

Gensler

Architect

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SUNDY VILLAGE WEST, LLC

SUNDY VILLAGE - BLOCK 69

SITE MODIFICATION

SEPTEMBER 15th, 2023

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

CLIENT:
SUNDY VILLAGE WEST, LLC
7900 GLADES RD.
SUITE 540
BOCA RATON, FLORIDA 33434
PH: 561.594.0525

PLANNING/LANDSCAPE:
COVELLI DESIGN ASSOCIATES
7050 W PALMETTO PARK RD.
SUITE 15-274
BOCA RATON, FLORIDA 33433
PH: 561.910.0330

CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC
1400 CENTREPARK BLVD.
SUITE 905
WEST PALM BEACH, FLORIDA 33401
PH: 561.659.5760
FAX: 561.659.5772

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD NW
SUITE 214
BOCA RATON, FLORIDA 33431
PH: 561.955.8623
FAX: 561.362.4749

LIGHTING/PHOTOMETRICS:
**ILLUMINOSITY ARCHITECTURAL
LIGHTING AND DESIGN**
5798 SW 8TH STREET
MIAMI, FLORIDA 33144
PH: 305.269.4858

BLOCK 69- LOCATION MAP



DRAWING INDEX

• NEW ISSUE ■ REVISED ISSUE ○ ISSUED WITH NO CHANGES □ REVISED - NOT ISSUED / SK ISSUED

| Sheet Number | Sheet Name | 11/11/2022 - SITE MODIFICATION | 05/17/2023 - SITE MODIFICATION RESUBMISSION | 09/15/2023 - SITE MODIFICATION RESUBMISSION |
|--------------|--|--------------------------------|---|---|
| A0.00 | COVER SHEET | • | ■ | ■ |
| A0.01 | DRAWING INDEX AND LOCATION MAP | • | ■ | ■ |
| A0.30 | OVERALL SITE PLAN | • | ■ | ■ |
| A0.31 | BLOCK 69 SITE PLAN | • | ■ | ■ |
| A0.40 | PROJECT DATA AND NOTES | • | ■ | ■ |
| A0.41 | OVERALL DOORS AND WINDOW SCHEDULES | • | ■ | ■ |
| A1.11 | BLOCK 69 - FIRST FLOOR/SUBGRADE FLOOR PLAN | • | ■ | ■ |
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| A1.13 | BLOCK 69 - THIRD FLOOR PLAN | • | ■ | ■ |
| A1.14 | BLOCK 69 - FOURTH FLOOR PLAN | • | ■ | ■ |
| A1.15 | BLOCK 69 - ROOF PLAN | • | ■ | ■ |
| A1.51 | BLOCK 69 - FIRST FLOOR/SUBGRADE FLOOR LIFE SAFETY PLAN | • | ■ | ■ |
| A1.52 | BLOCK 69 - SECOND FLOOR LIFE SAFETY PLAN | • | ■ | ■ |
| A1.53 | BLOCK 69 - THIRD FLOOR LIFE SAFETY PLAN | • | ■ | ■ |
| A1.54 | BLOCK 69 - FOURTH FLOOR LIFE SAFETY PLAN | • | ■ | ■ |
| A1.55 | BLOCK 69 - ROOF LIFE SAFETY PLAN | • | ■ | ■ |
| A2.00 | BLOCK 69 - SITE ELEVATIONS AND PROPORTIONS | • | ■ | ■ |
| A2.01 | BLOCK 69 - OVERALL BUILDING ELEVATIONS - EAST AND CORNER | • | ■ | ■ |
| A2.02 | BLOCK 69 - OVERALL BUILDING ELEVATIONS - SOUTH & CORNER | • | ■ | ■ |
| A2.03 | BLOCK 69 - OVERALL BUILDING ELEVATIONS - WEST | • | ■ | ■ |
| A2.04 | BLOCK 69 - OVERALL BUILDING ELEVATIONS - NORTH | • | ■ | ■ |
| A3.01 | BLOCK 69 - BUILDING SECTIONS | • | ■ | ■ |
| A3.02 | BLOCK 69 - BUILDING SECTIONS | • | ■ | ■ |
| A3.20 | BLOCK 69 - ARCADE FRONTAGE | • | ■ | ■ |

| Sheet Number | Sheet Name | 11/11/2022-SITE MODIFICATION | 05/17/2023-SITE MODIFICATION RESUBMISSION | 09/15/2023-SITE MODIFICATION RESUBMISSION |
|---------------------|--|------------------------------|---|---|
| SURVEY | | | | |
| S1 | SURVEY | • | ■ | ■ |
| CIVIL | | | | |
| C0.0 | COVER SHEET | • | ■ | ■ |
| C0.1-C0.2 | GENERAL NOTES | • | ■ | ■ |
| C1.1 | DEMOLITION & EROSION CONTROL PLAN | • | ■ | ■ |
| C2.1 | SIGNING, STRIPING & GEOMETRIC PLAN | • | ■ | ■ |
| C3.1 | PAVING, GRADING & DRAINAGE PLAN | • | ■ | ■ |
| C4.1-C4.4 | PAVING, GRADING & DRAINAGE DETAILS | • | ■ | ■ |
| C5.1 | POTABLE WATER & SANITARY SEWER PLAN | • | ■ | ■ |
| C6.1-C6.2 | POTABLE WATER & SANITARY SEWER DETAILS | • | ■ | ■ |
| C.O.P.-1 | COMPOSITE UTILITY PLAN | • | ■ | ■ |
| LANDSCAPE | | | | |
| LH-0 | OVERALL SITE PLAN | • | ■ | ■ |
| LH-1 | GROUND LEVEL HARDSCAPE PLAN | • | ■ | ■ |
| LP-1 | GROUND LEVEL PLANTING PLAN | • | ■ | ■ |
| LP-2 | SECOND LEVEL PLANTING PLAN | • | ■ | ■ |
| LP-3 | PLANT LIST & DETAILS | • | ■ | ■ |
| LP-4 | PLANTING SPECIFICATIONS | • | ■ | ■ |
| TD-1 | TREE DISPOSITION PLAN | • | ■ | ■ |
| PHOTOMETRICS | | | | |
| L1D | LEVEL 1 DAYTIME MODE | • | ■ | ■ |
| L1N | LEVEL 1 NIGHTTIME MODE | • | ■ | ■ |
| L2D | LEVEL 2 DAYTIME MODE | • | ■ | ■ |
| L2N | LEVEL 2 NIGHTTIME MODE | • | ■ | ■ |
| L3D | LEVEL 3 DAYTIME MODE | • | ■ | ■ |
| L3N | LEVEL 3 NIGHTTIME MODE | • | ■ | ■ |
| L4D | LEVEL 4 DAYTIME MODE | • | ■ | ■ |
| L4N | LEVEL 4 NIGHTTIME MODE | • | ■ | ■ |
| LRN | ROOF NORMAL MODE | • | ■ | ■ |
| L-ROW | SITE PLAN | • | ■ | ■ |
| L-SITE | SITE PLAN | • | ■ | ■ |
| LD-01 | SPECS 1 | • | ■ | ■ |
| LD-02 | SPECS 2 | • | ■ | ■ |

GENERAL NOTES

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

Lic. No. AA0002837
Main Office
1700 Broadway
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1400 CENTERPARK BLVD.
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| Date | Description |
|--------------|--------------------------------|
| 1 11/11/2022 | SITE MODIFICATION |
| 2 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 3 09/15/2023 | SITE MODIFICATION RESUBMISSION |

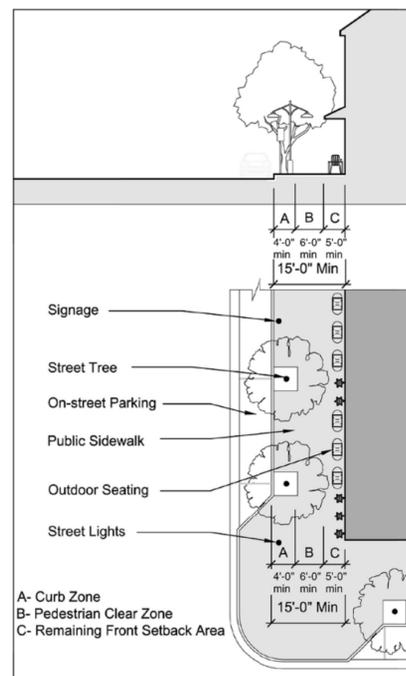
GRAPHIC SYMBOLS

- CONSTRUCTION**
- 1 COLUMN GRID REFERENCE NUMBER
 - COLUMN GRID LINES
 - HIDDEN/BEYOND
 - OVERHEAD/ABOVE
 - DRAWING NUMBER
 - SHEET NUMBER
 - DESCRIPTION OF SIMILAR OR OPPOSITE
 - AREA TO BE DETAILED
 - DRAWING NUMBER
 - DIRECTION OF ELEVATION
 - SHEET NUMBER
 - NAME
 - ROOM NAME
 - ROOM NUMBER
 - 01 SHEET NOTE
 - XXX DOOR NUMBER (SEE DOOR SCHEDULE)
 - XX DOOR NUMBER
 - XX DOOR TYPE
 - XXX DOOR NUMBER | HARDWARE TYPE
 - XX DOOR TYPE | HARDWARE TYPE
 - WINDOW TYPE (SEE WINDOW SCHEDULE)
 - WINDOW TYPE | HARDWARE TYPE
 - ELEVATION DATUM REFERENCE
 - ALIGN
 - ALIGN WITH ESTABLISHED / ADJACENT SURFACES
 - XX PARKING COUNT

- SECURITY DEVICES**
- CAMERA
 - CARD READER
 - VEHICLE SCANNER

- WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES**
- FIRE EXTINGUISHER
 - CABINET

CODE REQUIREMENTS FOR STREETSCAPE



* Dimensions listed above are code minimum standards. See section details for actual dimensions of curb zone, pedestrian clear zone and remaining front setback area

ARCADE FRONTAGE REQUIREMENTS

Table 4.4.13(j) Dimensional Requirements for Arcade

| | Minimum | Maximum |
|--|------------------|---------|
| A Building Setback | Varies | 15 ft. |
| B Arcade Depth | 10 ft. | 20 ft. |
| C Arcade Height | 10 ft. | 20 ft. |
| D Column/Pillar to Face of Curb | 2 ft. | 5 ft. |
| E Column/Pillar Width and Depth | 1 ft. | - |
| Maximum Allowable Encroachment of Elements in All Districts | | |
| F Arcade | varies by street | |

(Ord. No. 19-18, § 6, 10-16-18)

Figure 4.4.13-E-13 Arcade Frontage Type



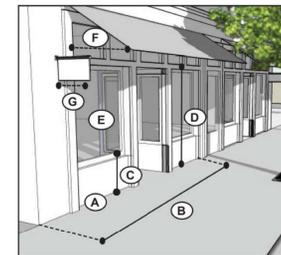
(Ord. No. 26-21, § 6, 8-10-21)

* Dimensions listed above are code standards. See plan and section drawings for actual dimensions

STOREFRONT REQUIREMENT

Table 4.4.13(i) Dimensional Requirements for Storefronts

| | Minimum | Maximum |
|--|---------|-----------------------------------|
| A Building Setback | 10 ft. | 15 ft. |
| B Store Width | N/A | 75 ft. on Required Retail Streets |
| C Storefront Base | 9 in. | 3 ft. |
| D Glazing Height plus Storefront Base | 8 ft. | - |
| E Required Openings | 80% | - |
| Maximum Allowable Encroachment of Elements in All Districts | | |
| F Awning Projection | 5 feet | - |
| G Projecting Sign | N/A | 3 feet |



* Dimensions listed above are code standards. See A3.20 drawing for actual dimensions

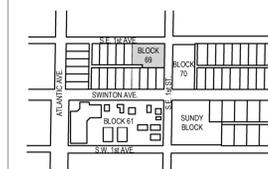
LOBBY FRONTAGE REQUIREMENTS

Table 4.4.13(k) Dimensional Requirements for Lobby Entry

| | Minimum | Maximum |
|--|---------|---------|
| A Building Setback | 10 ft. | 15 ft. |
| B Lobby Entry Width | N/A | N/A |
| Maximum Allowable Encroachment of Elements in All Districts | | |
| C Overhang/Awning Projection | N/A | 10 ft. |
| D Columns, Plaster, Posts | N/A | 5 ft. |

* Dimensions listed above are code standards. See plan drawings for actual dimensions

KEY PLAN



Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

DRAWING INDEX AND LOCATION MAP

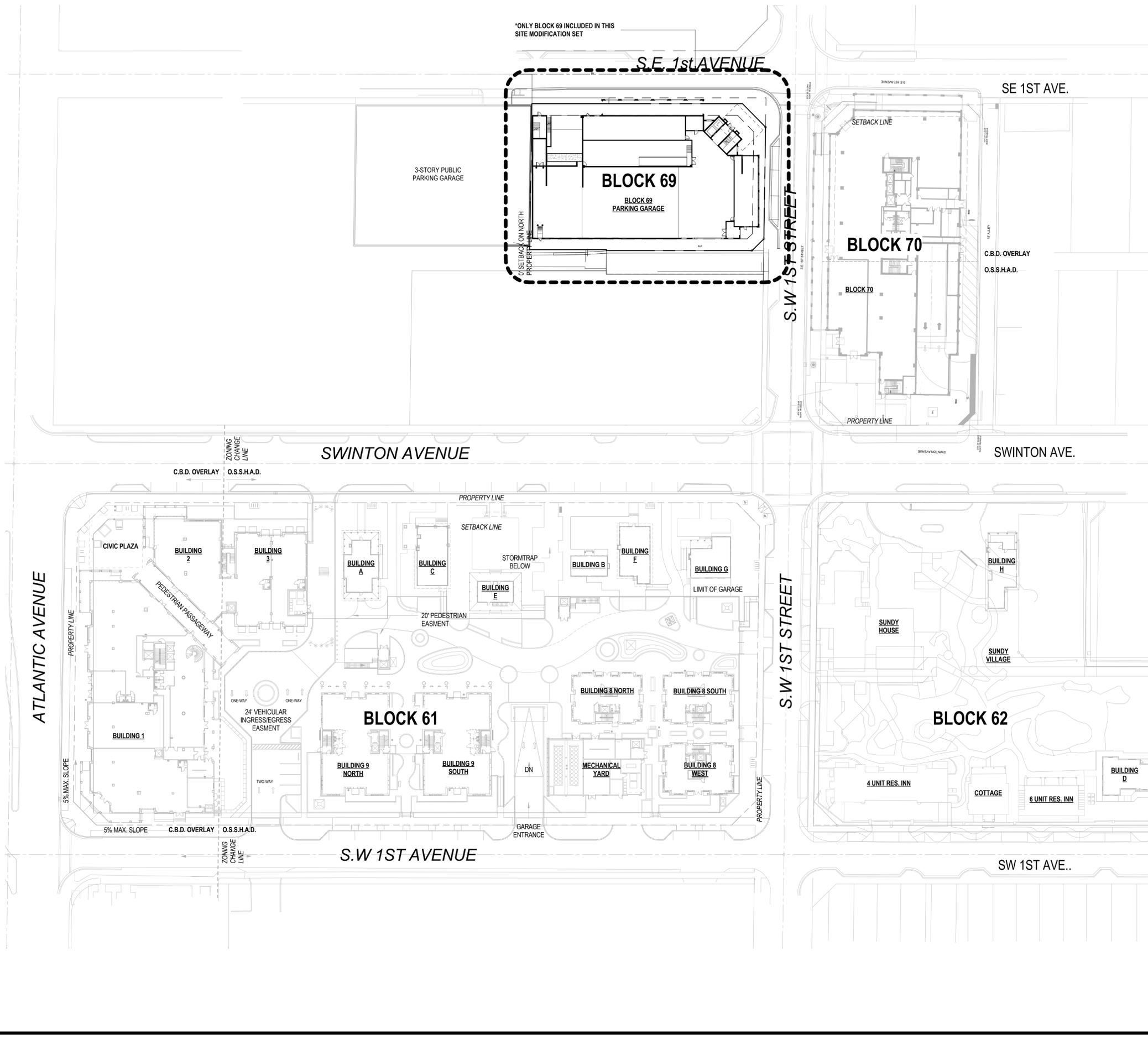
Scale

As indicated

A0.01

9/15/2023 4:28:13 PM BIM:360/1006.3292.200 - Sundy Village - Block 69-7006.3292.200 - BLOCK 69 - PARKING.rvt

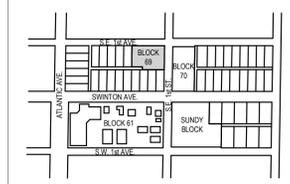
01 OVERALL SITE PLAN
SCALE: 1" = 40'-0"



GENERAL NOTES

- ALL EMERGENCY GENERATORS PROPOSED ON SITE WILL UTILIZE NATURAL GAS AS A FUEL SOURCE
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATED SPRINKLER SYSTEM THAT WILL PROVIDE COMPLETE COVERAGE OF ALL PLANTS MATERIALS AND GRASS TO BE MAINTAINED. ALL SYSTEMS SHALL BE DESIGNED TO ALLOW HEAD-TO-HEAD COVERAGE (100 PERCENT WITH 100 PERCENT OVERLAP)
- ANTI-SKATE BOARD DEVICES WILL BE INSTALLED ON ALL PLANTERS AND KNEEWALLS, TYP. FOR ALL SUBJECT PARCELS
- A VIDEO SURVEILLANCE AND CCTV SYSTEM WITHIN THE GARAGE WILL BE PROVIDED
- EMERGENCY CALL BOXES WILL BE PLACED IN THE PARKING GARAGE. CALL BOXES WILL BE STRATEGICALLY POSITIONED AND CLEARLY MARKED, WITH A BLUE LIGHT ON TOP
- AN OFF-DUTY OFFICER WILL BE HIRED DURING NON-COMMERCIAL USE HOURS FOR SAFETY AND PROTECTION
- A SECURITY GATE AT THE WEST GARAGE ENTRANCE WILL BE CLOSED WHEN SPACES ACCESSED VIA THE WEST ENTRANCE ARE NOT IN USE IN THE EVENINGS. THE GARAGE WILL NOT BE SECURED WHILE GUESTS ARE PARKED WITHIN THE GARAGE.
- ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.02

KEY PLAN



SUNDY VILLAGE WEST, LLC
48 SE 1st AVENUE
DELRAY BEACH, FL 33444

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LANDSCAPE: DESIGN STUDIO BOCA, 2300 CORPORATE BLVD. NW, SUITE 214, BOCA RATON, FL 33431
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| Date | Description |
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| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
OVERALL SITE PLAN

Scale
As indicated

A0.30

| LOT COVERAGE CALCULATIONS - OSSHAD | | | | | |
|------------------------------------|--------------------|---------------|-------------------|--------------------|---------------|
| PARCEL | LOT AREA (SQ. FT.) | MAX BLDG AREA | ALLOWED (SQ. FT.) | PROPOSED (SQ. FT.) | PROPOSED (%) |
| BLOCK 61 | 126,865 | 40% | 50,746 | 30,491 | 24.03% |
| BLOCK 62 | 72,779 | 40% | 29,112 | 13,564 | 18.64% |
| BLOCK 70 | 18,184 | 40% | 7,274 | 6,974 | 38.35% |
| TOTAL FOR DEVELOPMENT | 217,828 | 40% | 87,131 | 51,029 | 27.01% |

| LOT COVERAGE CALCULATIONS - CBD OVERLAY | | | | | |
|---|--------------------|---------------|-------------------|--------------------|--------------|
| PARCEL | LOT AREA (SQ. FT.) | MAX BLDG AREA | ALLOWED (SQ. FT.) | PROPOSED (SQ. FT.) | PROPOSED (%) |
| BLOCK 61 | 31,820 | N/A | 31,820 | 21,481 | N/A |
| BLOCK 69 | 24,668 | N/A | 24,668 | 18,555 | N/A |
| BLOCK 70 | 17,390 | N/A | 17,390 | 14,082 | N/A |
| TOTAL FOR DEVELOPMENT | 73,878 | N/A | 73,878 | 54,118 | N/A |

| OPEN SPACE CALCULATIONS - O.S.S.H.A.D. | | | | | |
|--|--------------------|----------------|--------------------|--------------------|---------------|
| PARCEL | LOT AREA (SQ. FT.) | MIN OPEN SPACE | REQUIRED (SQ. FT.) | PROPOSED (SQ. FT.) | PROPOSED (%) |
| BLOCK 61 | 126,865 | 25% | 31,716 | 29,179 | 23.00% |
| BLOCK 62 (PER CERTIFIED PLANS) | 72,779 | 25% | 18,195 | 33,472 | 45.99% |
| BLOCK 69 | N/A | N/A | N/A | N/A | N/A |
| BLOCK 70 | 18,184 | 25% | 4,546 | 3,835 | 21.09% |
| TOTAL FOR DEVELOPMENT | 199,644 | 25% | 49,911 | 62,651 | 31.38% |

| BIKE PARKING CALCULATIONS LDR SECTION 4.4.13(i) TABLE 4.4.13 (M) | | | | | |
|---|---------|---|-----------|-----------|----------|
| USE | PROGRAM | REQUIREMENT | TYPE 1 | TYPE 2 | SHOWER |
| PROFESSIONAL OFFICE > 50,000 SQ. FT. | 109,281 | TYPE I - 5 SPACES MIN + (2) PER 10,000 GSF TYPE II - 5 SPACES MIN + (2) PER 10,000 GSF SHOWER - 2 + (2) PER EA. ADD. 50,000 GSF | 27 | 27 | 4.19 |
| RETAIL, RESTAURANT, & COMMERCIAL | 15,963 | TYPE I - 1 SPACES PER 2,500 GSF TYPE II - 2 SPACES FOR 10,000 GSF SHOWER - 2 PER 10,000 GSF | 7 | 2 | 2.60 |
| REQUIRED | | | 34 | 29 | 8 |

NOTE: TYPE 2 BICYCLE PARKING PROVIDED WITH SECURE LOCKERS IN GARAGE AND SHOWER FACILITIES TO BE PROVIDED ON FLOORS 2 AND 3 OF BLDG 1 OF BLOCK 61, AND THE GROUND FLOOR OF BLOCK 70.

| TYPE 1 BIKE PARKING LOCATIONS | | |
|-------------------------------|-------------------|-----------|
| PARCEL | TYPE | QUANTITY |
| BLOCK 61 | RACK (2 PER RACK) | 48 |
| BLOCK 69 | RACK (2 PER RACK) | 0 |
| BLOCK 70 | RACK (2 PER RACK) | 16 |
| SUNDY BLOCK | RACK (2 PER RACK) | 8 |
| TOTAL | | 72 |

| CIVIC OPEN SPACE REQUIREMENTS LDR SECTION 4.4.13(G) | |
|---|--|
| 1. FIRST 20,000 SQ. FT. IS EXEMPT 2. THE AREA BETWEEN 20,000 SQ. FT. TO 40,000 SQ. FT. REQUIRES 5% OR MAX 1,000 SQ. 3. REMAINDER REQUIRES 9% OF ADDITIONAL AREA | |
| BLOCK 61 | SITE AREA = 31820 FIRST 20,000 SQ. FT. IS EXEMPT REMAINING = 11,820 SQ. FT. X 5% = 591 TOTAL REQUIRED = 591 TOTAL PROVIDED = 1,990 SQ. FT. * * 1,500 SF MIN TO QUALIFY AS CIVIC PLAZA |
| BLOCK 69 | SITE AREA = 24668 FIRST 20,000 SQ. FT. IS EXEMPT REMAINING = 4,668 SQ. FT. X 5% = 233 TOTAL REQUIRED = 233 TOTAL PROVIDED = 275 SQ. FT. ** ** AREA FOR PUBLIC ART TO BE PROVIDED PER LDR 4.4.13 (G)(2)(h) |
| BLOCK 70 | SITE AREA = 17390 FIRST 20,000 SQ. FT. IS EXEMPT SITE AREA LESS THAN 20,000 SQ. FT. THEREFORE NO CIVIC OPEN SPACE IS REQUIRED. |

| PARKING REQUIREMENTS BY USE LDR SECTION 4.4.13(L) AND 4.4.24(G)(4) | | | | |
|---|----------------------|--------|------------------------|----------|
| PARCEL | USE | AREA | REQUIREMENT | REQUIRED |
| BLOCK 61 (CBD OVERLAY) | OFFICE | 35,084 | 1 SPACE PER 500 NSF | 70.17 |
| | RETAIL | 7,948 | 1 SPACE PER 500 GSF | 15.90 |
| | RESTAURANT | 8,015 | 6 SPACES PER 1,000 GSF | 48.09 |
| BLOCK 61 (OSSHAD) | OUTDOOR DINING | 2,000 | 6 SPACES PER 1,000 GSF | 12.00 |
| | OFFICE | 38,033 | 1 SPACE PER 300 NSF | 126.78 |
| | RESTAURANT | 11,922 | 6 SPACES PER 1,000 GSF | 71.53 |
| BLOCK 62 (OSSHAD) | OUTDOOR DINING | 6,345 | 6 SPACES PER 1,000 GSF | 38.07 |
| | OFFICE | 548 | 1 SPACE PER 300 NSF | 1.83 |
| | RETAIL | 1,511 | 1 SPACE PER 300 GSF | 5.04 |
| BLOCK 69 GARAGE (CBD OVERLAY) | RESTAURANT | 5,606 | 6 SPACES PER 1,000 GSF | 33.64 |
| | RESIDENTIAL-TYPE INN | 12 | 1 SPACE PER UNIT | 12.00 |
| | PARKING | 42,717 | | - |
| BLOCK 70 (CBD OVERLAY) | OFFICE | 3,120 | 1 SPACE PER 500 NSF | 6.24 |
| BLOCK 70 (OSSHAD) | OFFICE | 3,9210 | 1 SPACE PER 500 NSF | 78.42 |
| BLOCK 70 (OSSHAD) | OFFICE | 21,630 | 1 SPACE PER 300 NSF | 72.10 |
| SUBTOTAL BY USE FOR SHARED PARKING CALCULATION: | | | | |
| | OFFICE | | | 355.53 |
| | COMMERCIAL/RETAIL | | | 20.93 |
| | RESIDENTIAL-TYPE INN | | | 12.00 |
| | RESTAURANT | | | 153.26 |
| | OUTDOOR DINING | | | 50.07 |
| TOTAL PARKING REQUIRED PER MATRIX 481 | | | | |
| TOTAL OFF STREET PROVIDED 490 | | | | |

| SHARED PARKING MATRIX LDR SECTION 4.6.9(C)(8)(a) | | | | | | | | | |
|---|--------------|-------|------------|---------|---------|---------|--------|-----|-------|
| USE | TOTAL BY USE | NIGHT | WEEKDAY | | WEEKEND | | TOTAL | | |
| | | | DAY | EVENING | DAY | EVENING | | | |
| OFFICE | 355.53 | 5% | 17.78 | 100% | 355.53 | 10% | 35.55 | 5% | 17.78 |
| COMMERCIAL/RETAIL | 20.93 | 5% | 1.05 | 70% | 14.65 | 90% | 18.84 | 70% | 14.65 |
| RESIDENTIAL-TYPE INN | 12.00 | 80% | 9.60 | 80% | 9.60 | 100% | 12.00 | 80% | 9.60 |
| RESTAURANT | 153.26 | 10% | 15.33 | 50% | 76.63 | 100% | 153.26 | 50% | 76.63 |
| OUTDOOR DINING | 50.07 | 10% | 5.01 | 50% | 25.04 | 100% | 50.07 | 50% | 25.04 |
| | 591.79 | | 49 | | 481 | | 270 | | 248 |
| TOTAL PARKING REQUIRED PER MATRIX | | | 481 | | | | | | |
| TOTAL OFF STREET PROVIDED | | | 490 | | | | | | |

| PROVIDED PARKING TABLE | | | | | |
|--|----------|-------------|----------|----------|------------|
| | BLOCK 61 | BLOCK 62 ** | BLOCK 69 | BLOCK 70 | TOTAL |
| STANDARD | 209 | 9 | 141 | 31 | 390 |
| COMPACT | 52 | 0 | 19 | 11 | 82 |
| ACCESSIBLE | 11 | 0 | 5 | 2 | 18 |
| MECH LIFT | 0 | 0 | 0 | 0 | - |
| SUBTOTAL | 272 | 9 | 165 | 44 | 490 |
| ON STREET (NEW) | 20 | 13 | 0 | 0 | 33 |
| TOTAL OFF STREET PARKING ON ALL FOUR PARCELS | | | | | 490 |
| TOTAL REQUIRED PER SHARED PARKING MATRIX | | | | | 481 |
| ** OFF STREET SPACES AS PER CERTIFIED PLAN, ON STREET SPACES ARE NEW | | | | | |

| COMPACT SPACE CALCULATION LDR SECTION 4.6.9(C)(1)(g) | |
|---|--|
| UP TO 30% OF THE REQUIRED PARKING FOR ANY USE MAY BE DESIGNATED FOR COMPACT CARS. | |
| | MAXIMUM NUMBER OF COMPACT CAR SPACES: 147 PROPOSED NUMBER OF COMPACT CAR SPACES: 82 PROPOSED PERCENTAGE OF COMPACT CAR SPACES: 17% |
| ALTERNATIVE FUEL PARKING SPACES LDR TABLE 4.4.13(L): | |
| | REQUIRED NUMBER OF ALTERNATIVE FUEL PARKING SPACES: 15 |
| | TOTAL EV PARKING SPACES PROVIDED: 28 BLOCK 61 GARAGE: 14 BLOCK 69 GARAGE: 8 BLOCK 70: 6 |

| OFF STREET LOADING CALCULATIONS LDR SECTION 4.6.10 | | |
|---|------------------|-------------------------|
| USE | GROSS FLOOR AREA | LOADING SPACES REQUIRED |
| OFFICE BUILDINGS, APARTMENTS, RESIDENTIAL-TYPE INN, MOTEL, HOSPITAL, NURSING, OR CONVALESCENT FACILITY | 199,232 | THREE BERTHS |
| RETAIL STORES (INCLUDING DEPARTMENT STORES, RESTAURANTS, CONSUMER SERVICES), WHOLESALE AND JOBBING ESTABLISHMENTS | 35,127 | FOUR BERTHS * |
| * FIVE BERTHS PROVIDED: (3) ON BLOCK 61 AND (2) ON BLOCK 70 | | |

| SITE REQUIREMENTS OLD SCHOOL HISTORIC ARTS DISTRICT | | SITE REQUIREMENTS CENTRAL BUSINESS DISTRICT | |
|--|---|--|---|
| ZONE: | O.S.S.H.A.D. | ZONE: | C.B.D. |
| MAX BUILDING HEIGHT: | 35' FROM AVG CROWN OF ROAD TO TOP OF FLAT ROOF OR MEAN HEIGHT OF HIP ROOF | MAX BUILDING HEIGHT: | 54' FROM AVG CROWN OF ROAD TO TOP OF FLAT ROOF OR MEAN HEIGHT OF HIP ROOF |
| SETBACKS | | SETBACKS | |
| FRONT: | 25'-0" | FRONT: | 10'-0" |
| SIDES: | 7'-6" | SIDES: | 10'-0" |
| REAR: | 30'-0" | REAR: | 10'-0" |
| | | 4TH FLOOR: | 22'-0" |
| | | ALLOWABLE ENCROACHMENTS | |
| | | PORCHES: | 8'-0" MIN, 12'-0" MAX |

| FUTURE LAND USE | HISTORIC MIXED USE (HMU) |
|--|--------------------------|
| MAXIMUM F.A.R. | 1:1 |
| TOTAL PROJECT LAND AREA | 300,631 SQ. FT. |
| TOTAL PROJECT BUILT SQUARE FOOTAGE | 277,426 SQ. FT. |
| PROPOSED F.A.R. | 0.923 ** |
| MAX. RESIDENTIAL DENSITY @ 10 UNITS / ACRE | 69 UNITS |
| PROPOSED RESIDENTIAL-TYPE INN UNITS | 1 UNITS |
| EXISTING RESIDENTIAL-TYPE INN UNITS | 11 UNITS |
| EXISTING AND PROPOSED RESIDENTIAL-TYPE INN UNITS | 12 *** |

NOTES:
* TOTAL LAND AREA OF ALL PARCELS IS 6.902 ACRES OR 300,631 SQUARE FEET. THIS INCLUDES ALL DEDICATIONS AND CORNER CLIPS.

** INCLUDES ALL DEVELOPMENT PROPOSED FOR PROJECT AREA, INCLUDING RELOCATED STRUCTURES, EXISTING STRUCTURES ON THE SUNDY HOUSE PROPERTY, RESIDENTIAL AND NON-RESIDENTIAL, RETAIL AND RESTAURANT SPACE, OFFICE AND RESIDENTIAL-TYPE INN SQUARE FOOTAGE.

*** WITH THE ADDITIONAL SINGLE RESIDENTIAL-TYPE INN UNIT ON THE SUNDY HOUSE PROPERTY, THE TOTAL ON THE PROPERTY WILL BE 12.

| BUILDING AREA DATA | | | | | | | |
|---|---------------|---------------|---------------|--------------|---------------|---------------|----------------|
| | OFFICE (NET) | COMMON | RESTAURANT | RETAIL | RESI-TYPE INN | COMM PARKING | TOTAL (GROSS) |
| BLOCK 61 | | | | | | | |
| BLDG 1 | 27,686 | 15,406 | 4,184 | 7,948 | | | 55,224 |
| BLDG 2 | 7,398 | 1,488 | 3,831 | | | | 12,717 |
| BLDG 3 | 5,444 | 2,147 | 4,729 | | | | 12,320 |
| BLDG 8N | 4,317 | 1,848 | | | | | 6,165 |
| BLDG 8S | 4,317 | 1,848 | | | | | 6,165 |
| BLDG 8W | 4,317 | 1,848 | | | | | 6,165 |
| BLDG 9N | 9,819 | 3,082 | | | | | 12,901 |
| BLDG 9S | 9,819 | 3,082 | | | | | 12,901 |
| BLDG A | | | 1,909 | | | | 1,909 |
| BLDG B | | | 556 | | | | 556 |
| BLDG C | | | 1,334 | | | | 1,334 |
| BLDG E | | | 1,143 | | | | 1,143 |
| BLDG F | | | 1,212 | | | | 1,212 |
| BLDG G | | | 1,039 | | | | 1,039 |
| MECH YARD | | | 2,272 | | | | 2,272 |
| SITE ELEVATORS | | | 368 | | | | 368 |
| SUBTOTAL | 73,117 | 33,389 | 19,937 | 7,948 | 0 | 0 | 134,391 |
| BLOCK 61 BUILDING AREA (GSF) 134,391 | | | | | | | |
| BLOCK 62 | | | | | | | |
| BLDG H | | | | 1,511 | | | 1,511 |
| SUNDY HOUSE | 548 | 137 | 5,606 | | | | 6,291 |
| BLDG D | | | | | 1,374 | | 1,374 |
| EXIST 4-UNIT | | | | | 5,108 | | 5,108 |
| EXIST 6-UNIT | | | | | 2,730 | | 2,730 |
| EXIST COTTAGE | | | | | 1,154 | | 1,154 |
| SUBTOTAL | 548 | 137 | 5,606 | 1,511 | 10,366 | 0 | 18,168 |
| BLOCK 62 BUILDING AREA (GSF) 18,168 | | | | | | | |
| BLOCK 69 | | | | | | | |
| PARKING | | | | | | 42,717 | 42,717 |
| OFFICE | 3,120 | 317 | | | | | 3,437 |
| SUBTOTAL | 3,120 | 317 | 0 | 0 | 0 | 42,717 | 46,154 |
| BLOCK 69 BUILDING AREA (GSF) 46,154 | | | | | | | |
| BLOCK 70 | | | | | | | |
| BLDG 70 | 60,840 | 17,398 | | | | | 78,238 |
| SUBTOTAL | 60,840 | 17,398 | 0 | 0 | 0 | 0 | 78,238 |
| BLOCK 70 BUILDING AREA (GSF) 78,238 | | | | | | | |
| TOTAL BUILT AREA (GSF) 276,951 | | | | | | | |

| WAIVER RELIEF SUMMARY | | | | | |
|-----------------------|------------------|-------------------------------------|--|-----------------------|------------------------------------|
| LOCATION | TYPE | SUMMARY | REQUEST | CODE SECTION | DRAWING REF |
| BLOCK 61 | WAIVER | REQUIRED RETAIL FRONTAGE | PORCH FRONTAGE | 4.4.13(C)(3)(a)(2)(a) | N/A |
| BLOCK 61 | VARIANCE | 25 FT FRONT SETBACK | 20 FT SETBACK FOR BLDG C AND BLDG F | 4.3.4(K) | A1.10, A2.13, A2.14; NOTED ON PLAN |
| BLOCK 69 | WAIVER | SETBACK OF BUILDING ABOVE ARCADE | CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS | N/A | A1.14, A1.15; SHEET NOTE 8 |
| BLOCK 69 | WAIVER | SETBACK FROM PROPERTY LINE ON ALLEY | REQUEST 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY | N/A | A1.11; SHEET NOTE 9 |
| BLOCK 70 | SETBACK VARIANCE | ARCADE FRONT SETBACK | PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN OSSHAD ZONING DISTRICT | SECTION 4.3.4(K) | A1.10; SHEET NOTE 17 |

SHEET NOTES

GENERAL NOTES

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genzler

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LIGHTING/PHOTOMETRICS: ILLUMINOSITY ARCHITECTURAL LIGHTING & DESIGN, 5798 SW 8TH ST., MIAMI, FL 33144, Tel: 305.269.4858
LANDSCAPE: DESIGN STUDIO BOCA, 2300 CORPORATE BLVD. NW, SUITE 214, BOCA RATON, FL 33431, Tel: 561.955.8623, Fax: 561.362.4749

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

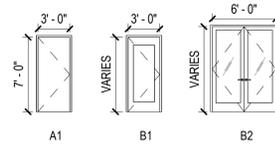
Project Number
06.3292.200

Description
PROJECT DATA AND NOTES

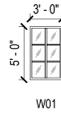
Scale
12" = 1'-0"

A0.40

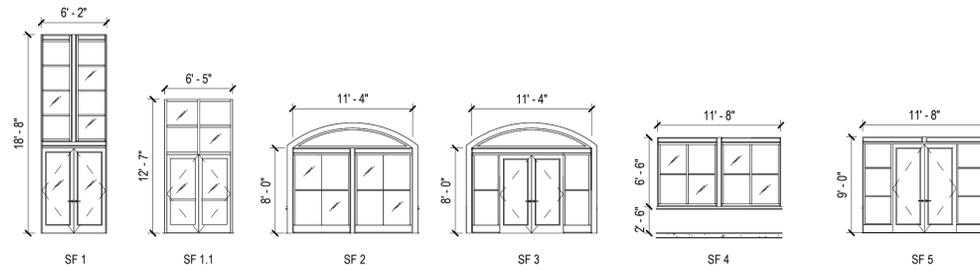
| DOOR SCHEDULE | | | | | | | |
|---------------|-----------|-------|-----------|------------|----------------|--------------------------|-----------------|
| TAG | DOOR TYPE | WIDTH | HEIGHT | GLASS TYPE | FRAME MATERIAL | FRAME COLOR | NOA NUMBER |
| 1A1 | B2 | 6'-0" | 8'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA:20-1118.07 |
| 1A2 | B2 | 6'-0" | 7'-4" | | ALUMINUM | | NOA:20-1118.07 |
| 1B1 | B2 | 6'-0" | 8'-4" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 20-1118.07 |
| 1C1 | A1 | 3'-0" | 6'-8" | N/A | HOLLOW METAL | SW7102 - WHITE FLOUR | NOA:20-1118.07 |
| 1C3 | B1 | 3'-0" | 6'-8" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA:20-1118.07 |
| 3A1 | B2 | 6'-0" | 8'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA:20-1118.07 |
| 4A1 | B2 | 6'-0" | 8'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA:20-1118.07 |
| 4A2 | B2 | 6'-0" | 7'-4 3/4" | | ALUMINUM | | |
| 4C1 | A1 | 3'-0" | 6'-8" | N/A | HOLLOW METAL | SW7102 - WHITE FLOUR | NOA:20-1118.07 |



| WINDOW SCHEDULE | | | | | | | |
|-----------------|-------------|-------|--------|------------|----------------|--------------------------|-----------------|
| TAG | WINDOW TYPE | WIDTH | HEIGHT | GLASS TYPE | FRAME MATERIAL | FRAME COLOR | NOA NUMBER |
| W01 | FIXED | 3'-0" | 5'-0" | GL02 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 21-0708.03 |



| STOREFRONT SCHEDULE | | | | | | | |
|---------------------|-------------|--------|--------|------------|----------------|--------------------------|----------------|
| TAG | WINDOW TYPE | WIDTH | HEIGHT | GLASS TYPE | FRAME MATERIAL | FRAME COLOR | NOA NUMBER |
| SF1 | FIXED | 6'-2" | 18'-8" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |
| SF1.1 | FIXED | 6'-5" | 12'-7" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |
| SF2 | FIXED | 11'-4" | 8'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |
| SF3 | FIXED | 11'-4" | 8'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |
| SF4 | FIXED | 11'-8" | 6'-6" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |
| SF5 | FIXED | 11'-8" | 9'-0" | GL01 | ALUMINUM | SW7055 - ENDURING BRONZE | NOA: 17-114.02 |



- NOTES:**
- ALL FIRST FLOOR GLAZING TO BE TYPE GL-01: CLEAR LAMINATED GLASS, 88% VISIBLE LIGHT TRANSMITTANCE, SHGC 0.76
 - SAFETY GLAZING TO BE PROVIDED AT ALL GROUND FLOOR WINDOWS AND DOORS, AND ANY WINDOWS WHERE THE BOTTOM EDGE IS LESS THAN 18 IN. AFF. AND THE TOP EDGE IS GREATER THAN 36 IN. AFF. ALL DOOR GLAZING TO BE SAFETY GLAZING. GLAZING SHALL COMPLY WITH THE TEST CRITERIA FOR CATEGORY II, UNLESS OTHERWISE INDICATED.
 - ALL SECOND FLOOR AND ABOVE GLAZING TO BE TYPE GL-02: CLEAR LAMINATED GLASS WITH LOW-E COATING. GLASS COATING TO BE CLEAR, COLOR-NEUTRAL WITH LOW REFLECTIVITY, 75% VISIBLE LIGHT TRANSMITTANCE AND SHGC 0.45
 - ALL MUNTINS TO HAVE A 3 DIMENSIONAL PROFILE

SHEET NOTES

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
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Tel 305.269.4858
LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|------|-------------|
|------|-------------|

- 11/11/2022 SITE MODIFICATION
- 05/17/2023 SITE MODIFICATION RESUBMISSION
- 09/15/2023 SITE MODIFICATION RESUBMISSION

GENERAL NOTES

Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

OVERALL DOORS AND WINDOW SCHEDULES

Scale

As indicated

A0.41

KEY PLAN



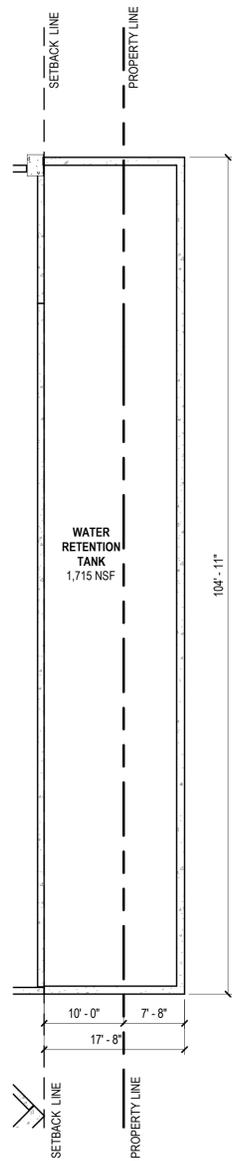
BLOCK 69 - DOOR & WINDOW TYPES

SCALE: 1/8" = 1'-0"

9/15/2023 4:28:21 PM BIM 360://006.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 69 - PARKING.rvt

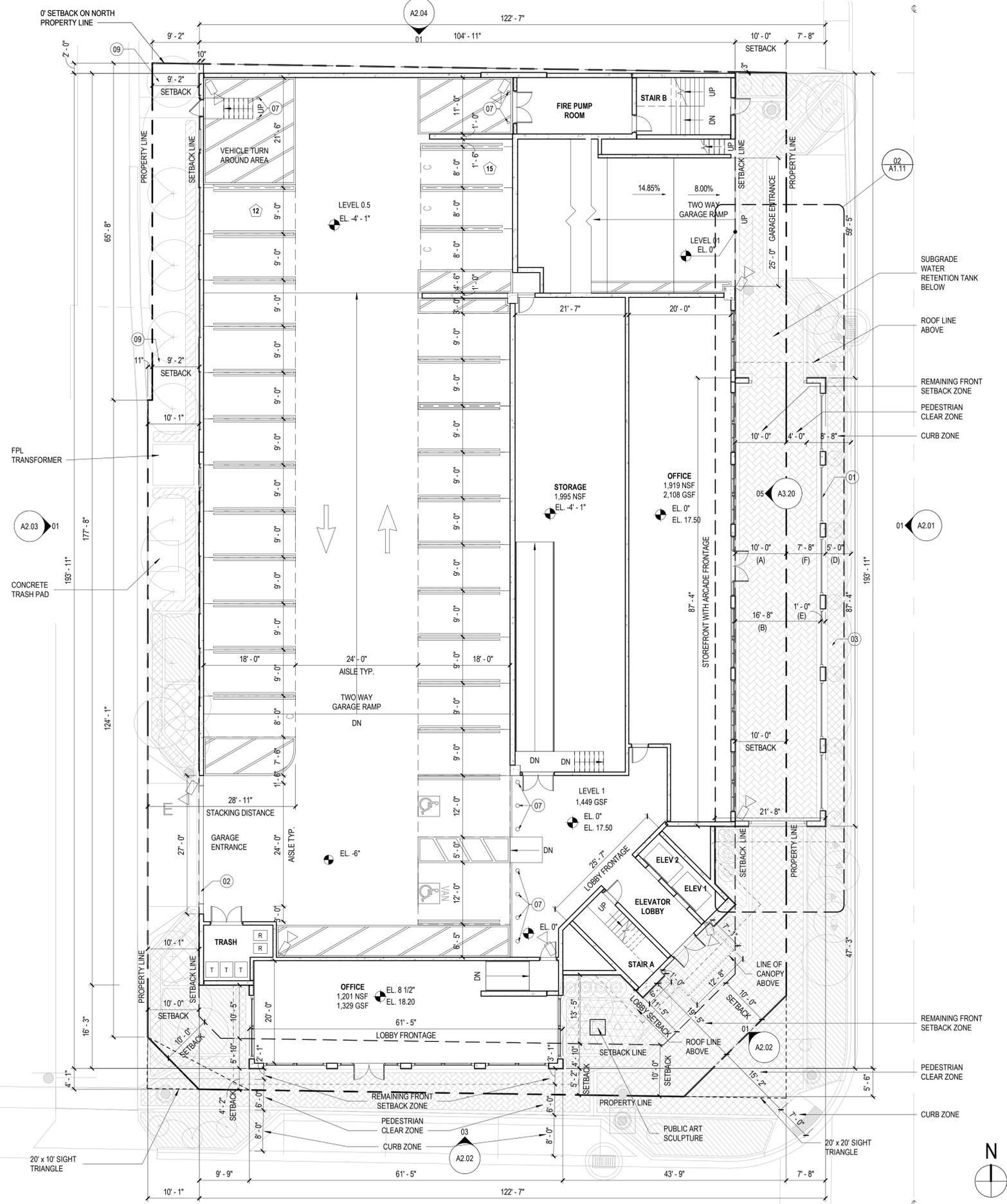
02 SUBGRADE WATER RETENTION TANK

SCALE: 3/32" = 1'-0"



01 BLOCK 69 - FIRST FLOOR/ SUBGRADE FLOOR PLAN

SCALE: 3/32" = 1'-0"



SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

PARKING SCHEDULE

| FLOOR | ACCESSIBLE | COMPACT | STANDARD | TOTAL |
|---------------|------------|-----------|------------|------------|
| 1F/SUB | 2 | 4 | 21 | 27 |
| 2F | 1 | 4 | 27 | 32 |
| 3F | 1 | 4 | 41 | 46 |
| 4F | 1 | 7 | 38 | 46 |
| ROOF | 0 | 0 | 14 | 14 |
| TOTAL: | 5 | 19 | 141 | 165 |

GENERAL NOTES

- 1. ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.40
- 2. AREA DRAIN AND EXTERIOR HOSE BIB WILL BE PROVIDED FOR CLEANING AND MAINTENANCE OF SIDEWALK
- 3. REFER TO AUTOTURN ANALYSIS IN CIVIL SET FOR REVIEW OF VEHICLE CIRCULATION IN GARAGE AND ON SITE
- 4. SEE ELEVATIONS AND STREETScape SECTIONS FOR REQUIRED CURB, PEDESTRIAN ZONES AND ARCADE DIMENSIONS
- 5. SEE SHEET A3.20 FOR ARCADE FRONTAGE REQUIREMENTS AND KEY PLAN FOR DIMENSIONS
- 6. DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01
- 7. ADJACENT PARKING GARAGE SOUTH ELEVATION HAS NO WINDOWS, 0' SETBACK IN THIS LOCATION.

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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Fax 561.659.5760

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

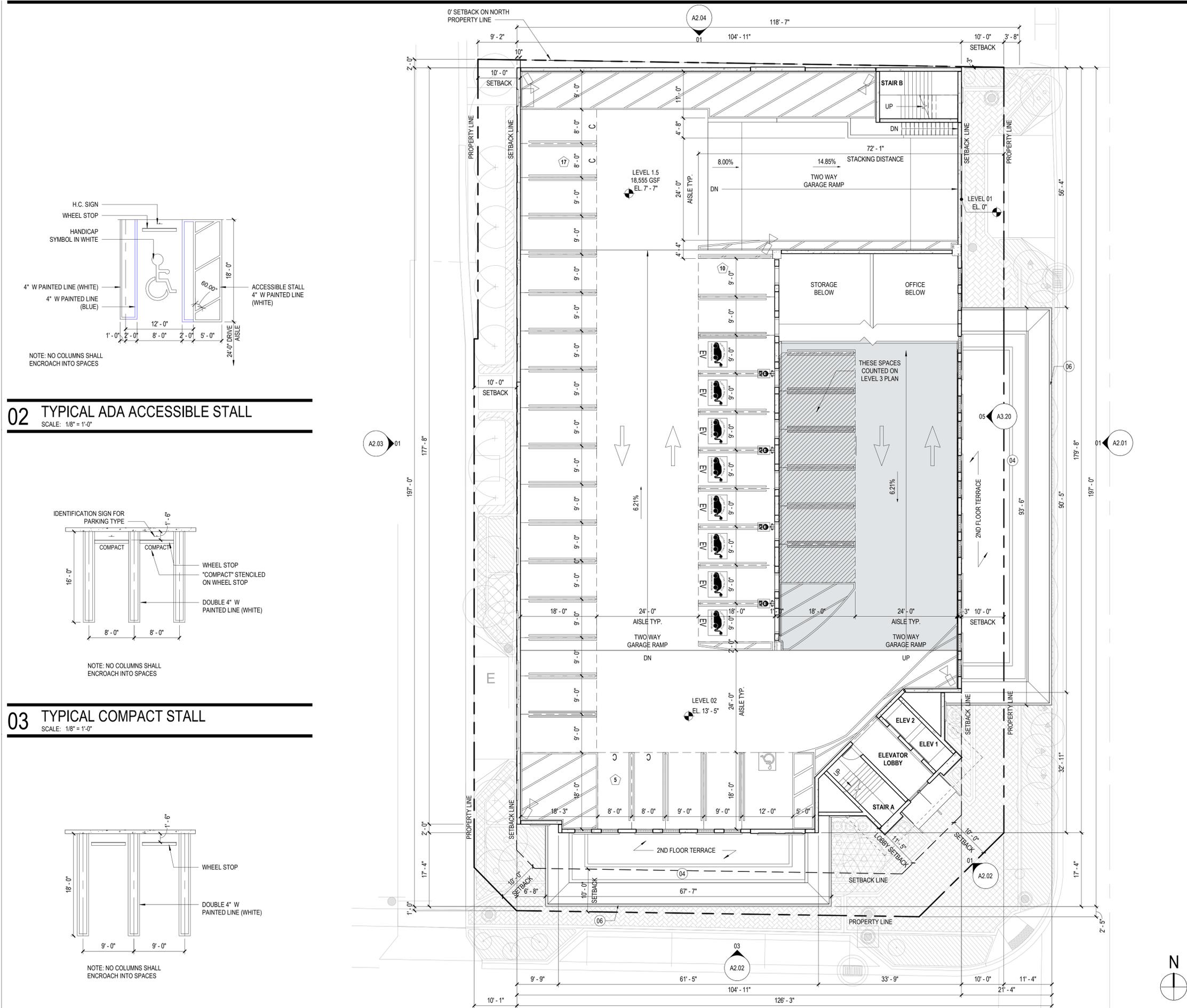
Project Number
06.3292.200

Description
BLOCK 69 - FIRST FLOOR/SUBGRADE FLOOR PLAN

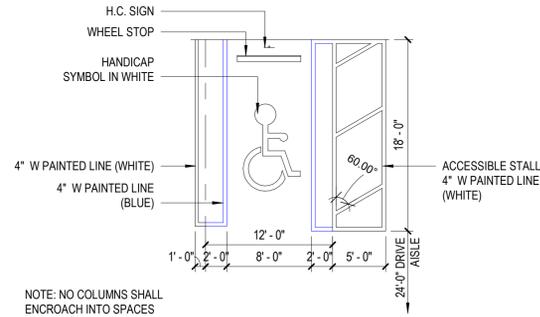
Scale
As indicated

A1.11

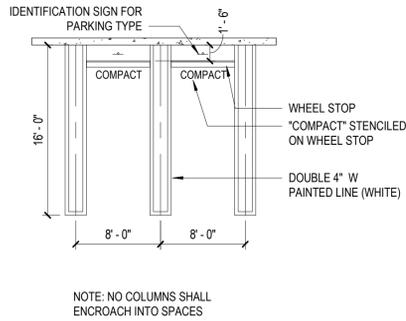
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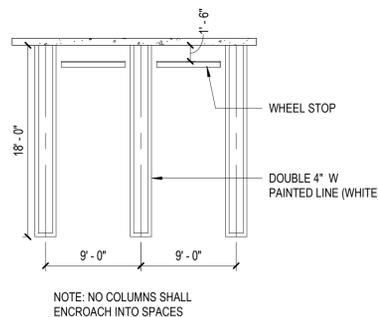
02 TYPICAL ADA ACCESSIBLE STALL
SCALE: 1/8" = 1'-0"



03 TYPICAL COMPACT STALL
SCALE: 1/8" = 1'-0"



04 TYPICAL STANDARD PARKING STALL
SCALE: 1/8" = 1'-0"



01 BLOCK 69 - SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

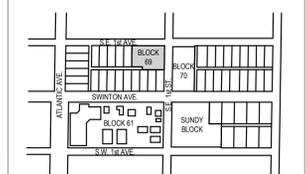
PARKING SCHEDULE

| FLOOR | ACCESSIBLE | COMPACT | STANDARD | TOTAL |
|---------------|------------|-----------|------------|------------|
| 1F/SUB | 2 | 4 | 21 | 27 |
| 2F | 1 | 4 | 27 | 32 |
| 3F | 1 | 4 | 41 | 46 |
| 4F | 1 | 7 | 38 | 46 |
| ROOF | 0 | 0 | 14 | 14 |
| TOTAL: | 5 | 19 | 141 | 165 |

GENERAL NOTES

- 1. ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.40
- 2. AREA DRAIN AND EXTERIOR HOSE BIB WILL BE PROVIDED FOR CLEANING AND MAINTENANCE OF SIDEWALK
- 3. REFER TO AUTOTURN ANALYSIS IN CIVIL SET FOR REVIEW OF VEHICLE CIRCULATION IN GARAGE AND ON SITE
- 4. SEE ELEVATIONS AND STREETScape SECTIONS FOR REQUIRED CURB, PEDESTRIAN ZONES AND ARCADE DIMENSIONS
- 5. SEE SHEET A3.20 FOR ARCADE FRONTAGE REQUIREMENTS AND KEY PLAN FOR DIMENSIONS
- 6. DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01

KEY PLAN



SUNDY VILLAGE WEST, LLC
48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genzler
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Tel: 561.910.0330, Fax: 561.659.5760
LANDSCAPE: DESIGN STUDIO BOCA, 2300 CORPORATE BLVD. NW, SUITE 214, BOCA RATON, FL 33431
Tel: 561.955.8623, Fax: 561.362.4749

△ Date Description

- 1 11/11/2022 SITE MODIFICATION
- 2 05/17/2023 SITE MODIFICATION RESUBMISSION
- 3 09/15/2023 SITE MODIFICATION RESUBMISSION

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

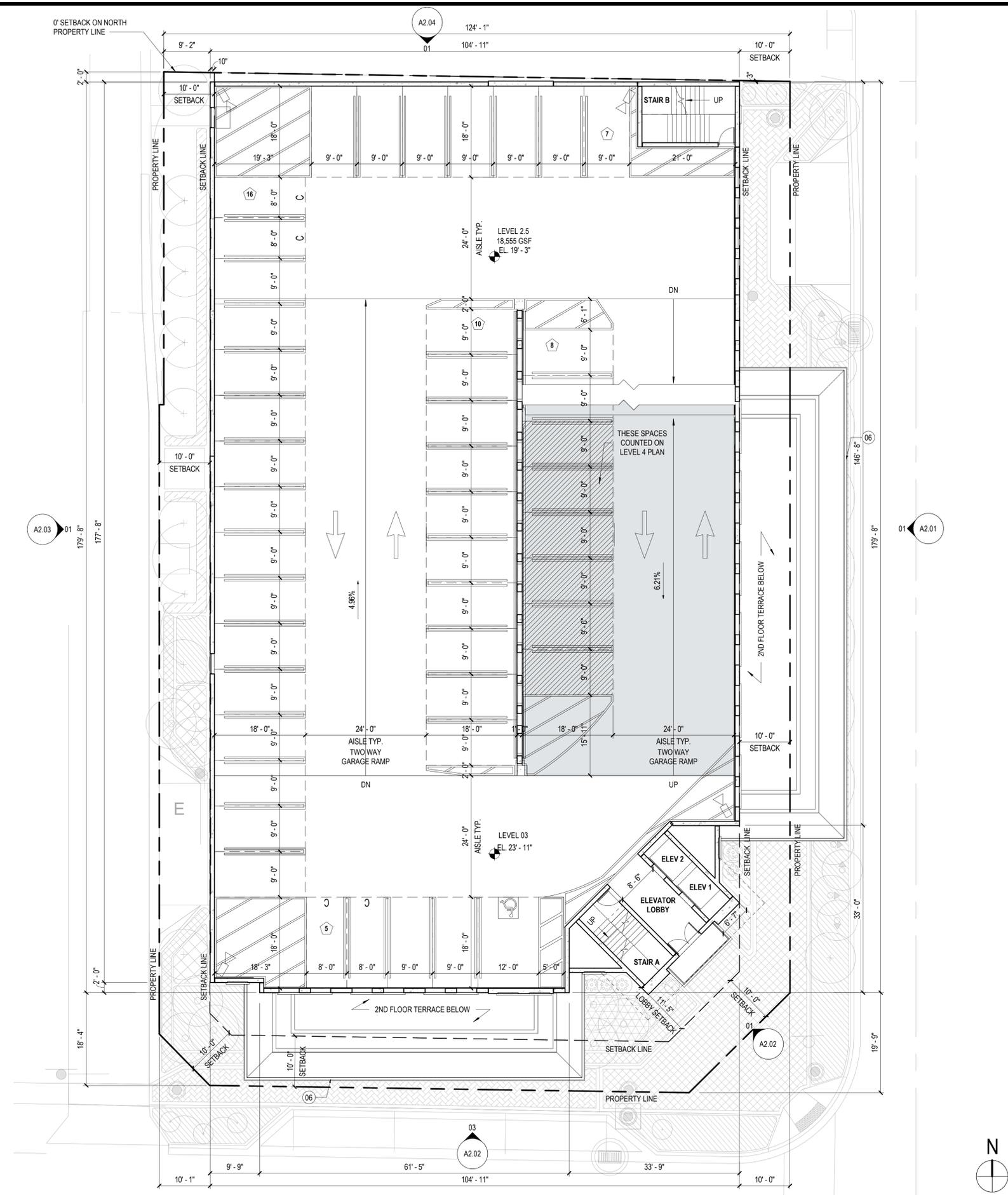
Project Number
06.3292.200

Description
BLOCK 69 - SECOND FLOOR PLAN

Scale
As indicated

A1.12

9/15/2023 4:28:28 PM BIM 360://006.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 69 - PARKING.rvt



01 BLOCK 69 - THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL.
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

PARKING SCHEDULE

| FLOOR | ACCESSIBLE | COMPACT | STANDARD | TOTAL |
|---------------|------------|-----------|------------|------------|
| 1F/SUB | 2 | 4 | 21 | 27 |
| 2F | 1 | 4 | 27 | 32 |
| 3F | 1 | 4 | 41 | 46 |
| 4F | 1 | 7 | 38 | 46 |
| ROOF | 0 | 0 | 14 | 14 |
| TOTAL: | 5 | 19 | 141 | 165 |

GENERAL NOTES

- 1. ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.40
- 2. AREA DRAIN AND EXTERIOR HOSE BIB WILL BE PROVIDED FOR CLEANING AND MAINTENANCE OF SIDEWALK
- 3. REFER TO AUTOTURN ANALYSIS IN CIVIL SET FOR REVIEW OF VEHICLE CIRCULATION IN GARAGE AND ON SITE
- 4. SEE ELEVATIONS AND STREETScape SECTIONS FOR REQUIRED CURB, PEDESTRIAN ZONES AND ARCADE DIMENSIONS
- 5. SEE SHEET A3.20 FOR ARCADE FRONTAGE REQUIREMENTS AND KEY PLAN FOR DIMENSIONS
- 6. DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01

KEY PLAN



SUNDY VILLAGE WEST, LLC
48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

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Fax 561.659.5760

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|--------------|--------------------------------|
| 1 11/11/2022 | SITE MODIFICATION |
| 2 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 3 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

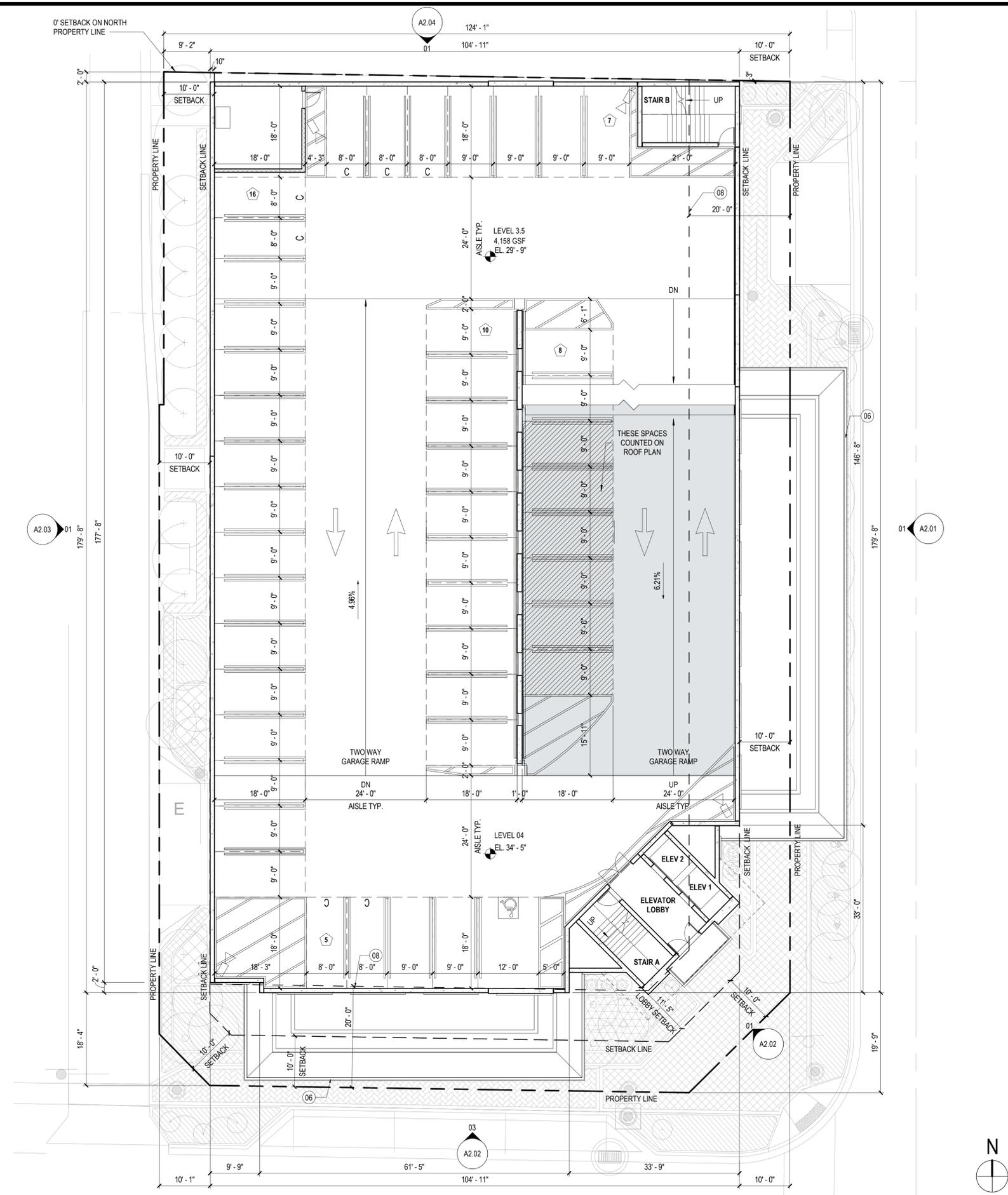
Project Number
06.3292.200

Description
BLOCK 69 - THIRD FLOOR PLAN

Scale
As indicated

A1.13

9/15/2023 4:29:29 PM BIM 360/106.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 69 - PARKING.rvt



01 BLOCK 69 - FOURTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL.
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

PARKING SCHEDULE

| FLOOR | ACCESSIBLE | COMPACT | STANDARD | TOTAL |
|---------------|------------|-----------|------------|------------|
| 1F/SUB | 2 | 4 | 21 | 27 |
| 2F | 1 | 4 | 27 | 32 |
| 3F | 1 | 4 | 41 | 46 |
| 4F | 1 | 7 | 38 | 46 |
| ROOF | 0 | 0 | 14 | 14 |
| TOTAL: | 5 | 19 | 141 | 165 |

GENERAL NOTES

- 1. ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.40
- 2. AREA DRAIN AND EXTERIOR HOSE BIB WILL BE PROVIDED FOR CLEANING AND MAINTENANCE OF SIDEWALK
- 3. REFER TO AUTOTURN ANALYSIS IN CIVIL SET FOR REVIEW OF VEHICLE CIRCULATION IN GARAGE AND ON SITE
- 4. SEE ELEVATIONS AND STREETSCAPE SECTIONS FOR REQUIRED CURB, PEDESTRIAN ZONES AND ARCADE DIMENSIONS
- 5. SEE SHEET A3.20 FOR ARCADE FRONTAGE REQUIREMENTS AND KEY PLAN FOR DIMENSIONS
- 6. DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01

KEY PLAN



SUNDY VILLAGE WEST, LLC
48 SE 1st AVENUE
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Gensler

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CIVIL INFRASTRUCTURE:
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Fax 561.659.5760

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

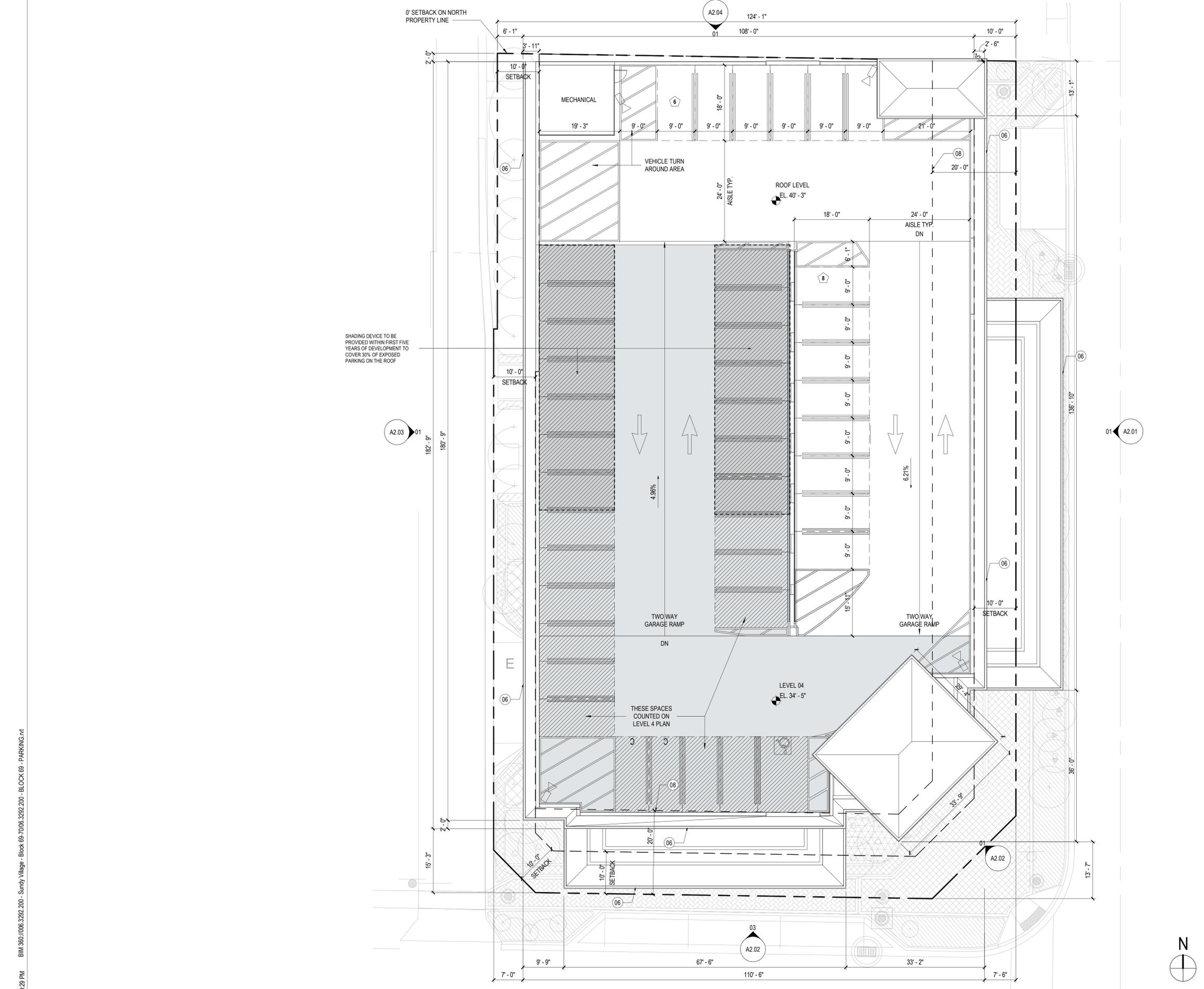
Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - FOURTH FLOOR PLAN

Scale
As indicated

A1.14



SHEET NOTES

SUNDY VILLAGE WEST, LLC
 48 SE 1st AVENUE
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 Tel: 561.910.0330, Fax: 561.659.5760

LIGHTING/PHOTOMETRICS: ILLUMINOSITY ARCHITECTURAL LIGHTING & DESIGN, 5798 SW 8TH ST., MIAMI, FL 33144
 Tel: 305.269.4858

LANDSCAPE: DESIGN STUDIO BOCA, 2300 CORPORATE BLVD. NW, SUITE 214, BOCA RATON, FL 33431
 Tel: 561.955.8623, Fax: 561.362.4749

PARKING SCHEDULE

| FLOOR | ACCESSIBLE | COMPACT | STANDARD | TOTAL |
|---------------|------------|-----------|------------|------------|
| 1F/SUB | 2 | 4 | 21 | 27 |
| 2F | 1 | 4 | 27 | 32 |
| 3F | 1 | 4 | 41 | 46 |
| 4F | 1 | 7 | 38 | 46 |
| ROOF | 0 | 0 | 14 | 14 |
| TOTAL: | 5 | 19 | 141 | 165 |

GENERAL NOTES

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

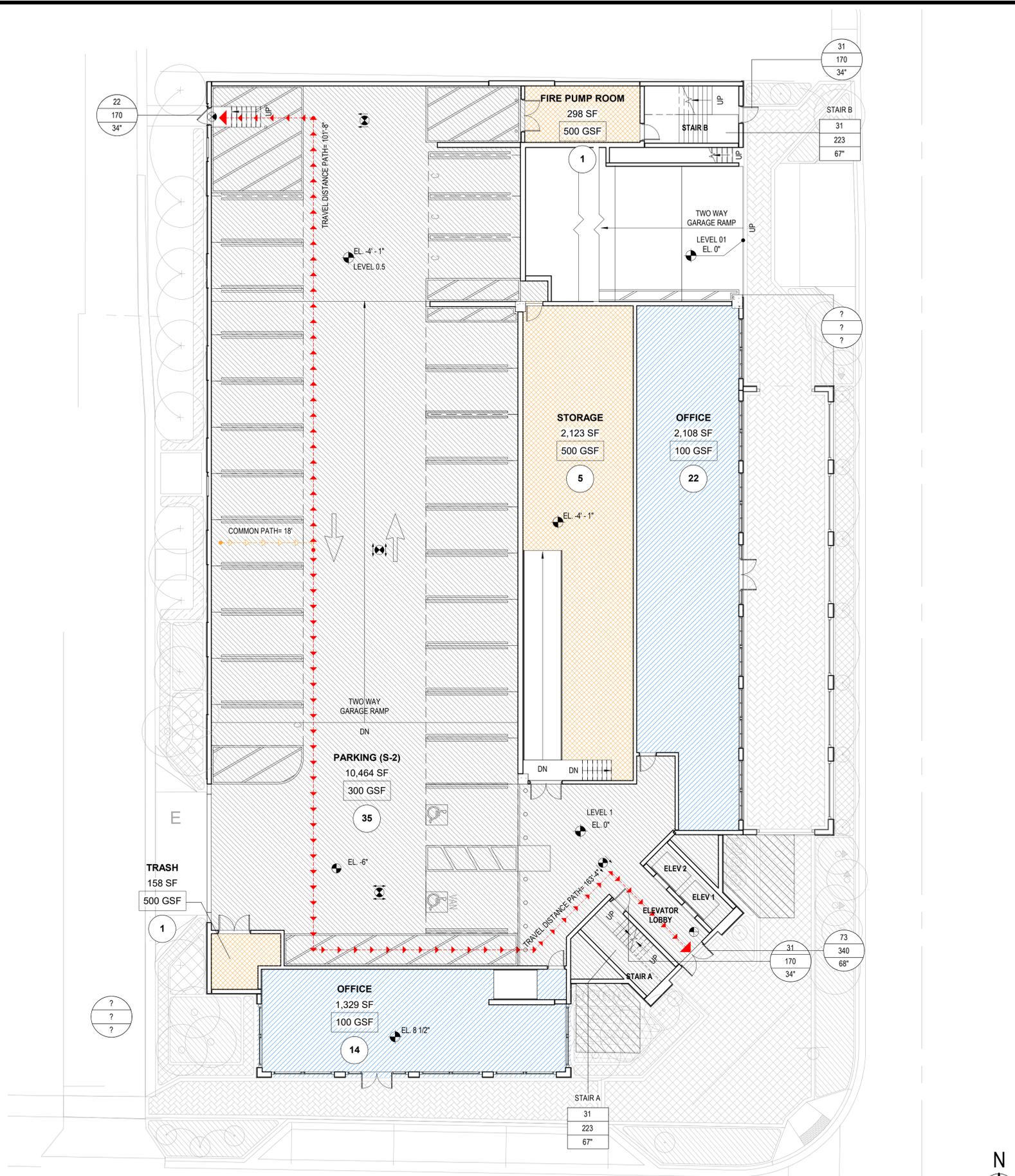
Project Number
06.3292.200

Description
BLOCK 69 - ROOF PLAN

Scale
 As indicated

KEY PLAN

A1.15



GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
- THE FIRE PROTECTION SYSTEM SHALL COMPLY WITH THE 2020 STATE OF FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, NFPA 13 AND NFPA 20. ALL LIGHT HAZARD OCCUPANCY AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING OF 225 SQ. FT. PER SPRINKLER AND 0.10 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. OF APPLICATION WITH 100 GPM OF HOSE ALLOWANCE. ALL ORDINARY HAZARD GROUP 1 AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING 130 SQ. FT. PER SPRINKLER AND 0.15 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. WITH 250 GPM OF HOSE ALLOWANCE.

LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

- FIRE-RESISTANCE-RATING (HOURS)
- 0.5 = 1/2 HOUR
 - 1 = 1 HOUR
 - 2 = 2 HOUR
 - 3 = 3 HOUR
 - 4 = 4 HOUR
- OPTIONAL HORIZONTAL EXIT DESIGNATION
- 1FSB"X" TYPE OF WALL ASSEMBLY
- 1FSB = FIRE & SMOKE BARRIER
 - 1FB = FIRE BARRIER
 - 05FB = FIRE PARTITION
 - 2FW = FIRE WALL
 - SP = SMOKE PARTITION
 - 1 HR. RATED PARTITION
 - 2 HR. RATED PARTITION
 - 3 HR. RATED PARTITION
 - 4 HR. RATED PARTITION
 - SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name → USE GROUP OF SPACE
- 000 SF → AREA OF SPACE
- 300 GSF → SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FEC = FIRE EXTINGUISHER CABINET

EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
- FFPC (2' MULTIPLIER)
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN)
- CALCULATED OCCUPANT CAPACITY
- FFPC (3' MULTIPLIER)
- STAIR #1
- STAIR NAME OR DESCRIPTION
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN)

ASSEMBLY OCCUPANCY SYMBOLS

- 0 → OCCUPANT LOAD OF SPACE
- * → REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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CIVIL INFRASTRUCTURE: CIVIL DESIGN, INC., 1400 CENTERPARK BLVD., SUITE 905, WEST PALM BEACH, FL 33401
Tel: 561.910.0330, Fax: 561.659.5760

LIGHTING/PHOTOMETRICS: ILLUMINOSITY ARCHITECTURAL LIGHTING & DESIGN, 5798 SW 8TH ST., MIAMI, FL 33144
Tel: 305.269.4858

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

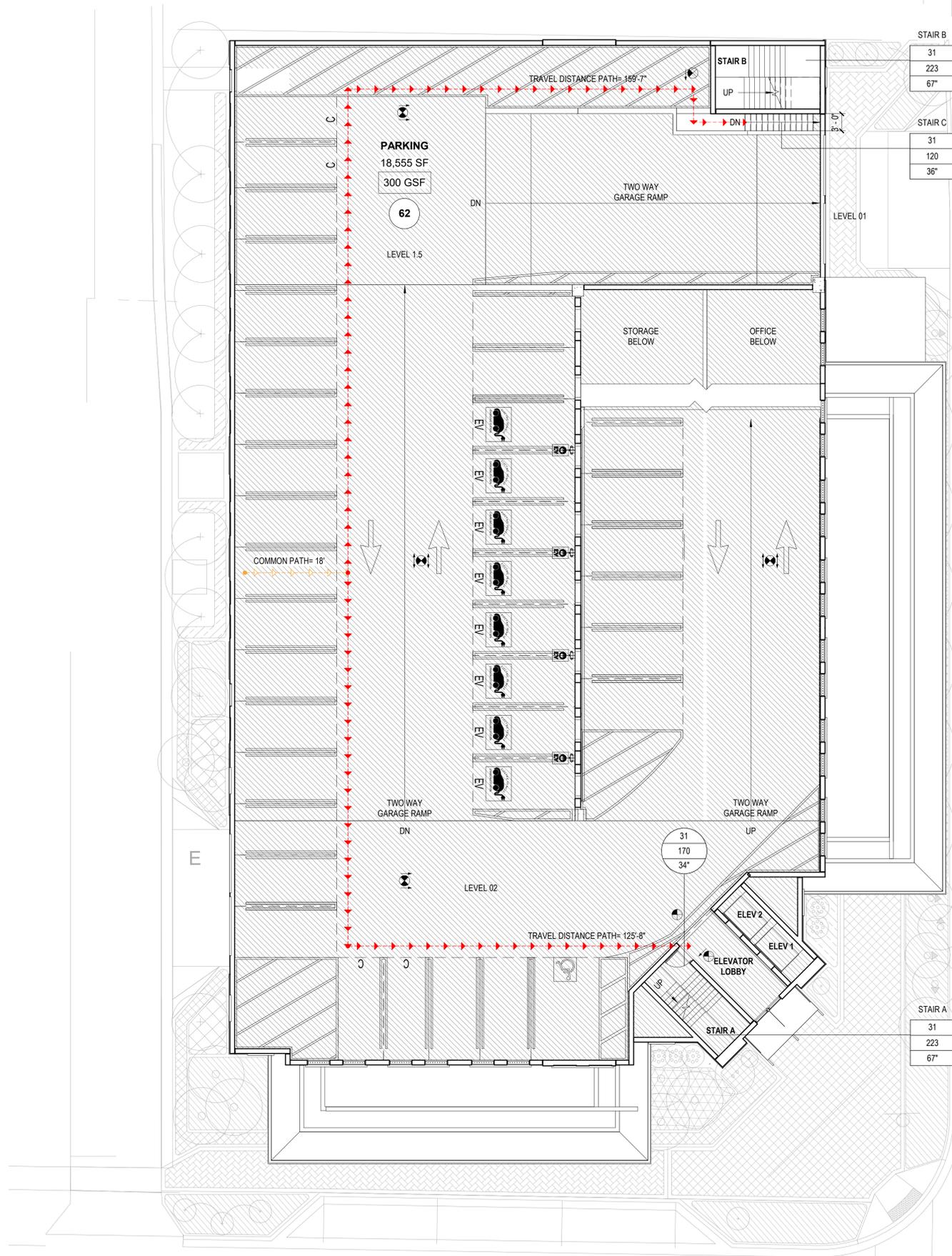
Description

BLOCK 69 - FIRST FLOOR/SUBGRADE FLOOR LIFE SAFETY PLAN

Scale

As indicated

A1.51



GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
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LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

- FIRE-RESISTANCE-RATING (HOURS)
- 0.5 = 1/2 HOUR
 - 1 = 1 HOUR
 - 2 = 2 HOUR
 - 3 = 3 HOUR
 - 4 = 4 HOUR
- OPTIONAL HORIZONTAL EXIT DESIGNATION
- 1FSB"X"** TYPE OF WALL ASSEMBLY
- 1FSB = FIRE & SMOKE BARRIER
 - 1FB = FIRE BARRIER
 - 05FB = FIRE PARTITION
 - 2FW = FIRE WALL
 - SP = SMOKE PARTITION
 - 1HR. RATED PARTITION
 - 2HR. RATED PARTITION
 - 3HR. RATED PARTITION
 - 4HR. RATED PARTITION
 - SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name** → USE GROUP OF SPACE
- 000 SF → AREA OF SPACE
- 300 GSF → SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FEC = FIRE EXTINGUISHER CABINET

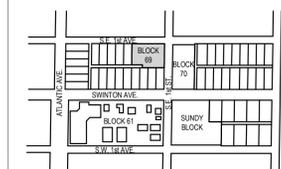
EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
- FFPC (2' MULTIPLIER)
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN.)
- CALCULATED OCCUPANT CAPACITY
- FFPC (3' MULTIPLIER)
- STAIR #1
- STAIR NAME OR DESCRIPTION
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN.)

ASSEMBLY OCCUPANCY SYMBOLS

- OCCUPANT LOAD OF SPACE
- REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

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Tel: 561.910.0330, Fax: 561.659.5760

LIGHTING/PHOTOMETRICS: ILLUMINOSITY ARCHITECTURAL LIGHTING & DESIGN, 5798 SW 8TH ST., MIAMI, FL 33144
Tel: 305.269.4858

LANDSCAPE: DESIGN STUDIO BOCA, 2300 CORPORATE BLVD. NW, SUITE 214, BOCA RATON, FL 33431
Tel: 561.955.8623, Fax: 561.362.4749

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

BLOCK 69 - SECOND FLOOR LIFE SAFETY PLAN

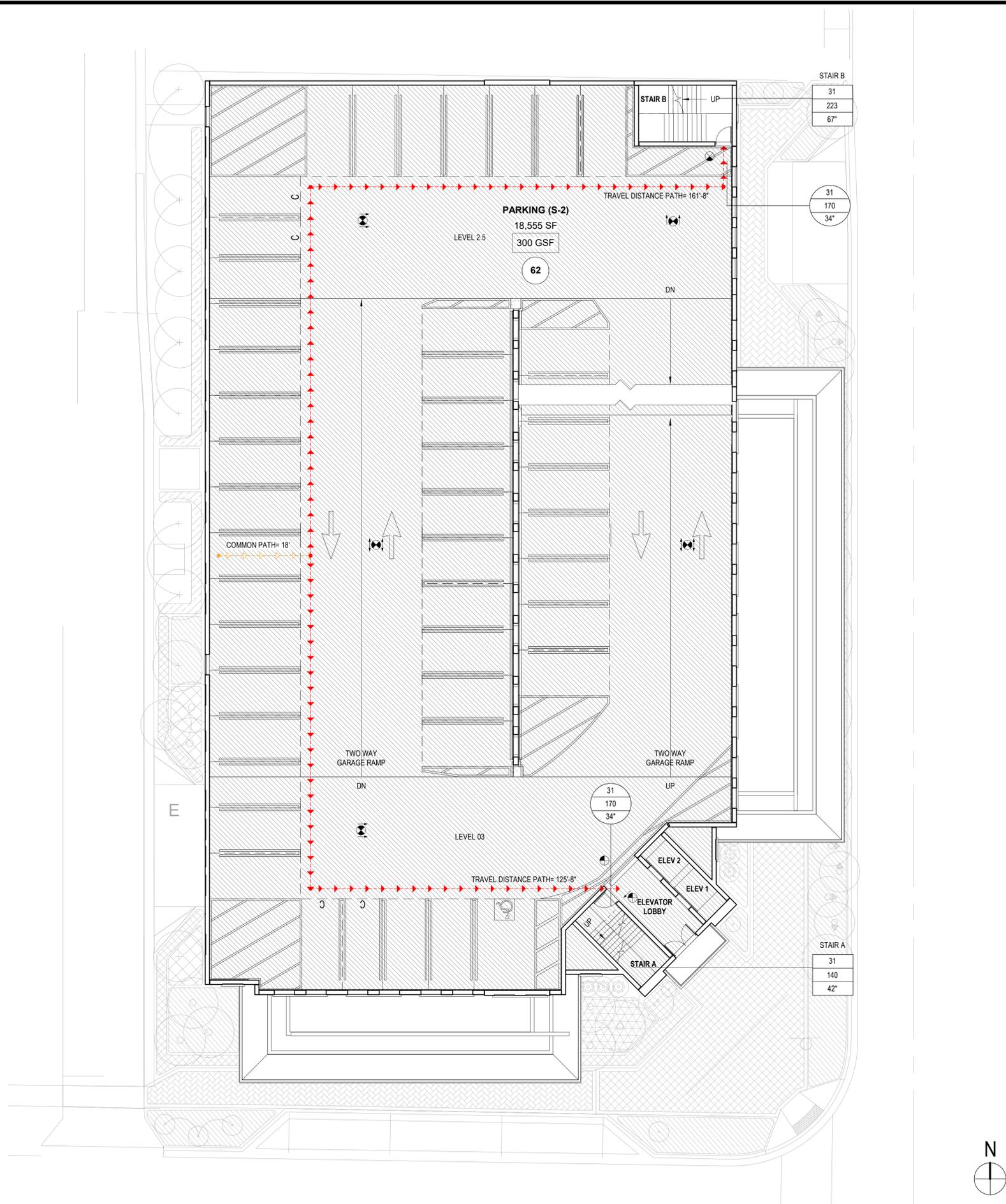
Scale

As indicated

A1.52

9/15/2023 4:29:38 PM BIM 360://06.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 69 - PARKING.rvt

01 BLOCK 69 - SECOND FLOOR LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0"



GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
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LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

- FIRE-RESISTANCE-RATING (HOURS)
- 05 = 1/2 HOUR
 - 1 = 1 HOUR
 - 2 = 2 HOUR
 - 3 = 3 HOUR
 - 4 = 4 HOUR
- OPTIONAL HORIZONTAL EXIT DESIGNATION
- 1FSB"X"** TYPE OF WALL ASSEMBLY
- 1FSB = FIRE & SMOKE BARRIER
 - 1FB = FIRE BARRIER
 - 05FB = FIRE PARTITION
 - 2FW = FIRE WALL
 - SP = SMOKE PARTITION
 - 1 HR. RATED PARTITION
 - 2 HR. RATED PARTITION
 - 3 HR. RATED PARTITION
 - 4 HR. RATED PARTITION
 - SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name** → USE GROUP OF SPACE
- 000 SF** → AREA OF SPACE
- 300 GSF** → SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FEC = FIRE EXTINGUISHER CABINET

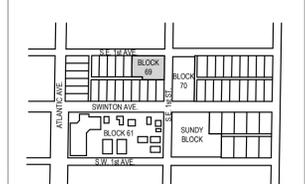
EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
- FFPC (2' MULTIPLIER)
- STAIR #1
- STAIR NAME OR DESCRIPTION
- OCC
- NUMBER OF OCCUPANTS EXITING
- FFPC (3' MULTIPLIER)
- 1' - 0"
- EXIT WIDTH PROVIDED (N.)

ASSEMBLY OCCUPANCY SYMBOLS

- 0 → OCCUPANT LOAD OF SPACE
- * → REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC
48 SE 1st AVENUE
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WEST PALM BEACH, FL 33401
Tel 561.910.0330
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LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

LANDSCAPE:
DESIGN STUDIO BOCA
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SUITE 214
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Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
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| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

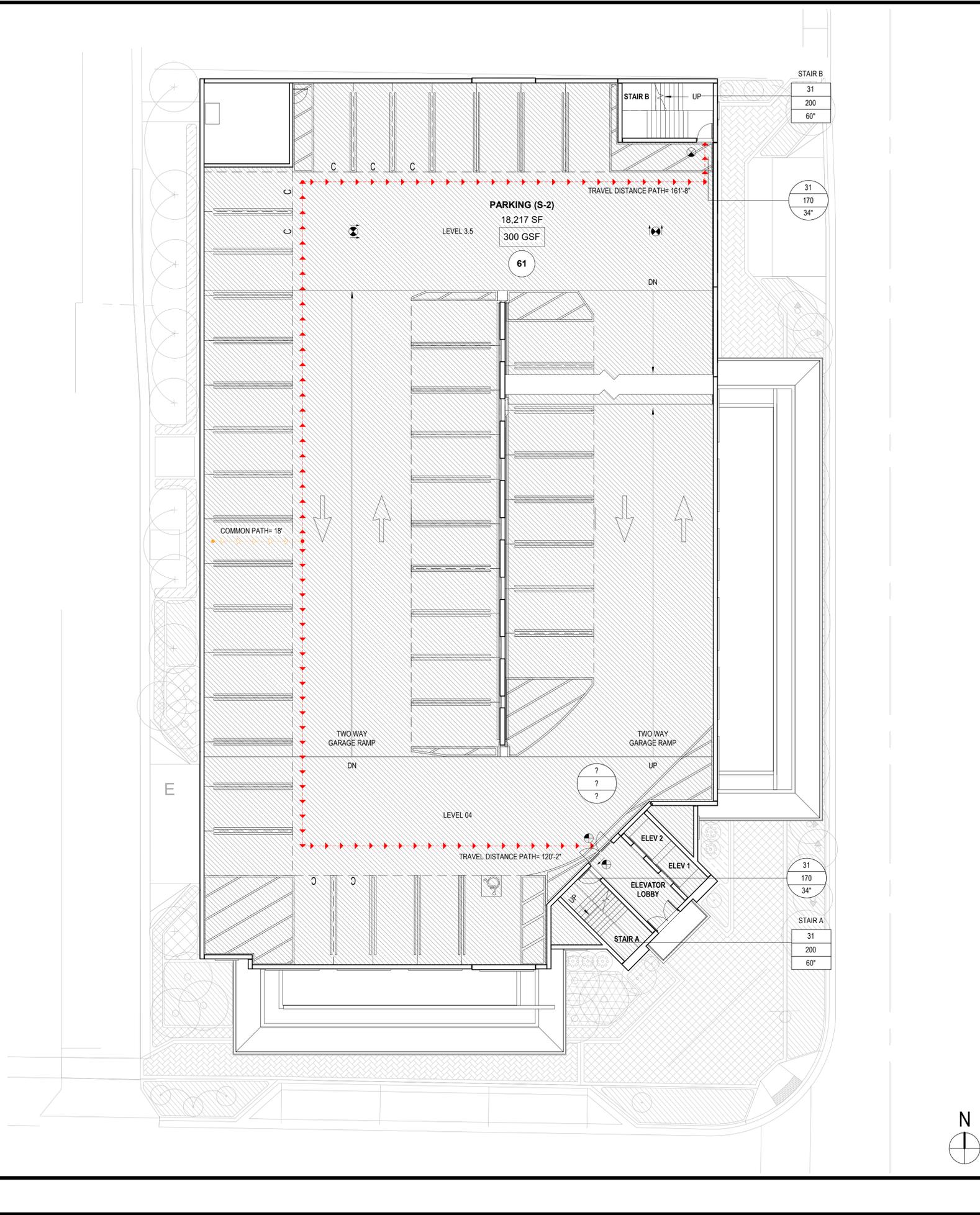
Description
BLOCK 69 - THIRD FLOOR LIFE SAFETY PLAN

Scale
As indicated

A1.53

9/15/2023 4:29:39 PM BIM 360://06.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 69 - PARKING.vit

01 BLOCK 69 - FOURTH FLOOR LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0"



GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
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LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

- FIRE-RESISTANCE-RATING (HOURS)
- 05 = 1/2 HOUR
 - 1 = 1 HOUR
 - 2 = 2 HOUR
 - 3 = 3 HOUR
 - 4 = 4 HOUR
- OPTIONAL HORIZONTAL EXIT DESIGNATION
- 1FSB"X" TYPE OF WALL ASSEMBLY
- 1FSB = FIRE & SMOKE BARRIER
 - 1FB = FIRE BARRIER
 - 05FB = FIRE PARTITION
 - 2FW = FIRE WALL
 - SP = SMOKE PARTITION
 - 1 HR. RATED PARTITION
 - 2 HR. RATED PARTITION
 - 3 HR. RATED PARTITION
 - 4 HR. RATED PARTITION
 - SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name → USE GROUP OF SPACE
- 000 SF → AREA OF SPACE
- 300 GSF → SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FEC = FIRE EXTINGUISHER CABINET

EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
- FFPC (2' MULTIPLIER)
- 145 NUMBER OF OCCUPANTS EXITING
- 33" EXIT WIDTH PROVIDED (N.)
- CALCULATED OCCUPANT CAPACITY
- FFPC (3' MULTIPLIER)
- STAIR #1 STAIR NAME OR DESCRIPTION
- OCC NUMBER OF OCCUPANTS EXITING
- 1'-0" EXIT WIDTH PROVIDED (N.)

ASSEMBLY OCCUPANCY SYMBOLS

- 0 OCCUPANT LOAD OF SPACE
- * REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

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CIVIL INFRASTRUCTURE: CIVIL DESIGN, INC. 1400 CENTERPARK BLVD. SUITE 905 WEST PALM BEACH, FL 33401
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LIGHTING/PHOTOMETRICS: ILLUMINOSITY ARCHITECTURAL LIGHTING & DESIGN 5798 SW 8TH ST. MIAMI, FL 33144
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LANDSCAPE: DESIGN STUDIO BOCA 2300 CORPORATE BLVD. NW SUITE 214 BOCA RATON, FL 33431
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| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

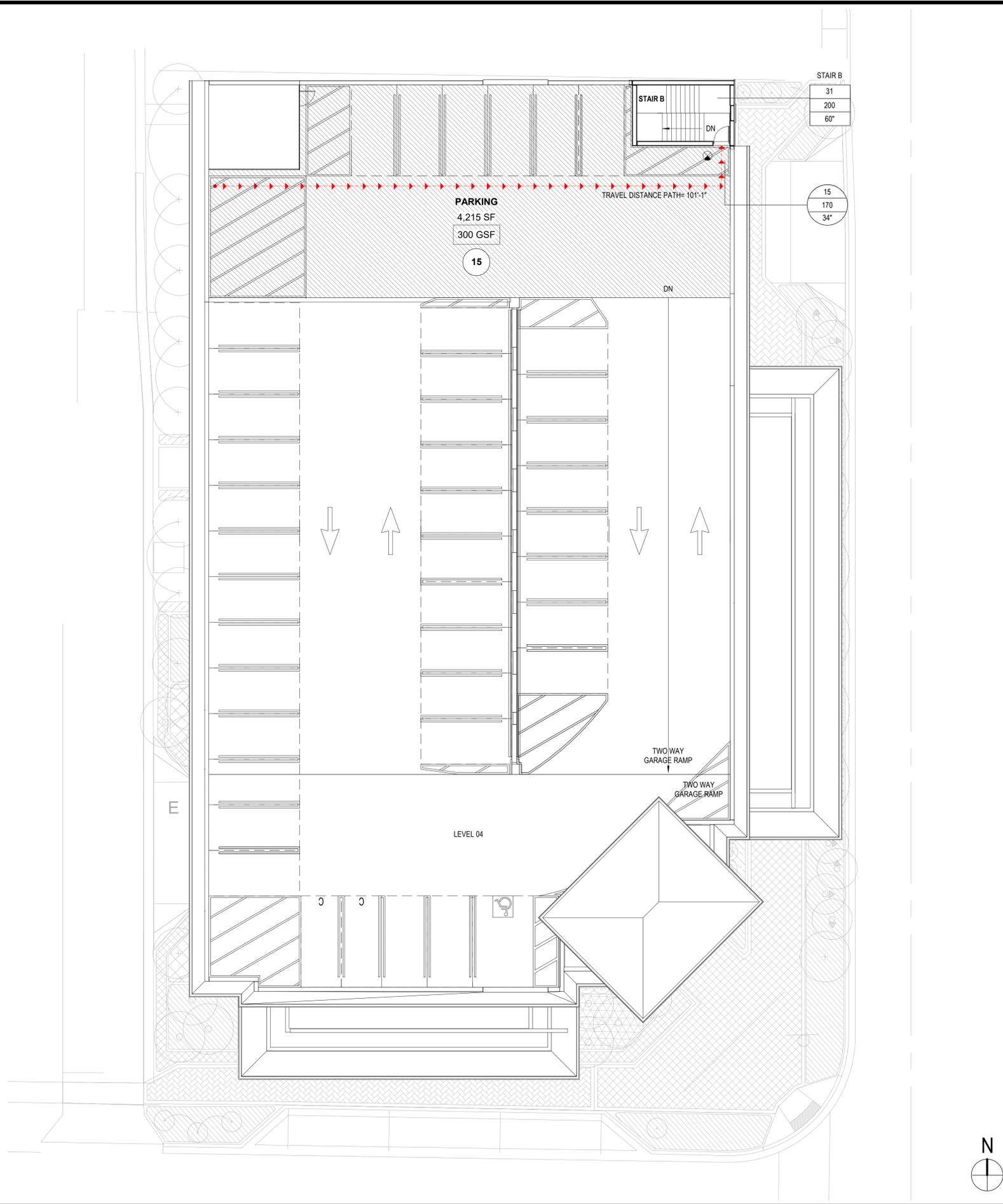
Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - FOURTH FLOOR LIFE SAFETY PLAN

Scale
As indicated

A1.54



GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
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LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

FIRE-RESISTANCE-RATING (HOURS)

- 0.5 = 1/2 HOUR
- 1 = 1 HOUR
- 2 = 2 HOUR
- 3 = 3 HOUR
- 4 = 4 HOUR

- OPTIONAL HORIZONTAL EXIT DESIGNATION
- 1FSB"X" TYPE OF WALL ASSEMBLY
- 1FSB = FIRE & SMOKE BARRIER
- 1FB = FIRE BARRIER
- 05FB = FIRE PARTITION
- 2FW = FIRE WALL
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- 4 HR. RATED PARTITION
- SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name → USE GROUP OF SPACE
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- 300 GSF → SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FEC = FIRE EXTINGUISHER CABINET

EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
- FFPC (2' MULTIPLIER)
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN.)
- CALCULATED OCCUPANT CAPACITY
- FFPC (3' MULTIPLIER)
- STAIR #1
- STAIR NAME OR DESCRIPTION
- NUMBER OF OCCUPANTS EXITING
- EXIT WIDTH PROVIDED (IN.)

ASSEMBLY OCCUPANCY SYMBOLS

- 0 → OCCUPANT LOAD OF SPACE
- * → REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.659.5760

LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|------------|--------------------------------|
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |

Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

BLOCK 69 - ROOF LIFE SAFETY PLAN

Scale

As indicated

A1.55

SHEET NOTES

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

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Tel 561.910.0330
Fax 561.669.5760

LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|--------------|--------------------------------|
| 1 11/11/2022 | SITE MODIFICATION |
| 2 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 3 09/15/2023 | SITE MODIFICATION RESUBMISSION |

GENERAL NOTES

Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - SITE ELEVATIONS AND PROPORTIONS

Scale
As indicated

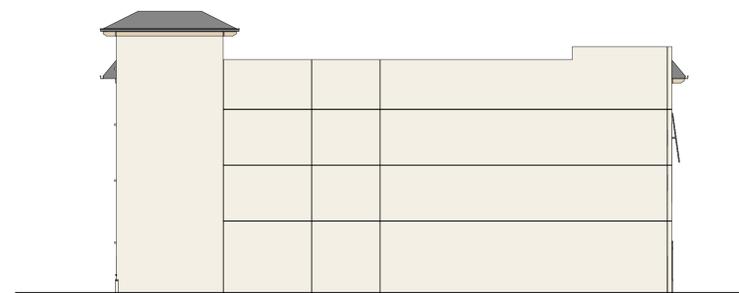
A2.00

KEY PLAN



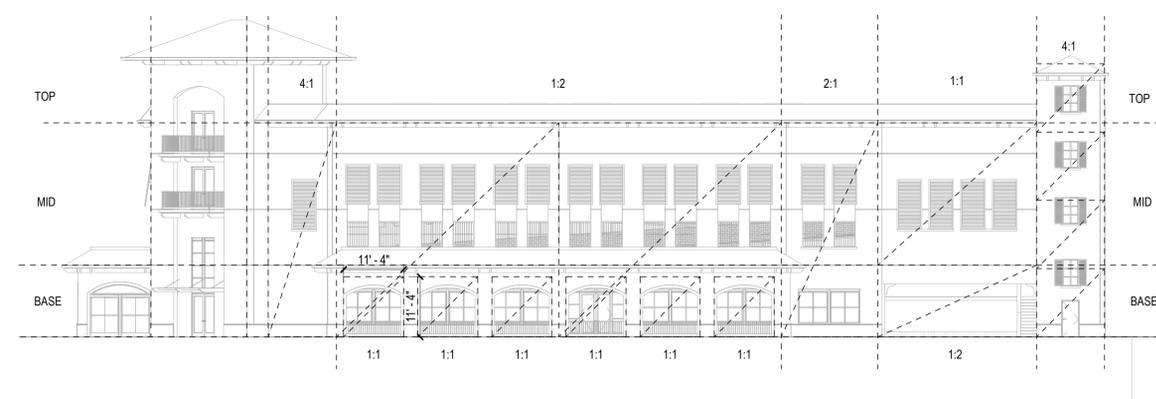
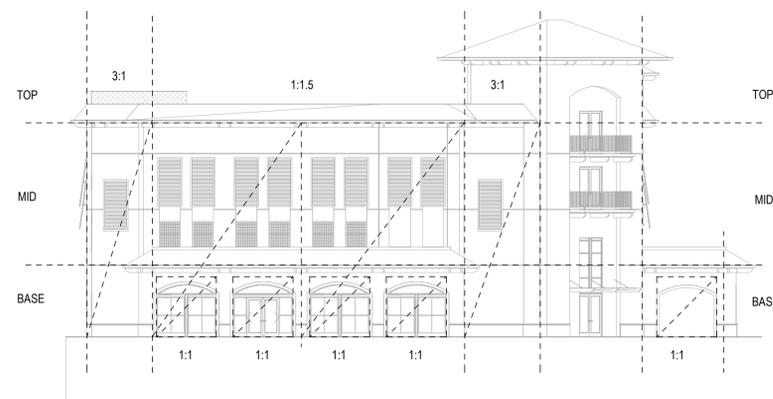
05 BLOCK 69 - PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"

01 BLOCK 69 - PROPOSED EXTERIOR ELEVATION- EAST
SCALE: 1/16" = 1'-0"



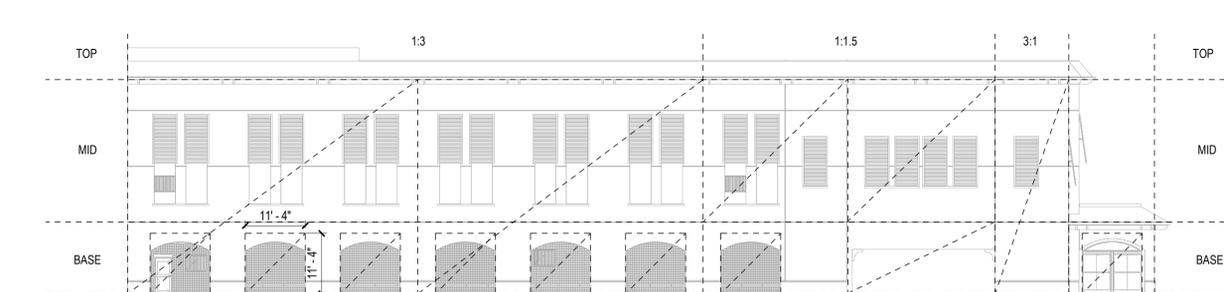
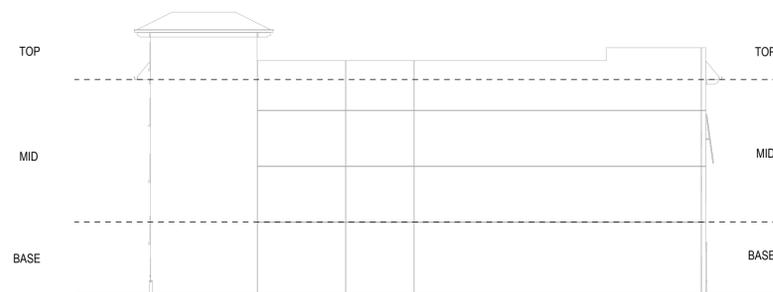
06 BLOCK 69 - PROPOSED EXTERIOR ELEVATION - NORTH
SCALE: 1/16" = 1'-0"

02 BLOCK 69 - PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



07 BLOCK 69 - EXTERIOR ELEVATION PROPORTION - SOUTH
SCALE: 1/16" = 1'-0"

03 BLOCK 69 - EXTERIOR ELEVATION PROPORTION - EAST
SCALE: 1/16" = 1'-0"



08 BLOCK 69 - EXTERIOR ELEVATION PROPORTION - NORTH
SCALE: 1/16" = 1'-0"

04 BLOCK 69 - EXTERIOR ELEVATION PROPORTION - WEST
SCALE: 1/16" = 1'-0"

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

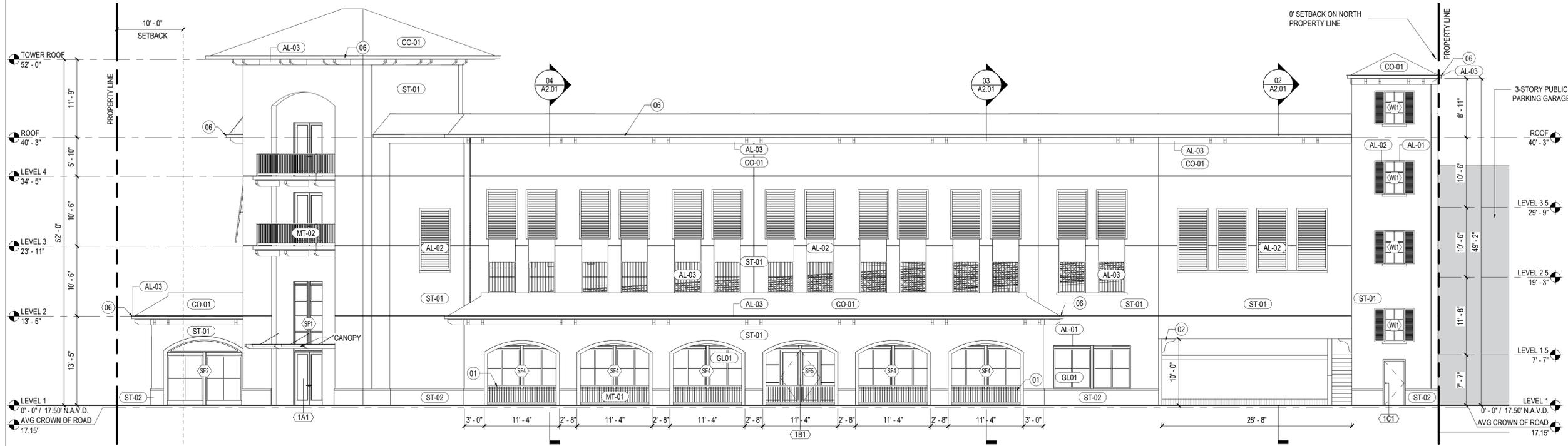
Lic. No. AA0002837
Main Office
1700 Broadway
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United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
545 NW 26th Street
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Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

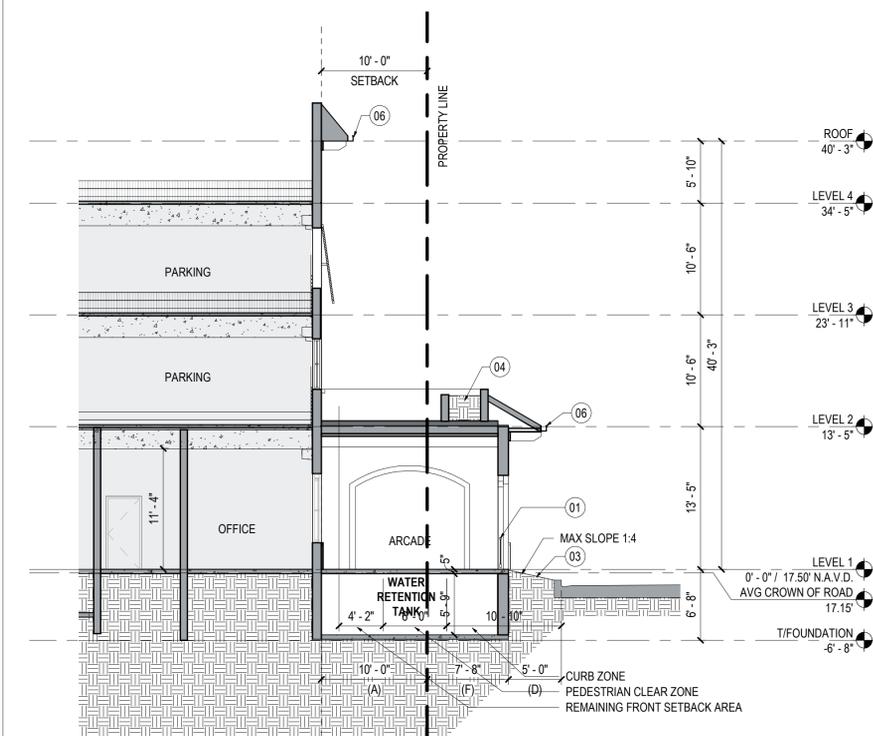
CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
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Fax 561.659.5760

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

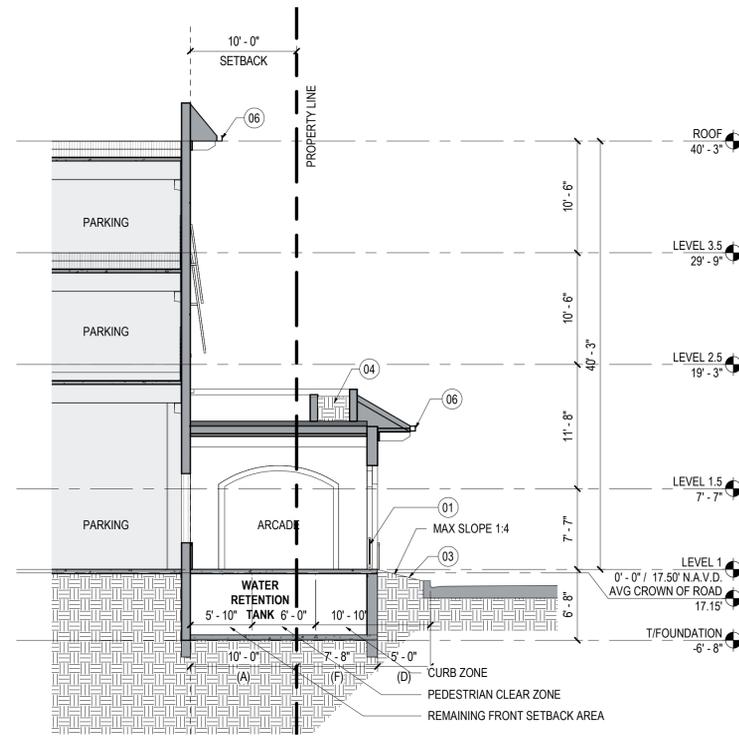
| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |



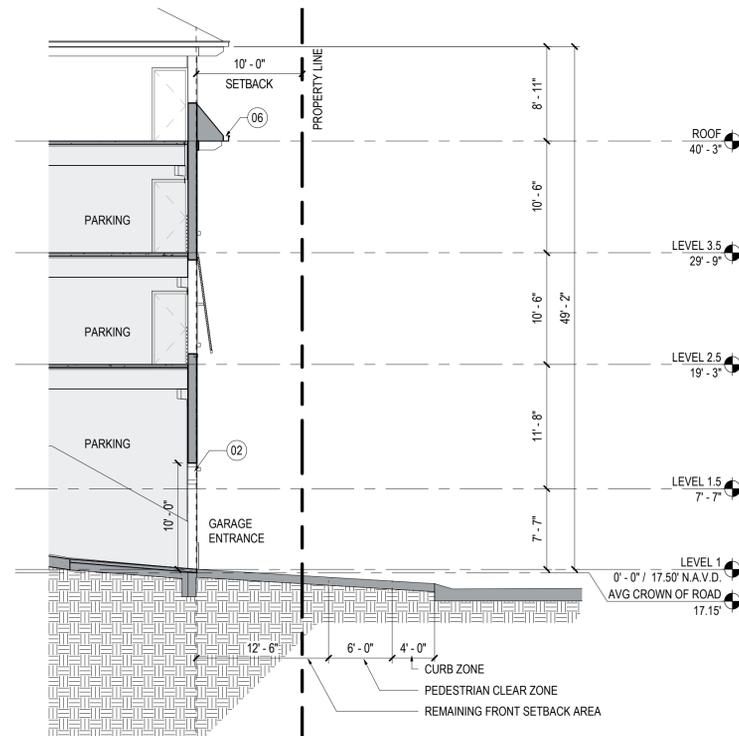
01 BLOCK 69 - EXTERIOR ELEVATION- EAST
SCALE: 1/8" = 1'-0"



04 STREETSCAPE STUDY-EAST 1st AVE (A)
SCALE: 1/8" = 1'-0"



03 STREETSCAPE STUDY-EAST 1st AVE (B)
SCALE: 1/8" = 1'-0"



02 STREETSCAPE STUDY-EAST 1st AVE (C)
SCALE: 1/8" = 1'-0"

SHEET NOTES

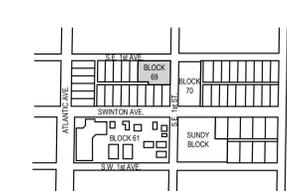
- GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- SECURITY GATE, CLOSED AFTER HOURS
- AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- PLANTING BED, SEE LANDSCAPE DRAWINGS
- BIKE PARKING
- 6"x6" GUTTER
- BOLLARD
- WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

| | | |
|-------|--|---------------------------------|
| AL-01 | WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| AL-02 | SHUTTERS: POWDER COATED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| AL-03 | COLUMNS, BRACKETS, OUTRIGGERS AND TRIM: POWDER COATED ALUMINUM | COLOR: SW7537 - IRISH CREAM |
| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GL01 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| MT-02 | RAILING: PAINTED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| MT-03 | 4"x4" WIRE MESH | COLOR: SW6258 - TRICORN BLACK |
| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - OVERALL BUILDING ELEVATIONS - EAST AND CORNER

Scale
As indicated

A2.01

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

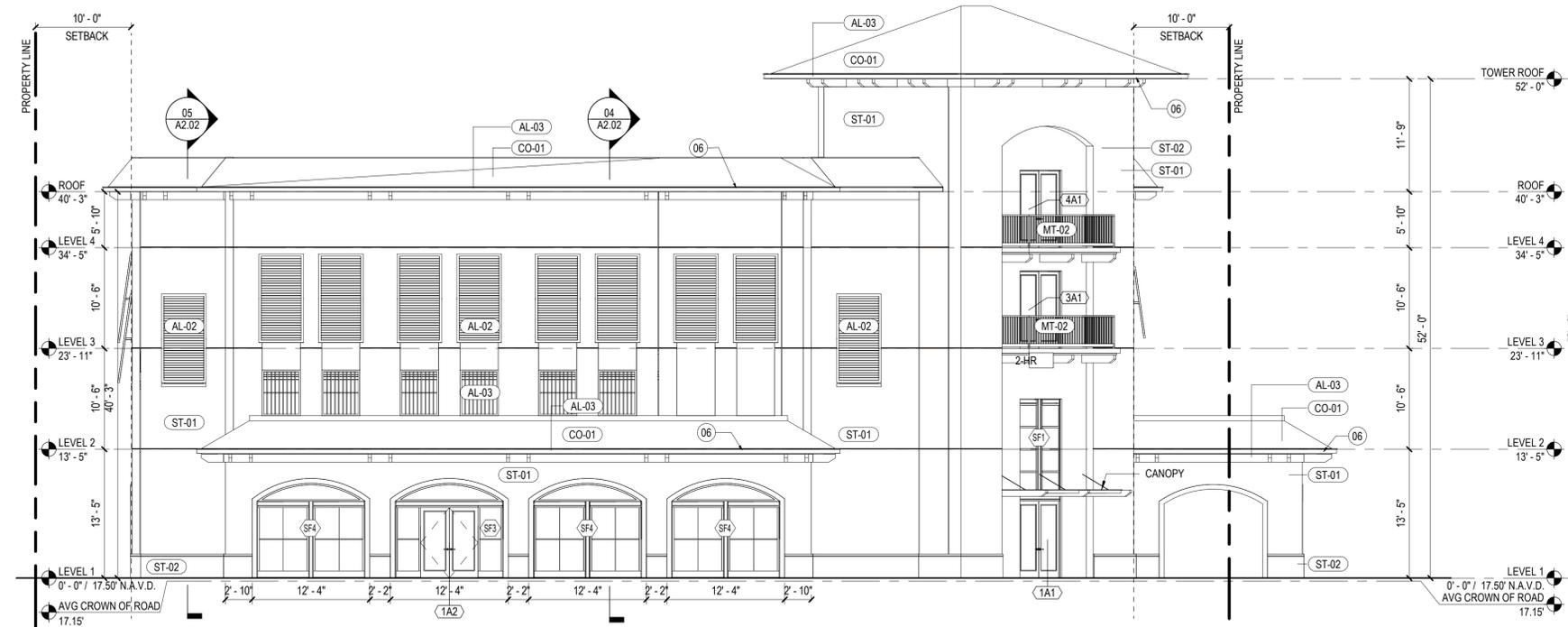
Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

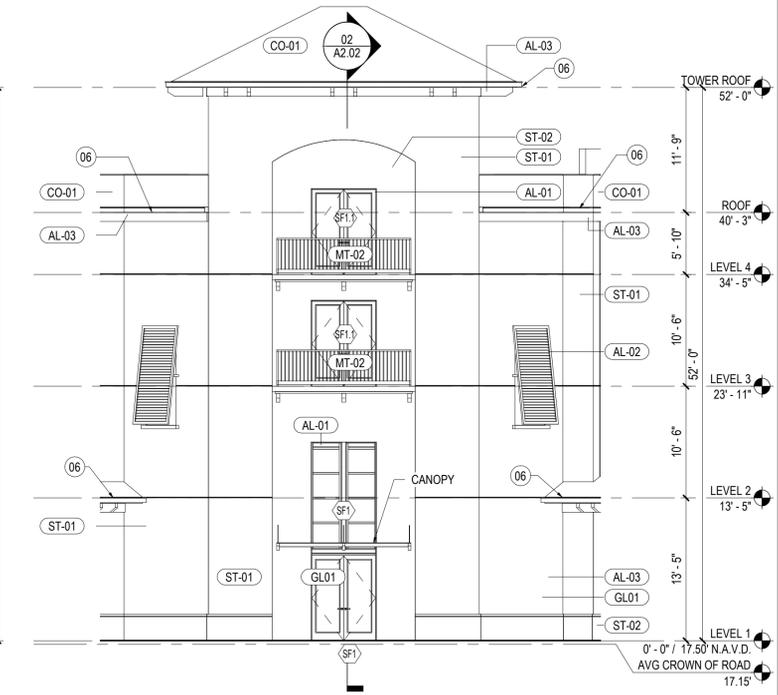
CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.659.5760

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

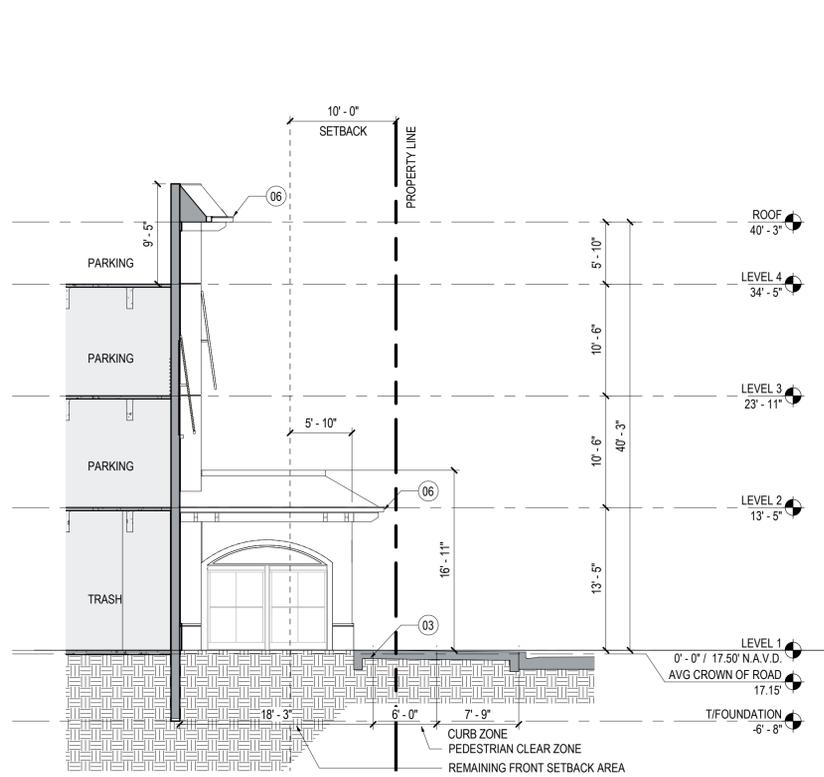
| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |



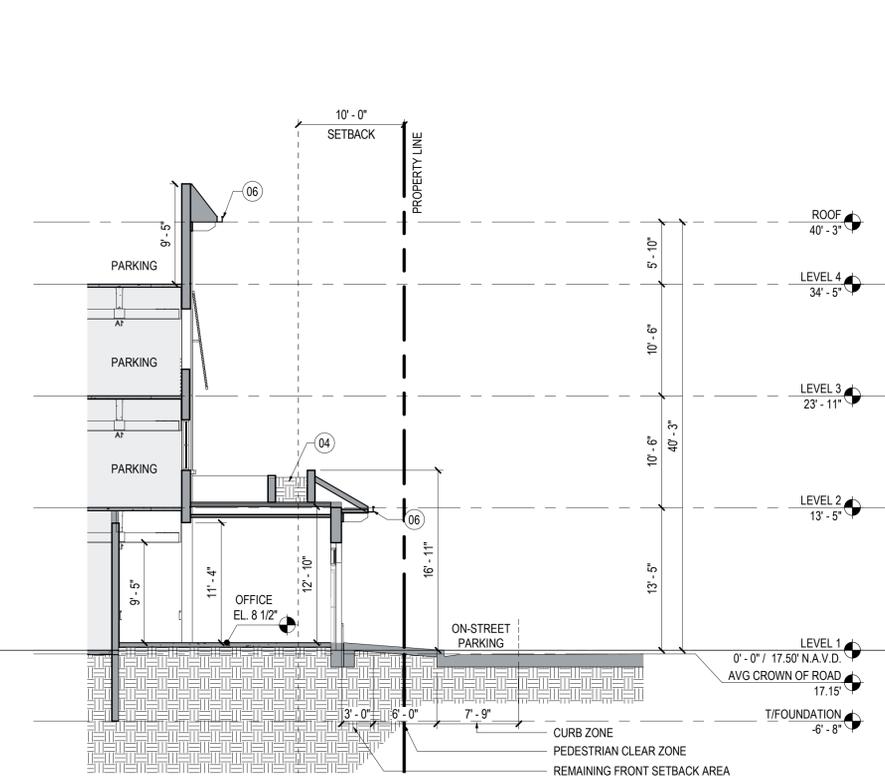
03 BLOCK 69 - EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



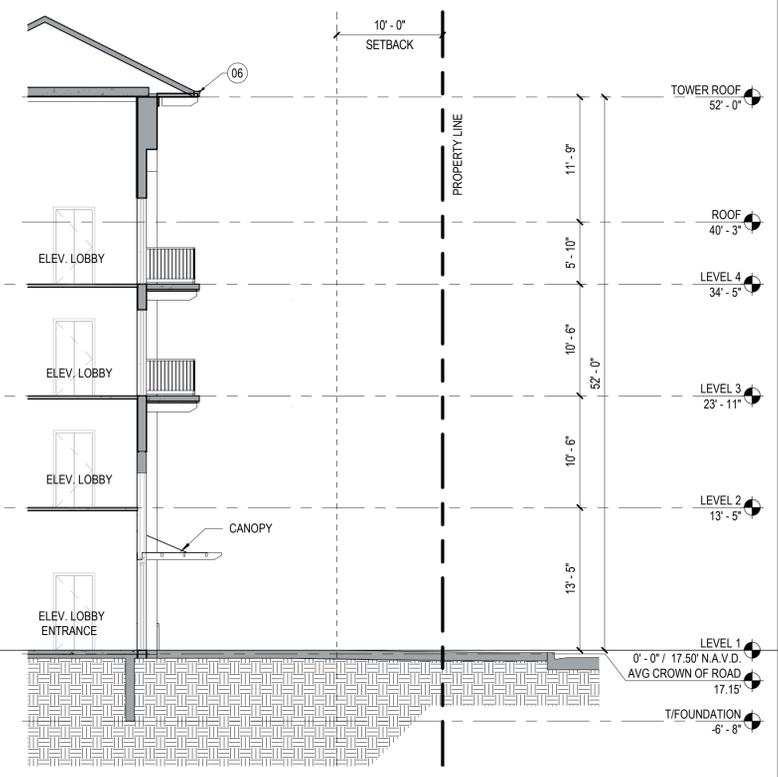
01 BLOCK 69 - EXTERIOR ELEVATION - TOWER
SCALE: 1/8" = 1'-0"



05 STREETSCAPE STUDY-SOUTH 1st ST (A)
SCALE: 1/8" = 1'-0"



04 STREETSCAPE STUDY-SOUTH 1st ST (B)
SCALE: 1/8" = 1'-0"



02 STREETSCAPE STUDY-SOUTH 1st ST (C)
SCALE: 1/8" = 1'-0"

SHEET NOTES

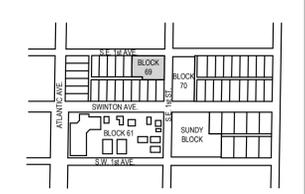
- GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- SECURITY GATE. CLOSED AFTER HOURS
- AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- PLANTING BED, SEE LANDSCAPE DRAWINGS
- BIKE PARKING
- 6"x6" GUTTER
- BOLLARD
- WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

| | | |
|-------|--|---------------------------------|
| AL-01 | WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| AL-02 | SHUTTERS: POWDER COATED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| AL-03 | COLUMNS, BRACKETS, OUTRIGGERS AND TRIM: POWDER COATED ALUMINUM | COLOR: SW7537 - IRISH CREAM |
| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GL01 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| MT-02 | RAILING: PAINTED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| MT-03 | 4"x4" WIRE MESH | COLOR: SW6258 - TRICORN BLACK |
| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - OVERALL BUILDING ELEVATIONS - SOUTH & CORNER

Scale
As indicated

A2.02

9/15/2023 4:30:11 PM BIM 360//006.3292.200 - Sundy Village - Block 69-7006.3292.200 - BLOCK 69 - PARKING.rvt

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

GenSLer

Lic. No. AA0002837
Main Office
1700 Broadway
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United States
Tel 212.492.1400
Fax 212.492.1472

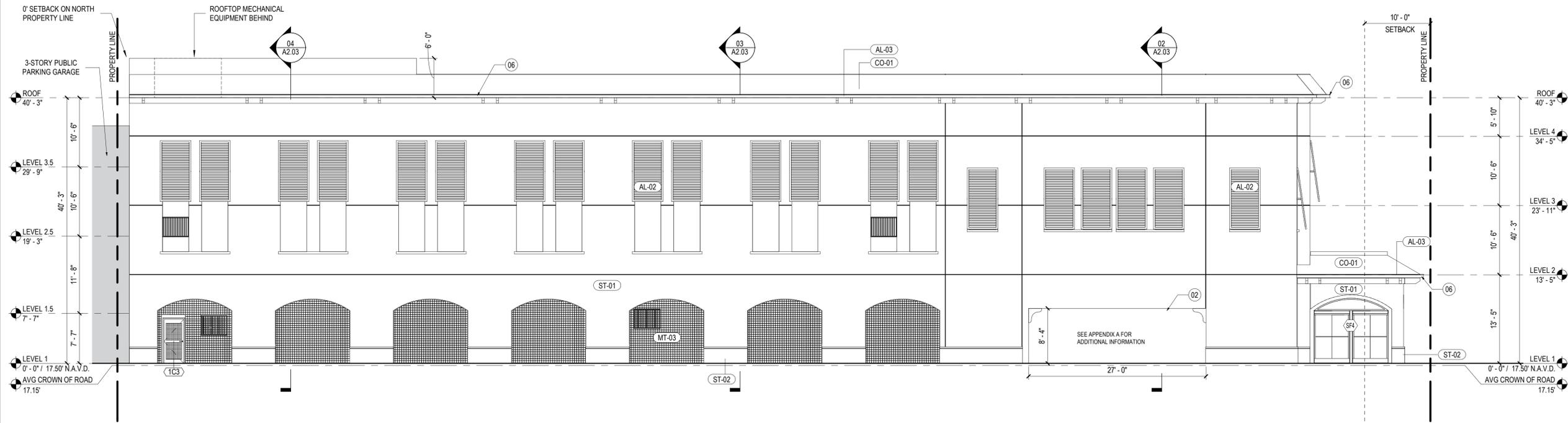
Satellite Office:
545 NW 26th Street
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Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.659.5760

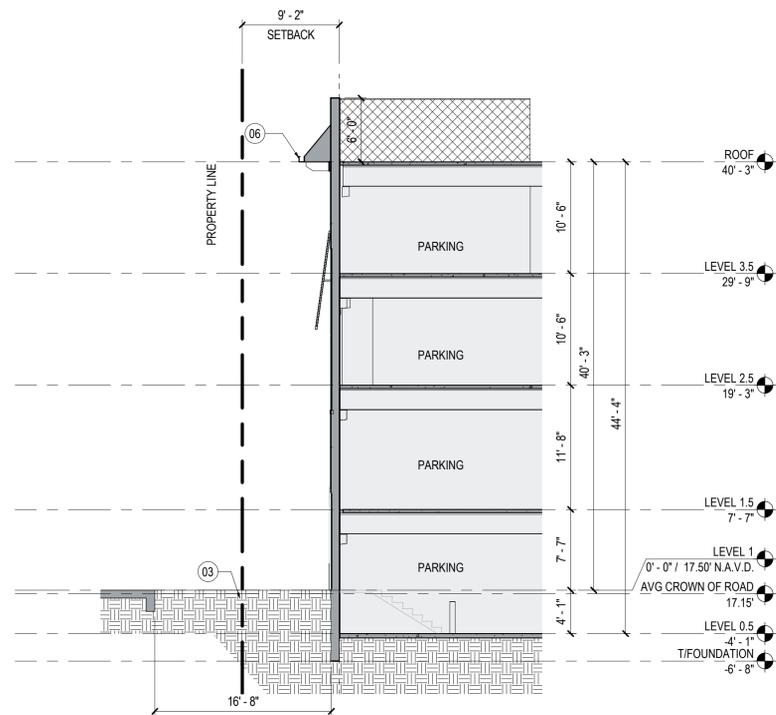
LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

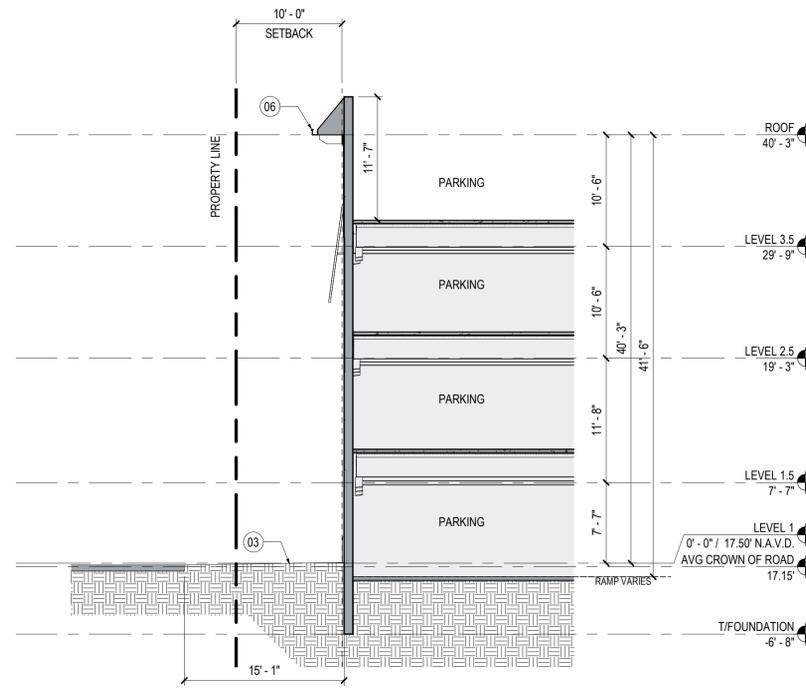
| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |



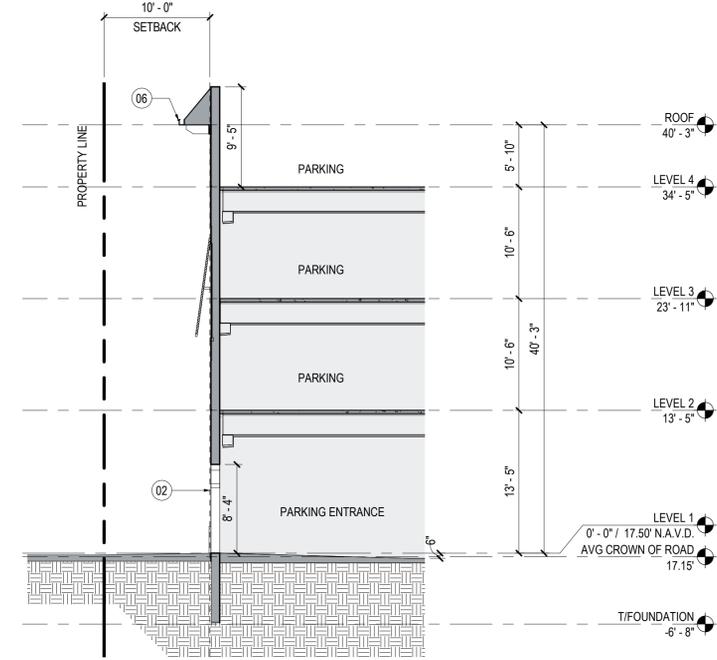
01 BLOCK 69 - EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



04 STREETSCAPE STUDY-WEST ALLEY (A)
SCALE: 1/8" = 1'-0"



03 STREETSCAPE STUDY-WEST ALLEY (B)
SCALE: 1/8" = 1'-0"



02 STREETSCAPE STUDY-WEST ALLEY (C)
SCALE: 1/8" = 1'-0"

SHEET NOTES

- GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- SECURITY GATE. CLOSED AFTER HOURS
- AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- PLANTING BED, SEE LANDSCAPE DRAWINGS
- BIKE PARKING
- 6"x6" GUTTER
- BOLLARD
- WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

| | | |
|-------|--|---------------------------------|
| AL-01 | WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| AL-02 | SHUTTERS: POWDER COATED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| AL-03 | COLUMNS, BRACKETS, OUTRIGGERS AND TRIM: POWDER COATED ALUMINUM | COLOR: SW7537 - IRISH CREAM |
| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GL-01 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| MT-02 | RAILING: PAINTED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| MT-03 | 4"x4" WIRE MESH | COLOR: SW6258 - TRICORN BLACK |
| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - OVERALL BUILDING ELEVATIONS - WEST

Scale
As indicated

A2.03

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

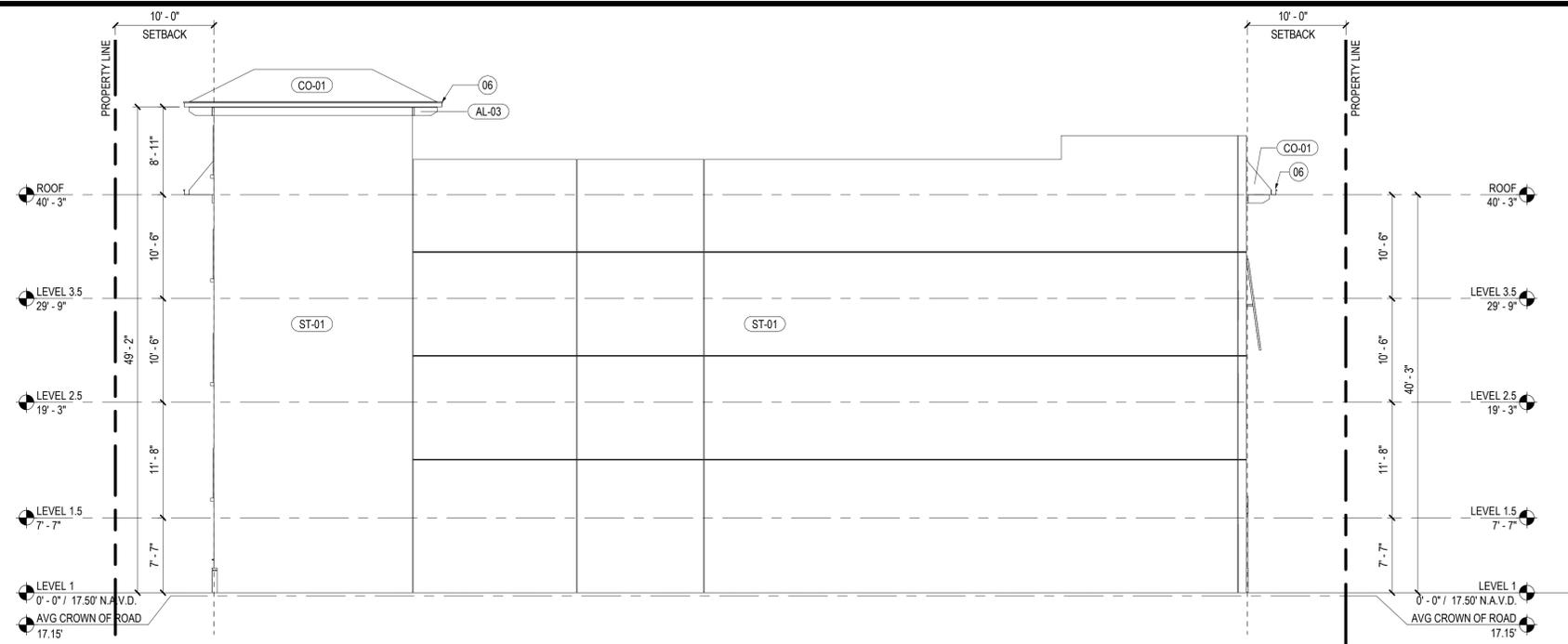
Genster

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1700 Broadway
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United States
Tel 212.492.1400
Fax 212.492.1472

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CIVIL INFRASTRUCTURE:
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1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.659.5760

LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858
LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|--------------|--------------------------------|
| 3 09/15/2023 | SITE MODIFICATION RESUBMISSION |



01 BLOCK 69 - EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- 02 SECURITY GATE. CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

| | | |
|-------|--|---------------------------------|
| AL-01 | WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| AL-02 | SHUTTERS: POWDER COATED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| AL-03 | COLUMNS, BRACKETS, OUTRIGGERS AND TRIM: POWDER COATED ALUMINUM | COLOR: SW7537 - IRISH CREAM |
| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GLO1 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| MT-02 | RAILING: PAINTED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| MT-03 | 4"x4" WIRE MESH | COLOR: SW6258 - TRICORN BLACK |
| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

BLOCK 69 - OVERALL BUILDING ELEVATIONS - NORTH

Scale

As indicated

A2.04

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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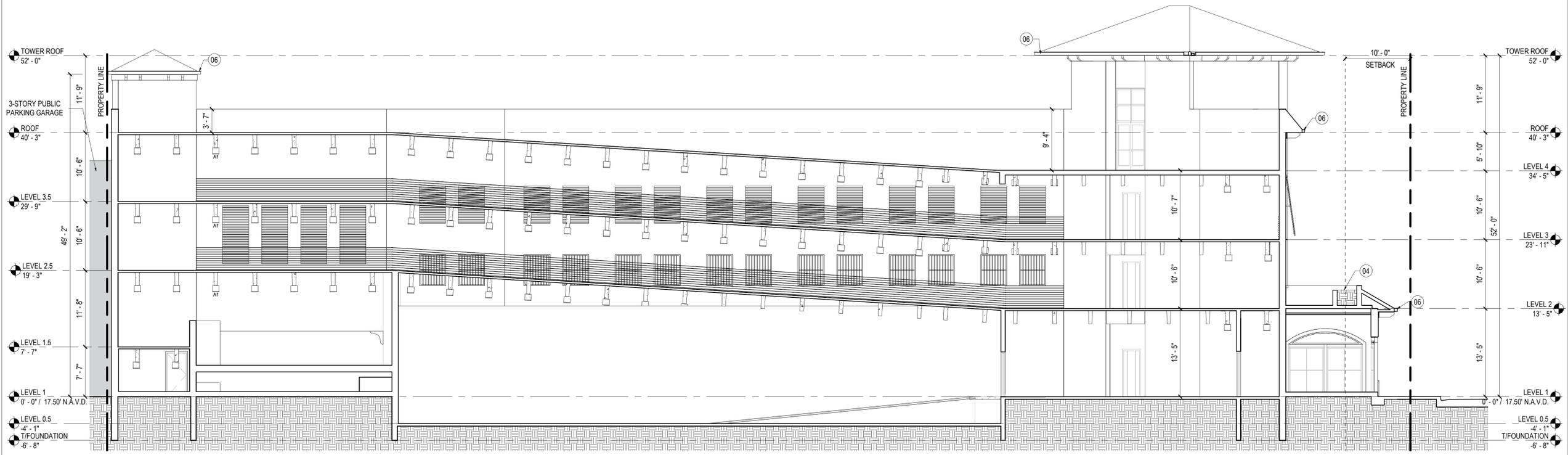
Satellite Office:
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United States
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CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.689.5760

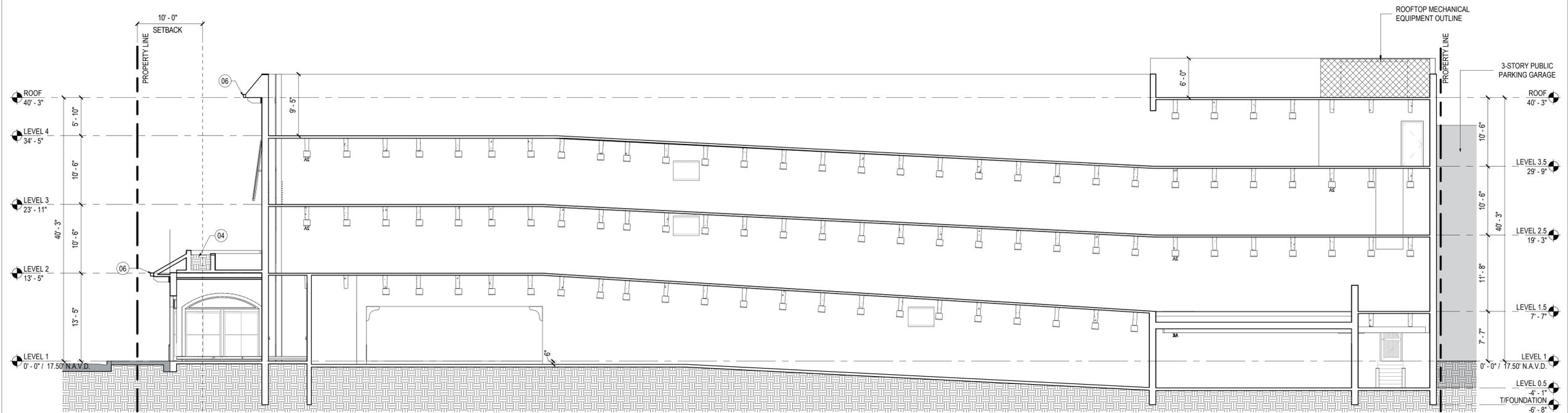
LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
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Fax 561.362.4749

| Date | Description |
|------------|--------------------------------|
| 11/11/2022 | SITE MODIFICATION |
| 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 09/15/2023 | SITE MODIFICATION RESUBMISSION |



01 BLOCK 69 - BUILDING SECTION-WEST
SCALE: 1/8" = 1'-0"



02 BLOCK 69 - BUILDING SECTION-EAST
SCALE: 1/8" = 1'-0"

SHEET NOTES

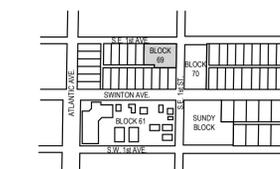
- GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- SECURITY GATE. CLOSED AFTER HOURS
- AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- PLANTING BED, SEE LANDSCAPE DRAWINGS
- BIKE PARKING
- 6"x6" GUTTER
- BOLLARD
- WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

| | | |
|-------|--|---------------------------------|
| AL-01 | WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| AL-02 | SHUTTERS: POWDER COATED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| AL-03 | COLUMNS, BRACKETS, OUTRIGGERS AND TRIM: POWDER COATED ALUMINUM | COLOR: SW7537 - IRISH CREAM |
| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GL-01 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
| MT-02 | RAILING: PAINTED ALUMINUM | COLOR: SW7102 - WHITE FLOUR |
| MT-03 | 4"x4" WIRE MESH | COLOR: SW6258 - TRICORN BLACK |
| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

BLOCK 69 - BUILDING SECTIONS

Scale

As indicated

A3.01

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

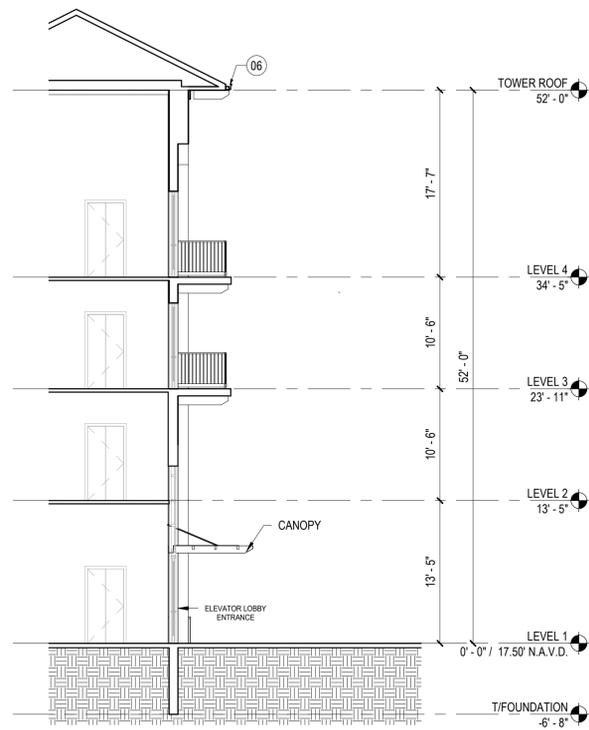
CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.689.5760

LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

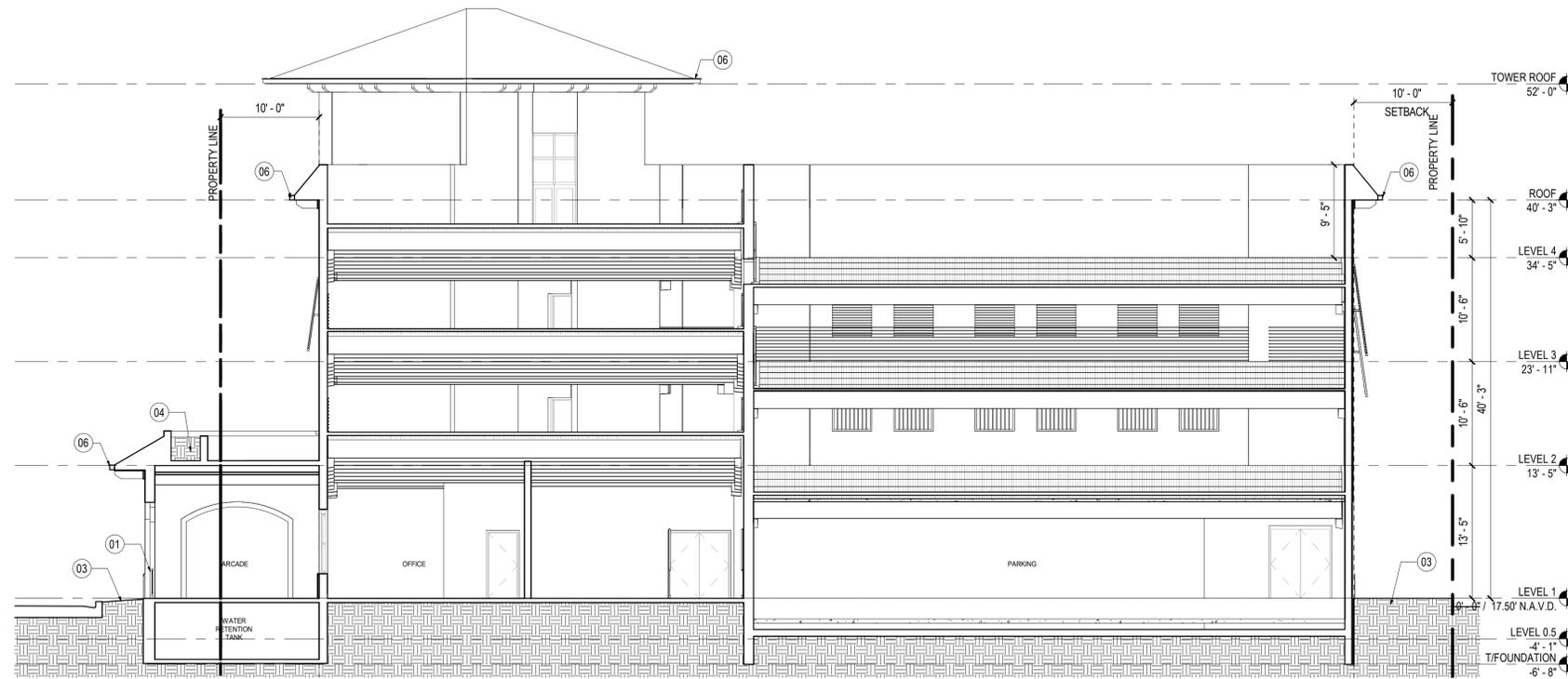
LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|------|-------------|
|------|-------------|

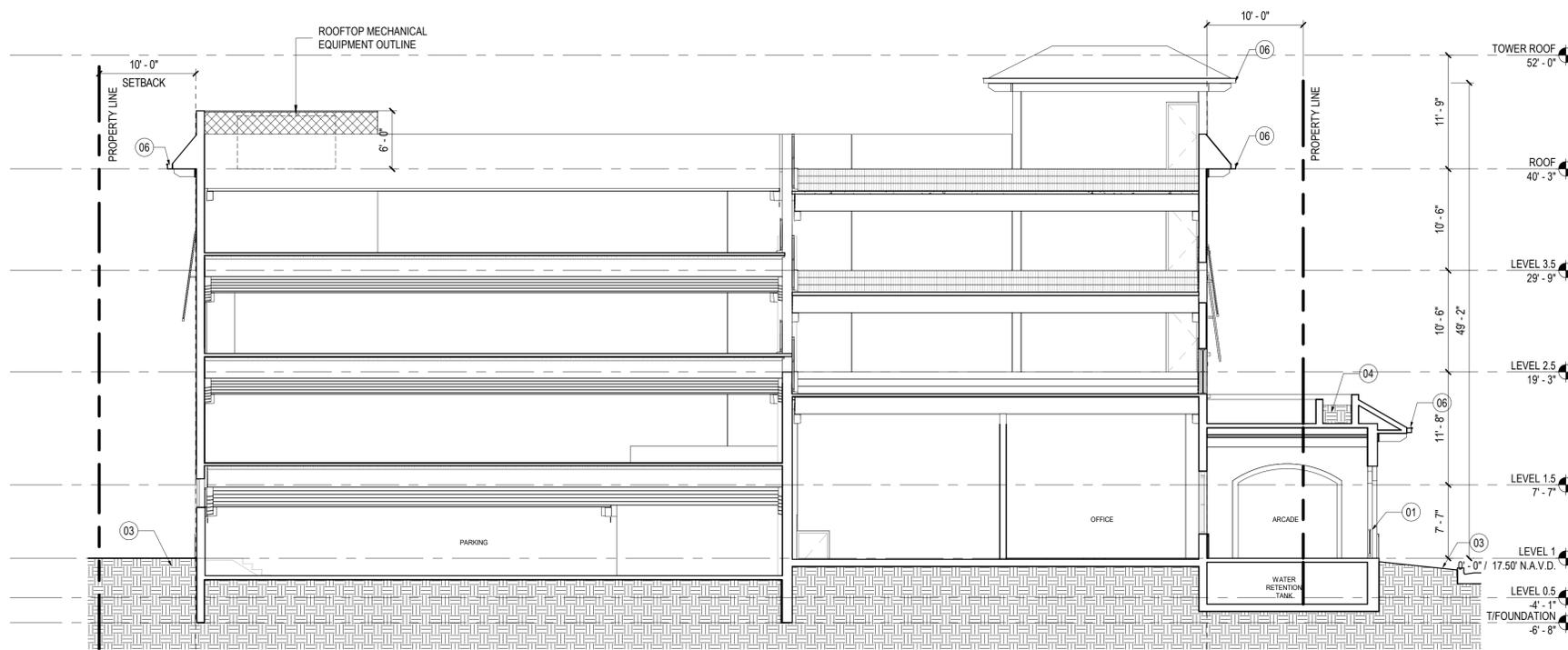
- 11/11/2022 SITE MODIFICATION
- 05/17/2023 SITE MODIFICATION RESUBMISSION
- 09/15/2023 SITE MODIFICATION RESUBMISSION



03 BLOCK 69 - BUILDING SECTION-ELEV TOWER
SCALE: 1/8" = 1'-0"



01 BLOCK 69 - BUILDING SECTION-SOUTH
SCALE: 1/8" = 1'-0"



02 BLOCK 69 - BUILDING SECTION-NORTH
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- 02 SECURITY GATE. CLOSED AFTER HOURS
- 03 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 04 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 05 BIKE PARKING
- 06 6"x6" GUTTER
- 07 BOLLARD
- 08 WAIVER REQUEST TO CONTINUE BULK OF BUILDING ABOVE 35 FEET DUE TO SHIFT IN FLOOR ELEVATIONS
- 09 WAIVER REQUEST FOR 10 INCH RELIEF DUE TO JOG IN EXISTING PROPERTY LINE BOUNDARY

GENERAL NOTES

MATERIALS LEGEND

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| CO-01 | ROOF: CONCRETE SLATE STYLE TILE | LIGHT GRAY |
| GL01 | CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76 | CLEAR |
| MT-01 | RAILING: PAINTED ALUMINUM | COLOR: SW7055 - ENDURING BRONZE |
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| ST-01 | MAIN WALLS: STUCCO | COLOR: SW7102 - WHITE FLOUR |
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KEY PLAN



Seal / Signature

Project Name
SUNDY VILLAGE - BLOCK 69

Project Number
06.3292.200

Description
BLOCK 69 - BUILDING SECTIONS

Scale
As indicated

A3.02

SUNDY VILLAGE WEST, LLC

48 SE 1st AVENUE
DELRAY BEACH, FL 33444

GenSler

Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

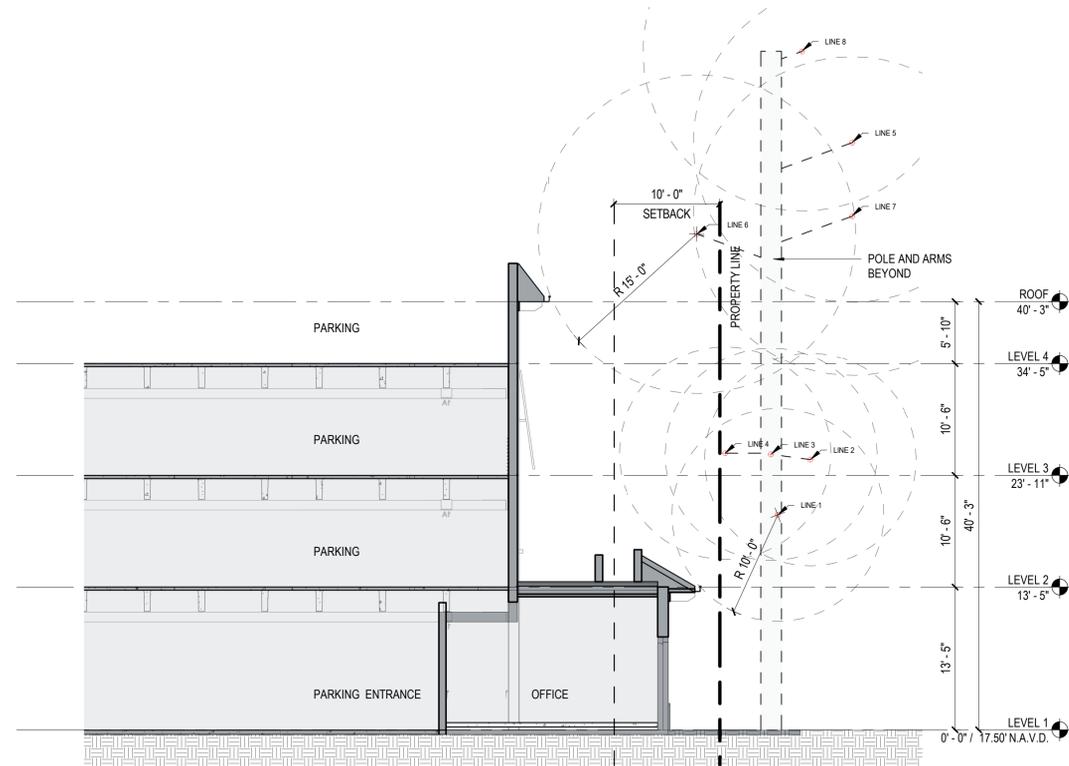
Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC.
1400 CENTERPARK BLVD.
SUITE 905
WEST PALM BEACH, FL 33401
Tel 561.910.0330
Fax 561.699.5760

LIGHTING/PHOTOMETRICS:
ILLUMINOSITY ARCHITECTURAL
LIGHTING & DESIGN
5798 SW 8TH ST.
MIAMI, FL 33144
Tel 305.269.4858

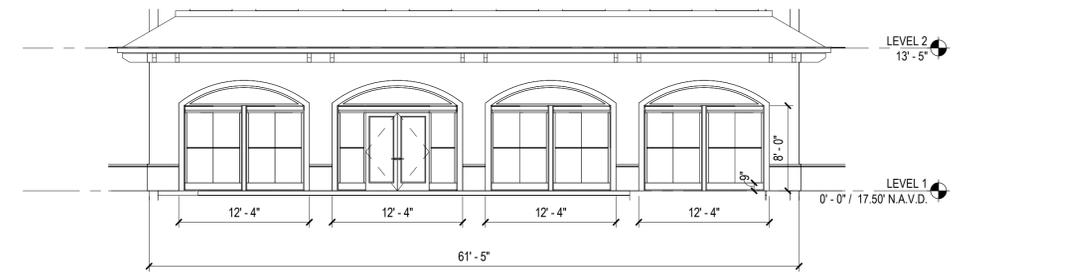
LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD. NW
SUITE 214
BOCA RATON, FL 33431
Tel 561.955.8623
Fax 561.362.4749

| Date | Description |
|--------------|--------------------------------|
| 1 11/11/2022 | SITE MODIFICATION |
| 2 05/17/2023 | SITE MODIFICATION RESUBMISSION |
| 3 09/15/2023 | SITE MODIFICATION RESUBMISSION |



03 SE 1st ST SECTION WITH POWERLINES

SCALE: 1/8" = 1'-0"

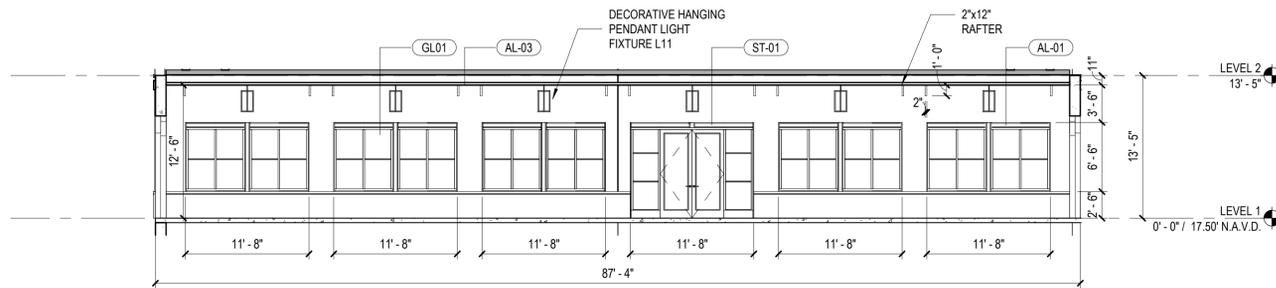


1st AVE STOREFRONT CALCULATION

BUILDING LENGTH = 61'-5"
STOREFRONT OPENING LENGTH = 49'-4"
STOREFRONT OPEN % = 49'-4"/61'-5" = 80.3%

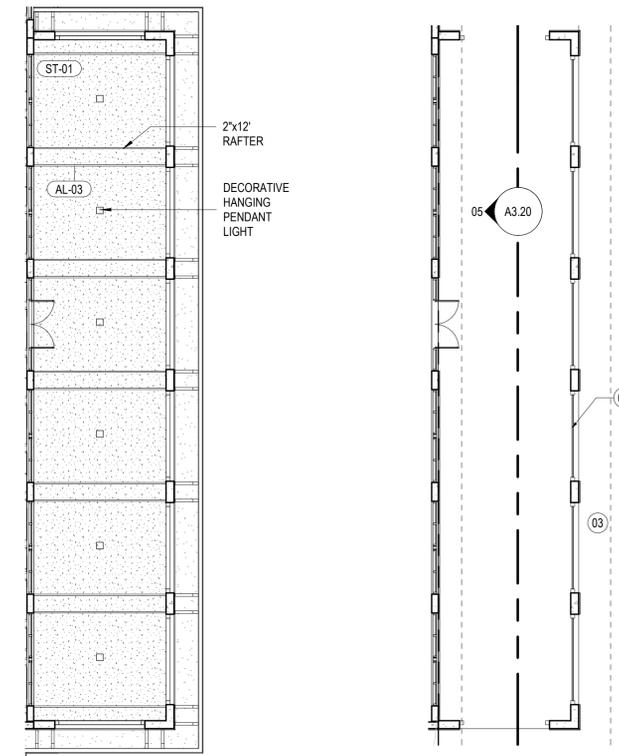
04 SE 1st ST. STOREFRONT ELEVATION

SCALE: 1/8" = 1'-0"



1st AVE STOREFRONT CALCULATION

BUILDING LENGTH = 87'-4"
STOREFRONT OPENING LENGTH = 70'-0"
STOREFRONT OPEN % = 70'-0"/87'-4" = 80.0%



05 STOREFRONT ELEVATION - ARCADE SE 1st AVENUE

SCALE: 1/8" = 1'-0"

SHEET NOTES

- GUARD RAILING AT ARCADE OPENINGS ALONG STREET FRONTAGE. TYPICAL
- SECURITY GATE. CLOSED AFTER HOURS
- AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- PLANTING BED, SEE LANDSCAPE DRAWINGS
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| ST-02 | TRIM, CORNICE, MOLDINGS: STUCCO | COLOR: SW7102 - WHITE FLOUR |

KEY PLAN



02 RCP - ARCADE SE 1st AVENUE

SCALE: 3/32" = 1'-0"

01 PLAN - ARCADE SE 1st AVENUE

SCALE: 3/32" = 1'-0"

Seal / Signature

Project Name

SUNDY VILLAGE - BLOCK 69

Project Number

06.3292.200

Description

BLOCK 69 - ARCADE FRONTAGE

Scale

As indicated

A3.20