

RETURN to:  
City Attorney's Office  
200 N.W. 1st Avenue  
Delray Beach, FL 33444

PCN: 12-43-46-16-R3-001-0000  
Address: 318 SE 5th Avenue

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### **LANDSCAPE MAINTENANCE AGREEMENT**

THIS AGREEMENT is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by and between the **City of Delray Beach**, a Florida municipal corporation of the State of Florida ("City"), whose address is 100 NW 1st Avenue, Delray Beach, Florida 33444 ("City") and **318 SE 5th, LLC**, whose address is 6001 Broken Sound Parkway, Suite 503, Boca Raton, Florida 33487 ("Owner").

#### **W I T N E S S E T H:**

WHEREAS, to provide landscaping in the City, the City Commission has adopted ordinances setting forth requirements for landscaping; and,

WHEREAS, the Owner owns a parcel of land with a street address of 318 SE 5th Avenue, Delray Beach, Florida 33483 (the "Property"), as more particularly described in Exhibit "A", attached hereto and incorporated herein; and

WHEREAS, to comply with the City's landscape Ordinance, Owner shall be allowed to install landscaping material within the right-of-way of SE 3rd Street ("ROW Area"), pursuant to the terms of this Agreement; and,

WHEREAS, this Agreement shall in no way be deemed an actual, constructive or any other type of abandonment by the City of the public right-of-way of SE 3rd Street; and,

WHEREAS, the City reserves the right at any time to utilize the right-of-way for right-of-way purposes; and,

WHEREAS, the public will benefit from the beautification of areas along its streets by the addition of landscaping; and,

WHEREAS, this Agreement is not effective unless the Owner has submitted a landscape plan and it has been approved by the City; and,

WHEREAS, the parties hereto mutually recognize the need for entering into an Agreement designating and setting forth the responsibilities of each party.

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained in this Agreement, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree as follows:

1. The Parties hereby represent and warrant that the above recitals are accurate and correct and hereby incorporate them in this Agreement.

2. The Owner shall perform all conditions as required by the City or any Board of the City in conjunction with the site plan and review process for the required installation and maintenance of the landscaping. The subject property, described in Exhibit "A", shall have an approved landscape plan, attached hereto and incorporated herein as Exhibit "B".

3. The Owner shall be responsible for purchasing and installing all plant, tree, hedge or grass material or any other material as required by the Owner's approved landscaping plan. Owner shall further be responsible for obtaining all permits and approvals from all applicable governmental agencies.

4. The Owner hereby agrees to maintain the plantings in the right-of-way in accordance with the City's Ordinances and the terms and conditions of this Agreement. The Owner shall be responsible to maintain, which means the proper watering and proper fertilization of all plants and keeping them as free as practicable from disease and harmful insects; to properly mulch the plant beds; to keep the premises free of weeds; to mow and/or cut the grass to a proper height; to properly prune all plants which includes (1) removing dead or diseased parts of plants, or (2) pruning such parts thereof which present a visual hazard for those using the roadway. To maintain also means removing or replacing dead or diseased plants in their entirety or removing or replacing those that fall below original project standards. All plants removed for whatever reason shall be replaced by plants of the same grade, not necessarily the same plant but of acceptable quality to the City and the Owner, as specified in the original plans and specifications and of a size comparable to those existing at the time of replacement. To maintain also means to keep litter removed from the landscaped areas in the right-of-way. Plants shall be those items which would be scientifically classified as plants and include but are not limited to trees, grass, or shrubs.

5. If at any time after the execution of this Agreement by the Owner, it shall come to the attention of the City that the landscaping is not properly maintained pursuant to the terms and conditions of this Agreement then the City may at its option issue a written notice that a deficiency or deficiencies exist, by sending a certified letter to the Owner. Thereafter, the Owner shall have a period of thirty calendar days within which to correct the cited deficiencies. If said deficiencies are not corrected within this time period, the City may at its option, proceed as follows:

- (a) Maintain the landscaping or part thereof and invoice the Owner for expenses incurred.
- (b) Terminate this Agreement and require the Owner to comply with the City's current Ordinance on landscaping.
- (c) Cite the Owner for failure to comply with the City's Ordinances.

6. At all times hereto, the Owner shall own and maintain all landscaping installed in the ROW Area.

7. If for any reason the City decides that it needs the right-of-way of SE 3rd Street for any public purpose this Agreement shall terminate, and the Owner shall be required to comply with the City's current Code of Ordinances regarding landscape requirements. Owner shall remove all landscaping from the right-of-way within 20 days of such notification, if so, requested by the City.

8. Owner shall at all times hereafter indemnify, hold harmless and, at the City's option, defend or pay for an attorney selected by the City Attorney to defend City, its officers, agents, servants, and employees from and against any and all causes of action, demands, claims, losses, liabilities and expenditures of any kind, including attorney fees, court costs, and expenses, caused or alleged to be caused by any intentional or negligent act of, or omission of, Owner, its employees, agents, servants, or officers, or accruing, resulting from, or related to the subject matter of this Agreement including, without limitation, any and all claims, losses, liabilities, expenditures, demands or causes of action of any nature whatsoever resulting from injuries or damages sustained by any person or property. In the event any lawsuit or other proceeding is brought against City by reason of any such claim, cause of action or demand, Owner shall, upon written notice from City, resist and defend such lawsuit or proceeding by counsel satisfactory to City or, at City's option, pay for an attorney selected by City Attorney to defend City. The

provisions and obligations of this section shall survive the expiration or earlier termination of this Agreement.

9. This Agreement shall constitute the entire Agreement of the parties with respect to the subject matter of it. All prior understandings and agreements between the parties with respect to such matters are merged into this Agreement, which alone fully and completely expresses their understanding.

10. Upon conveyance of the subject property to any future owner, this Agreement shall be deemed automatically assigned by the Owner to any such future owner of the subject property, and such future owner shall be deemed to have assumed all the Owner's obligations hereunder. This Agreement may not otherwise be assigned or transferred by the Owner, in whole or part, without the written consent of the City.

11. This Agreement shall be binding on the Parties, their respective heirs, successors, legal representatives, and permitted assigns and shall be recorded in the Public Records of Palm Beach County and shall run with the land.

12. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida.

13 Any notice or communication under this Agreement shall be in writing and may be given by registered or certified mail. If given by registered or certified mail, the notice or communication shall be deemed to have been given and received when deposited in the United States Mail, properly addressed, with postage prepaid. If given otherwise, then by registered or certified mail, it should be deemed to have been given when delivered to and received by the party to whom it is addressed. The notices and communication shall be given to the particular parties at the following addresses:

City:              City Manager  
                    City of Delray Beach  
                    100 N.W. 1st Avenue  
                    Delray Beach, Florida 33444

Owner:             318 SE 5th, LLC  
                    6001 Broken Sound Parkway NW  
                    Suite 503  
                    Boca Raton, Florida 33487

Either party may at any time by giving ten (10) days written notice designate any other person or entity or any other address in substitution of the foregoing to which the notice or communication shall be given.

IN WITNESS WHEREOF, the City and the Owner executed this Agreement as of the day and year first above written

WITNESSES:



Signature

Cara Ferreira

Name  
22588 Meridian Dr  
Boca Raton FL 33423

Address



Signature

Edwin Muller

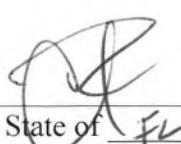
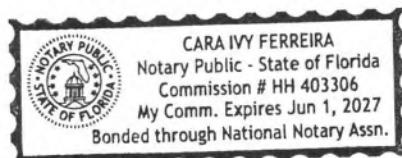
Name  
9900 Dahlia Avenue  
Palm Beach Gardens, FL 33410

Address

STATE OF FL  
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 1 day of July, 2015, by David Rowley (name of person), as owner (type of authority) for 318 SE 5th, LLC (name of party on behalf of whom instrument was executed).

Personally known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

  
Notary Public – State of FL

ATTEST:

CITY OF DELRAY BEACH, FLORIDA

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Alexis Givings, City Clerk

By: \_\_\_\_\_  
Thomas F. Carney, Jr., Mayor

Approved as to Form:

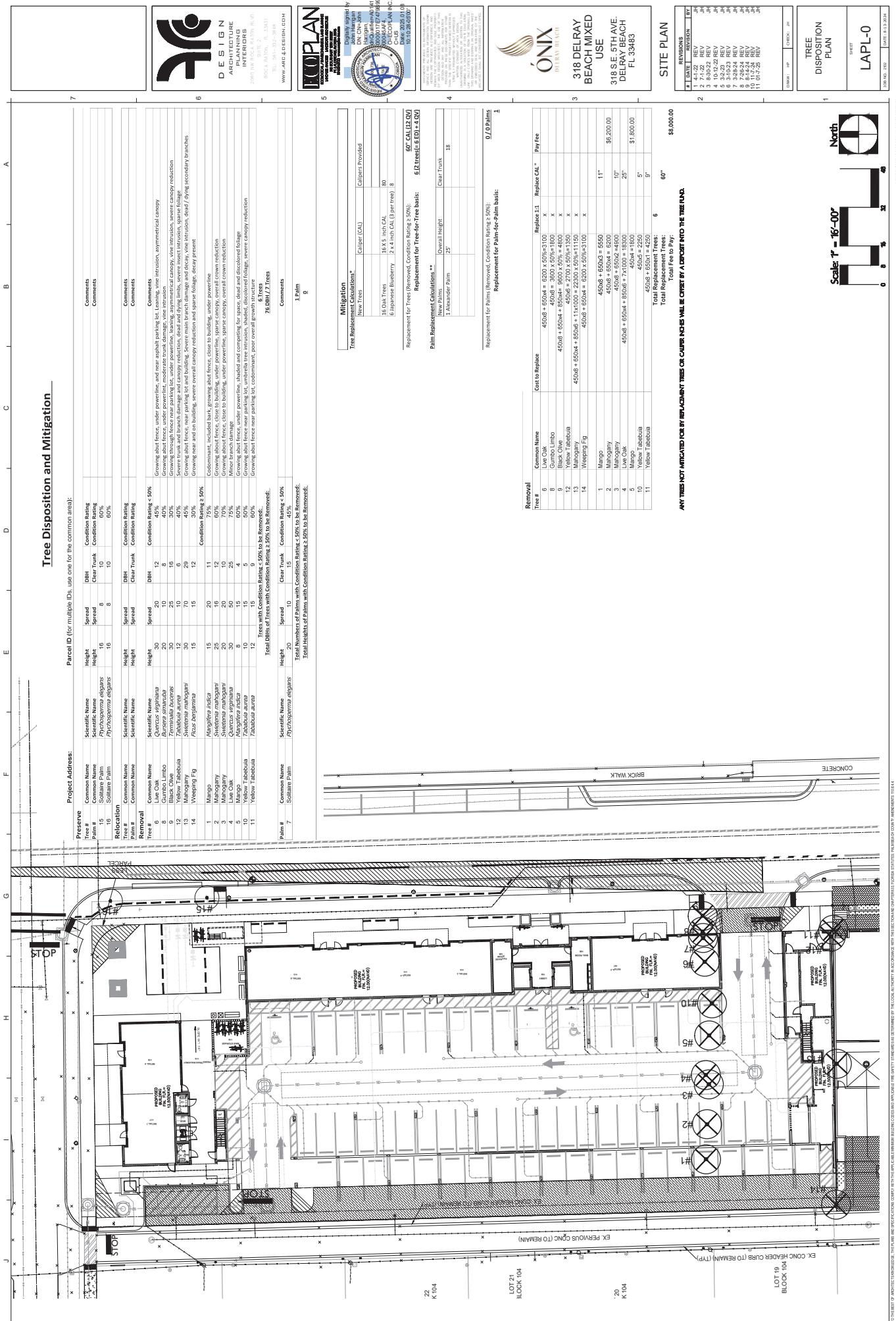
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Lynn Gelin, Esq., City Attorney

**EXHIBIT "A"**  
**LEGAL DESCRIPTION OF REAL PROPERTY**

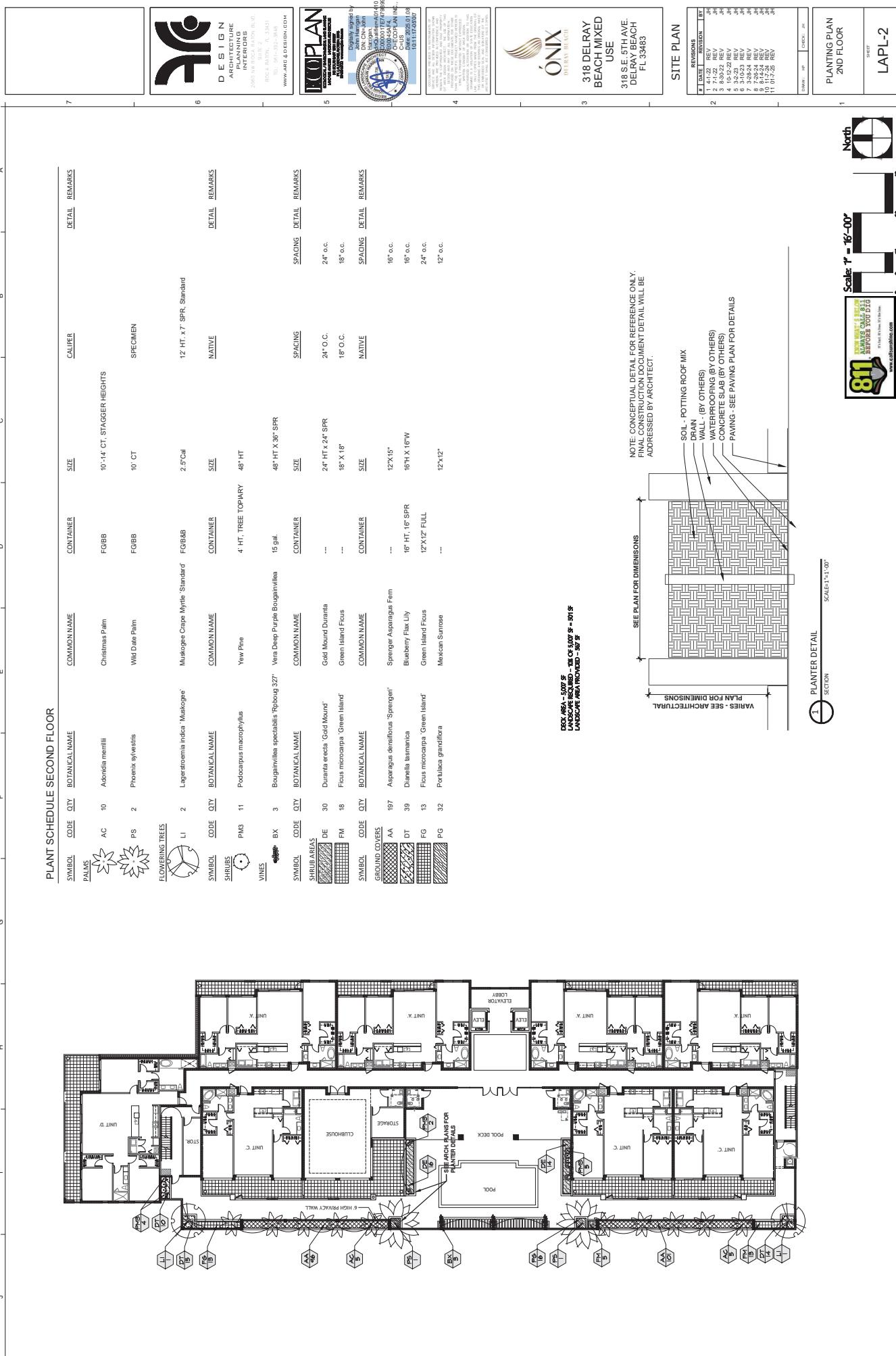
Parcel A of BLACKSTAR 318 SE 5TH AVE, according to the plat thereof as recorded in Plat Book 137, Page 121, Public Records of Palm Beach County, Florida.

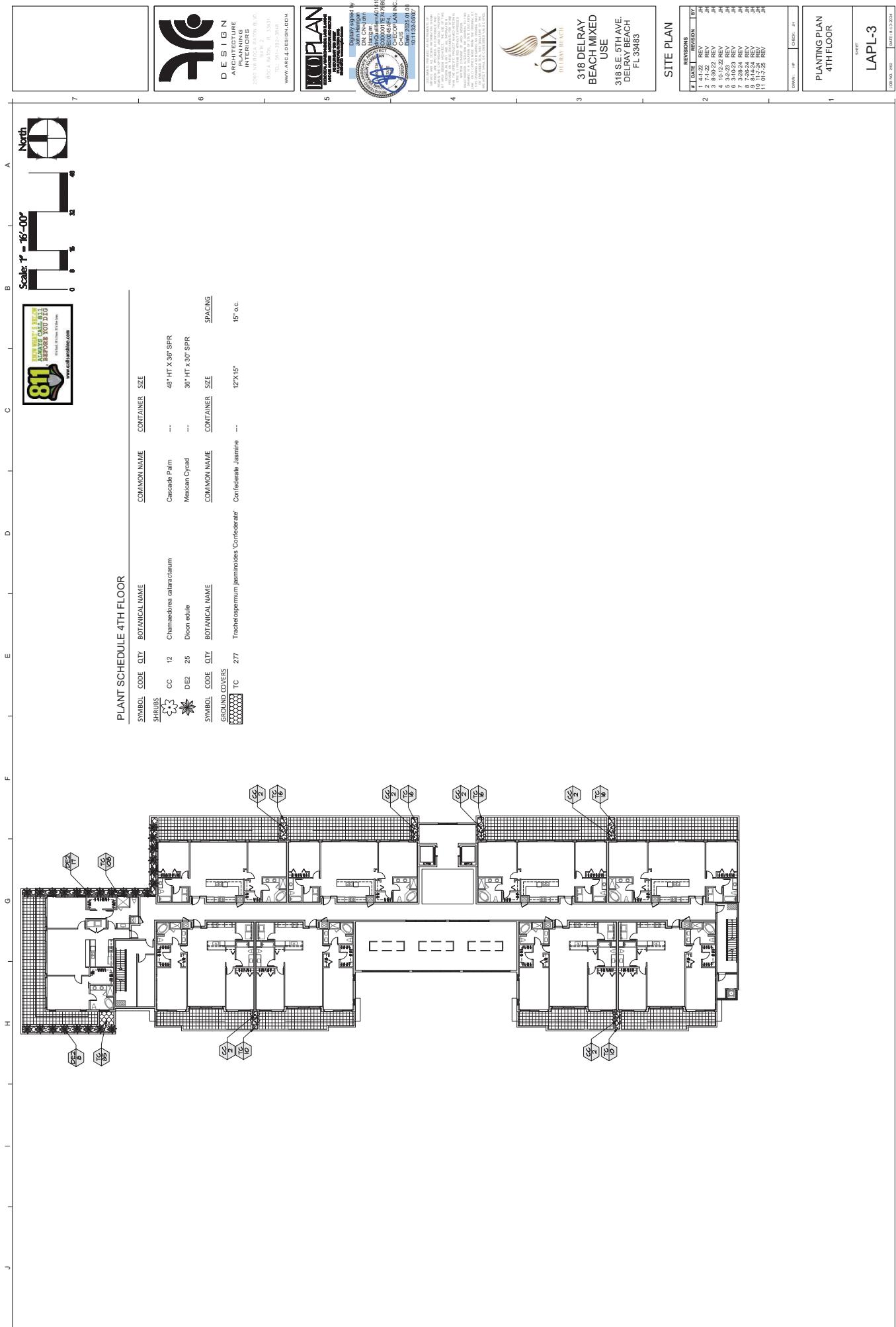
**EXHIBIT “B”**  
**LANDSCAPE PLAN**

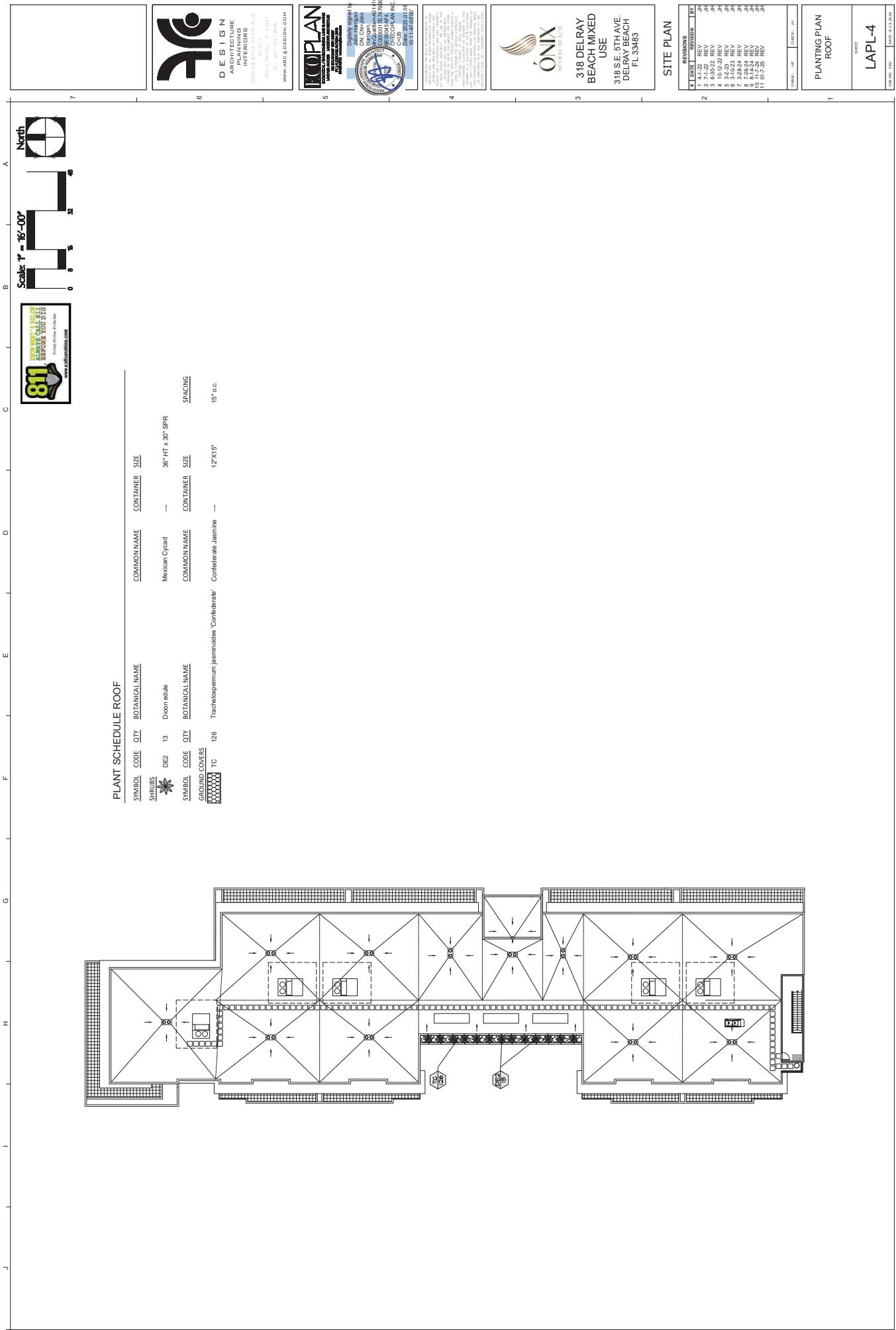












**CITY OF DELRAY BEACH REQUIRED NOTES:**

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE(3) INCHES IN ALL PLANTING BEDS
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND TRAILS TO BE MAINTAINED
- SOIL AND IRRIGATION CONCRETE CURBING AT LEAST SIX(6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE

**SECTIONAL DRAWINGS (CONTINUED)**

1. **GRASS / MULCH EDGE DETAIL**: SECTION, SCALES=NTS. Drawing 1 shows a cross-section of a grass and mulch edge. It includes labels for 'SOIL ON TOP OF CLEAN, SMOOTH MULCH', 'COTTONWOOD, PINEAPPLE, TROPICAL, ETC. PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'TURF GRASS', 'BARK MULCH', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

2. **SHRUB AND GROUNDCOVER LAYOUT**: SECTION, SCALES=NTS. Drawing 2 illustrates a shrub and groundcover layout with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'SHRUBS', 'GROUNDCOVER', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

3. **SHRUB / GROUNDCOVER PLANTING**: SECTION, SCALES=NTS. Drawing 3 shows shrub and groundcover planting details with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'SHRUBS', 'GROUNDCOVER', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

4. **LARGE TREE PLANTING DETAIL**: SECTION, SCALES=NTS. Drawing 4 provides large tree planting detail with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

5. **SMALL ORNAMENTAL TREE DETAIL**: SECTION, SCALES=NTS. Drawing 5 shows small ornamental tree planting detail with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

6. **TREE PROTECTION FENCE**: SECTION, SCALES=NTS. Drawing 6 details tree protection fence with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

7. **STRUCTURAL SOIL SPECIFICATION**: SECTION, SCALES=NTS. Drawing 7 specifies structural soil requirements. Notes state: 'The soil calcined material is designed as follows. The three components of the structural soil are mixed in the following proportion by weight (calculated above): 20% hydrolyzed OSL Total moisture at a mixing point should be 10% (ASCE 10: 1:10 greater than moisture). Calculated above (as given or above) should be 10% (ASCE 10: 1:10 greater than moisture). The weight of a granular aggregate component is added to a total amount to act as a base to support a root system and reduce soil erosion. Typical fine gravel should be washed dry in a garden hose and used on top and the remainder cleaned by a root cleaner. Typically, the gravel is too large. Therefore, a coarse aggregate may be used to make it more uniform. The gravel should be washed clean and compacted to 95% FLL. The filter fabric underneath continues to work on reducing the infiltration to groundwater. The rockwool CT-Soil is to have a quality control.' Notes also mention 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

8. **LANDSCAPE STRIP SOIL BACKFILL**: SECTION, SCALES=NTS. Drawing 8 shows landscape strip soil backfill with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

9. **PALM DETAIL**: SECTION, SCALES=NTS. Drawing 9 provides palm detail with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

10. **TREE ROOT BARRIER**: SECTION, SCALES=NTS. Drawing 10 shows a tree root barrier with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

11. **STREET TREE USING STRUCTURAL SOIL**: SECTION, SCALES=NTS. Drawing 11 illustrates a street tree using structural soil with dimensions 1'0"-0" and 1'0"-0". Labels include 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'LARGE TREE', 'INDIVIDUAL PLANT SPACING', 'GROWTH HABIT', 'PLANT MATERIAL TO BE REMOVED AND DISCARDED', 'MULCH', 'SOIL SCAFFOLD IN FREE FROM THE AIR', and 'GRAVEL'.

12. **LANDSCAPE NOTES**

1. THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL MATERIAL, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR, AND IN OTHER WORDS, THE WORK SHALL INCLUDE THE MAINTENANCE OF ALL PLANT MATERIAL AND PLANTING AREAS IN ACCORDANCE BY THE OWNER AND THE FULFILMENT OF ALL GUARANTEE PROVISIONS AS HEREIN SPECIFIED.
2. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
3. IN THE EVENT OF A CONTINUATION OF THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANT MATERIAL, THE MAINTENANCE OF ALL PLANT MATERIAL AND PLANTING AREA SHALL ACCEPTANCE BY THE OWNER.
4. PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO RECEPTION. IF PLANT MATERIALS DO NOT MEET THE REQUIREMENTS, REFUSE REJECTED WORK INSTALLATION WHICH INSPECTION AND COUNT DOES NOT CORRELATE WITH THE REQUIREMENTS, REJECT PLANT MATERIALS AND CONTINUE SPECIFIED MAINTENANCE UNTIL RECEIVED BY THE OWNER.
5. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN AN NEAT AND WORKMANLIKE MANNER, THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE; PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
6. ALL PLANTING BEDS WITHIN FOOT RIGHT OFWAYS SHALL BE MULCHED WITH 3' OF RECYCLED MULCH CERTIFIED BY THE MULCH AND SOIL CONTROL (MAC) PROF OF CERTIFICATION OPERATIONS PERMIT.

13. LANDSCAPE INSPECTOR INSPECTION, ON ALL SITE PLANTING BEDS SHALL BE MULCHED WITH 3' OF RECYCLED MULCH.

14. ALL SHRUBS, GROUNDCOVERS, AND SOD SHALL BE GUARANTEED FROM NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.

**PLANNING DETAILS**

1. **DESIGN**: ARCHITECTURE, INTERIORS, & EXTERIORS. C-101428, PLAN 1010, DRAWING 210200200075.

2. **CONSTRUCTION**: DURAY HARGAN INC., CONTRACTOR.

3. **IRRIGATION**: DURAY HARGAN INC., CONTRACTOR.

4. **LANDSCAPE**: DURAY HARGAN INC., CONTRACTOR.

5. **GENERAL CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

6. **ELECTRICAL CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

7. **MECHANICAL CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

8. **STRUCTURAL CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

9. **PLASTER CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

10. **PAINT CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

11. **DRILLING CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

12. **CONCRETE CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

13. **IRONWORK CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

14. **WATER FEATURES CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

15. **SCULPTURE CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

16. **MATERIALS CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

17. **LANDSCAPE CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

18. **SWEEPING CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

19. **ANNUAL MAINTENANCE CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

20. **LANDSCAPE INSPECTOR**: DURAY HARGAN INC., CONTRACTOR.

21. **GENERAL INSPECTOR**: DURAY HARGAN INC., CONTRACTOR.

22. **PROJECT COORDINATOR**: DURAY HARGAN INC., CONTRACTOR.

23. **LEASING AGENT**: DURAY HARGAN INC., CONTRACTOR.

24. **RECEIVING CONTRACTOR**: DURAY HARGAN INC., CONTRACTOR.

**SITE PLAN**

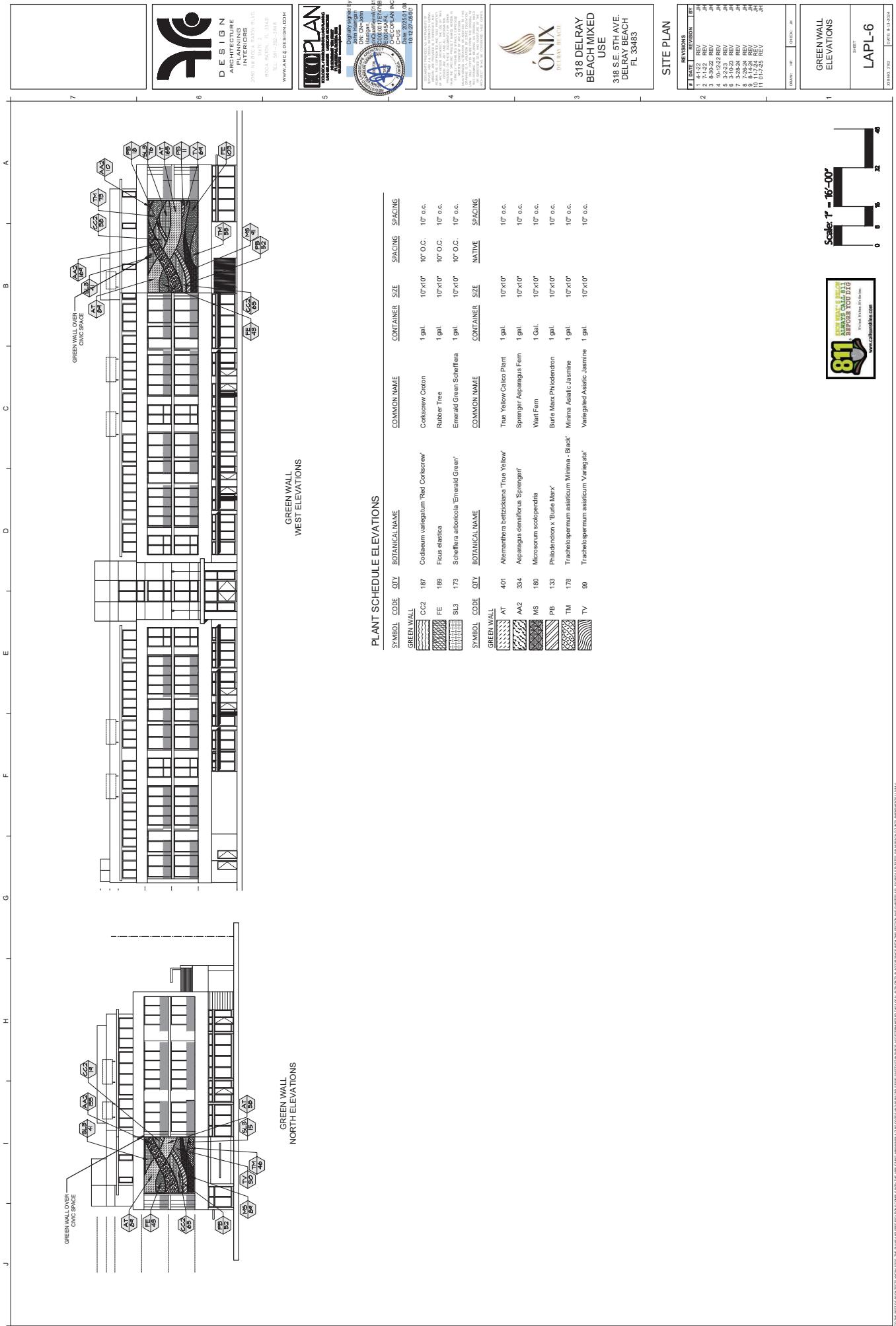
1. **DRAWING**: DRAFTS, DATE: 08/17/2010, SCALE: 1/100', CHECK: 2010.

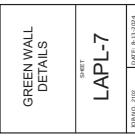
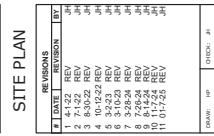
2. **REVISIONS**: 1. 4-1-22 REV. JUN 8-11-12 REV. JUN 4-10-12 REV. JUN 5-12-12 REV. JUN 7-18-12 REV. JUN 8-26-12 REV. JUN 10-12-12 REV. JUN 5-23-12 REV. JUN 7-18-12 REV. JUN 10-12-12 REV. JUN 11-01-12 REV. JUN 20-10-20000075.

3. **PLANTING DETAILS**

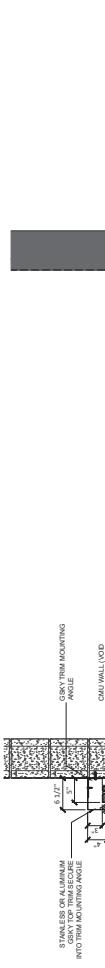
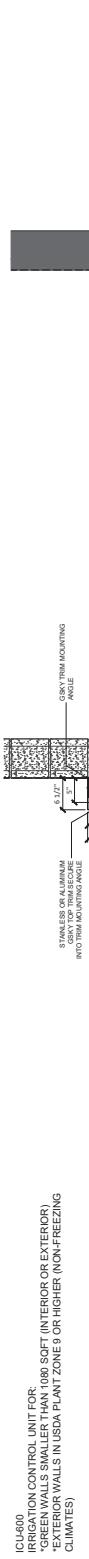
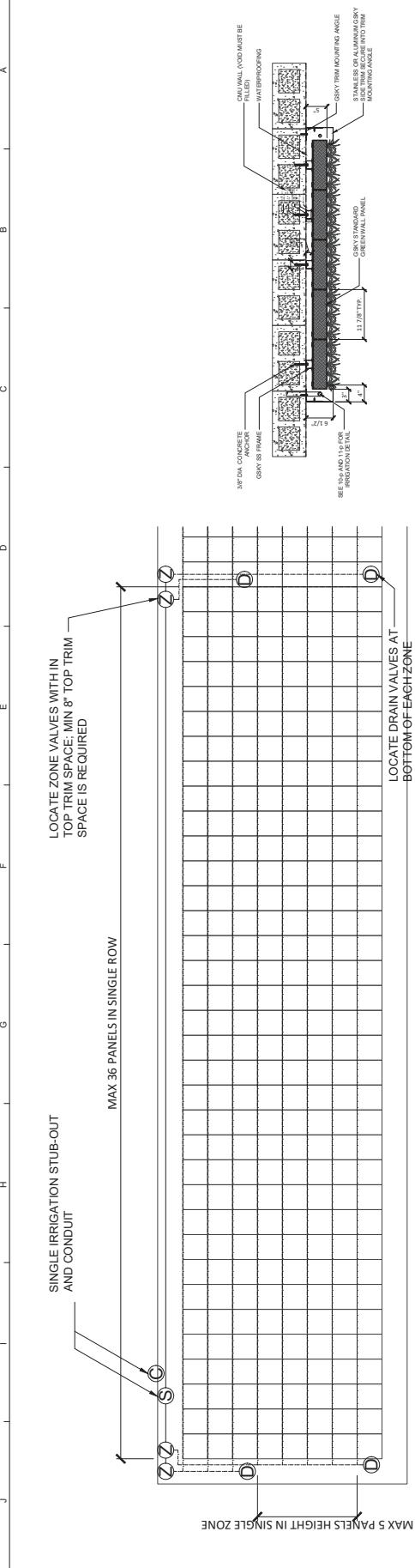
4. **811**: South Beach Construction Inc. 1000 N. Federal Hwy. Ft. Lauderdale, FL 33304







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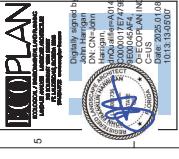




7

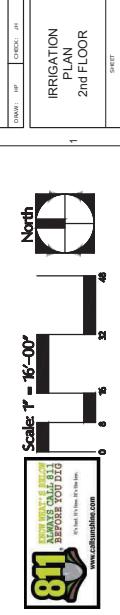
THE NEW IRRIGATION SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX C, CONSTRUCTION AND BUILDING CODE OR TURF AND THE EXISTING IRRIGATION SYSTEM THAT IS TO REMAIN SHALL BE MODIFIED UNDER SEPARATE CONTRACT TO COMPLY WITH THE REQUIREMENTS OF APPENDIX F.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MODIFY OR REPAIR THE EXISTING IRRIGATION DURING THE NEW CONSTRUCTION PERIOD TO PROVIDE FULL COVERAGE OF THE UNAFFECTED LANDSCAPE AREAS.



SITE PLAN

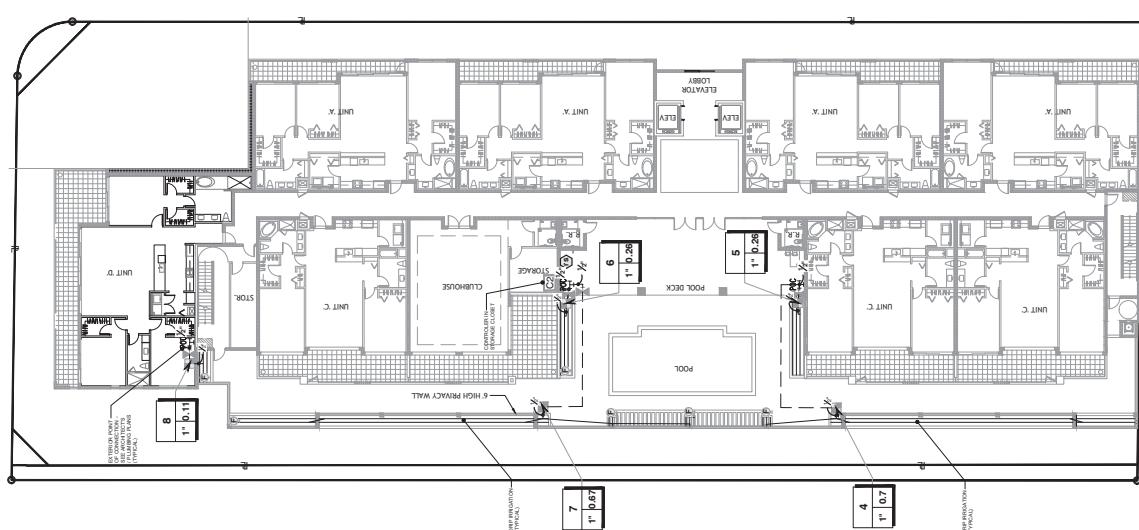
REVISONS	BY
1	DATE REVISON BY
2	6 3/03/23 REV JJD
3	6 3/03/23 REV JJD
4	7 3/28/24 REV JJD
5	7 3/28/24 REV JJD
6	8 26/24 REV JJD
7	8 26/24 REV JJD
8	8 26/24 REV JJD
9	10 1/7/24 REV JJD
10	10 1/7/24 REV JJD
11	10 1/7/24 REV JJD

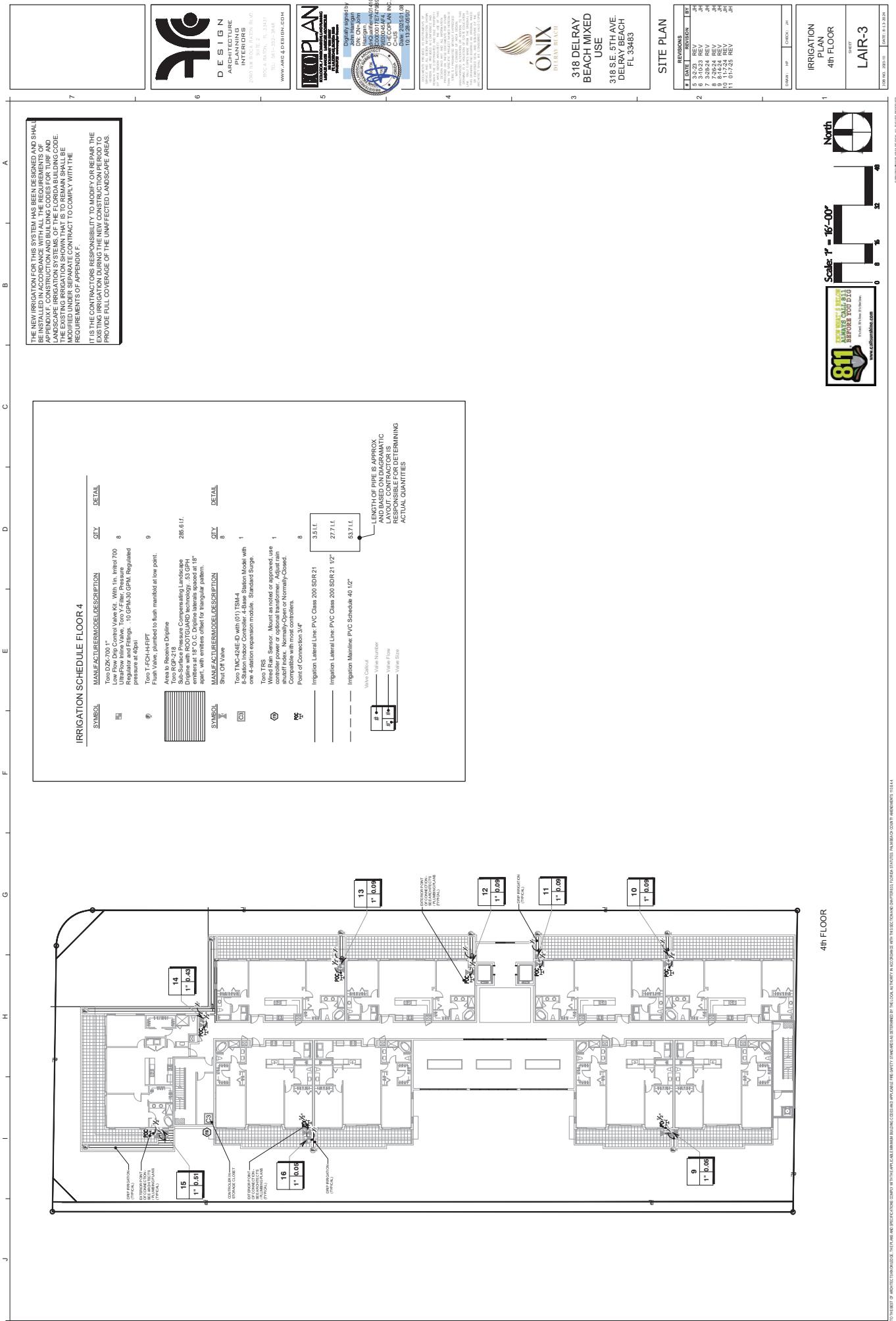


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IRRIGATION SCHEDULE WORKAREA

SYMBOL	MANUFACTURE/MODEL/DESCRIPTION	QTY	DETAIL
	Toyo DCZ-700 1" Low Flow Orifice Valve Kit. With ln. Inlet 700 Regulators and Fanges - 10 GPM-30 GPM. Required pressure of 40psi	5	
④	Toyo TFC-H-FPT Push Valve, Plungered to Maintained at low point.	7	
	Above to Receive Irrigite		
	Toyo Surface Pressure Compensating Landscape Dripline with ROOGUARD Technology. 55 GPH emitters at 18" O.C. Dripline sleeves spaced at 18" apart. With emitter sleeve for triangular pattern.	4303.14	
SYMBOL	MANUFACTURE/MODEL/DESCRIPTION	QTY	DETAIL
	Toyo TMC-24xE-D with (01) TSM-4 Shot Of Valve	4	
	Toyo TMC-24xE-D with (01) TSM-4 8-Station Indoor Controller. 4-Base Station Model with one 4-station expansion module. Standard Surge Timer TRS	1	
	Wind Rain Sensor, Mount to rated or approved, use controller power or optional transformer. Adjust rain Compatible with most controllers.	1	
⑤	Pens of Connection 34"	3	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1/2"	7.8 lf.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1/2"	85.3 lf.	
	1172.1 ft.		LENGTH OF PIPE IS APPROX AND BASED ON DIAMETRIC LAYOUTS. EFFECTIVE REAL DISTANCE IS ACTUAL QUANTITIES
	Valve Cut-off Valve Nut Wrench Valve Blow Valve Size		
	Valve Cut-off		
	Valve Nut Wrench		
	Valve Blow		
	Valve Size		







DESIGN  
ARCHITECTURE  
INTERIORS

201 N. BROAD ST., SUITE 100, BLOOMINGTON, IL 61710  
TEL: 515-322-3948  
www.aria-interiors.com



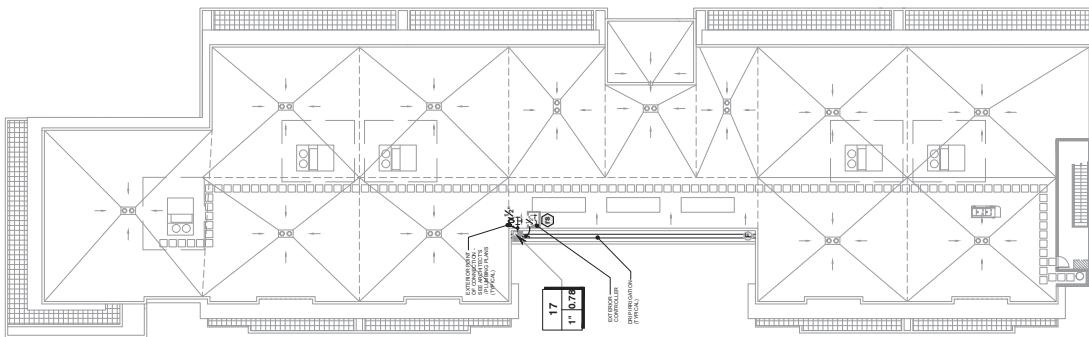
Digitally signed by  
IN CHONG  
Date: 2023.01.10  
ID: 202301101647439  
Serial number: 202301101647439  
Signature type: ECDSA  
Subject: ROOPAN INC.  
Cn: Cai, Chong  
Date: 2023.01.08  
1610334800

7  
THE NEW IRRIGATION SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F. CONSTRUCTION AND BUILDING CODES FOR TURF AND THE EXISTING IRRIGATION SYSTEM THAT IS TO REMAIN SHALL BE MODIFIED UNDER SEPARATE CONTRACT TO COMPLY WITH THE REQUIREMENTS OF APPENDIX F.

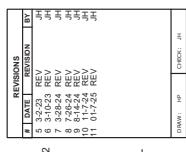
IT IS THE CONTRACTOR'S RESPONSIBILITY TO MODIFY OR REPAIR THE EXISTING IRRIGATION DURING THE NEW CONSTRUCTION PERIOD TO PROVIDE FULL COVERAGE OF THE UNAFFECTED LANDSCAPE AREAS.

#### IRRIGATION SCHEDULE ROOF

SYMBOL	MANUFACTURER/PRODUCT DESCRIPTION	QTY	DETAIL
	Toro DRC-700 1" Low Profile Dual Control Valve Kit. With In Line Micro 700 1" Union Valve. Includes micro filter, Regulator and Filters. 10 GPM-50 GPM. Regulated pressure at 40psi.	1	
	Toro F-FC-H+HPIP Flush Valve, plumbed to flush manifold at low point.	1	
	Area to Receive Dripline	133.2 ft.	
	Sub-Surface Pressure Compensating Landscape Irrigation System with 1/2" Drip Line. Standard spacing 10 ft. apart, with emitters offset in a triangular pattern.	1	
	Two TMX-4AE-CD Surge Protection Modules. Outdoor Controller, Bassa Model Standard	1	
	Water Tap. Mount as noted or approved, use controller power or optional transformer. Adjust rain shield if necessary. Normally Open or Normally Closed.	1	
	Point of Connection 3/4"	1	
	Irrigation Laterall Line PVC Class 200 SDR 1 1/2"	3.61 ft.	
	Irrigation Mainline PVC Schedule 40 1 1/2"	4.21 ft.	
	Valve Callout		
	Valve Number:		
	Valve Flow		
	Valve Size		



ROOF LEVEL



SITE PLAN

#	DATE	REVISION	BY
1	1-17-23	REV	JF
2	3-10-23	REV	JF
3	3-28-24	REV	JF
4	4-25-24	REV	JF
5	5-2-24	REV	JF
6	5-10-24	REV	JF
7	5-17-24	REV	JF
8	5-24-24	REV	JF
9	6-1-24	REV	JF
10	6-17-24	REV	JF
11	6-24-24	REV	JF



IRRIGATION PLAN  
ROOF LEVEL



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