



Development Services: Planning and Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Commons-Taco Bell

Project Location: 5070 West Atlantic Avenue

Request: Class IV Site Plan Modification, Architectural Elevations, Landscape Plans, Murals

Board: Site Plan Review and Appearance Board

Meeting Date: January 9, 2019

Board Action:

Approved with a 6-0 vote on each of the following requests: Class IV Site Plan Modification, Architectural Elevations, Landscape Plans and Murals.

Project Description:

The project is located at 5070 West Atlantic Avenue within a 1.18 acre outparcel located in Delray Commons. The Applicant is proposing to develop 0.625 acres of the outparcel. It is noted that future development is planned in the remaining area of the outparcel. This proposal is for a 2,053 sf restaurant with drive-thru service, associated parking and landscaping. A mural has been proposed for the East and West Façades of the restaurant. The parcel is located within the Four Corners Overlay District of the Planned Commercial (PC) Zoning District. The site has a Future Land Use Map (FLUM) of General Commercial (GC).

The project is associated with an approved Master Development Plan for Delray Commons. A waiver to reduce the structure size was granted during the Master Development Plan review process. The site improvements include the removal of the existing bank and parking to accommodate the proposed building, parking, and landscaping. Although existing parking will be removed for the construction of the project, the proposed parking, plus the remaining existing parking provides a surplus of parking per the Master Development Plan parking requirements. The removal of impervious area within the subject parcel increases the percentage of open space area within the shopping center and exceeds the required open space requirements for the subject parcel. The applicant has brought forth a design to individualize the chain restaurant to reflect Delray Beach with the architectural design and the introduction of the murals and therefore, bring needed freshness to the center. Some elements of the proposed structure such as earth tones and tower elements, are similar design features with the existing shopping center and create a visually harmonious addition to the center.

Board Comments:

Board comments supportive of the requests.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

N/A

Next Action: The Site Plan Review and Appearance Board action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: January 9, 2019

File No.: 2017-173-
SPI-SPR-CL4

Application Type: Class IV Site Plan, Landscape Plan,
Architectural Elevations and Murals – Taco Bell

General Data:

Agent/Applicant: Eduardo Carcache, CKE Group, Inc.

Owner: Lot5070, LLC

Location: 5070 W. Atlantic Avenue, Delray Commons

PCN: 12424614240020000

Property Size: 1.18 Acres

FLUM: GC (General Commercial)

Zoning: PC (Planned Commercial), Four Corners Overlay
District

Adjacent Zoning:

- North: PC
- South: PC
- East: PC
- West: PC

Existing Land Use: Vacant bank with drive-thru service.

Proposed Land Use: 2,053 SF restaurant with drive-thru
service.

Item before the Board:

The action before the Board is the consideration of a Class
IV Site Plan Modification application for the Taco Bell at
Delray Commons pursuant to LDR Section 2.4.5 (G),
including the following:

- Site Plan
- Landscape Plan
- Architectural Elevations
- Murals



Staff Recommendations:

Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

Landscape Plan:

Move approval of the Landscape Plan for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

Project Planner:

Christine Stivers, Senior Planner;
stiversc@mydelraybeach.com,
561-330-6056

Review Dates:

SPRAB Board: January 9, 2019

Attachments:

1. Site Plans
2. Elevations/Murals
3. Landscape Plan
4. Project Narrative
5. Master Development Plan



Architectural Elevations:

Move approval of the Architectural Elevations for **Taco Bell at Delray Commons**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

Murals:

Move approval of the Murals for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

Background:

The subject parcel, also known as a portion of Tract 2 of the Delray Commons Shopping Center, P.B. 85, Page 183, was approved in August of 1999 to create separate, saleable tracts. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, ingress, and parking and drainage easements, as recorded on June 1, 1999 in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 sf of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 sf bank with drive-thru area and associated parking.

The site has a General Commercial (GC) Future Land Use Map designation and a zoning designation of Planned Commercial (PC). In 2007, the Four Corners Overlay District was created for the intersection of South Military Trail and West Atlantic Avenue which included the subject property. All development within the Four Corners Overlay District shall process a Master Development Plan. Additionally, Four Corners Overlay District has a minimum structure size of 4,000 sf. A waiver was requested to reduce the minimum floor area from 4,000 sf to 2,053 sf.

On September 17, 2018, the Planning and Zoning Board approved a Master Development Plan Modification (MDPM) for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

Project Description:

The application request includes a Class IV Site Plan Modification and associated Architectural Elevations and Landscape Plans, to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking. Murals are proposed on the east and west side of the proposed structure. The site improvements include the removal of the existing bank and parking lot to accommodate the proposed building, parking, and landscaping. 0.625 acres of the 1.18 acres contained in Tract 2 are proposed to be developed with this application. It is noted that future development is planned in the remaining area of Tract 2.

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

The subject property is zoned within the PC Zoning District, in the Four Corners Overlay District. The Four Corners Overlay District is subject to the standards of the GC Zoning District. The following chart provides the applicable Development Standards for Delray Commons Shopping Center (the Master Development Plan), as well as the Taco Bell site, as provided in LDR Sections 4.4.9, GC Zoning District applicable to the Four Corners Overlay District, Section 4.4.12, PC Zoning District, and Section 4.3.4(K), Development Standards. Pursuant to LDR Section 4.4.9(G)(3)(e)(1)(a), where standards unique to the Four Corners Overlay District conflict with standards contained elsewhere in the zoning code, that unique standard shall apply.

	Required	Provided as noted	Tract 2 leased area (Taco Bell)
PC Zoning District, Development Standards			
Open Space (Minimum for MDP) Delray Commons	25%	24.33%	
Open Space (Minimum) -Tract 2	25%	58.50%	25.6%
Front Setback (Minimum): West Atlantic Avenue	30'	30'	30'
GC Zoning District, Development Standards for the Four Corners Overlay District			
Site Area (Minimum for MDP) Delray Commons	4 acres	8.37 acres	
Lot Coverage (Maximum for MDP) Delray Commons	75%	75.67%	



Lot Coverage (Maximum) -Tract 2	75%	41.50%	74.4%
Front Perimeter Landscape Buffer (Minimum): West Atlantic Avenue	21'	10' plus existing access road to remain	
Floor Area (Minimum square feet): Tract 2	4,000 sf	2,053 sf*	2,053 sf

* Waiver granted 9/17/2018 by PZB.

The information provided in the chart above includes Delray Commons Shopping Center as well as site specific information for Tract 2 and the leased area for the Taco Bell development. Any future site construction or substantial footprint changes within Tract 1 and Tract 2 must be processed under the Four Corners Overlay District site development and setback requirements.

Four Corners Overlay District, Supplemental Regulations:

Pursuant to LDR Section 4.4.9(G)(3), a restaurant with drive-thru service is permitted per Sections 4.4.9(B)(4).

Lighting:

The proposed lighting consists of wall fixtures on the building and freestanding poles within the parking area. The proposed values are within the permitted minimum and maximum ranges, which comply with the requirements of LDR Section 4.6.8(B)(3), Illumination Standards.

Minimum Parking Requirements:

LDR Section 4.6.9(C)(3)(e), states that shopping centers shall require 4 spaces per 1,000 sf of gross leasable floor area, irrespective of uses, for up to 400,000 sf. Delray Commons Shopping Center had an existing total building square footage of 72,949 sf (leasable area not studied) per the previous Master Development Plan. Utilizing the total square footage of the existing buildings, a total of 290 parking spaces are required; 365 spaces are provided. With the proposed development changes, the shopping center building square footage will be reduced to 72,141 sf (as shown on the approved Master Development Plan), which will require 288 parking spaces; 306 spaces are provided.

Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public rights-of-way. The refuse enclosure does not face a public right of way but faces the interior of the center along a drive aisle. The area is enclosed on three sides and provides gates along the drive aisle. **An updated detail of the refuse enclosure gates shall be provided prior to site plan certification. Gates shall be visually compatible with the site architecture.**

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. A tree disposition plan was included with the landscape plans. Many of the existing trees will remain in their current location or be relocated within the proposed landscape design. The required landscape buffer along West Atlantic Avenue has been enhanced with the inclusion of additional landscape material. Native species were utilized in the proposed design.

Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.



Per LDR Section 4.4.9(G)(3)(e)2, the Four Corners Overlay District requires that any free-standing non-residential structure be architecturally consistent with other structures in the Master Development Plan. The proposed facade elevations illustrate that the elements of the surrounding buildings have been considered. Similar design elements from the adjoining restaurant have been proposed that include a tower entry element, similar earth tone colors and entry awning. Although the center is aging and dated in appearance similar base colors used in the center are utilized on the proposed building.

The elevations are generally in good taste and will not materially depreciate the surrounding environment. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

Mural Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The building is within the Delray Commons Shopping Center. A mural is proposed on the east and west facades of the structure. The larger mural, located on the west facade of the building, will be painted on fiber cement panels. The size is approximately 16-feet tall by 28-feet in length. The mural located on the eastern façade, along the drive-thru lane, will be painted on dibond panel and is approximately 11-feet tall by 21-feet in length. Both murals appear to be of similar content and color. The mural contains graphics of beach images as well as text in Spanish.

With respect to the murals, staff believes the scale and proportion are adequate on the western façade but could be larger on the eastern façade. The murals do not appear to have Taco Bell branding within the content so they will not be classified as signage. As stated previously, the center is aging and dated in its architectural style. Staff believes the applicant has brought forth a design to individualize the chain restaurant to reflect Delray Beach with the architectural design and the introduction of the murals and therefore, bring needed freshness to the center. Because the murals are located on the east and west facades, they will not face public rights of way.

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

A positive finding of concurrency was made with the review of the Master Development Plan Modification, including a positive concurrency finding for streets and traffic by the Palm Beach County Traffic Division.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(G)(5)



for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

As described in Appendix A, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

LDR Section 2.4.5(G) (5) - Compatibility (Site Plan Findings): the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the Master Development Plan for the proposed restaurant:

	Adjacent Zoning	Adjacent Land Use
North	Planned Commercial (PC)	Marketplace at Delray Shopping Center
East	General Commercial (GC) and PC	Gasoline Station, Delray West Shopping Plaza, Bank, Vacant Land and Dunkin Donuts
South	Multiple Family Residential (RM-8)	Gramercy Square
West	PC	Jiffy Lube, Firestone, Various Services and Facilities

The proposed improvements at the Delray Commons Shopping Center are consistent with the PC Zoning district, which allows uses permitted within the Four Corners Overlay District per Section 4.4.9, GC zoning district. The adjacent developments consist of both commercial and residential uses, which have previously been considered as consistent with the center, and no adverse effects are anticipated with the continuation of the current use of the site. Therefore, a positive finding can be made with regard to LDR Section 2.4.5(G)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

Comprehensive Plan Policies: A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property will remain consistent with the GC zoning designation and the Four Corners Overlay District. While the Four Corners Overlay District encourages more intense development incorporating mixed-use development, it not inconsistent with it by further developing the site and providing additional commercial opportunities for the city's residents and visitors.

Review by Others:

The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA).

Courtesy Notice:



Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- The Hamlet

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

Assessment and Conclusion:

The proposed development is consistent with the policies of the Comprehensive Plan and can be found consistent the Land Development Regulations upon approval of the associated waiver. Also, a positive finding can be made with respect to LDR Section 2.4.5(G)(5), Findings, as the proposed development does not significantly affect surrounding properties. The proposed development within Delray Commons Shopping Center expands on the Center's current uses, improvements are appropriate and will not impact the Center's previously found compatibility with the surrounding area. While the proposed development minimum structure size is less than envisioned in the Four Corners Overlay District, the use is permitted and harmonious with the surrounding shopping center.

Alternative Actions:

- A. Continue with direction.
- B. Move approval of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E) and Chapter 3, Performance Standards, of the Land Development regulations.
- C. Move denial of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E), and Chapter 3, Performance Standards, of the Land Development regulations.

Recommended Actions:

By Separate Motions:

Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

Landscape Plan:

Move approval of the Landscape Plan (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

Architectural Elevations:

Move approval of the Architectural Elevations (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 2.4.5(I)(5), Section 4.6.18(E) of the Land Development Regulations.



Murals:

Move approval of the Murals (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 4.6.18(E) of the Land Development Regulations.

NOTES:

If the site plan and associated plans are approved, the following must be addressed prior to site plan certification or building permit issuance, as noted:

1. Prior to site plan certification, provide a note on the plans that all signage is to be approved by separate permit.
2. Prior to site plan certification provide an updated detail of the refuse enclosure gates as they front a drive aisle. Gates shall be visually compatible with the site architecture.
3. Prior to site plan certification provide fire code reference –Florida Fire Prevention Code 6th Edition – Florida Specific NFPA-1 fire code, 2015 Edition and Florida Specific NFPA 101, Life Safety Code, 2015 Edition on the site plan.
4. Prior to building permit issuance, provide the South Florida Water Management District Permit or permit modification.
5. Prior to building permit issuance, provide the Lake Worth Drainage District or confirmation that no permit is needed.
6. Prior to building permit issuance, provide a Composite Utility Plan signed by a representative of each utility company.
7. Prior to building permit issuance, provide details for fire place, including fuel source (manufacturers specifications, installation manuals, etc. should be provided at time of permit application submittal.

Staff Report Prepared by: *Christine Stivers, Senior Planner*



APPENDIX "A"-CONCURRENCY FINDINGS:

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: The site will connect to an existing 8" water main which transverses through the property and connects within the West Atlantic Avenue right-of-way.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic: A traffic study has been submitted that indicates that the proposed development will generate 4,139 daily trips, whereas the original MDP approval provided for 4,005 daily trips, therefore, there is an increase of 134 daily trips. A finding of concurrency has been received from the Palm Beach County Traffic Division.

Parks and Recreation Facilities: Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste: The existing shopping center use (71,748 sq. ft.), which includes all development on the two parcels, generated 261.88 tons of solid waste per year. The proposed improvements decrease the square footage to 70,801 sf therefore the shopping center will generate 258 tons of solid waste per year. The development proposal will result in a 4 ton decrease. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2048.

Drainage: Drainage will be accommodated on site. There are no problems anticipated to bring the site into compliance with South Florida Water Management District (SFWMD) requirements in efforts to obtain a surface water permit.

Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.



APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent



H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

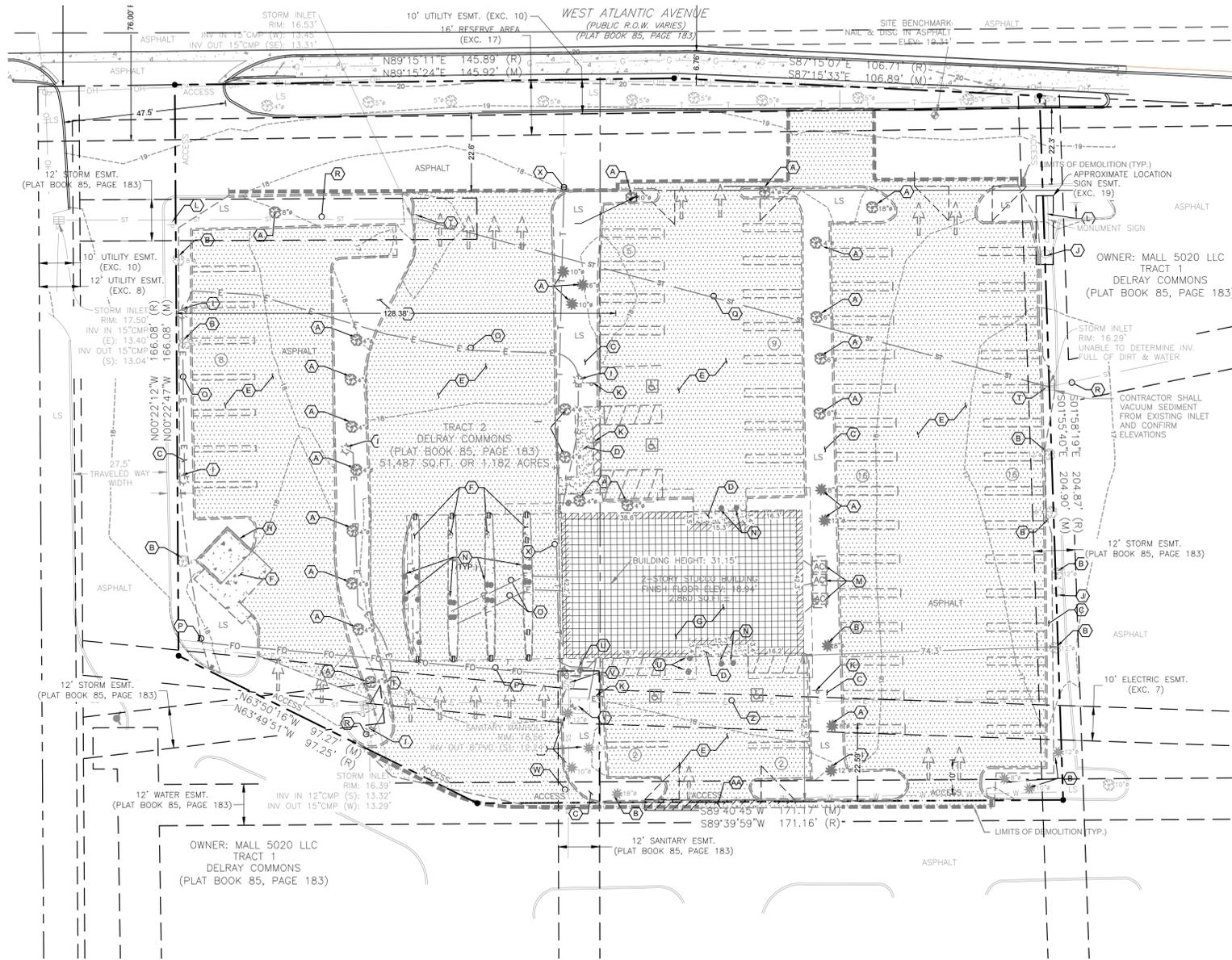
- Not applicable
- Meets intent of standard
- Does not meet intent

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

- Not applicable
- Meets intent of standard
- Does not meet intent

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

- Not applicable
- Meets intent of standard
- Does not meet intent

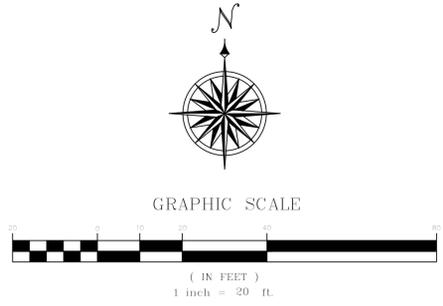


DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE BUILDING AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
12. DAMAGE TO ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

KEYED NOTES:

- A. EXISTING TREE TO BE REMOVED.
- B. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE PER DETAIL SHEET CD-3.
- C. EXISTING 7,500 S.F. LANDSCAPED AREA TO BE CLEARED AND GRUBBED. (TYP.)
- D. EXISTING SIDEWALK TO BE REMOVED.
- E. EXISTING ASPHALT AND CURBING TO BE REMOVED.
- F. EXISTING CONCRETE TO BE REMOVED.
- G. EXISTING BUILDING, INCLUDING CANOPIES, OVERHANGS, SUPPORT COLUMNS ETC. TO BE REMOVED.
- H. EXISTING DUMPSTER AND DUMPSTER ENCLOSURE TO BE REMOVED.
- I. EXISTING AREA LIGHT TO BE REMOVED.
- J. EXISTING AREA LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING SIGN TO BE REMOVED.
- L. EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- M. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED.
- N. EXISTING BOLLARD TO BE REMOVED.
- O. EXISTING ELECTRICAL LINE TO BE REMOVED.
- P. EXISTING FIBER OPTIC CABLE TO BE REMOVED. PROVIDE CAP AT DEMOLITION LIMITS.
- Q. EXISTING STORM SEWER LINE TO BE REMOVED.
- R. EXISTING STORM SEWER LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- S. EXISTING STORM SEWER INLET TO BE REMOVED.
- T. EXISTING STORM SEWER INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- U. EXISTING SANITARY SEWER STRUCTURE TO BE REMOVED.
- V. EXISTING SANITARY SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- W. EXISTING SANITARY SEWER LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- X. EXISTING TELEPHONE LINE TO BE REMOVED. PROVIDE CAP AT DEMOLITION LIMITS.
- Y. EXISTING TRANSFORMER TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Z. EXISTING ELECTRICAL LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AA. 3' WIDE MILL AND OVERLAY THIS AREA. REFER TO DETAIL ON SHEET CD-3.



- EXISTING CONCRETE SIDEWALK TO BE REMOVED (300± S.F.)
- EXISTING ASPHALT TO BE REMOVED (32,000± S.F.)
- EXISTING CONCRETE TO BE REMOVED (900± S.F.)
- EXISTING BUILDING TO BE REMOVED (2,860± S.F.)
- LIMITS OF SAWCUT AND PAVEMENT REMOVAL

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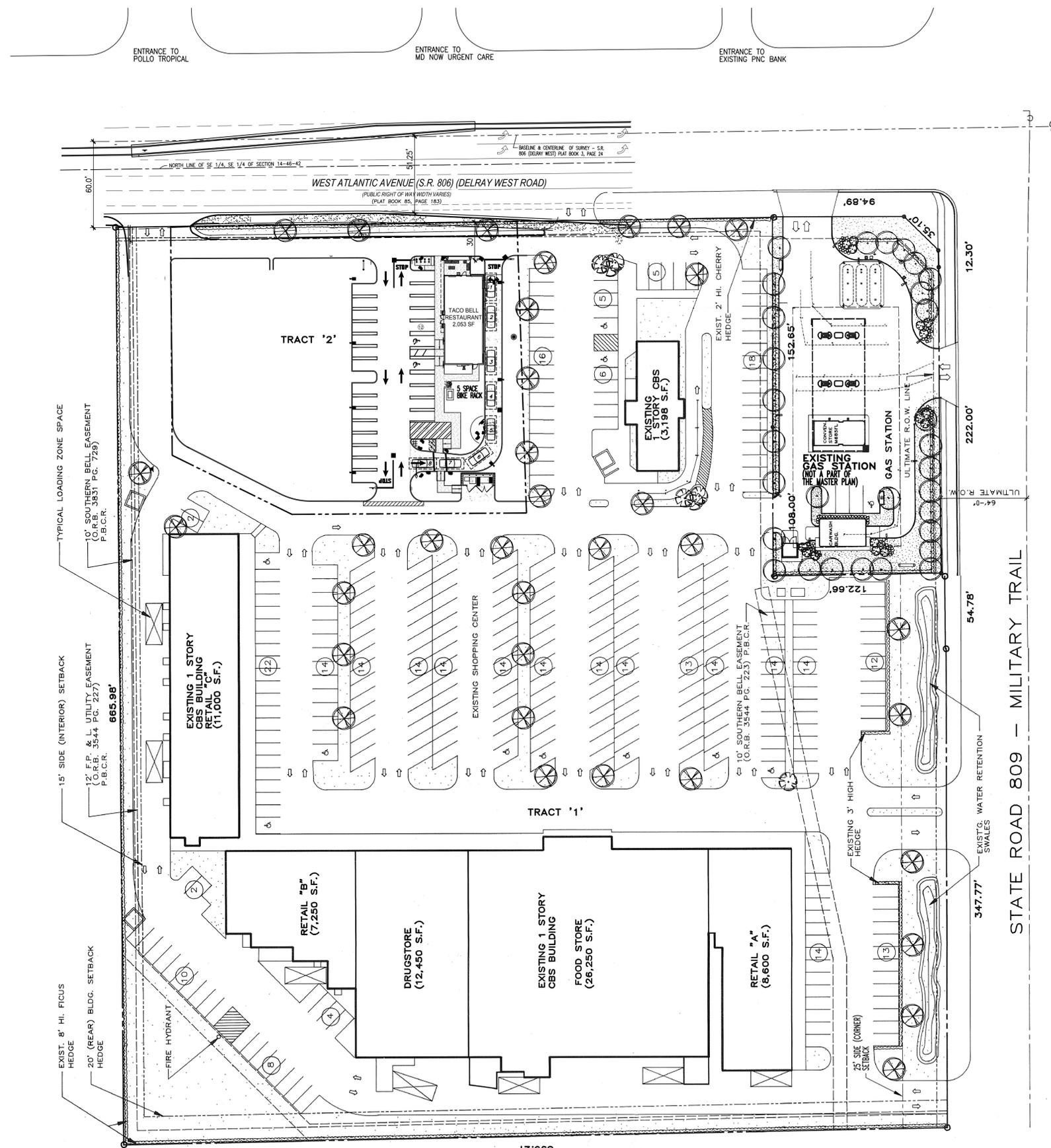
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CONTRACT DATE: -----
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL
5070 W. Atlantic Ave.
Delray Bch., FL

T-40
OPEN KITCHEN
DELRAY BEACH SOL
DEMOLITION
PLAN
D-1

PLOT DATE: 12-06-2018



LOCATION SKETCH
NOT TO SCALE

DELRAY COMMONS OVERALL SITE DATA CHART

	TOTAL	TRACT 1	TRACT 2
TOTAL PARCEL AREA (MASTER DEVELOPMENT PLAN TOTAL AREA)	367,898.00 SF / 8.446 Ac.	316,410.00SF / 7.263 Ac.	51,488 SF / 1.182 Ac.
TOTAL BUILDING AREA (LOT COVERAGE)	72,141.58 SF / 1.656 Ac. (19.61%)	70,088.58 SF (22.15%)	2,053 SF (3.99%)
TOTAL LANDSCAPE (OPEN SPACE)	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
TOTAL PAVED AREA & WALKS	206,260.83SF / 4.735 Ac. (56.06%)	186,947.91 SF (59.08%)	19,312.92 SF (37.51%)
PREVIOUS AREA	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
IMPERVIOUS AREA	278,402.50 SF / 6.391Ac. (75.67%)	257,036.58 SF (81.24%)	21,365.92 SF (41.50%)

PERIMETER BUFFER

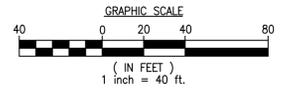
	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	21 FT.	10 FT. (PLUS ACCESS ROAD, NON-COMPLIANT)
EAST SIDE - MILITRAY TRAIL	10 FT.	16.47 FT.
SOUTH SIDE - REAR	10 FT.	22.99 FT.
WEST SIDE - SIDE	10 FT.	128.38 FT.

SETBACKS

	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	30 FT.	30.00 FT.
* EAST SIDE - MILITRAY TRAIL	25 FT.	112.98 FT.
* SOUTH SIDE - REAR	20 FT.	42.83 FT.
* WEST SIDE - SIDE	15 FT.	37.29 FT.

* NEW DEVELOPMENT IN THESE AREAS WILL ADHERE TO FOUR CORNERS SETBACK REQUIREMENTS.

NOTES:
 1. MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.
 2. WAIVER TO LDR SECTION 4.4.9(5)(3)(R)(2), MINIMUM STRUCTURE SIZE, TO REDUCE THE MINIMUM FLOOR AREA FROM 4,000 S.F. TO 2,053 WAS APPROVED BY THE PLANNING AND ZONING BOARD ON SEPT. 17, 2018.



MASTER DEVELOPMENT PLAN OF DELRAY COMMONS



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 ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	(NEW SHEET)
△	09-05-18	
△	12-05-18	
△		
△		
△		
△		

CONTRACT DATE: _____
 BUILDING TYPE: CUSTOM
 PLAN VERSION: 1
 SITE NUMBER: 309797
 STORE NUMBER: 420630

TACO BELL
 5070 W. Atlantic Ave.
 Delray Bch., FL

T-40
 OPEN KITCHEN
DELRAY BEACH SOL

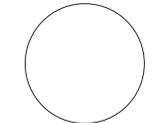
C-0.2
 MASTER DEVELOPMENT PLAN
 POST CONSTRUCTION

PLOT DATE: 12-06-2018



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KEYED NOTES:

- A. PROPOSED TACO BELL RESTAURANT. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- B. PROPOSED ACCESSIBLE PARKING STALL MARKINGS. REFER TO SHEET CD-1 FOR DETAIL.
- C. PROPOSED STRIPED ACCESSIBLE ACCESS AISLE. REFER TO SHEET CD-1 FOR DETAIL.
- D. PROPOSED DRIVE THRU WINDOW SENSOR LOOP.
- E. PROPOSED ACCESSIBLE CURB RAMP. REFER TO SHEET CD-3 FOR DETAIL.
- F. PROPOSED STANDARD ACCESSIBLE PARKING SPACE SIGNAGE. REFER TO SHEET CD-1 FOR DETAILS.
- G. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- H. PROPOSED 6' WIDE CROSSWALK WITH 24" WHITE STRIPING SPACED 3' ON CENTER. REFER TO SHEET CD-1 FOR DETAIL.
- I. PROPOSED TYPE 'D' CONCRETE CURB. REFER TO SHEET CD-2 FOR DETAILS.
- J. PROPOSED PAINTED TRAFFIC ARROWS. REFER TO SHEET CD-1 FOR DETAILS.
- K. PROPOSED DUMPSTER PAD AND ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
- L. PROPOSED CONCRETE DRIVE-THRU LANE. REFER TO SHEET CD-2 FOR DETAILS.
- M. PROPOSED PROTOTYPICAL LANDSCAPE FOCAL POINT PER TACO BELL STANDARDS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- N. PROPOSED PROTOTYPICAL CLEARANCE BAR. REFER TO SHEET CD-1 FOR DETAILS.
- O. PROPOSED OUTDOOR PATIO AND SEATING. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- P. PROPOSED SIX (6) INCH WIDE WHITE PARKING SPACE STRIPING. REFER TO SHEET CD-1 FOR DETAILS.
- Q. PROPOSED PROTOTYPICAL TACO BELL FREESTANDING SIGN. SIGN TO BE DESIGNED AND PERMITTED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR TO COORDINATE WITH APPROVED SIGNAGE VENDOR FOR INSTALLATION REQUIREMENTS.
- R. PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-2 FOR DETAIL.
- S. PROPOSED BIKE RACK. REFER TO SHEET CD-2 FOR DETAILS. (5 SPACES MIN.)
- T. PROPOSED TURNED DOWN CONCRETE CURB AND SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- U. PROPOSED PAINTED 'STOP' AND 'STOP BAR'. REFER TO SHEET CD-1 FOR DETAILS.
- V. PROPOSED 'STOP' SIGN. REFER TO SHEET CD-1 FOR DETAIL.
- W. PROPOSED 'STOP' AND 'DO NOT ENTER' SIGNS. REFER TO SHEET CD-1 FOR DETAIL.
- X. PROPOSED STORM SEWER MANHOLE. REFER TO SHEET CD-3 FOR DETAILS.
- Y. EXISTING SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Z. PROPOSED SITE LIGHTING. REFER TO SHEET E1.0 AND E1.1 FOR DETAILS.
- AA. EXISTING SIDEWALK TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AB. PROPOSED CONCRETE TRANSFORMER PAD TO BE INSTALLED BY FLORIDA POWER AND LIGHT. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- AC. PROPOSED OCB/CANOPY. REFER TO SHEET CD-1 FOR DETAILS.
- AD. PROPOSED MENU BOARD. REFER TO SHEET CD-1 FOR DETAILS.
- AE. PROPOSED TACO BELL 'ENTER' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AF. PROPOSED TACO BELL 'EXIT' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AG. PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
- AH. PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
- AI. PROPOSED CONCRETE WHEEL STOP, TYP. OF 9. REFER TO SHEET CD-3 FOR DETAILS.
- AJ. PROPOSED CONCRETE RAMP. REFER TO SHEET CD-3 FOR DETAILS.
- AK. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AL. PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.
- AM. PROPOSED SANITARY SEWER GREASE TRAP. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- AN. PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
- AO. EXISTING SPLICE BOX TO REMAIN.
- AP. 3' WIDE MILL AND OVERLAY. REFER TO SHEET CD-3 FOR DETAIL.

SITE NOTES:

- 1. REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
- 2. REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
- 3. REFER TO SHEET C-2 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C-3 FOR UTILITY PLAN.
- 5. REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
- 6. REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
- 7. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR TO SOD ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- 9. ANY ADJACENT EXISTING LANDSCAPE MATERIAL DISTURBED DURING CONSTRUCTION SHALL BE REPLACED PER AUTHORITIES HAVING JURISDICTION.
- 10. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN UNDERGROUND SYSTEM PROVIDING 100% COVERAGE. IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS.

NO.	DATE	DESCRIPTION
△	03-02-18	
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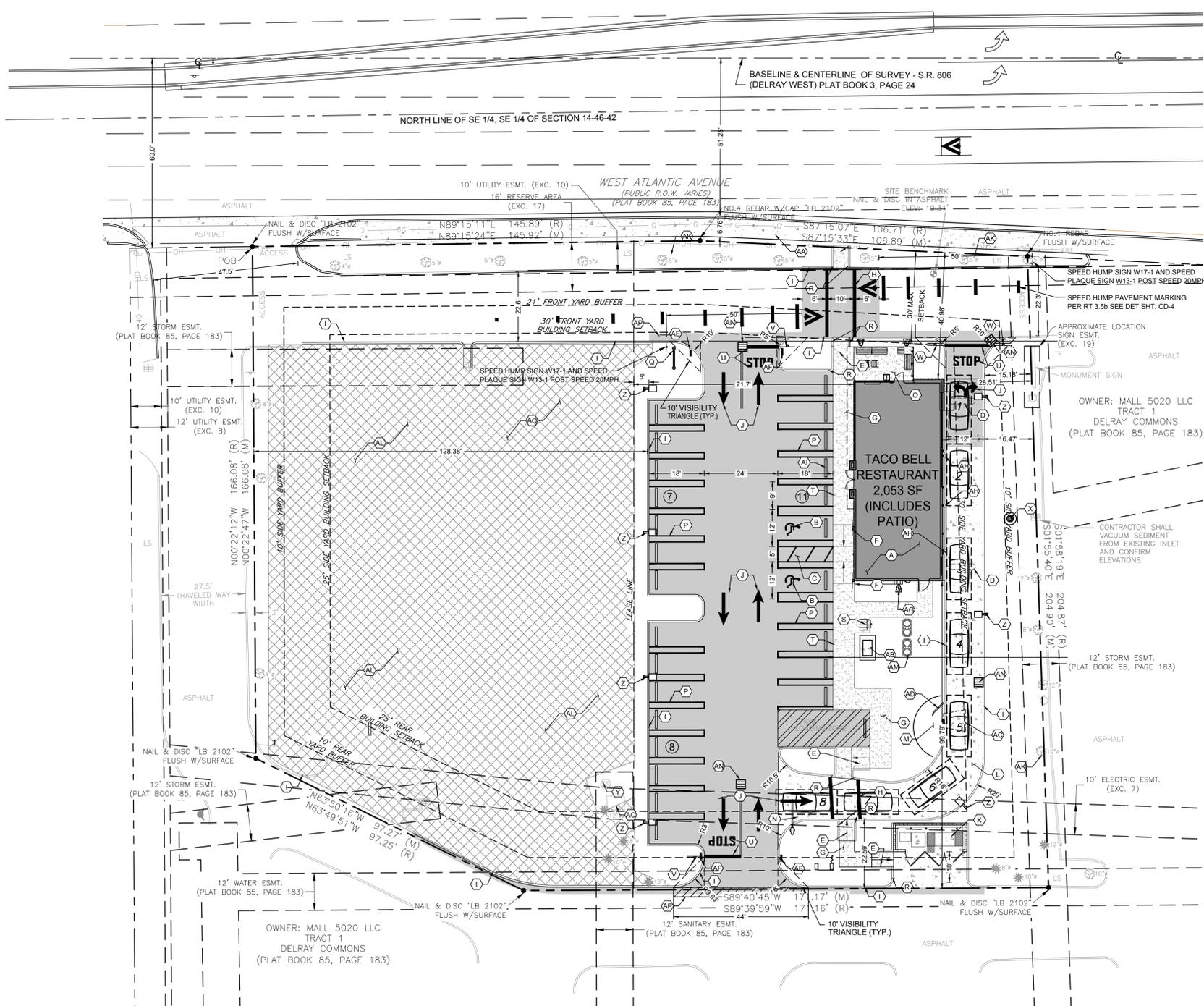
CONTRACT DATE:
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL
5070 W. Atlantic Ave.
Delray Bch., FL

TACO BELL
T-40
OPEN KITCHEN
DELRAY BEACH SOL
SITE PLAN

C-1

PLOT DATE: 12-06-2018



SITE DATA TABLE

PARCEL ID No.	12-42-46-14-24-002-0000
CURRENT ZONING	PLANNED COMMERCIAL (PC) FOUR CORNERS OVERLAY DISTRICT
EXISTING USE	RETAIL BANK WITH DRIVE-THRU SERVICE
PROPOSED USE	RESTAURANT INCLUDING DRIVE-IN AND DRIVE-THRU (PERMITTED PER ZONING SECTION 4.4.9 (B)(4)(a))
TOTAL PARCEL AREA	27,280 SF / 0.625 AC (LEASE AREA ONLY)
EXISTING IMPERVIOUS AREA	23,139 SF / 0.53 AC (84.8%) (LEASE AREA ONLY)
EXISTING OPEN SPACE	4,140 SF / 0.095 AC (15.2%) (LEASE AREA ONLY)
PROPOSED IMPERVIOUS AREA	20,304 SF / 0.466 AC (74.4%) (LEASE AREA ONLY)
PROPOSED OPEN SPACE	6,976 SF / 0.160 AC (25.6%) (LEASE AREA ONLY)
MAXIMUM IMPERVIOUS AREA	21,780 SF / 0.50 AC (80%)

BUILDING DATA TABLE

	EXISTING	PROPOSED
BUILDING SIZE	2,860 SF	2,053 SF
BUILDING COVERAGE	2,860 SF / 0.0663 AC (5.53%)	2,053 SF / 0.0471 AC (7.53%)
BUILDING HEIGHT	48 FEET	28 FEET
SETBACKS	REQUIRED BUILDING	REQUIRED BUILDING
	REQUIRED LANDSCAPING	PROPOSED BUILDING
		PROPOSED LANDSCAPING
FRONT (W. ATLANTIC)	30 FEET	21 FEET
	40.98 FEET	3.98 FEET*
SIDE (EAST)	25 FEET	10 FEET
	28.51 FEET	16.93 FEET
SIDE (WEST)	25 FEET	10 FEET
	71.70 FEET**	5.00 FEET**
REAR (SOUTH)	25 FEET	10 FEET
	99.79 FEET	22.26 FEET

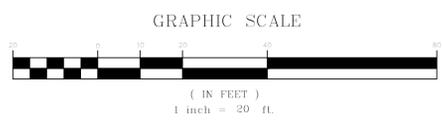
PARKING TABLE

	REQUIRED (SEE BELOW)	PROVIDED
STANDARD (9' x 18')	23 SPACES	24 SPACES
ADA (12' x 18')	2 SPACES	2 SPACES
TOTAL	25 SPACES	26 SPACES
LOADING ZONE	12'X30'	12'X30'

*PARKING REQUIREMENT: 12 SPACES PER 1,000 SF OF GROSS FLOOR AREA.
**2,053SF / 1,000SF = 2.05
***2.05 x 12 SPACES = 24 SPACES

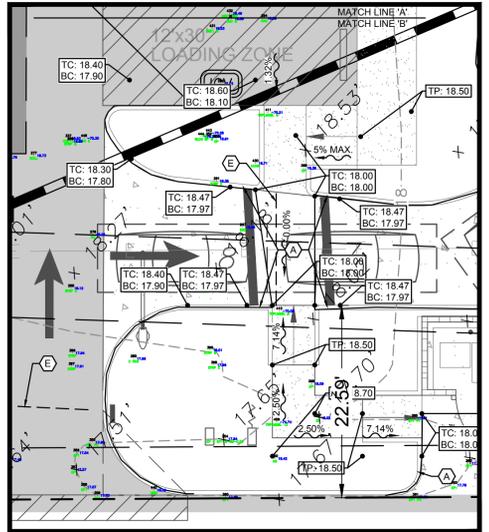
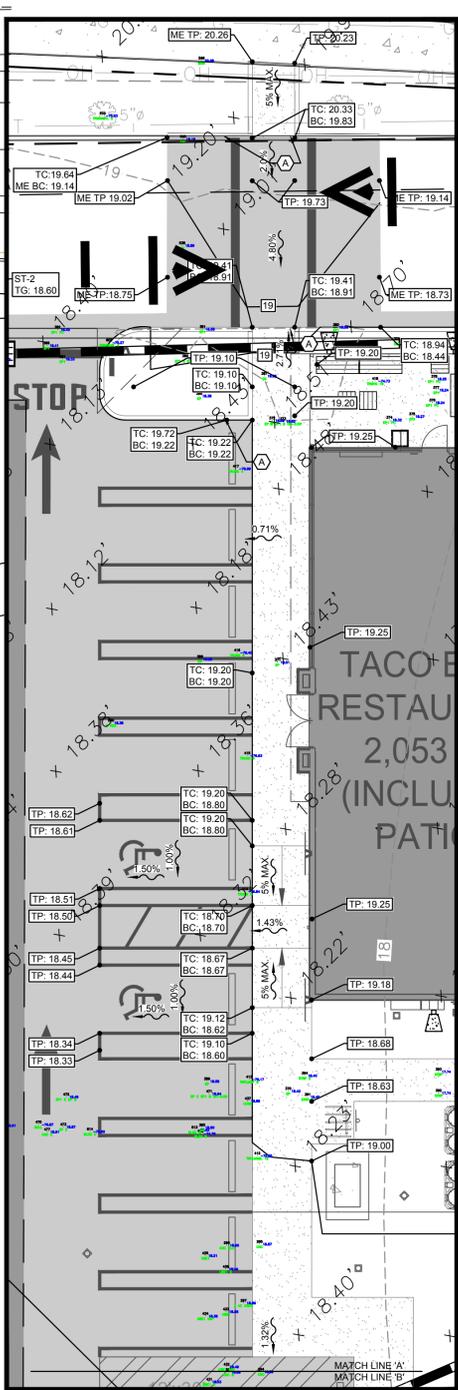
NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2. REFER TO LANDSCAPE PLANS.

NOTES:
1. MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.
2. WAIVER TO LDR SECTION 4.4.9(G)(3)(R)(2), MINIMUM STRUCTURE SIZE, TO REDUCE THE MINIMUM FLOOR AREA FROM 4,000 S.F. TO 2,053 WAS APPROVED BY THE PLANNING AND ZONING BOARD ON SEPT. 17, 2018.





AREA	SQ FT			ACRES		
	Impervious	Pervious	Total	Impervious	Pervious	Total
1	4,136.3	12,061.7	16,198.0	0.095	0.277	0.372
2	369.8	8,895.2	9,265.0	0.008	0.204	0.213
3	971.1	72.4	1,043.6	0.022	0.002	0.024
4	10,314.7	677.1	10,991.8	0.237	0.016	0.252
5	2,275.7	174.2	2,449.9	0.052	0.004	0.056
6	894.3	-	894.3	0.021	0.000	0.021
7	1,285.4	-	1,285.4	0.030	0.000	0.030
8	1,902.6	1,615.9	3,518.5	0.044	0.037	0.081
9	-	2,694.3	2,694.3	0.000	0.062	0.062



- GRADING NOTES:**
- REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
 - REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
 - REFER TO SHEET C-3 FOR UTILITY PLAN.
 - REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
 - REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
 - STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
 - CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 1% MINIMUM SLOPE IN PERVIOUS AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM. SITE BENCHMARK: NAIL AND DISC IN ASPHALT AS SHOWN, WITH AN ELEVATION OF 19.31'.
 - THE PROPERTY SHOWN HEREON APPEARS TO BE IN ZONE X500, IN ACCORDANCE WITH THE PALM BEACH COUNTY FLOOD ZONE MAP AND WITH FEMA FIRM MAP No. 120192 0205 B, MAP DATED OCTOBER 15, 1982.
 - PER THE WEB SOIL SURVEY OF DELRAY BEACH FLORIDA, THE SITE IS COMPRISED OF MOSTLY MYAKKA FINE SAND AND A SMALL PERCENTAGE OF IMMOKALEE FINE SAND.

- KEYED NOTES:**
- PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-3 FOR DETAIL.
 - PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
 - PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
 - PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
 - PROPOSED RIDGE LINE.
 - PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.
- NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS. LD 1.1 & LD 1.2. REFER TO LANDSCAPE PLANS.

DRAINAGE SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/ RIM ELEV.	INVERT ELEV.	DOWNSTREAM PIPE INFORMATION PIPE LENGTH (FEET)	PIPE SIZE/TYPE
ST-1	TYPE C INLET	16.53	13.45 (W) / 13.31 (E)	89	15" HDPE
ST-2	TYPE C INLET	18.60	12.42 (W) / 12.22 (E) / 14.5 (S)	81	15" HDPE
ST-3	TYPE C INLET	17.50	12.23 (E) / 14.5 (N)	85	15" HDPE
ST-4	TYPE C INLET	17.00	11.38 (W) / 11.18 (N)	55	15" HDPE
ST-5	TYPE C INLET	16.29	10.35 (W) / 10.15 (E)	-	15" CMP
ST-6	MANHOLE	17.36	10.63 (N&S) / 10.43 (E)	8	15" HDPE
ST-7	TYPE C INLET	18.43	11.41 (W) / 11.21 (S)	58	15" HDPE
ST-8	TYPE C INLET	16.39	13.32 (S) / 13.29 (W)	-	15" HDPE

*ASSUMED ELEVATION. CONTRACTOR TO CONFIRM.

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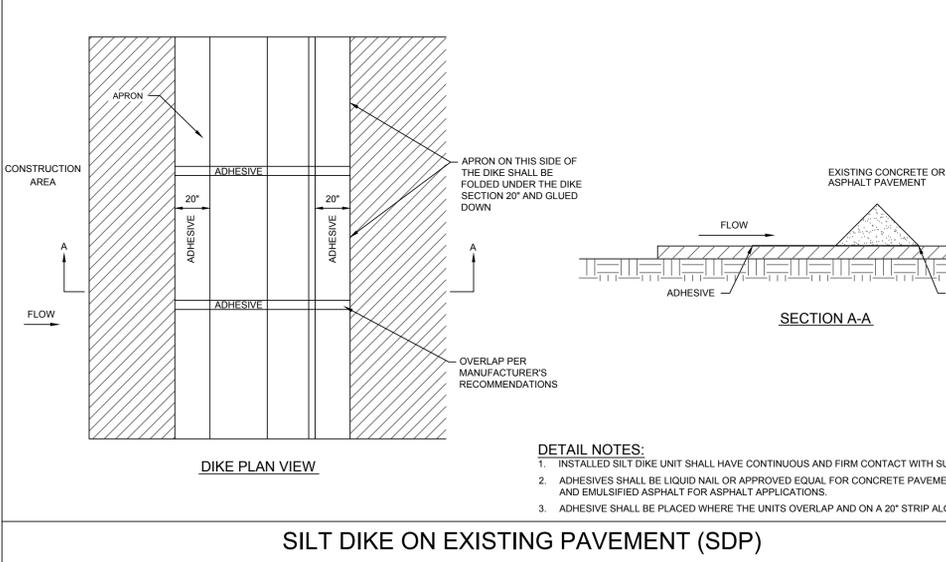
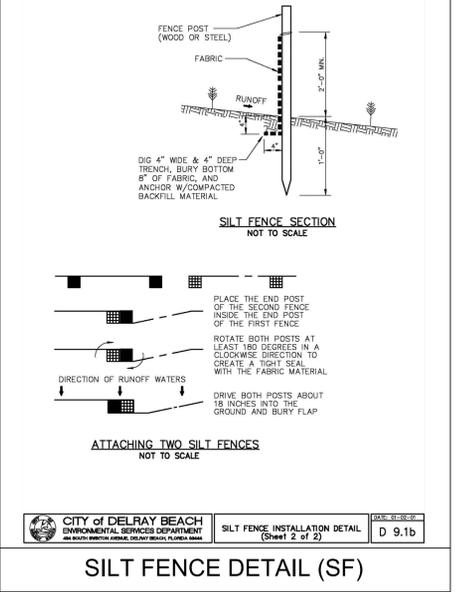
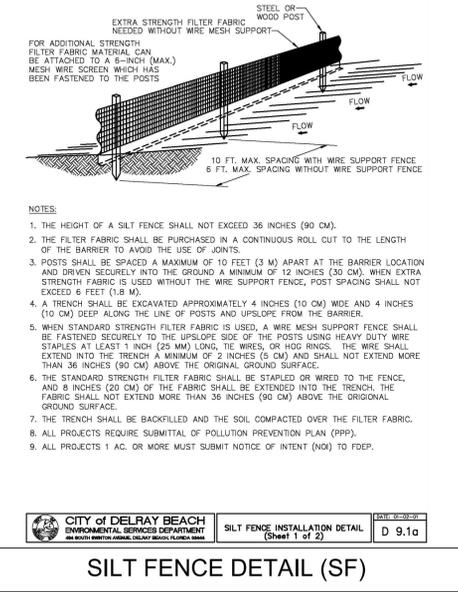
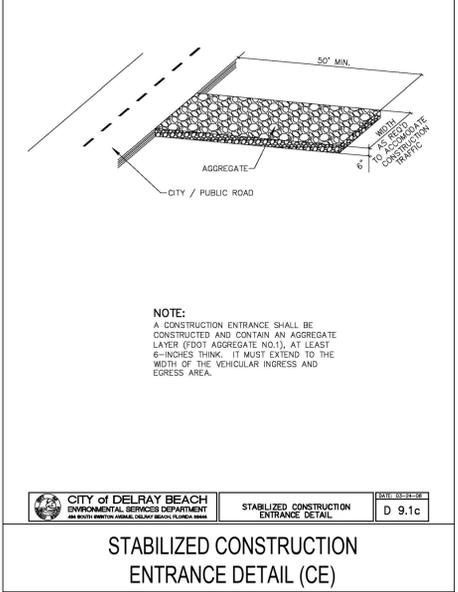
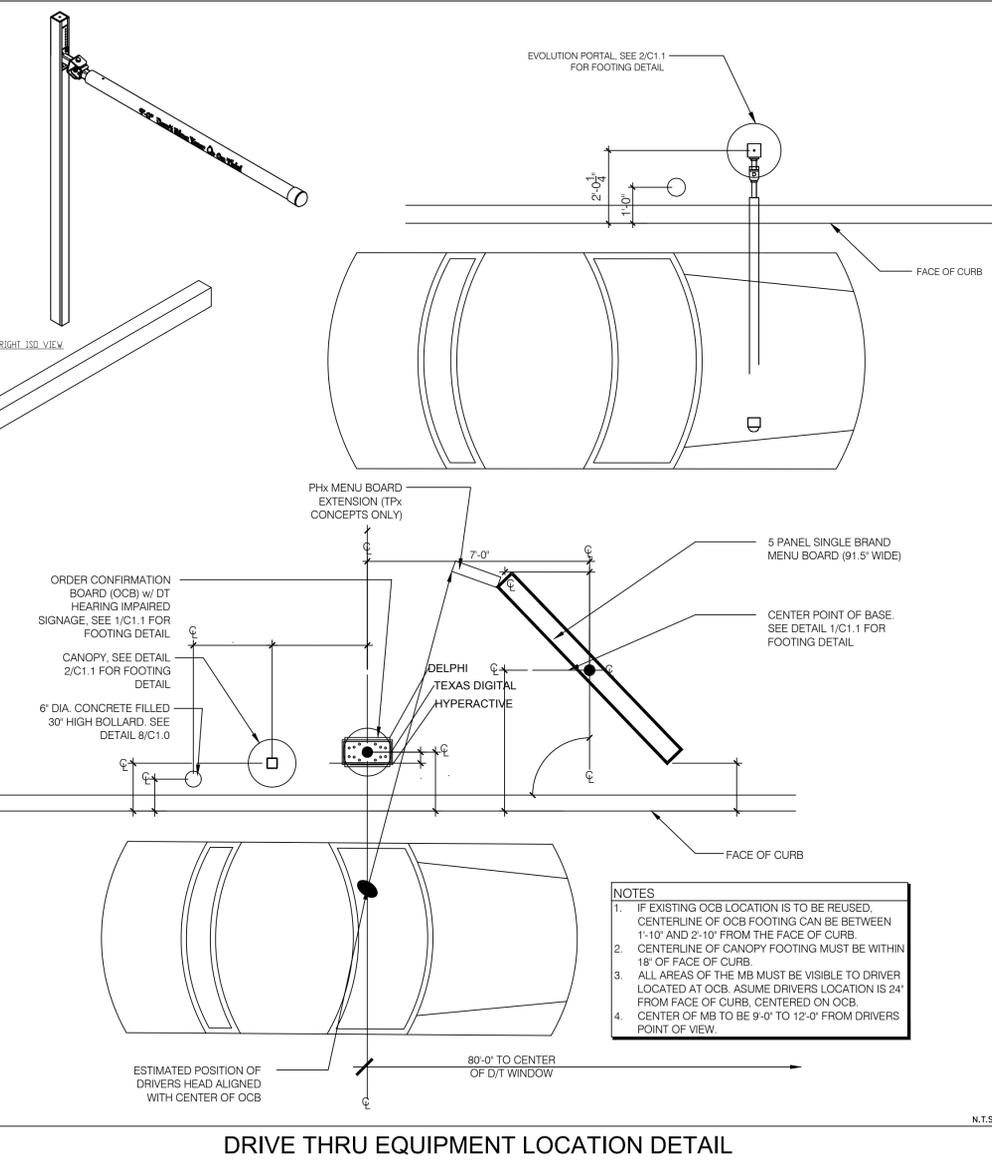
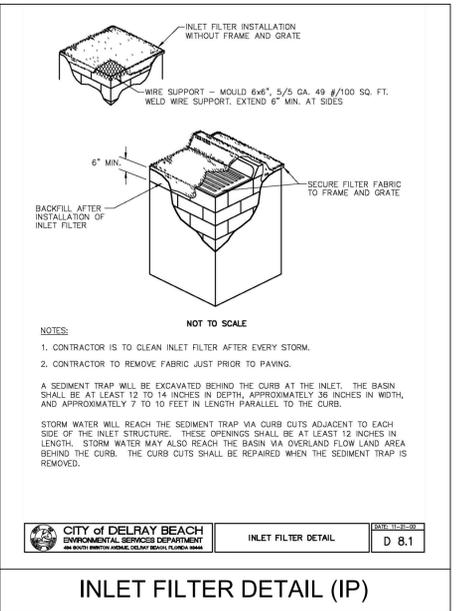
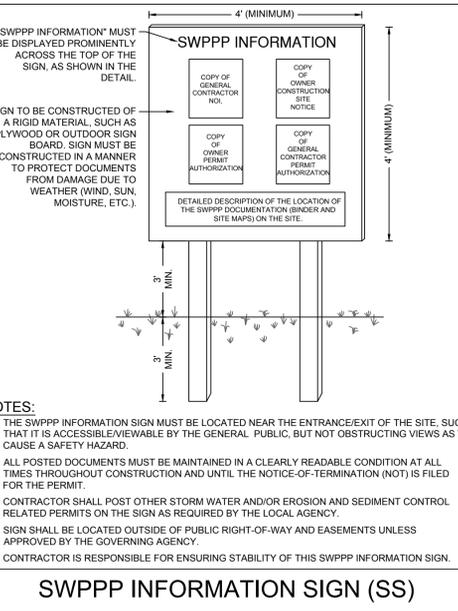
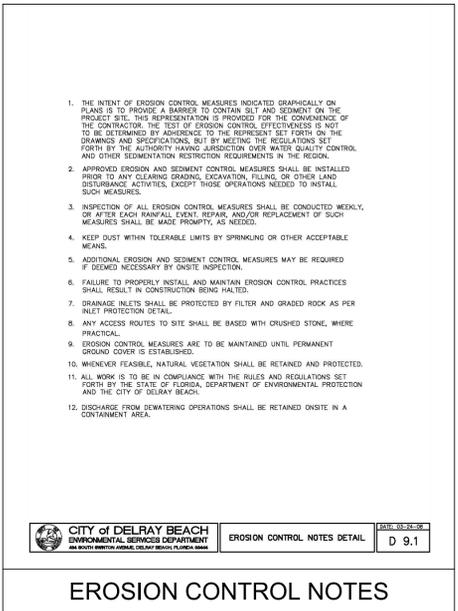
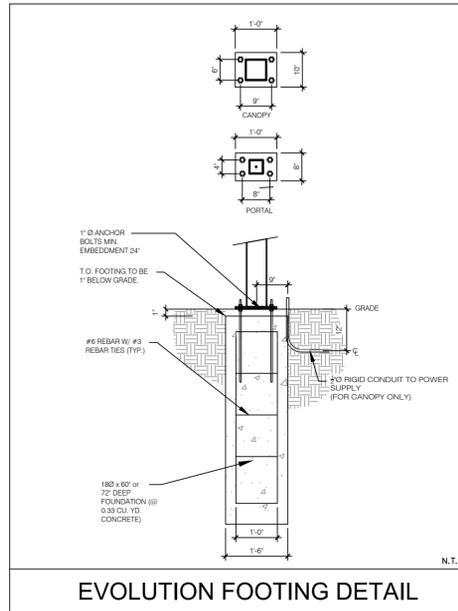
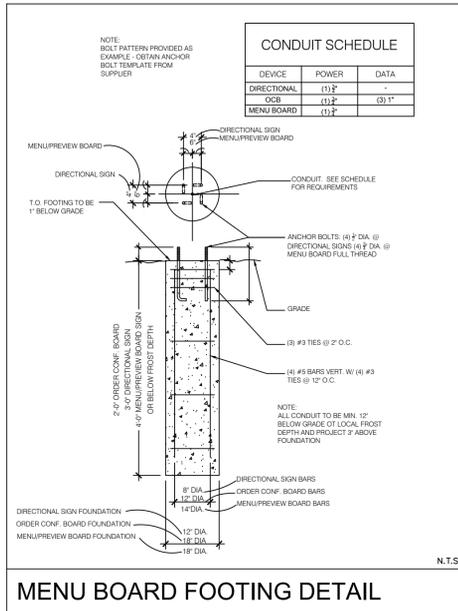
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2	07-26-18	
3	12-05-18	
4		
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8		
9		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL
5070 W. Atlantic Ave.
DeLray Bch., FL

T-40
OPEN KITCHEN
DELRAY BEACH SOL
GRADING
PLAN
C-2

PLOT DATE: 12-06-2018



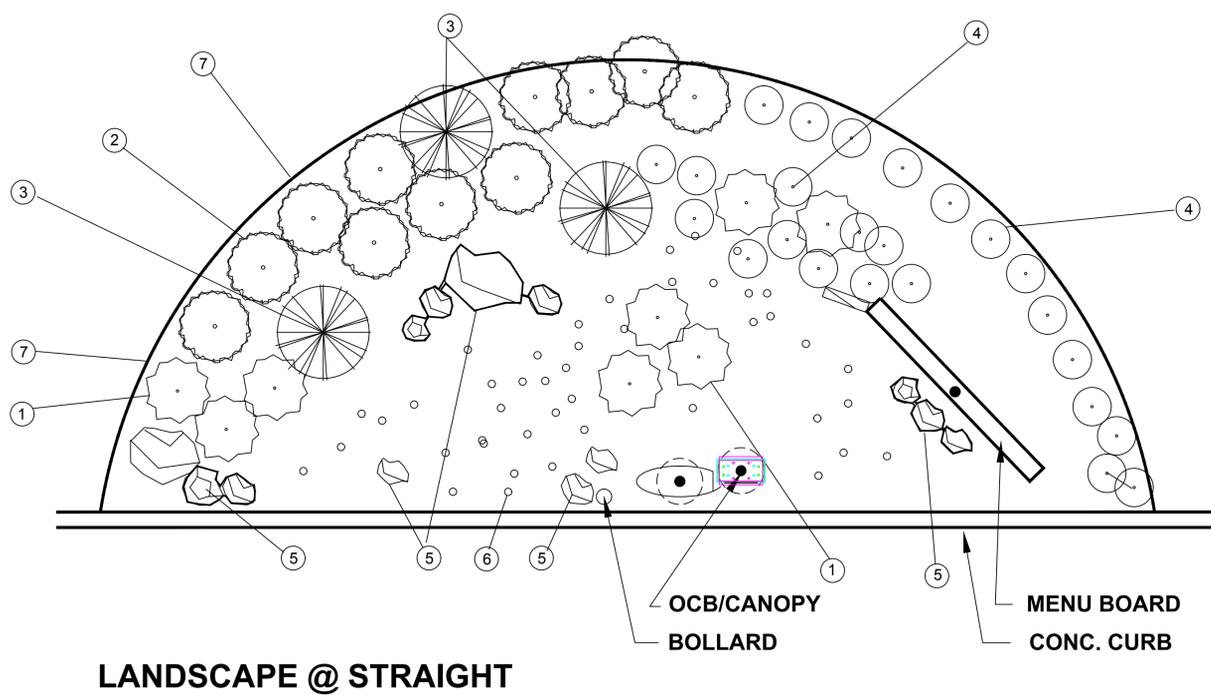
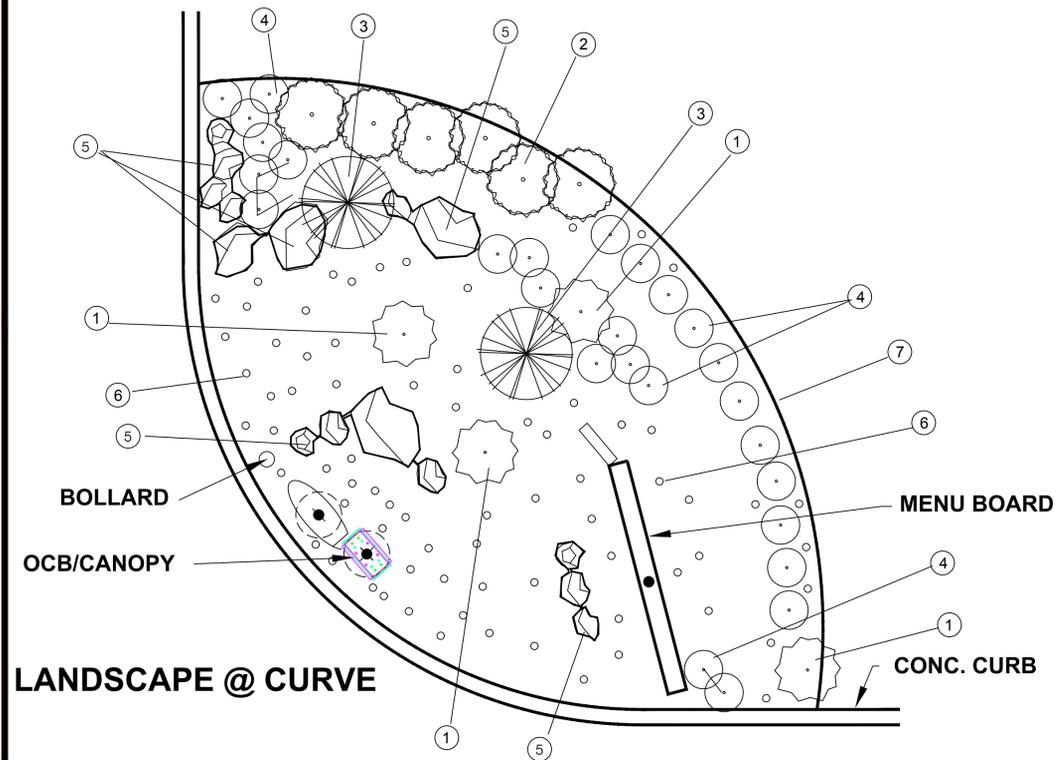
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FAX: (305) 826-0619
EB#0004432
SEAL
EDUARDO L. CARCACHÉ
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
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CONTRACT DATE:
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
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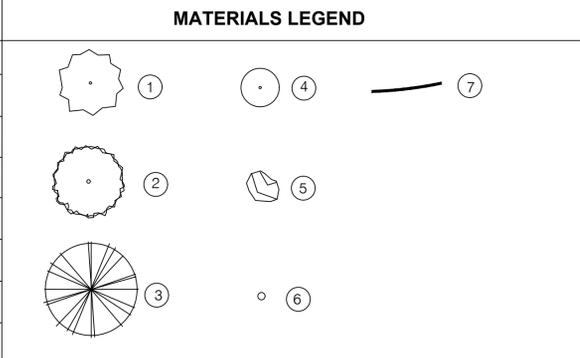
TACO BELL
5070 W. Atlantic Ave.
Delray Bch., FL

T-40
OPEN KITCHEN
DELRAY BEACH SOL
CONSTRUCTION
DETAILS
CD-5
PLOT DATE: 12-06-2018



REGION 1 - SOUTHWEST					REGION 2 - SOUTH					REGION 3 - NORTHWEST					REGION 4 - WEST					REGION 5 - MIDWEST					REGION 6 - NORTH					
NO.	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP
1	HAMELIN GRASS PENNISTETUM ALOPE CUROIDES	PER PLAN	3 GAL.	12"	12"	HAMELIN GRASS PENNISTETUM ALOPE CUROIDES	PER PLAN	3 GAL.	12"	12"	HAMELIN GRASS PENNISTETUM ALOPE CUROIDES	PER PLAN	3 GAL.	12"	12"	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"
2	MOCK ORANGE PITTIOSPORUM TOBIRA	PER PLAN	3 GAL.	15"	15"	DWARF YAUPON HOLLY LLEX VOMITORIA NANA	PER PLAN	3 GAL.	15"	15"	DWARF YAUPON HOLLY LLEX VOMITORIA NANA	PER PLAN	3 GAL.	15"	15"	RED YUCCA HESPERALOE PARVIFLORA	PER PLAN	3 GAL.	15"	15"	JAPANESE BARBERRY BERBERIS THUNBERGII	PER PLAN	3 GAL.	15"	15"	CRANBERRY BUSH VIBURNUM OPLUS	PER PLAN	3 GAL.	15"	15"
3	HESPERALOE PARVIFLORA RED YUCCA	PER PLAN	5 GAL.	18"	15"	OUR LORD'S CANDLE YUCCA WHIPPLEI	PER PLAN	5 GAL.	18"	36"	OUR LORD'S CANDLE YUCCA WHIPPLEI	PER PLAN	5 GAL.			OUR LORD'S CANDLE YUCCA WHIPPLEI	PER PLAN	5 GAL.			SOAPWEED YUCCA GLAUCA	PER PLAN	5 GAL.			ADAM'S NEEDLE YUCCA FILAMENTOSA	PER PLAN	5 GAL.		
4	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"
5	SAND STONE BOULDER DESERT SAND COLOR - 6" TO 24"	PER PLAN	6"-24"	N/A		GRANITE BOULDER DESERT RED COLOR - 6" TO 24"	PER PLAN	6"-24"	N/A		GRANITE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A		GRANITE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A		LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A		LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A	
6	GRAVEL MULCH CALIFORNIA GOLD - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH RED GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH GREY GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH GREY GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH LIMESTONE - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH LIMESTONE - 3" AGGREGATE	PER PLAN	3"	N/A	
7	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A

REGION 7 - SOUTHEAST				
NO.	MATERIAL	QTY	SIZE	HGT. SP
1	INDIAN HAWTHORNE RAPHIOLEPIS INDICA 'PINK LADY'	PER PLAN	3 GAL.	12" 12"
2	CHINESE HOLLY LLEX CORNUTA	PER PLAN	3 GAL.	15" 15"
3	SPANISH BAYONET YUCCA ALOIFOLIA	PER PLAN	5 GAL.	
4	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24" 24"
5	LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A
6	GRAVEL MULCH RED GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A
7	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG



- LANDSCAPE NOTES**
- GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER & CONCRETE CURB. ALSO UNDER ALL PLANTS
 - PROVIDE WEED BARRIER UNDER GRAVEL MULCH
 - PROVIDE A INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES
 - PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE AND SOIL AMMENDMENTS
 - SEE SHEET C1.0 AND C1.1 FOR ADDITIONAL TACO BELL SPECIFIC DETAILS INCLUDING THE MENU BOARD, ENTRY PORTALL AND OCB/CANOPY.

CONTRACTOR TO REFER TO LANDSCAPING PLANS FOR PROJECT SPECIFIC PLANTINGS AND DETAILS

PROTOTYPICAL MENU BOARD LANDSCAPING DETAIL

GROUP

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EB#0004432

SEAL
EDUARDO L. CARCACHÉ
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
1	03-02-18	
2		
3		
4		
5		
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7		

CONTRACT DATE:
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.
Delray Bch., FL

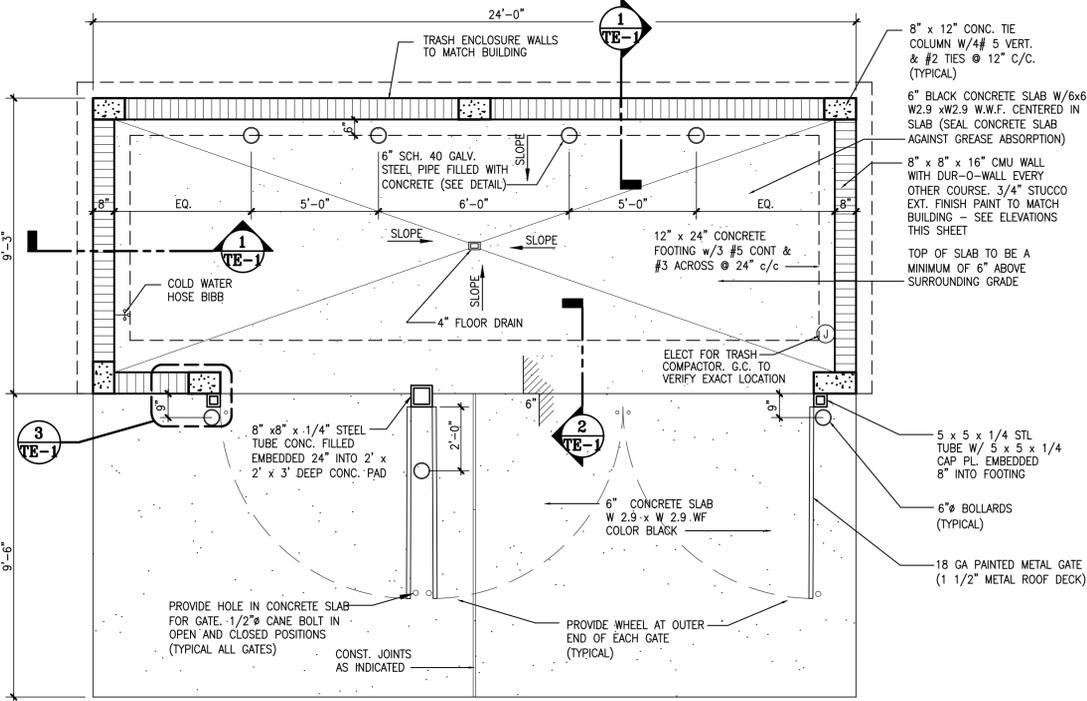
TACO BELL

T-40
OPEN KITCHEN
DELRAY BEACH SOL
CONSTRUCTION
DETAILS

CD-6

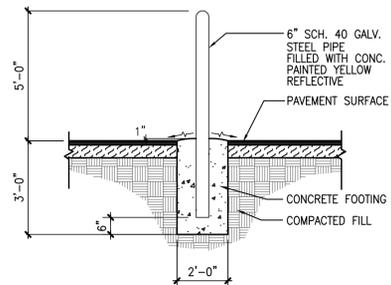
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PLOT DATE: 12-06-2018



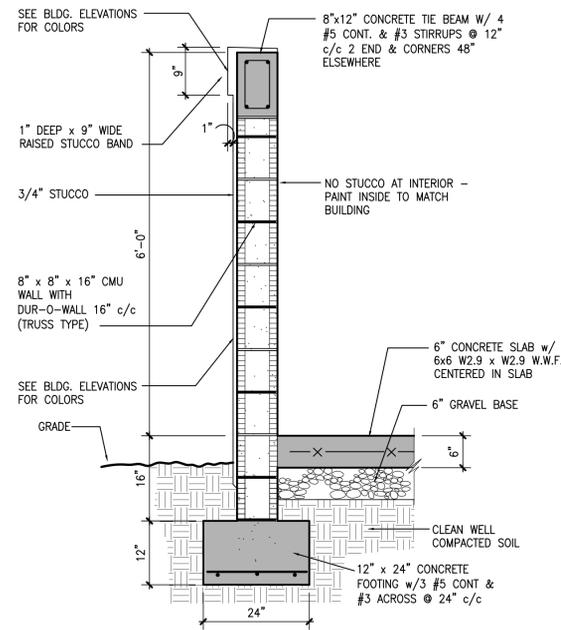
TRASH & RECYCLING ENCLOSURE PLAN

3/8" = 1'-0"



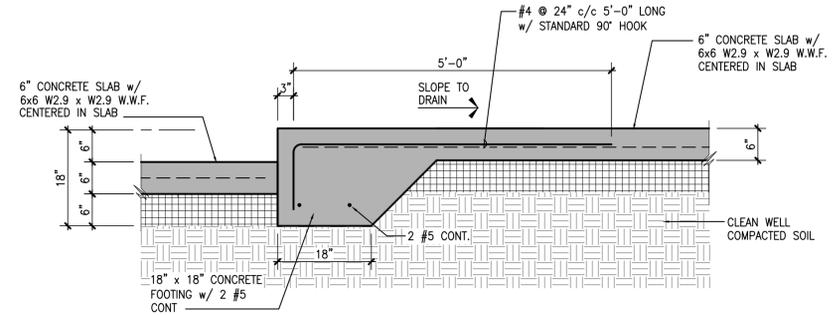
STEEL BOLLARD DETAIL

NOT TO SCALE



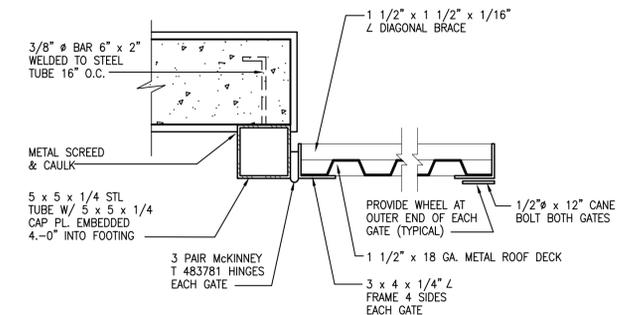
SECTION THRU TYPICAL WALL

3/4" = 1'-0"



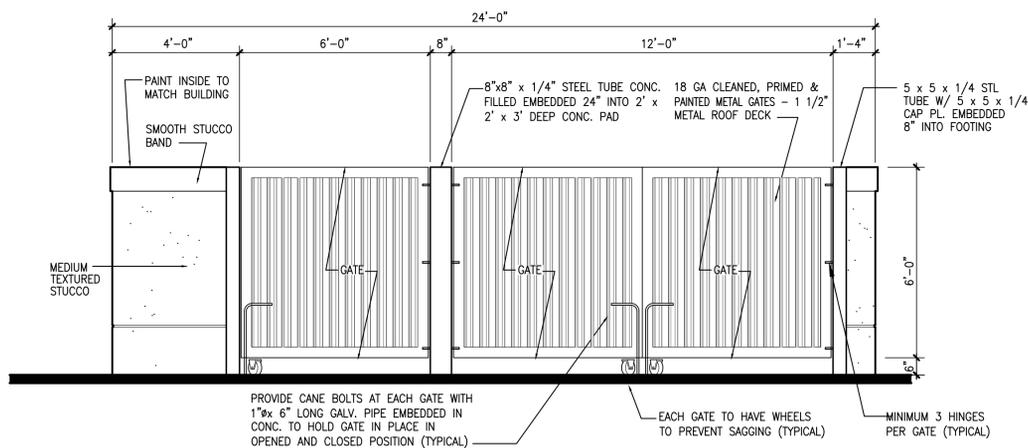
SECTION AT SLAB FOOTING

3/4" = 1'-0"



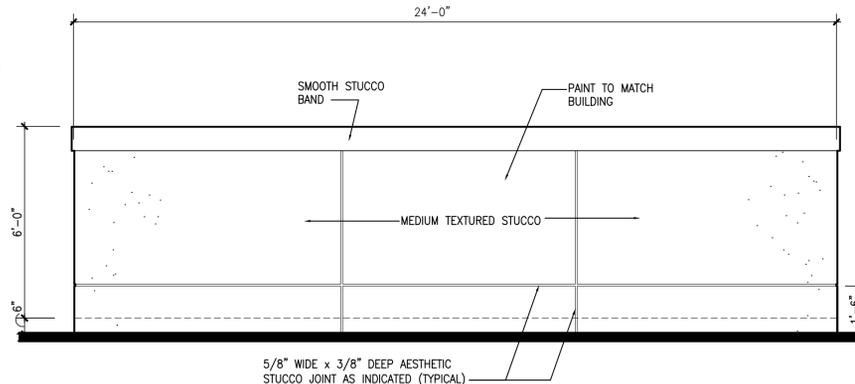
JAMB DETAIL

1 1/2" = 1'-0"



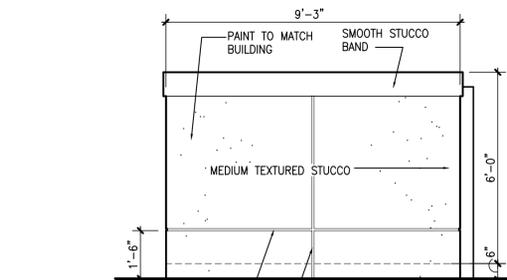
FRONT ELEVATION

3/8" = 1'-0"



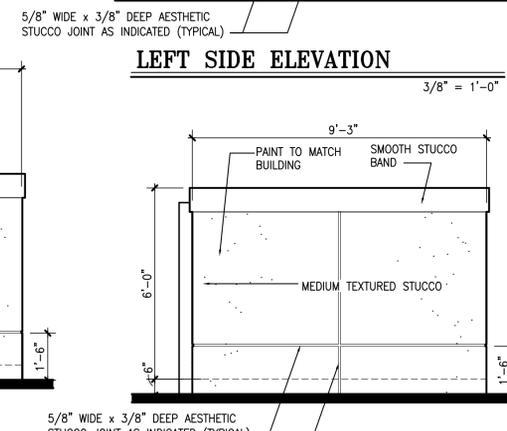
REAR ELEVATION

3/8" = 1'-0"



LEFT SIDE ELEVATION

3/8" = 1'-0"



RIGHT SIDE ELEVATION

3/8" = 1'-0"

NOTE:
STEEL BOLLARDS NOT SHOWN REFER TO PLAN FOR LOCATIONS.

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SEAL
 EDUARDO L. CARCHICHE
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 ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
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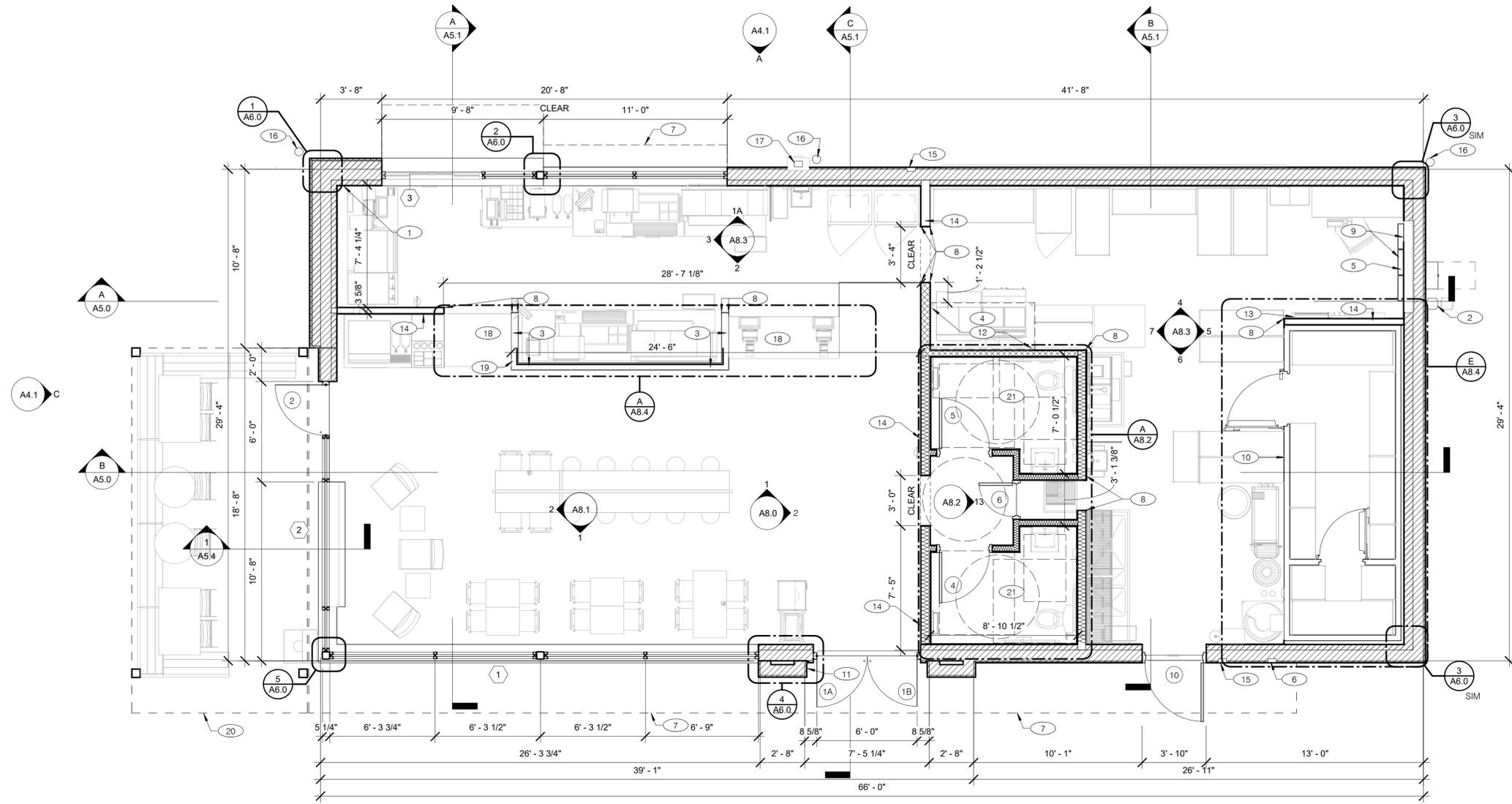
CONTRACT DATE: _____
 BUILDING TYPE: CUSTOM
 PLAN VERSION: 1
 SITE NUMBER: 309797
 STORE NUMBER: 420630

TACO BELL
 5070 W. Atlantic Ave.
 Delray Bch., FL

TACO BELL
 T-40
 OPEN KITCHEN
 DELRAY BEACH SOL

TE-1
 TRASH ENCLOSURE DETAILS

PLOT DATE: 12-06-2018



FLOOR PLAN 1/4" = 1'-0" **A**

H	12/06/18	FIRE REVISIONS
E	8/29/18	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/25/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18
 BUILDING TYPE: T40CAL-SOL
 PLAN VERSION: FEB 2018
 BRAND DESIGNER: GPD GROUP
 SITE NUMBER: 312032
 STORE NUMBER: 2018088.03

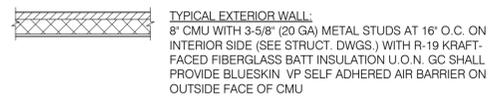
TACO BELL
 5070 W. ATLANTIC BLVD.
 DELRAY BCH, FL 33484



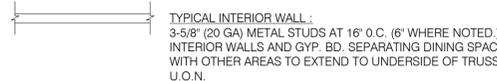
FLOOR PLAN

A1.0

PLOT DATE: 12/6/2018 1:50:44 PM

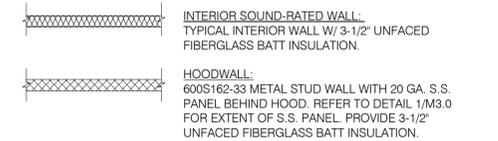


TYPICAL EXTERIOR WALL:
 8" CMU WITH 3-5/8" (20 GA) METAL STUDS AT 16" O.C. ON INTERIOR SIDE (SEE STRUCT. DWGS.) WITH R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE BLUESKIN VP SELF ADHERED AIR BARRIER ON OUTSIDE FACE OF CMU



TYPICAL INTERIOR WALL:
 3-5/8" (20 GA) METAL STUDS AT 16" O.C. (6" WHERE NOTED.) INTERIOR WALLS AND GYP. BD. SEPARATING DINING SPACE WITH OTHER AREAS TO EXTEND TO UNDERSIDE OF TRUSSES U.O.N.

- WALL SUBSTRATES:**
- DINING ROOM: 1/2" GYPSUM WALLBOARD TO 6" ABOVE CEILING OR TO UNDERSIDE OF DECK WHERE EXPOSED SEE 8 & 15 / A6.5. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)
 - KITCHEN WALLS AND DINING ROOM CLOSET: 1/2" CEMENT WALLBOARD FROM T.O. SLAB WITH 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDED SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4 & 11 / A6.5.
 - RESTROOM WALLS: 5/8" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, MOISTURE RESISTANT GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 12 / A6.5.
 - ALL OTHER FRAME WALL CONDITIONS: 1/2" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.



INTERIOR SOUND-RATED WALL:
 TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.



HOODWALL:
 600S162-33 METAL STUD WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. REFER TO DETAIL 1/M3.0 FOR EXTENT OF S.S. PANEL. PROVIDE 3-1/2" UNFACED FIBERGLASS BATT INSULATION.

DIMENSIONS:

A. ALL DIMENSIONS ARE TO FACE OF CMU U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.

B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. RECD. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:

A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.

B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:

A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 48" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.

B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.

C. ALL BACK-OF-HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

GENERAL:

A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.

B. DRAWINGS ARE BASED UPON CMU AND METAL FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS TO BE MAINTAINED.

FIRE CODE:

A. FLORIDA FIRE PREVENTION CODE 6TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2015 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2015 EDITION.

- 1 STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS).
- 2 GAS SERVICE.
- 3 LOW WALL BY G.C., SEE DETAILS ON A8.3. COORDINATE WITH STRUCTURAL DRAWINGS.
- 4 HOOD WALL. SEE EQUIPMENT PLAN A2.0 AND SCHEDULE A2.1
- 5 ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
- 6 CO2 FILL BOX LOCATION. SEE DETAIL 5/A6.1
- 7 LINE OF AWNING ABOVE (BY SIGNAGE VENDOR)
- 8 S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 13&14/A6.5
- 9 RECESSED SWITCHGEAR / ELECTRIC PANELS. SEE ELECTRICAL DRAWINGS.
- 10 PRE-ENGINEERED MODULAR PANEL WALK-IN BOX (COOLER AND FREEZER). SITE ASSEMBLED. SEE EQUIPMENT PLAN A2.0
- 11 KNOX BOX ON SIDE WALL @ 5'-0" A.F.F.
- 12 NON-COMBUSTIBLE METAL STUD CONSTRUCTION WITH TYPE 'X' GYP BOARD BEHIND HOOD. EXTEND MIN. 18" PAST HOOD ON EACH SIDE
- 13 ROOF LADDER. SEE DETAIL E/8.3
- 14 FULL HEIGHT WALL TO EXTEND TO BOTTOM OF THE ROOF DECK
- 15 HOSE BIB BOX AT 18" A.F.F. SEE DETAIL 7/A6.1
- 16 PIPE BOLLARD, SEE CIVIL DRAWINGS
- 17 4"x6" ALUMINUM DOWN SPOUTS
- 18 POS COUNTER / V-LINE HALF-WALL AND HAND-OFF PLANE BY GC
- 19 ROUTE 1 1/2" CONDUIT IN LOW WALL FROM CHEESE MELTER LOCATION TO CUSTOMER DRINK STATION FOR FILTERED WATER CONNECTION.
- 20 PATIO CANOPY STRUCTURE BY SIGNAGE VENDOR.
- 21 ADA-COMPLIANT RESTROOM. SEE A8.2

- PLAN KEYNOTES** N.T.S. **B**

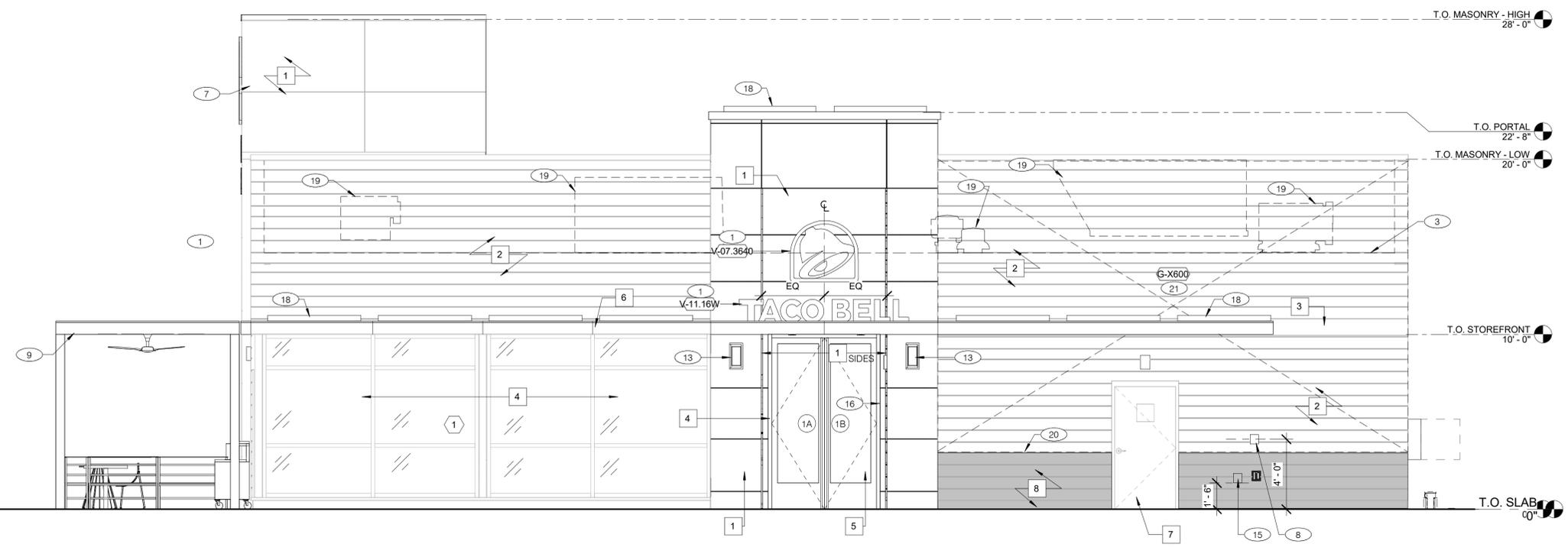
WALL LEGEND

FLOOR PLAN NOTES

C

PLAN KEYNOTES

B



WEST ELEVATION 1/4" = 1'-0" **A**

NO.	QTY	ITEM DESCRIPTION
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED -3'-6" x 4'-0"
V-07.5056	2	LARGE SWINGING BELL RGB COLOR CHANGING - 5'-0" x 5'-6"
V-09.18W	2	RECESSED TB 18" CHANNEL LETTER WHITE - STACKED
V-11.16W	1	LARGE TB 16" WHITE CHANNEL LETTERS - LINEAR

MISCELLANEOUS:
A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

CRITICAL DIMENSIONS:
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

- 1 BUILDING SIGN. BY SIGN VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF LINE BEYOND.
- 4 4" DIA. BOLLARD. SEE CIVIL DRAWINGS.
- 5 GAS METER
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 TOWER AND FINISH PANEL SYSTEM BY GC. GC TO COORDINATE BLOCKING WITH SIGNAGE VENDOR.
- 8 CO2 FILLER VALVE & COVER. SEE DETAIL 10/A6.1
- 9 PATIO CANOPY BY SIGNAGE VENDOR.
- 10 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF METER.
- 11 CONCRETE CURB.
- 12 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH 1
- 13 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS
- 14 FLASHING AT STOREFRONT PER G.C. TO MATCH STOREFRONT FINISH. SEE 8/A6.4
- 15 HOSE BIB BOX AT 18" A.F.F. SEE DETAIL 11/A6.1
- 16 KNOX BOX. FINAL LOCATION TO BE APPROVED BY LOCAL AUTHORITY HAVING JURISDICTION
- 17 FIREPLACE.
- 18 SOLAR PANELS BY SIGNAGE VENDOR.
- 19 DASHED LINE INDICATES MECHANICAL EQUIPMENT ON ROOF BEYOND.
- 20 WATER TABLE PAINT LINE SHALL OCCUR AT 3'-0" AFF OR CLOSEST FULL PANEL/PLANK TRANSITION.
- 21 MURAL PAINTED ON FIBER CEMENT PANELS ABOVE WATER TABLE. SEE ARTWORK SCHEDULE ON A2.0.
- 22 MURAL PAINTED ON DIBOND PANEL.

SIGNAGE N.T.S. **E** **GENERAL NOTES** N.T.S. **C**

SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE MATERIAL SPEC	ALTERNATE MATERIAL COLOR	CONTACT INFORMATION
1	TOWER & ENTRY PANELS	TRESPA	METEON	NW17 MILANO GRIGIO				BY SIGN VENDOR
2	EXTERIOR FIBER CEMENT PANELS	JAMES HARDIE	ARTISAN V RUSTIC	PAINTED SW7103 WHITETAIL	NICHIHA	ILLUMINATION	PAINTED SW7103 WHITETAIL	NICHIHA: MATT STEPHENSON 770-789-8228 MSTEPHENSON@NICHIHA.COM
3	EXTERIOR FIBER CEMENT TRIM BOARD - 1X12	JAMES HARDIE	ARTISAN	PAINTED SW7103 WHITETAIL	NICHIHA	NICHITRIM	PAINTED SW7103 WHITETAIL	HARDIE: LEVI STAUFFER 562-243-8974 LEVI.STAUFFER@JAMESHARDIE.COM
4	STOREFRONT WINDOWS	OLD CASTLE	SERIES 5100 - CENTER SET	DK BRONZE	-	-	-	
5	STOREFRONT DOORS	OLD CASTLE	SERIES MSD-375 / WSD-500	DK BRONZE	-	-	-	
6	METAL CANOPIES	EVERBRITE	BY SIGNAGE VENDOR	DARK BRONZE TO MATCH STOREFRONT	-	RAL	RAL	
7	EXTERIOR HOLLOW METAL SERVICE DOOR	-	-	SW7026 GRIFFIN	-	-	-	
8	EXTERIOR FIBER CEMENT	JAMES HARDIE	ARTISAN V RUSTIC	PAINTED SW7026 GRIFFIN	NICHIH	ILLUMINATION	PAINTED SW7026 GRIFFIN	

EXTERIOR FINISH SCHEDULE N.T.S. **D**

ELEVATION KEYNOTES N.T.S. **B**

NO.	DATE	DESCRIPTION
G	11/12/18	CLIENT REVISIONS
E	8/29/18	PLANNING REVISIONS
D	8/17/2018	CLIENT REVISIONS
C	8/17/2018	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/25/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18
BUILDING TYPE: T40CAL-SOL
PLAN VERSION: FEB 2018
BRAND DESIGNER: GPD GROUP
SITE NUMBER: 312032
STORE NUMBER: 2018088.03

TACO BELL
5070 W. ATLANTIC BLVD.
DELRAY BCH, FL 33484



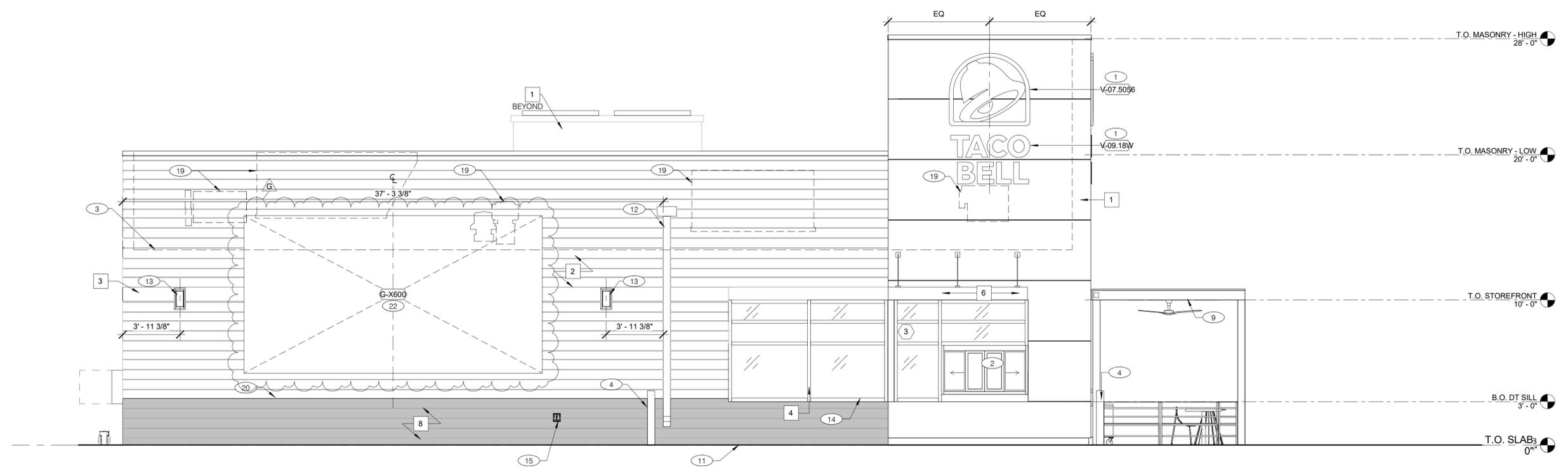
T40
OPEN KITCHEN
CALIFORNIA SOL

EXTERIOR ELEVATIONS

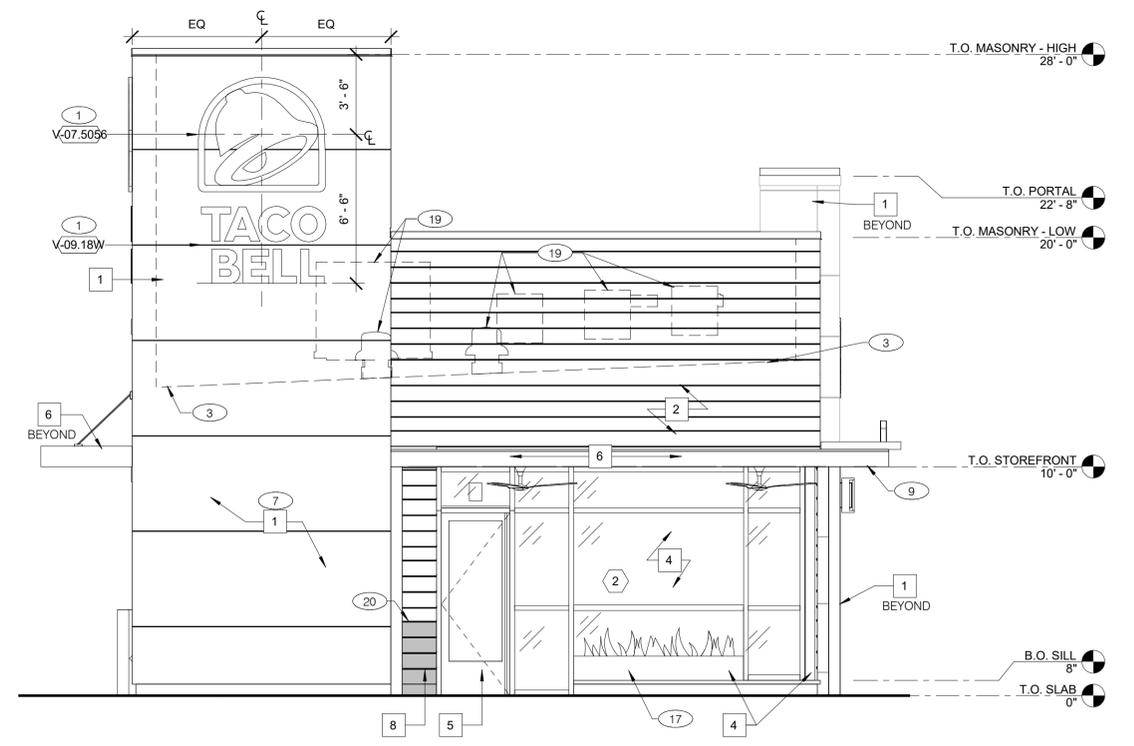
A4.0

Mark S. Salopek, LLC

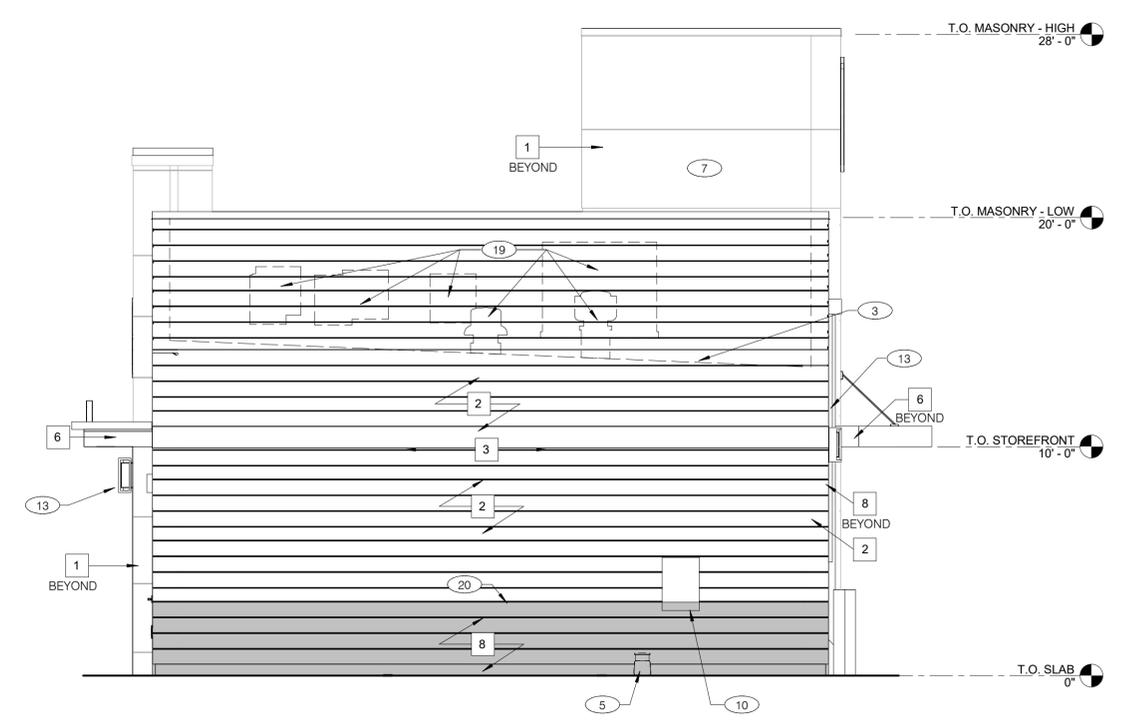
3638 West Galloway Drive
Richfield, OH 44286
330.572.2100 Fax: 330.572.2102



EAST ELEVATION 1/4" = 1'-0" **A**



NORTH ELEVATION 1/4" = 1'-0" **C**



SOUTH ELEVATION 1/4" = 1'-0" **B**

G	11/12/18	CLIENT REVISIONS
F	10/25/18	CLIENT REVISIONS
E	8/29/18	PLANNING REVISIONS
D	8/17/2018	CLIENT REVISIONS
C	8/17/2018	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/25/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18
BUILDING TYPE: T40M-O
PLAN VERSION: FEB 2018
BRAND DESIGNER: GPD GROUP
SITE NUMBER: 312032
STORE NUMBER: 2018088.03

TACO BELL

5070 W. ATLANTIC BLVD.
DELRAY BCH, FL 33484

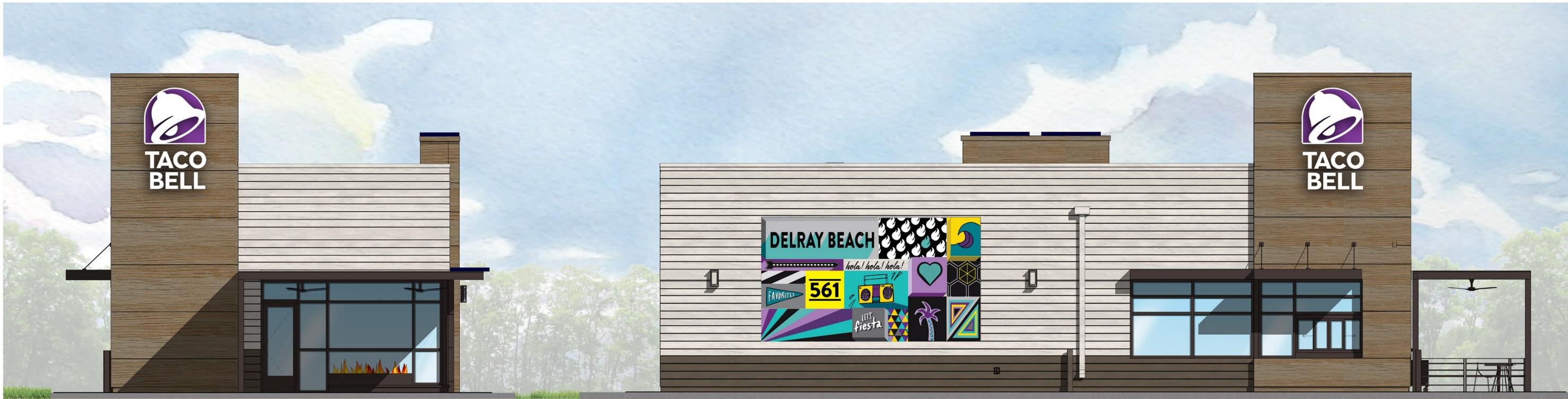


T40
OPEN KITCHEN
CALIFORNIA SOL

EXTERIOR ELEVATIONS

A4.1

PLOT DATE: 12/6/2018 10:12:55 AM



NORTH ELEVATION

EAST ELEVATION



SOUTH ELEVATION

WEST ELEVATION

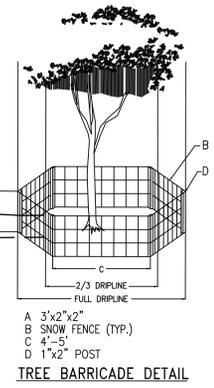
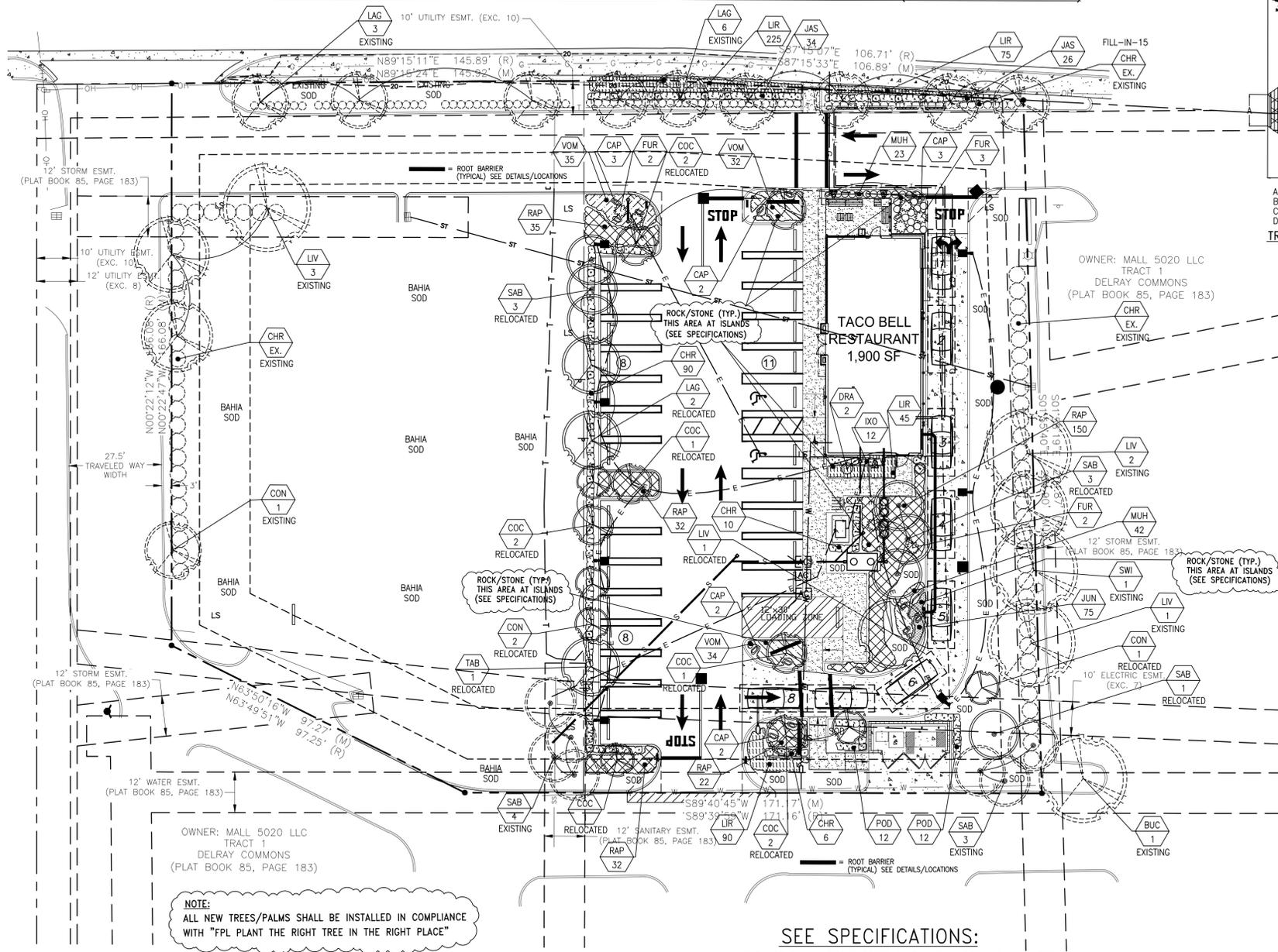


TACO BELL
Delray Beach, FL

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS, BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE DONE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005", CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION SYSTEM FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL/RELOCATION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS.
- TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPORTING.
- SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"+ GRADE LEVEL.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.
- XERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICTS XERISCAPE PLANT GUIDE II", UNDATED, AS REQUIRED.

LANDSCAPE DATA
LDR SECTION 2.4.3 (C)

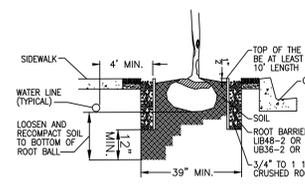
TABULATIONS

- TOTAL PAVED AREA 14,978.80 S.F.
 - REQUIRED INTERIOR GREEN SPACE = 14,978.80 S.F. (10% OF TOTAL PAVED AREA).
 - INTERIOR GREEN SPACE PROVIDED = 2,326.54
 - TOTAL NUMBER OF TREES REQUIRED = 12 TREES (1 INTERIOR TREE IS REQUIRED FOR EACH 125 S.F. OF REQUIRED INTERIOR GREEN SPACE).
 - TOTAL NUMBER OF TREES PROVIDED = 12 TREES
 - PERIMETER GREEN SPACE PROVIDED = 5,428.20 S.F. (DEPTH OF BUFFERS x LENGTH).
 - PERIMETER GREEN SPACE PROVIDED = 6,387.80 S.F.
 - NUMBER OF PERIMETER TREES REQUIRED = 18 TREES (1 INTERIOR TREE IS REQUIRED FOR EACH 30 L.F. OF PERIMETER)
 - NUMBER OF PERIMETER TREES PROVIDED = 18 TREES
- XERISCAPE CALCULATIONS**
- REQUIRED SHRUBS AND GROUND COVERS 2,092.80 S.F. (30% OF REQUIRED INTERIOR AND PERIMETER GREEN SPACE, SEE B & F)
 - SHRUBS AND GROUND COVER PROVIDED 3,337.80 S.F.
 - REQUIRED NATIVE PLANT MATERIALS 523.20 S.F. (25% OF REQUIRED SHRUBS & GROUND COVER, SEE J).
 - NATIVE PLANT MATERIALS PROVIDED: 1,588.00 S.F.
 - NUMBER OF NATIVE TREES REQUIRED: 15 TREES (50% OF REQUIRED TREES, SEE D & H).
 - NATIVE TREES PROVIDED: 21 TREES
 - REQUIRED MIN. NUMBER OF SPECIES: 3 PROVIDED 2

NOTES

- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & MAINTAIN A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) 300-2005", CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE; (SEE SOIL PLANTING SPECIFICATIONS).
- A TREE REMOVAL PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- WATER METERS SHALL NOT BE PLACED IN DRIVE AREAS OR IN SIDEWALKS.
- LANDSCAPE CONTRACTOR TO VERIFY CLEAR ACCESS AREAS AT FPL TRANSFORMERS AS REQUIRED.
- ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (TO 30" BELOW GRADE), INSPECTED AND THEN REPLACED WITH A SIXTY TO FORTY (60/40) MIX OF SAND TO TOPSOIL; SEE SOIL SPECIFICATIONS.

NOTE: "ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARDS DETAILS; LD 1.1 & LD 1.2"

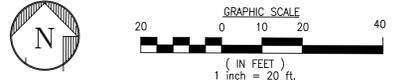


ROOT BARRIER DETAIL (TYPICAL)

INJECTION MOLDED, RECYCLED POLYPROPYLENE ROOT BARRIER WITH DOUBLE TOP EDGE

SEE SPECIFICATIONS:

THE USE OF A WEED BARRIER IN PLANTING BEDS IS MANDATORY. ALL PLANTING BEDS TO BE SURROUNDED BY EDGING.



NOTE: WATER SOURCE AND METHODS COMPLY WITH FLORIDA FRIENDLY LANDSCAPE NINE PRINCIPLES.
DROUGHT TOLERANCE= SEWM
* MODERATE
** VERY

LANDSCAPE LEGEND

TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	YES	LIV	4	QUERCUS VIRGINIANA / LIVE OAK	20'-30' HGTS.	EXISTING TO REMAIN- RELOCATE (1) AS SHOWN
**	YES	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	28'-30' HGT.	EXISTING TO REMAIN
**	YES	SAB	11	SABAL PALMETTO / CABBAGE PALM	20'-30' HGTS.	EXISTING TO REMAIN- RELOCATE (7) AS SHOWN
**	NO	LAG	8	LAGERSTROEMIA INDICA/ CRAPE MYRTLE	16'-18' HGTS.	EXISTING TO REMAIN- RELOCATE (2) AS SHOWN
**	YES	COC	9	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16'-18' HGTS.	EXISTING TO REMAIN- RELOCATE (9) AS SHOWN
**	NO	TAB	1	TABEBUIA PALLIDA / PINK TRUMPET	16'-18' HGTS.	EXISTING TO REMAIN- RELOCATE (1) AS SHOWN
**	YES	CON	3	CONOCARPUS SERICEUS / SILVER BUTTWOOD	12'-14' HGTS.	EXISTING TO REMAIN- RELOCATE (3) AS SHOWN
**	NO	BUK	1	BUCCIDIA BUCERAS / BLACK OLIVE	28'-30' HGT.	EXISTING TO REMAIN
**	YES	CHR	121	CHRYSOBALANUS ICAGO/RED TIP	36"x18" X GAL.	24" O.C. FULL TO BASE
**	NO	FUR	7	FURCRAEA FOETIDA / GIANT FALSE AGAVE	30" X 30"	AS SHOWN
**	YES	MUH	65	MUHLENBERGIA CAPILLARIS / MUHLY GRASS	18"x18" X GAL.	24" O.C.
**	NO	RAP	271	RAPHIOLEPIS INDICA / INDIAN HAWTHORN	14"-16" SPD. 3 GAL.	24" O.C.
**	YES	VOM	101	ILEX VOMITORIA / DWARF YAUPON	14"-16" SPD. 3 GAL.	24" O.C.
**	NO	DRA	2	DRACAENA MARGINATA / DWARF DRAGON	3'x2' FULL	25 GAL. MULTI-STEM -AS SHOWN
*	NO	IXO	12	IXORA NORA GRANT / PINK IXORA	24"x18" X GAL.	24" O.C. FULL TO BASE
*	NO	POD	24	PODOCARPUS MACROPHYLLUS/PODOCARPUS	5"-6" HGT. MIN.	FULL TO BASE
*	NO	JAS	80	JASMINUM MULTIFLORUM / DOWNEY JASMINE	24"x18" X GAL.	24" O.C. FULL
*	NO	CAP	15	UROL'S SHELL CAP BOULDERS	34"X26"X20"	AS SHOWN (INSTALL HALF WAY INTO GROUND, 10")
*	NO	JUN	75	JUNIPERUS CONFERTA / BLUE PACIFIC	6" FULL	12" O.C.
*	NO	LIR	435	LIROPE MUSCARI / BIG BLUE	6" FULL	12" O.C.

ALL EXISTING TREES AND RELOCATED TREES SHALL BE PRUNED BY A "CERTIFIED ARBORIST" AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY. TREES THAT EXHIBIT FLUSH CUTS WILL BE CONSIDERED AS ABUSED AND WILL NOT BE ACCEPTED.

SITE DATA TABLE

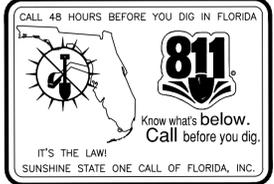
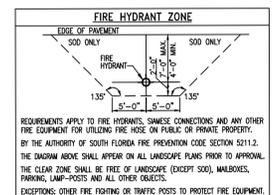
PARCEL ID No.	12-42-46-14-24-002-0000
CURRENT ZONING	PLANNED COMMERCIAL (PC) FOUR CORNERS OVERLAY DISTRICT
EXISTING USE	RETAIL BANK WITH DRIVE-THRU SERVICE
PROPOSED USE	RESTAURANT INCLUDING DRIVE-IN AND DRIVE-THRU (PERMITTED PER ZONING SECTION 4.4.9 (B)(4)(a))
TOTAL PARCEL AREA	27,280 SF / 0.625 AC (LEASE AREA ONLY)
EXISTING IMPERVIOUS AREA	23,139 SF / 0.53 AC (84.8%) (LEASE AREA ONLY)
EXISTING OPEN SPACE	4,140 SF / 0.095 AC (15.2%) (LEASE AREA ONLY)
PROPOSED IMPERVIOUS AREA	20,304 SF / 0.466 AC (74.4%) (LEASE AREA ONLY)
PROPOSED OPEN SPACE	6,976 SF / 0.160 AC (25.6%) (LEASE AREA ONLY)
MAXIMUM IMPERVIOUS AREA	21,780 SF / 0.50 AC (80%)

BUILDING DATA TABLE

	EXISTING		PROPOSED	
	REQUIRED BUILDING	REQUIRED LANDSCAPING	PROPOSED BUILDING	PROPOSED LANDSCAPING
BUILDING SIZE	2,844 SF		2,053 SF	
BUILDING COVERAGE	2,844 SF / 0.0653 AC (5.53%)		2,053 SF / 0.04 AC (11.35%)	
BUILDING HEIGHT	48 FEET		PROPOSED	
SETBACKS		24 FEET		
FRONT (W. ATLANTIC)	30 FEET	21 FEET		
SIDE (EAST)	25 FEET	10 FEET	40.94 FEET	3.98 FEET
SIDE (WEST)	25 FEET	10 FEET	28.52 FEET	16.93 FEET
REAR (SOUTH)	25 FEET	10 FEET	70.05 FEET	5.00 FEET
EXISTING CONDITION TO REMAIN			86.22 FEET	22.26 FEET
TO LEASE LINE				

LANDSCAPE CONTRACTOR SHALL CALL THE LANDSCAPE ARCHITECT FOR A FINAL COMPLIANCE INSPECTION 72 HOURS MINIMUM REQUEST BEFORE INSPECTION IS SCHEDULED, CALL (561)795-0443 AS REQUIRED. ALL CONTAINER GROWN TREES SHOWN AS SPECIFIED THAT EXHIBIT CIRCLING ROOTS WILL NOT BE ACCEPTED.

A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.



CKE GROUP
INCORPORATED
engineering • architecture • planning
15500 NEW BARN ROAD
SUITE 106
MIAMI LAKES, FLORIDA 33014
PHONE: (305) 558-4124
FAX: (305) 826-0619
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SEAL
EDUARDO I. CARCHACHE
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

RICHARD BARTLETT LANDSCAPE, INC.
14417 STRIPP LANE
WELLINGTON, FL 33414
TEL: (561) 795-0443
LANDSCAPE ARCHITECTURE LIC#2000352
MICHAEL E. RAWLS PLA#0001633
EMAIL: planmaker@bellsouth.net

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RBL#18-01-2096
DRAWN BY: RICK BARTLETT
01/15/2018
CHECKED BY: RGB/MER

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	
△	08-22-18	
△	12-05-18	
△		
△		
△		
△		
△		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

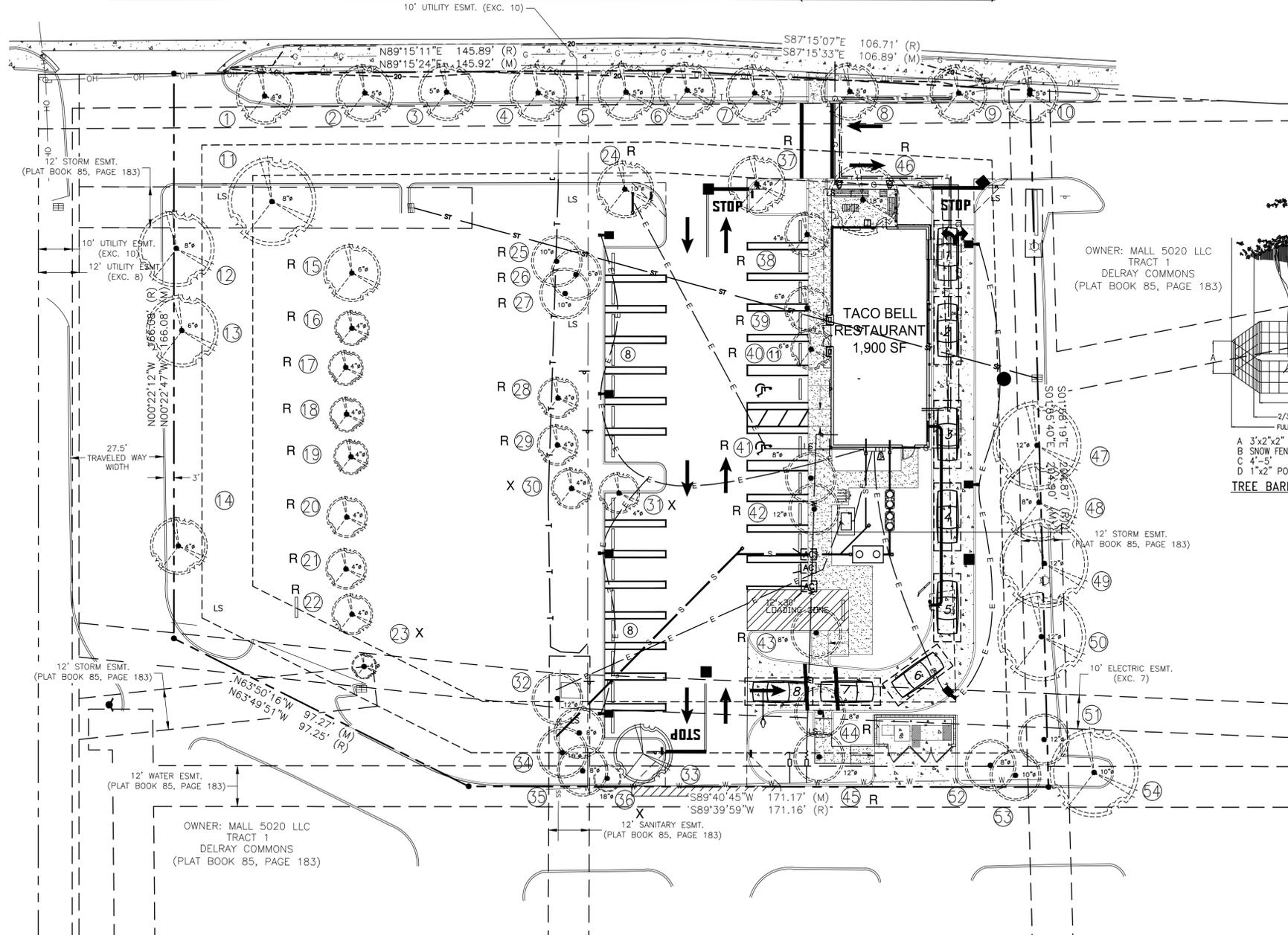
TACO BELL
5070 W. Atlantic Blvd.
Delray Bch., FL

T-40
OPEN KITCHEN
DELRAY BEACH SOL

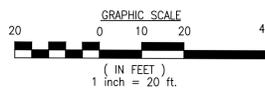
LANDSCAPE PLAN
L-1

PLOT DATE: 12-06-2018

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

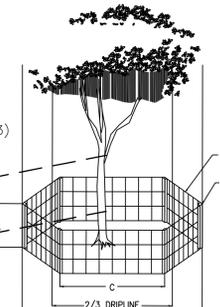


TREE DISPOSITION PLAN



TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TOP ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005," CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- TRANSPLANT TREE WITH 60" TREE SPADE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"+ GRADE LEVEL.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.



TREE BARRICADE DETAIL

EXISTING TREE DISPOSITION CHART										
No.	D.(")	H.(")	S.(")	CAL.(")	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION		
1	2	18	16	4	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
2	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
3	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
4	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
5	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
6	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
7	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
8	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
9	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
10	2	18	16	5	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
11	3	30	28	9	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
12	2	18	24	10	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
13	3	20	22	7	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
14	2	16	16	4	conocarpus sericeus	SILVER BUTTWOOD	FAIR	TO REMAIN		
15	2	16	16	6	tabebuia pallida	PINK TRUMPET	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
16	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
17	2	16	15	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
18	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
19	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
20	2	14	12	4	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
21	2	12	12	5	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
22	2	14	12	5	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
23	2	10	8	4	conocarpus sericeus	SILVER BUTTWOOD	POOR/DAMAGES	TO BE REMOVED		
24	2	18	16	10	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
25	2	22	15	10	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
26	2	18	15	8	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
27	2	20	15	10	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
28	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
29	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
30	2	12	12	4	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
31	2	16	15	12	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
32	2	16	15	12	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
33	2	18	15	8	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
34	2	16	15	10	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
35	2	18	15	8	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
36	2	6	8	18	sabal palmetto	CABBAGE PALM	SEEDLING	TO BE REMOVED		
37	2	16	15	4	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
38	2	14	12	4	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
39	2	16	12	6	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
40	2	14	12	6	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
41	2	24	20	8	cocos plumosa	QUEEN PALM	GOOD	TO BE REMOVED		
42	2	18	15	12	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
43	2	24	15	8	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
44	2	20	15	8	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
45	2	18	15	12	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
46	2	22	24	18	quercus virginiana	LIVE OAK	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
47	3	30	28	12	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
48	3	28	28	8	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
49	3	30	28	12	swietenia mahogany	MAHOGANY	GOOD	TO REMAIN		
50	3	30	28	12	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
51	2	20	15	12	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
52	2	18	15	8	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
53	2	20	15	10	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
54	3	30	30	10	bucidia buceras	BLACK OLIVE	GOOD	TO REMAIN		

R= TO BE RELOCATED

X= TO BE REMOVED

EXISTING LANDSCAPE MATERIAL(TO BE RELOCATED SEE PLAN L-1)				
No.(see chart)	TAB	QTY	DESCRIPTION	DISPOSITION
15	TAB	1	TABEBUIA PALLIDA / PINK TRUMPET	16' X 16' EXISTING TO REMAIN--(RELOCATE(1))
16,17,18,19,28,29,38,39,40	PIG	9	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16' X 16' EXISTING TO REMAIN--(RELOCATE(9))
24,37	LAG	2	LAGERSTROEMIA INDICA / CRAPE MYRTLE	16' X 16' EXISTING TO REMAIN--(RELOCATE(2))
25,26,27,42,43,44,45	SAB	7	SABAL PALMETTO /CABBAGE PALM	18'-22' HGTS. EXISTING TO REMAIN--(RELOCATE(7))
46	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22' X 24' EXISTING TO REMAIN--(RELOCATE(1))
20,21,22	CON	3	CONOCARPUS SERICEUS / SILVER BUTTWOOD	14' X 12' EXISTING TO REMAIN--(RELOCATE(3))



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

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14417 STRIBER LANE
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RBL#18-01-2096
DRAWN BY: RICK BARTLETT
01/15/2018
CHECKED BY: RGB/MER

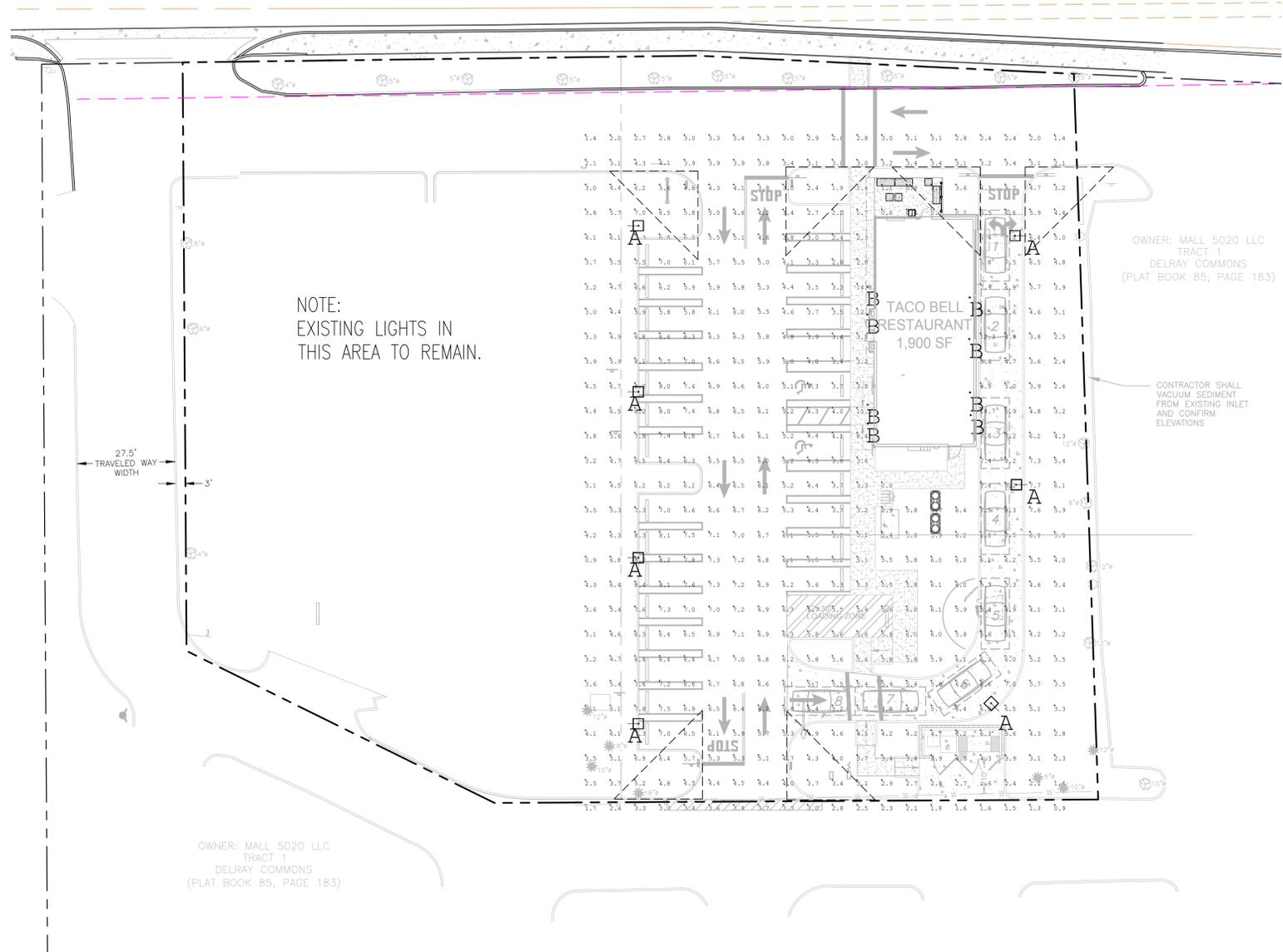
NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	
△	12-05-18	
△		
△		
△		
△		
△		
△		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

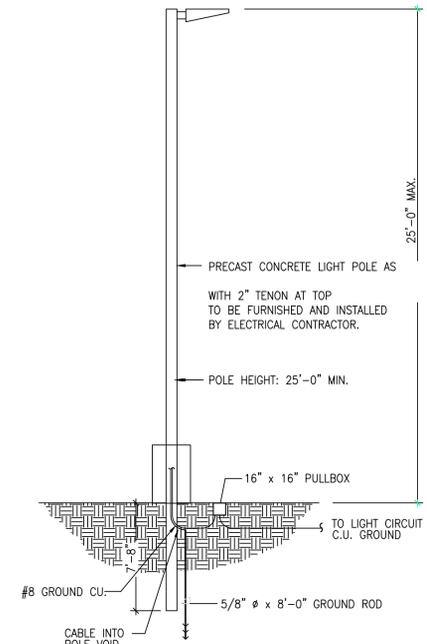
TACO BELL
5070 W. Atlantic Blvd.
Delray Bch., FL

TACO BELL
T-40
OPEN KITCHEN
DELRAY BEACH SOL
TREE
DISPOSITION
PLAN

L-2
PLOT DATE: 12-06-2018



PHOTOMETRIC NOTES
 1. REFER TO SHEET E1.1 FOR LIGHT POLE, LIGHT POLE BASE AND LIGHT FIXTURE DETAILS.



EXTERIOR POLE LIGHTS
 NOT TO SCALE

OWNER: MALL 5020 LLC
 TRACT 1
 DELRAY COMMONS
 (PLAT BOOK 85, PAGE 183)



PHOTOMETRICS COMPLETED BY CAPITOL LIGHT
 LOCATION DEL RAY, FL
 Please contact Dan Clancy if you would like a quote or to place an order
 860-520-2395
 daniel.clancy@capitollight.com



GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

Symbol	Qty	Label	Description
☐	7	A	XALM-FT-LED-HO-50 MOUNTED AT 25'
⊙	8	B	PROGRESS P5642 W/ 17W PAR38 LED LAMP MOUNTED AT 8.5'

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	6.52	14.7	4.3	1.52	3.42
EXTENDED	3.61	6.8	0.9	4.01	7.56
PARKING LOT SURFACE	6.01	8.4	2.2	2.73	3.82

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CKE GROUP
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 EDUARDO L. CARCACHÉ
 CIVIL ENGINEER-PE 31914
 ANA A. GONZALEZ VALDEZ
 ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-26-18	
△		
△		
△		
△		
△		
△		

CONTRACT DATE:
 BUILDING TYPE: CUSTOM
 PLAN VERSION: 1
 SITE NUMBER: 309797
 STORE NUMBER: 420630

TACO BELL
 5070 W. Atlantic Blvd.
 Delray Bch., FL

TACO BELL
 T-40
 OPEN KITCHEN
 DELRAY BEACH SOL
 PHOTOMETRIC
 PLAN

E1.0
 PLOT DATE: 08-23-2018