



*Planning & Zoning Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** The Flossy Building  
**Project Location:** 124 NE 5<sup>th</sup> Avenue  
**Request:** Class V Site Plan  
**Board:** Site Plan Review and Appearance Board (SPRAB)  
**Meeting Date:** March 9, 2016

**Board Action:**

Approved 4-0 = Terminal Landscape Island Waiver Request  
Approved 4-0 = Perimeter Landscape Buffer Waiver Request  
Approved 4-0 = Site Plan  
Approved 4-0 = Landscape Plan  
Approved 4-0 = Architectural Elevations

**Project Description-noting staff concerns:**

The subject property is zoned CBD (Central Business District) and has a Central Core (CC) Future Land Use Map (FLUM) Designation. The existing site contains two vacant structures which were constructed in 1939 as single family residences and later converted to office use. The site measures 13,675 sq. ft. (0.3144 acres).

The Class V Site Plan proposes to demolish all existing buildings and construct a new 2-story mixed-use development with 6,540 sq. ft. of retail on the ground level and residential on the upper levels.

**The staff raised the following concerns:**

Staff did not recommend approval of the “foam moulding” building material proposed for the architectural elevations and asked that it be substituted with an alternate material that exhibited a similar design or visual effect and has long term durability. The applicant brought a “Stone Cast” building material sample to the meeting for the Board’s consideration. The Board deemed the substitution acceptable.

The Board supported staff and the condition of approval that an alternate material to the “foam moulding” be utilized. However, the “Stone Cast” was not specified. Thus, an alternate material can be proposed at the applicant’s discretion with staff’s administrative approval.

**The applicant raised the following concerns:**

The engineering technical comments required relocation of existing utility poles out of the 2’ alley dedication area and moving them interior to the site. The applicant ascertained that after the 2’ alley dedication, the poles will be in the City right-of-way. As such, the City should be responsible for relocating the poles, in addition to any other existing poles along the same alley which will be unaligned if the subject poles were moved.

**Board comments:**

- The Board supported the applicant concerns regarding the City being responsible for relocation of the utility poles out of the alleyway. Thus, this condition was removed from the city engineering technical comments.
- The Board questioned why the brick paver sidewalk did not continue interior to the property. Instead, a concrete walkway is proposed. The Board preferred if the brick paver sidewalk would continue. However, the applicant indicated this was not cost effective.
- The Board also questioned why a striped awning was proposed instead of a solid color. The applicant indicated he had no concern with changing it to a solid color, if preferred by the Board.

**Board supported staff's recommended condition of approval, as follows:**

- Site Plan - Staff's recommended 5 conditions, with the exception that preliminary engineering technical comment #1 regarding light pole relocation be removed as indicated in "Appendix C" of the attached staff report.
- Landscape Plan – No conditions by staff or Board.
- Architectural Elevations – Staff's recommended condition regarding removal of the "foam moulding" as indicated in the attached staff report.

**Public input – noting comments and concerns:**

No members of the public spoke in opposition to or in support of the development proposal.

**Associated Actions:** None.

**Next Action:** None.

# SITE PLAN REVIEW AND APPEARANCE BOARD

## CITY OF DELRAY BEACH

### ---STAFF REPORT---

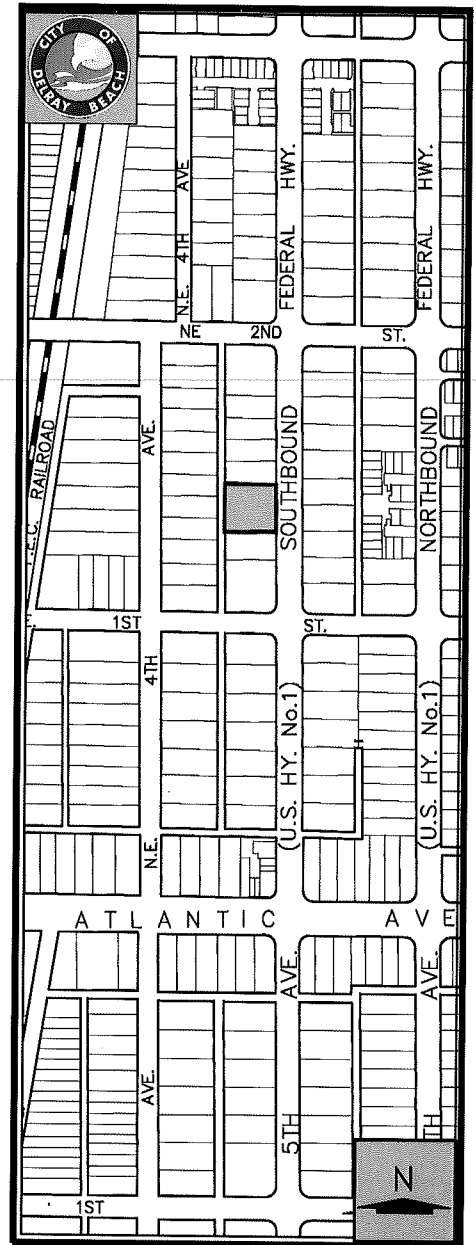
**MEETING DATE:** March 9, 2016

**ITEM:** **The Flossy Building** - Class V Site Plan, Landscape Plan and Architectural Elevations associated with demolition of the existing site and construction of a new 2-story mixed-use development with 6,540 sq. ft. of retail on the ground level and residential on the upper levels. (124 NE 5<sup>th</sup> Avenue)

**RECOMMENDATION:** Approve the Class V Site Plan, Landscape Plan, Architectural Elevations and Waiver Requests.

**GENERAL DATA:**

Owner.....	KH Delray at Fifth, LLC
Applicant.....	Flossy B. Building, LLC
Agent.....	Louis J. Carbone, P.A.
Location.....	On the west side of NE 5 <sup>th</sup> Avenue, between NE 1 <sup>st</sup> St. and NE 2 <sup>nd</sup> St.
Property Size.....	13,675 sq. ft. (0.3144 acres)
Future Land Use Map.....	CC (Central Core)
Current Zoning.....	CBD (Central Business District)
Adjacent Zoning.....	North: CBD (Central Business District) East: CBD (Central Business District) South: CBD (Central Business District) West: CBD (Central Business District)
Existing Land Use.....	Two (2) Vacant Structures
Proposed Land Use.....	New Mixed-Use Development
Water Service.....	Available On-Site
Sewer Service.....	Available On-Site



## ITEM BEFORE THE BOARD

The action before the Board is approval of the following aspects of a Class V Site Plan proposal for **The Flossy Building**, pursuant to LDR Section 2.4.5(F):

- ☐ Site Plan;
- ☐ Landscape Plan;
- ☐ Architectural Elevations; and,
- ☐ Waiver Requests

The site is located on the west side of NE 5<sup>th</sup> Avenue, between NE 1<sup>st</sup> St. and NE 2<sup>nd</sup> St. (124 NE 5th Avenue).

## BACKGROUND

The subject property is zoned CBD (Central Business District) and has a Central Core (CC) Future Land Use Map (FLUM) Designation. The existing site contains two vacant structures which were constructed in 1939 as single family residences and later converted to office use. The site measures 13,675 sq. ft. (0.3144 acres).

Now before the Board for consideration is a Class V Site Plan proposal to demolish all existing buildings and construct a new 2-story mixed-use development with 6,540 sq. ft. of retail on the ground level and residential on the upper levels.

## PROJECT DESCRIPTION

The development proposal includes, but is not limited to the following:

- Demolish all existing buildings;
- Construct a pharmacy on the ground level;
- Construct two residential units on the upper level;
- Provision of a soda fountain take-out retail establishment on the ground floor;
- Provision of a sidewalk café;
- Provision of a one-way vehicular accessible entry off of US1;
- Provision of a two-way vehicular accessible entry off the alley; and,
- Associated landscape and streetscape improvements

The development proposal also includes a waiver to the following section of the Land Development Regulations (LDRs):

- A waiver to LDR Section 4.6.16(H)(3)(d), which requires a minimum 5' landscape buffer to separate a parcel boundary line and a vehicular use area.
- A waiver to LDR Section 4.6.16(H)(3)(i), which requires a 9' terminal landscape island at the end of each parking row.



## SITE PLAN ANALYSIS

### COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

### LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub-district:

The following indicates that the proposed building complies with the CBD District - Central Core.

Pursuant to Table 4.4.13(C), the following development regulations are applicable to CBD Sub-districts:

FLOSSY BUILDING (CLV)		Central Core	NE 5 <sup>th</sup> Ave.	Alley
Lot Width		20 ft. min.	109.40'	109.40'
Lot Area = 13,675 sq. ft.		2,000 sf. min.		
A	Front Setback <sup>1</sup>	10' min.	10' min./	N/A
		/15' max.	<b>10' max.*</b>	
B	Side Setback <sup>1</sup> (north)	0 ft. min.	<b>26'11"*</b>	N/A
B	Side Setback <sup>1</sup> (south)	0 ft. min.	1'1"	N/A
C	Rear Setback	10 ft. min.	N/A	44'10"
E	Building Frontage Required on Primary Streets	75% min./	76.22%	N/A
		100%max		
Max. Height outside of the Atlantic Avenue Limited Height Area		4 Stories & 54 ft.	2 stories & 34'4" ft.	2 stories & 24'4" ft.
Max. Density = 9.4 du/ac		30 du/ac		

\* For Table 4.4.13(C) above, the items identified in **BOLD** are compliant. However, the plan notations must be updated.

<sup>1</sup> Side lot lines facing streets are regulated by front setback requirements. Side lot lines along alleys are regulated by rear setbacks.

Pursuant to Figure 4.4.13-5 (Central Core Regulating Plan), NE 5<sup>th</sup> Avenue is classified as a Primary Street. Thus, all development standards applicable to Primary Streets must be applied.

### Shared Parking:

Pursuant to LDR Section 4.6.9.C.8.a., see the following shared parking tabulations chart:

Pursuant to CBD: Table 4.4.13(K)	Parking Req.	Weekday Night	Weekday Day	Weekday Evening	Weekend Day	Weekend Evening
Residential/Guests	2.00	2.00	1.20	1.80	1.60	1.80
Office	0.00	0.00	0.00	0.00	0.00	0.00
Commercial/Retail	8.00	0.40	5.60	7.20	8.00	5.60
Hotel	0.00	0.00	0.00	0.00	0.00	0.00
Restaurant	0.00	0.00	0.00	0.00	0.00	0.00
Entertainment/Recreational	0.00	0.00	0.00	0.00	0.00	0.00
Other/Reserved	2.00	2.00	2.00	2.00	2.00	2.00
<b>Actual required</b>	<b>12.00</b>	<b>4.40</b>	<b>8.80</b>	<b>11.00</b>	<b>11.60</b>	<b>9.40</b>
<b>Total provided</b>	<b>12.00</b>	<b>4</b>	<b>9</b>	<b>11</b>	<b>12</b>	<b>9</b>
<b>Shared Parking Total</b>	<b>12.00</b>					

Per the shared parking calculations demonstrated above, 12 spaces are required and 12 spaces have been provided. Thus, this standard is met.

However, it should be noted that the 750 sq. ft. associated with the Soda Fountain Machine is considered a retail use, not a restaurant use which would require a higher parking rate at 6 per 1,000 sq. ft. As such, no seating is provided interior to the building. Should future utilization of this area be changed to restaurant use, then a subsequent site plan modification will be deemed necessary for the change of use and reallocation of required parking to accommodate the restaurant dining and seating area.

### Bicycle Parking:

Bicycle parking is calculated pursuant to Table 4.4.13(L), Minimum Number of Bicycle Parking Spaces Required in the CBD for commercial and residential uses. A minimum of nine bicycle parking spaces is required as calculated below:

Table 4.4.13(L)	Site (sq. ft.)	Minimum Number of Bicycle Parking Spaces Required in the CBD	Required
<b>Commercial Uses</b>			
Retail, Restaurant, and Commercial Uses	4,050	2 space per 1,000 sf. of gross floor area	8
<b>Residential</b>			
Residential < 50 units	2	1 space per 2 units	1
		<b>Total</b>	<b>9</b>

Plans indicate a bicycle racks to accommodate 10 bicycles, which satisfies this requirement.

### **Handicap Accessible Parking:**

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction. Pursuant to the Florida Accessibility Code for Building Construction, one parking space serving the development must be handicap accessible. Based upon the single ADA compliant handicap parking space provided, this standard is met.

### **Refuse Enclosure:**

Since the current location and position the proposed dumpster enclosure may potentially conflict with ingress and egress from the two-way 24' drive aisle, provision of a truck turning template to demonstrate how the dumpster truck will maneuver in and out of the alleyway to accommodate regular trash pick-up is requested. Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three (3) sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way. The dumpster detail indicates that this requirement has been met. However, provision of the dumpster truck detail is attached as a condition of approval. Upon doing so, this LDR requirement will be met.

### **Lighting:**

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The details provided indicate that all pole mounted light fixtures do not exceed the 25' maximum height requirement. Cut sheets have also been provided for any proposed free-standing and wall-mounted light fixtures. The photometric plan meets the minimum and maximum foot candle allowances. It is noted that 0.25 spillage onto adjacent properties is cut-off at their property lines. Thus, this standard is met.

### **Minimum Streetscape Width:**

Pursuant to LDR Section 4.4.13(E)(2)(a), the combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than fifteen feet (15') in width, measured from the back of curb. The streetscape area shall be organized as follows:

<b>Streetscape Standards</b>	<b>Minimum Standard</b>	<b>Proposed Design</b>
Curb Zone	4'0"	5'5"
Pedestrian Zone	6'0"	6'0"
Remaining Front Setback Area	5'0"	10'0"
<b>Total Streetscape Width</b>	<b>15'0"</b>	<b>21'5"</b>

As demonstrated in the table above, the proposal complies with the required streetscape standards.

### **Ground Story Height:**

Pursuant to LDR Section 4.4.13(D)(1)(a)(4), the ground story of commercial or mixed-use buildings shall be a minimum of twelve feet tall. The plans demonstrate compliance on the ground level as measured from the finished floor to finished ceiling at a minimum height of 12'0".

### **Upper Story Height:**

Pursuant to LDR Section 4.4.13(D)(1)(a)(6), each story above the ground story in all buildings must be at least nine feet tall. The building sections demonstrate compliance on all upper stories as measured from the finished floor to finished ceiling at a minimum height of 10'0".

### **Separation Between Entrances:**

Pursuant to LDR Section 4.4.13(E)(3)(Building Entrances), on the ground level there shall be no more than seventy-five foot separation between entrances along a Primary Street for all non-residential uses. The entrances along South Federal Highway comply, with a maximum building entrance separation of 33' feet.

### **One Bedroom Units:**

Pursuant to LDR Section 4.4.13(D)(1)(d)(1), one bedroom units may total up to 55%, if no efficiency/studio units are proposed. Currently, 50% one bedroom units are proposed, which meets this requirement.

### **Residential Floor Area:**

The following table indicates that the proposal complies with LDR Section 4.3.4(K) - Minimum Residential Floor Area. There are a total of 2 units. As demonstrated in the chart below, this LDR requirement has been met.

Dwelling Size	Standard (Sq. Ft.)	Provided (Sq. Ft.)	Total Units	Compliance with LDR Requirements?	
				Yes	No
Efficiency	400	0	0	N/A	
1 Bedroom Units	600	1,152	1	•	
2 Bedroom Units	900	1,165	1	•	
3 Bedroom Units	1,250	N/A	0	N/A	
4 Bedroom Units	1,500	N/A	0	N/A	

### **Storefront and Glazing Area:**

Pursuant to LDR Section 4.4.13 (E)(4)(b)( e)(1)(a), (b), and (c) the storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefront Dimensions Table 1 provides the dimensional requirements for all elements contained in a storefront as indicated in the chart below:

<b>Table 1</b>	<b>Dimensional Requirements</b>		
<b>Commercial Storefronts</b>	<b>Minimum Required</b>	<b>Maximum Allowed</b>	<b>Proposed</b>
Building Setback	10 ft.	15 ft.	10 ft.
Storefront Width	N/A	75' on Required Retail Streets	70'*
Storefront Base	9 in.	3 ft.	1 ft. 4 in.
Glazing Height	8 ft.	-	9 ft.
Required Openings	80%	-	70%**
Awning Projection	3 ft.	-	3 ft.

\*The storefront parallel to the Primary Street is 70'. The building frontage (83'1") includes recessed areas.

\*\*At the time of submittal of the Flossy Building on October 6, 2015, prior to approval of Ordinance 28-15, only a 70% glass storefront was required, which is represented in the proposed plans.

As indicated in the chart above, The Flossy Building meets all dimensional requirements for those elements contained in a commercial storefront, as of the date of their application submittal.

### **LDR Section 6.1.8 (Undergrounding of Utilities):**

Pursuant to Section 6.1.8 (Undergrounding of Utilities), utility facilities serving the development (i.e. electric, phone, cable) shall be located underground throughout the development. Therefore, the utility services for the proposed structure must be placed underground and a note to this effect shall be included on the proposed site plan. This shall replace the current note "All existing underground utilities to be left undisturbed as noted". This is a condition of approval.

## LANDSCAPE PLAN ANALYSIS

The landscape plan submitted has been evaluated by the City Landscape Senior Planner. The landscape plan provides a variety of ground cover and tree specimens and calls for various native plants as well as plants that are suitable for the local climate. Two waivers have been requested. The first is a waiver to the terminal landscape island requirement. This is necessary to accommodate the proposed stairwells at the southwest corner of the building. A terminal landscape island waiver is requested for the east end of the 2-space parking row and the south end of the 5-space parking row adjacent the rear of the building. Additionally, a waiver to the 5' perimeter landscape buffer is requested along the south and west property lines. Due to the alley right-of-way dedication and the limited lot size, the waiver is deemed necessary to adequately accommodate the proposed on-site parking configuration. Upon approval of these waiver requests, the proposed landscape plan will be deemed compliant with LDR Section 4.6.16. The waivers are analyzed in the following to sections.

### TERMINAL LANDSCAPE ISLAND - WAIVER ANALYSIS

The applicant has requested a waiver to LDR Section 4.6.16(H)(3)(i), which requires terminal landscape islands to be located at the end of each parking row and have a minimum width of 9' and depth of 15' for a total of 135 sq. ft. Specifically, the terminal landscape island waiver is requested for the east end of the 2-space parking row and the south end of the 5-space parking row adjacent the rear of the building. This is necessary to accommodate the proposed stairwells at the southwest corner of the building.

#### CBD Waiver Criteria:

Pursuant to LDR Section 4.4.13(K)(8)(b)(2) - Waivers, in addition to the findings in LDR Section 2.4.7(B)(5), within the CBD, the following standards shall be considered when reviewing waiver requests:

- (a) The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.
- (b) The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.
- (c) The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/pedestrian master plan.
- (d) The waiver shall not reduce the quality of civic open spaces provided.

#### LDR Required Findings:

Pursuant to LDR Section 2.4.7(B)(5), prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and,
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

**The following verbatim justification has been provided by the applicant (*in italics*):**

*"The Building requires an access stairwell to the second story in the rear of the Building as well as rear access for services. The requirement for a nine (9) foot terminal landscape island will*

*eliminate the required stairwell access and rear access for services for the Building. In lieu of this requirement, the Applicant has provided (a) the nine (9) foot terminal landscape island on one side (North Side) of the parking row directly behind the Building and a smaller landscape strip on the South side of this parking row (b) a fully landscaped dumpster area at the south west corner of the south parking row along; and (c) additional landscape areas along the North property boundary have been provided and a larger terminal landscape islands ( 11'2' and 12' 1') have been provided along the West parking row. Finally, the parking row along the south boundary of the Property only has two (2) parking stalls (total 18 feet wide) adding an additional nine (9) foot (total 18 feet) terminal landscape island on each end is excessive and not necessary as the customary application of this LDR requirement is for larger parking rows.*

- (a) The Waiver Request does not adversely affect the neighboring area since there are many existing buildings on, adjacent to or along US -1 in the Central Business District (CBD) that do not presently have nine (9) foot terminal landscape islands on each ends of parking rows. Additionally the Applicant has provided larger landscape areas for the Project.*
- (b) The Waiver Request does not significantly diminish the provision for public facilities as the waiver has no impact on existing public facilities or is it expected that any future public facilities.*
- (c) The Waiver Request does not create an unsafe condition or situation as there is sufficient space still provided at the end of each parking row.*
- (d) The Waiver Request does not grant special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. Given that there are many existing properties located in and adjacent to US-1 in the Central Business District (CBD) which do not have a nine (9) foot terminal landscape islands on each ends of parking rows the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege."*

#### Staff Assessment of CBD Standards and Required Findings:

The City concurs with the applicant's request for the waiver to LDR Section 4.6.16(H)(3)(i), which requires terminal landscape islands to be located at the end of each parking row and have a minimum width of 9' and depth of 15' for a total of 135 sq. ft. Specifically, approval of the waiver shall not result in an inferior pedestrian experience because the affected area where the landscape islands would be located is interior to the site. The waiver also has no effect on any civic open spaces, since none are required for this site. Therefore, the request for the waiver substantially meets the standards of LDR Section 4.4.13(K)(8)(b)(2).

Granting the requested waiver will not have an adverse effect on the neighboring area and will not create and unsafe situation, because of its obscure location in the southwest corner of the site, visibility and accessibility is limited. The location is more appropriately utilized for the proposed stairwells. The waiver would be supported under similar circumstances and therefore will not result in the granting of a special privilege. Consequently, a positive finding with respect to LDR Section 2.4.7(B)(5) can be made for the a waiver to LDR Section 4.6.16(H)(3)(i), which requires terminal landscape islands to be located at the end of each parking row and have a minimum width of 9' and depth of 15' for a total of 135 sq. ft.

#### **PERIMETER LANDSCAPE BUFFER - WAIVER ANALYSIS**

The applicant has requested a waiver to LDR Section 4.6.16(H)(3)(d), which requires a minimum 5' landscape buffer to separate a parcel boundary line and a vehicular use area. Specifically, the 5' perimeter landscape buffer is requested along the south and west property lines. Due to the alley right-of-way dedication and the

limited lot size, the waiver is deemed necessary to adequately accommodate the proposed on-site parking configuration.

CBD Waiver Criteria:

Pursuant to LDR Section 4.4.13(K)(8)(b)(2) - Waivers, in addition to the findings in LDR Section 2.4.7(B)(5), within the CBD, the following standards shall be considered when reviewing waiver requests:

- (a) The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.
- (b) The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.
- (c) The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/pedestrian master plan.
- (d) The waiver shall not reduce the quality of civic open spaces provided.

LDR Required Findings:

Pursuant to LDR Section 2.4.7(B)(5), prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and,
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

**The following verbatim justification has been provided by the applicant (*in italics*):**

- “(a) The subject vehicular use area on the South Side of the proposed parking lot consists of two (2) perpendicular parking spaces #6 and #7. The length of relief requested by the waiver is only the width of the parking spaces (approximately 18 feet). The application of a 5' landscape buffer will result in the spaces having to be set back into the drive areas into rear alley access way to the East and will also block existing parking spaces to the West thus eliminating required parking for the Site as well as required 2-Way alley access; and*
- (b) There is an existing alley along the West perimeter of the Site. At this City's request the Applicant will be providing a two (2) foot alley dedication in connection with the Project. As a result of this dedication, the landscape area buffer has been reduced in the area where the parking stalls are located (spaces 8-12) to allow for the required parking and required site circulation for two way alley access. The reduction in the buffer is minimal and additional landscaping areas have been provided on the North and South of these parking spaces.*

*In addition, for the following reasons the waiver should be granted:*

1. *The Waiver Request does not adversely affect the neighboring area since a majority of the Building is located on the South property line adding a buffer will have no adverse affect. Additionally the Applicant has provided larger landscape areas for the Project.*
2. *The Waiver Request does not significantly diminish the provision for public facilities as the waiver has no impact on existing public facilities or is it expected that any future public facilities.*
3. *The Waiver Request does not create an unsafe condition or situation as there is sufficient space still provided at the end of each parking row.*
4. *The Waiver Request does not grant special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. There are many existing properties located in the Central Business District (CBD) which do not have a 5' foot landscape buffer adjacent to vehicular use areas the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege. Also, given that there are many existing properties located in the Central Business District (CBD) along the alley areas where either (a) no landscape buffer exists or (b) as a result of a dedication to the alley the landscape buffer has been likewise reduced the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege."*

Staff Assessment of CBD Standards and Required Findings:

The City concurs with the applicant's request for the waiver to 4.6.16(H)(3)(d), which requires a minimum 5' landscape buffer to separate a parcel boundary line and a vehicular use area. Specifically, approval of the waiver shall not result in an inferior pedestrian experience because neither location is along a Primary Street. The buffer to the south abuts an interior lot. The buffer to the west is along an alley. With an existing mixed-use building existing within a few feet of the south property line, there is little to no likelihood that this will jeopardize pedestrian traffic. The waiver also has no effect on any civic open spaces, since none are provided. Therefore, the request for the waiver substantially meets the standards of LDR Section 4.4.13(K)(8)(b)(2).

Granting the requested waiver will not have an adverse effect on the neighboring area and will not create and unsafe situation, because the adjacent land uses to the south and west are also commercial. To the west, the parking row is buffered by an existing 16' alley. To the south, the parking row will be adjacent to a building extending the full length of the adjacent parcel boundary. The waiver would be supported under similar circumstances and therefore will not result in the granting of a special privilege. Consequently, a positive finding with respect to LDR Section 2.4.7(B)(5) can be made for the a waiver to LDR Section 4.6.16(H)(3)(d), which requires a minimum 5' landscape buffer to separate a parcel boundary line and a vehicular use area.

<b>ARCHITECTURAL ELEVATIONS ANALYSIS</b>
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Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.



2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed building's architectural elevations will enhance the image of the City and the US1 Northbound corridor. The building has been designed with an Art Deco style of architecture, which is identified as one of seven permitted architectural styles in LDR Section 4.4.13(F)(3)(a). It is noted, however, that the application was submitted prior to the approval of the architectural design guidelines via Ord. No. 28-15 on Dec. 2, 2015. As such, the architectural standards in LDR Section 4.6.18(E) are applicable.

The architect has chosen a Benjamin Moore color palette which includes a white anodized clear glass storefront with black and white striped canvas awnings, an "Ice Mist" stucco body with "Orange Burst" accent colors. The façade will have a satin finish. The doors will also be "Ice Mist" with an enamel finish. The railings will match the accent color "Orange Burst" and have a powder coat finish. There will be 30" x 30" stucco scoring square which compliments the middle banding. A decorative fin supports the entry awning at the northeast corner.

While it is not explicitly stated in the most recent updates to the LDRs and architectural guidelines, ongoing discussion regarding the discouragement, and potential prohibition of "foam moulding" continues, due to its lack of long term durability. As such, staff is recommending that this feature element be modified to reflect stucco banding or an alternate material to produce the desired visual effect proposed by the "foam moulding". This is a staff recommendation that is at the Board's discretion. However, it is recommended as a condition of approval for the proposed architectural elevations.

Pursuant to LDR Section 4.6.18(B)(14)(ii)(3)(Treatment of Blank Walls), architectural design elements must be proposed to reduce blank wall space in the Downtown Area. The architect has included additional treatments to the blank wall space on the south and west elevations consisting of equidistant scored stucco squares to satisfy this requirement.

The proposed architectural building is a high quality design product that will be compatible with the neighboring properties and will further enhance the image of the City and the North Federal Highway corridor. Based upon the above, the proposal will be consistent with the criteria established in LDR Section 4.6.18(E), upon addressing the staff recommended condition of approval.

#### **REQUIRED FINDINGS**

##### **REQUIRED FINDINGS: (Chapter 3):**

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

**FUTURE LAND USE MAP:** The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation).

The subject property has a Future Land Use Map designation of CC (Commercial Core), and a zoning designation of CBD (Central Business District). The CBD zoning is consistent with the Commercial Core FLUM designation. Pursuant to Table 4.4.13(A), Allowable Uses in the CBD Sub-Districts, in the Central Core,

principle uses “P” include retail and multiple family dwellings. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map (FLUM) designation.

**CONCURRENCY:** Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

As described in Appendix “A”, a positive finding of concurrency can be made as it relates to applicable standards such as water and sewer, streets and traffic, drainage, solid waste and schools.

**CONSISTENCY:** Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objective was found:

**Future Land Use Element - Objective A-1:** Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed mixed-use development will be a welcome addition to the downtown CBD (Central Business District) district. The proposed pharmacy and retail use is compatible and consistent with other existing establishments in the downtown area. Therefore, the proposed development will be complementary to adjacent land uses.

**Transportation Element Policy D-2.2:** Bicycle parking facilities shall be required on all new development and redevelopment. Particular emphasis is to be placed on development within the TCEA Area.

Bicycle Parking requirements are applied to new development, expansion of an existing use, and changes of use. The proposed project has provided bicycle racks to accommodate 10 bicycle parking spaces. Thus, this LDR requirement is met.

**COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs):** Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made.

**LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings):** The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following zoning designations and uses are abutting the subject property:

	<i>Zoning Designation:</i>	<i>Land Use:</i>
<i>North:</i>	CBD (Central Business District)	Single Family Residence
<i>South:</i>	CBD (Central Business District)	Mixed-Use Office, Retail and Residential Building
<i>East:</i>	CBD (Central Business District)	5 <sup>th</sup> Avenue at Delray Condominiums
<i>West:</i>	CBD (Central Business District)	Office, Retail and Multi-Family Residential Buildings

To the north is an existing single family residence, which is a nonconforming use in the CBD. Future development of the site to the north will be more compatible with the proposed use. However, to mitigate impacts a larger perimeter buffer and extensive landscaping including existing and proposed trees and groundcover is provided on the north side. The resident also has the option to install fencing along the property line for additional buffering efforts, as deemed necessary. To the south is an existing retail and office building with residential accommodations. To the east, across US1, is the existing 5<sup>th</sup> Avenue at Delray Condominiums. The site is abutted by three properties across the alley to the west. The uses include an existing retail store establishment, mixed-use office, retail and residential building, and a multi-family development. The alley to the west buffers the adjacent use, which are compatible and consistent with allowed use in CBD Zoning. Adjacent rights-of-way also buffer the existing condominium development on the east. The existing mixed-use building to the south is compatible with the Flossy Building mixed-use development. Therefore, the development proposal is consistent with typical development in the Central Core (CC) of the Central Business District (CBD). Thus, a finding can be made that the use will not have a detrimental effect upon the stability of the downtown, nor will it hinder the development or redevelopment of nearby properties. Thus, positive findings can be made pursuant to LDR Section 2.4.5(F)(5).

#### **REVIEW BY OTHERS**

The development proposal is not located in an area which requires review by the Pineapple Grove Main Street (PGMS) or West Atlantic Redevelopment Coalition (WARC).

#### **Community Redevelopment Agency:**

At its meeting of January 14, 2016, the CRA (Community Redevelopment Agency) reviewed the development proposal and reached a consensus to recommend approval.

#### **Downtown Development Authority:**

At the meeting of January 11, 2016, the DDA (Downtown Development Authority) reviewed the development proposal and reached a consensus to recommend approval.

#### **Courtesy Notices:**

Courtesy notices have been provided to the following associations that have requested notice of developments in their areas:

- Delray Citizen's Coalition
- Downtown Development Authority

#### **Public Notices:**

To date, no letters of objection and/or support have been received. Any additional letters of objection and/or support received after the report has been prepared, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

#### **ASSESSMENT AND CONCLUSION**

The Class V Site Plan development proposal is associated with demolition of all existing buildings and construction of a new 2-story mixed-use development containing 4,050 sq. ft. of retail on the ground level and two residential units totaling 2,490 sq. ft. on the upper levels. One waiver to the terminal landscape island requirement is requested and supported by staff to accommodate a stairwell serving the second level residences providing accessibility from the southwest corner of the site. Another waiver to the 5' perimeter landscape buffer requirement is requested and supported by staff to accommodate the proposed on-site parking lot configuration. Due to limited parcel size and the two foot alley dedication, reduced perimeter landscape buffers are necessary. Staff supports the Art Deco building design, which is one of seven preferred

styles in the CBD Zoning District. However, staff does not support the use of foam moulding and requests that this feature element be replaced with a more durable but equally aesthetic architectural element. The mixed-use development will be consistent with the current policies and objectives of the Comprehensive Plan and Chapter 3 of the Land Development Regulations, subject to the conditions as indicated in the staff report. Therefore, positive findings can be made with respect to Section 2.4.5(F)(5).

#### ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Waivers, Class V Site Plan, Landscape Plan and Architectural Elevations for **The Flossy Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 2.4.7(B)(5), 4.4.13(K)(8)(b)(2), 4.6.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations, subject to conditions.
- C. Move denial of the Waivers, Class V Site Plan, Landscape Plan and Architectural Elevations for **The Flossy Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5), 2.4.7(B)(5), 4.4.13(K)(8)(b)(2), 4.6.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

#### RECOMMENDED ACTION

##### By Separate Motions:

##### Terminal Landscape Island Waiver:

Move approval of the requested waiver to LDR Section 4.6.16(H)(3)(i), which requires a 9' terminal landscape island at the end of each parking row, due to positive findings identified in the staff report and consistency with LDR Sections 4.4.13(K)(8) and 2.4.7(B)(5).

##### Perimeter Landscape Buffer Waiver:

Move approval of the requested waiver to LDR Section 4.6.16(H)(3)(d), which requires a minimum 5' landscape buffer is required to separate a parcel boundary line and a vehicular use area, due to positive findings identified in the staff report and consistency with LDR Sections 4.4.13(K)(8) and 2.4.7(B)(5).

##### Site Plan:

Move approval of the Class V site plan and architectural elevations for **The Flossy Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations, subject to the following conditions:

1. Provide revised civil drawings which satisfy the preliminary engineering technical comments identified in the attached "Appendix C", prior to site plan certification.
2. Pursuant to Section 6.1.8 (Undergrounding of Utilities), utility facilities serving the development (i.e. electric, phone, cable) shall be located underground throughout the development. Therefore, the utility services for the proposed structure must be placed underground and a note to this effect shall be included on the proposed site plan. This shall replace the current note "All existing underground utilities to be left undisturbed as noted", prior to certification of the site plan.
3. Since the current location and position the proposed dumpster enclosure may potentially conflict with ingress and egress from the two-way 24' drive aisle, provision of a truck turning template to

demonstrate how the dumpster truck will maneuver in and out of the alleyway to accommodate regular trash pick-up is required, prior to certification of the site plan.

4. That no seating is provided in the 279 sq. ft. indoor area adjacent to the Soda Fountain machine.
5. That the site plan, associated data charts and all plan notations are corrected for accuracy and to reflect consistency with the staff report, prior to site plan certification.

Landscape Plan:

Move approval of the Landscape Plan for **The Flossy Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in 4.6.16, Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations.

Architectural Elevations:

Move approval of the architectural elevations for **The Flossy Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets criteria set forth in Section 4.6.18(E), and Section 4.4.13 (F)(3) of the Land Development Regulations, subject to the following condition:

1. Replace the “foam moulding” with an alternate material or design that exhibits a similar visual effect (i.e. stucco banding) and has long term durability. This feature element is not preferred and is inconsistent with the recently established CBD architectural design guidelines.

---

Staff Report Prepared by: *Candi Jefferson, Senior Planner*

Attachments: *Site Plan, Landscape Plan, Architectural Elevations, Waiver Justifications, Appendix “A”, Appendix “B” & Appendix “C”*

## **APPENDIX "A"**

### **CONCURRENCY FINDINGS**

**Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:**

*Water and Sewer:*

- Water Service is available via an existing 8" water main within the adjacent rear alley r.o.w. to the west.
- Sewer Service is available via an existing 8" sewer main within the adjacent rear alley r.o.w. to the west.

Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

*Streets and Traffic:*

It is noted that the site is located within the City's Transportation Concurrency Exception Area (TCEA), which encompasses the CBD, CBD-RC and OSSHAD. The TCEA exempts the above-described areas from complying with the Palm Beach County Traffic Performance Standards Ordinance. Therefore, a traffic study is not required for concurrency purposes. However, a traffic statement was prepared which indicates that The Flossy Building will generate an increase of 240 daily trips, 23 am peak trips and 20 pm peak hour trips. The Palm Beach County Traffic Division has issued a traffic concurrency determination letter on February 1, 2016 indicating the development proposal compliance with Palm Beach County traffic standards and is valid through build-out on December 31, 2020.

*Parks and Recreation Facilities:*

Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per each new dwelling unit will be collected prior to issuance of a building permit for the proposed two new residential units. A total fee of \$1,000 will be required of this development for parks and recreation purposes, prior to building permit issuance.

*Solid Waste:*

The existing two vacant office buildings (1,120 sq. ft.) generate 3.02 tons of solid waste per year. The proposed mixed-use development with two residences and 4,050 sq. ft. of retail use will generate 24.63 tons of solid waste per year. There is a 21.61 ton net increase in solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

*Schools:*

The Palm Beach County School District has approved the development proposal for compliance with the adopted Level of Service for School Concurrency. Written verification from the Palm Beach County School District was received on December 3, 2015 and is valid until December 2, 2016.

*Drainage:*

Drainage will be accommodated on site via installation of two catch basins in the parking lot area with a 3' x 3' French drain. There are no problems anticipated with respect to drainage as it relates to this standard.

**APPENDIX B**  
**STANDARDS FOR SITE PLAN ACTIONS**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable	X
Meets intent of standard	
Does not meet intent	

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable	X
Meets intent of standard	
Does not meet intent	

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable	X
Meets intent of standard	
Does not meet intent	

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's**

**demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable	
Meets intent of standard	X
Does not meet intent	

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable	X
Meets intent of standard	
Does not meet intent	



**APPENDIX C**  
**PRELIMINARY ENGINEERING TECHNICAL COMMENTS**

1. Civil plans shows an existing utility pole in alley, please indicate plans to relocate out of traffic area.
2. Clearly indicate limits of alley restoration in 2' area to be dedicated.
3. Florida Department of Transportation (FDOT) permit(s) required for this project per LDR Section 2.4.2 (C) (2) (c). Submit copy of FDOT pre-application letter.
4. Provide letter. In accordance with LDR Section 7.1.3 (B) (2), if finished floor elevation is less than 18-inches above centerline of adjacent road, but above the 100-year storm or National Flood Insurance minimum elevations, then a letter is required from a professional registered engineer certifying that the drainage conditions have been investigated and the proposed floor elevation is above the flooding level. It must be shown that the property will have adequate drainage to ensure that flooding will not occur in a 100-year, 3-day storm event.
5. Provide a Composite Utility Plan signed by a representative of each utility provider attesting to the fact that services (water, sewer, drainage, gas, power, telephone and cable) can be accommodated as shown on the Composite Utility Plan. The Composite Utility Plan needs to address the responsibility for relocation of existing services and installation of new services in accordance with LDR Section 2.4.3 (F) (4). Composite Utility Plan is also used to ensure physical features do not conflict with each other and existing or proposed utility services.
6. Please Resubmit Through The Planning and Zoning Department; and Clearly Indicate Which Documents Are For The Engineering Division. Also, Ensure A Complete Set Of Plans Is Provided For The Engineering Division.
7. Additional comments may follow after review of revised plans.



CITY OF DELRAY BEACH, FL  
PLANNING & ZONING DEPARTMENT

SUBJECT  
PROPERTY



# **FLOSSY BUILDING** 124 NE 5TH AVENUE LOCATION MAP

-- DIGITAL BASE MAP SYSTEM --

MAP REF: S:\Planning & Zoning\DBMS\File-Cob\Z-LM 1001-1500\LM1511\_flossy building\_124 NE 5TH Avenue

# LOUIS J. CARBONE, P.A.

A PROFESSIONAL ASSOCIATION

90 SE 4th AVENUE SUITE 1  
DELRAY BEACH, FL 33483

(561) 272-0282  
FAX (561) 272-6013  
E-MAIL: [LJCLEGAL@AOL.COM](mailto:LJCLEGAL@AOL.COM)

MEMBER OF FL, N.Y., NJ\*,  
Ct. & D.C. BARS

\*In House Counsel

**NEW JERSEY OFFICE**  
70 Hudson Street  
Penthouse Suite  
Hoboken, New Jersey 07030

**NEW YORK OFFICE**  
254 Katonah Avenue  
Katonah, New York 10536

December 23, 2015

Candi Jefferson Senior Planner  
Planning and Zoning Department  
City of Delray Beach  
100 N.W. 1st. Avenue  
Delray Beach, Florida 33444

**RE: Waiver Request LDR Section 4.6.16(H)(3)(d) & 4.6.16(H)(3)(i)**  
**Project: The Flossy B. Building**  
**Property Location: 124 N.E 5<sup>th</sup> Avenue Delray Beach FL.**

Dear Ms. Jefferson:

As agent for and on behalf of **The Flossy B. Building LLC** the owner of the above premises, we hereby submit this Waiver Request with respect to the above Land Development Regulations (LDR) in connection with the above referenced Class V Site Plan application.

**Background:** The Project consists of the new construction of a two-story building with commercial and residential uses with any approximate size of 6,540 Square feet located in the Central Business District (CBD) at 124 N.E 5<sup>th</sup> Avenue Delray Beach FL and to be known as The Flossy B Building ("Building")

**LDR Requirement:** LDR Section 4.6.16(H)(3)(i) requires a nine foot terminal landscape islands at each end of a parking row

**Waiver Request:** To eliminate the LDR landscape requirement for a nine (9) foot terminal landscape islands at each end of a parking row

**Waiver Justification:** The Waiver Request is justified for the following reasons:

The Building requires an access stairwell to the second story in the rear of the Building as well as rear access for services. The requirement for a nine (9) foot terminal landscape island will eliminate the required stairwell access and rear access for services for the Building. In lieu of this requirement, the Applicant has provided (a) the nine (9) foot terminal landscape island on one side (North Side) of the parking row directly behind the Building and a smaller landscape strip on the South side of this parking row (b) a fully landscaped dumpster area

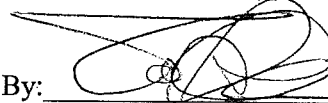
at the south west corner of the south parking row along; and (c) additional landscape areas along the North property boundary have been provided and a larger terminal landscape islands ( 11'2' and 12' 1') have been provided along the West parking row. Finally, the parking row along the south boundary of the Property only has two (2) parking stalls (total 18 feet wide) adding an additional nine (9) foot (total 18 feet) terminal landscape island on each end is excessive and not necessary as the customary application of this LDR requirement is for larger parking rows.

- (a) The Waiver Request does not adversely affect the neighboring area since there are many existing buildings on, adjacent to or along US -1 in the Central Business District (CBD) that do not presently have nine (9) foot terminal landscape islands on each ends of parking rows. Additionally the Applicant has provided larger landscape areas for the Project.
- (b) The Waiver Request does not significantly diminish the provision for public facilities as the waiver has no impact on existing public facilities or is it expected that any future public facilities.
- (c) The Waiver Request does not create an unsafe condition or situation as there is sufficient space still provided at the end of each parking row.
- (d) The Waiver Request does not grant special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. Given that there are many existing properties located in and adjacent to US-1 in the Central Business District (CBD) which do not have a nine (9) foot terminal landscape islands on each ends of parking rows the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege.

Based on the foregoing, we request this Waiver Request from LDR Section 4.6.16(H)(3)(i) be granted in connection with the subject Site Plan Application.

We have enclosed a check for \$500.00 for the Waiver Request fee payable to the City of Delray Beach.

LOUIS J. CARBONE, P.A.

By: 

LOUIS J. CARBONE

LJC/aja

cc: The Flossy B Building LLC

File

RECEIVED BY

FEB 16 2016

City of Delray Beach  
Planning & Zoning

**LOUIS J. CARBONE, P.A.**

A PROFESSIONAL ASSOCIATION

90 SE 4th AVENUE SUITE 1  
DELRAY BEACH, FL 33483

(561) 272-0282

FAX (561) 272-6013

E-MAIL: [LJCLEGAL@AOL.COM](mailto:LJCLEGAL@AOL.COM)

MEMBER OF FL, N.Y., NJ\*,  
Ct. & D.C. BARS

\*In House Counsel

**NEW JERSEY OFFICE**

70 Hudson Street  
Penthouse Suite  
Hoboken, New Jersey 07030

**NEW YORK OFFICE**

254 Katonah Avenue  
Katonah, New York 10536  
February 11, 2016

Candi Jefferson Senior Planner  
Planning and Zoning Department  
City of Delray Beach  
100 N.W. 1st. Avenue  
Delray Beach, Florida 33444

**RE: Waiver Request LDR Section 4.6.16(H)(3)(d)**  
**Project: The Flossy B. Building**  
**Property Location: 124 N.E 5<sup>th</sup> Avenue Delray Beach FL.**

Dear Ms. Jefferson:

As agent for and on behalf of **The Flossy B. Building LLC** the owner of the above premises, we hereby submit this Waiver Request with respect to the above Land Development Regulations (LDR) in connection with the above referenced Class V Site Plan application.

**Background:**

The Project consists of the new construction of a two-story building with commercial and residential uses with any approximate size of 6,540 Square feet located in the Central Business District (CBD) at 124 N.E 5<sup>th</sup> Avenue Delray Beach FL and to be known as The Flossy B Building ("Building")

**LDR Requirement:**

LDR Section 4.6.16(H)(3)(d) requires a five foot (5') wide perimeter landscape buffer is required adjacent to a vehicular use area.

**Waiver Request:**

To eliminate the LDR Landscape buffer requirements for (a) five foot (5') wide perimeter landscape buffer adjacent to a vehicular use area on the South Side of the proposed parking lot and (b) a five foot (5') wide free of vehicular encroachment on the West Side of the site (the non-encroachment area is less than 5 feet).

**Waiver Justification:** The Waiver Request is justified for the following reasons:

- (a) The subject vehicular use area on the South Side of the proposed parking lot consists of two (2) perpendicular parking spaces #6 and #7. The length of relief requested by the waiver is only the width of the parking spaces (approximately 18 feet). The application of a 5' landscape buffer will result in the spaces having to be set back into the drive areas into rear alley access way to the East

and will also block existing parking spaces to the West thus eliminating required parking for the Site as well as required 2-Way alley access; and

- (b) There is an existing alley along the West perimeter of the Site. At this City's request the Applicant will be providing a two (2) foot alley dedication in connection with the Project. As a result of this dedication, the landscape area buffer has been reduced in the area where the parking stalls are located (spaces 8-12) to allow for the required parking and required site circulation for two way alley access. The reduction in the buffer is minimal and additional landscaping areas have been provided on the North and South of these parking spaces.

In addition, for the following reasons the waiver should be granted:

1. The Waiver Request does not adversely affect the neighboring area since a majority of the Building is located on the South property line adding a buffer will have no adverse affect. Additionally the Applicant has provided larger landscape areas for the Project.
2. The Waiver Request does not significantly diminish the provision for public facilities as the waiver has no impact on existing public facilities or is it expected that any future public facilities.
3. The Waiver Request does not create an unsafe condition or situation as there is sufficient space still provided at the end of each parking row.
4. The Waiver Request does not grant special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner. There are many existing properties located in the Central Business District (CBD) which do not have a 5' foot landscape buffer adjacent to a vehicular use areas the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege. Also, given that there are many existing properties located in the Central Business District (CBD) along the alley areas where either (a) no landscape buffer exists or (b) as a result of a dedication to the alley the landscape buffer has been likewise reduced the same waiver would be granted under similar circumstances on other property for another applicant or owner and would not create a special grant or privilege

Based on the foregoing, we request this Waiver Request from LDR Section 4.6.16(H)(3)(d) be granted in connection with the subject Site Plan Application as justified above.

We have enclosed checks for \$1,000.00 for the Waiver Request fee payable to the City of Delray Beach.

LOUIS J. CARBONE, P.A.

By: 

LOUIS J. CARBONE

LJC/aja

cc: The Flossy B Building LLC

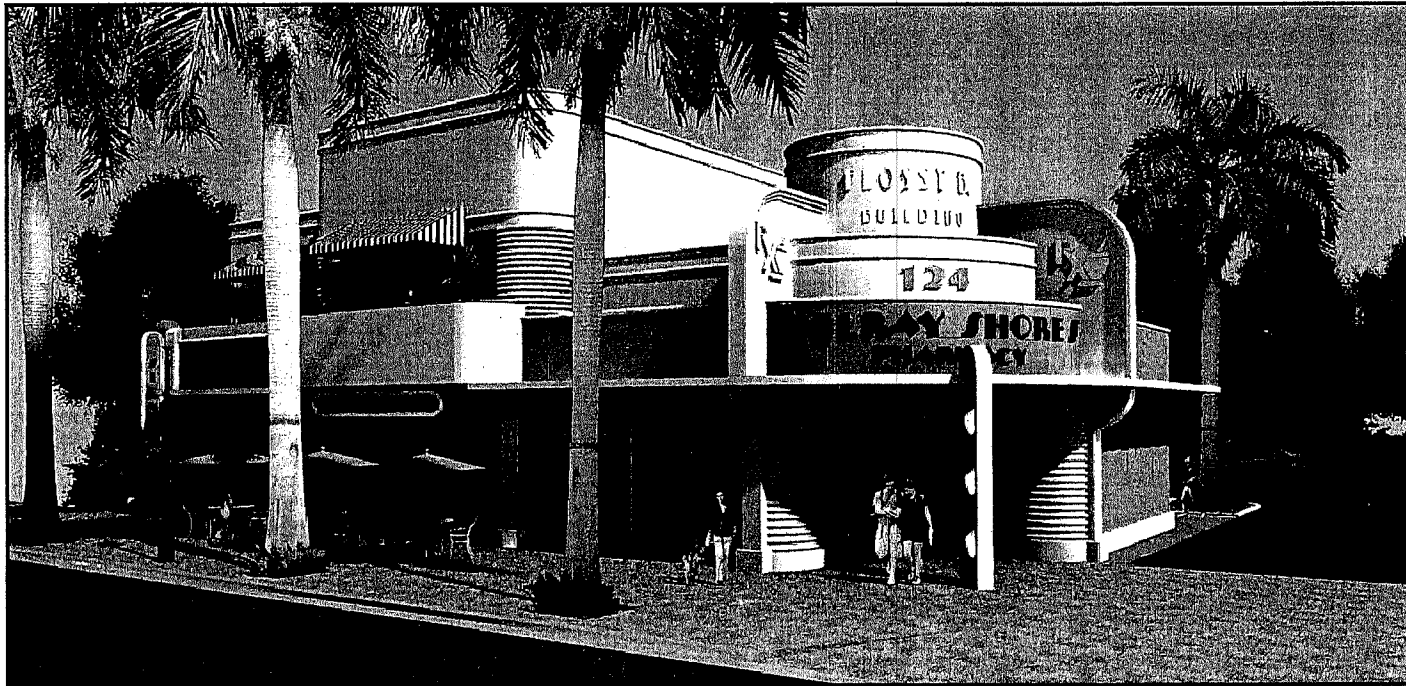
The Flossy B. Building

# Delray Shores Pharmacy & Soda Fountain

124 N.E. 5th Ave · Delray Beach · FL

**A**  
ARCHITECTURE  
RICK BRAUTIGAN  
1006 SOUTH STATE HIGHWAY  
DELRAY BEACH, FL 33483  
TEL: 561-272-2222  
FAX: 561-272-2222  
WWW.RICKBRAUTIGAN.COM

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FEB 19 2016  
City of Delray Beach  
Planning & Zoning



PROPOSED BUILDING

BUILDING ARCHITECTURE  
RICK BRAUTIGAN ARCHITECTURE, INC.  
1006 South State Highway  
Delray Beach, Florida, 33483

CIVIL ENGINEERING  
JOHN A. GRANT, JR., INC.  
3333 North Federal Highway  
Boca Raton, FL 33431

LANDSCAPE ARCHITECTURE  
CARTER & ASSOCIATES LANDSCAPE ARCHITECTS, INC.  
74 N.E. 5th Avenue  
Delray Beach, FL 33483

## INDEX OF DRAWINGS

SPRAB SUBMITTAL

No.	Title	Issued	Revisions
1.	Cover Sheet	10-01-15	12-22-15
2.	Survey	10-01-15	12-22-15
3.	Architectural Site Plan /Data	10-01-15	12-22-15
4.	Site Details	10-01-15	12-22-15
5.	1st Floor Plan	10-01-15	12-22-15
6.	2nd Floor Plan/Lower Roof Plan	10-01-15	12-22-15
7.	Roof Plan	10-01-15	12-22-15
8.	Elevations	10-01-15	12-22-15
9.	Elevations	10-01-15	12-22-15
10.	Building Section	10-01-15	12-22-15
11.	Color Elevations	10-01-15	12-22-15
12.	Color Elevations	10-01-15	12-22-15
13.	Photometrics	10-01-15	12-22-15
14.	Composite Overlay	10-01-15	12-22-15

No.	Title	Issued	Revisions	No.	Title	Issued	Revisions
C1	Cover Sheet	10-01-15	12-22-15	L1	Overall Existing Tree Removal & Relocation Plan	10-01-15	12-22-15
C2	Stormwater Erosion Control & Details	10-01-15	12-22-15	L2	Landscape Plan	10-01-15	12-22-15
C3	General Notes/Typical Cross Sections & Drainage Details	10-01-15	12-22-15	L3	Landscape Notes & Details	10-01-15	12-22-15
C4	Paving Details & Specs	10-01-15	12-22-15	L4	Irrigation Plan	10-01-15	12-22-15
C5	Water & Sewer Details	10-01-15	12-22-15	L5	Irrigation Details	10-01-15	12-22-15
C6	Paving/Grading/Drainage & Sewer	10-01-15	12-22-15				
C7	Striping & Signage Plan	10-01-15	12-22-15				

The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 5th Ave.  
Delray Beach,  
Florida  
RBA: PN-13515-07

Issued:  
Sprab: 10-01-15  
Revised Sprab:  
Submission: rev 1  
Per. Staff Comments:  
12-22-15

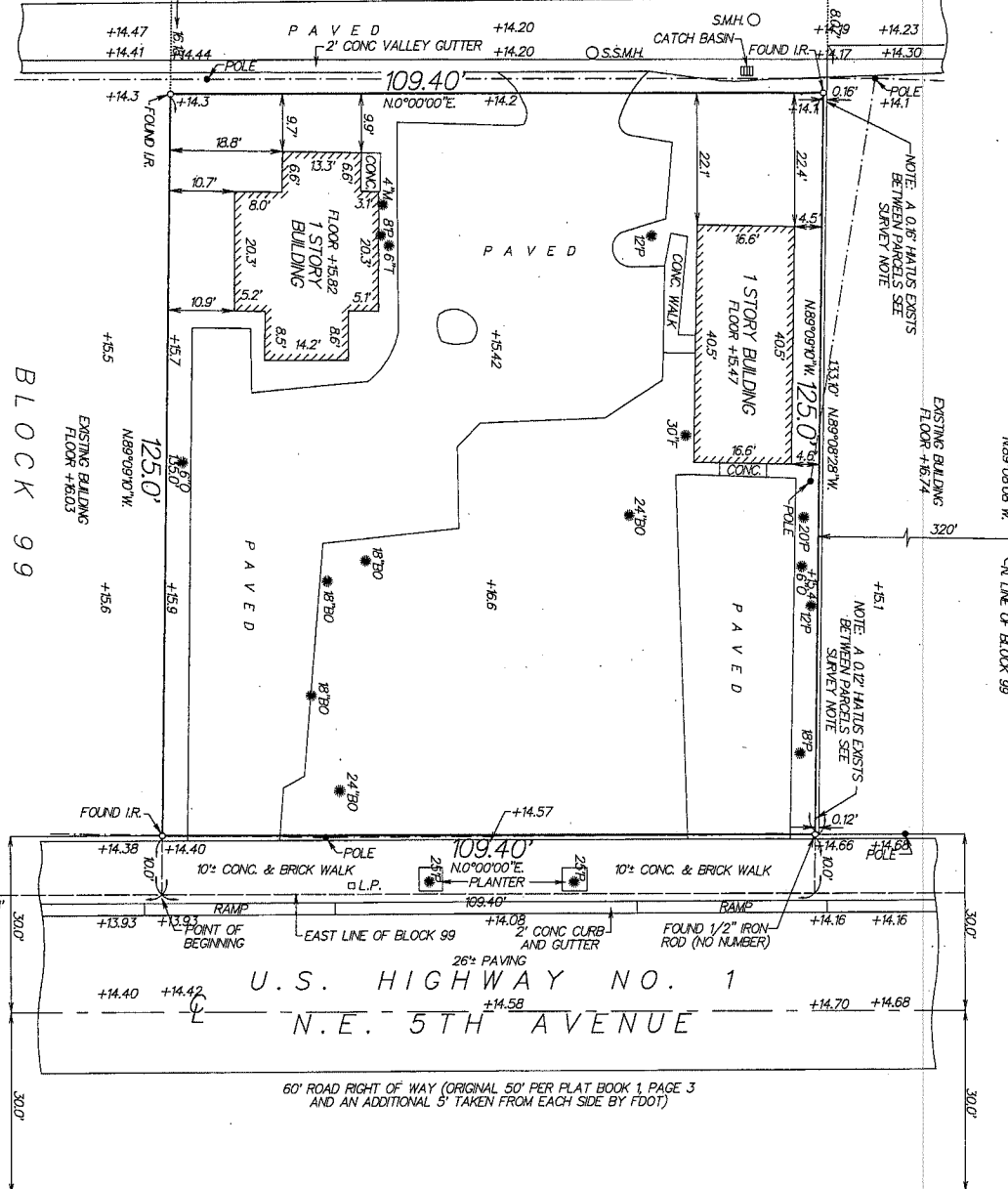
Cover Sheet

1

RESUBDIVISION OF BLOCKS 91, 92 AND WEST HALF OF BLOCK 99 (PLAT BOOK 2, PAGE 21)  
LOT 9, BLOCK 99

BENCH MARK TOP  
NAIL AND WASHER  
ELEVATION +14.47

WEST LINE OF EAST HALF OF BLOCK 99 PER PLAT BOOK 1, PAGE 3



#### LEGEND:

C = CENTERLINE  
CONC. = CONCRETE  
IR = 5/8" IRON ROD WITH CAP #LB 353  
S.S.M.H. = SANITARY SEWER MANHOLE  
— = OVERHEAD UTILITY LINES

THE SOUTH LINE OF BLOCK 99 IS ASSUMED TO BEAR N89°09'10"W.

FLOOD ZONE: X

+14.47 = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1928. SOURCE: PALM BEACH COUNTY BENCH MARK "CHEROKEE BLOND"

#### TREE LEGEND:

P = PALM TREE  
O = OAK TREE  
M = MANGO TREE  
BO = BLACK OLIVE TREE  
T = TREE (TYPE UNKNOWN)

#### DESCRIPTION:

THAT PORTION OF THE EAST HALF OF BLOCK 99 OF THE TOWN OF DELRAY, FORMERLY TOWN OF LINDEN, RECORDED IN PLAT BOOK 1, PAGE 3, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 82.8 FEET NORTH OF THE SOUTHEAST CORNER OF SAID BLOCK 99; THENCE NORTH ALONG THE EAST LINE OF SAID BLOCK 99 125.0 FEET; THENCE WEST ON A LINE PARALLEL WITH THE FIRST STREET (FORMERLY LOWRY STREET) 135 FEET TO AN ALLEY; THENCE SOUTH ALONG SAID ALLEY 102.4 FEET; THENCE EAST 135 FEET TO THE POINT OF BEGINNING; LESS AND EXCEPT THE EAST 10 FEET THEREOF FOR ROAD RIGHT OF WAY OF UNITED STATES HIGHWAY NUMBER 1.

#### SURVEYORS NOTE:

A HATCH EXISTS BETWEEN THE PARCEL TO THE NORTH AND PROPERTY IN QUESTION BASED ON THE DESCRIPTIONS FOUND FOR EACH PARCEL IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL TO NORTH IS DESCRIBED FROM THE NORTH LINE OF BLOCK 99 AND PARCEL IN QUESTION IS DESCRIBED FROM THE SOUTH LINE OF BLOCK 99 (SEE MAP PORTION OF SURVEY FOR EXACT DIMENSION OF HATCHES).

#### CERTIFIED TO:

FLOSSY B BUILDING LLC, A FLORIDA LIMITED LIABILITY COMPANY  
COLUMBIA TITLE SERVICES, LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
TO BANK, N.A.  
ESQUIRE TITLE, INC.

#### MAP OF BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND THAT THE SURVEYING INSTRUMENTS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 344, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 473.05, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RECORD BOOK OF A LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.	
LAND SURVEYORS	
CERTIFICATE OF AUTHORIZATION #13353	
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE	
855 N.W. 17TH AVENUE, SUITE 2-1, DELRAY BEACH, FLORIDA 33445	
(361) 276-4501 732-3278 FAX 276-5390	
DATE OF SURVEY AUGUST 14, 2005	RECEIVED 8/26/05 - ACC'D CERT TO
FIELD BOOK 027	BOOK 17
ORDER NO. 05-85506-E	



Site Total Area 13,675 S.F. (.31 AC)

Use Zoning CENTRAL BUSINESS (CBD) DISTRICT  
CENTRAL CORE SUB-DISTRICT

Impervious Area: 11,425 S.F. 84%  
Proposed Building Footprint: 4,050 S.F. 30%  
Proposed Pavement: 5,478 S.F. 40%  
Proposed Pavers: 1,054 S.F. 7.7%  
Proposed Concrete: 843 S.F. 6.2%  
Open Space (Landscape): 1,585 S.F. 12%

#### PLAN NOTES:

- Lobby and Future Elevator to second floor future apartments (2) 1% S.F. including future stairway.
- Existing Royal Palm street trees and light pole future.
- Dumpster Enclosure (See Detail A3)
- Streetscape: Curb zone/ Ped. Clear zone/ Fr. setback.
- Existing FDOT Ramp to Existing Driveway.
- 20' wide drive per 6.1.4 (C)(1) of LDR.
- Designated Residential Parking: 1/Unit = (2) 4.6.9 (a)(a)
- Ice Cream Soda Fountain ~ 750 S.F. including A1 Fresco seating in front.
- Pharmacy and Related support areas ~ 3,150 S.F.
- Existing power walkway (city std).
- Proposed pavers to match city std. Install per city std.
- Landscape area (see Landscape Plans)
- Steel Bollard
- Stop Bar/ Stop Sign
- One Way Sign
- 10' Sight Triangle
- Do Not Enter Sign

#### Department Notes:

- Florida Fire Prevention Code 5th Edition.
- Access road is 20' wide per NFPA 1 sec 8.2.3.4.1.1
- Will provide Life Safety plan @ Building Permit.
- Knock Box @ +6' Ab. Fin. Walk.  
FD-40: Pharmacy/Soda Fountain.  
FD-40: 2nd Floor Future Residential.
- Type of construction is type Vb.  
Building to be fully sprinklered.
- Min. 5% Bldg. Numbers (see elevations)
- Fire Hydrants are located appropriately along the recently improved N.E. 5th Ave.
- 9"X9" REFL. TRUSS SIGN



PER NFPA 101/IFC

- Per meeting with the Fire Department on 9/21/2015, apparatus turning radius for interior drives and parking are not necessary. Emergency access will be from S.E. 5th Ave. or rear alley
- Per meeting with the Fire Department on 9/21/2015, exterior side to 2nd floor apartments to occur in the build-out phase of the 2nd floor.

#### THIS PROJECT CONSIST OF THE FOLLOWING:

PHASE I  
1. NEW PHARMACY WITH COMPOUNDING 3,150 S.F.  
2. ICE CREAM SODA FOUNTAIN \* SHELL ONLY \* 750 S.F.  
3. (2) 2ND FLOOR APTS. (1-BRV1-2BR) \* SHELL ONLY \* 2,490 S.F.  
4. FUTURE ELEVATOR LOBBY 150 S.F.  
TOTAL BUILDING S.F.: 6,540 S.F.

#### PHASE II

1. PERMIT AND BUILD OUT ICE CREAM SODA FOUNTAIN  
(TO BE COMPLETED WITH PHARMACY) PARKING WILL BE INCLUDED IN PHASE I)

#### PHASE III

PERMIT AND BUILD OUT INTERIOR OF THE (2) APARTMENTS THIS PHASE WILL INCLUDE THE STAIR AND ELEVATOR CAB.

#### DIMENSIONAL REQUIREMENTS

Lot Size	Minimum	This Site
Width	20'-0"	109.40'
Area	2,000 S.F.	13,675 S.F. (.31 AC)

#### Building Placement

	Required	Provided
A. Front Setback	10'-0" Min.	12'-0"
B. Side Setback	5'-0"	9'-1" (South) 25'-11" (North)
C. Rear Setback	10'-0" Min.	44'-10"

#### Density 30 du/ac

Allowed Provided

.31 ac (33) = 9.3 2 Provided

#### SITE DEVELOPMENT STANDARDS FOR CBD

##### CENTRAL CORE SUB-DISTRICT

Use: Per Table 4.4.13 (A)

Pharmacy Permitted per 4.4.9 (B) (1) (a)

Soda Fountain Permitted Ice Cream per 4.4.9 (B) (1) (a)

Residential (MULT) Permitted

#### BUILDING HEIGHT PER TABLE 4.4.13 (B)

Allowed	Proposed
5' (4 stories) 4.4.13 (c)	34'-4" (2 stories)

#### BUILDING FRONTAGE

Required	Proposed
75% (109' = 82'	83'-1"

#### REQUIRED PARKING (MIN.) OFF-STREET CBD

(USE 4.6.9 (C)(1) (d) FRACTIONS)

USE	REQUIREMENTS	PROVIDED
RETAIL/COMMERCIAL	1,000 S.F. OF GROSS FLOOR AREA 3,150 S.F. / 100' = 31.5 REQUIRED, ROUND DOWN USE: 31	SEE SHARED PARKING TABLE BELOW
SODA FOUNTAIN	40,000 S.F. OF GROSS FLOOR AREA 750 S.F. / 18.75 S.F. / SPACE = 40 REQUIRED USE: 40	SEE SHARED PARKING TABLE BELOW
RESIDENTIAL (2-2 BR APTS (FUTURE))	1 BR = 1.25 SPACES/UNIT = 1.25 REQD. 2 BR = 1.75 SPACES/UNIT = 1.75 REQD. USE: 4	SEE SHARED PARKING TABLE BELOW
TOTAL REQUIRED:	USE: 75	SEE SHARED PARKING TABLE BELOW

#### COMPACT CAR PARKING

30% ALLOWED = 12 REQD. SPACES X .30 = 3.6 PROVIDE (3) COMPACT SPACES

#### MULTIPLE USE/ SHARED PARKING PER SECTION 4.6.9 (C)(3)(a) TABLE (USING HIGHEST SUM)

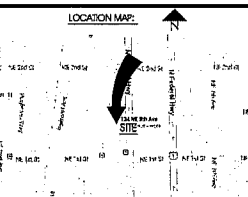
USE	DAYS	PROVIDED
RESIDENTIAL	3 REQD. @ 90%	2.7
COMMERCIAL	6 REQD. @ 90%	5.4
RESTAURANT (SODA FOUNTAIN)	4 REQD. @ 90%	4.0
TOTAL REQUIRED SHARED:		(12.1) USE: 12

#### REQUIRED BICYCLE PARKING

PER TABLE 4.4.13 (I)

USE	REQUIREMENTS	PROVIDED
RETAIL/COMMERCIAL/RESTAURANT	21,000 S.F. GROSS FLOOR AREA 3,750 S.F. / 18 (I) = 3.92 USE: 4	4
RESIDENTIAL <50 UNITS	1/2 UNIT = 1 SPACE/2 UNITS	0
TOTAL REQUIRED:	USE: 4	4

LOCATION MAP  
SEE A3 FOR ENHANCED LOCATION MAP



SEE DWG. 2.1 FOR ADDITIONAL INFORMATION CHARTS:

-SHARED PARKING DETAILED CALCULATIONS CHART  
-RESIDENTIAL FLOOR AREA CALCULATION CHART  
-ZONING DIMENSIONAL REQUIREMENTS CHART  
-PARKING REQUIREMENTS PER DETAILED GROSS FLOOR AREA CHART

131 N.E. 4th AVE.  
CBD ZONING

143 N.E. 4th AVE.  
CBD ZONING

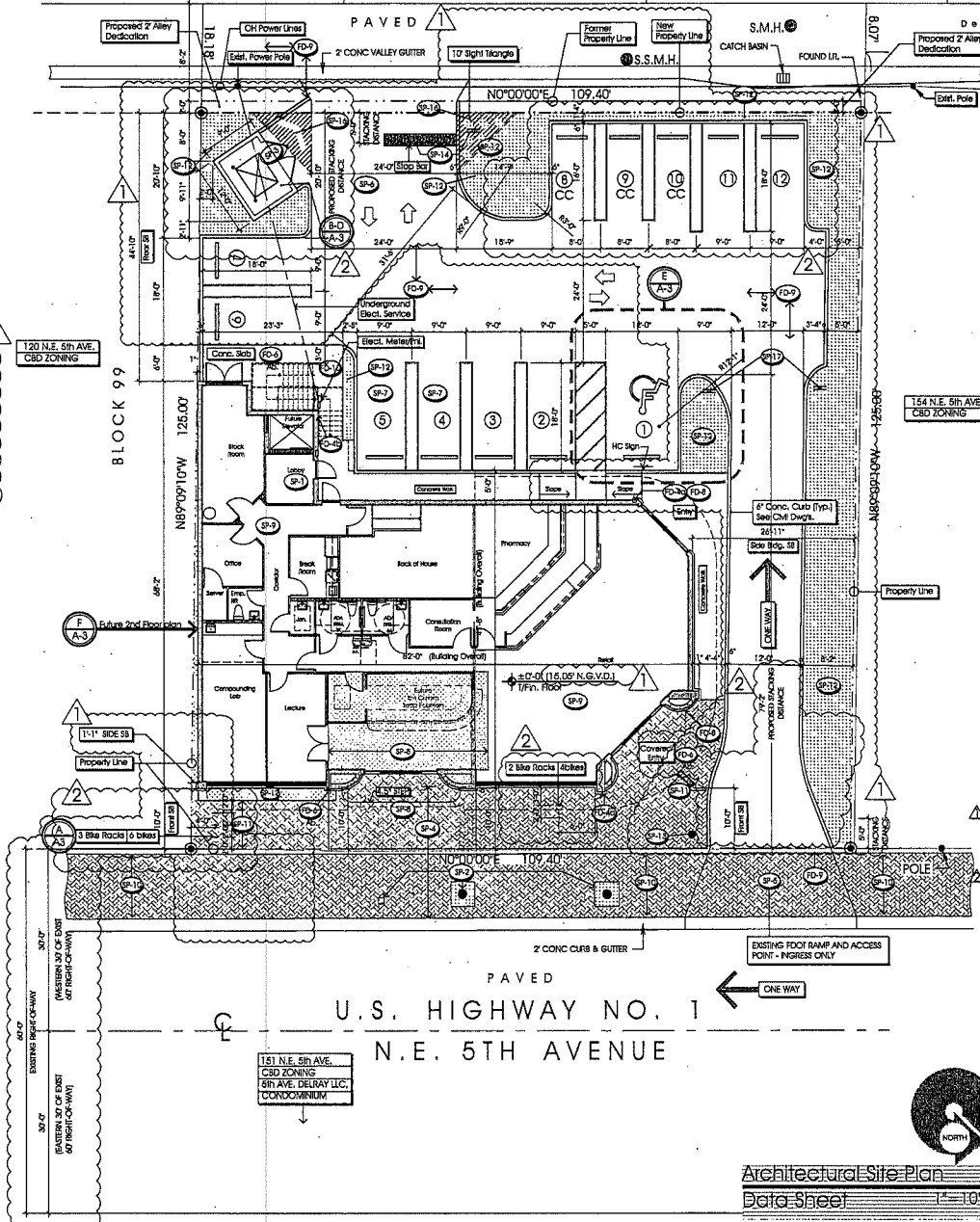
145 N.E. 4th AVE.  
CBD ZONING

LOT 9, BLOCK 99

LOT 8, BLOCK 99

LOT 7, BLOCK 99

WEST LINE OF EAST HALF OF BLOCK 99 PER PLAT BOOK 1, PAGE 3



The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 5th Ave.  
Delray Beach,  
Florida  
RBA-PN-13515-07

ISSUED  
10-01-16  
Revised Sprab  
Submission Rev1  
Per: Staff Comments  
12-22-15  
Revised Sprab  
Submission Rev2  
Per: Staff Comments  
2-17-16

Architectural Site Plan

Data Sheet



1" = 10' SC

MULTIPLE USE/ SHARED PARKING CALCULATIONS CHART :						
Pursuant to CBD: Table 4.4.13(K)	Parking Req.	Weekday Night	Weekday Day	Weekday Evening	Weekend Day	Weekend Evening
Residential/Guests	3	3x1=3	3x.6=1.8	3x.9=2.7	3x.8=2.4	3x.9=2.7
Office	N/A					
Commercial/Retail	6	6x.05=3	6x.7=4.2	6x.9=5.4	6x1=6	6x.7=4.2
Hotel	N/A					
Restaurant	4	4x.1=4	4x.5=2	4x1=4	4x.5=2	4.5x1=4.5
Entertainment/Rec	N/A					
Other/Reserved	N/A					
total required	13-1	3.7	8	12.1	10.4	10.9
total provided	12					
shortage/surplus	0					

RESIDENTIAL FLOOR AREA CALCULATIONS CHART :						
	Standard (Sq. Ft.)	Provided (Sq. Ft.)	Total Units	Compliance with LDR Requirements?		
Dwelling Size				Yes	No	
Efficiency	400	0	0			
1 Bedroom Units	600	1,152	1	YES		
2 Bedroom Units	900	1,165	1	YES		
Total	Min. required Floor Area 1,500 SF	2,317SF	2	YES		

Note: See 2nd floor plans on Sheet A5

DIMENSIONAL REQUIREMENTS CHART:				
FLOSSY BUILDING (CLV)		Central Core	NE 6 <sup>th</sup> Ave.	Alley
Lot Width		20 ft. min.	109.40'	109.40'
Lot Area = 13,875 sq. ft.		2000 sf. min.		
A	Front Setback <sup>1</sup>	10 ft. min. / 15 ft. max.	10' min. / 25' max.	N/A
B	Side Setback <sup>1</sup> (north)	0 ft. min.	26'5"	N/A
B	Side Setback <sup>1</sup> (south)	0 ft. min.	1'1"	N/A
C	Rear Setback	10 ft. min.	N/A	44'10"
B C	Side Setback Abutting Res. District; 1 <sup>st</sup> to 3 <sup>rd</sup> Story	10 ft. min.	N/A	N/A
B C	Side/Rear Setback Abutting Res. District Above 3 <sup>rd</sup> Story	30 ft. min.	N/A	N/A
D	Front Setbacks Above 3 <sup>rd</sup> Story <sup>1</sup>	20 ft. min.	N/A	N/A
E	Building Frontage Required on Primary Streets	75% min./ 100% max	76.22%	N/A
Max. Height outside of the Atlantic Avenue Limited Height Area		4 Stories & 54 ft.	2 stories & 34'4" ft.	2 stories & 24'4" ft.
Max. Density = 9.4 du/ac		30 du/ac		

GROSS FLOOR AREA BREAKDOWN FOR REQUIRED PARKING CHART :				
Use Area	Gross Floor Area	Use Definition	Parking Required	Parking Counted
Stock Room	238.5 sq. ft.	Storage of Inventory	1 per 500 sq. ft.	.477
Office	105.4 sq. ft.	Pharmacist Office	1 per 500 sq. ft.	.211
Lecture	191.6 sq. ft.	Note recording	1 per 500 sq. ft.	.383
Server	27.8 sq. ft.	Computer Room	1 per 500 sq. ft.	.055
Emp. RR	34.5 sq. ft.	Employee Restroom	1 per 500 sq. ft.	.069
Jan.	25.6 sq. ft.	Janitorial Closet	1 per 500 sq. ft.	.051
ADA RRM. W.	46.4 sq. ft.	Handicap Accessible Restroom - Women	1 per 500 sq. ft.	.093
ADA RRM. M.	46.4 sq. ft.	Handicap Accessible Restroom - Men	1 per 500 sq. ft.	.093
Break Room	86.8 sq. ft.	Employee Break Room	1 per 500 sq. ft.	.173
Compounding Lab	311 sq. ft.	Pharmaceutical Compounding	1 per 500 sq. ft.	.622
Consultation Room	85.3 sq. ft.	Patient Consultation	1 per 500 sq. ft.	.171
Corridor	367.5 sq. ft.	Hallway	1 per 500 sq. ft.	.735
Elevator	64.7 sq. ft.	Upstairs Accessibility/Residential Access	1 per 500 sq. ft.	.129
Back of House	354.3 sq. ft.	Medicine Storage	1 per 500 sq. ft.	.708
Retail	1,092 sq. ft.	Sales Floor	1 per 500 sq. ft.	2.184
Pharmacy	408.6 sq. ft.	Prescription Sales and Services	1 per 500 sq. ft.	.817
Indoor Dining/Seating	278.6 sq. ft.	Indoor Dining/Seating Area	6 per 1,000 sq. ft.	1.672
Outdoor Dining/Seating	261.4 sq. ft.	US1 Sidewalk Cafe/Courtyard Dining Area	6 per 1,000 sq. ft.	1.568
Ice Cream Soda Fountain	210 sq. ft.	Food/Drink Preparation	6 per 1,000 sq. ft.	1.260
Lobby	75 sq. ft.	Waiting Area	1 per 500 sq. ft.	.15
(insert unidentified areas)	(insert sq. ft.)	(insert description)	(as identified)	N/A
Total	4050 sq. ft.	All Identified Use Areas		11.621 Spaces

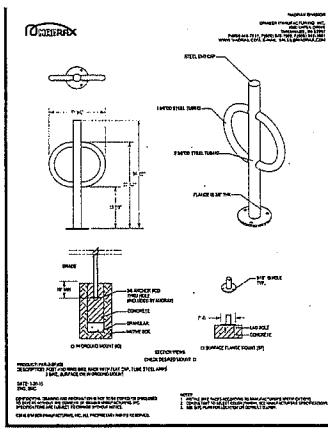
ARCHITECTURE  
RICK BRAUTIGAN  
10255 DIXIE HIGHWAY  
DELRAY BEACH, FL 33443  
PH: 561-272-0888  
FAX: 561-272-0838  
AUGUST 2022

The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 5th Ave.  
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RBA-PN 13515.07

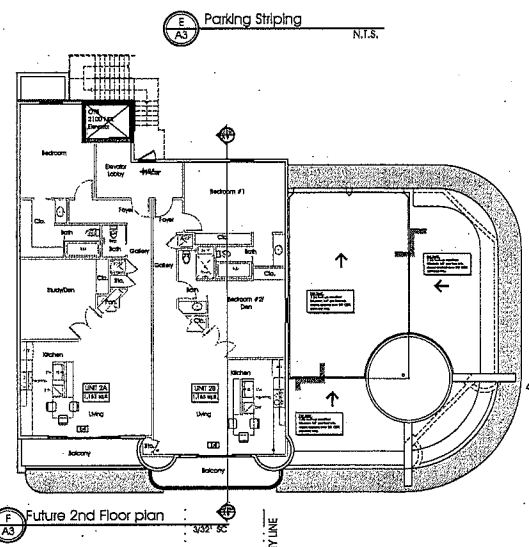
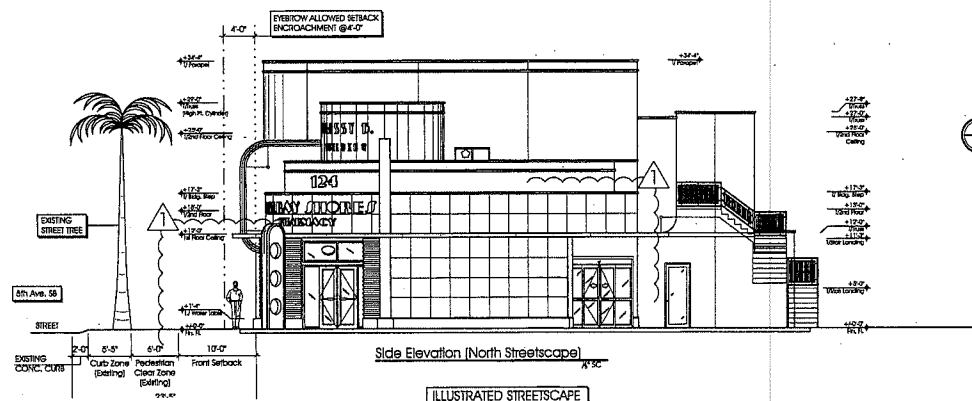
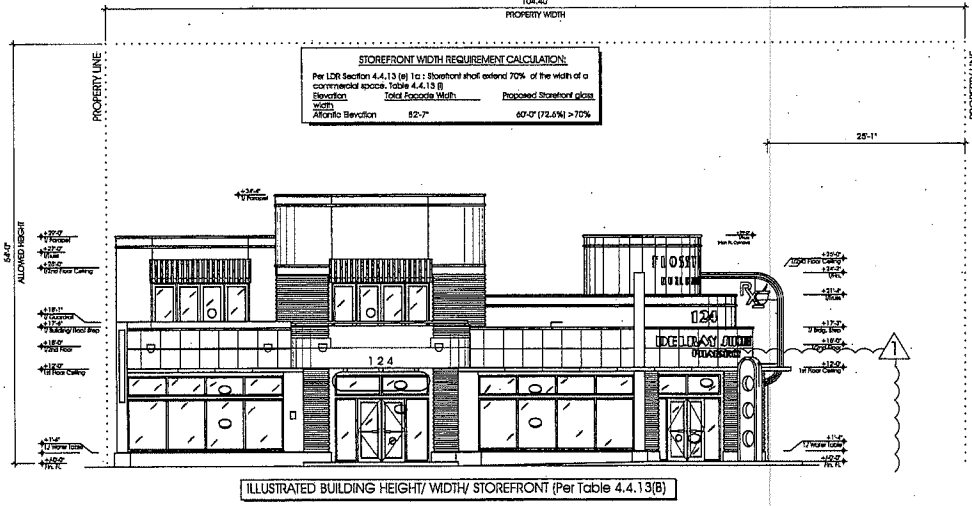
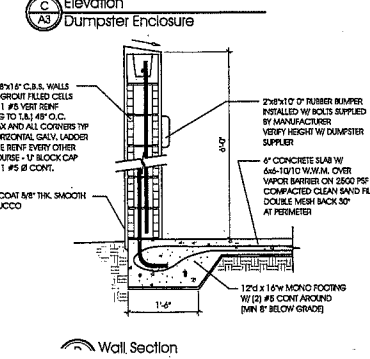
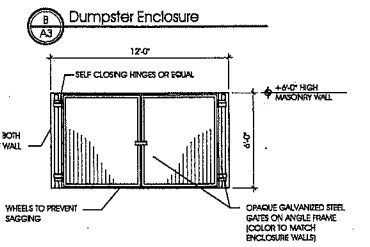
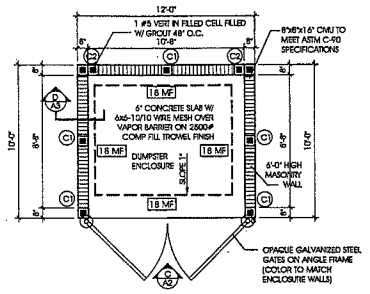
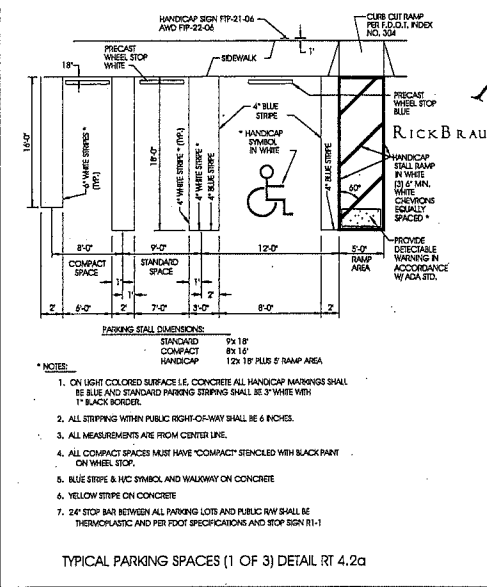
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© Sprute 10-01-16  
Revised Sprute:  
Submission Rev1:  
Per: Staff Comments  
12-22-16  
Revised Sprute:  
Submission Rev2:  
Per: Staff Comments  
2-17-16

Charts required by City

2



APPLICABLE CODES	
1. Florida Building Code 2014 Edition	
2. Florida Fire Prevention Code 5th Edition 2012	
3. NFPA 1 & 101 Life Safety Code Florida specific editions	
4. Florida Accessibility Building Code 2014 Edition	
OCCUPANCY: Proposed: M/B / R3	
TYPE OF CONSTRUCTION: V-b	
STRUCTURAL DATA:	
1. Basic Wind Speed	170
2. Wind Importance Factor	3 sec gust
3. Category	1.0
4. Wind Exposure	2
5. Internal Pressure Coefficient	See Elevation
6. Building design	Enclosed
7. Soil Bearing Cap. Min.	+/- 0.18
	2,500 PSF



Site Plan Details  
As Noted

The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 6th Ave.  
Delray Beach,  
Florida  
RBA-PN-13515-07

Issued  
01/20/15  
Revised 01/20/15  
Submission Rev 1  
Per Staff Comments  
12/22/15

3

FIRE SPRINKLERS PER APPROVED, ENGINEERED SHOP DWG'S.

# Fire Extinguishers:

Provide fire extinguishers with a minimum rating of 2-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum level distance of 30'-0" between. The extinguishers are to be on the end of the location shown from start of construction. Construction personnel shall be instructed in the use of the equipment. Provide 2-A, 10 BC fire extinguishers of locations determined by the Fire Marshal for light (low) hazard occupancy. Each outdoor location shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall. Identify as extinguisher per code and requirements of the Fire Marshal.

**ADA Access Note:**  
Provide level transition at entrances to building in compliance with ADA. Verify all slopes leading up to entry.

## NFPA Interior Office Finish Schedule per section 39.3.3

(Business) 36.3.3 (Mercantile)  
No Requirements: (B) Class  
Required: Class A, B, or C compliance  
Provided: Class A Drywall  
Required: Class A, B, or C compliance  
Provided: Class A Gypsum Board/  
Class A Susp. Tile Clg.

Section 101.8 FBC	Section 101.8 FBC
Number of Exits required	Number of Exits provided
2	4

## Occupancy Calculations:

Use per 1,000 people.

Male and Women's Restroom with 1 WC & 1 Lav. each

Occupancy	Water Closets (Urinals See Section 419.2)	Lavatories (See Section 410.1)	Service Sinks	Drinking Fountain (See Section 410.1)
Male	Female	Male	Female	
M (Pharmacy)	1 Per 25	1 Per 40	1	1 Per 1,000
B (Future Soda Fountain)	1 Per 500	1 Per 750	1	1 Per 100

## Occupancy Classification & Occupancy Load Calculation:

Use	Occupancy FBC	Occupancy NFPA 101	Occupant Load FBC & NFPA 101
Pharmacy	M (Sec. 309.1)	M (Sec. 361.2.2.1)(20)	30 Glos 108
Soda Fountain	B (Sec. 303.1.1)	N/A	9' Floor/18 Net 19
Apartment	R-3	R	200 G 6

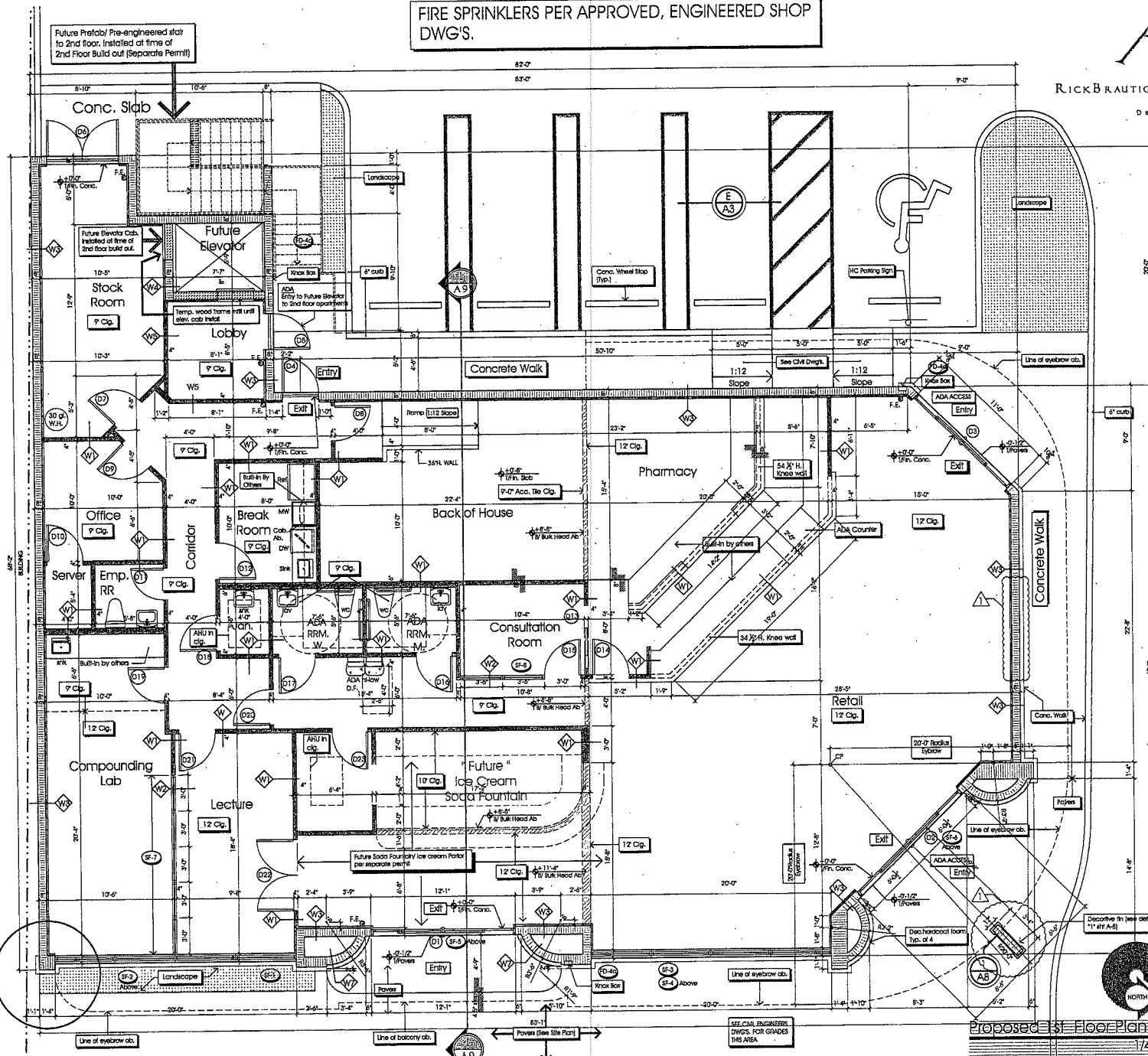
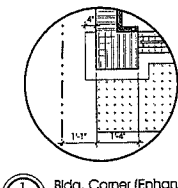
## Occupancy Separation Matrix (FBC):

Use	M	B	R-3
Mercantile (M)			
Business (B)			
Residential (R-3)			

Per 508.3 Non-Separated Occupancies

## CODE DATA

**BUILDING**  
Type: 1  
Height: 10' 0" (3.05 m)  
Area: 10,000 sq ft (929 sq m)  
Floor: 10' 0" (3.05 m)  
Two Floors: 20' 0" (6.10 m)  
Total: 30' 0" (9.14 m)  
Height: 10' 0" (3.05 m)  
Stories permitted: 2  
Stories in this bldg: 2  
Fire Rating For Building Elements: 1  
501 FBC  
(B) All Elements: 0-108



**RICK BRAUTIGAN ARCHITECTURE**  
1005 E. 10th Ave.  
Delray Beach, FL 33433  
Phone: 561-276-4333  
Fax: 561-276-4333  
Website: www.rickbrautigan.com

**The Flossy B. Building**  
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124 N.E. 8th Ave.  
Delray Beach, Florida  
R.B.A. PN: 13515.07

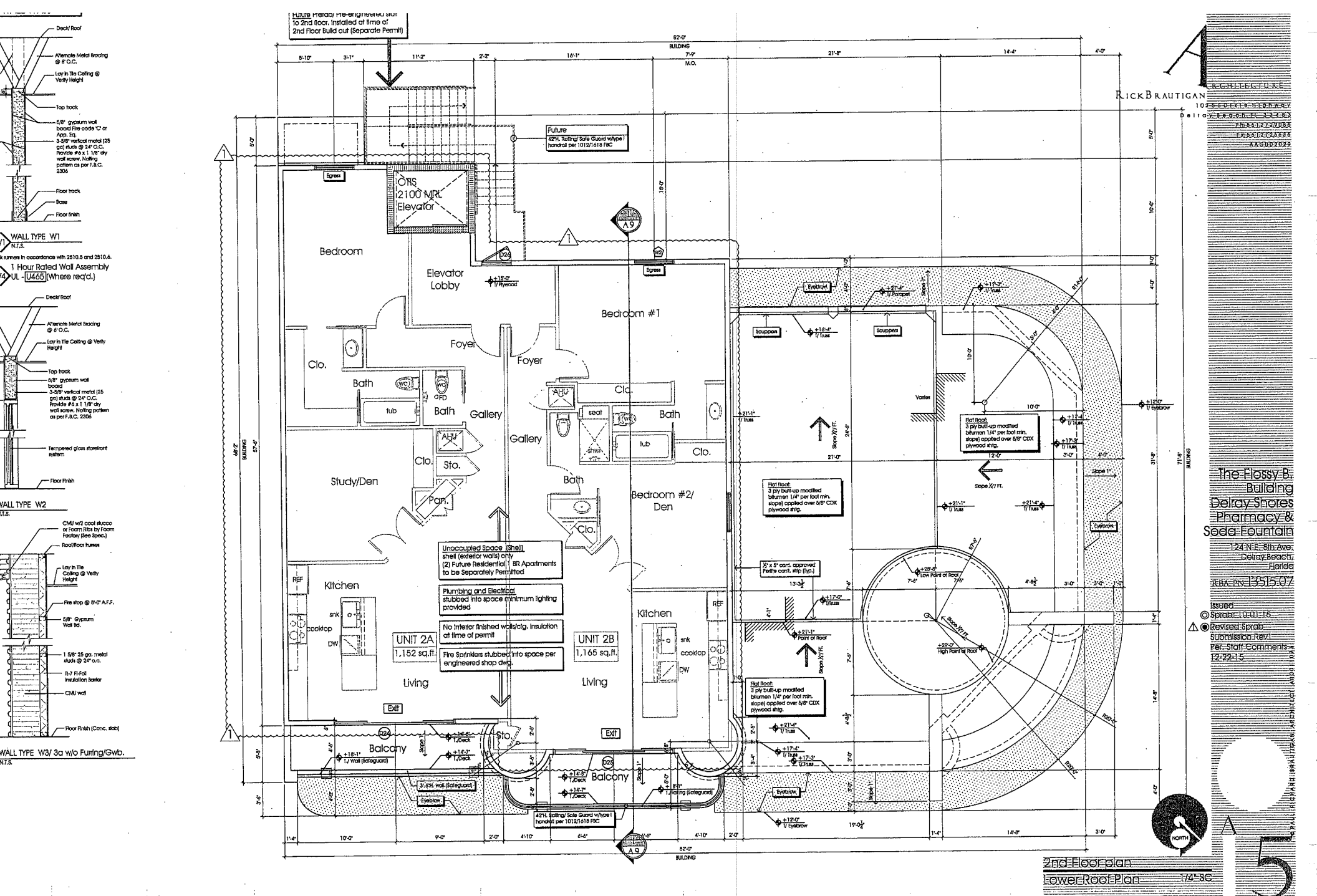
Issued:  
Sprints: 10-01-16  
Revised: Sprints  
Submission: Rev 1  
Per-Staff Comments:  
12/22-15

Proposed 3rd Floor Plan

1/4" = 1'-0"



4

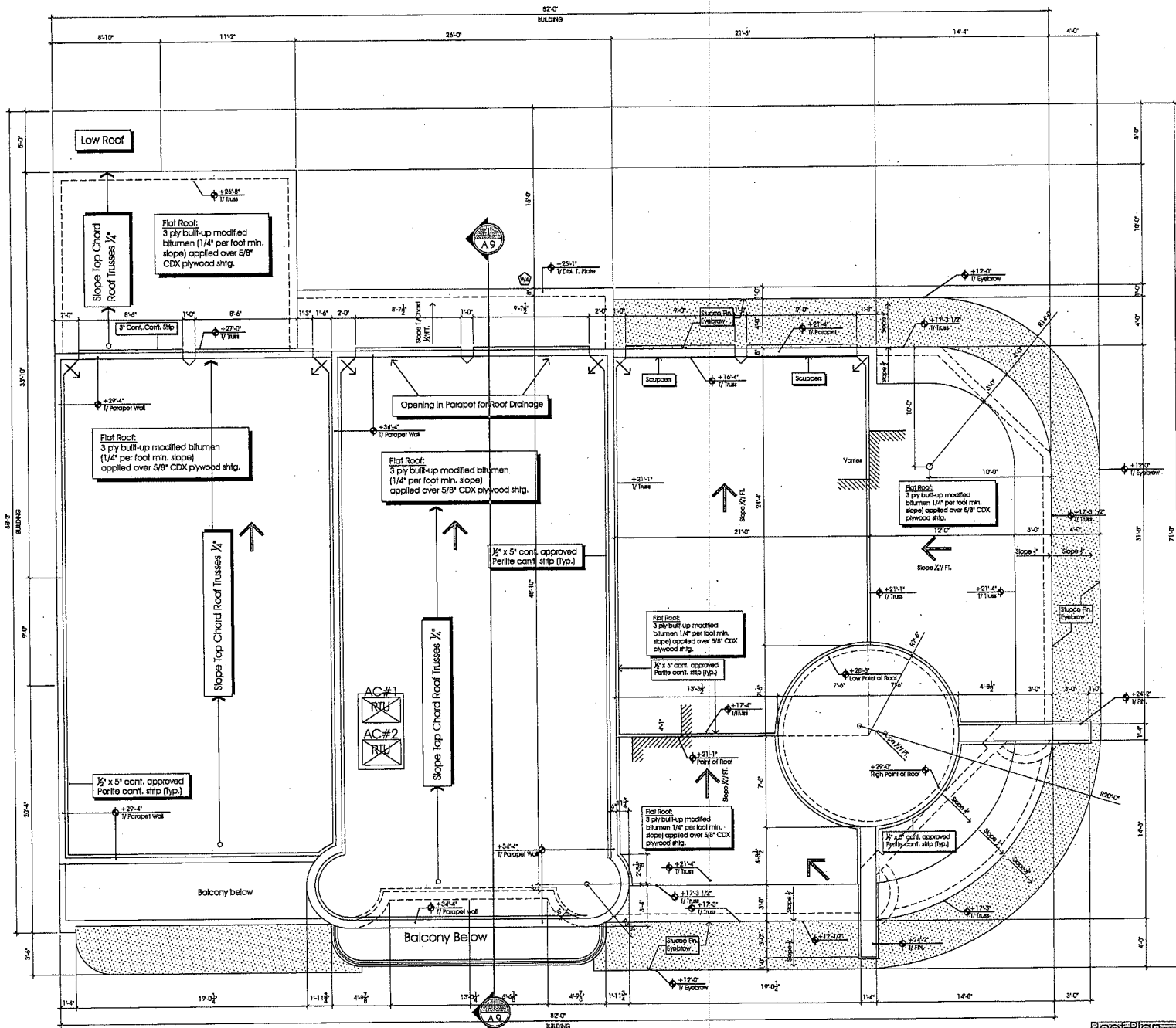


**RICK BRAUTIGAN ARCHITECTURE**  
102 S. EDEN HILLY  
DOLLY BEACH, FL 33443  
PH: 352-247-0888  
FX: 352-247-0888  
AA 0302029

**The Flossy B. Building**  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 8th Ave.  
Delray Beach,  
Florida  
RBA: PN-13515-07

ISSUED  
© Sprab: 10-01-16  
Revised Sprab  
Submission Rev 1  
Per. Staff Comments  
12-22-15

5



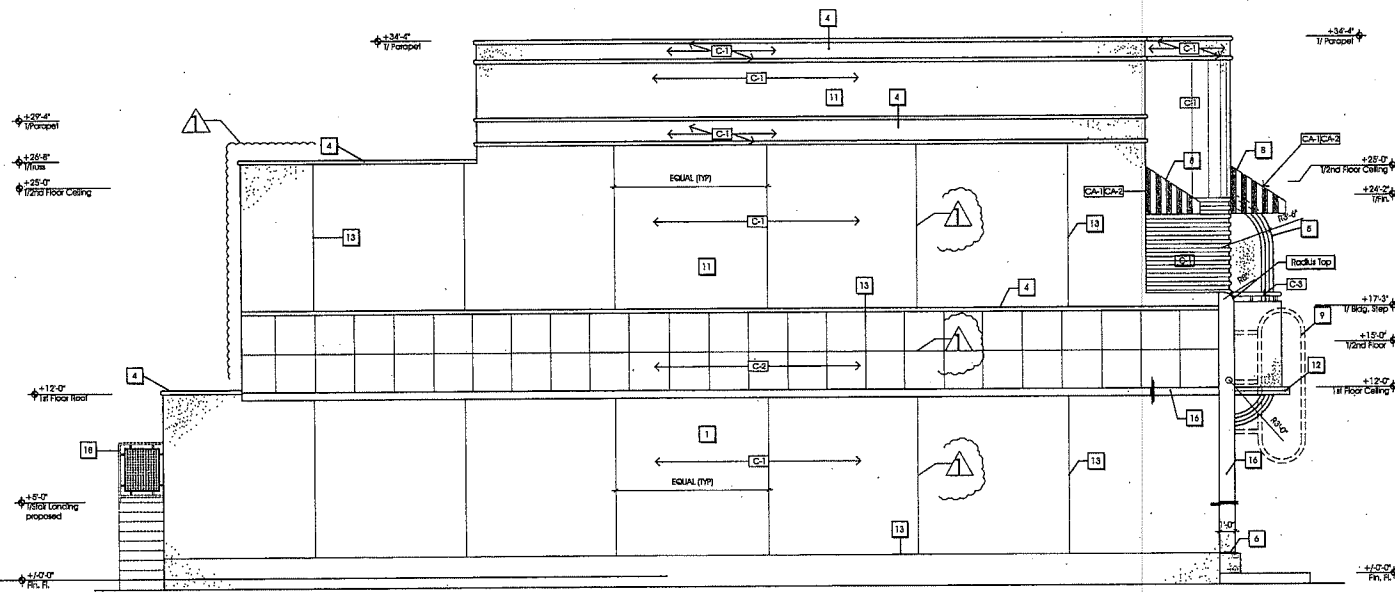
The Flossy B.  
 Building  
 Delray Shores  
 Pharmacy &  
 Soda Fountain  
 124 N.E. 6th Ave.  
 Delray Beach,  
 Florida  
 RBA-PN-13515-07

Issued  
 © Sprób: 10-01-16  
 Revised Sprób  
 Submission: rev 1  
 Per: Staff Comments  
 12-22-15

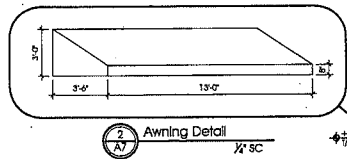
Roof Plan  
 (Upper/Lower) 1/4" SC



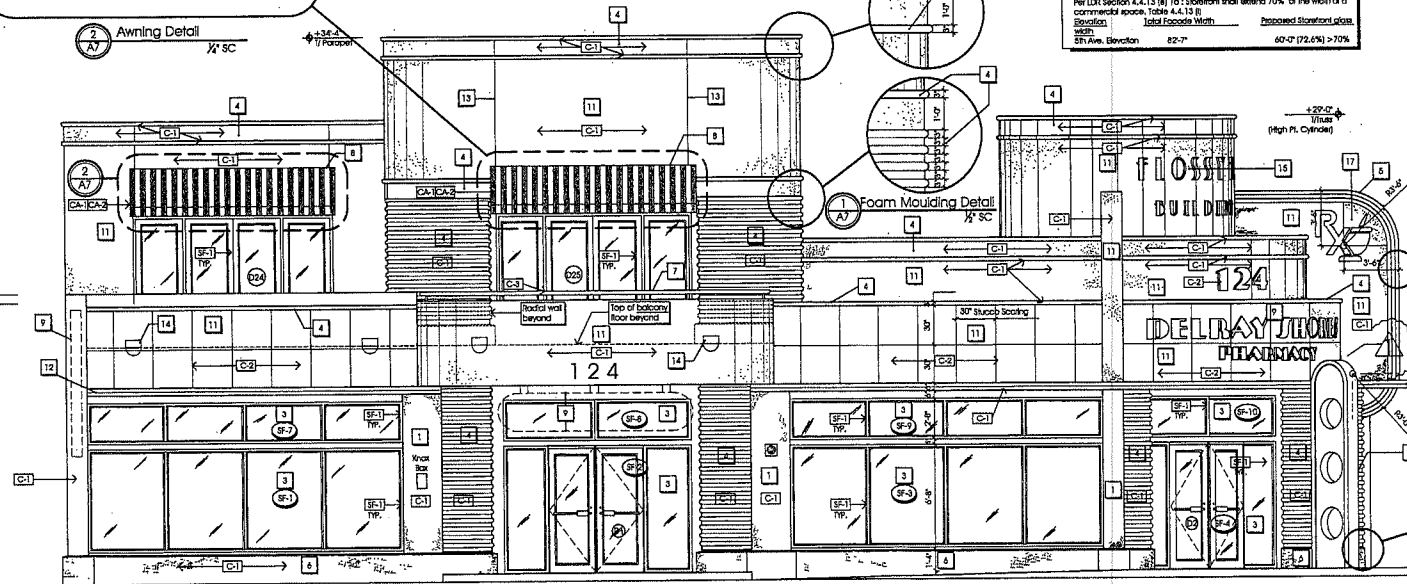
6



Side Elevation (South) 1/4" SC



**STOREFRONT WIDTH REQUIREMENT CALCULATION:**  
 Per LDR Section 4.4.13 (a) 1a: Storefront shall extend 70% of the width of a commercial space. Table 4.4.13 (b) provides the required storefront width.  
 SF-Ave. Elevation 82'-7" 60'-0" (72.6%) > 70%

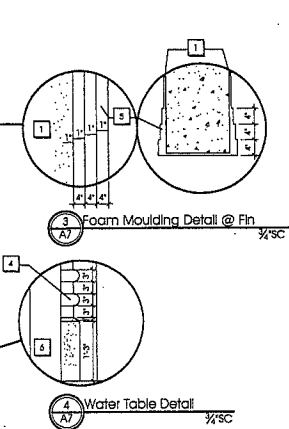


Front Elevation (East) 1/4" SC

- 1 2-coat 5/8" thick (min) smooth stucco with 30/50/30 scoring where indicated over a.m.s. Use Fry Reglet 1/2" channel 1/2" pc - 75-2025
- 2 Power 16-pulling stainless steel door with white aluminum frame. Clear low-e impact glass per engineered shop drawing
- 3 Storefront with white aluminum frame clear impact glass per engineered shop drawing
- 4 3" x 6" (1/2" round) applied foam moulding see detail
- 5 Decorative foam moulding see detail
- 6 Water table: 2-coat 5/8" thick (min) smooth stucco on 1/2" x 1/2" CNA slope stucco
- 7 250 aluminum powder coat handrail
- 8 Decorative canvas awning by Advantage Canvasline Plus - Sail White CP2770-62 per mfg. engineered spec. shop drawing
- 9 Future sign (prep. permit by other)
- 10 Reverse channel back to building numbers 124 1/2" x 1/2" BTL
- 11 3-coat 5/8" thick (min) smooth stucco over esp. water relative boiler
- 12 Cont. embed LED light rope "Blue"
- 13 Scored stucco (solid joint)
- 14 Soupper
- 15 Building name in rolled stucco
- 16 1" thick smooth stucco
- 17 RX logo in rolled foam (hard coat)
- 18 Future sign (per Fry Dept.)
- 19 Decorative stucco in

COLOR LEGEND

C-1 Color 1/ Base (Stucco) Benjamin Moore OC-67 - Ice Mist Satin Finish	C-2 Color 2/ Accent (Stucco) Benjamin Moore. 2015-20 Orange Burst Satin Finish
C-3 Color 3/ Accent (Railing) Benjamin Moore 2015-20 Orange Burst Powder Coat Finish	C-4 Color 4/ Accent (Metal Doors) Benjamin Moore OC-67 - Ice Mist Enamel Finish
CA-1 Canvas Awning Trivantage Webdon Coastline Plus Navy Blue CP2747-62	CA-2 Canvas Awning Trivantage Webdon Coastline Plus Sail White CP2790-62
SF-1 Storefront White Anodized & Clear Glass	



Elevations

1/4" SC

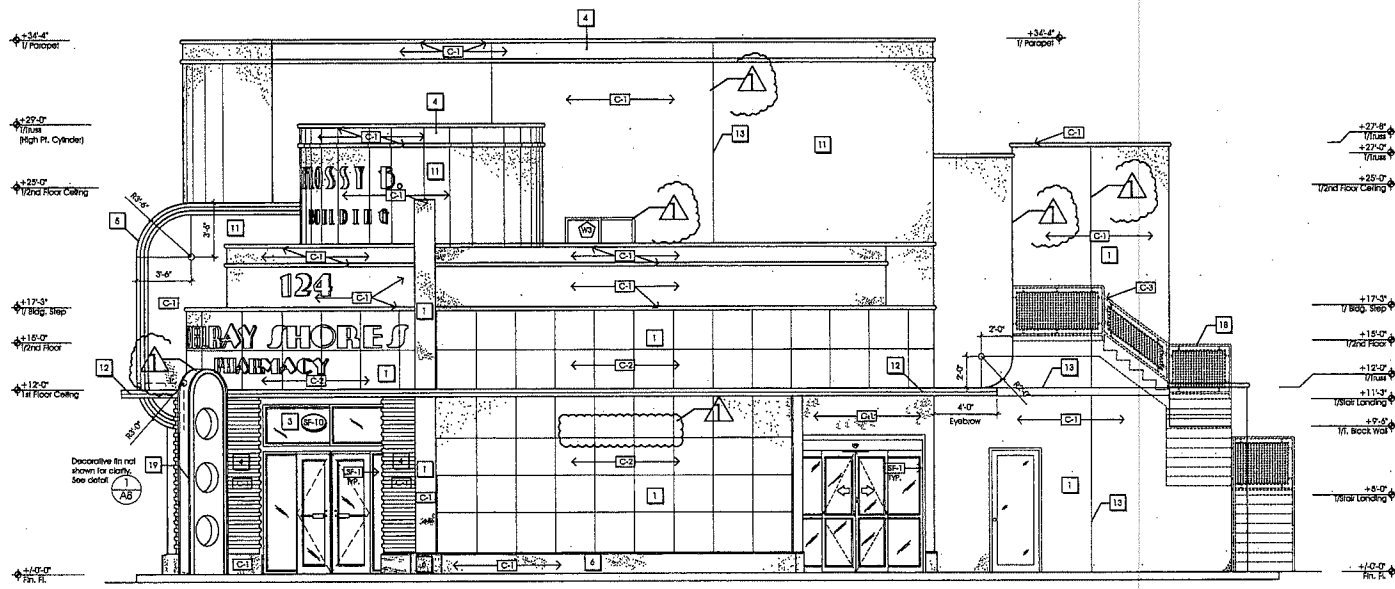
The Flossy B.  
 Building  
 Delray Shores  
 Pharmacy &  
 Soda Fountain  
 124 N.E. 5th Ave.  
 Delray Beach,  
 Florida

RBA-PN-13515-07

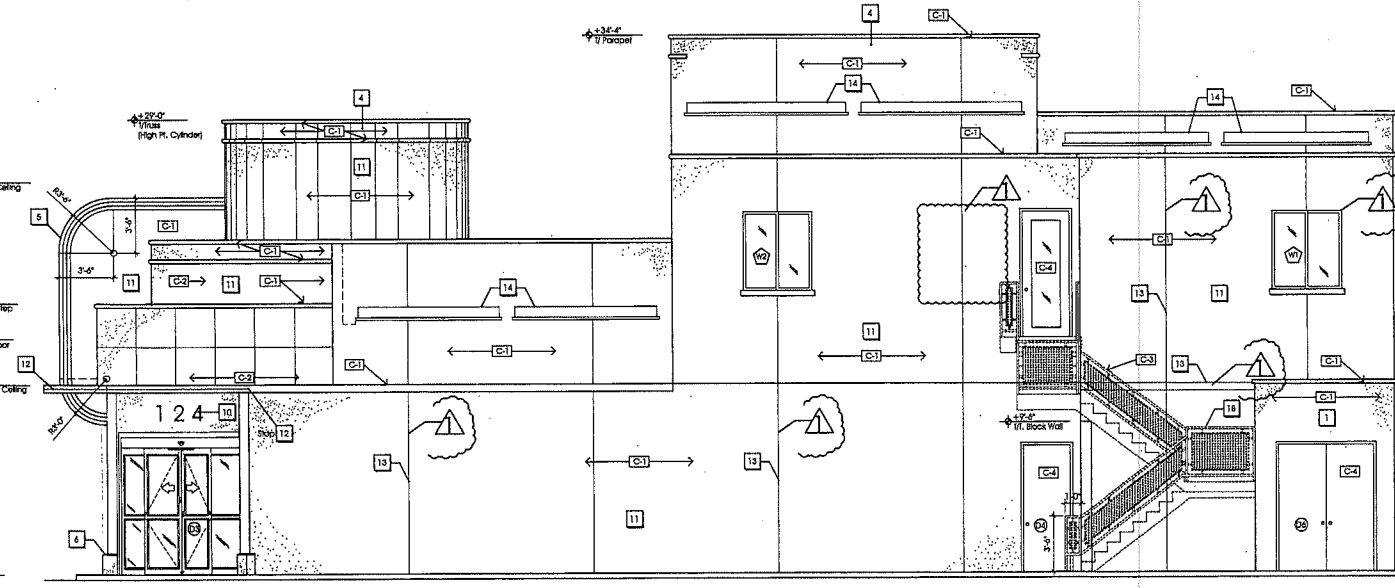
ISSUED:  
 Sprab: 10-01-15  
 Revised Sprab:  
 Submission Rev:  
 Per: Staff Comments  
 12-22-15

REVISIONS

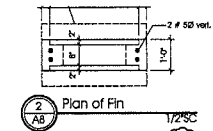




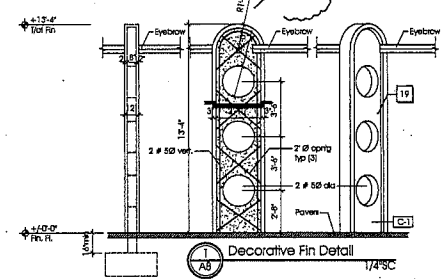
Side Elevation (North)  
 1/4" SC



Rear Elevation (West)  
 1/4" SC



Plan of Fin.  
 1/2" SC



Decorative Fin Detail  
 1/4" SC

COLOR LEGEND	
C-1 Color 1/ Base (Stucco) Benjamin Moore OC-67 - Ice Mist Satin Finish	C-2 Color 2/ Accent (Stucco) Benjamin Moore 2015-20 Orange Burst Satin Finish
C-3 Color 3/ Accent (Rolling) Benjamin Moore 2015-20 Orange Burst Satin Finish	C-4 Color 4/ Accent (Metal Doors) Benjamin Moore OC-67 - Ice Mist Enamel Finish
CA-1 Canvas Awning Trivantage Webcon Coastline Plus Navy Blue CP2747-62	CA-2 Canvas Awning Trivantage Webcon Coastline Plus Sail White CP2790-62
SF-1 Storefront White Anodized & Clear Glass	

**FINISH NOTES:**

- 2-coat 3/4" (min.) smooth stucco with 30500' rapping where indicated over 2x4's. Use 1/2" (min.) channel 1/2" pcs - 75-2525
- Power 14-parting storefront doors with white aluminum frame. Clear low-iron glass per engineered shop drawings.
- Storefront with white aluminum frame clear impact glass per engineered shop drawings.
- 3" x 6" (min.) round applied foam moulding see detail.
- Decorative foam moulding see detail.
- Water table: 2-coat 3/4" (min.) smooth stucco on 12" (min.) CMU slope stucco.
- 2x6 aluminum powder coat handrail.
- Decorative canvas awning by Trivantage (Webcon Coastline Plus - Sail White CP2790-62) per mfg. engineered app. shop drawings.
- Future sign (see permit by others).
- Reverse channel/ back 1/2" building numbers 10" H/ 8" W.
- 3-coat 3/4" (min.) smooth stucco over app. white relative boiler.
- Cont. embed LED light rope 'blue'.
- Scooped stucco (solid joint).
- Scupper.
- Building name in raised stucco.
- 1" (min.) smooth stucco.
- RK logo in raised foam (board coat).
- Future slot (per Fire Dept.).
- Decorative stucco in (see detail).

**Elevations**

The Flossy B Building  
 Delray Shores  
 Pharmacy &  
 Soda Fountain

124 N.E. 8th Ave.  
 Delray Beach,  
 Florida

RBA: PN-13515-07

ISSUED

© Sprab: 10-01-16

Revised Sprab

Submission Rev 1

Per Sign Comments

12-22-15

109

109

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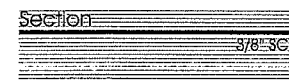
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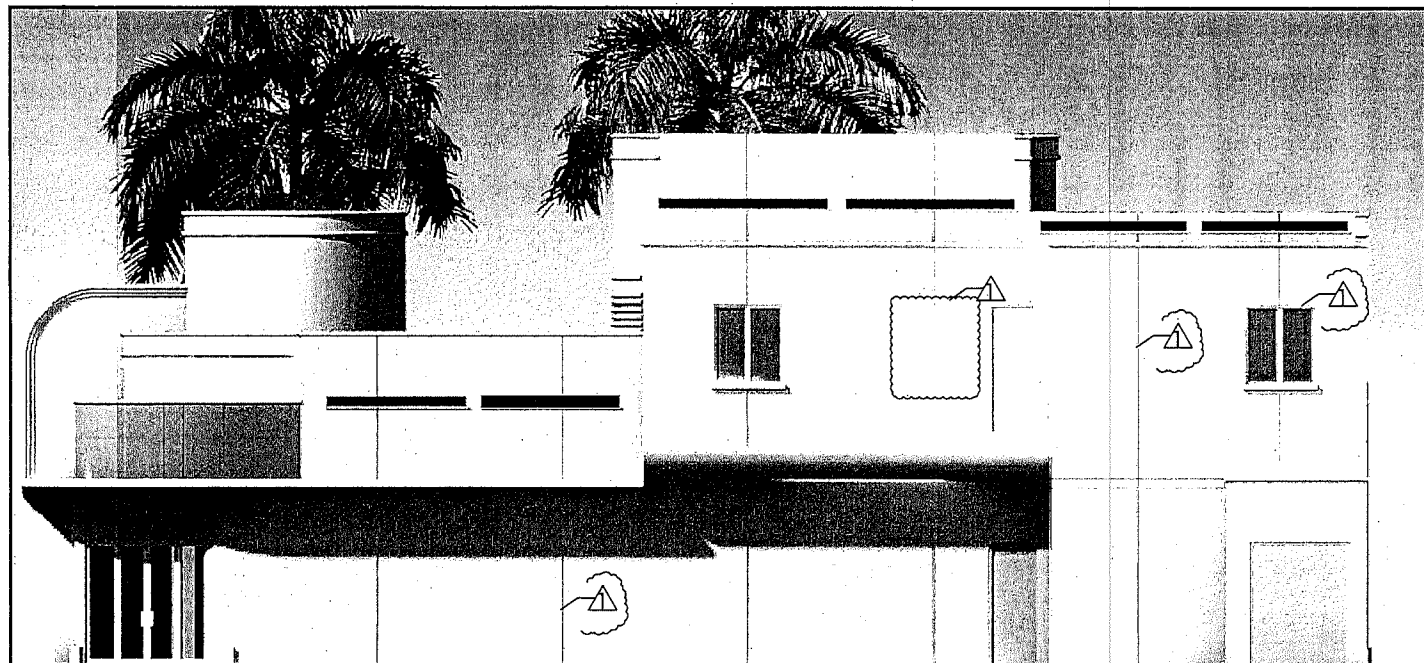
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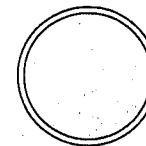
Front Elevation (East)  
1/4" = 1'



Rear Elevation (West)  
1/4" = 1'

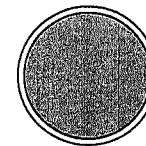
**ARCHITECTURE**  
RICK BRAUTIGAN  
10000 N. W. 11th Ave.  
Delray Beach, FL 33433  
Phone: 561-222-0088  
Fax: 561-222-0088  
AAG000029

## COLORS



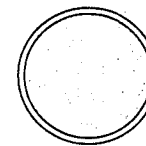
C-1 Color 1/ Base (Stucco)  
Benjamin Moore Color Preview  
OC-67 Ice Mist  
Satin Finish

C-4 Color 4/ Accent (Doors)  
Benjamin Moore Color Preview  
OC-67 Ice Mist  
Enamel

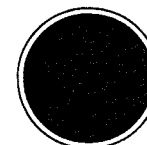


C-2 Color 2/ Accent (Stucco)  
Benjamin Moore Color Preview  
92015-20 Orange Burst  
Satin Finish

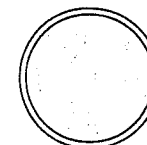
C-3 Color 3/ Accent (Railing)  
Benjamin Moore Color Preview  
92015-20 Orange Burst  
Powder Coat



SF-1 Storefront  
White Anodized and Clear Glass



CA-1 Canvas Awning  
Tivantage  
Webdon Coastline Plus  
Navy Blue CP2747-62



CA-2 Canvas Awning  
Tivantage  
Webdon Coastline Plus  
Sail White CP2790-62

The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain

124 N.E. 8th Ave.  
Delray Beach,  
Florida

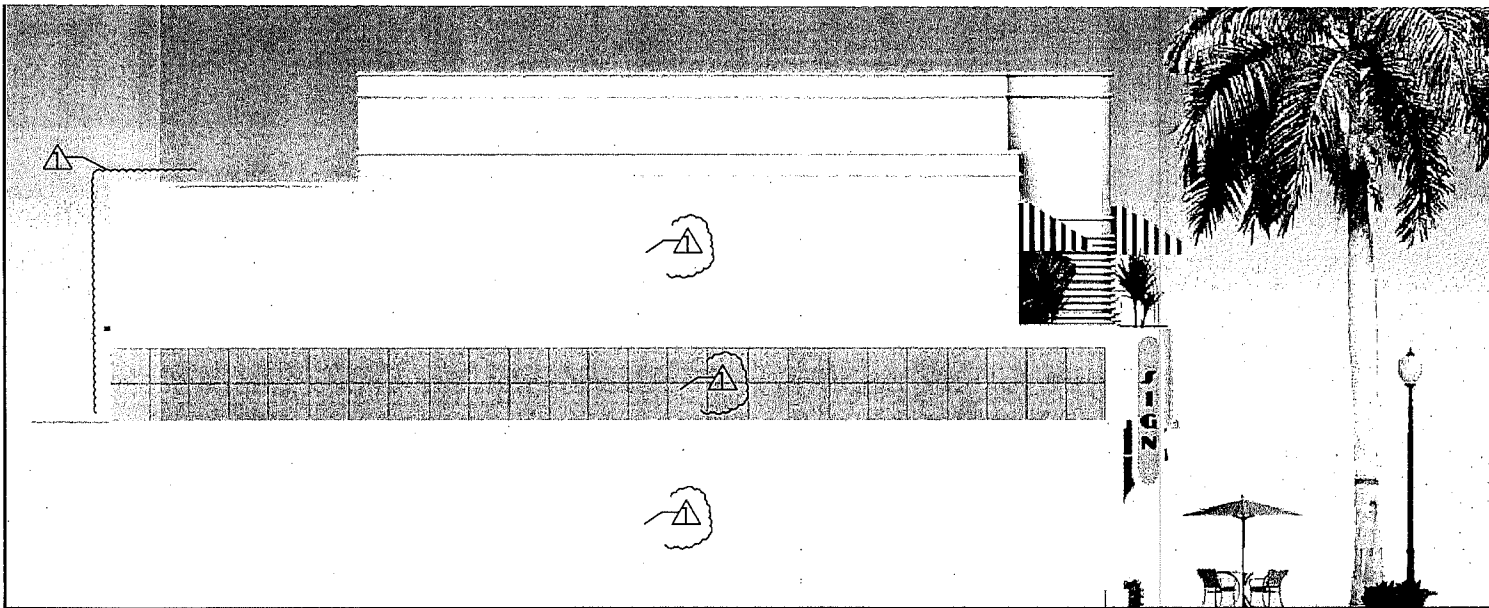
RBA-PN-13515-07

Issued:  
© Sprab: 10-01-15  
Revised: Sprab  
Submission Rev1  
Per: Staff Comments:  
12-22-15

Color Elevations

1/4" = 1'

10

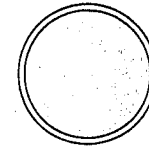


Side Elevation (South)  
1/4" = 8'



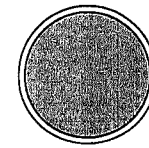
Side Elevation (North)  
1/4" = 8'

**COLORS**



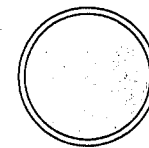
C-1 Color 1/ Base (Stucco)  
Benjamin Moore Color Preview  
OC-67 Ice Mist  
Satin Finish

C-4 Color 4/ Accent (Doors)  
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OC-67 Ice Mist  
Enamel

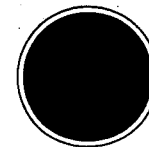


C-2 Color 2/ Accent (Stucco)  
Benjamin Moore Color Preview  
92015-20 Orange Burst  
Satin Finish

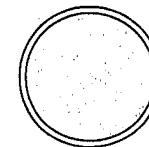
C-3 Color 3/ Accent (Railing)  
Benjamin Moore Color Preview  
92015-20 Orange Burst  
Powder Coat



SF-1 Storefront  
White Anodized and Clear Glass



CA-1 Canvas Awning  
TriVantage  
Webb Coastline Plus  
Navy Blue CP2747-62



CA-2 Canvas Awning  
TriVantage  
Webb Coastline Plus  
Sail White CP2790-62

The Flossy B.  
Building  
Delray Shores  
Pharmacy &  
Soda Fountain  
124 N.E. 5th Ave.  
Delray Beach,  
Florida  
RBA-DN-13515.07

Issued:  
Spiral: 10-01-15  
Revised Spiral:  
Submission: Rev:  
Per: Staff: Comments:  
12-22-15

Color Elevations

1/4" = 8'

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LOT 9, BLOCK 99

LOT 8, BLOCK 99

LOT 7, BLOCK 99

WEST LINE OF EAST HALF OF BLOCK 99 PER PLAT BOOK 1, PAGE 3

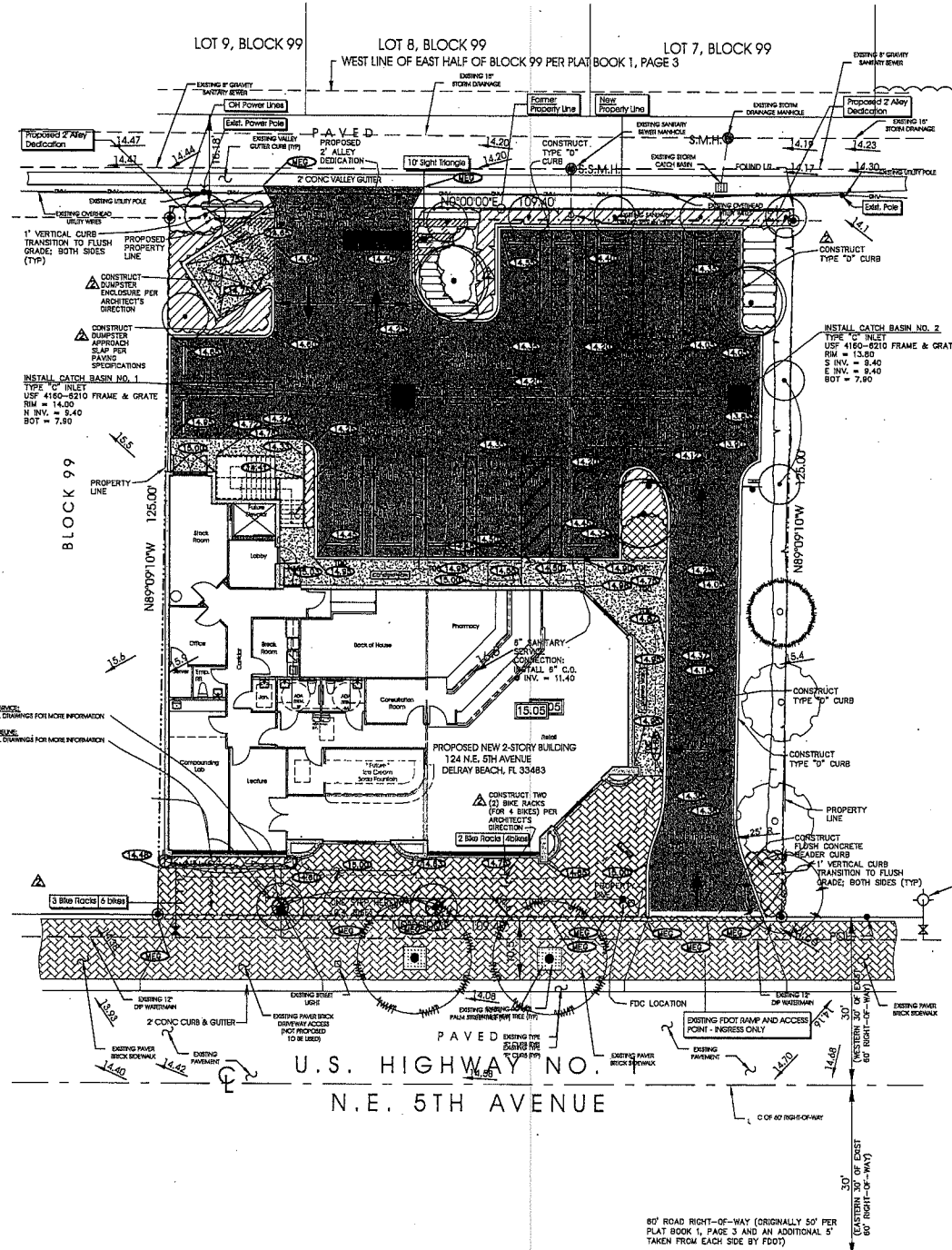
RICK BRAUTIGAN

1023 E. DELAY AVENUE  
DELRAY BEACH, FL 33433  
PH: 561-272-9088  
FAX: 561-272-9088  
A000000000

LEGEND:

- 15.05 PROPOSED GRADE
- EXISTING ELEVATION
- DENOTES PROPOSED PAVEMENT
- DENOTES PROPOSED PAVER BRICK
- 15.05 PROPOSED FINISHED FLOOR ELEVATION
- R RADIUS
- TYP TYPICAL
- MATCH EXISTING GRADE
- C.O. SANITARY CLEAN OUT
- MIN. MINIMUM
- DIP DUCTILE IRON PIPE
- RPZ REDUCED PRESSURE ZONE
- TS# TACTILE SURFACE LOCATION & NUMBER
- CR CURB RAMP LOCATION
- DCDV DOUBLE CHECK DETECTOR VALVE ASSEMBLY
- FDC FIRE DEPARTMENT CONNECTION
- RSOV RESILIENT SEAT GATE VALVE
- DIP DUCTILE IRON PIPE
- CL CENTER LINE

WATER SERVICE  
SEE CIVIL DRAWINGS FOR MORE INFORMATION  
4" DIP PRESSURE  
SEE CIVIL DRAWINGS FOR MORE INFORMATION



U.S. HIGHWAY NO. 1  
N.E. 5TH AVENUE

80' ROAD RIGHT-OF-WAY (ORIGINALLY 50' PER PLAT BOOK 1, PAGE 3 AND AN ADDITIONAL 5' TAKEN FROM EACH SIDE BY FDOT)

Composite Overlay

1" = 10' SC

The Flossy B.  
Building  
Pharmacy &  
Soda Fountain

124 N.E. 5th Ave.  
Delray Beach,  
Florida

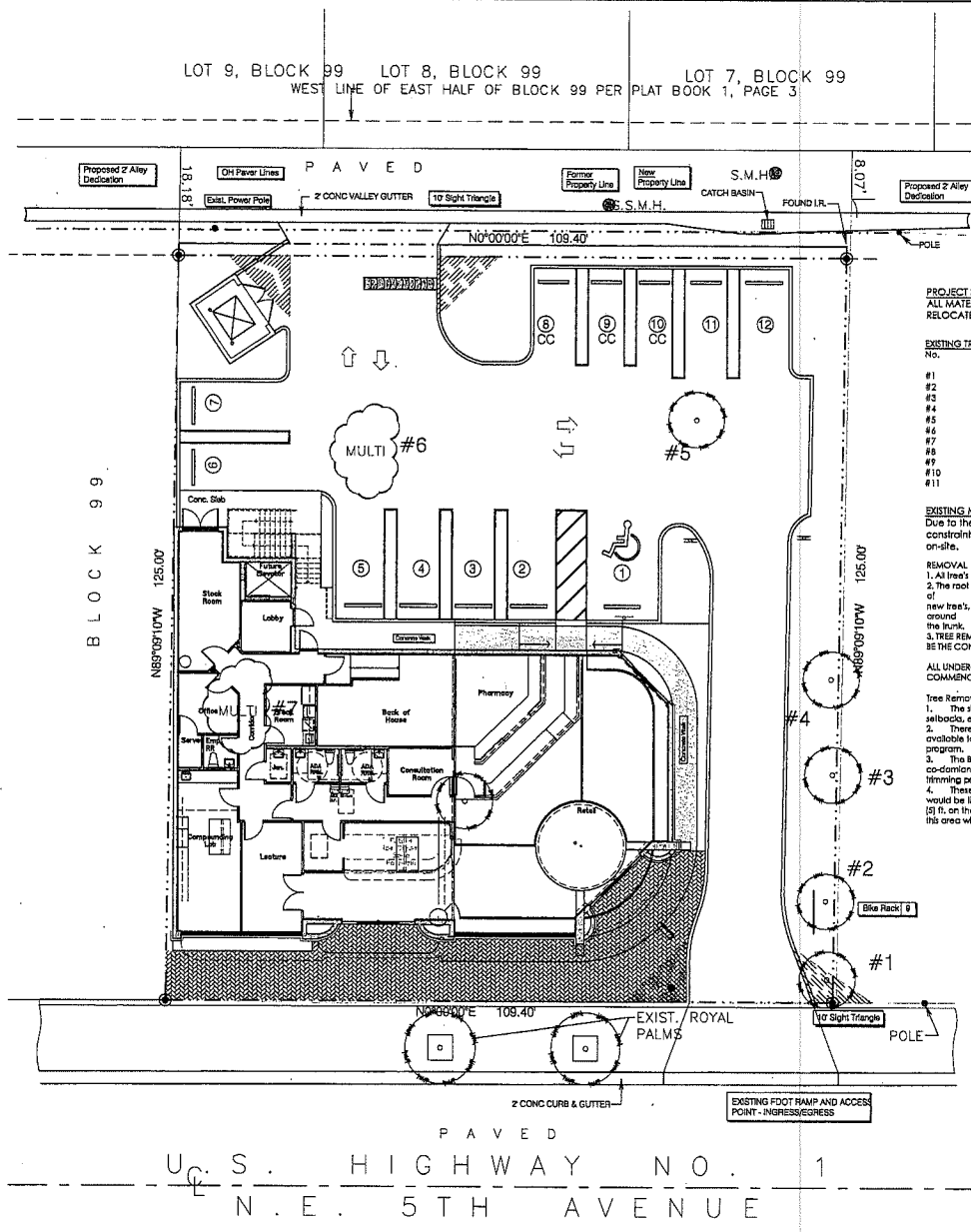
RBA-PN:13515.07

Issued  
10-01-16

- Revised Sprob  
Submission Rev1  
Per: Staff Comments  
12-22-15
- Revised Sprob  
Submission Rev2  
Per: Staff Comments  
2-17-16



13



**PROJECT NOTE:**  
ALL MATERIALS ON SITE NOT INDICATED TO BE REMOVED OR RELOCATED SHALL REMAIN.

**EXISTING TREE LEGEND**

No.	Name	Size	Disposition
#1	Rosewood Tree	10" calp. 20x20ft.	To Remain, on adjacent property
#2	Coconut Palm	20-25ft. calp.	To Remain
#3	Coconut Palm	20-25ft. calp.	To Remain
#4	Live Oak	4" calp. 18-20ft. mill.	To Remain
#5	Black Olive	18" calp. 35x35ft. mill.	Remove for construction
#6	Black Olive	18" calp. 35x35ft. mill.	Remove for construction
#7	Black Olive	24" calp. 40x40ft. mill.	Remove for construction
#8	Black Olive	18" calp. 30x30ft. mill.	Remove for construction
#9	Black Olive	18" calp. 30x30ft. mill.	Remove for construction
#10	Black Olive	18" calp. 30x30ft. mill.	Remove for construction
#11	Black Olive	18" calp. 30x30ft. mill.	Remove for construction

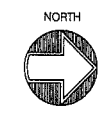
**EXISTING MATERIALS NOTE:**  
Due to the development requirements in the CBD district, and the site constraints, it is not feasible to relocate any of the existing materials on-site.

- REMOVAL NOTES:**
1. All trees to be removed shall be completely removed from the site.
  2. The root systems of the removals shall be removed in such a manner to facilitate the installation of new trees, or plants. Root system removal shall be a minimum of 24" depth, and a 6 foot diameter around the trunk.
  3. TREE REMOVAL PERMITS WILL BE REQUIRED BY THE GOVERNING MUNICIPALITY, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.

ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO COMMENCING ANY WORK ON THE SITE, PER FLORIDA LAW.

**Tree Removal Justification Statement:**

1. The site is located in the CBD district and given the zoning district site plan requirements (park, setback, etc...) there is not adequate space on the site to relocate the four (4) Black olive trees.
2. There are also FPL overhead power lines in the western alley which further inhibits the area available to which to relocate these trees, as we must adhere to the "Right-of-Way" program.
3. The Black olive trees, while they are large (18-24" calp.), are not "specimen" trees. The all have co-dominant branching structure and have been damaged by past hurricanes, and improper thinning procedures.
4. These trees would require a 40' root ball (minimum) and the only landscape area available would be the north property line. This landscape area is eight (8) ft. wide and narrows down to five (5) ft. on the western end. There is not adequate space for the Black olive trees to be relocated to this area without the root systems damaging the hardscape with their surface root systems.



REVISIONS	BY
REVISED 1.24.15 Per City Comments Dated 1.21.15	
REVISED 2.18.15 Per SPRAB SUBMISSION PER STAFF COMMENTS	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th Ave., Delray Beach, FL 33463  
561-272-9621 LA. 831

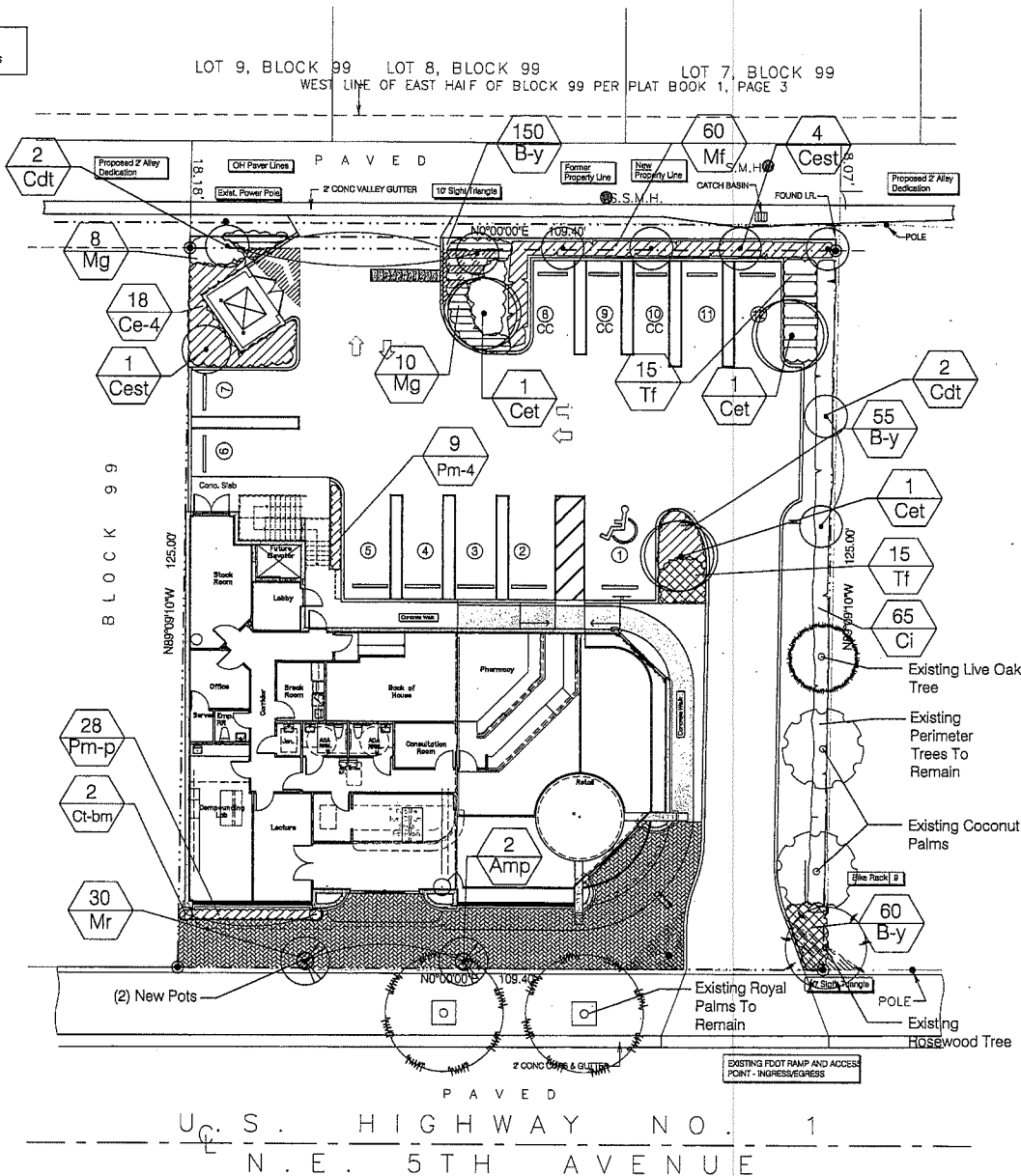
Landscape for:  
**DelRay Shores Pharmacy**  
Delray Beach, Florida

DRAWN	SKP
CHECKED	C.H.C.
DATE	9.02.15
SCALE	1" = 10'
SHEET NO.	1, 15, 15
SHEET	
L-1	
OF	SHEETS

Overall Existing Tree Removal & Relocation Plan

Automatic Irrigation system to provide 100% Irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & Turf zones are to be separated. THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS

NOTE: All Landscape With-in Sight Triangles Shall Provide Unobstructed Cross-visibility At A Horizontal Level Between 30 Inches And 8 Feet, Including Trunks From Pavement.



Landscape Plan

REVISIONS	BY
REVISED 1.24.15 Per City Comments Dated 1.21.15	
REVISED 2.18.15 Per SPRAB SUBMISSION PER STAFF COMMENTS	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
 74 N.E. 5th AVE. Delray Beach, FL 33483  
 LA. 831  
 561-272-9621

Landscape for:  
**DelRay Shores**  
**Pharmacy**  
 Delray Beach, Florida

DRAWN
SPR
CHECKED
D.H.C.
DATE
9.02.15
SCALE
1" = 10'
JOB NO.
1.18.15
TITLE
L-2
OF * SHEETS



Shrub & Plant used on this site shall conform to the requirements of "Low watering needs" as specified in the South Florida Water Management District's "Waterwise" publication.

used utility structures shall be planted on three sides with "Waterwise" Coccoloba hedges

cape areas containing trees and vegetation shall be first filled with city inspected clean fill soil.

At planted areas on the site shall first be filled with clean fill to a depth of one foot from the surface entire length of the green space, island, or landscape buffer.

on. The city shall inspect of clean fill, irrigation systems and landscape improvements prior to installation.

**Note:**  
All Above Ground Mechanical Equipment Such As, But Not Limited To, Exterior Utility Boxes, Meters, And Transformers Shall Be Depicted On All Plans And Shall Be Visually Screened. Backflow Preventers Shall Be Painted To Match Principle Structure.

Automatic Irrigation system to provide 100% irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & Plant zones are to be separated. THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE BASEMENTS

**NOTE:** All Landscape With-In Sight Triangles Shall Provide Unobstructed Cross-visibility At A Horizontal Level Between 30 Inches And 8 Feet, Including Trunks From Pavement.

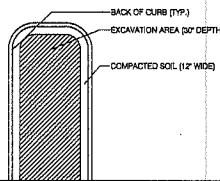
#### MATERIAL SCHEDULE

Gly. Key	Botanical / common name	Size
5 Cast*	Conocarpus E. Serenoa / Silver buttonwood tree	14-16'x6-7" 7'CT
3 Cel	Conocarpus erectus/green buttonwood tree	16'x7' 8'CT
1 Pasp-16*	Phytolacca elegans / Alexander palm	16' 00
4 Cdi	Coccoloba diversifolia/ Pigeon Palm Tree	12'x5'
2 Amp	Adoranda Merrill/Christmas palm	6-7'oc. single michg.
65 C*	Chrysobalanus icaco/ Coccoloba	2'x3g. 82'oc.
9 Pm-4*	Podocarpus naki/ Yew	3.5-4' oc. 11'7'oc.
22 Mg*	Muhly Grass	15' 3'oc. 15'5'oc.
18 Cb-4*	Conocarpus erectus/green buttonwood tree	3.5-4' oc. 15'5'oc.
40 M*	Myrsine elegans / Simpson dapper	2'x3g. 82'oc.
2 Cl-bm	Cordyline terminalis/ Black magic fl plant	3.5-4' o.c. multi
255 S-*	Sabbie yellow	10-12' lg 12'oc
30 TP	Tillandsia Nordiana/ Dwarf, lankatathas grass	15'3g. 15'oc.
28 Pm-p	Podocarpus macrophyllus pines	15' 3g. 15'oc.
30 M*	Portulaca Moss Rose	10-12' lg 12'oc

\* - Denotes native, or highly drought tolerant plant materials, per SPWMD, "Waterwise Manual".

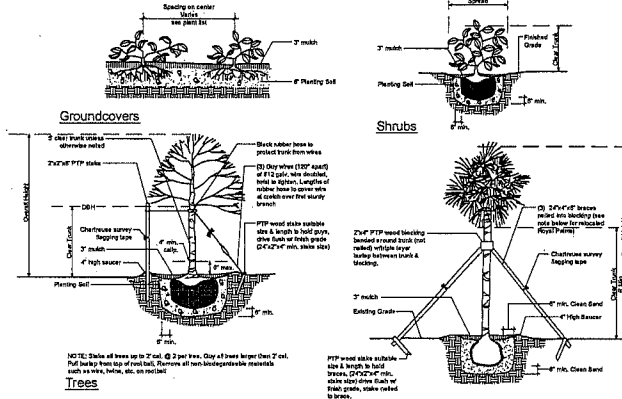
Planting soils, see specs. & details  
Mulch, see specs. & details  
Soil Solid Retention and Ratio as noted  
73% Native plant materials used.

**NOTE:** [2] Delta Round Containers  
Size: 30"x24"  
Color: Gray  
Supplier: Yard Art #6458108



Parking Area Soil Replacement Detail

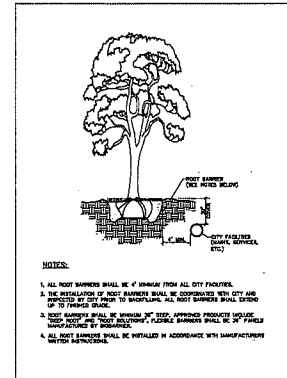
**NOTE:** Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curbs or pavement (see detail). A suitable planting soil mixture of fifty/fifty (50/50) loam/loam (50/50) sand / planting soil shall be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



Straight Trunk Palms

#### GENERAL LANDSCAPE NOTES:

1. All plant material shall be F1, #1, or better, as per the latest addition of F1, Grades & standards. All "specimen" quality materials shall be F1, #1, and shall be pre-approved by the Landscape Architect.
2. All plant materials shall be true to name & size, as per F1, Grades & Standards. Plant materials which do not meet, or exceed these standards will not be accepted.
3. Quantities, sizes, and locations of plants will be determined by the plan and material schedule. Sizes of the specified plants shall take precedence over the container size. Spacing of the ground covers will be determined by the material schedule. Quantities shown on the material schedule are to be used as a guideline. The landscape contractor shall be responsible for the actual quantities shown on the plan. The plan will take precedence over the material schedule. Discrepancies shall be brought to the attention of the Landscape Architect, prior to commencing.
4. No substitutions shall be accepted without the Landscape Architect's written approval. All substitution requests shall be made in writing.
5. Planting soils shall be clean, sterile, and free of debris. Soil shall consist of 40% F1, muck & 60% existing native soils, mixed thoroughly together, clean sand. Tree's shall be installed with a minimum of 4" on sides & bottom of root balls. Shrubs, plants & ground covers shall be installed with a minimum of 4" on sides & bottom of root balls. Rooted cuttings shall be installed with a minimum of 4" of planting soil worked into the top 6" of the existing soils. Sabal palms and Phoenix species shall be installed with a clean well drained sand.
6. If organic, or equal, fertilizer shall be applied to all plantings, per manufacturers recommendations. In addition, "Agriform" tablets (20-10-5) shall also be applied to all plants 1 gal. and above, per manufacturers recommendations.
7. All trees & palms shall be mulched with a 3ft. diameter circle, 3" minimum depth. All planting beds shall receive 3" finished depth, mulch upon completion of planting process. Mulch shall "Eucalyptus", or approved equal, NO CYPRESS MULCH SHALL BE UTILIZED ON THE PROJECT.
8. All plants shall be planted at soil levels which they were previously grown. Shrubs and hedges are to be planted 2ft. away from any wall, or structures. Materials with a st. greater than overhangs shall be planted so as not to impede the natural growth habit of the plant.
9. All materials are to be watered-in immediately after planting, so as to remove all air pockets. All materials are to be hand-watered for a minimum of 1 week after installation, and there-after as required. Contractor shall advise the owner of any additional hand-watering requirements.
10. All trees, shrubs, or larger, are to be staked, or guyed, to provide ample support such that materials remain straight & true in an up-right position through the guarantee period. Staking & guying shall be performed at the option of the landscape contractor, except where required by code. However, the landscape contractor shall be responsible for all trees & palms remaining straight & true through the guarantee period. In the event that a material shifts after it has been properly staked, or guyed, the landscape contractor shall not be held responsible.
11. All sod shall be "Florida", unless otherwise specified. Sod shall be dense, green, well-rooted, and free of debris, weeds, disease, or insects. A complete 6-6-6 fertilizer shall be applied at a rate of 1 lbs. per 1,000 sq. ft. Sod is to be watered to a depth of 3" immediately after installation. Grades are to be rolled smooth, and all debris removed, prior to installation.
12. All trees, plants & ground-covers shall be guaranteed for a period of 120 days, and all palms are for a period of one year, after the date of substantial completion. Phoenix canariensis & doctylifera palms are to be maintained, per grower/supplier recommendations, by a qualified person, or firm. Sod maintenance program shall be the responsibility of the owner.
13. The landscape invoice will be deemed as rejection of the plant materials. The landscape contractor shall remove any, or all of the rejected materials from the site as their discretion.
14. The removal of "base rock" is not included in the landscape contract.
15. All grades are to be within 2" of finished grades, prior to the landscape contractor commencing work.



Any Trees or shrubs placed within water, sewer or drainage easements shall conform to the City Standard Detail requirements.

Landscape Notes And Details

REVISIONS	BY
REVISED 1.24.15 Per City Comments Dated 1.21.15	
REVISED 2.18.14 Per SPRAB SUBMISSION PER STAFF COMMENTS	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th Ave. Delray Beach, FL 33483  
561-272-9621  
LA 831

Landscape for:  
**DeiRay Shores**  
**Pharmacy**  
Delray Beach, Florida

DRAWN	SNP
CHECKED	D.H.C.
DATE	9.02.15
SCALE	1" = 10'
JOB NO.	1.15.15
SHEET	
	L-3
OF	SHEETS



# IRRIGATION LEGEND

● Rain bird 6 Pop-up 1600 Series w/PCP pattern as shown

▲ Irrigal Valves

□ Rain bird Controller ESP Series/Mini Click Rain Sensor  
Water Source: City Water Meter

NOTE: Main line & valve locations are shown for graphic clarity only.  
All main lines & valves are to be located within landscape area on-site.

## IRRIGATION NOTES:

Notes:  
Automatic Irrigation System  
Water demand/zone  
Pressure required (refer to plan)

GENERAL  
System shall be installed in accordance with a Federal, State, and local codes, Contract drawings and Contract Specifications.

Irrigation design is based on "Planting Plan" dated 02.19.16  
Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant locations.

The water source for this system shall be City Water source.  
The master shut-off valve shall be activated via the automatic controller, and shall be used to depressurize the zone lines when the system is not operational.  
Contractor shall adjust the irrigation, where noted on the plans for actual field conditions, and shall install the system in accordance with South Florida Irrigation Society Standards and specifications.

To insure proper operation of this system, pump size, pressure required, pipe and wire sizes, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications.

Irrigation system shall provide 100% coverage, with a 50% overlap minimum, utilizing "nut-free" water source. If a well & pump system is to be utilized, the contractor shall provide a "chemical injection system" to inhibit rust stains, if water sample testing indicates that there will be "rust" staining from the well water.

## PIPING

ALL PIPING SHALL BE PURPLE PIPE FOR FUTURE AVAILABILITY OF RECLAIMED WATER

Pipe routing is schematic only, and shall be field adjusted for on-site conditions.

All pipe shall be installed in accordance with local codes, and per manufacturer's recommendations.

Pipe routed under paver surfaces, and through planter walls shall be sleeved in SCH 40 PVC. Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Contractor shall verify the location, depth & size of all existing sleeves, as required.

Pipe installed above grade for the backflow preventer shall be SCH 40 Galvanized pipe. All other piping shall be PVC. The main line shall be SCH 40 PVC, laterals sized from 1" to 2" shall be SDR 26, Class 140, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe.

Pipe shall be installed so the backfill depths are maintained at 18" for main lines and all lateral lines routed beneath pavement, and at 12" for all other lines. The depths from 1" to 2" shall be SDR 24, Class 140, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe.

one is to be taken from finished grades.  
Backfill material shall be suitable material, free of rocks, stones, or other debris that could damage components of the irrigation system.

## SPRINKLERS

Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, landscape elements, etc., to provide 100% coverage with a no overhang onto paved surfaces, or building footings.

Pop-up spray heads shall be Toro series 8", and 12" type, which are to be installed on flexible swing joints of Toro thick-walled poly pipe with 1/2" insert elbows. THERE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THE PROJECT.

Shrub heads shall be installed at a uniform height of 8" above the plantings, and are to be located within planting masses so as to be concealed from view.

Shrub type spray heads shall be Toro 573 series, and are to be installed on a 1/2" SCH 40 PVC feet.

Bubblers are to be installed on a SCH 40 PVC feet at the base of the plant material, for low-level watering.

All SCH 40 PVC feet are to be painted "Forest Green", or Brown, to be less conspicuous.

Toro 12" pop-up sprinklers shall be installed in ground-cover areas of the parking lot islands, and at other critical locations, as determined in the field by the Landscape Architect.

Sprinklers located adjacent to pavement, sidewalks, decks, patios, buildings, etc., shall be installed 8" from the edge. Unless otherwise noted on the plans, pop-up sprinklers shall be installed 8" from the edge, and shrub sprinklers shall be installed 18" from the edge. Shrub type are not to be installed at walkway intersections, or where-ever a "trip & fall" hazard may occur.

Adjustment feature of sprinklers specified shall be utilized to insure proper coverage, while minimizing undesirable overhang.

Contractor shall use precaution in locating, and setting sprinkler heads in planting areas adjacent to parking spaces to minimize the damage to sprinklers by overhanging car bumpers.

Pop-up sprinklers with low angle nozzles shall be installed amid masses of tall shrubs, for low-level watering. Contractor shall install sprinklers at optimum locations for the most effective coverage.

## CONTROL SYSTEM

Rainbird control system shall be installed, per manufacturer's recommendations, to activate in-line valves, and the master shut-off valve.

Proper grounding equipment shall be installed, for the controller.

Controller location shall be approved by the Landscape Architect, and project supervisor.

The irrigation contractor shall supply the controller, however the physical installation there-of, and the electrical hook-up shall be by others.

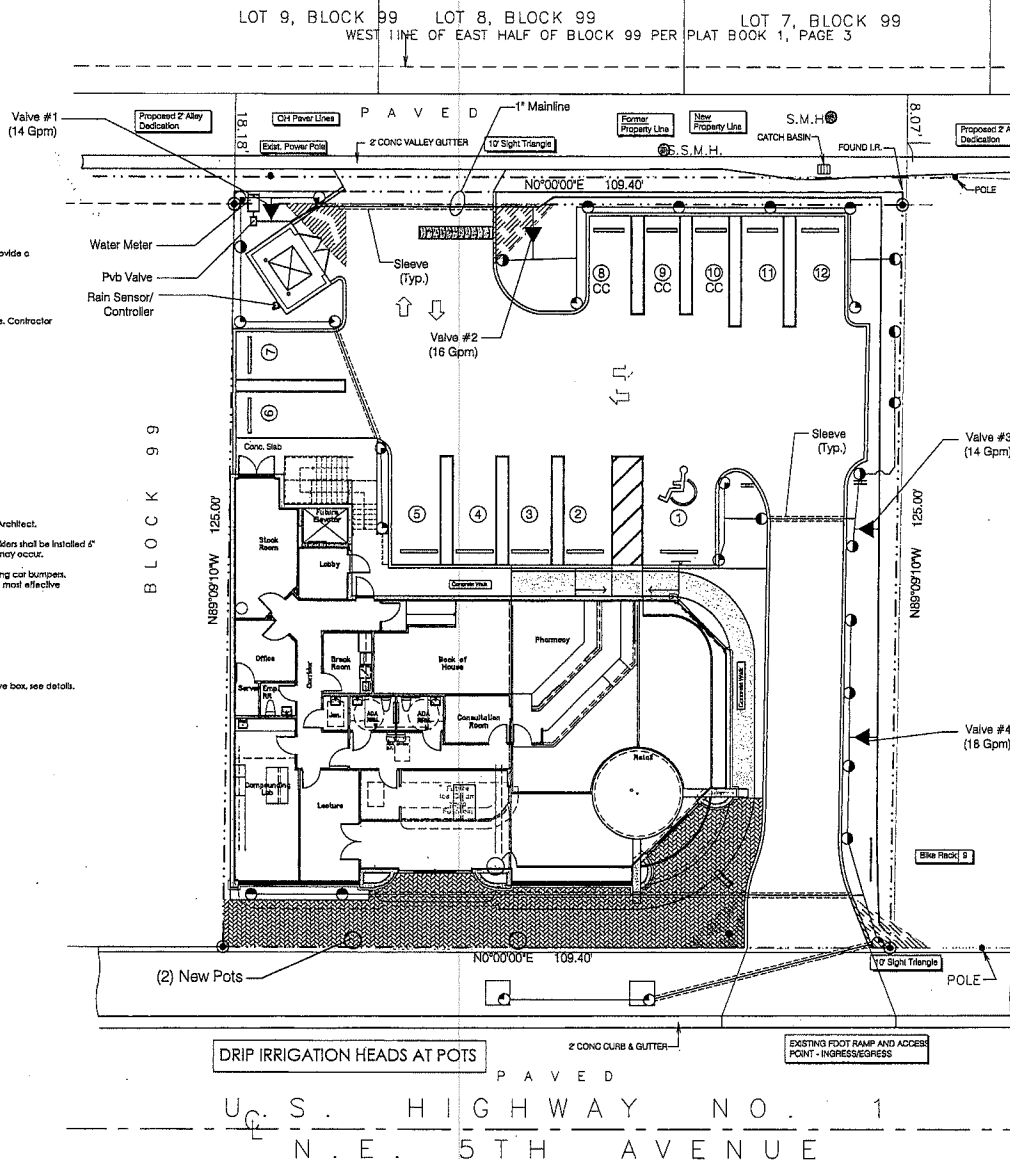
## VALVES

Richardson, or approved equal, electric valves shall be installed per manufacturer's recommendations, and as per details. All valves are to be installed in a 10" Armatex valve box, see details.

## RAIN SENSOR

Mini-click rain sensor shall be installed, per manufacturer's recommendations. Rain sensor location shall be approved by the Landscape Architect.

IRRIGATION MAIN LINE NOTE:  
MAIN LINE & VALVE LOCATIONS ARE SHOWN FOR GRAPHIC CLARITY ONLY. ALL MAIN LINES & VALVES ARE TO BE LOCATED WITHIN LANDSCAPE AREAS ON-SITE.



BUBBLER HEADS AT ALL TREES AND PALMS

ALL PIPING SHALL BE PURPLE PIPE FOR FUTURE AVAILABILITY OF RECLAIMED WATER

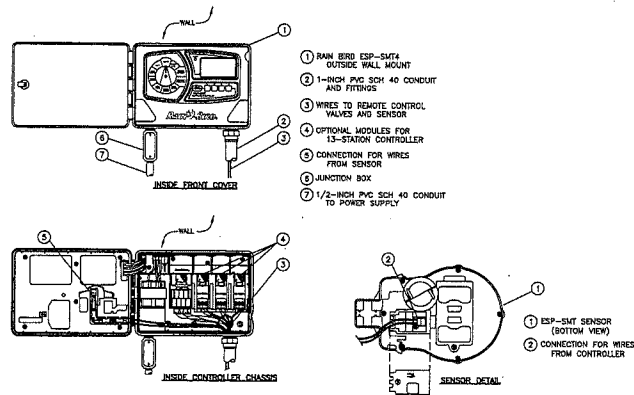
Irrigation Plan

REVISIONS	BY
REVISED 1.24.15 Per City Comments Dated 1.21.16	
REVISED 2.18.16 Per SPRAB SUBMISSION PER STAFF COMMENTS	

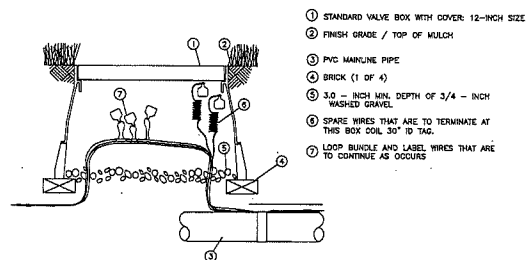
DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5th Ave. Delray Beach, FL 33483  
561-272-9621

Landscape for:  
**DelRay Shores Pharmacy**  
Delray Beach, Florida

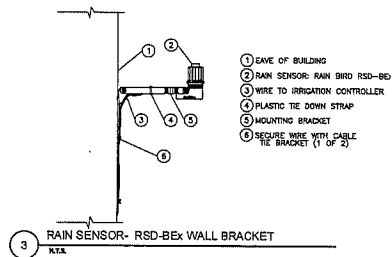
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CHECKED	D.H.C.
DATE	9.02.15
SCALE	1" = 10'
DATE	1.15.15
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OF	* SHEETS



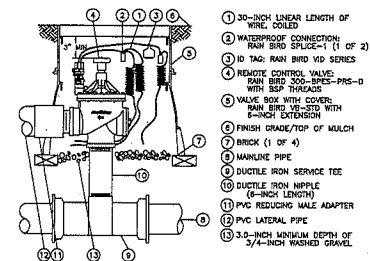
1 ESP-SMT SMART CONTROL SYSTEM  
N.T.A.



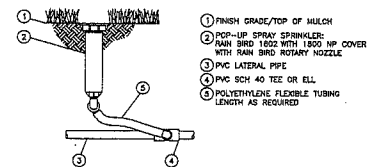
2 WIRE BUNDLE JUNCTION BOX  
N.T.A.



3 RAIN SENSOR- RSD-BEX WALL BRACKET  
N.T.A.



4 ELECTRIC REMOTE CONTROL VALVE  
N.T.A.



5 ROTARY SPRAY ASSEMBLY  
N.T.A.

REVISIONS	BY
REVISED T.24.16 Per City Comments Dated 1.21.16	
REVISED 2.18.16 Per SPRAB SUBMISSION PER STAFF COMMENTS	

DESIGNED BY:  
**CARTER & ASSOCIATES**  
**LANDSCAPE ARCHITECTS INC.**  
74 N.E. 5TH AVE. Delray Beach, FL 33483  
561-272-9621  
LA 831

Landscape for:  
**DeIRay Shores**  
**Pharmacy**  
Delray Beach, Florida

DRAWN SKP
DRAWN BY D.H.C.
DATE 9.02.15
SCALE 1" = 10'
JOB NO. 1.15.15
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OF *
SHEETS

# CIVIL IMPROVEMENT PLANS: PAVING, GRADING & DRAINAGE IMPROVEMENTS WITH WATER, SEWER & FIRELINE SERVICES

## THE FLOSSY B. BUILDING DELRAY SHORES PHARMACY & SODA FOUNTAIN 124 N.E. 5TH AVENUE DELRAY BEACH, FLORIDA 33483

FOR

KH DELRAY AT FIFTH LLC  
1390 S. DIXIE HWY STE 2213  
MIAMI, FLORIDA 33416

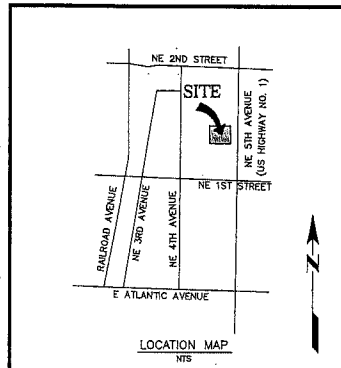
BY

JOHN A. GRANT, JR., INC.  
3333 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA  
561-395-3333

FOR PERMIT PURPOSES ONLY

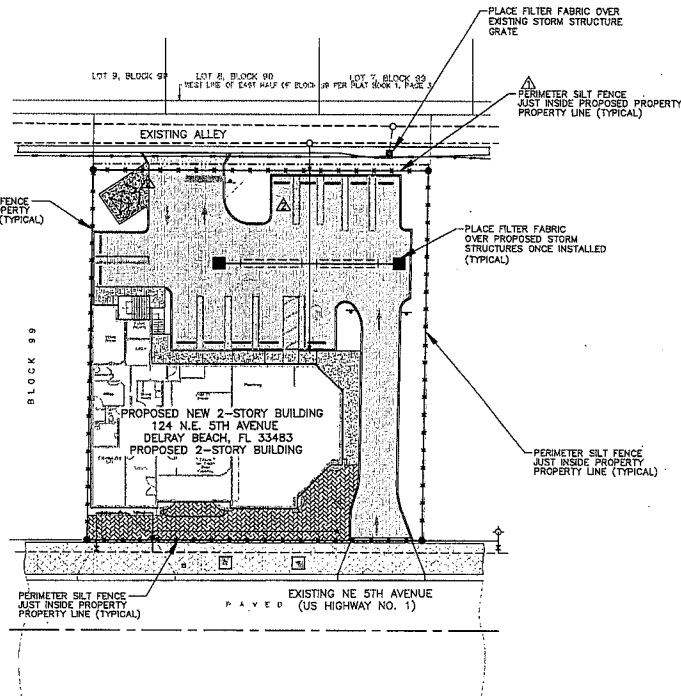
PROJECT NO JG100-9654

- |   |   |
|---|---|
| 1 | COVER SHEET   |
| 2 | STORMWATER EROSION CONTROL NOTES & DETAILS                                      |
| 3 | GENERAL NOTES, TYPICAL CROSS SECTIONS & DRAINAGE DETAILS                        |
| 4 | PAVING DETAILS & SPECIFICATIONS   |
| 5 | WATER AND SEWER DETAILS   |
| 6 | PAVING, GRADING & DRAINAGE IMPROVEMENTS WITH WATER, SEWER AND FIRELINE SERVICES |
| 7 | STRIPING AND SIGNAGE PLAN   |



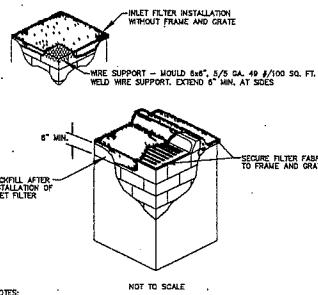
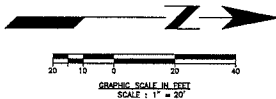
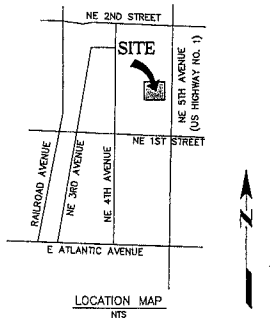
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
State of Florida

SHEET 1 OF 7



#### EROSION CONTROL NOTES:

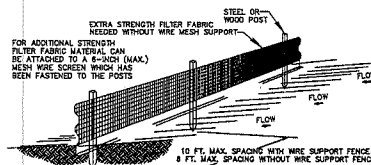
1. PROPOSED ON-SITE PAVING IMPROVEMENTS ARE SHOWN ABOVE.
2. CONTRACTOR TO REMOVE EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONSTRUCT PAVING MODIFICATIONS SHOWN. REFER TO LANDSCAPE PLANS FOR LANDSCAPING INFORMATION.
3. ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNDISTURBED EXCEPT WHERE NOTED.
4. PERIMETER SILT FENCE SHOWN ABOVE IS ATOP THE PROPERTY LINE. SILT FENCE LOCATIONS MAY CHANGE BASED UPON CONSTRUCTION PHASING, SITE ACCESS AND MAINTENANCE OF TRAFFIC BUT SHALL ALWAYS BE INSTALLED ALONG ALL LIMITS OF ACTIVE CONSTRUCTION AREAS PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES.



#### NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 28 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D.8.1



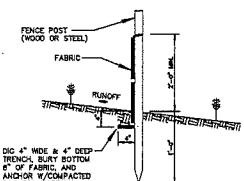
#### NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM), WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 8 FEET (2.4 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRE, OR HOE RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 3 INCHES (75 MM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FABRIC SHALL BE STAPLED OR WIED TO THE FENCE, AND 5 INCHES (25 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO DEP.

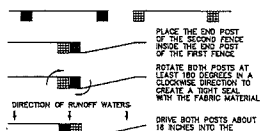
SILT FENCE INSTALLATION DETAIL D.9.1a  
Sheet 1 of 2

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTROL SOIL AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL MEASURES IS NOT DEEMED TO BE GUARANTEED BY THE REPRESENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND MAINTENANCE OF EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND MAINTENANCE OF EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND MAINTENANCE OF EROSION CONTROL MEASURES.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING, EXCAVATION, FILLING, OR OTHER DISTURBANCE OF THE GROUND. EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR AND REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP SOFT WITHIN FOLDABLE LAYERS BY SPREADING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ENGINE SUPERVISOR.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL MEASURES SHALL BE CAUSE FOR STOPPAGE OF WORK AND REMOVAL OF SUCH MEASURES AS PER INLET PROTECTION DETAIL.
7. DRAINAGE ALLEYS SHALL BE PROTECTED BY FILTER AND GRADED AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
12. DRAINAGE FROM WATERWAYS OPERATIONS SHALL BE RETAINED INSIDE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL D.9.1



#### SILT FENCE SECTION

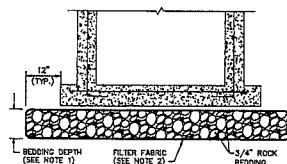


ATTACHING TWO SILT FENCES  
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D.9.1b  
Sheet 2 of 2

REVISIONS PER CITY OF DELRAY BEACH STAFF	CRK	FEB 2018
REVISIONS PER CITY OF DELRAY BEACH / LATEST	CRK	DEC 2015
NO. REVISION	BY	DATE
<b>STORMWATER EROSION CONTROL NOTES &amp; DETAILS</b>		
THE FLOSSY B. BUILDING DELRAY SHORES PHARMACY & SODA FOUNTAIN 124 N.E. 5TH AVENUE DELRAY BEACH, FLORIDA 33483		
JOHN A. GRANT, JR., INC. CONSULTING ENGINEERS 3333 NORTH FEDERAL HIGHWAY BOCA RATON, FLORIDA 33431 PH. NO. 561-395-3333 FAX NO. 561-395-3315 LICENSED BUSINESS NO. LB 50		
MADE	DATE	PG
CHECKED	DATE	SCALE
NOB NO.	DATE	SHEET

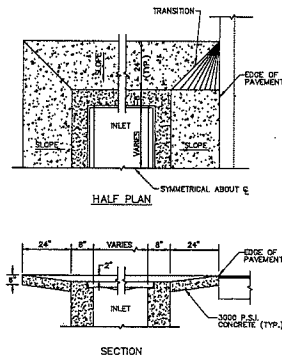
THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 50



NOTES:

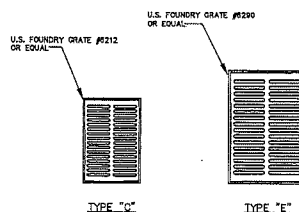
1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 808.

STANDARD BEDDING D 3.1



INLET APRON DETAIL D 5.1

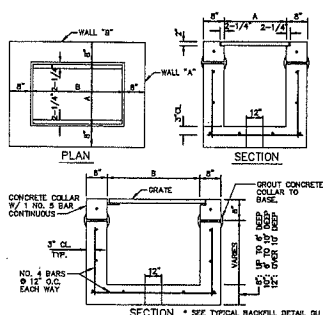
INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.



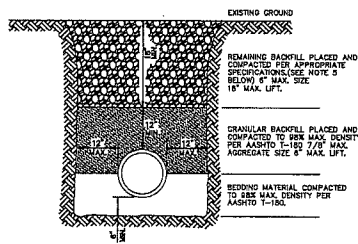
NOTES:

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
2. WHEN INSTALLED IN PAVEMENT OR WITHIN 8' OF PAVEMENT USE U.S.F. 4160-6210

TYPE C & E INLET GRATE DETAIL D 6.1



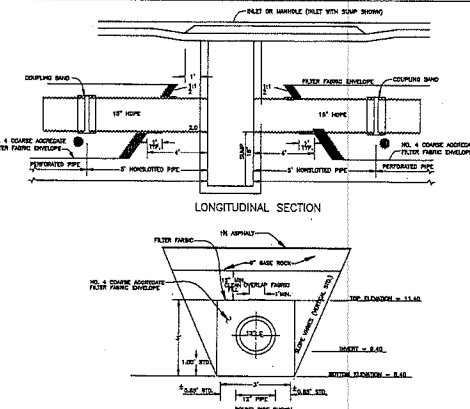
TYPE C & E INLET DETAIL D 7.1  
NTS



NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMESTOCK 3/8" - 7/8" SHALL BE PLACED.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED BY ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO BED DENSITY UNDER PAVEMENT AND TO BED DENSITY ELSEWHERE (ASTM T-160)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THE PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, AND RE-DO THE BACKFILL AND COMPACTION PROCEDURE.

TYPICAL BACKFILL DETAIL GU 2.1



STANDARD CROSS SECTION (ENLARGED)

## FRENCH DRAIN

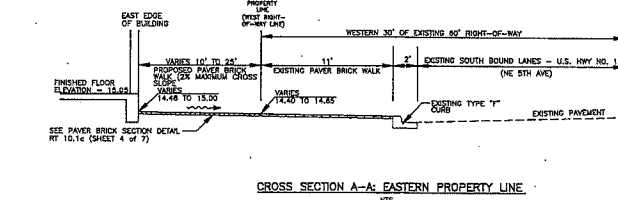
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## FRENCH DRAIN GENERAL NOTES

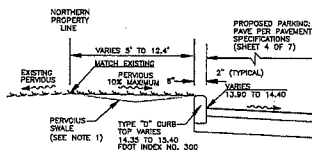
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1. SCOPE: WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL MATERIALS, EQUIPMENT AND LABOR FOR GRADING, PAVING AND DRAINAGE. COMPLETE AND READY FOR USE AS PER DRAWINGS AND AS SPECIFIED HEREIN. ALL WORK SHALL BE CONSTRUCTED IN A WORKMAN LIKE MANNER AND IN ACCORDANCE WITH THE REGULATIONS AND PERMITS OF THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, THE FLORIDA STATE DEPARTMENT OF TRANSPORTATION, ALL LOCAL CODES AND ALL OTHER GOVERNING AGENCIES HAVING JURISDICTION WITHIN THE LIMITS OF THE WORK.
2. THE CONTRACTOR SHALL PROVIDE FACILITIES AND BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURES, BUILDINGS AND UTILITIES UNDER GROUND, ON THE SURFACE, OR ABOVE GROUND, AGAINST TRENCHING, Dewatering OR ANY OTHER ACTIVITY CONNECTED WITH THE CONSTRUCTION OF THIS PROJECT DURING THE CONSTRUCTION PERIOD AND PROTECT AND PRESERVE THE OWNER HARMLESS AGAINST ALL CLAIMS FOR SUCH DAMAGE.
3. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
4. GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
5. ALL ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
6. WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSION.
7. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI, UNLESS OTHERWISE NOTED.
8. ALL REINFORCING SHALL BE DEFORMED STEEL.
9. PAVING AND GRADING
  - A. SUBGRADE SHALL BE COMPACTED TO 98% DRY DENSITY AS DETERMINED BY AASHTO T-160.
  - B. BASE SHALL CONSIST OF APPROVED LOCAL LIMEROCK COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - C. PRIME COAT SHALL BE CUT BACK ASPHALT OR TAR APPLIED AT A RATE OF NOT LESS THAN 0.10 GAL. PER SQUARE YARD OVER COMPLETE AND DRY BASE COVERED WITH CLEAN SAND AND ALLOWED TO CURE FOR A MINIMUM OF 72 HOURS.
  - D. GRADING SHALL CONFORM TO THE GRADES ON THE PLANS.
  - E. MUCK OR PEAT SHALL BE COMPLETELY REMOVED AS DIRECTED BY THE ENGINEER
10. DRAINAGE
  - A. EXCAVATION AND BACKFILL
    - A.A. THE CONTRACTOR SHALL DO ALL EXCAVATION OF WHATEVER SUBSTANCES ENCOUNTERED TO A DEPTH SHOWN ON DRAWINGS.
    - A.B. EXCAVATED MATERIALS NOT REQUIRED FOR BACKFILL SHALL BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
    - A.C. TRENCH EXCAVATION FOR MANHOLES AND INLETS SHALL BE Dewatered. Dewatering SHALL BE A CONTINUOUS OPERATION AND SHALL NOT BE INTERRUPTED OR DISCONTINUED UNTIL BACKFILLING IS COMPLETED.
    - A.D. AFTER PIPE HAVE BEEN LAID AND APPROVED THE TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN SAND FREE OF ORGANIC MATERIAL.
    - A.E. UNSUITABLE SUBGRADE, IN CASE THE SOIL CONDITIONS ENCOUNTERED AT GRADE LINE OF THE PIPE TRENCH ARE FOUND TO BE UNSUITABLE FOR THE PIPE, THE UNSTABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED SUITABLE BEDDING MATERIALS AND STABILIZED AS DIRECTED BY THE ENGINEER. MATERIAL USED FOR REPLACEMENT SHALL BE SUEBLE EARTH, SAND, GRAVEL, CRUSHED LIMEROCK OR OTHER MATERIAL SPECIALLY APPROVED BY THE ENGINEER. THE ENGINEER SHALL DETERMINE THE DEPTH, WIDTH, AND LENGTH OF EXCAVATION REQUIRED FOR PROVIDING SUITABLE BEDDING.
11. PIPE MATERIALS
  - A. HDPE TO BE INSTALLED PURSUANT TO APPLICABLE REQUIREMENT INCLUDING, BUT NOT LIMITED TO FDOT SECTION 430, ASTM F-477, AASHTO M-284 AND MANUFACTURERS RECOMMENDATIONS, STANDARDS AND SPECIFICATIONS.
12. IT IS THE INTENT OF THESE PLANS TO PROVIDE THE DEVELOPER WITH CONSTRUCTION OF IMPROVEMENTS THAT ARE ACCEPTABLE TO THE CITY OF DELRAY BEACH, PALM BEACH COUNTY AND/OR OTHER GOVERNMENTAL AGENCIES. ALL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE GOVERNMENTAL STANDARDS
13. SILT FENCE TO BE PLACED AS REQUIRED ADJACENT TO ALL PROPERTY LINES FOR EROSION CONTROL AND TO CONTAIN



CROSS SECTION A-A: EASTERN PROPERTY LINE



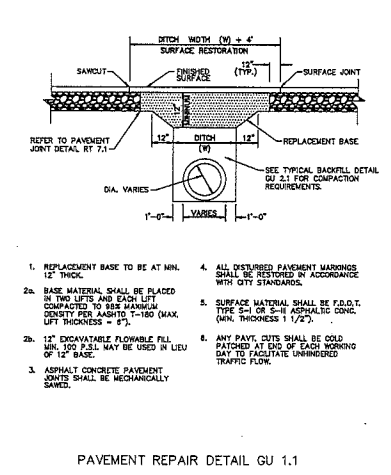
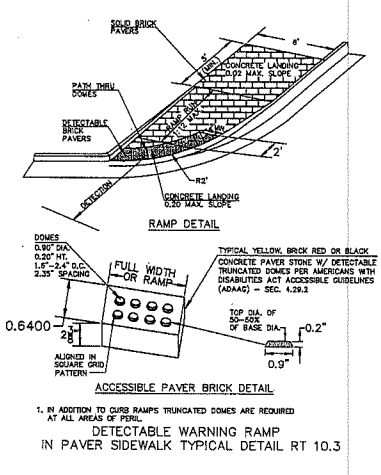
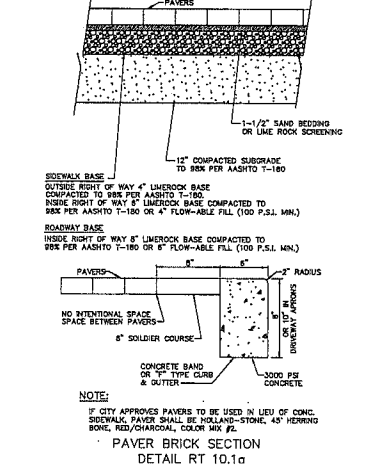
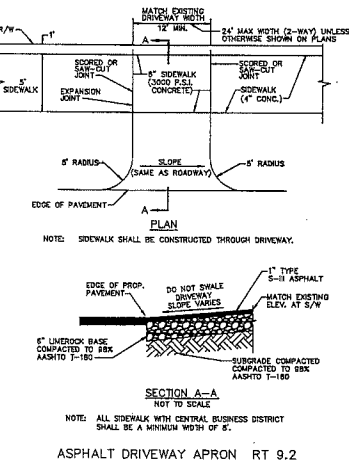
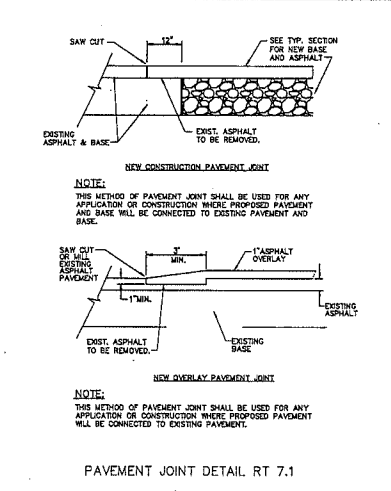
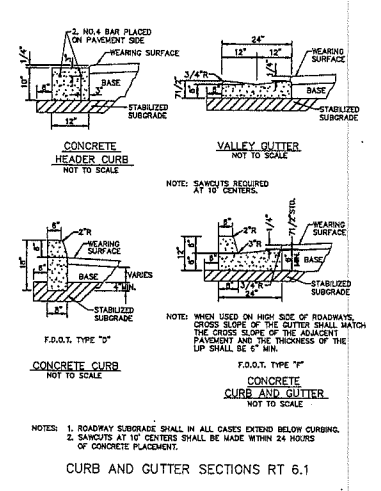
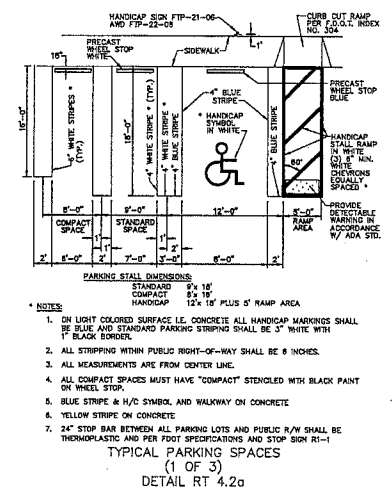
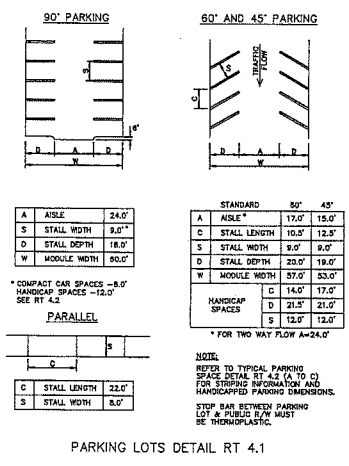
△ CROSS SECTION D-D: NORTHERN PROPERTY LINE

**NOTES:**

- NOTES:  
1.) CREATE A SYMMETRICAL 6" DEEP V-NOTCHED PERVIOUS SWALE IN ANY AREAS WHERE EXISTING ELEVATIONS ALONG THE NORTHERN PROPERTY LINE ARE LOWER THAN THE ADJACENT TOP OF CURB ELEVATION AS SHOWN ABOVE.
- CROSS SECTION D-D: NORTHERN PROPERTY LINE**
- NTS

THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 50

A REVISION CROSS SECTION D-D		CBK	DEC 2015
NO.	REVISION	BY	DATE
GENERAL NOTES, TYPICAL CROSS SECTIONS & DRAINAGE DETAILS			
THE FLOSSY B. BUILDING DELRAY SHORES PHARMACY & SODA FOUNTAIN 124 N.E. 5TH AVENUE DELRAY BEACH, FLORIDA 33483			
JOHN A. GRANT, JR., INC. CONSULTING ENGINEERS 3333 NORTH FEDERAL HIGHWAY 8004 RATON, FLORIDA 33431 PH. NO. 561-395-3333 FAX NO. 561-395-3315 LICENSED BUSINESS NO. LP 50			
MADE	CHECKED	DATE	DATE
NO.	DATE	BY	DATE
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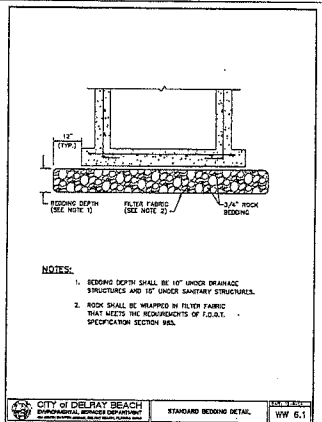
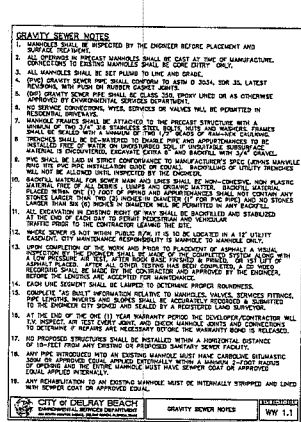
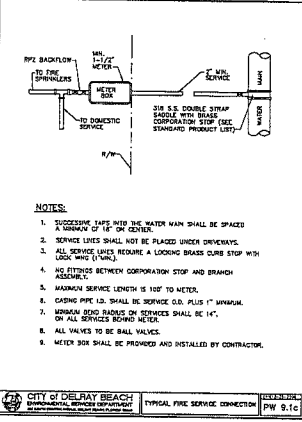
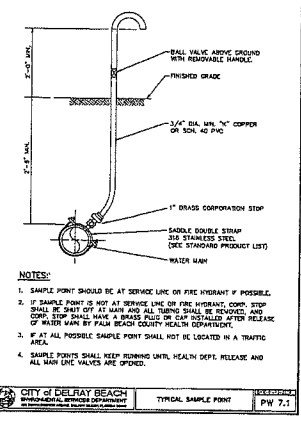
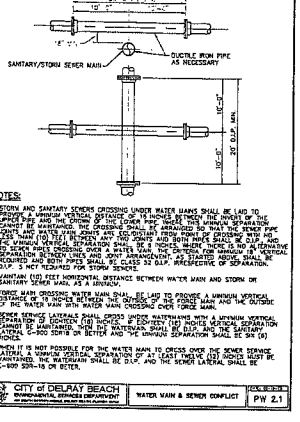
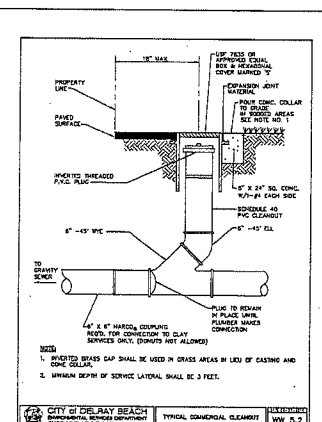
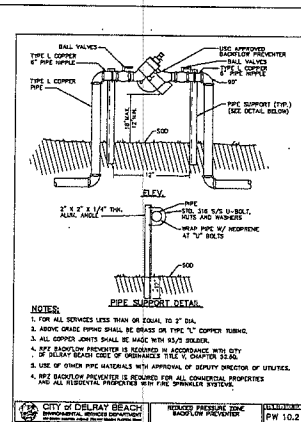
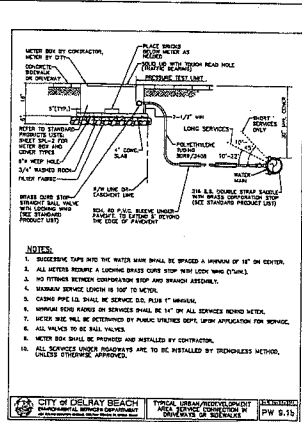
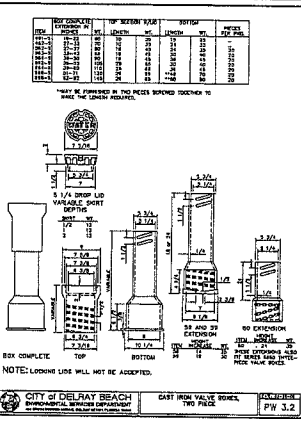
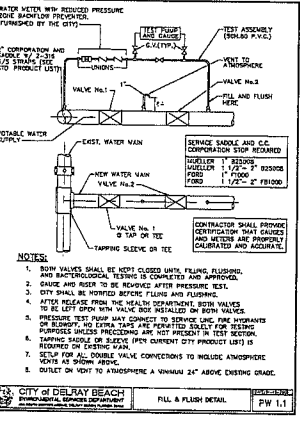
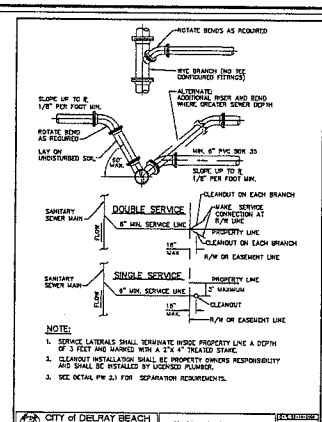
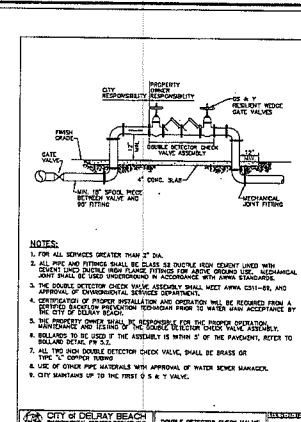
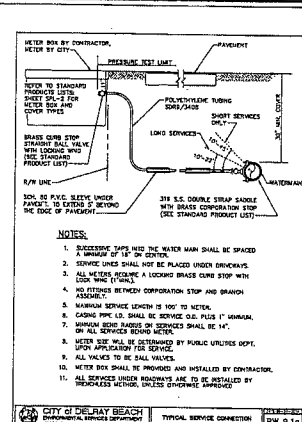
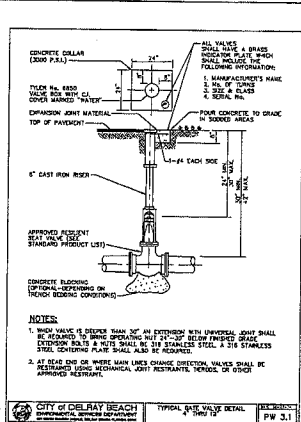
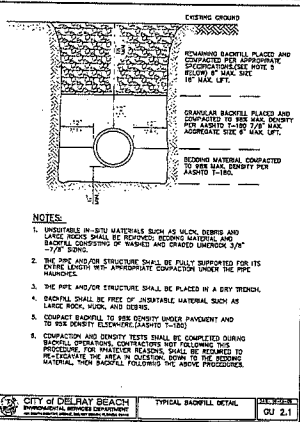


REQUIRED PAVEMENT & SIDEWALK SPECIFICATIONS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
PROPOSED ON-SITE PAVED AREAS (PARKING LOTS & DRIVE CONNECTIONS)	1-3/4" THICK, TYPE S-III (3/4" FIRST LIFT & 1" FINAL LIFT)	8" THICK, PDOT APPROVED BASE ROCK, MIN. LBR 100; COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180; PRIMED (0.1 GAL PER SQ YD)	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
PROPOSED DUMPSTER ENCLOSURE SLAB	8" THICK, CLASS I CONCRETE WITH MINIMUM 3000 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
PROPOSED PAVEMENT SIDEWALK & ROADWAY	REFER TO DETAIL RT 10.1a ABOVE	REFER TO DETAIL RT 10.1a ABOVE	REFER TO DETAIL RT 10.1a ABOVE
PROPOSED DUMPSTER APPROACH SLAB	8" THICK, CLASS I CONCRETE WITH MINIMUM 3000 PSI COMPRESSION STRENGTH @ 28 DAYS	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180

REQUIRED PAVEMENT & SIDEWALK SPECIFICATIONS

THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy, Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 50

REVISIONS PER CITY OF DELRAY BEACH STAFF		CRK	FEB 2018
REVIEW COMMENTS - SPRING SUBMISSION		BY	DATE
NO. REVISION			
<b>PAVING DETAILS &amp; SPECIFICATIONS</b>			
THE FLOSSY B. BUILDING DELRAY SHORES PHARMACY & SODA FOUNTAIN 124 N.E. 5TH AVENUE DELRAY BEACH, FLORIDA 33483			
JOHN A. GRANT, JR., INC. CONSULTING ENGINEERS 3333 NORTH FEDERAL HIGHWAY BOCA RATON, FLORIDA 33431 PH. NO. 561-395-3333 FAX NO. 561-395-3315 LICENSED BUSINESS NO. LB 50			
MADE	CRK	DATE SEPT. 2015	F.B. N/A PG.
CHECKED		DATE	SCALE N.T.S.
JOB NO.	30-190-3854	SHEET	4 OF 7

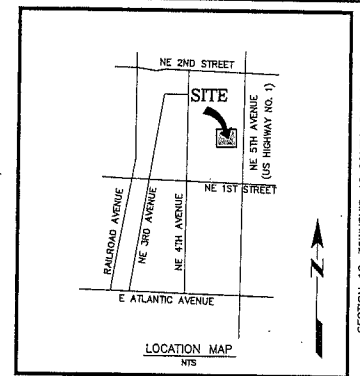
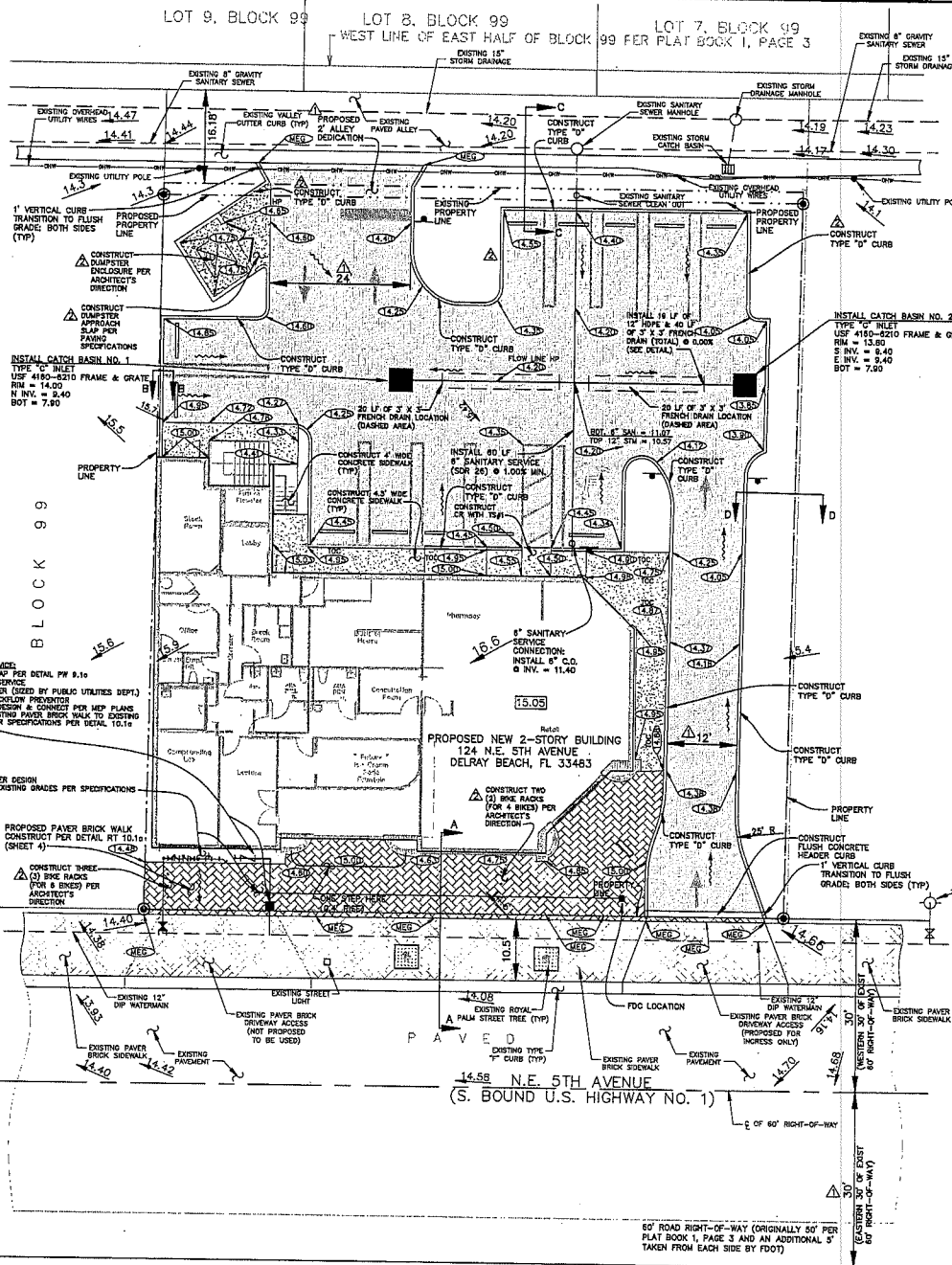


THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy, Ste. 3  
Boca Raton, FL 33431  
Certificate of Authorization No. LB 50

**WATER AND SEWER DETAILS**

THE FLOSSY B. BUILDING  
DELRAY SHORES PHARMACY & SODA FOUNTAIN  
124 N.E. 6TH AVENUE  
DELRAY BEACH, FLORIDA 33483  
JOHN A. GRANT, JR., INC.  
CONSULTING ENGINEERS  
3333 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA 33431  
PH. NO. 561-395-3333 FAX NO. 561-395-3315  
LICENSED BUSINESS NO. LB 50

MADE \_\_\_\_\_ DATE \_\_\_\_\_ F.B. N/A \_\_\_\_\_ PG \_\_\_\_\_  
CHECKED \_\_\_\_\_ DATE \_\_\_\_\_ SCALE \_\_\_\_\_ N.T.S. \_\_\_\_\_  
JOB NO. 09-100-1054 SHEET 5 OF 7



SECTION 12, TOWNSHIP 46 SOUTH, RANGE 43 EAST

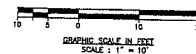
18.40	PROPOSED FINISHED FLOOR ELEVATION
R	RADIUS
TYP	TYPICAL
MEG	MATCH EXISTING GRADE
C.O.	SANITARY CLEAN OUT
MIN.	MINIMUM
DIP	DUCTILE IRON PIPE
RPZ	REDUCED PRESSURE ZONE
TS#	TACTILE SURFACE LOCATION & NUMBER
CR	CURB RAMP LOCATION
DCDV	DOUBLE CHECK DETECTOR VALVE ASSEMBLY
FDC	FIRE DEPARTMENT CONNECTION
RSOV	RESILIENT SEAT GATE VALVE
DIP	DUCTILE IRON PIPE
C	CENTER LINE

REVISIONS FOR CITY OF DELRAY BEACH STAFF		CBK	FEB 2016
REVIEW COMMENTS - SPREAD SUBMISSION		CBK	DEC 2015
REVISIONS FOR CITY OF DELRAY BEACH / LATEST		CBK	DEC 2015
NO.	REVISION	BY	DATE
<b>PAVING, GRADING &amp; DRAINAGE IMPROVEMENTS WITH WATER &amp; SEWER SERVICES</b> <b>THE FLOSSY B. BUILDING</b> <b>DELRAY SHORES PHARMACY &amp; SODA FOUNTAIN</b> <b>124 N.E. 5TH AVENUE</b> <b>DELRAY BEACH, FLORIDA 33483</b> <b>JOHN A. GRANT, JR., INC.</b> CONSULTING ENGINEERS 3333 NORTH FEDERAL HIGHWAY BOCA RATON, FLORIDA 33431 PH. NO. 561-393-3333 FAX NO. 561-395-3315 LICENSED BUSINESS NO. LB 50			
MADE	DATE 5/27/2014	F.B. N/A	PG
CHECKED	DATE	SCALE 1" = 10'	PO
JOB NO. 39-100-9554	SHEET	6	OF 7

THOMAS F. LUBANOVIC  
Professional Engineer No. 56659  
John A. Grant, Jr., Inc.  
3333 N. Federal Hwy., Ste. 3  
Boca Raton, FL 33431  
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WEST LINE OF EAST HALF OF BLOCK 99 PER LOT 7, BLOCK 99  
PLAT BOOK 1, PAGE 3



PAVING AND FLATWORK LEGEND:

 DENOTES PROPOSED PAVEMENT DENOTES PROPOSED CONCRETE SIDEWALK

R	RADIUS
---	--------

EXIST      EXISTING

MIN. MINIMUM

TYP TYPICAL

STRIPING NOTES:

1. CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL (811) FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
2. PAYMENT MARKINGS TO BE IN ACCORDANCE WITH FDOT INDEX 17346 AND THE CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARD
3. MAINTENANCE OF TRAFFIC FOR ALL PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND REPAIR OPERATIONS" AND "ROADWAY AND TRAFFIC DESIGN STANDARDS".
4. REFER TO DETAIL RT 4.1 AND DETAIL RT 4.2a ON SHEET 4 FOR DETAIL PARKING LOT STRIPING INFORMATION.

NEAREST EXISTING FIRE HYDRANT LOCATION:  
THE NEAREST EXISTING FIRE HYDRANT ON N.E. 5TH AVENUE  
IS APPROXIMATELY 25' N OF THE NE PROPERTY CORNER  
AS SHOWN

### STRIPING & SIGNAGE LEGEND

- |   |    |
|---|----|
| PROPOSED STOP SIGN (R1-1) WITH 24" SOLID WHITE STOP BAR | 55 |
| PROPOSED 6" SOLID WHITE STRIPE                          | 56 |
| PROPOSED 4" SOLID BLUE STRIPE                           | 57 |
| PROPOSED 4" SOLID WHITE STRIPE                          | 58 |
| PROPOSED WHITE STRAIGHT ARROW                           | 59 |
| PROPOSED TACTLE SURFACE LOCATION & NUMBER               | 60 |

NOTES:

1. CONTRACTOR TO CONTACT SUNDANCE STATE ONE CALL (811) FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONSTRUCT CONCRETE SIDEWALK & CURB RAMP'S PER FOOT INDEXED AND 310.
3. CONTRACTOR TO REMOVE EXISTING LANDSCAPING VEGETATION (TREES, SHRUBS & GRASS) AS NEEDED TO CONFORM WITH PAVING MODIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES TO BE LEFT UNDISTURBED EXCEPT AS NOTED.
5. ALL TYPE "D" CURB TO BE CONSTRUCTED PER FOOT INDEXED NO. 300.
6. REFER TO SHEET 2 THROUGH 4 FOR STORMWATER DRAINAGE CONTROL. SEE DETAIL NOTES, DRAINAGE DETAILS, PAVING DETAILS AND PAVING SPECIFICATIONS.
7. REFER TO SHEET 5 FOR APPLICABLE WATER AND SEWER DETAILS.
8. REFER TO SHEET 7 FOR STRIPPING AND SIGNAGE INFORMATION. REFER TO DETAIL 1.41 AND 1.42 FOR 20' AND 20' TO 25' FOR DETAIL PARKING LOT STRIPPING INFORMATION.
9. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC DATUM OF 1983.
10. HANDICAP SPACES ARE TO BE PROVIDED IN ACCORDANCE WITH LOR SECTION 4.6.9 (B)(1) CITY OF DELAWARE BUILDING CONSTRUCTION CODE.
11. ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, CHAPTER 101.02, MUST BE FOLLOWED FOR ALL CURB, RAMP, MARKED, RAMP'S AND CURB CUTS MUST BE PROVIDED IF REQUIRED.
12. THE PARKING LOTWAYS AND STRIPING NEED TO FOLLOW CITY OF DELAWARE CURRENT STRIPING AND MARKING DETAIL 1.41 AND DETAIL 1.42 ON SHEET 4 FOR DETAIL PARKING LOT STRIPING

REVISIONS PER CITY OF DELRAY BEACH STAFF REVIEW COMMENTS -- SPRAB SUBMISSION	CBK	FEB 2016
REVISIONS PER CITY OF DELRAY BEACH / LATEST SITE PLAN LAYOUT	CBK	DEC 2015
NO. REVISION	BY	DATE

### STRIPING & SIGNAGE PLAN

THE FLOSSY B. BUILDING  
DELRAY SHORES PHARMACY & SODA FOUNTAIN  
124 N.E. 5TH AVENUE  
DELRAY BEACH, FLORIDA 33483

JOHN A. GRANT, JR., INC.  
CONSULTING ENGINEERS

CONSULTING ENGINEERS  
3333 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA 33431  
561-395-3333 FAX NO. 561-395-3315  
LICENSED BUSINESS NO. 18 50

MADE	CBK	DATE	SEPT 2015	F.B.	N/A	PG	
CHECKED		DATE		SCALE	1" = 10'		
JOB NO.	JG-100-2654			SHEET	7	OF	7

SECTION 12, TOWNSHIP 46 SOUTH, RANGE 43 EAST