

HNM ARCHITECTURE OFFICES

143 South Swinton Avenue
City of Delray Beach, Florida 33444

HNM ARCHITECTURE OFFICES
143 South Swinton Avenue
Delray Beach, Florida

ARCHITECT:
HNM ARCHITECTURE, LLC
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Delray Beach, FL 33483
Contact: Jaime O. Mayo
T 561-733-2225

CIVIL:
CAMERO & ASSOCIATES, INC
7400 Sw 50th Terrace Suite 204
Miami, FL 33155
Contact: Jorge Camero
T 305-665-7602

LANDSCAPE :
LYNN BENDER LANDSCAPE ARCHITECTURE
5610 Adair Way;
Lake Worth, FL 33467
Contact: Lynn Bender
T 561-644-3237

ALL WORK TO COMPLY W/ THE FOLLOWING CODES:
THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH ALL CITY OF DELRAY BEACH BUILDING DEPARTMENT REQUIREMENTS AND AMENDMENTS, PALM BEACH COUNTY REQUIREMENTS AND FOLLOWING CODES:

- 2017 FLORIDA BUILDING CODE
- NATIONAL ELECTRICAL CODE 2015
- 2017 THE FLORIDA FIRE PREVENTION CODE
- NFPA-101, 2015 EDITION W/ FLORIDA AMENDMENTS
- NFPA 1 UNIFORM FIRE CODE 2015 W/ FLORIDA AMENDMENTS
- FLORIDA STATUES
- FLORIDA ADMINISTRATIVE CODE

PROJECT TEAM

ZONING DESIGNATION:
OSSHAD-OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT

FUTURE LAND USE DESIGNATION 
OMU - OTHER MIXED USE

OCCUPANCY:
'B' BUSINESS PER 2017 F.B.C

CONSTRUCTION TYPE:
TYPE V-B (NON-SPRINKLERED)

LEVEL OF ALTERATION:
LEVEL 3, AS PER FBC., EXISTING BUILDING 504.1

BUILDING STATS:

EXISTING FLOOR AREA(A/C)	1,571 S.F.
EXISTING FLOOR AREA(A/C) CONVERTED BACK TO ORIGINAL EXTERIOR PORCH :	-254 S.F.
EXISTING FLOOR AREA (A/C) TO REMAIN:	1,317 S.F.
EXISTING FLOOR AREA (A/C) TO REMAIN:	1,317 S.F.
EXISTING ORIGINAL EXTERIOR PORCH :	254 S.F.
NEW ADDITIONAL FLOOR AREA (A/C):	2,826 S.F.
NEW GROSS FLOOR AREA:	4,397 S.F.

DEMOLITION NOTES:

- COMBUSTIBLE WASTE MATERIALS, DUST & DEBRIS SHALL BE REMOVED FROM THE SITE AT THE END OF EACH SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATION
- ANY CHANGES TO FIRE ALARM OR SPRINKLER SYSTEM SHALL BE UNDER SEPARATE PERMIT BY LICENSED INSTALLER
- DEMOLISH AND REMOVE ALL WALLS DESIGNATED TO BE REMOVED ON DEMOLITION PLAN. ADJACENT SURFACES TO BE PROTECTED AND PATCHED TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL DEMOLITION WORK SHALL BE PERFORMED BY MECHANICS SKILLED AND LICENSED IN TRADE INVOLVED.
- REMOVE ALL FLOORING WHERE INDICATED. FLOORING TO REMAIN MUST BE COVERED AND PROTECTED DURING THE DURATION OF CONSTRUCTION.
- REMOVE ALL CABINETRY, COUNTERS AND SHELVING WHERE EVER INDICATED.
- ELECTRICAL LINES AND CIRCUITS THAT ARE IN THE DEMOLITION SHALL BE CAPPED OR DISABLED AT THE ELECTRIC PANEL AS REQUIRED BY N.E.C. LOCAL CODE, ORDINANCES AND OSHA.
- REMOVE ALL ELECTRICAL FIXTURES AND DEVICES THAT ARE IMPACTED BY DEMOLITION WORK.
- CONTRACTOR IS REQUIRED AND IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE SCOPE OF WORK.
- CAP ALL WATER FEED LINES AND SEWER LINES BELOW GRADE FOR ALL PLUMBING FIXTURES DESIGNATED TO BE REMOVED.

PROJECT DATA

REFER TO SITE PLAN SHEET A-0.1 FOR SITE STATS

NOTES

A-0.0 COVER SHEET, NOTES, STATS SURVEY

ARCHITECTURAL:

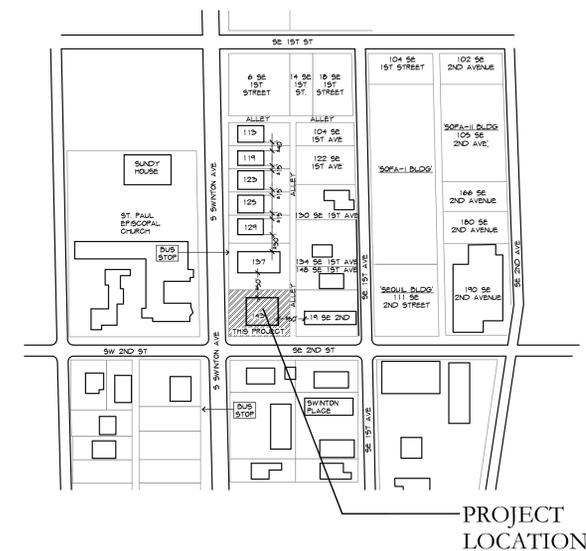
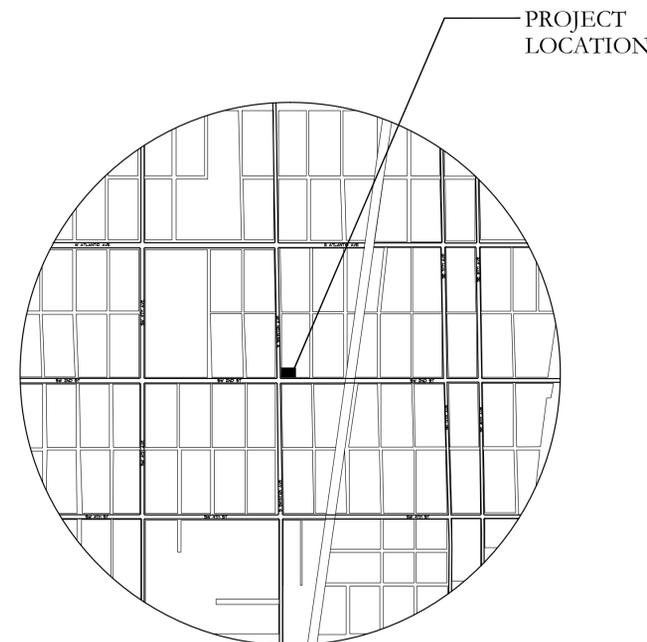
- A-0.1 SITE PLAN
- A-0.1.1 DEMO SITE PLAN
- A-0.2 PHOTOMETRIC SITE PLAN
- A-0.3 SITE DETAILS
- A-0.4 COMPOSITE PLAN
- A-1.0 FLOOR PLAN
- A-3.0 ROOF PLAN
- A-4.0 SOUTH ELEVATION
- A-4.1 WEST ELEVATION
- A-4.2 NORTH ELEVATION
- A-4.3 EAST ELEVATION
- A-4.4 RENDER ELEVATIONS
- A-4.5 ELEVATION DIAGRAMS
- A-8.0 SCHEDULES

CIVIL:

- C-1 PAVING & DRAINAGE PLAN
- C-2 PAVEMENT MARKING & SIGNING PLAN
- C-3 PAVING & DRAINAGE DETAILS
- C-4 WATER & SEWER PLAN
- C-5 WATER & SEWER DETAILS

LANDSCAPE:

- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE PLAN
- TDP-1 EXISTING TREE DISPOSITION PLAN



 2019-07-24
TAC COMMENTS

NO. DATE REVISION

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MICHAEL W. HAMLON
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER

17-030

ISSUED DATE:
2019-07-24

SCALE:
N.T.S

TITLE:
COVER, NOTES,
STATS

DRAWING NUMBER

A0.0

DRAWING INDEX

1
N.T.S. VICINITY MAP

2
N.T.S. BLOCK MAP

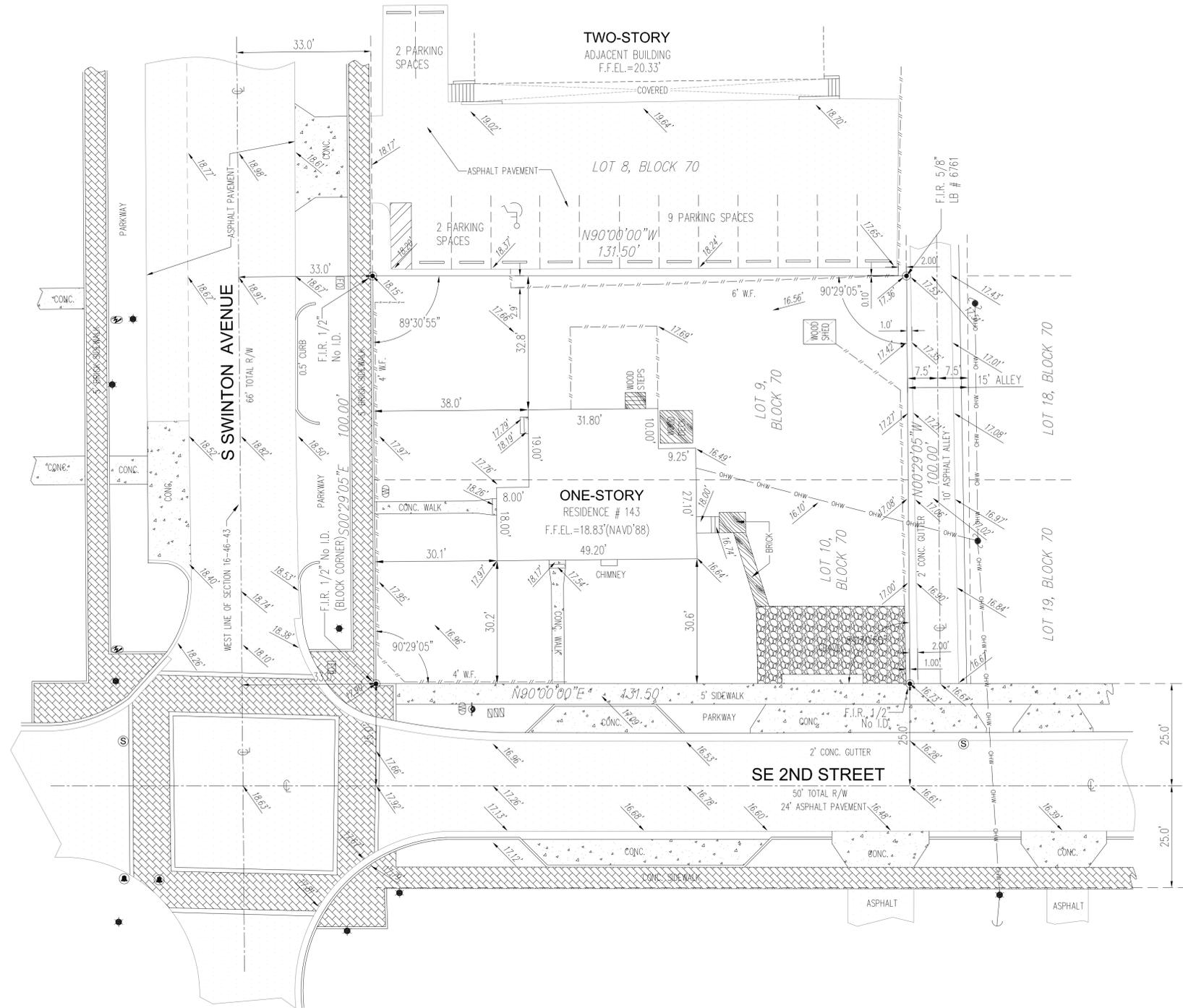
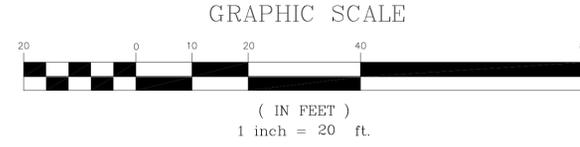
LEGEND

CONC. = CONCRETE
 CBS WALL = CONCRETE BLOCK STRUCTURE
 CL = CENTER LINE
 D.E. = DRAINAGE EASEMENT
 Δ = DELTA
 F.I.R. = FOUND IRON ROD
 F.I.P. = FOUND IRON PIPE
 F.N. = FOUND NAIL
 F.D.H. = FOUND DRILL HOLE
 L.B. = LICENSED BUSINESS
 L = ARC DISTANCE
 L.M.E. = LAKE MAINTENANCE EASEMENT
 LS = LICENSED SURVEYOR
 NO I.D. = NO IDENTIFICATION
 N/A = NOT APPLICABLE
 NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM OF 1929
 NAVD'88 = NORTH AMERICAN VERTICAL DATUM OF 1988
 O/L = ON LINE
 P.B. = PLAT BOOK
 PG. = PAGE
 (P) = PLAT
 U.E. = UTILITY EASEMENT
 P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER
 P.C.P. = PERMANENT CONTROL POINT
 R/W = RIGHT OF WAY
 R = RADIUS
 ISAOA = ITS SUCCESSORS AND/OR ASSIGNS
 ATIMA = AS THEIR INTEREST MAY APPEAR

SYMBOLS

- AIR CONDITIONER
- CATCH BASIN
- WATER METER
- IRRIGATION VALVE
- BACKFLOW PREVENTER
- FIRE HYDRANT
- WATER VALVE
- CABLE BOX
- FPL TRANSFORMER
- ELECTRIC BOX
- FIBER OPTIC
- MANHOLE
- UTILITY POLE
- LIGHT POLE
- CONCRETE POLE
- WOOD POLE
- TELEPHONE BOX
- ANCHOR
- EXISTING ELEVATION
- COVERED AREA
- CBS WALL
- OVERHEAD LINE (OH)
- CHAIN LINK FENCE (C.L.F)
- WOOD FENCE (W.F)
- METAL FENCE (M.F)

CERTIFIED TO:
 1. NIGEL DEVELOPMENT



LEGAL DESCRIPTION:

LOTS 9 AND 10, BLOCK 70, OF THE AMENDED PLAT OF SUNDY AND CROMERS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 17, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "Z 233"
 ELEVATION: 16.020'(NAVD'88)

SHEET 1 OF 1

SURVEY NOTES:

LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY BASELINE LAND SURVEY LLC FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS PROPERTY LOCATION UNLESS OTHERWISE NOTED. ROOF OVERHANGS NOT LOCATED. SURVEY MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD'88, UNLESS OTHERWISE NOTED.

TITLE: MAP OF BOUNDARY SURVEY			SCALE: 1" = 20'	NOTES/REVISIONS	THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
COMMUNITY PANEL# 125102-0979-F	FLOOD ZONE: X	BASE FLOOD EL.: N/A	DRAWN BY: ELF.		
DATE OF FIRM: 10/05/2017	BASIS OF BEARING: E R/W LINE SWINTON AVENUE, SAID LINE HAVING AN ASSUMED BEARING OF S00°29'05"E.		CHECKED BY: J.E.K.	UPDATE: 8/29/2018	Date: 08/29/2018
PROPERTY ADDRESS: 143 S SWINTON AVENUE, DELRAY BEACH, FLORIDA 33483				UPDATE: 06/13/2018	JOHN E. KUJAR, PSM, STATE OF FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS 6711 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
				PARTY CHIEF: PABLO	
				DATE: 08/22/2017	JOB NO.: 17-08-028

TWO-STORY
ADJACENT BUILDING
F.F.EL. = 20.33'

SITE STATS: Δ
Gross Site Area: 13,150.0 sf
less 2'-6" Alley ROW Dedication: 250.5 sf
New Total Site Area: 12,899.5 sf

Existing 1-story Residence: 1,317 sf
Existing 1-story renovated
back to original porch: 254 sf
New 1-story Addition: 2,826 sf
New Total Building Area: 4,397 sf

Max Lot Coverage Allowed: 5,159.80 sf (40.00%)

Existing Lot Coverage: 1,571.00 sf (12.18% of Site Area)
Existing Total Impervious: 3,081.00 sf (23.88% of Site Area)

Proposed Lot Coverage: 4,397.00 sf (34.08% of Site Area)
Proposed Walk/Curbs/Misc. Conc: 879.16 sf (6.81% of Site Area)
TOTAL Proposed Impervious Area: 5,276.16 sf (40.89% of Site Area)

Min. Open (landscaped) Space Req'd: 3,224.87 sf (25.00%)

Existing Open (landscaped) Space: 9,818.50 sf (76.12%)

Proposed Open (landscaped) Space: 5,943.07 sf (46.07 % of Site Area)
Proposed Permeable Pavers: 1,680.27 sf (13.03 % of Site Area)
TOTAL Proposed Pervious Area: 7,623.34 sf (59.10% of Site Area)
Water Bodies: Not Applicable

SETBACKS	EXISTING	REQUIRED	PROPOSED
Front -	30'-0"	25'-0"	30'-0" (Swinton)
Rear -	N/A	10'-0"	N/A
Interior side -	32'-8"	7'-6"	9'-1 1/2" (North)
Street Side -	29'-8"	15'-0"	22'-0" (SE 2nd St)
Street Side -	49'-9"	15'-0"	22'-0" (Alley - East)
Height -	17'-1-1/2"	35'-0"	17'-1-1/2" (exist. t.o. chimney measured from avg crown of Swinton)

MISCELLANEOUS DATA: Intended Use of Structure: Professional Offices

PARKING STATISTICS:

Total Building Area: 4,397 sq ft
- less exterior porch: 254 sq ft
- less exterior walls: 256 sq ft
- less mech. rooms: 102 sq ft
- less common restrooms/hallways: 404 sq ft
Net Bldg Area: 3,381 sq ft / 300 sq ft = 11.27 \pm 11*

Total Parking Required = *10 Stalls (incl 1 HC)
* Per Section 4.4.24.C.6..... a one space exemption shall be allowed.
Off-Street Parking Provided = 8 Stalls (incl 1 HC)
On-Street Parking Provided = 1 Stalls (per LDR Sec 4.6.9(E)(3)(e)**
** (3) On-Street Parking being proposed to be constructed
Total Parking Provided = 9 Stalls (In-Lieu pking granted for (1) stall)

2019-07-24 TAC COMMENTS

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PROJECT RELIEF CHART

SYB.	REQUEST & LDR SECTION	REQ'D	PROPOSED
1	VARIANCE REQUEST-1: REDUCE LANDSCAPE ISLAND AT END OF PKNG ROW LDR SECTION 4.4.16(H)(3)(I)	9'-0"	5'-5 1/2" NORTH 6'-5" SOUTH

HATCH DENOTES NEW ASPHALT PAVEMENT W/ ALLEY ROW, FROM EXIST. ALLEY'S WESTERMOST EDGE OF PAVEMENT TO NEW BURIED 8" CONCRETE CURB AS SHOWN

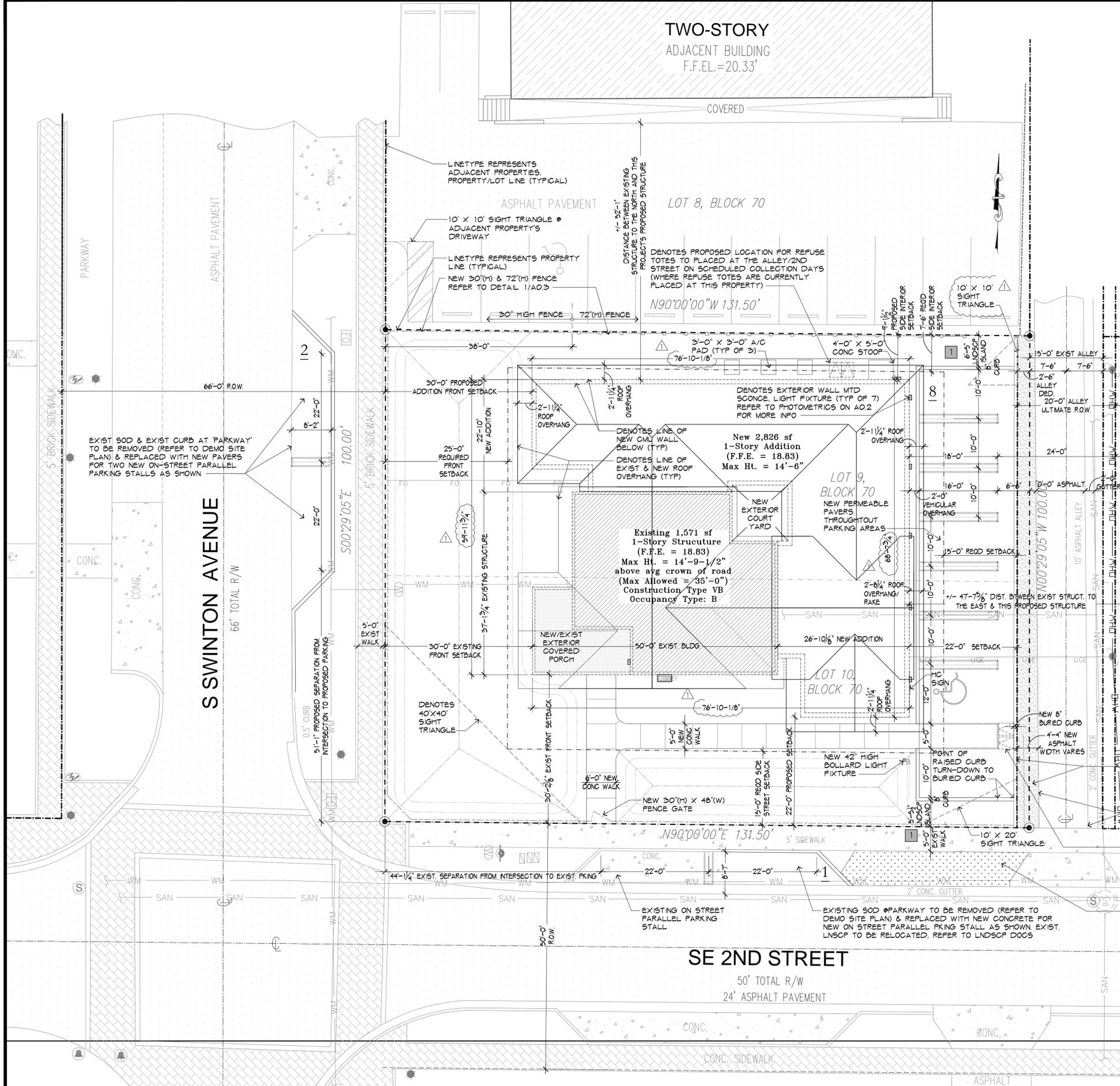
DENOTES ALLEY'S EDGE OF EXIST. PAVEMENT

DENOTES PROPOSED LOCATION FOR REFUSE TOTES
NOTE: THESE ARE TO BE STORED INSIDE & PLACED HERE ON SCHEDULED COLLECTION DAYS & THIS IS THE APPROX LOCATION WHERE REFUSE TOTES HAVE BEEN PLACED ON THIS PROPERTY IN THE PAST

HATCH DENOTES AREA OF EXIST CONC DRIVE TO BE REMOVED/ ABANDONED & REPLACED WITH SOD (REFER TO DEMO SITE PLAN)

- LEGEND:**
- UGE — UNDERGROUND ELECTRIC
 - FO — FIBER OPTIC
 - SAN — EXISTING SANITARY SEWER LINE
 - WM — EXISTING WATER MAIN LINE
 - OH — EXISTING OVERHEAD LINES
 - WP — WOOD POLE
 - S — MAN HOLE
 - FO — FIBER OPTIC VAULT
 - WM — WATER METER
 - BP — BACKFLOW PREVENTER
 - 8 — QUANTITY OF PARKING STALLS
 - — CENTER LINE OF STREET/ALLEY
 - 18.00' — EXISTING GRADE ELEVATION
 - 18.00 — PROPOSED GRADE ELEVATION
 - 1 — VARIANCE REQUEST SYMBOL
 - Δ — REVISION TRIANGLE SYMBOL

NOTE:
- REFER TO CIVIL & LANDSCAPE DOCS FOR MORE INFORMATION.
- REFER TO AO3 FOR SITE DETAILS.
- AO2 FOR PHOTOMETRICS PLAN



1 SITE PLAN
1" = 10'-0"

A-0.1

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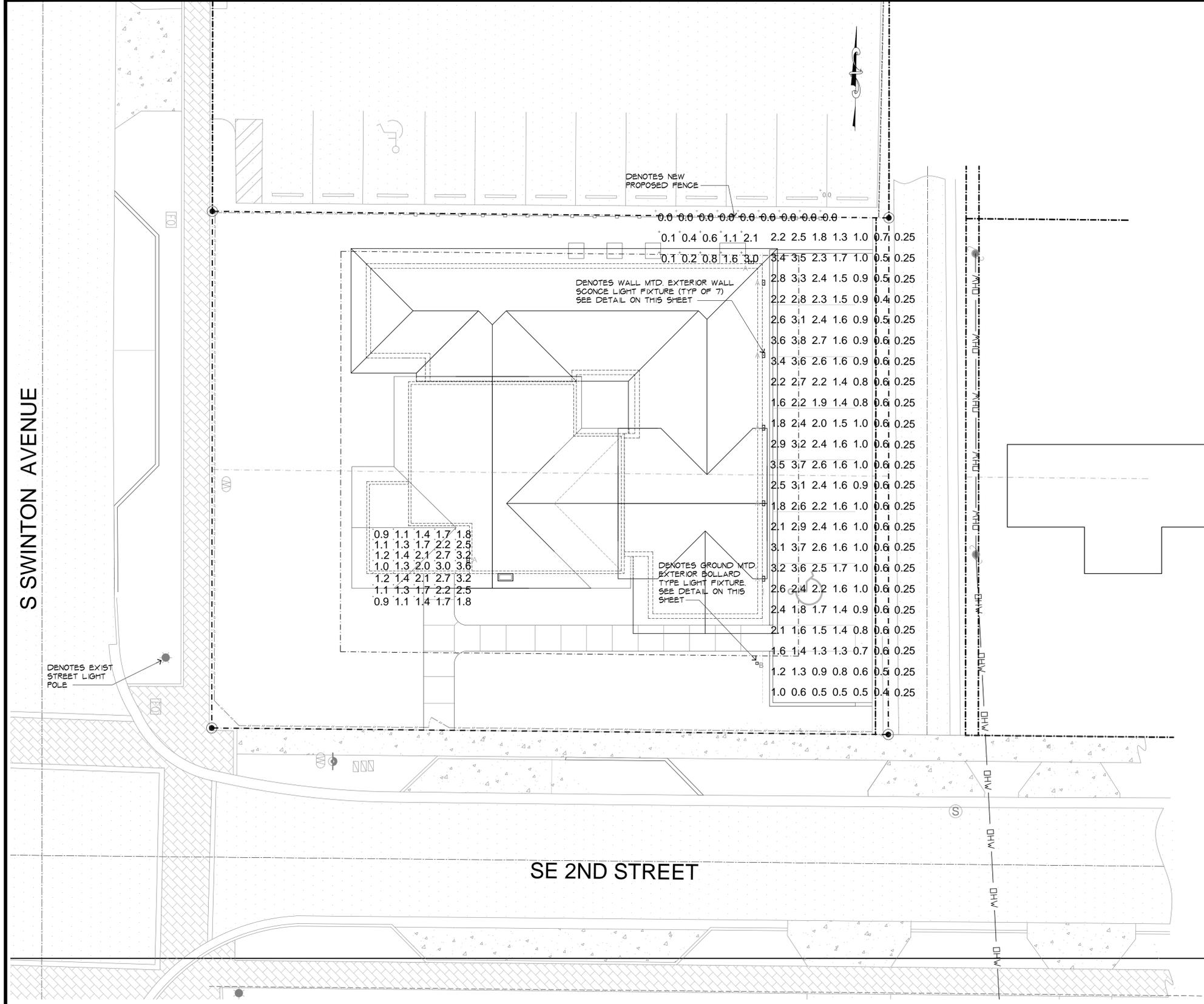


MICHAEL W. HANSON
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER: 17-030
ISSUED DATE: 2019-07-24
SCALE: 1" = 10'-0"

TITLE: SITE PLAN

DRAWING NUMBER:



LUMINAIRE SCHEDULE		LUMINAR		DIMENSIONS & FINISHES				MOUNTING HEIGHT
SYMBOL	QUANTITY	DESCRIPTION (REFER TO LIGHT FIXTURE DETAILS ON THIS SHEET)	LUMENS	HEIGHT	WIDTH	EXTENSION	FINISH	
⊠	6	A FEISS # OL1370ANBZ-L1 / CENTER OF FIXTURE MOUNTED AT 7'-0" ABOVE GRADE	1915	16-1/4"	10"	8"	ANTIQUE BRONZE	66" TO CL OF FIXTURE
⊡	1	B HUBBELL (ARCHITECTURAL AREA LIGHTING) KB6-Y5-NONE-2050(5000K)-DPC-120-WDB	2163	42"	6"(SQUARE)	N/A	WEATHERED BRONZE	N/A

CALCULATION SUMMARY							
LABEL	CALCULATION TYPE	UNITS	AVG	MAX/MIN	MIN/MIN	MAX/MIN	AVG/MIN
EAST PARKING AREA	ILLUMINANCE	FC	0.3	4.3	0.0	N/A	N/A
SOUTH ENTRANCE (PARKING)	ILLUMINANCE	FC	0.4	2.5	0.0	N/A	N/A
SW CORNER (BLDG ENTRY)	ILLUMINANCE	FC	1.6	3.7	0.2	10.5:1	8.0:1

Collection: Urbandale
 UPC #: 014817582352
 Finish: Antique Bronze (ANBZ)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Glass	Undefined		1									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	10	9 1/2	1/2			8

Dimensions:
 Width: 10"
 Height: 16 1/4"
 Weight: 11.68 lbs.

Extends: 8"
Wire: 8"
Mounting Proc.: Set Screw(s)
Connection: Mounted To Box
Bulb Type: Modules
Bulb Base: Integrated
Volts: 120
Watts: 26
Watts Consumed: 26
Watts Rated: 26
Hours Rated: 50000
Lumens: 1915
Bulb Temp: 2700°K
CR: 90

Bulbs:
 1 - LED Integrated Array 26w 120v - included

Features:

- Advanced LED technology that warms in color when dimmed (2700K - 2200K).
- This advanced LED technology is carefully designed and selected to consist of the highest quality LED chips for superior performance and reliability.
- Meets Title 24 energy efficiency standards.

3
 NTS **WALL SCONCE**

KicK™ - KB6 Bollard TYPE

FEATURES:

- Sensor and wireless operation
- Field rotatable optics and housing
- Customizable side panels
- 120-277, 347 and 480VAC input
- IDA Dark Sky Approved with clear lenses and 3000K
- True IES distributions
- 3000K, 4000K, 5000K CCT
- Uniformly diffused lens
- 20kA/100A surge protection
- Integral thermal protection and IP66

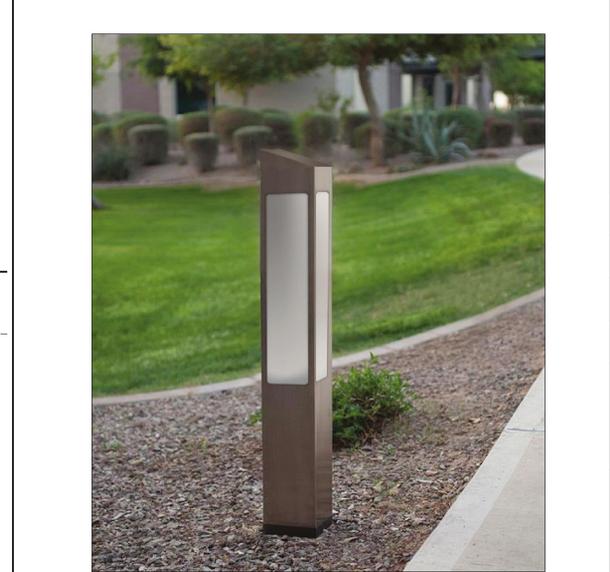
DIMENSIONS:

MODEL	KB6
OVERALL HEIGHT	62" (1580mm)
OVERALL LENGTH	8" (203mm)
OVERALL WIDTH	8" (203mm)
WINDOW HEIGHT	18 1/2" (468mm)
WINDOW WIDTH	7" (178mm)
WEIGHT	30 lbs. (13.6kg)

DISTRIBUTION OUTPUT*

SHIELDING SIDE: A, B, C, D

*Mounting and optical distribution are independently field rotatable in 90° increments. Output factory orientations shown above.



2
 NTS **BOLLARD FIXTURE**

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MICHAEL W. HUNLON
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ISSUED DATE
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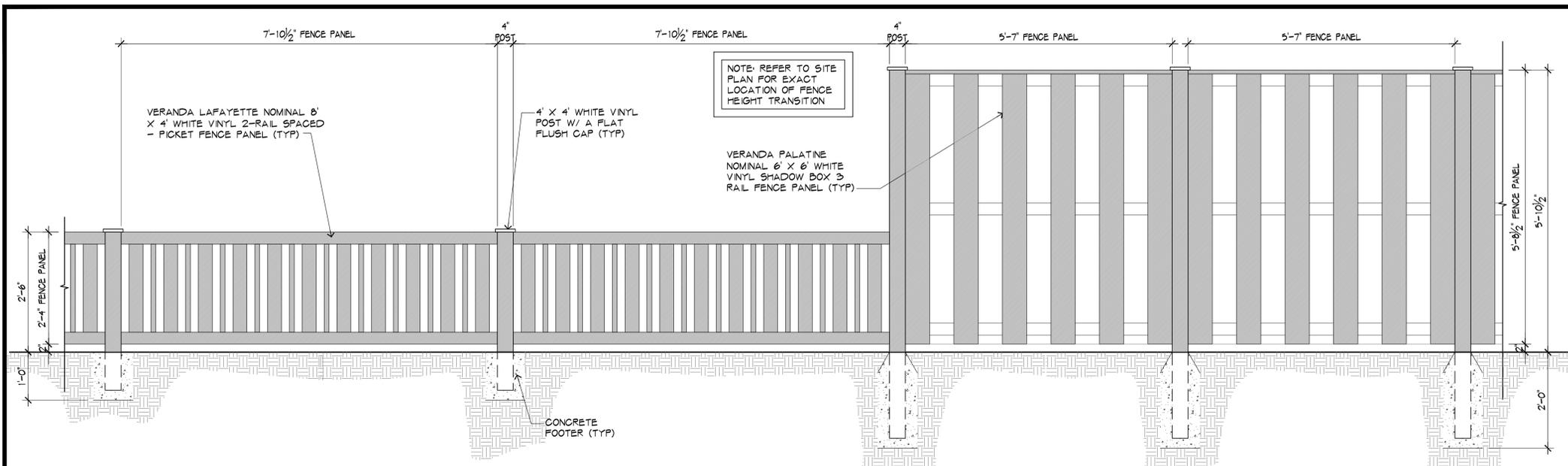
SCALE
AS NOTED

TITLE
PHOTOMETRIC SITE PLAN

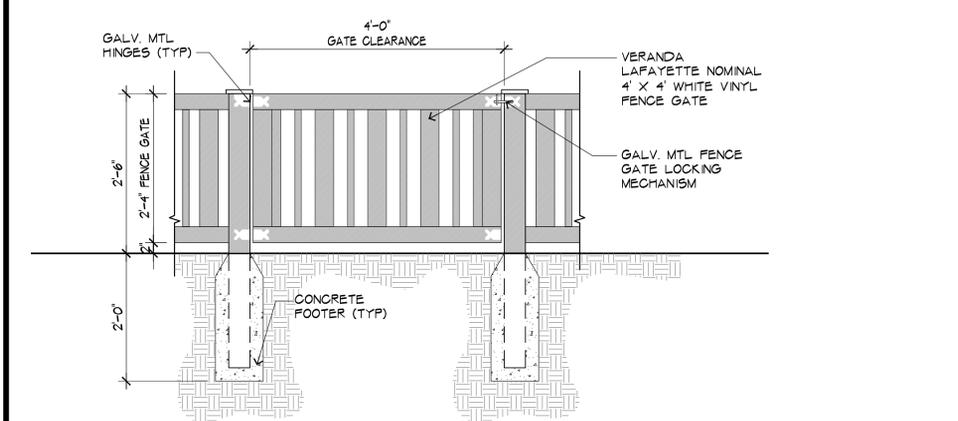
DRAWING NUMBER
A-0.2

1
 1" = 10'-0" **PHOTOMETRIC SITE PLAN**

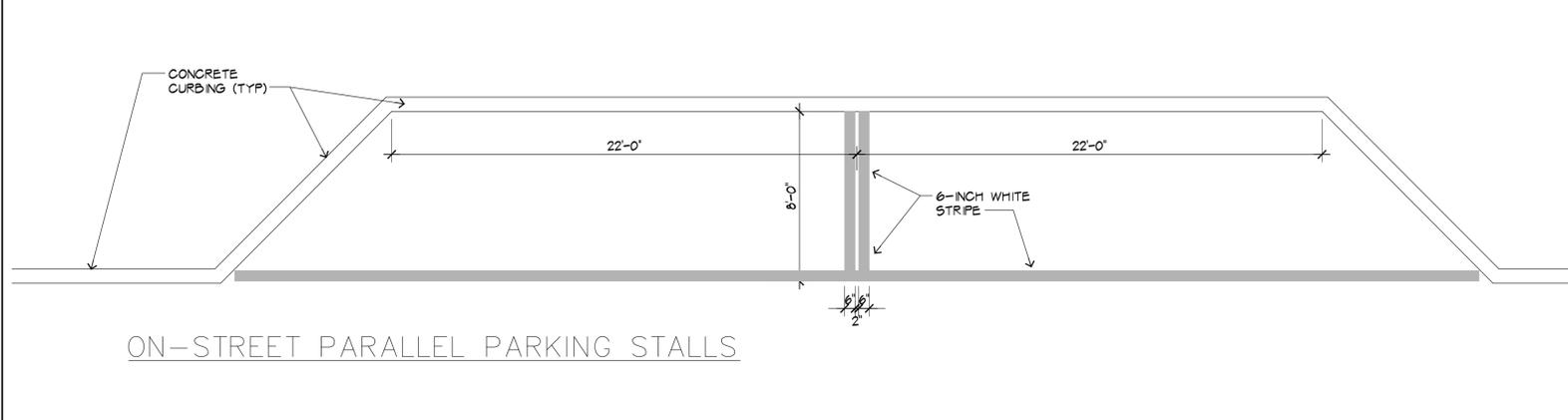
2
 NTS **BOLLARD FIXTURE**



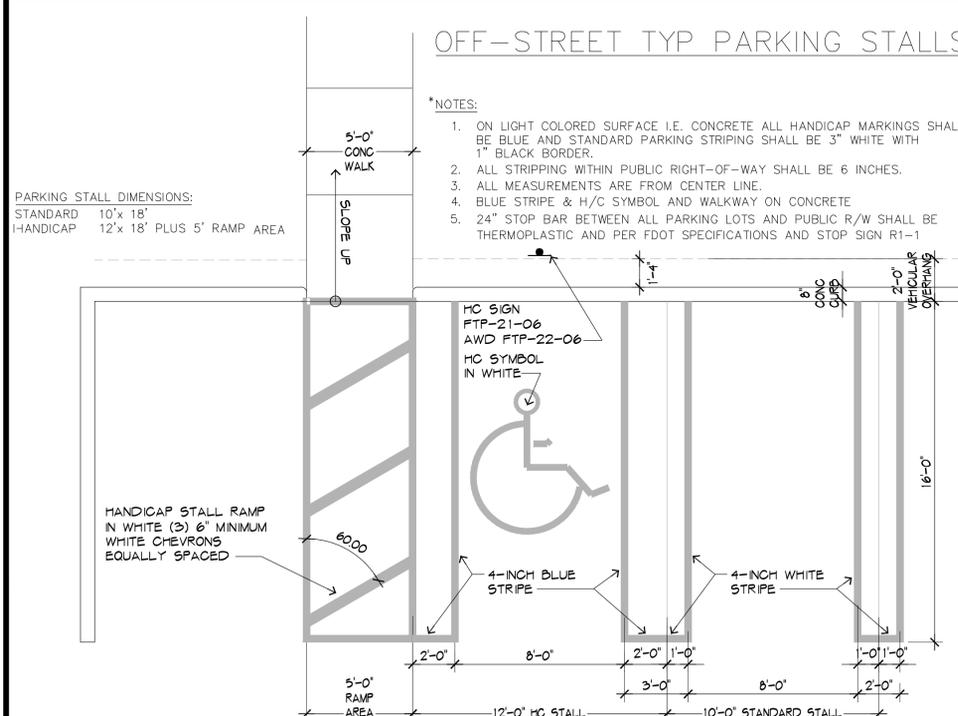
1 FENCE - HEIGHT TRANSITION ELEVATION
3/4"=1'-0"



3 30" (H) FENCE GATE
3/4"=1'-0"



4 PARKING STALL DETAIL
1/4"=1'-0"



5 PARKING STALL DETAIL
1/4"=1'-0"

PAVEMENT MARKING SPECIFICATIONS RT 8.1a

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

PERMANENT MARKINGS

Installation:

- All markings shall be installed by the extruded method.
- Markings shall be free of weaves, bows, drips, drags, and other degrading items.
- Chalk shall be used for all layout markings

Materials:

- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.

Thickness:

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:

- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.

Alternate Material:

- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

Layout:

- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Surface:

- Only foil backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

Other Pavement Surfaces:

- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1b

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

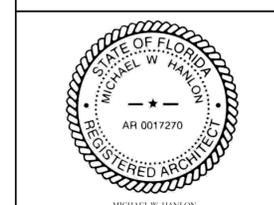
6 PAVEMENT MARKING SPECIFICATIONS
NTS

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MICHAEL W. HAMLIN
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270
ELECTRONIC SIGNATURE SERIAL NUMBER

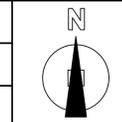
HNM PROJECT NUMBER
17-030

ISSUED DATE
2019-06-10

SCALE
AS NOTED

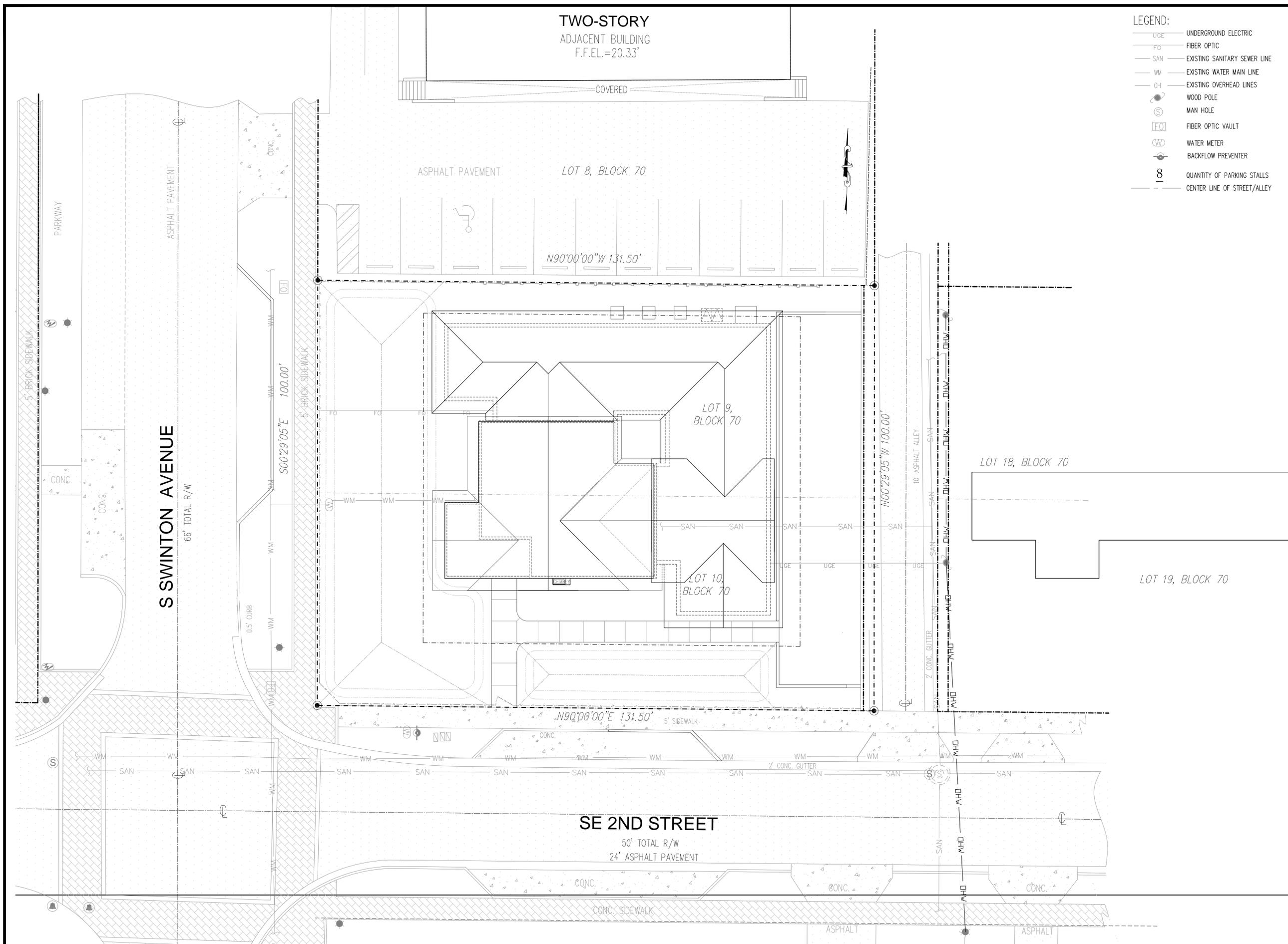
TITLE
SITE DETAILS

DRAWING NUMBER
A-0.3



TWO-STORY
ADJACENT BUILDING
F.F.EL. = 20.33'

- LEGEND:
- UGE — UNDERGROUND ELECTRIC
 - FO — FIBER OPTIC
 - SAN — EXISTING SANITARY SEWER LINE
 - WM — EXISTING WATER MAIN LINE
 - OH — EXISTING OVERHEAD LINES
 - WOOD POLE
 - ⊙ MAN HOLE
 - ⊞ FIBER OPTIC VAULT
 - ⊞ WATER METER
 - ⊞ BACKFLOW PREVENTER
 - | 8 | QUANTITY OF PARKING STALLS
 - - - CENTER LINE OF STREET/ALLEY



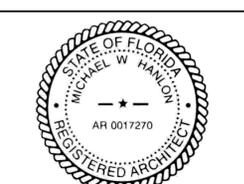
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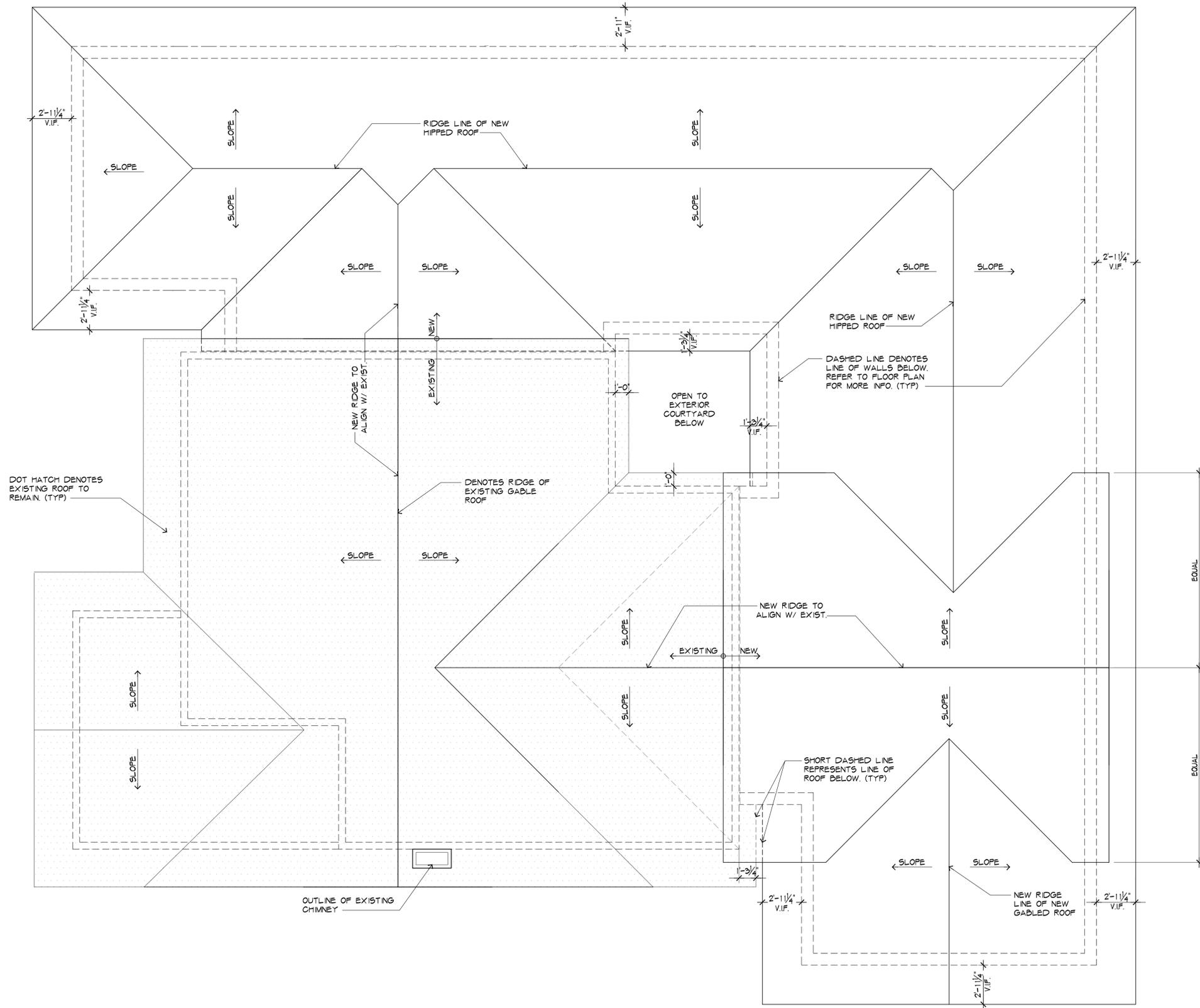
HNM ARCHITECTURE
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MICHAEL W. HUSLON
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER 17-030	N ↑
ISSUED DATE: 2019-06-10	
SCALE: AS NOTED	
TITLE: COMPOSITE PLAN	

DRAWING NUMBER
A-0.4



DOT MATCH DENOTES EXISTING ROOF TO REMAIN. (TYP)

OUTLINE OF EXISTING CHIMNEY

DASHED LINE DENOTES LINE OF WALLS BELOW. REFER TO FLOOR PLAN FOR MORE INFO. (TYP)

SHORT DASHED LINE REPRESENTS LINE OF ROOF BELOW. (TYP)

OPEN TO EXTERIOR COURTYARD BELOW

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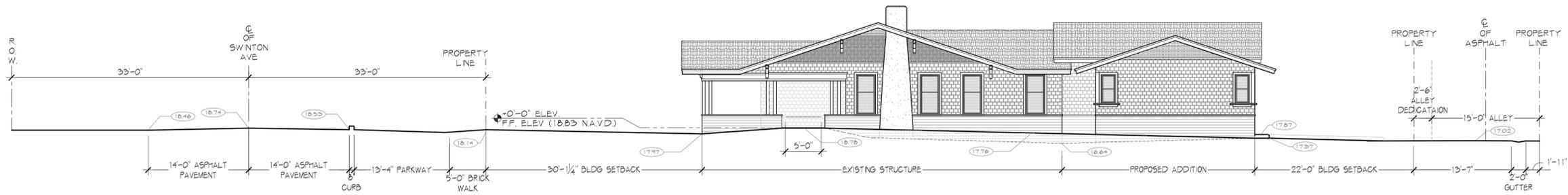
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HNM PROJECT NUMBER
17-030
 ISSUED DATE:
2019-06-10
 SCALE:
AS NOTED

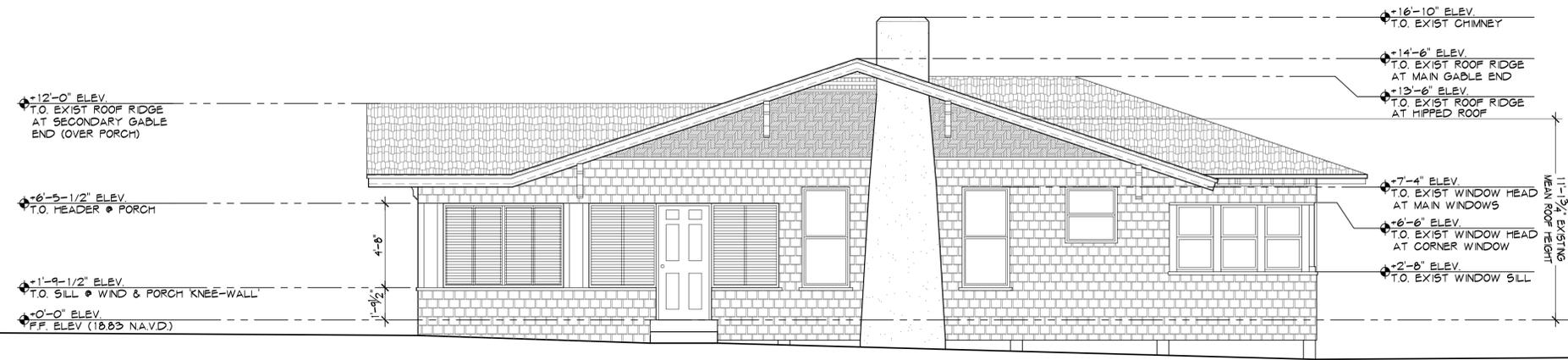


TITLE
ROOF PLAN

DRAWING NUMBER
A-3.0



1 PROPOSED SOUTH- STREET ELEVATION - SE 2nd Street
1/8" = 1'-0"



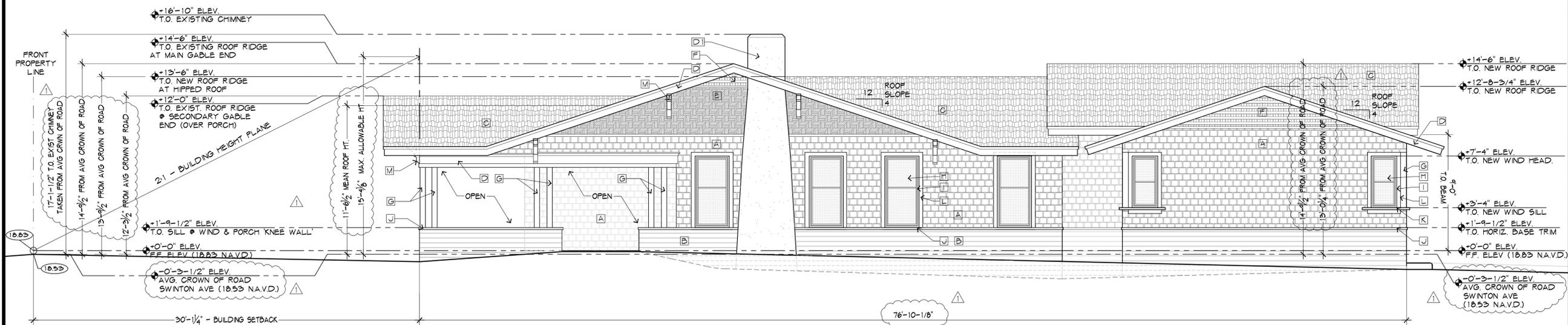
FINISH LEGEND

A	NATURAL CEDAR WOOD SHINGLES- SIDING PATTERN - 1
B	HARDIEPLANK SIDING - IRON GRAY
C	ASPHALT SHINGLES - SHADOW GRAY
D	ACCENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006
E	EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7649
F	NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 2
G	NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 3
H	PAINTED WOOD COLUMNS - EXTRA WHITE - SW 7006
I	GLASS - CLEAR
J	WINDOW FRAME - WHITE ALUMINUM
K	PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
L	PAINTED WOOD SILL 2 - GAUNLET GRAY - SW 7019
M	PAINTED WD. WIND/DOOR CASING - EXTRA WHITE - SW 7006
N	PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
O	ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

2019-07-24
TAC COMMENTS
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2 EXISTING - SOUTH ELEVATION
1/4" = 1'-0"

2A FINISH LEGEND
NTS



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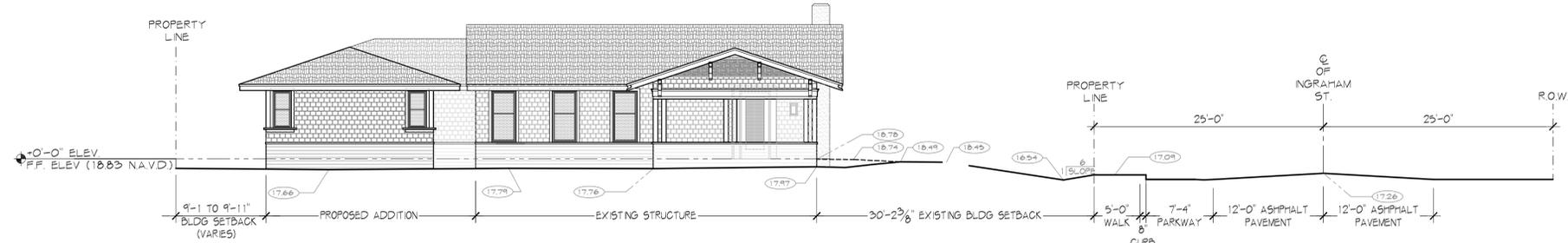
HNM PROJECT NUMBER
17-030
ISSUED DATE:
2019-07-24
SCALE:
AS NOTED

TITLE:
SOUTH ELEVATION

DRAWING NUMBER
A-4.0

3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

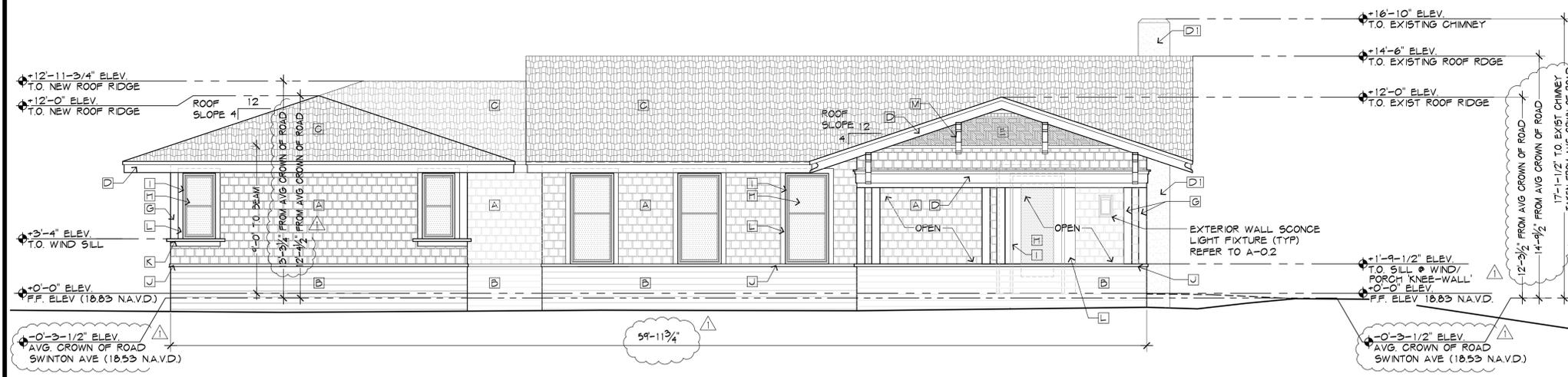
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1
1/8" = 1'-0"
PROPOSED WEST - STREET ELEVATION (Swinton Avenue)



2
1/4" = 1'-0"
EXISTING - WEST ELEVATION



FINISH LEGEND

A	NATURAL CEDAR WOOD SHINGLES- SIDING PATTERN - 1
B	HARDIEPLANK SIDING - IRON GRAY
C	ASPHALT SHINGLES - SHADOW GRAY
D	ACCENT COLOR: WOOD FASCIA - EXTRA WHITE - SW 7006
E	EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7649
F	NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 2
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I	GLASS - CLEAR
J	WINDOW FRAME - WHITE ALUMINUM
K	PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
L	PAINTED WOOD SILL 2 - GAUNLET GRAY - SW 7019
M	PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
N	ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

3
1/4" = 1'-0"
PROPOSED WEST ELEVATION

4
NTS
FINISH LEGEND

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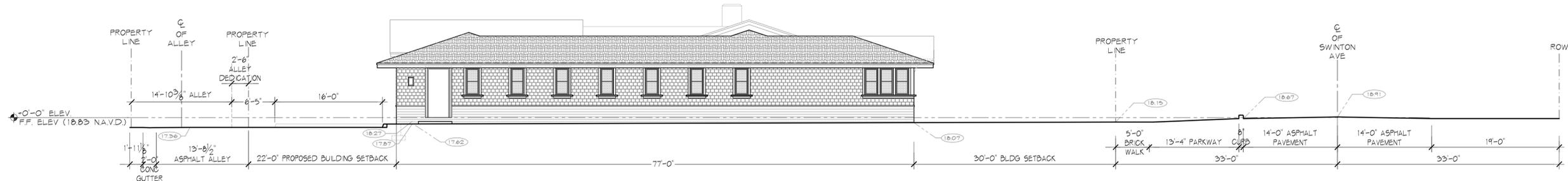
HNM PROJECT NUMBER
17-030

ISSUED DATE
2019-07-24

SCALE
AS NOTED

TITLE
WEST ELEVATION

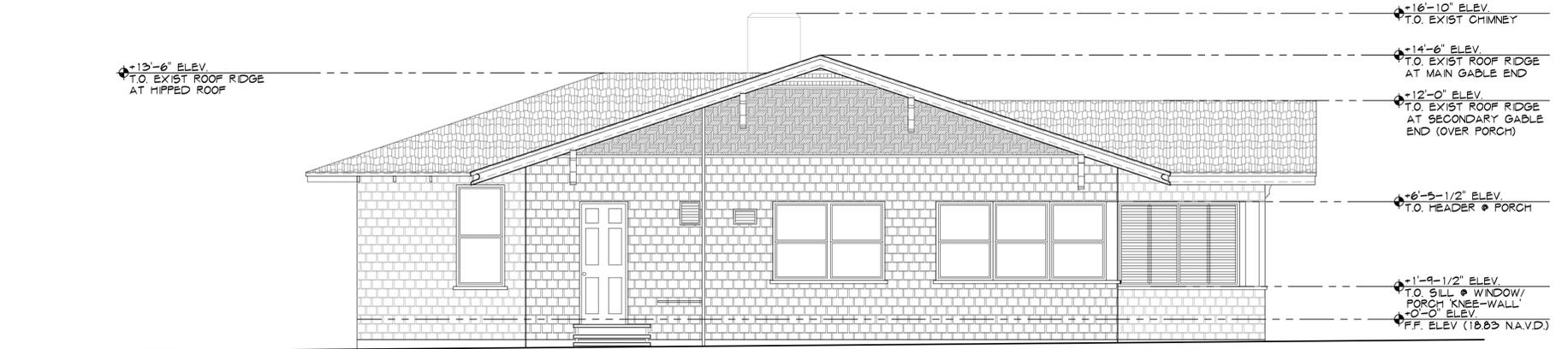
DRAWING NUMBER
A-4.1



1
1/8" = 1'-0"
PROPOSED NORTH ELEVATION

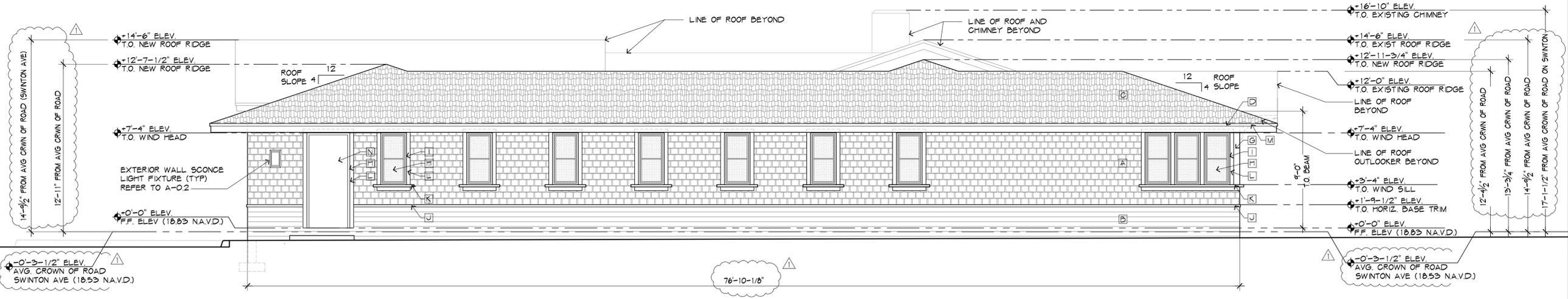
FINISH LEGEND

A	NATURAL CEDAR WOOD SHINGLES- SIDING PATTERN - 1
B	HARDPLANK SIDING - IRON GRAY
C	ASPHALT SHINGLES - SHADOW GRAY
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N	PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
O	ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006



1A
NTS
FINISH LEGEND

2
1/4" = 1'-0"
EXISTING - NORTH ELEVATION



3
1/4" = 1'-0"
PROPOSED NORTH ELEVATION

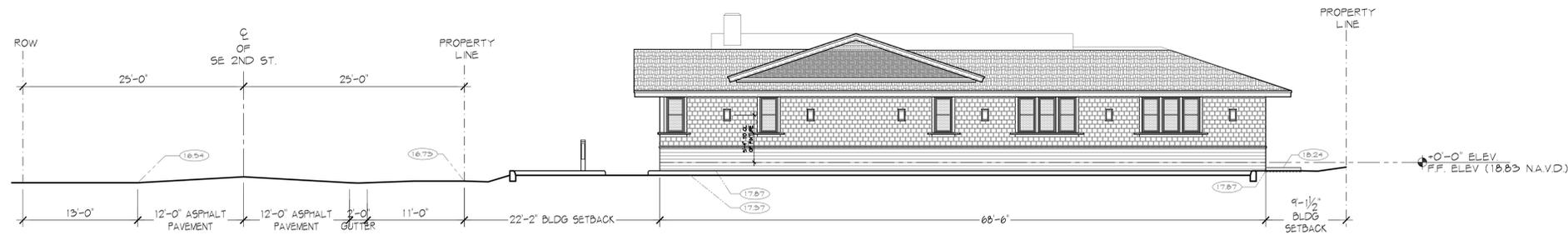
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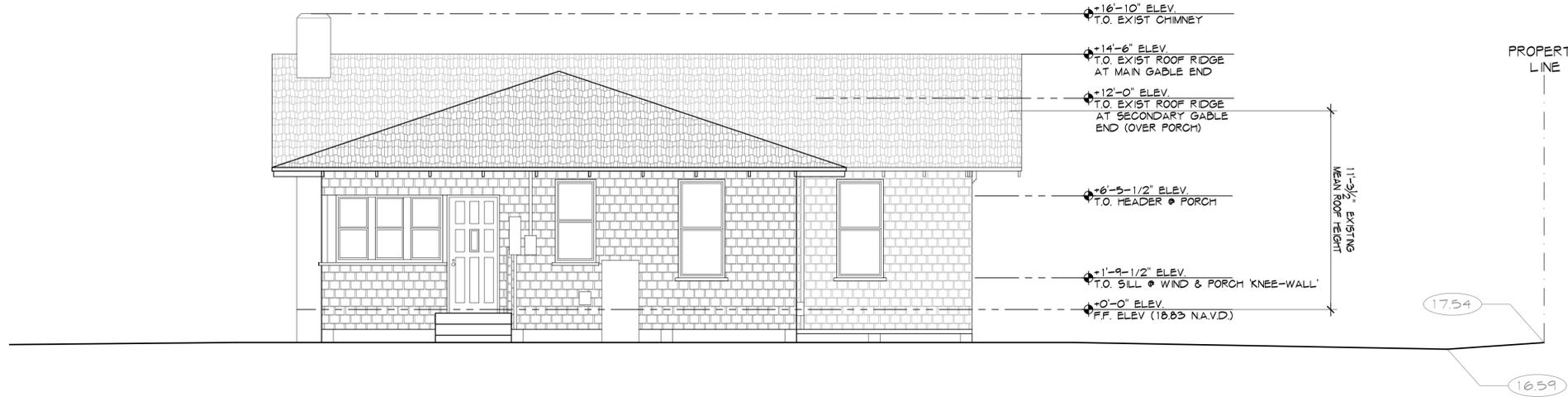


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ELECTRONIC SIGNATURE SERIAL NUMBER

HNM PROJECT NUMBER	17-030
ISSUED DATE	2019-07-24
SCALE	AS NOTED
TITLE	NORTH ELEVATION
DRAWING NUMBER	A-4.2



1
1/8" = 1'-0" PROPOSED EAST ELEVATION (Alley)



FINISH LEGEND

- [A] NATURAL CEDAR WOOD SHINGLES- SIDING PATTERN - 1
- [B] HARDPLANK SIDING - IRON GRAY
- [C] ASPHALT SHINGLES - SHADOW GRAY
- [D] ACCENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006
- [E] EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7649
- [F] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 2
- [G] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 3
- [H] PAINTED WOOD COLUMNS - EXTRA WHITE - SW 7006
- [I] GLASS - CLEAR
- [J] WINDOW FRAME - WHITE ALUMINUM
- [K] PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
- [L] PAINTED WOOD SILL 2 - GAUNLET GRAY - SW 7019
- [M] PAINTED WD. WIND/DOOR CASING - EXTRA WHITE - SW 7006
- [N] PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
- [O] ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

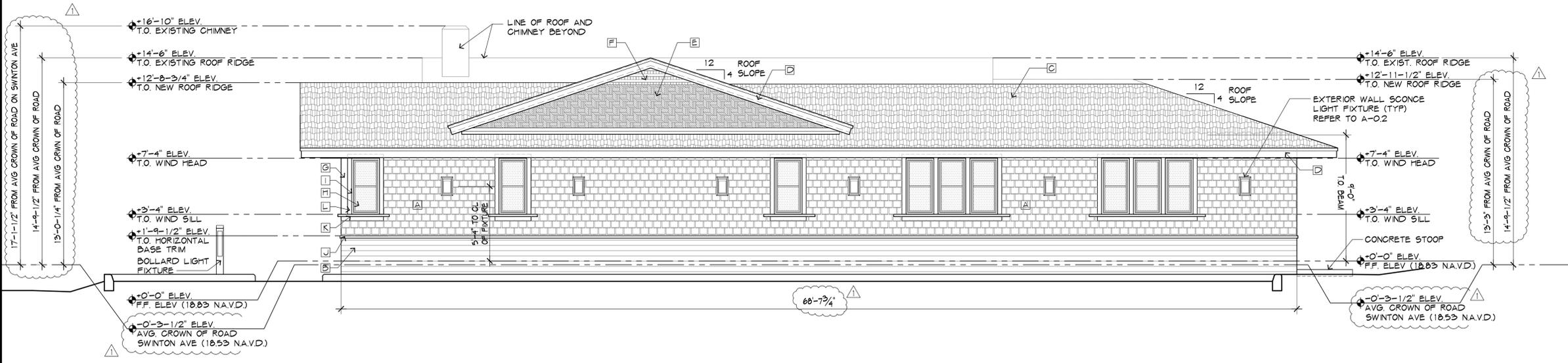
2019-07-24
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2
1/4" = 1'-0" EXISTING - EAST ELEVATION

4
NTS FINISH LEGEND



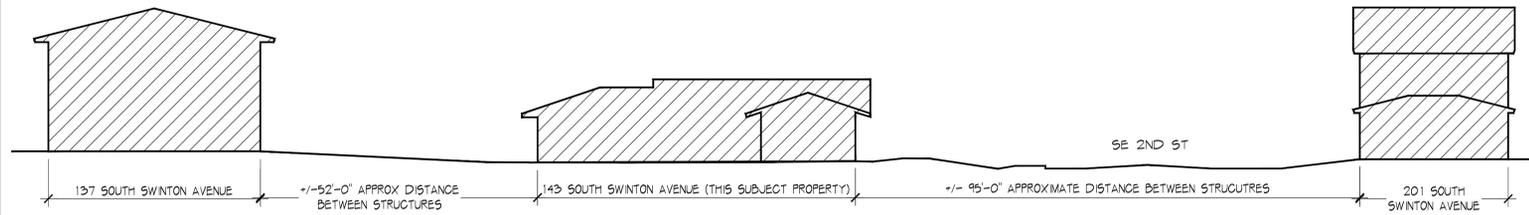
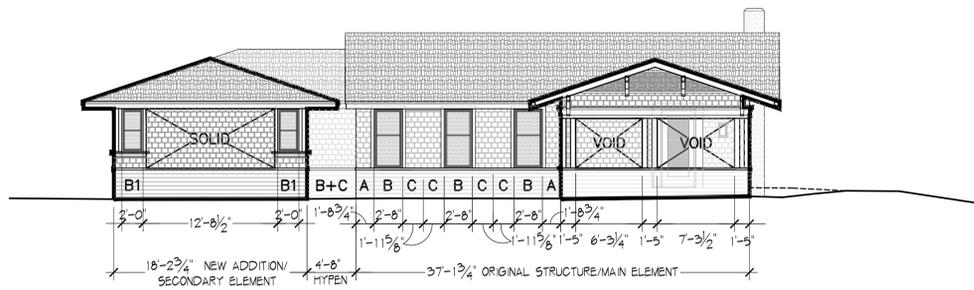
3
1/4" = 1'-0" PROPOSED EAST ELEVATION



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ELECTRONIC SIGNATURE SERIAL NUMBER:

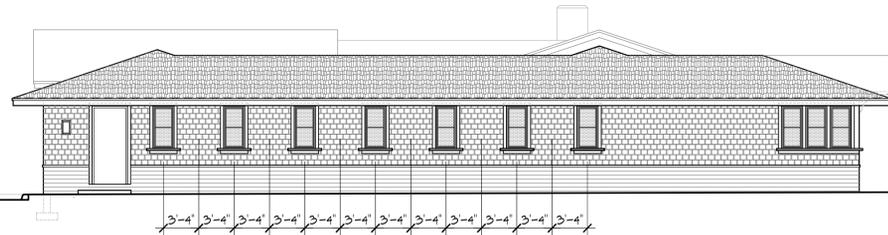
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ISSUED DATE	2019-07-24
SCALE	AS NOTED
TITLE	EAST ELEVATION
DRAWING NUMBER	A-4.3

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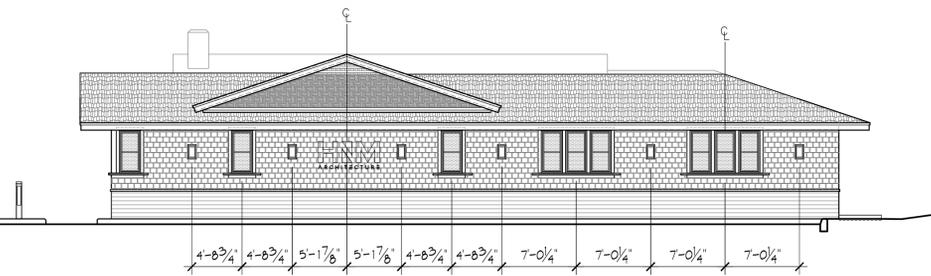


1
1/8" = 1'-0" PROPOSED WEST ELEVATION (Swinton)

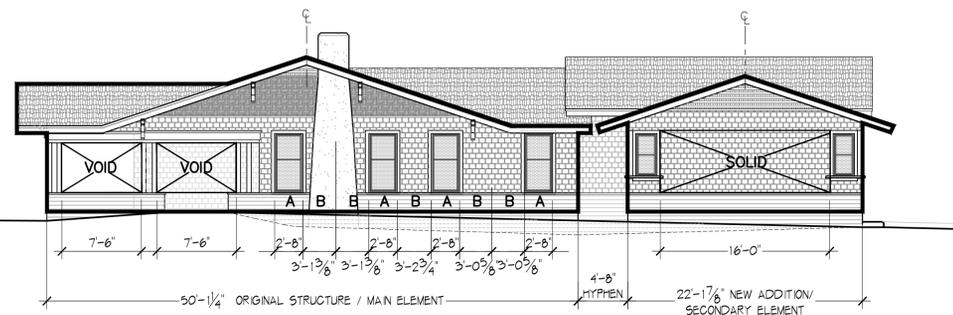
1A
1/16" = 1'-0" WEST ELEVATION MASSING DIAGRAM - SWINTON AVENUE



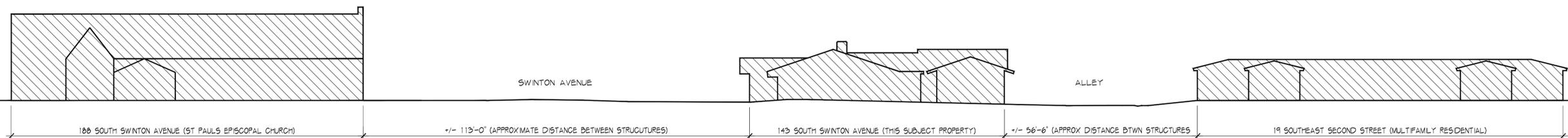
2
1/4" = 1'-0" PROPOSED NORTH ELEVATION



3
1/8" = 1'-0" PROPOSED EAST ELEVATION



4
1/8" = 1'-0" PROPOSED SOUTH ELEVATION (2nd Street)



5
1/16" = 1'-0" SOUTH ELEVATION MASSING DIAGRAM - 2ND STREET

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Delray Beach, Florida

2018-10-25	TAC COMMENTS -2
2018-09-01	TAC COMMENTS-1
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER	17-030
ISSUED DATE	2019-06-10
SCALE	AS NOTED

TITLE
ELEVATION DIAGRAMS

DRAWING NUMBER
A-4.5

WINDOW TAG NO.	TYPE	WINDOW			FRAME		FIRE-RATING	COMMENTS		
		SIZE			WINDOW TYPE	GLASS TYPE				
		WIDTH	HEIGHT	SILL						
01	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
02	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
03	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
04	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
05	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
06	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
07	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
08	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
09	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
10	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
11	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
12	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
13	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
14	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
15	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
16	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
17	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
18	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
19	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
20	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
21	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
22	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
23	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
24	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
25	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
26	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
27	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
28	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
29	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
30	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
31	B	23-3/4"	47-3/4"	EL 3'-4"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
32	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
33	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	
34	A	31-3/4"	65-1/4"	EL 1'-9-1/2"	CASEMENT	IMPACT	ALUM.	ESP.	N/A	

ABBREVIATIONS:
 MAT'L - MATERIAL N/A - NOT APPLICABLE H.M. - HOLLOW METAL ENML - ENAMEL PAINT E.S.P. - ELECTROSTATIC PAINT
 CLR. - CLEAR TEMP. - TEMPERED LAM - LAMINATED ALUM. - ALUMINUM

NOTES:
 1. ALL INTERIOR GLASS WILL BE 1/2" TEMPERED SAFETY CLEAR & NON-REFLECTIVE GLASS.

2. CONTRACTOR TO PROVIDE PRODUCT APPROVALS FOR ALL IMPACT RESISTANT DOORS, STOREFRONT & EXTERIOR WINDOW SYSTEMS

3. ALL ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO FABRICATION

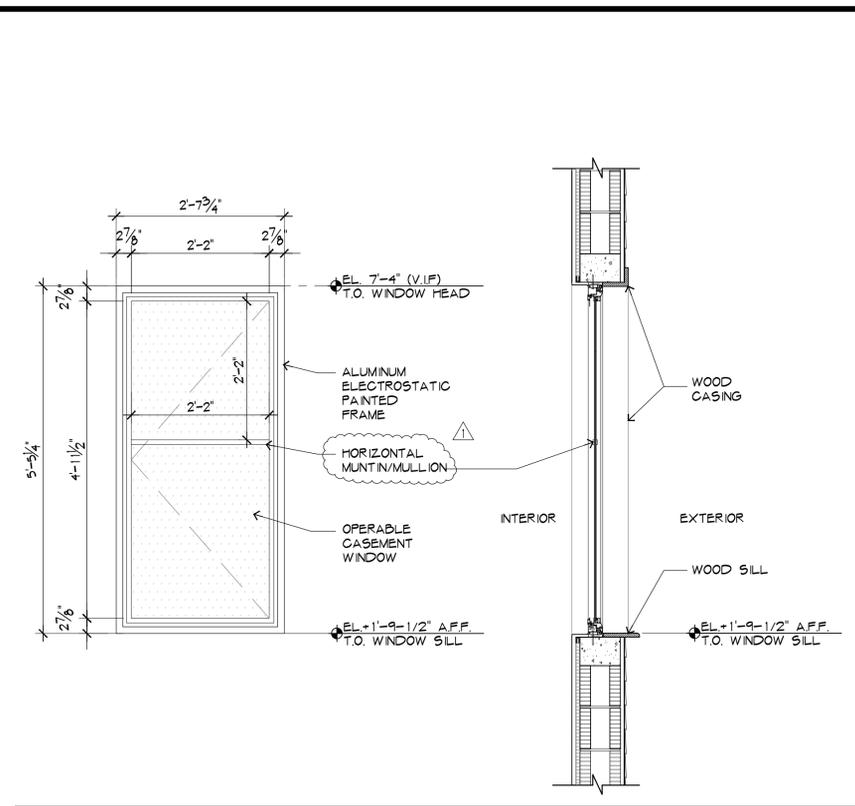
4. ALL EXTERIOR GLASS SHALL BE CLEAR GLASS.

1 WINDOW SCHEDULE

DOOR TAG NO.	TYPE	SIZE			DOOR		FRAME		FIRE-RATING	COMMENTS		
		WIDTH	HEIGHT	THICK.	MAT'L	FINISH	GLASS TYPE	FRAME MAT'L			FINISH	
01	A	36"	7'-2"	N/A	GL	CLR	IMPACT	ALUM.	E.S.P.	YES	N/A	KEYED LEVER TYPE HANDLE, SELF CLOSER
02	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PRIVACY LOCK, SELF-CLOSER DOOR STOP, DOOR SILENCERS
03	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PASSAGE, DOOR STOP, DOOR SILENCERS
04	D	36"	7'-0"	N/A	GL	CLR	TEMP.	N/A	N/A	N/A	N/A	PIVOT GLASS DOOR, FLOOR STOP, FRAMELESS, PUSH/PULL HANDLE, SELF CLOSING HINGES
05	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PRIVACY LOCK, DOOR STOP, DOOR SILENCERS
06	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PRIVACY LOCK, DOOR STOP, DOOR SILENCERS
07	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PRIVACY LOCK, DOOR STOP, DOOR SILENCERS
08	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PRIVACY LOCK, DOOR STOP, DOOR SILENCERS
09	B	36"	7'-2"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	YES	N/A	KEYED LEVER TYPE HANDLE, SELF-CLOSER, DOOR SILENCERS
10	E	36"	7'-0"	N/A	GL	CLR	TEMP.	N/A	N/A	N/A	N/A	SLIDING GLASS DOOR, DOOR STOP, FRAMELESS, PUSH/PULL HANDLE
11	E	36"	7'-0"	N/A	GL	CLR	TEMP.	N/A	N/A	N/A	N/A	SLIDING GLASS DOOR, DOOR STOP, FRAMELESS, PUSH/PULL HANDLE
12	E	36"	7'-0"	N/A	GL	CLR	TEMP.	N/A	N/A	N/A	N/A	PIVOT GLASS DOOR, FLOOR STOP, FRAMELESS, PUSH/PULL HANDLE
13	D	36"	7'-0"	N/A	GL	CLR	TEMP.	N/A	N/A	N/A	N/A	PIVOT GLASS DOOR, FLOOR STOP, FRAMELESS, PUSH/PULL HANDLE
14	C	(2) 48"	7'-2"	N/A	GL	CLR	IMPACT	ALUM	E.S.P.	YES	N/A	PAIR OF SLIDING GLASS DOORS.
15	C	(2) 48"	7'-2"	N/A	GL	CLR	IMPACT	ALUM	E.S.P.	YES	N/A	PAIR OF SLIDING GLASS DOORS.
16	C	(2) 48"	7'-2"	N/A	GL	CLR	IMPACT	ALUM	E.S.P.	YES	N/A	PAIR OF SLIDING GLASS DOORS.
17	B	36"	7'-0"	N/A	MTL	ENML	N/A	ALUM	E.S.P.	N/A	N/A	PASSAGE, DOOR SILENCERS

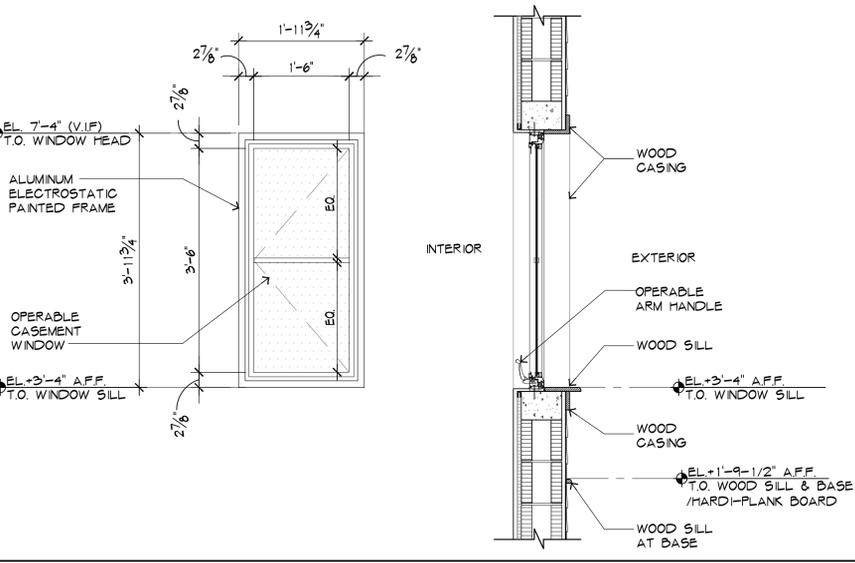
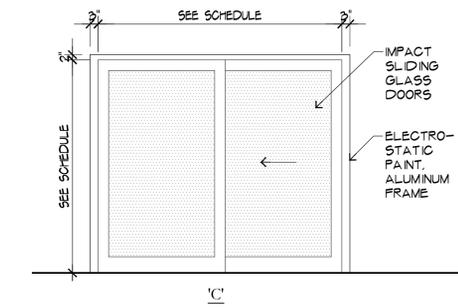
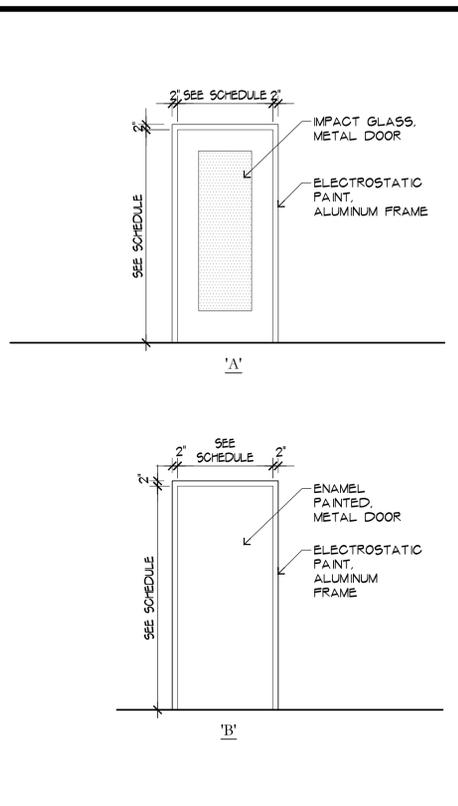
NOTES:
 - CONTRACTOR SHALL VERIFY ALL INDIVIDUAL DOOR HARDWARE (INCLUDING LOCKING DEVICES) W/ OWNER PRIOR TO ORDERING.
 - CONTRACTOR TO PROVIDE PRODUCT APPROVALS AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL.
 - ALL DOORS SHALL HAVE MASTER KEY AND SUB-MASTERS. COORDINATE WITH OWNER PRIOR TO ORDERING.
 - ALL DOORS SHALL HAVE A.D.A ACCESSIBLE DOOR LEVER TYPE HANDLES AS PER FBC AND FAC.
 - DOORS TO HAVE 1/2" MAX. LEVEL CHANGE AT THRESHOLD. 1/4" MAX. VERTICAL PLUS 1/4" BEVELED.
 - ALL GLASS DOORS TO BE CATEGORY II IMPACT 'CLEAR' GLASS.

2 DOOR SCHEDULE



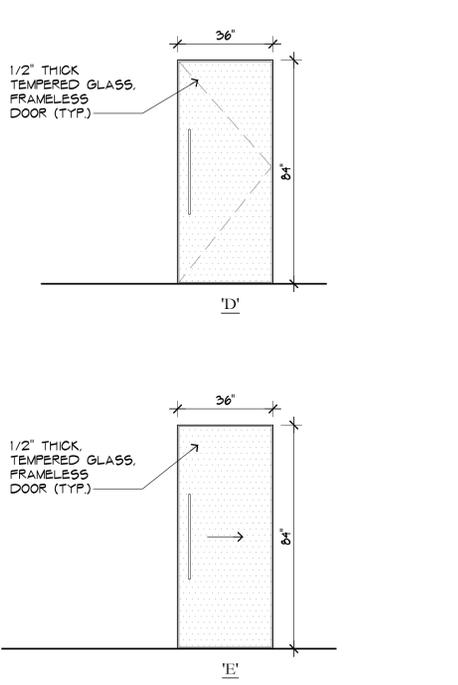
TYPE 'A' ELEVATION

TYPE 'A' PROFILE



TYPE 'B' ELEVATION

TYPE 'B' PROFILE



3 WINDOW TYPES

4 DOOR TYPES

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 143 South Swinton Avenue
 Delray Beach, Florida

2019-07-24
 TAC COMMENTS
 DATE: 2019-07-24
 REVISION: 1

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



MICHAEL W. HANSON
 FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270
 ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER: 17-030
 ISSUED DATE: 2019-07-24
 SCALE: AS NOTED

TITLE: WINDOW AND DOOR SCHEDULE

DRAWING NUMBER: A-8.0

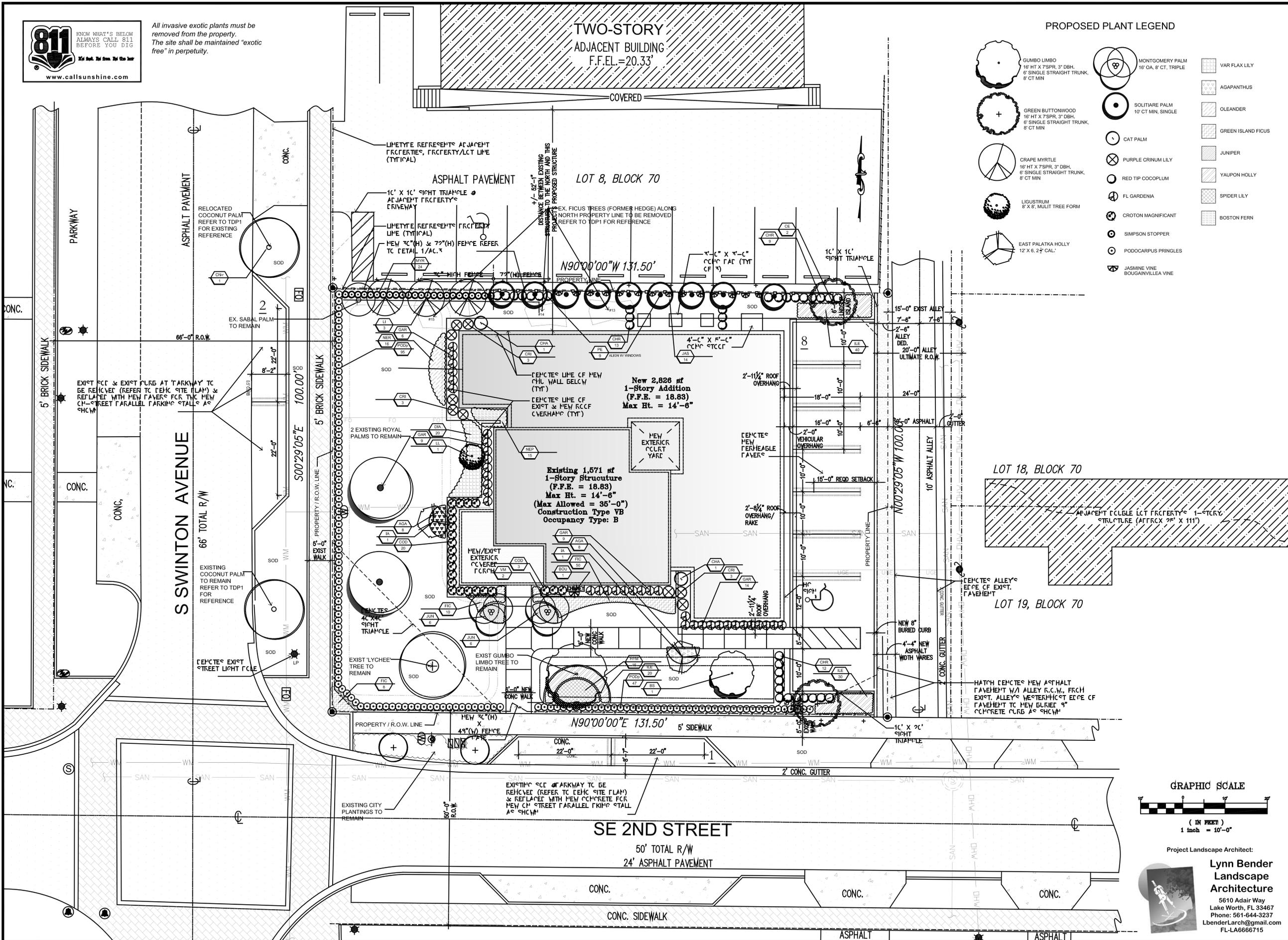


All invasive exotic plants must be removed from the property. The site shall be maintained "exotic free" in perpetuity.

TWO-STORY ADJACENT BUILDING
F.F.E.L. = 20.33'

PROPOSED PLANT LEGEND

- GUMBO LIMBO
16' HT X 7" SPR, 3" DBH,
6" SINGLE STRAIGHT TRUNK,
8" CT MIN
- GREEN BUTTONWOOD
16' HT X 7" SPR, 3" DBH,
6" SINGLE STRAIGHT TRUNK,
8" CT MIN
- CRAPE MYRTLE
16' HT X 7" SPR, 3" DBH,
6" SINGLE STRAIGHT TRUNK,
8" CT MIN
- LIGUSTRUM
8' X 6', MULT TREE FORM
- EAST PALATKA HOLLY
12' X 6, 2 1/2" CAL.
- MONTGOMERY PALM
16' QA, 8" CT, TRIPLE
- SOLITAIRE PALM
10' CT MIN, SINGLE
- CAT PALM
- PURPLE CRINUM LILY
- RED TIP COCCOLUM
- FL GARDENIA
- CROTON MAGNIFICANT
- SIMPSON STOPPER
- PODOCARPUS PRINGLES
- JASMINE VINE
- BOUGAINVILLEA VINE
- VAR FLAX LILY
- AGAPANTHUS
- OLEANDER
- GREEN ISLAND FICUS
- JUNIPER
- YAUPON HOLLY
- SPIDER LILY
- BOSTON FERN



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143 South Swinton Avenue
Delray Beach, Florida

2019-06-10	HPB-SP UPDATE
2018-10-01	TAG COMMENTS 2
2018-09-01	TAG COMMENTS 1

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

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info@hnm-architecture.com • A426000726 • www.hnm-architecture.com

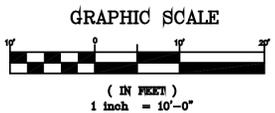


LYNN M. BENDER
FL REG. LANDSCAPE ARCHITECT L4666715
ELECTRONIC SIGNATURE SERIAL NUMBER

HNM PROJECT NUMBER:	17-030
ISSUED DATE:	2019-06-10
SCALE:	1"=10'-0"
TITLE:	

PROPOSED LANDSCAPE PLAN

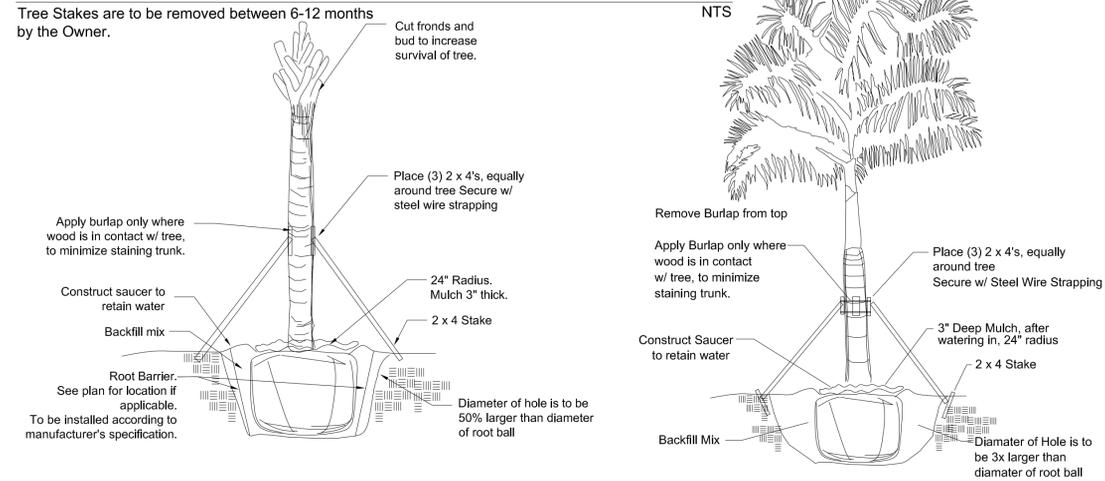
LP1



Project Landscape Architect:
Lynn Bender Landscape Architecture
5610 Adair Way
Lake Worth, FL 33467
Phone: 561-644-3237
lbenderlarch@gmail.com
FL-LA666715

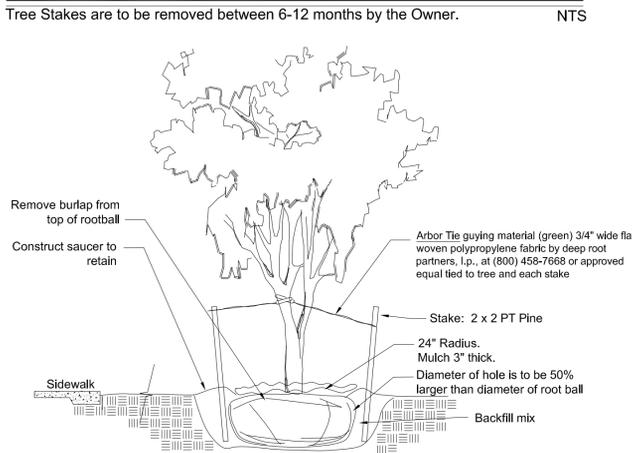
Palm Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



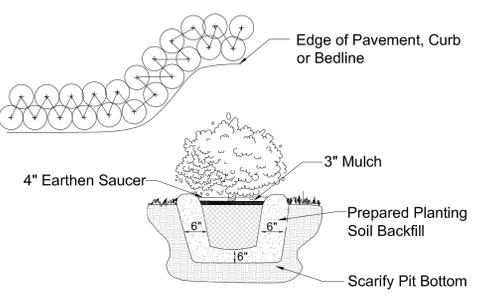
Tree Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.

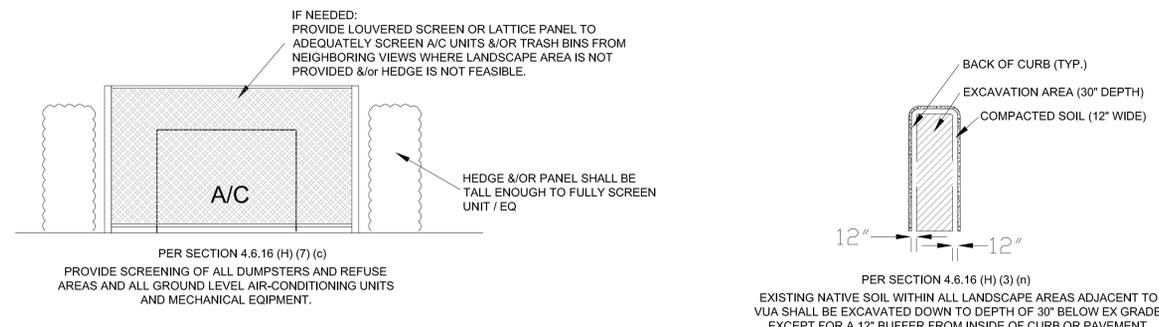


Shrub & Groundcover Planting Detail

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



IRRIGATION NOTE:
An automatic properly functioning underground irrigation system with a rain sensing cutoff device shall be designed and installed in compliance with the South Florida Building Code and city Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be properly maintained in good working order and provide a minimum coverage of 100% with 100% overlap.



PROPOSED PLANT LIST							
KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE/SPEC	NATIVE	UNIT COST	
TREES & PALMS							
IA	2	EAST PALATKA HOLLY	Ilex x attenuata 'East Palatka'	12' HT X 5' SPR.; FULL; 4' CT	YES	350.00	\$700.00
CE	2	GREEN BUTTONWOOD	Conocarpus erectus	16' HT. X 7' SPR.; FULL; 8' C.T.	YES	800.00	\$1600.00
BS	1	GUMBO LIMBO	Bursera simaruba	16' HT. X 7' SPR.; FULL; 8' C.T.	YES	425.00	\$425.00
LI	3	CRAPE MYRTLE	Lagerstroemia spp	16' HT. X 7' SPR.; MULTI. 5 TRUNK; FULL	NO	475.00	\$1425.00
LL	1	LIGUSTRUM	Ligustrum spp	8' X 8' MULTI TREE FORM	NO	525.00	\$525.00
PE	9	SOLITAIRE PALM	Pythosperma elegans	10' CT MIN., SINGLE	NO	240.00	\$2160.00
VM	2	MONTGOMERY PALM	Veitchia montgomeryana	8' CT MIN., TRIPLE	NO	425.00	\$850.00
CN-r	1	COCONUT PALM	Cocos nucifera	RELOCATED	NO	500.00	\$500.00
ACCENTS, SHRUBS & GROUNDCOVERS							
BOU	1	BOUGAINVILLEA	Bougainvillea	7 GAL. TRELIS, FULL	NO	55.00	\$55.00
CHA	2	CAT PALM	Chamaedorea cataractarum	3'X3'	NO	65.00	\$130.00
CHR	34	RED TIP COCOPLUM	Chrysobalanus icaco	24\"/>			

LANDSCAPE CALCULATION FORM		
MULTIPLE FAMILY, COMMERCIAL & INDUSTRIAL		
A	TOTAL LOT AREA	12,899.5 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	7,223 (incl permeable pavers) S.F.
C	TOTAL PERVIOUS LOT AREA	C = (A - B) 5,937.29 SF (nic permeable pavers) S.F.
D	AREA OF SHRUBS AND GROUND COVER REQUIRED	D = (C x .30) 1,781.2 S.F.
E	AREA OF SHRUBS AND GROUND COVER PROVIDED	2,487 S.F.
F	NATIVE VEGETATION REQUIRED	F = (D x .25) 445.3 S.F.
G	NATIVE VEGETATION PROVIDED	1,268 S.F.
H	TOTAL PAVED VEHICULAR USE AREA	1,685.76(permeable pavers) S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I = (H X .10) 168.6 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED	> 220 (credit @ parking islands) S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	K = (I / 125 S.F.) 1.3 = 2 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED	3 TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS	N/A (no off street parking lot) L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N = (M / 30) @ via 36 lf / 30 = 1.2 TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED	2 @ VUA (parking lot end islands) 11 @ north, west & south PL TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE	4 PRESERVED TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q = [(K + N) X .50] = 2 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED	3 EX. + 5 PROPOSED = 8 TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED	4 EX. + 11 PROPOSED = 15 TREES

LANDSCAPE NOTES: (CITY NOTES SHALL APPEAR ON ALL PLANS)
ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED..
SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.
THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
SHRUBS ARE REQUIRED ALONG FOUNDATION VISIBLE TO STREET PLUS ALL EQUIPMENT, A/C, P/E, ETC. SHALL BE SCREENED FROM VIEW.

SITE TABULAR DATA :		EXISTING DEVELOPED SITE W/ PROPOSED ADDITION
SITE AREA:		12,899.5 net SF (.30 AC)
ZONING:		OSSHAD
TOTAL BLDG SF:		4,360 S.F.
PROPOSED IMPERVIOUS:		5,276.45 S.F. (40.90 % of Site Area)
PROPOSED OPEN SPACE:	PERVIOUS AREA	5,937.29 S.F. (46.03 % of Site Area)
	PERMEABLE PAVERS:	1,685.76 S.F. (13.07 % of Site Area)

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 143 South Swinton Avenue
 Delray Beach, Florida



LYNN M. BENDER
 FL REG. LANDSCAPE ARCHITECT LA6666715
 ELECTRONIC SIGNATURE SERIAL NUMBER
 HNM PROJECT NUMBER:
17-030
 ISSUED DATE:
2019-06-10
 SCALE:
N/A
 TITLE:
PROPOSED LANDSCAPE PLAN
 DRAWING NUMBER:
LP2



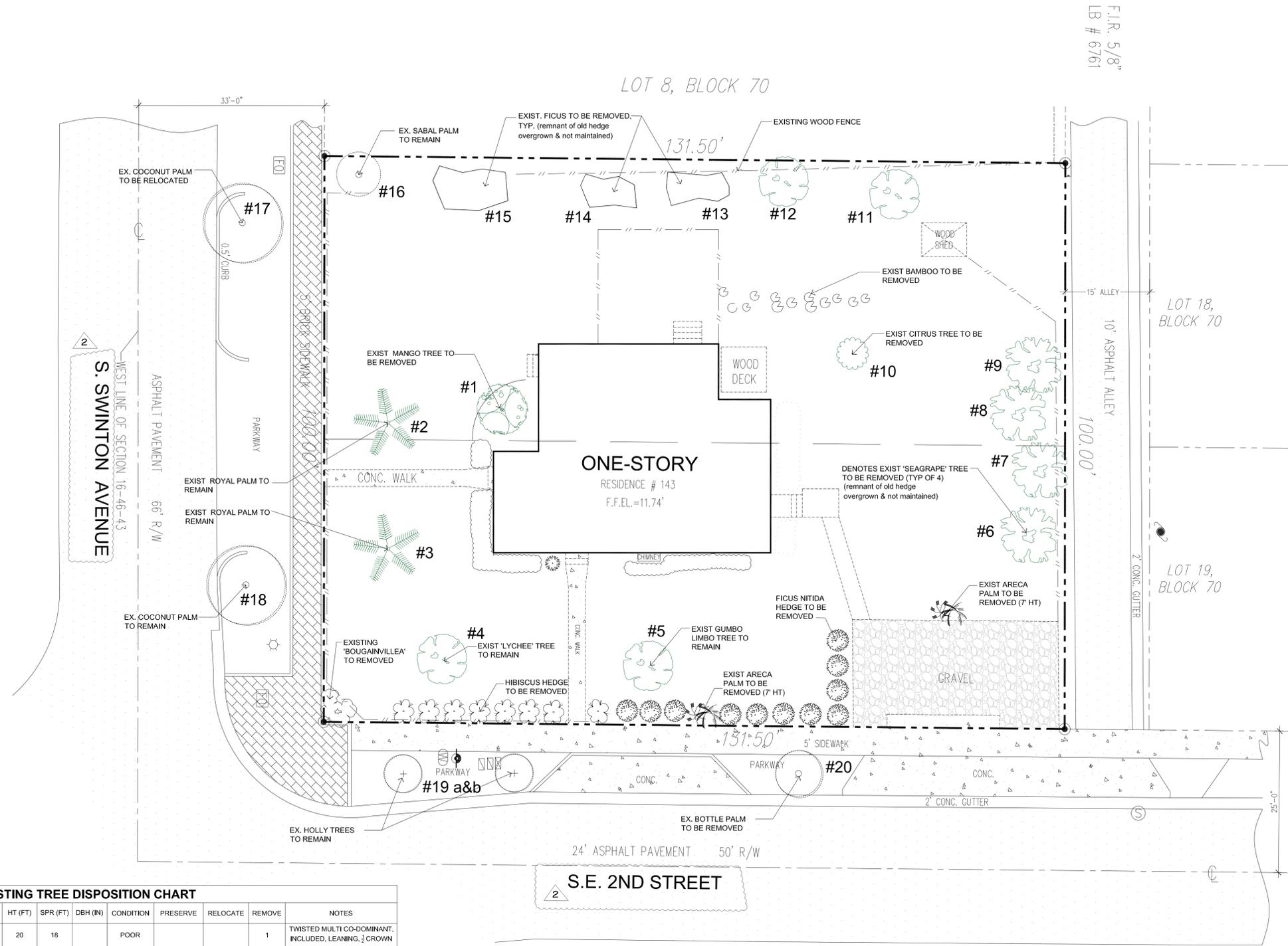
Lynn Bender Landscape Architecture
 5610 Adair Way
 Lake Worth, FL 33467
 Phone: 561-644-3237
 LbenderLarch@gmail.com
 FL-LA6666715



All invasive exotic plants must be removed from the property. The site shall be maintained "exotic free" in perpetuity.

HNM ARCHITECTURE OFFICES

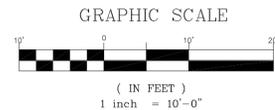
Delray Beach, Florida
143 South Swinton Avenue
Delray Beach, Florida



EXISTING TREE DISPOSITION CHART

TREE #	BOTANICAL NAME	COMMON NAME	HT (FT)	SPR (FT)	DBH (IN)	CONDITION	PRESERVE	RELOCATE	REMOVE	NOTES
1	Mangifera indica	MANGO	20	18		POOR			1	TWISTED MULTI CO-DOMINANT, INCLUDED, LEANING, 1/2 CROWN
2	Roystonea regia	ROYAL PALM	30	20	-	GOOD	1			
3	Roystonea regia	ROYAL PALM	30	20	-	GOOD	1			
4	Litchi chinensis	LYCHEE	18	15	16	FAIR	1			
5	Bursera simaruba	GUMBO LIMBO	14	12	6/6	GOOD	1			CO-SOMINANT
6	Coccoloba uvifera	SEA GRAPE	5	8		FAIR		1		MULTI TRUNK MASS
7	Coccoloba uvifera	SEA GRAPE	5	8		FAIR		1		MULTI TRUNK MASS
8	Coccoloba uvifera	SEA GRAPE	5	5		FAIR		1		MULTI TRUNK MASS
9	Coccoloba uvifera	SEA GRAPE	5	6		FAIR		1		MULTI TRUNK MASS
10	Citrus spp.	CITRUS	10	8	-	FAIR		1		MULTI @ BASE
11		UNKNOWN	CUT	-	20	DEAD			1	DEAD
12		UNKNOWN	CUT	-		POOR			1	LEANING; STORM DAMAGE
13	FICUS	FICUS	40	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
14	FICUS	FICUS	30	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
15	FICUS	FICUS	30	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
16	Sabal palmetto	CABBAGE PALM	18	10	-	GOOD	1			
17	Cocos nucifera	COCONUT PALM	28	12		GOOD		1		
18	Cocos nucifera	COCONUT PALM	32	15		GOOD	1			
19 a&b	Ilex cassine	DAHOON HOLLY	12	5		GOOD	1			
20	Hypophorbe lagencaulis	BOTTLE PALM	8'	3'	-	POOR			1	NEW PARALLEL PARKING

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The site shall be maintained "exotic free" in perpetuity.

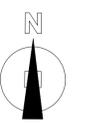


Project Landscape Architect:
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Phone: 561-644-3237
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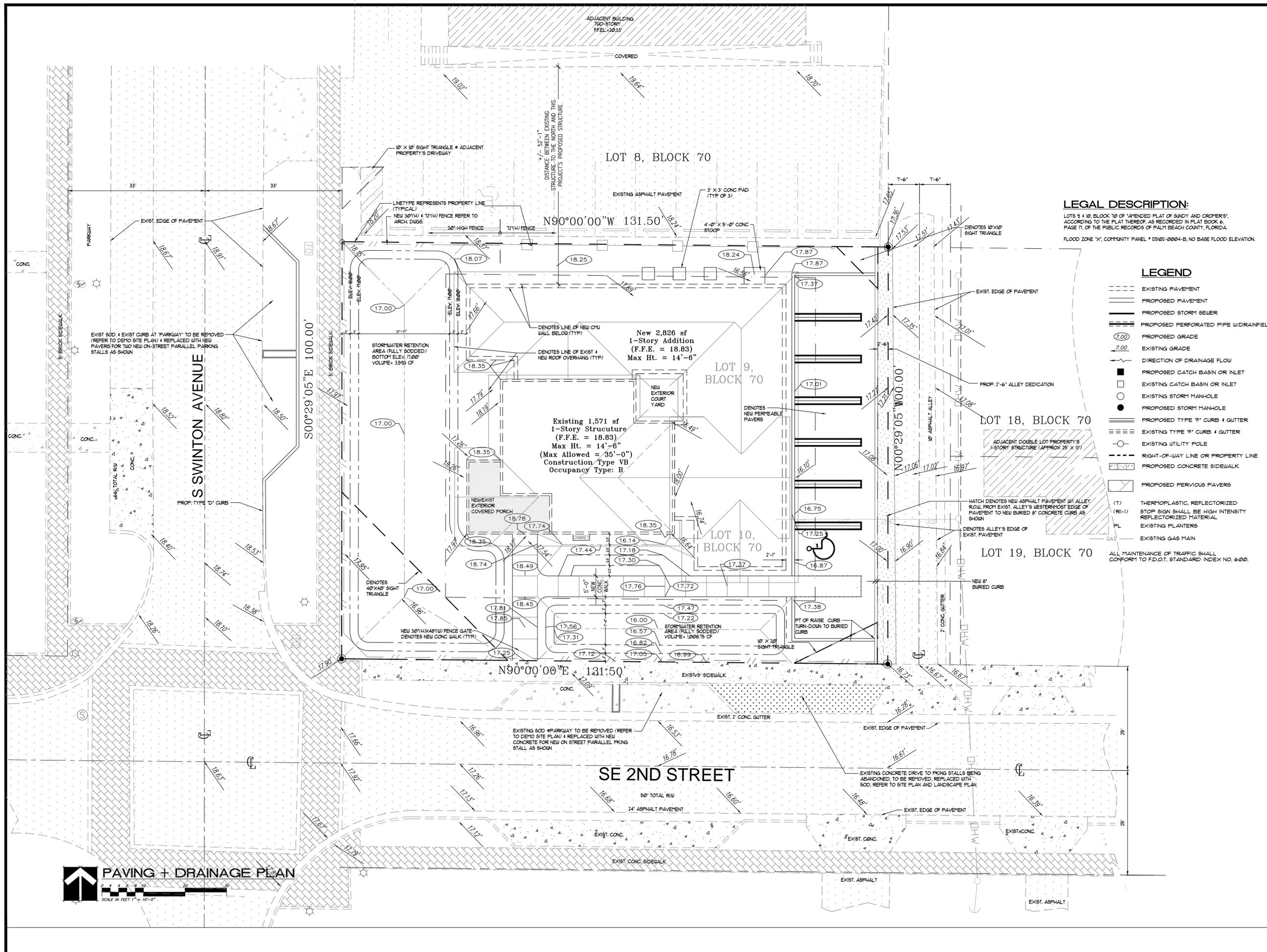
HNM PROJECT NUMBER:
17-030
ISSUED DATE:
2019-06-10
SCALE:
1"=10'-0"



EXISTING TREE DISPOSITION PLAN

DRAWING NUMBER:

TDP1



LEGAL DESCRIPTION:
 LOTS 9 & 10, BLOCK 70 OF "AMENDED PLAT OF SANDY AND CROMER'S", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 11, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
 FLOOD ZONE "X", COMMUNITY PANEL # 125102-0004-B, NO BASE FLOOD ELEVATION.

- LEGEND**
- EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - PROPOSED STORM SEWER
 - PROPOSED PERFORATED PIPE W/ DRAINFIELD
 - (7.00) PROPOSED GRADE
 - 7.00 EXISTING GRADE
 - DIRECTION OF DRAINAGE FLOW
 - PROPOSED CATCH BASIN OR INLET
 - EXISTING CATCH BASIN OR INLET
 - EXISTING STORM MANHOLE
 - PROPOSED STORM MANHOLE
 - PROPOSED TYPE "I" CURB & GUTTER
 - EXISTING TYPE "I" CURB & GUTTER
 - EXISTING UTILITY FOLE
 - RIGHT-OF-WAY LINE OR PROPERTY LINE
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PERVIOUS PAVERS
- (T) THERMOPLASTIC, REFLECTORIZED
 (RI-1) STOP SIGN SHALL BE HIGH INTENSITY REFLECTORIZED MATERIAL
 PL EXISTING PLANTERS
 GAS EXISTING GAS MAIN
 ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 600.

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 143 South Swinton Avenue
 Delray Beach, Florida

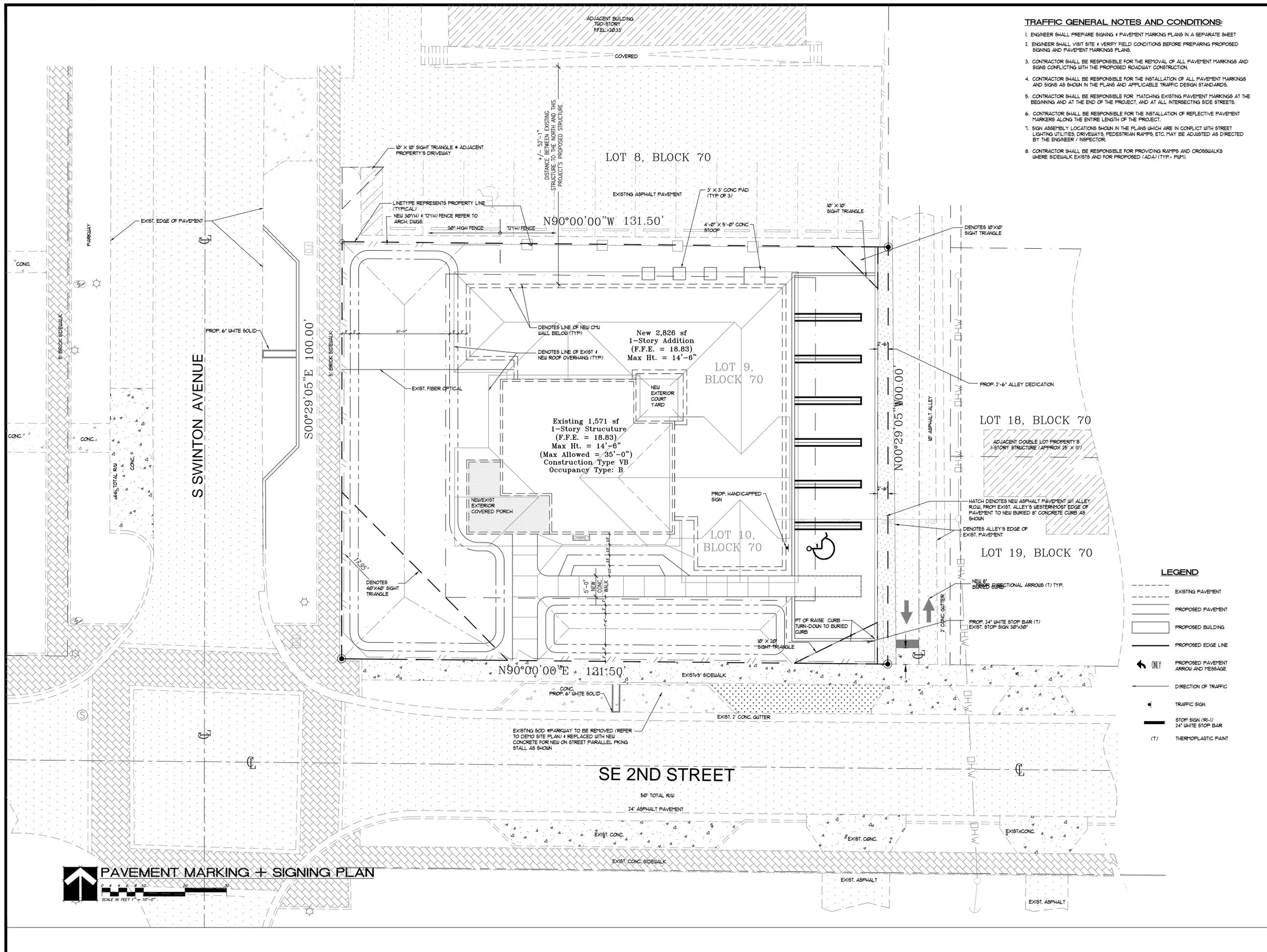
HNM ARCHITECTURE
 3705 North Federal Highway • Delray Beach, Florida 33483 • T. 561.733.2225
 info@hnmarchitect.com • AAS0000728 • www.hnmarchitect.com

CAMERO + ASSOCIATES, INC.
 CIVIL ENGINEERS PLANNERS
 CAMERO + ASSOCIATES, INC. EB NO. 0004719
 JORGE L. CAMERO, P.E. FLA. REG. NO. 33349
 1400 S.W. 50TH TERR. SUITE 204 MIAMI, FL 33155
 (305) 663-1602 FAX (305) 665-8468
 CUR JOB NO. 18-026

HNM PROJECT NUMBER:
17-030
 ISSUED DATE:
2018-11-02
 SCALE:
1" = 10'-0"
 TITLE:
PAVING & DRAINAGE PLAN

DRAWING NUMBER:
C-1





- TRAFFIC GENERAL NOTES AND CONDITIONS:**
- ENGINEER SHALL PREPARE SIGNING + PAVEMENT MARKING PLANS IN A SEPARATE SHEET
 - ENGINEER SHALL VISIT SITE + VERIFY FIELD CONDITIONS BEFORE PREPARING PROPOSED SIGNING AND PAVEMENT MARKING PLANS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT MARKINGS AND SIGNS CONFLICTING WITH THE PROPOSED ROADWAY CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PAVEMENT MARKINGS AND SIGNS AS SHOWN IN THE PLANS AND APPLICABLE TRAFFIC DESIGN STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND AT THE END OF THE PROJECT, AND AT ALL INTERSECTING SIDE STREETS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF REFLECTIVE PAVEMENT MARKERS ALONG THE ENTIRE LENGTH OF THE PROJECT.
 - SIGN ASSEMBLY LOCATIONS SHOWN IN THE PLANS WHICH ARE IN CONFLICT WITH STREET LIGHTING UTILITIES, DRIVEWAYS, PEDESTRIAN RAMPS, ETC. MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER / INSPECTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RAMPS AND CROSSWALKS WHERE SIDEWALK EXISTS AND FOR PROPOSED (ADA) (TYP. - RUM).

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 Delray Beach, Florida
 143 South Swinton Avenue
 Delray Beach, Florida

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CAMERO + ASSOCIATES, INC.
 CIVIL ENGINEERS P.L.L.C. ENGINEERS
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 JORGE L. CAMERO, P.E. FLA. REG. NO. 33349
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 CUR JOB NO. 18-026

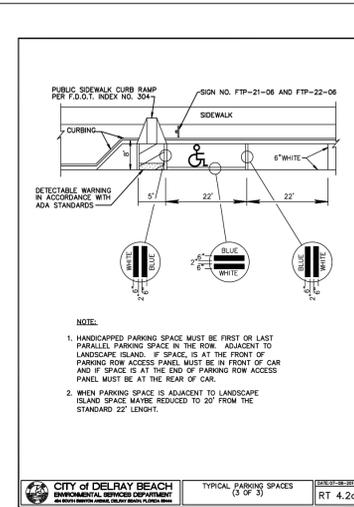
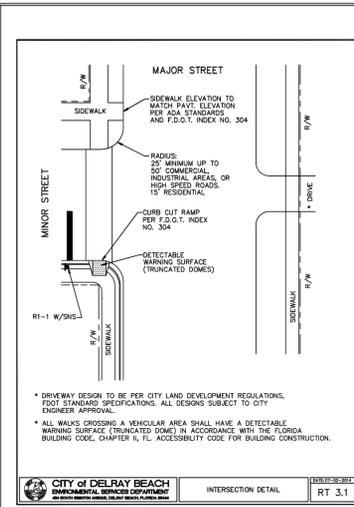
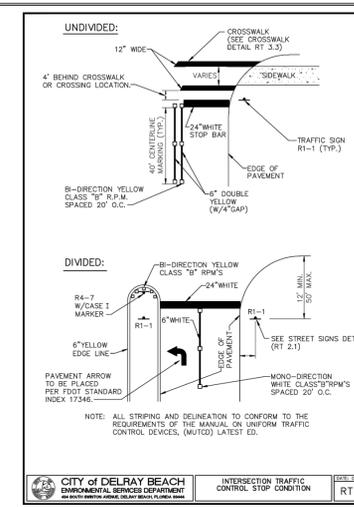
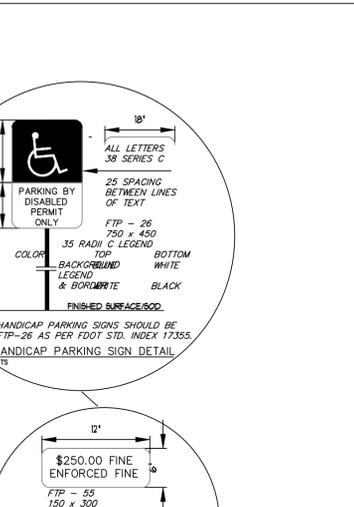
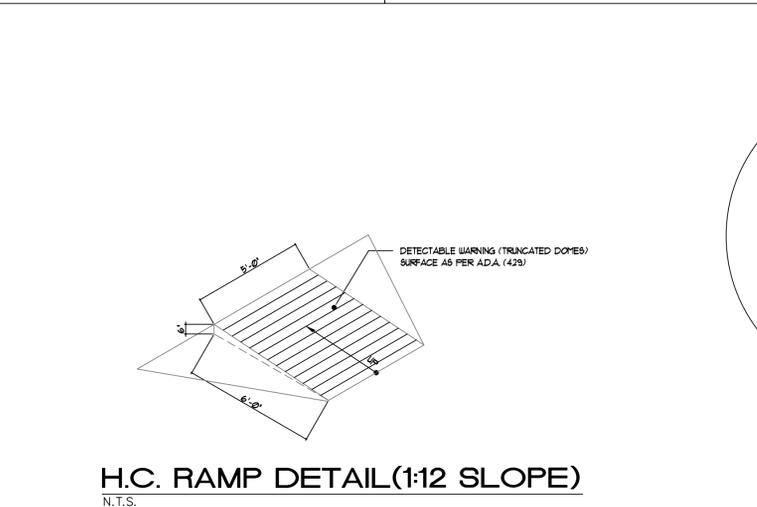
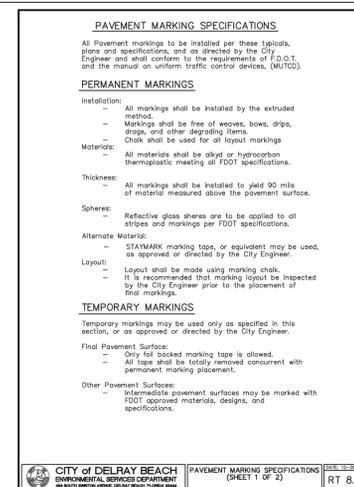
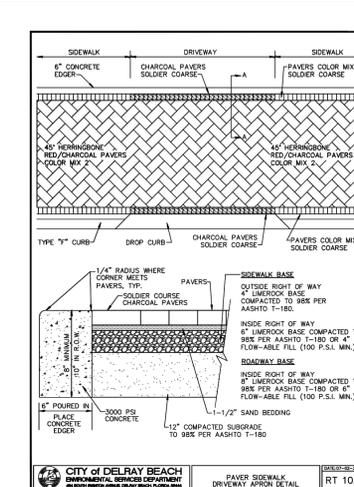
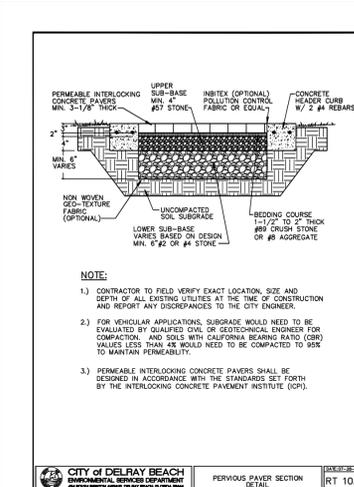
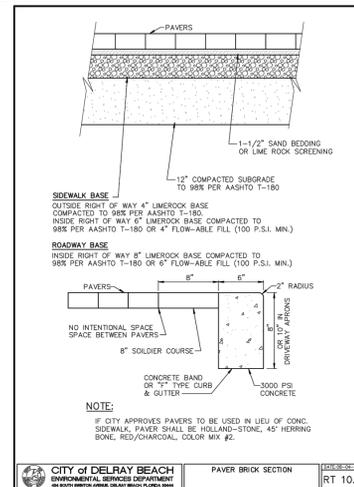
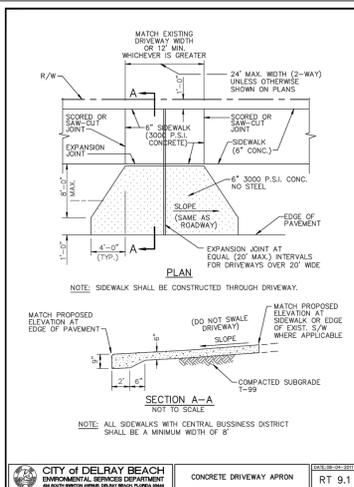
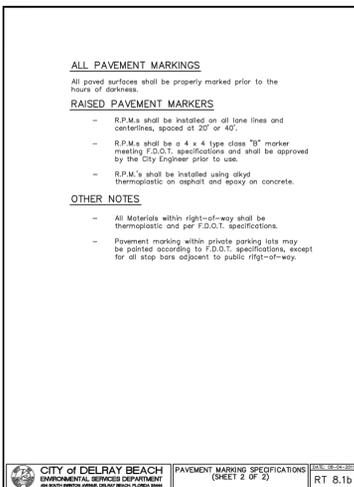
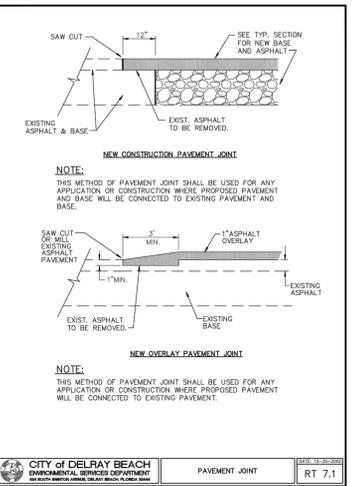
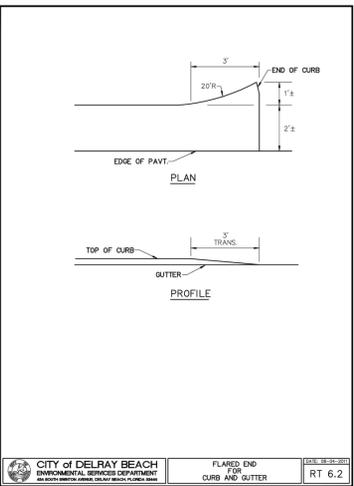
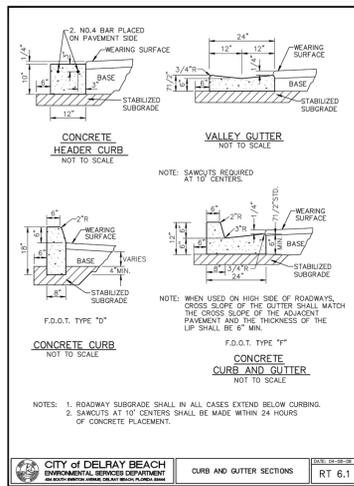
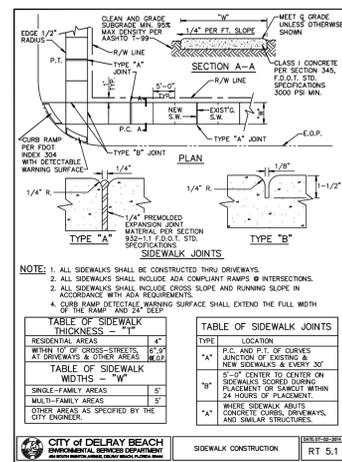
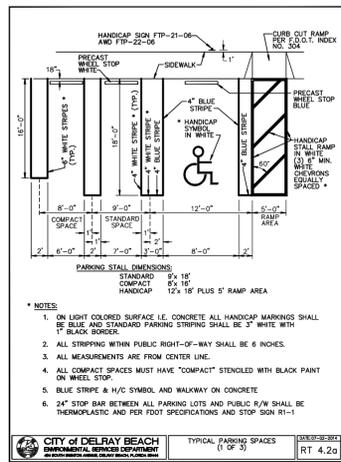
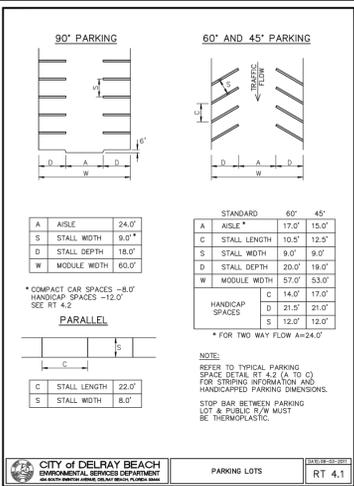
HNM PROJECT NUMBER:
17-030
 ISSUED DATE:
2018-11-02
 SCALE:
1" = 10'-0"
 TITLE:
PAVEMENT MARKING & SIGNING PLAN

DRAWING NUMBER:
C-2

- LEGEND**
- EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - PROPOSED BUILDING
 - PROPOSED EDGE LINE
 - PROPOSED PAVEMENT ARROW AND MESSAGE
 - DIRECTION OF TRAFFIC
 - TRAFFIC SIGN
 - STOP SIGN (R-1)
 - 24" WHITE STOP BAR
 - THERMOPLASTIC PAINT



PAVEMENT MARKING + SIGNING PLAN



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FLA. REG. NO. 33349
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CUR JOB NO. 18-26

HNM PROJECT NUMBER:
17-030

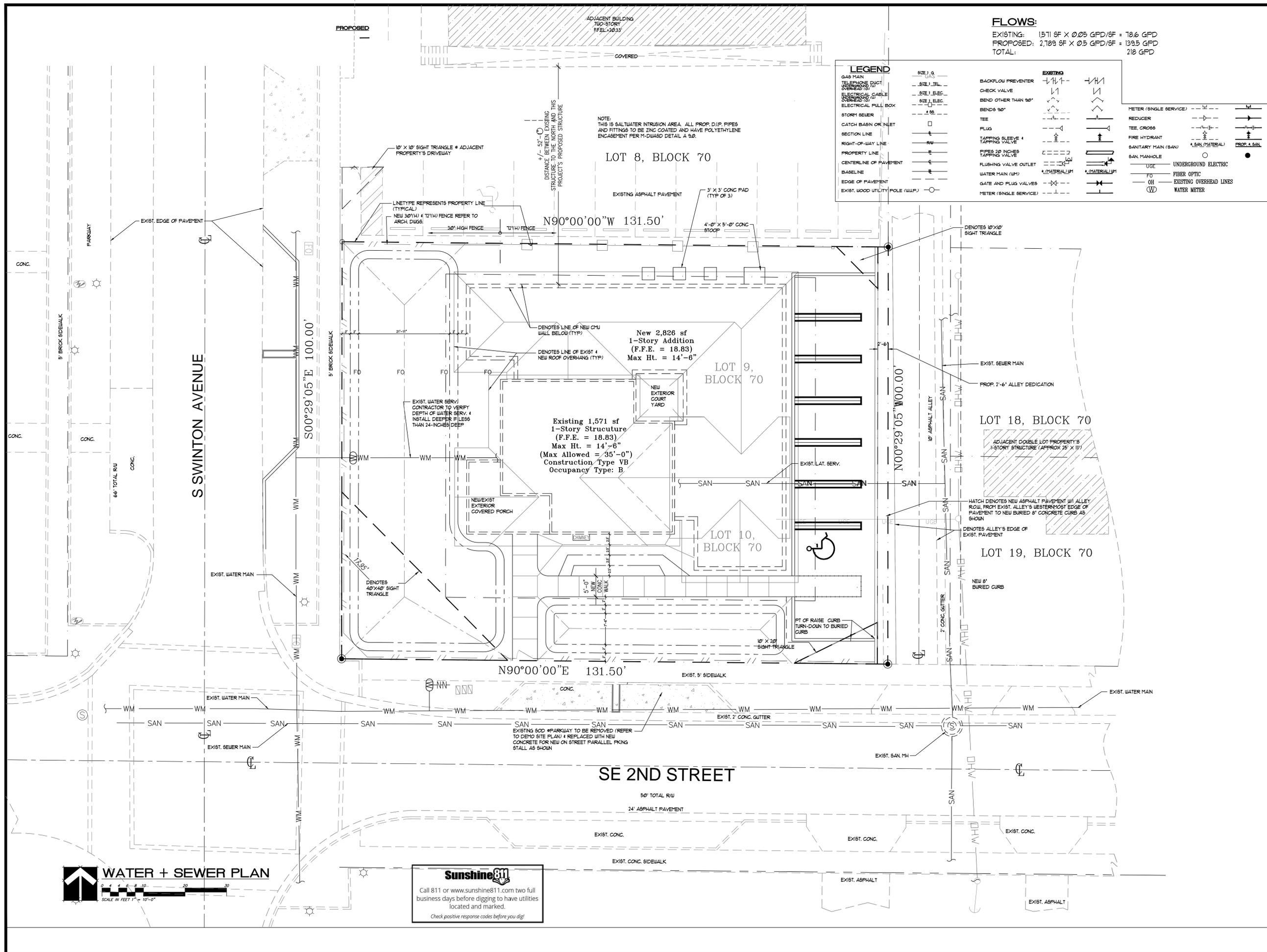
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2018-11-02

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TITLE:

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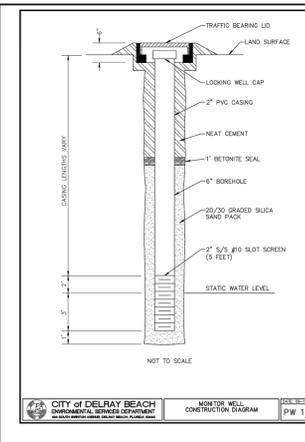
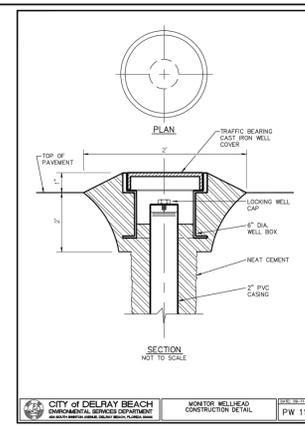
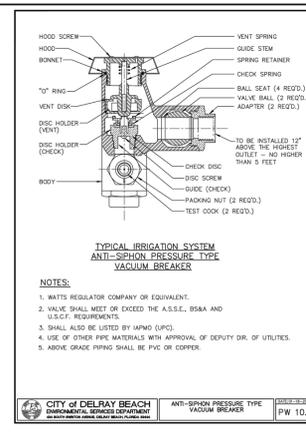
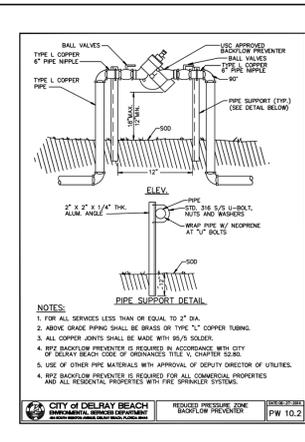
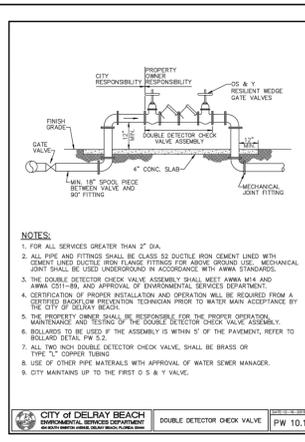
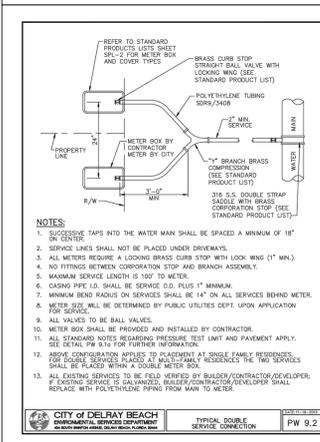
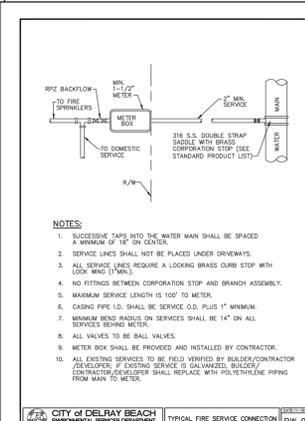
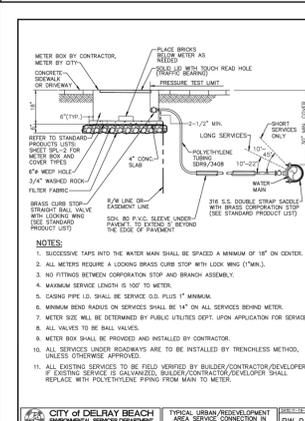
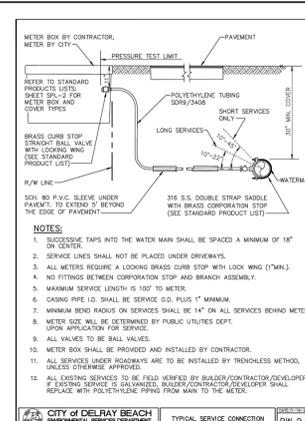
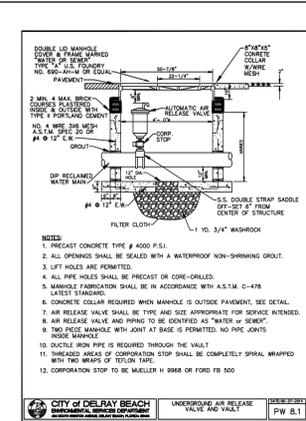
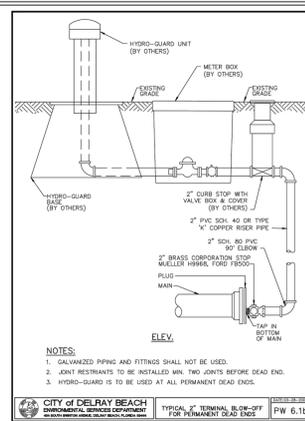
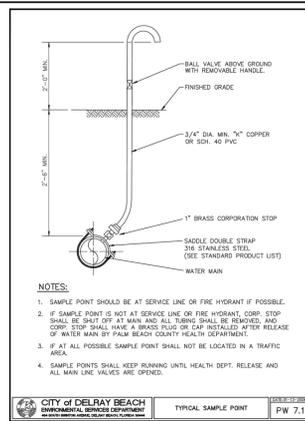
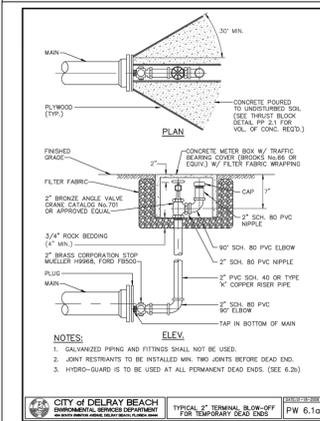
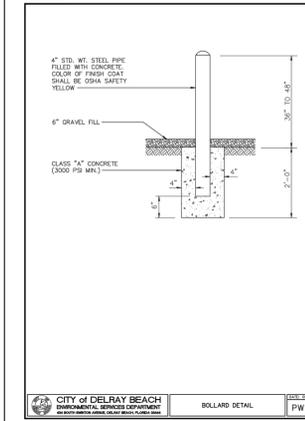
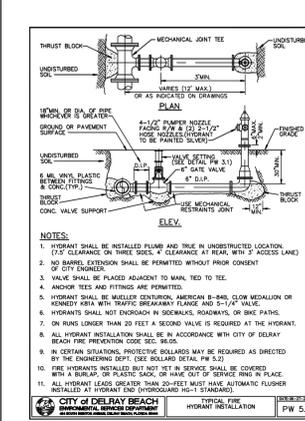
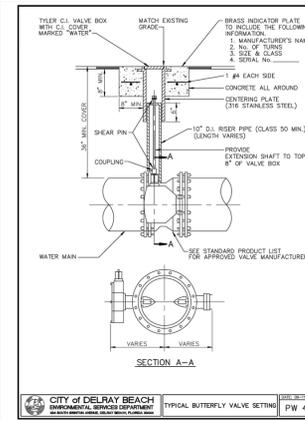
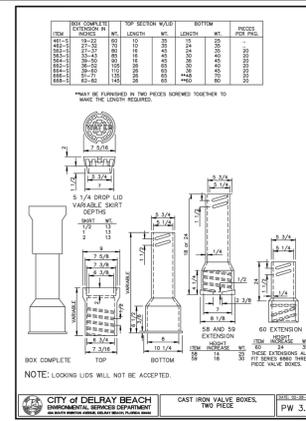
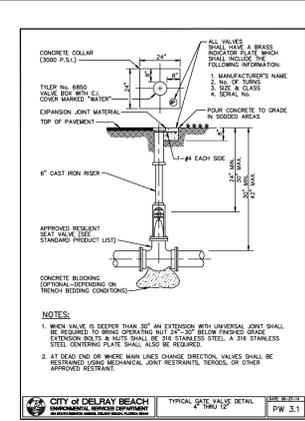
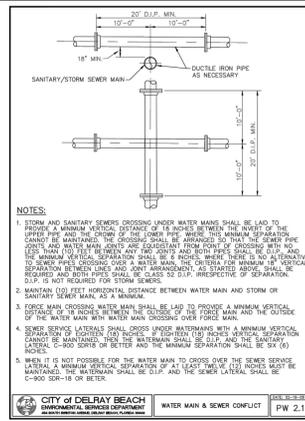
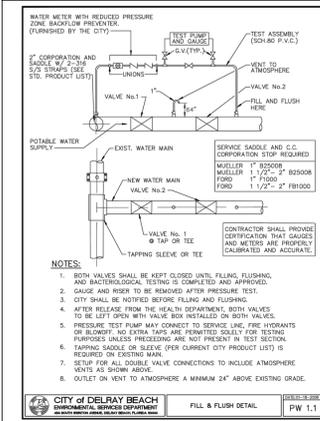
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HNM PROJECT NUMBER:
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 TITLE:
WATER AND SEWER PLAN

DRAWING NUMBER:
C-4



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WATER AND SEWER DETAILS
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