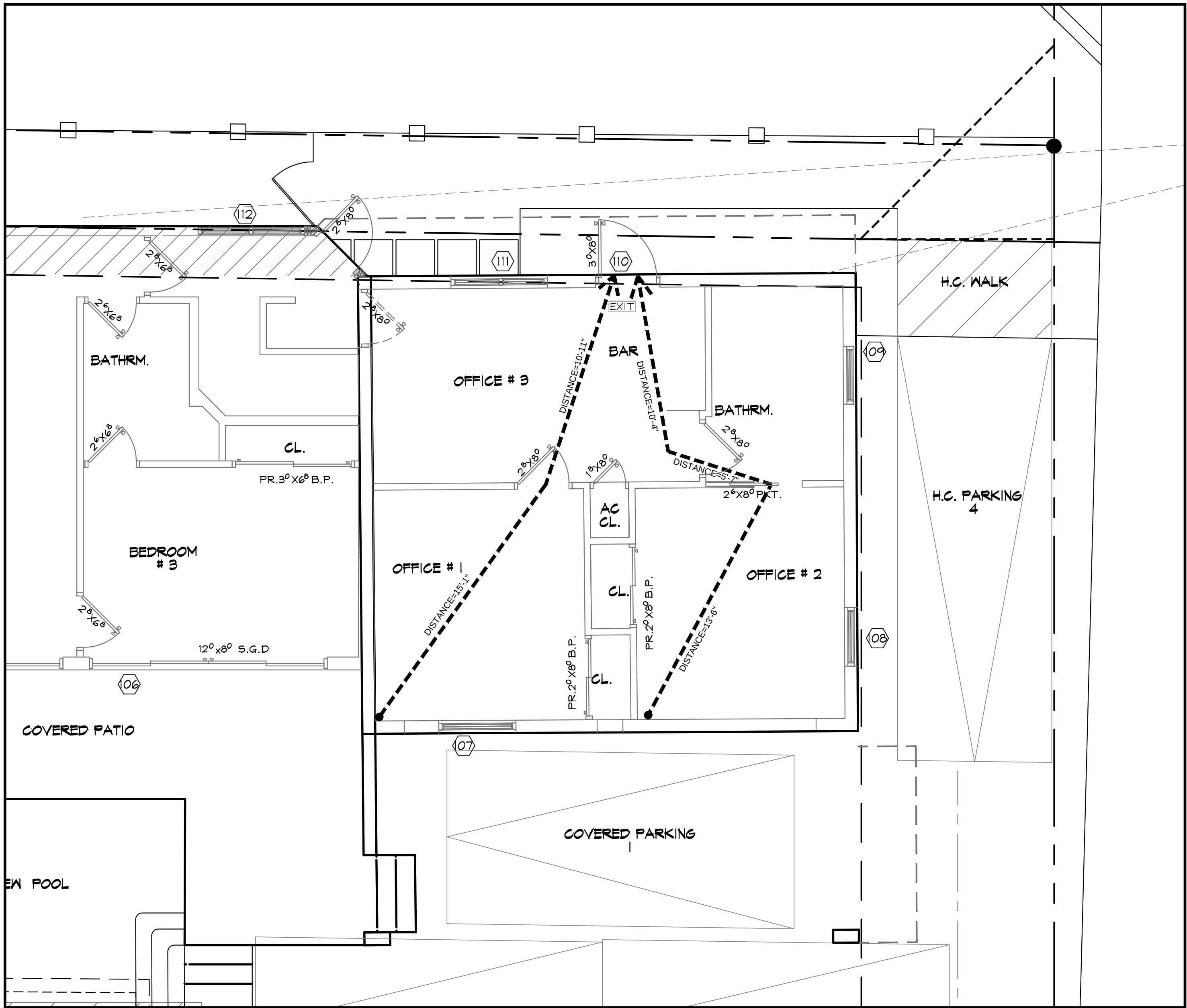
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A02

OF 16 SHEETS

LIFE & SAFETY

SCALE: 1/4"=1'-0"



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LIFE + SAFETY + PERVIOUS/IMPERVIOUS CALCULATIONS

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Shane Ames - Architect

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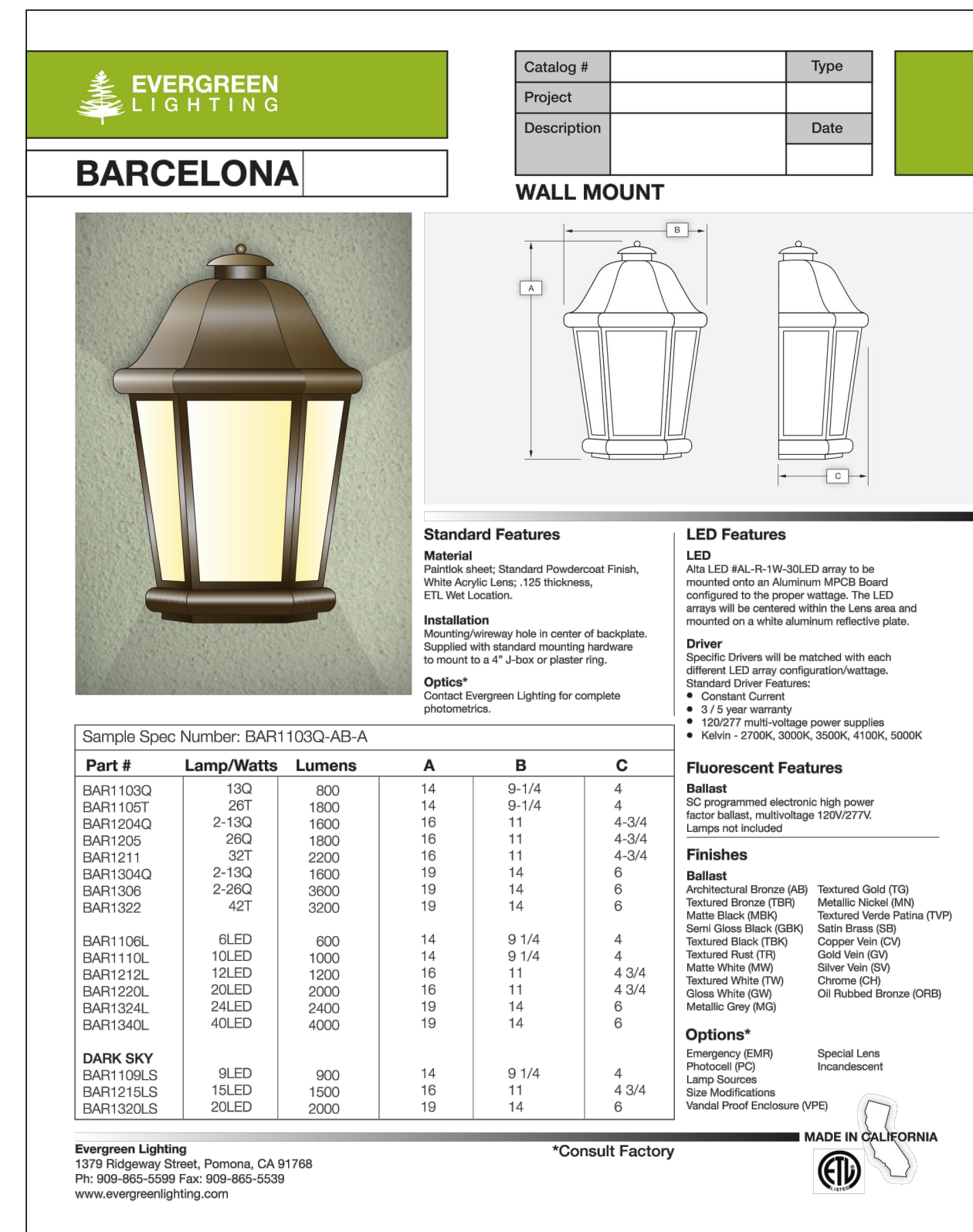
PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER

215 NE 1ST AVE
DELRAY BEACH, FL

Lic. # A0002307 ARCHIT. # AR001001

ADDRESS : HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DINE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 8444, FAX : (561)2748448.



Calculation Summary 5							
Project: JASON & ALANA SYLVESTER - SITE DELRAY BEACH, FL 11/21/2016							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	1.91	2.6	1.2	1.59	2.17

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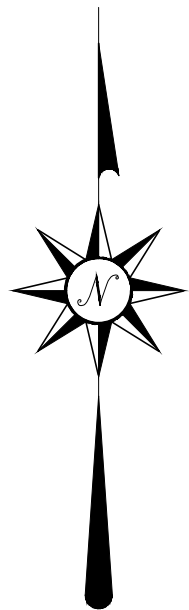
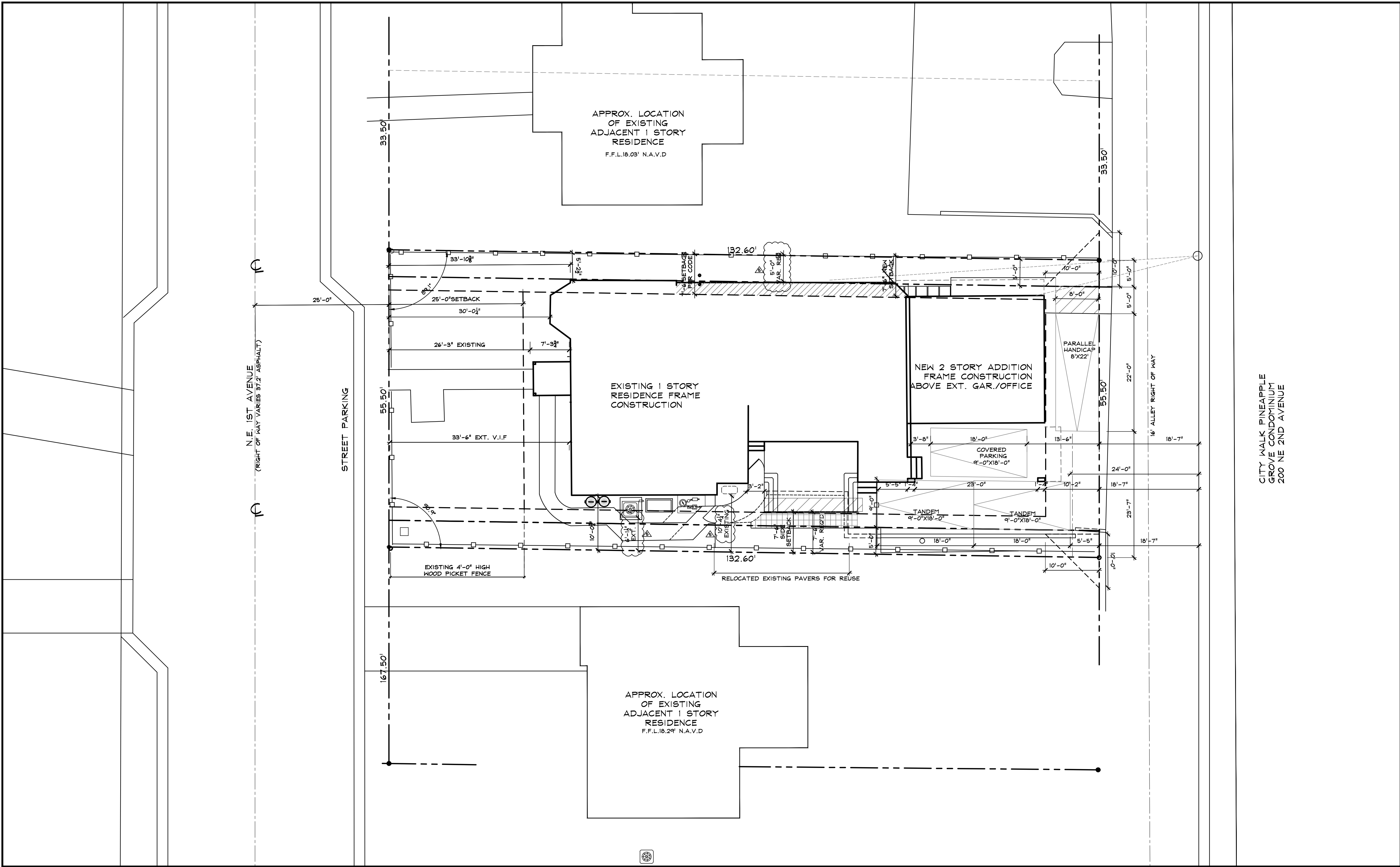


Shane Ames - Architect

Lic# : AA0002307 ARCHR# : AR0012001
ADDRESS : HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 8444, FAX : (561)2748449.

PHOTOMETRIC PLAN

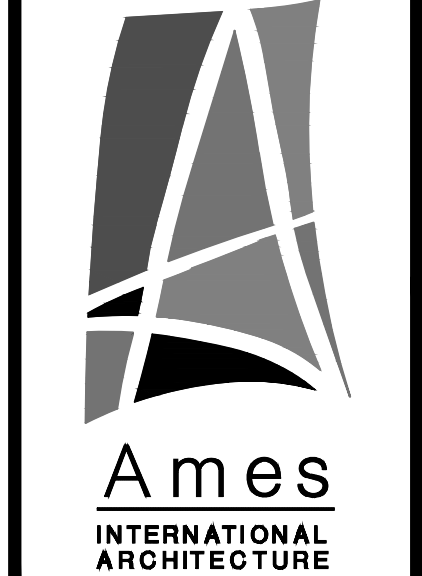
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SITE PLAN DIMENSIONED

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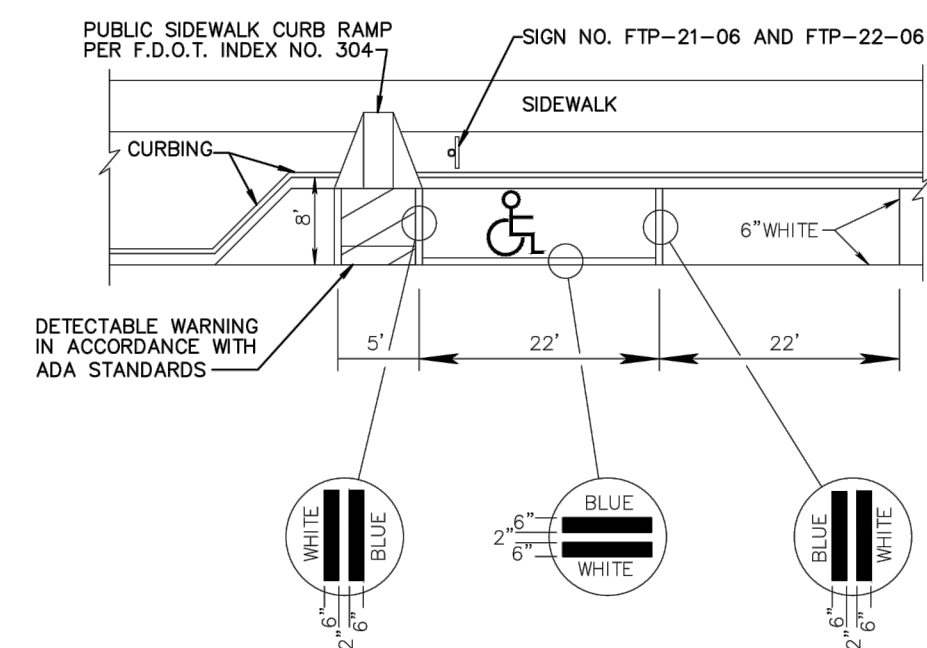
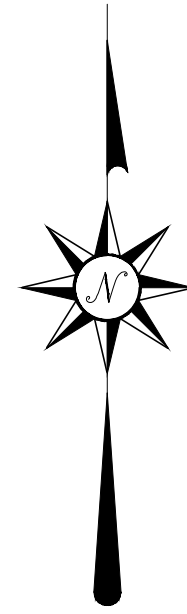
Shane Ames - Architect

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PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER
215 NE 1ST AVE
DELRAY BEACH, FL



NOTE:

1. HANDICAPPED PARKING SPACE MUST BE FIRST OR LAST PARALLEL PARKING SPACE IN THE ROW, ADJACENT TO LANDSCAPE ISLAND. IF SPACE, IS AT THE FRONT OF PARKING ROW ACCESS PANEL MUST BE IN FRONT OF CAR AND IF SPACE IS AT THE END OF PARKING ROW ACCESS PANEL MUST BE AT THE REAR OF CAR.
2. WHEN PARKING SPACE IS ADJACENT TO LANDSCAPE ISLAND SPACE MAYBE REDUCED TO 20' FROM THE STANDARD 22' LENGTH.

DETAIL, PER CITY OF DELRAY
BEACH ENVIRONMENTAL DEPT

SITE PARKING AND DETAIL S

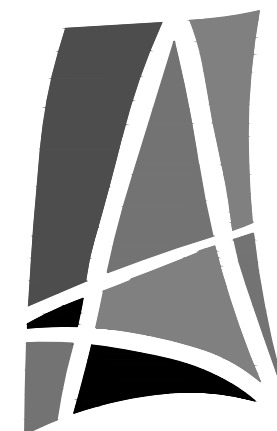
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PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER
215 NE 1ST AVE
DELRAY BEACH, FL

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Shane Ames - Architect



Ames
INTERNATIONAL
ARCHITECTURE

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A.G.
CHECKED

DATE
11/29/2018

SCALE
1"=10'

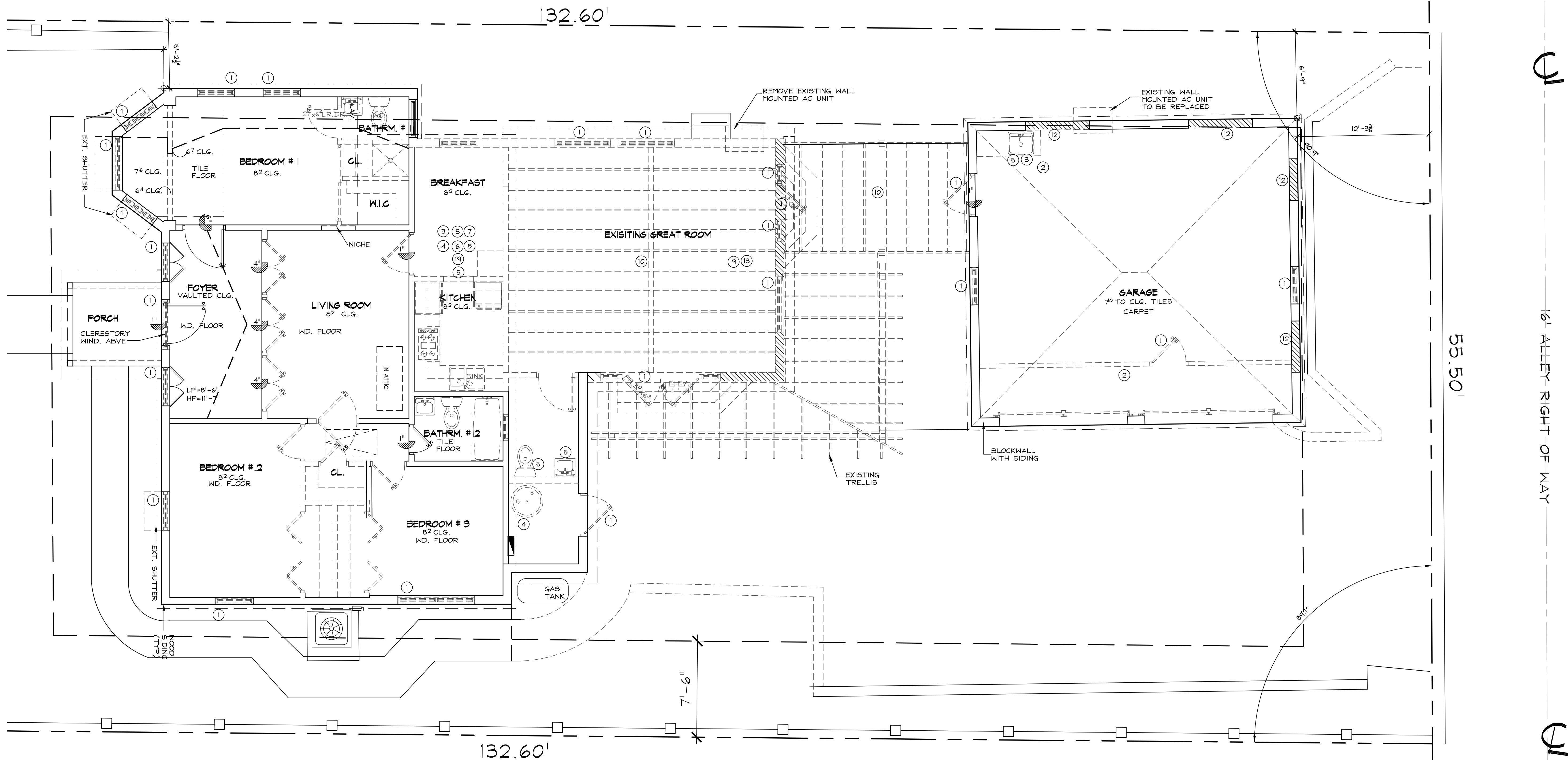
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NOTE TO GC:
GC TO COORDINATE THE DEMO PLAN AS
INDICATED W/ NEW FLOOR PLAN LAYOUT TO
DETERMINE THE EXACT EXTENT OF THE
DEMOLITION.

NOTE TO GC:
DUE TO THE UNKNOWN / CONCEALED
CONDITIONS OF THE EXISTING
STRUCTURE MODIFICATION TO SOME
PARTS OF THE CONSTRUCTION
DOCUMENT AND DETAILING WILL BE
REQUIRED. THIS ADJUSTMENT WILL BE
ACCOMPLISHED DURING THE COURSE
OF CONSTRUCTION. GC TO COORDINATE
WITH ARCHITECT

- DEMOLITION NOTES:**
1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
 2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
 3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
 4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
 5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
 6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
 7. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
 8. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
 9. FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
 10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
 11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC.
 12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
 13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
 14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
 15. G.C. AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

- DEMOLITION LEGEND:**
- 1 REMOVE DOOR/WINDOW
 - 2 REMOVE INTERIOR WALL
 - 3 REMOVE BUILT-IN & CABINETS
 - 4 REMOVE ELECTRICAL FIXTURES
 - 5 REMOVE PLUMBING FIXTURES
 - 6 REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
 - 7 REMOVE FLOOR COVERING
 - 8 REMOVE APPL.
 - 9 ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
 - 10 REMOVE SOFFIT/BEAM
 - 11 RAISE/MODIFY CEILING
 - 12 REMOVE CBS WALL/ NEW OPENING
 - 13 REMOVE ROOF/TRELLIS/WD COLUMN
 - 14 REMOVE EXIST'G DRIVE AS REQ'D TO ALLOW FOR NEW ADDITION
 - 15 REMOVE EXIST'G SHED
 - 16 REMOVE EXIST'G STEP STONE
 - 17 RELOCATE EXISTING AHU
 - 18 RELOCATE EXISTING GENERATOR
 - 19 NEW CEILING

PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER
215 NE 1ST AVE
DELRAY BEACH, FL.

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Shane Ames - Architect

Ames
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ARCHITECTURE

DRAWN
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CHECKED

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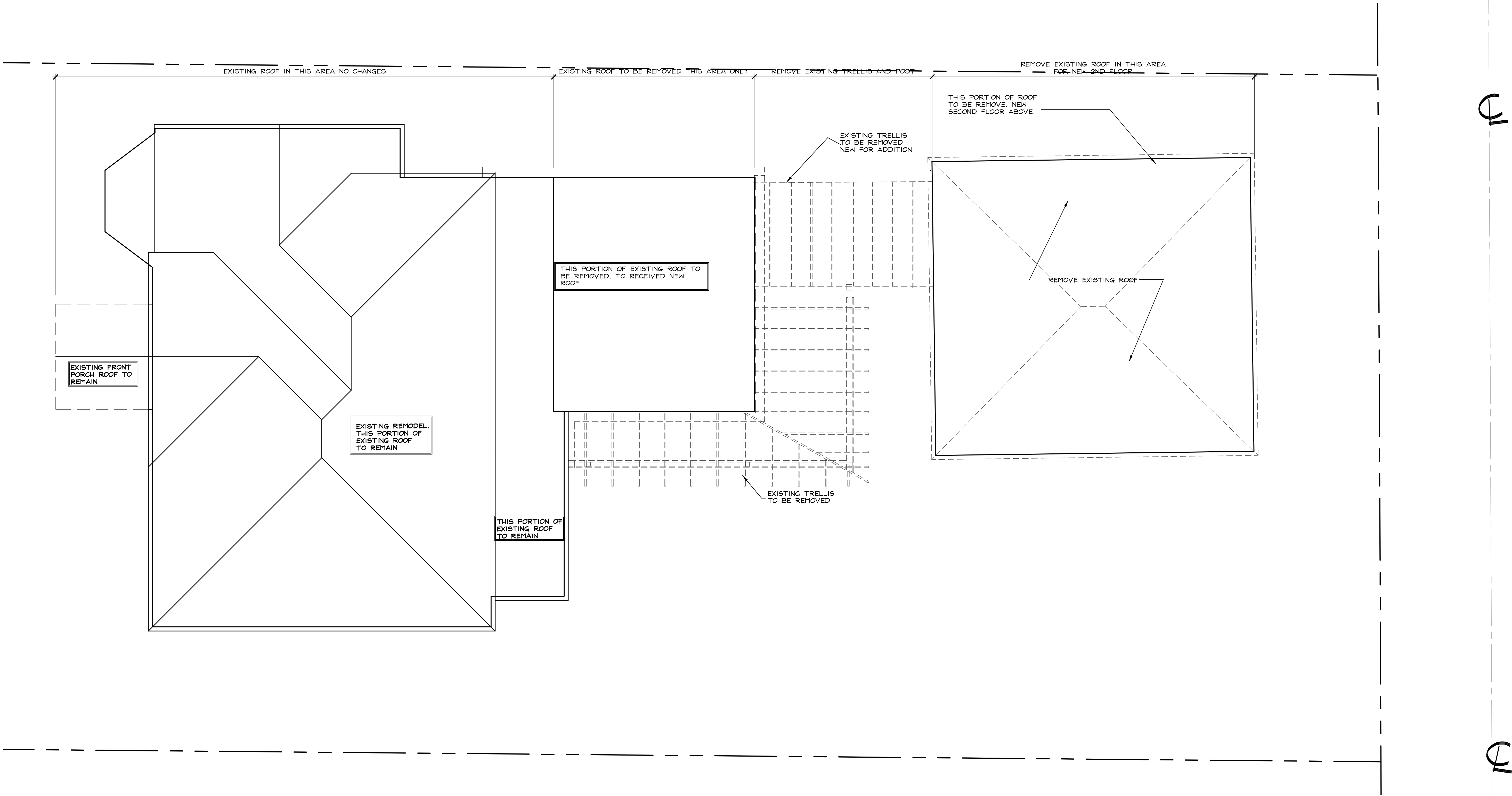
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OF 16 SHEETS

DEMOLITION PLAN

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DUE TO THE UNKNOWN / CONCEALED CONDITIONS OF THE EXISTING STRUCTURE MODIFICATION TO SOME PARTS OF THE CONSTRUCTION DOCUMENT AND DETAILING WILL BE REQUIRED. THIS ADJUSTMENT WILL BE ACCOMPLISHED DURING THE COURSE OF CONSTRUCTION. GC TO COORDINATE WITH ARCHITECT

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ROOF DEMOLITION PLAN

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A04.1
OF 16 SHEETS

Shane Ames - Architect



PRELIMINARY DRAWINGS-HPB

JASON & ALANA SYLVESTER
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DELRAY BEACH, FL.

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6/10/2016 HPB COMMENTS	A.G.
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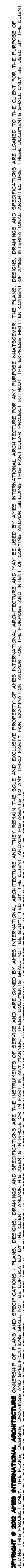
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Shane Ames - Architect



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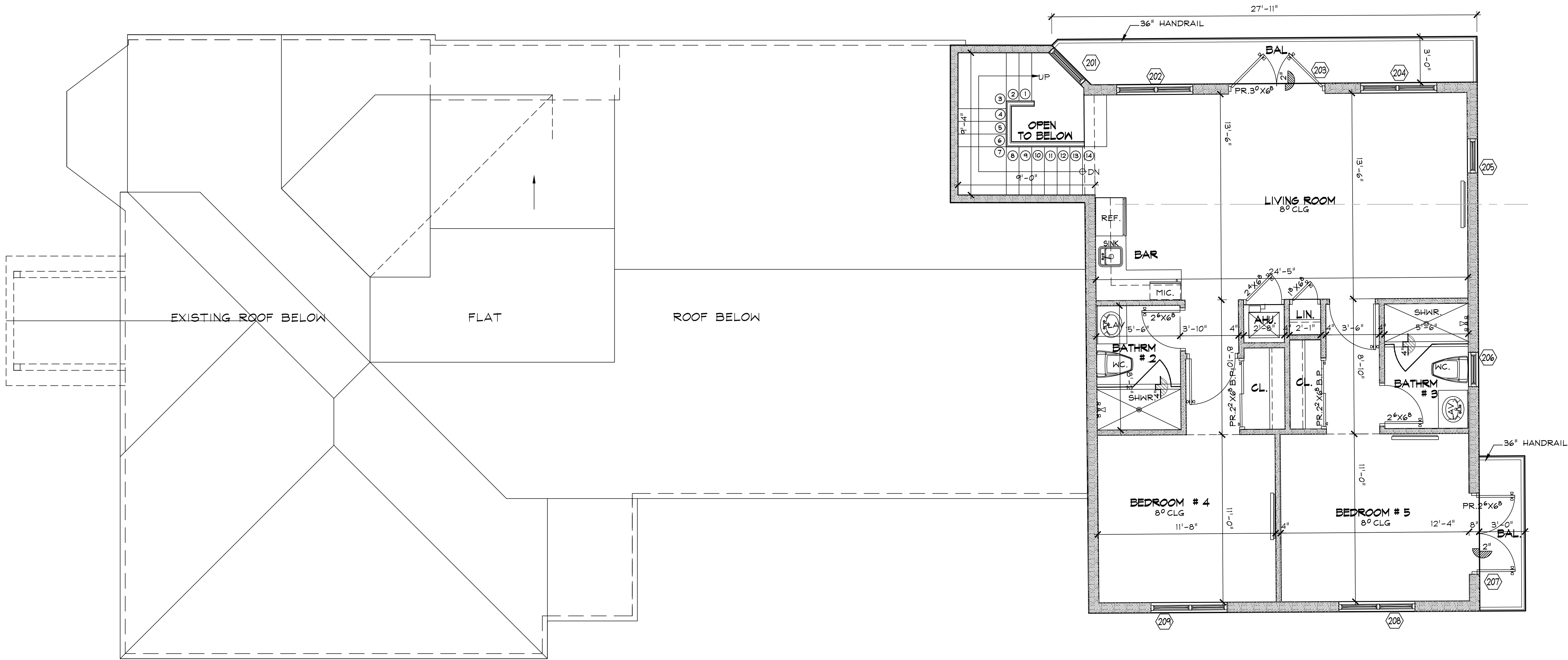
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OF 16 SHEETS

1. VERIFY ALL ROUGH OPENINGS IN FIELD FOR PROPOSED WINDOW OR DOOR FIT.
2. PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS. (V.I.F.)
3. BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
4. ALL EXISTING WINDOW & DOOR OPENING TO BE V.I.F BY GC AND WINDOW CO. PRIOR TO FABRICATION.
5. IMPACT GLASS FOR ALL WINDOWS/DOORS & SHOWER AREAS



WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)

WINDOW/DOOR SCHEDULE							
#	EGRESS	MAT'L.	REMARKS	SILL	SIZE	TRANSOM	WIND +/-
201		ALUM.	LOW E	54"	3'-0"x2'-0"	N/A	FIX. GL.
202		ALUM.	LOW E	24"	5'-0"x4'-8"	N/A	FIX. GL. 2 PNL
203		ALUM.	LOW E		PR 3'-0"x6'-8"	N/A	FR.DR.
204		ALUM.	LOW E	24"	5'-0"x4'-8"	N/A	FIX. GL. 2 PNL
205		ALUM.	LOW E	54"	2'-3"x2'-2"	N/A	FIX. GL.
206		ALUM.	LOW E	54"	2'-3"x2'-2"	N/A	FIX. GL.
207		ALUM.	LOW E		PR 2'-6"x6'-8"	N/A	FR.DR.
208	EGRESS	ALUM.	LOW E	38"	5'-0"x3'-6"	N/A	S.H.
209	EGRESS	ALUM.	LOW E	38"	5'-0"x3'-6"	N/A	S.H.

NOTES:

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SECOND FLOOR PLAN

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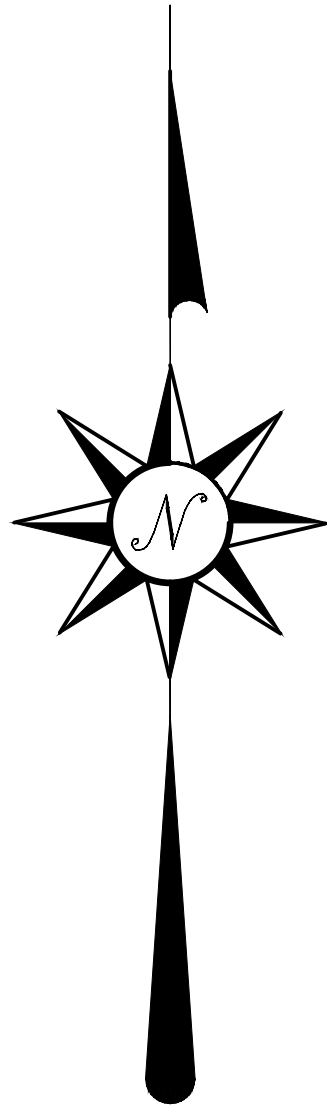
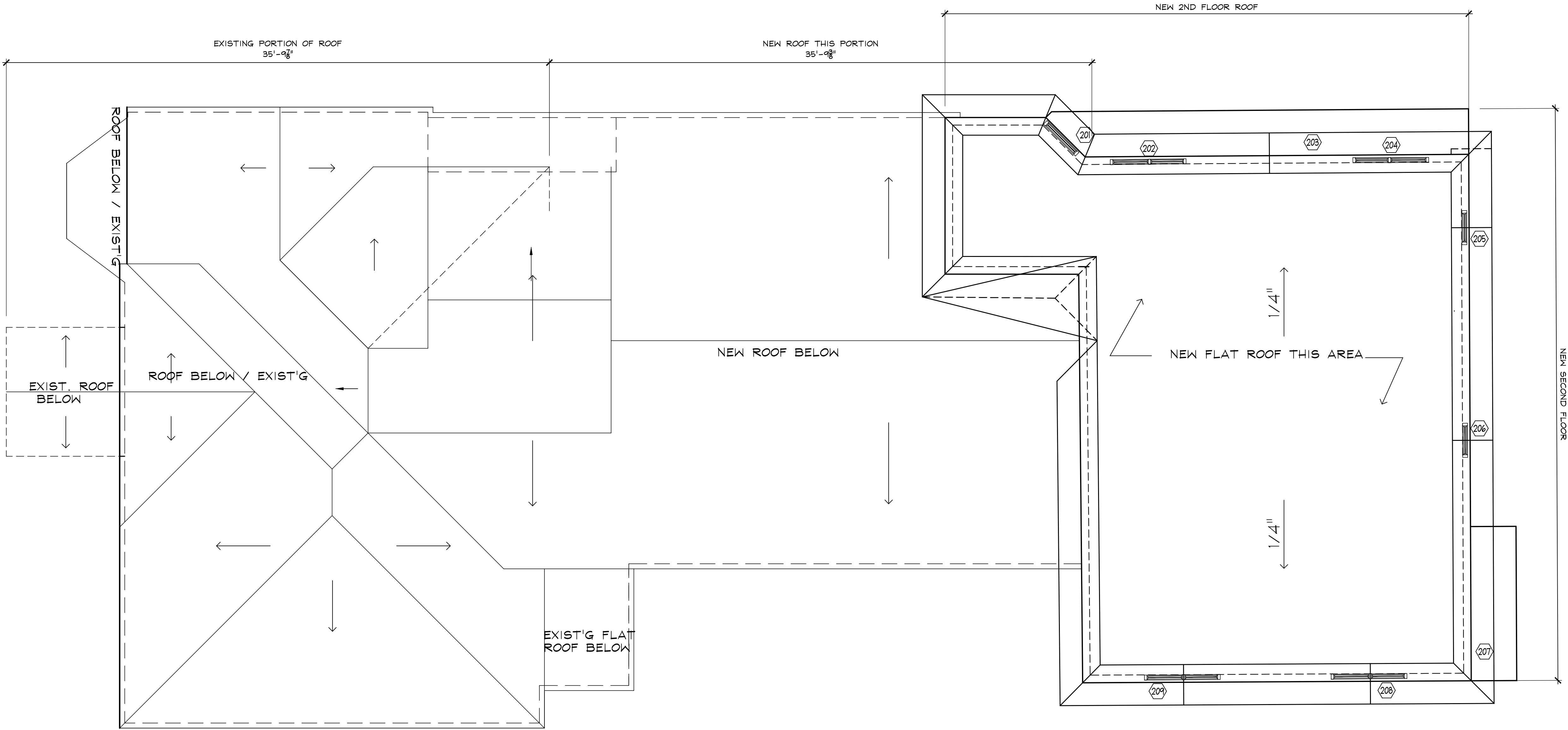
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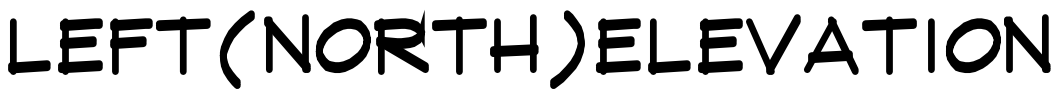
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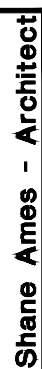


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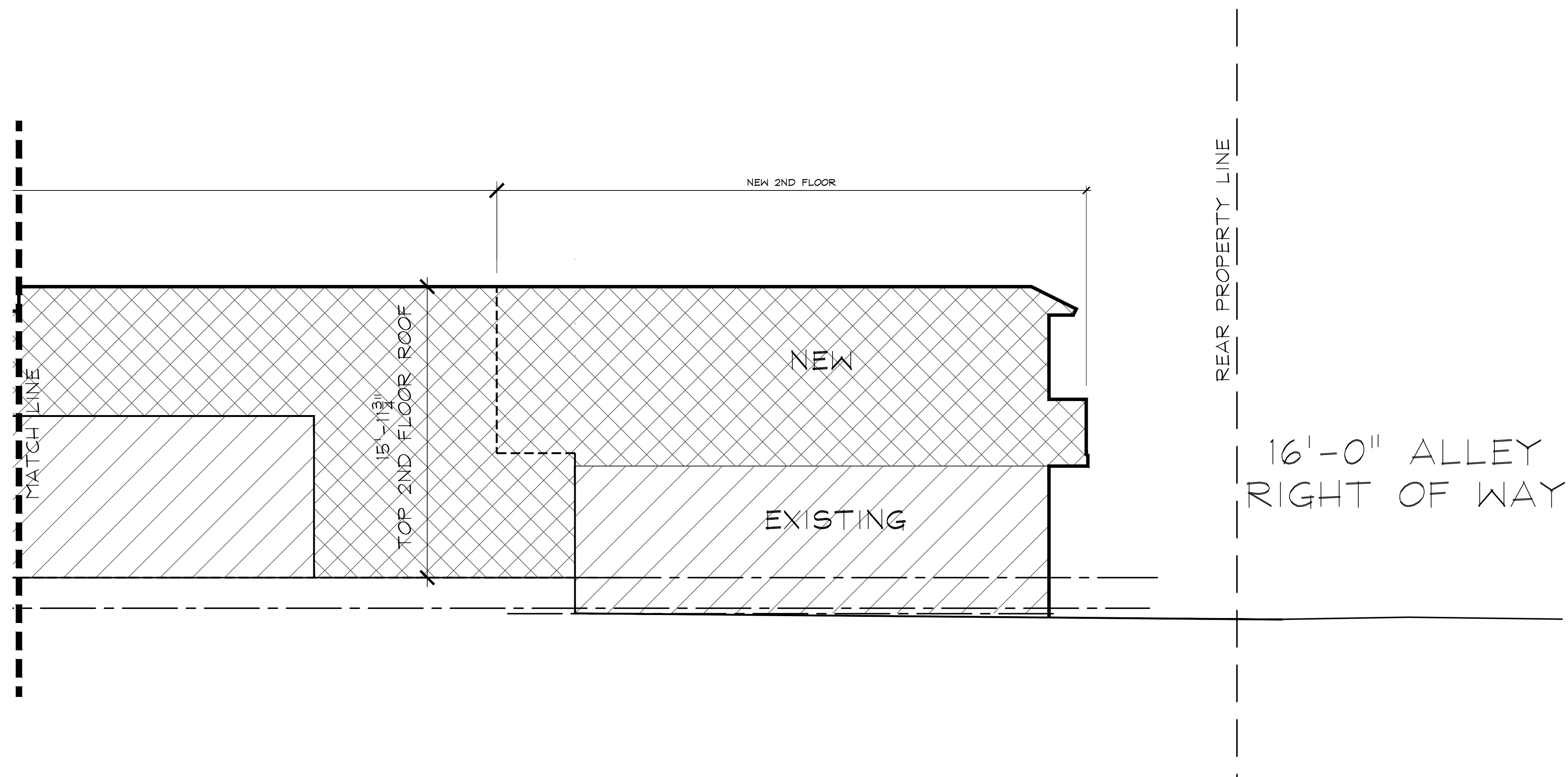
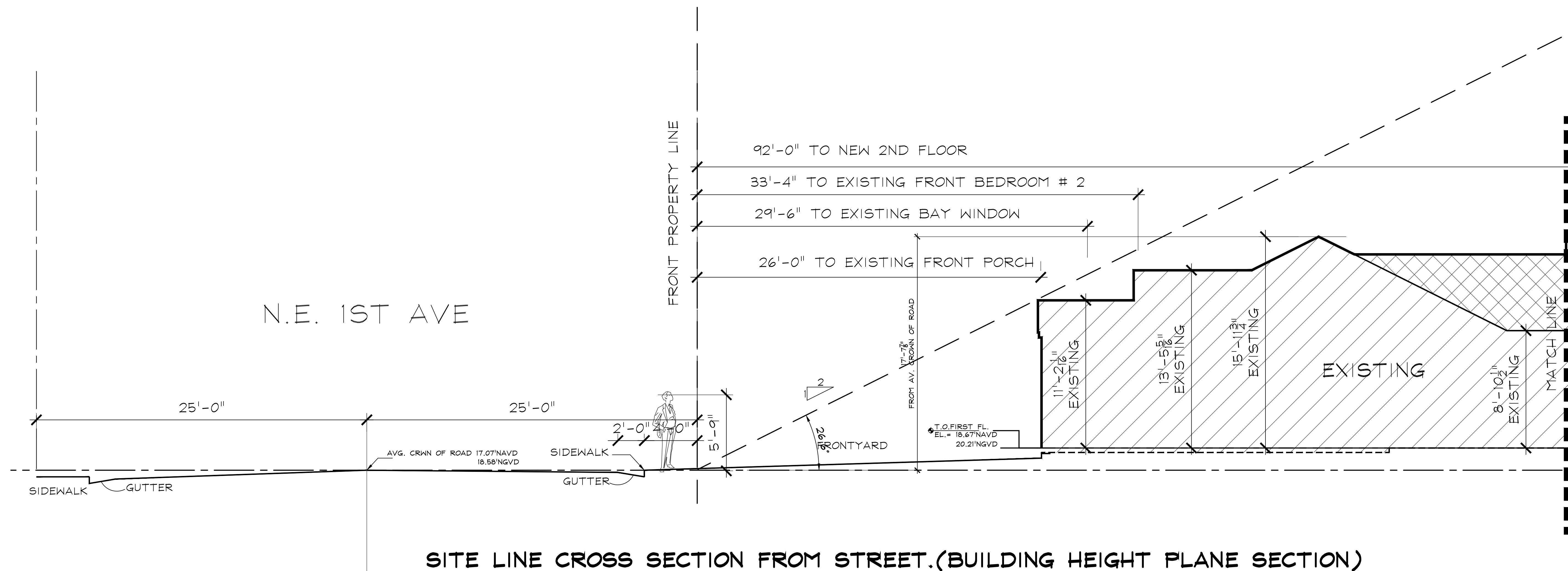
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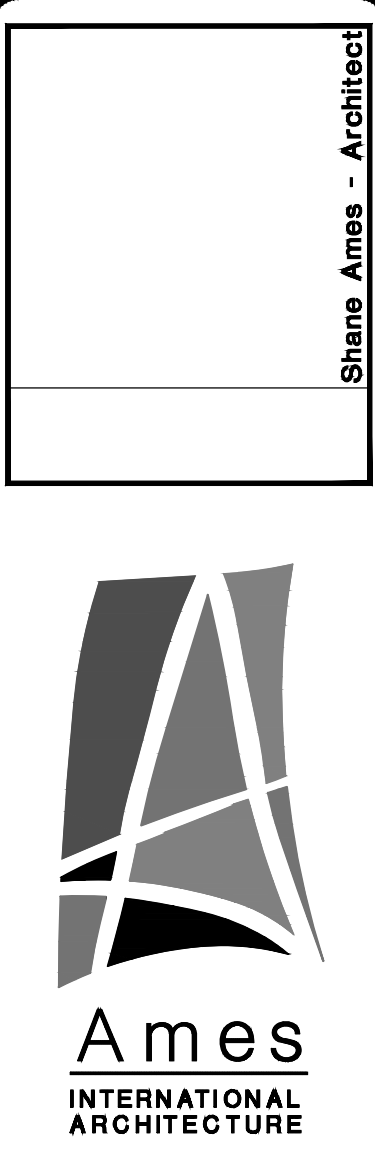
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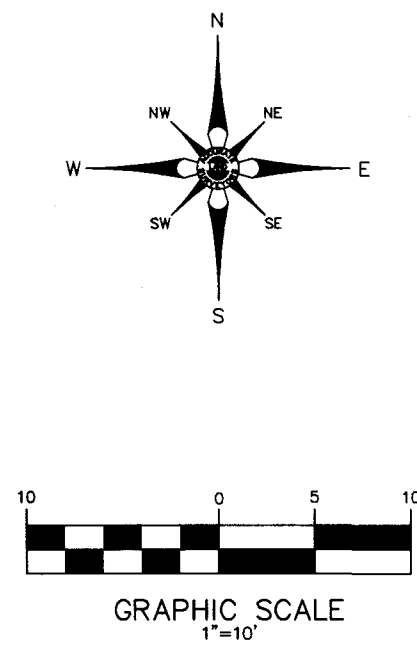
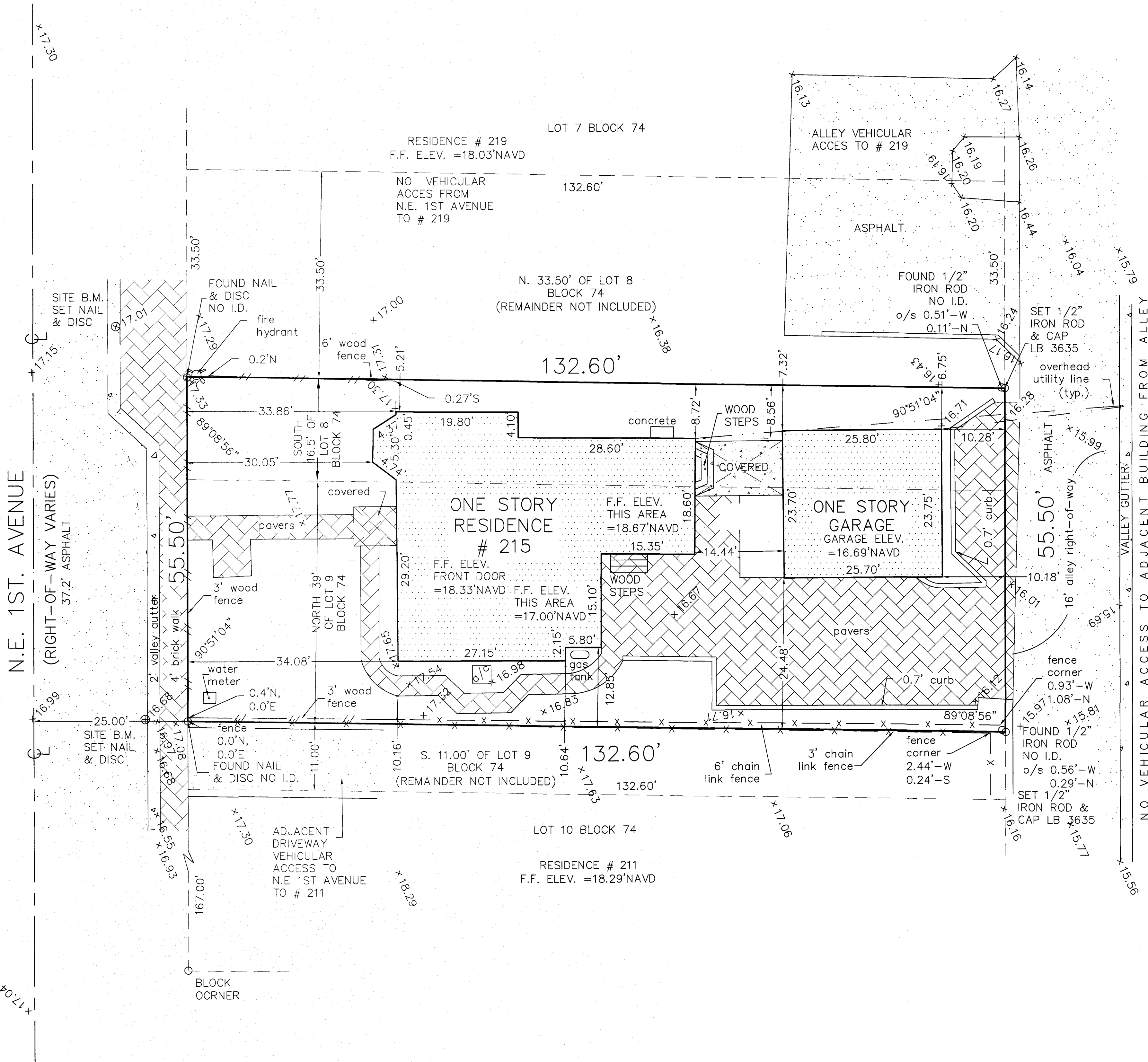
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ACCURATE LAND SURVEYORS, INC.
L.B. #3635

1150 E. ATLANTIC BLVD.
POMPAHO BEACH, FLORIDA 33060

TEL (954) 782-1441
FAX (954) 782-1442

BOUNDARY & TOPOGRAPHIC SURVEY

LEGEND OF ABBREVIATIONS:

A = CENTRAL ANGLE

CB = CHORD BEARING

R = RADIUS

R/W = RIGHT OF WAY

P.C. = POINT OF CURVATURE

P.T. = POINT OF TANGENCY

WM = WATER METER

OH = OVERHANG

N = NORTH

S = SOUTH

E = EAST

W = WEST

CONC. = CONCRETE

D.B. = DEED BOOK

CLF = CHAIN LINK FENCE

BLVD. = BOULEVARD

ENCH. = ENCH.

P.R.M. = PERMANENT REFERENCE MONUMENT

ELEV. = ELEVATION

B.M. = BENCHMARK

X 1/2" = ELEVATIONS BASED ON N.A.V.D.

SQ. FT. = SQUARE FEET

P.C.P. = PERMANENT CONTROL POINT

P.B.C.R. = PALM BEACH COUNTY RECORD

P = PLAT

N&D = NAIL & DISC

P.O.C. = POINT OF COMMENCEMENT

P.O.B. = POINT OF BEGINNING

AVC = AIR CONDITIONER

FND = FOUND

CHATT. = CHATTAHOOCHEE

F.P.L. = FLORIDA POWER & LIGHT

N.T.S. = NOT TO SCALE

B.C.R. = BROWARD COUNTY RECORDS

D.C.R. = DADE COUNTY RECORDS

P.B. = PLAT BOOK

O.R.B. = OFFICIAL RECORDS BOOK

F.F. = FINISHED FLOOR

GAR. = GARAGE

CL. = CENTERLINE

M.H. = MANHOLE

(M) = MEASURED

LP = LIGHT POLE

STREET ADDRESS:
215 N.E. 1st Avenue
Delray Beach, Florida 33444

LEGAL DESCRIPTION:
All of the South 16.5 feet of Lot 8 and the North 39 feet of Lot 9, Block 74, City of Delray Beach, Florida, according to the Plat of Subdivision of said Block 74, as recorded in Plat Book 11, at Page 12 of the Public Records of Palm Beach County, Florida.

NOTES:
1. Unless otherwise noted field measurements are in agreement with record measurements.
2. Bearings shown hereon are based on a bearing of N/A.
3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
4. Ownership of fences and walls if any are not determined.
5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
6. This survey is made for the exclusive use of the certified hereon, to be valid one year from the date of survey as shown hereon.
7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.

FLOOD INFORMATION:
Community name and number: Delray Beach 125102
Map and panel number: 12099C0979F
Panel date: 10-05-17
Index date: 10-05-17
Flood zone: X
Base flood elevation: N/A

BENCHMARK INFORMATION:
Palm Beach County Benchmark Z-233
Elevation = 16.020' NAVD1988

CERTIFY TO:
Jason and Alana Sylvester

DATE OF FIELD SURVEY: 06-20-14
DRAWN BY: OIW

FIELD BOOK: ALS-SU-14-1937
CHECKED BY: CCC

REVISIONS

DATE

BY

UPDATE/TOPO SURVEY SU-18-1879

06-20-18

AL/RLT

CONVERT TO NAVD & CHANGE SHEET SIZE

10-31-17

MLW

UPDATE SURVEY & SHOW PROPOSED STRUCTURES US-17-2338

09-25-17

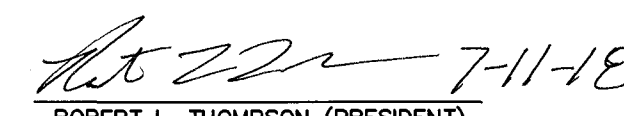
AL/RLT

UPDATE/TOPO SURVEY SU-14-3280

10-10-14

AL/MS

CERTIFICATION:
This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.


7-11-18

ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3982 - STATE OF FLORIDA



SHEET 1 OF 1 | SCALE 1"=10' | SKETCH NUMBER SU-14-1937