

SUNDY VILLAGE WEST, LLC

SUNDY VILLAGE - BLOCK 70

SITE MODIFICATION

SEPTEMBER 15th, 2023

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Gensler

Architect

1700 Broadway
Suite 400
New York NY 10019
United States
Phone: 212.492.1400
Fax: 212.492.1472

545 NW 26th STREET
Suite 250
Miami, FL 33127
United States
Phone: 305.350.7070

CLIENT:
SUNDY VILLAGE WEST, LLC
7900 GLADES RD.
SUITE 540
BOCA RATON, FLORIDA 33434
PH. 561.594.0525

PLANNING/LANDSCAPE:
COVELLI DESIGN ASSOCIATES
7050 W PALMETTO PARK RD.
SUITE 15-274
BOCA RATON, FLORIDA 33433
PH: 561.910.0330

CIVIL INFRASTRUCTURE:
CIVIL DESIGN, INC
1400 CENTREPARK BLVD.
SUITE 905
WEST PALM BEACH, FLORIDA 33401
PH: 561.659.5760
FAX: 561.659.5772

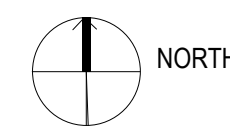
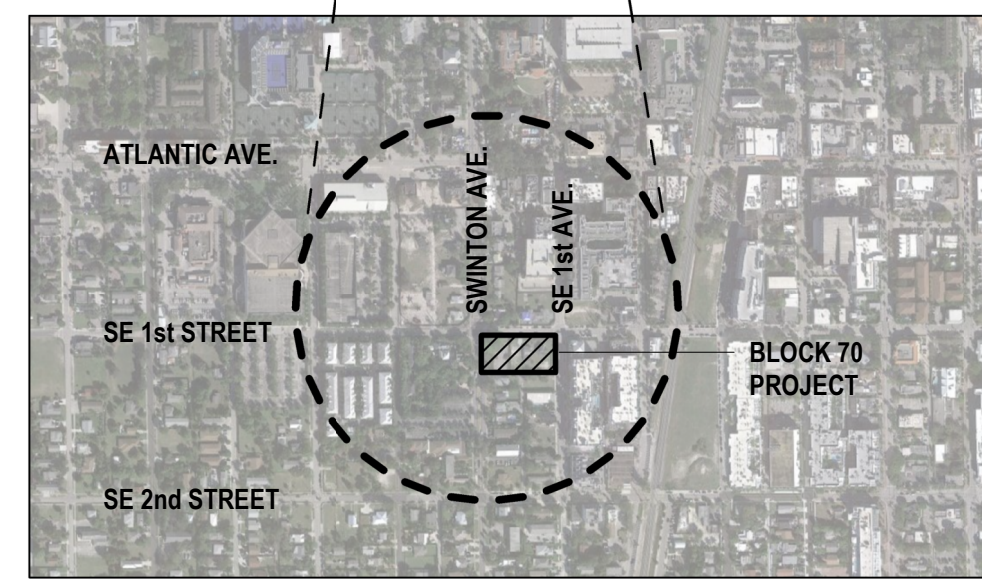
LANDSCAPE:
DESIGN STUDIO BOCA
2300 CORPORATE BLVD NW
SUITE 214
BOCA RATON, FLORIDA 33431
PH: 561.955.8623
FAX: 561.362.4749

STRUCTURAL:
BLISS & NYITRAY, INC. (BNI)
5835 BLUE LAGOON DR.
SUITE 400
MIAMI, FLORIDA 33126
PH: 305.442.7086

MEP:
BR+A CONSULTING ENGINEERS
2600 DOUGLAS ROAD
SUITE 1100
CORAL GABLES, FLORIDA 33134
PH: 305.529.1515

LIGHTING/PHOTOMETRICS:
**ILLUMINOSITY ARCHITECTURAL
LIGHTING AND DESIGN**
5798 SW 8TH STREET
MIAMI, FLORIDA 33144
PH: 305.269.4858

Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION



SHEET NUMBER	SHEET NAME	08/17/2022-SITE MODIFICATION	10/21/2022-SITE MODIFICATION RESUBMISSION	06/07/2023-SITE MODIFICATION RESUBMISSION	09/15/2023-SITE MODIFICATION RESUBMISSION
A3.30	SCALE OF BUILDING DIAGRAM				
A0.00	COVER SHEET	•	■	■	■
A0.01	DRAWING INDEX AND LOCATION MAP	•	■	■	■
A0.30	OVERALL SITE PLAN	•	■	■	■
A0.31	BLOCK 70 SITE PLAN	•	■	■	■
A0.40	PROJECT DATA AND NOTES	•	■	■	■
A0.41	OVERALL DOORS AND WINDOWS SCHEDULES	•	■	■	■
A1.00	BLOCK 70 - GARAGE LEVEL PLAN	•	■	■	■
A1.10	BLOCK 70 - LEVEL 1 PLAN	•	■	■	■
A1.20	BLOCK 70 - LEVEL 2 PLAN	•	■	■	■
A1.30	BLOCK 70 - LEVEL 3 PLAN	•	■	■	■
A1.40	BLOCK 70 - LEVEL 4 PLAN	•	■	■	■
A1.51	BLOCK 70 - HIGH ROOF PLAN	•	■	■	■
A1.60	BLOCK 70 - LIFE SAFETY GARAGE LEVEL	•	■	■	■
A1.61	BLOCK 70 - LIFE SAFETY FIRST FLOOR	•	■	■	■
A1.62	BLOCK 70 - LIFE SAFETY SECOND FLOOR	•	■	■	■
A1.63	BLOCK 70 - LIFE SAFETY THIRD FLOOR	•	■	■	■
A1.64	BLOCK 70 - LIFE SAFETY FOURTH FLOOR	•	■	■	■
A2.00	BLOCK 70 - SITE ELEVATIONS & PROPORTIONS	•	■	■	■
A2.01	BLOCK 70 - OVERALL BUILDING ELEVATION - NORTH	•	■	■	■
A2.02	BLOCK 70 - OVERALL BUILDING ELEVATION - EAST AND CORNER	•	■	■	■
A2.03	BLOCK 70 - OVERALL BUILDING ELEVATIONS - SOUTH	•	■	■	■
A2.04	BLOCK 70 - OVERALL BUILDING ELEVATIONS - WEST	•	■	■	■
A3.01	BLOCK 70 - BUILDING SECTIONS	•	■	■	■
A3.02	BLOCK 70 - BUILDING SECTIONS	•	■	■	■
A3.20	BLOCK 70 - CBD STOREFRONT & ARCADE FRONTAGE	•	■	■	■

Sheet Number	Sheet Name	08/17/2022-SITE MODIFICATION	10/21/2022-SITE MODIFICATION	06/07/2023-SITE MODIFICATION	09/15/2023-SITE MODIFICATION
SURVEY					
S1	SURVEY	•	■	■	■
CIVIL					
C0.0	COVER SHEET	•	■	■	■
C0.1-C0.2	GENERAL NOTES	•	■	■	■
C1.1	DEMOLITION & EROSION CONTROL PLAN	•	■	■	■
C2.1	SIGNING, STRIPING & GEOMETRIC PLAN	•	■	■	■
C3.1	PAVING & GRADING PLAN	•	■	■	■
C3.2	DRAINAGE PLAN	•	■	■	■
C4.1-C4.4	PAVING, GRADING & DRAINAGE DETAILS	•	■	■	■
C5.1	POTABLE WATER & SANITARY SEWER PLAN	•	■	■	■
C6.1-C6.3	POTABLE WATER & SANITARY SEWER DETAILS	•	■	■	■
COMP1	COMPOSITE OVERLAY PLAN	•	■	■	■
MOT1-MOT2	MAINTENANCE OF TRAFFIC	•	■	■	■
LANDSCAPE					
LH-0	LANDSCAPE SITE PLAN	•	■	■	■
LH-1	GROUND LEVEL HARDSCAPE PLAN	•	■	■	■
LP-1	GROUND LEVEL PLANTING PLAN	•	■	■	■
LP-2	LEVEL 3 PLANTING PLAN	•	■	■	■
LP-3	LEVEL 4 PLANTING PLAN	•	■	■	■
LP-4	PLANT LIST AND DETAILS	•	■	■	■
LP-5	PLANTING SPECIFICATIONS	•	■	■	■
TD-1	TREE DISPOSITION PLAN - EXISTING ON-SITE	•	■	■	■
TD-2	TREE DISPOSITION PLAN - MITIGATION CHART	•	■	■	■
PHOTOMETRICS					
LO	SITE PLAN	•	■	■	■
L1D	GARAGE DAYTIME LIGHTING	•	■	■	■
L1N	GARAGE NIGHTTIME LIGHTING	•	■	■	■
L2D	GARAGE RAMP DAYTIME LIGHTING	•	■	■	■
L2N	GARAGE RAMP NIGHTTIME LIGHTING	•	■	■	■
L-ROW	STREET LIGHTING	•	■	■	■
L-ROW SPECS	STREET LIGHTING SPECS	•	■	■	■
L SPECS 1	SPECS 1	•	■	■	■
L SPECS 2	SPECS 2	•	■	■	■

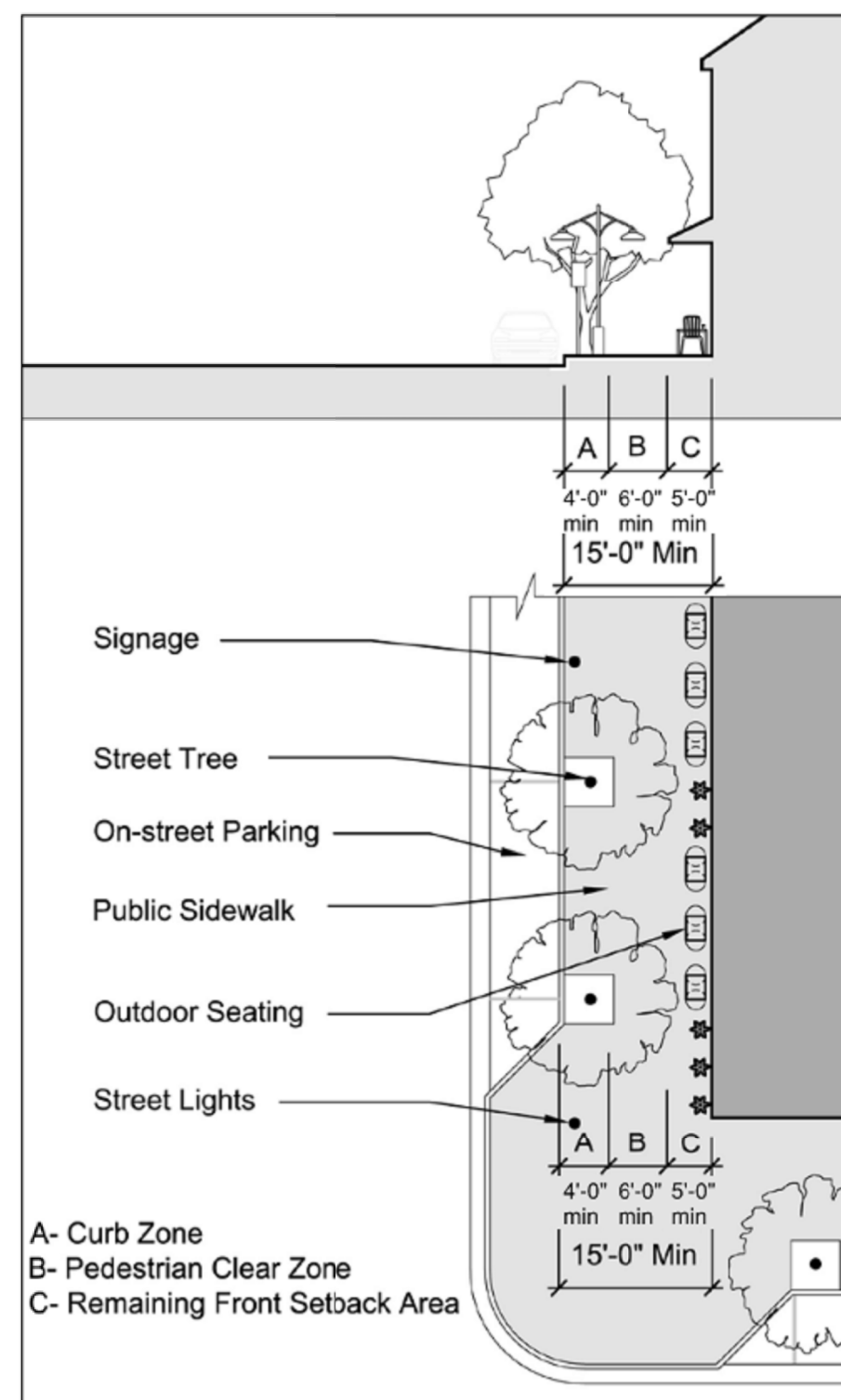
GRAPHIC SYMBOLS

CODE REQUIREMENTS FOR STREETScape

ARCADE FRONTAGE REQUIREMENTS

STOREFRONT FRONTAGE REQUIREMENTS

- CONSTRUCTION**
- 1 COLUMN GRID REFERENCE NUMBER
 - COLUMN GRID LINES
 - HIDDEN/BEYOND
 - OVERHEAD/ABOVE
 - DRAWING NUMBER
 - SHEET NUMBER
 - DESCRIPTION OF SIMILAR OR OPPOSITE AREA TO BE DETAILED
 - DRAWING NUMBER
 - DIRECTION OF ELEVATION
 - SHEET NUMBER
 - NAME ROOM NAME
 - ROOM NUMBER
 - 01 SHEET NOTE
 - XXX DOOR NUMBER (SEE DOOR SCHEDULE)
 - XX DOOR NUMBER
 - XX DOOR TYPE
 - XXX DOOR NUMBER
 - XX DOOR TYPE | HARDWARE TYPE
 - XX WINDOW TYPE (SEE WINDOW SCHEDULE)
 - ELEVATION DATUM REFERENCE
 - ALIGN WITH ESTABLISHED / ADJACENT SURFACES
 - XX PARKING COUNT



* Dimensions listed above are code minimum standards. See section details for actual dimensions of curb zone, pedestrian clear zone and remaining front setback area

Table 4.4.13(I) Dimensional Requirements for Arcade

	Minimum	Maximum
A Building Setback	Varies	15 ft.
B Arcade Depth	10 ft.	20 ft.
C Arcade Height	10 ft.	20 ft.
D Column/Pillar to Face of Curb	2 ft.	5 ft.
E Column/Pillar Width and Depth	1 ft.	-
Maximum Allowable Encroachment of Elements in All Districts		
F Arcade	varies by street	

(Ord. No. 19-18, § 6, 10-16-18)

Figure 4.4.13-E-13 Arcade Frontage Type

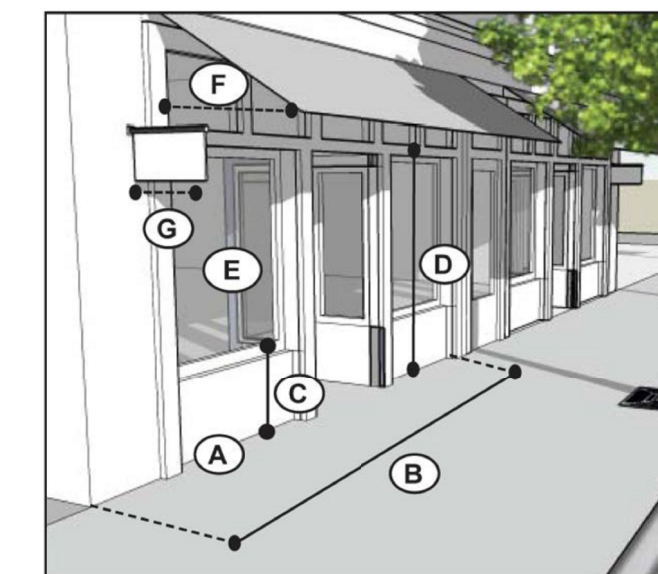


(Ord. No. 26-21, § 6, 8-10-21)

* Dimensions listed above are code standards. See plan and section drawings for actual dimensions

Table 4.4.13(J) Dimensional Requirements for Storefronts

	Minimum	Maximum
A Building Setback	10 ft.	15 ft.
B Store Width	N/A	75 ft. on Required Retail Streets
C Storefront Base	9 in.	3 ft.
D Glazing Height plus Storefront Base	8 ft.	-
E Required Openings	80%	-
Maximum Allowable Encroachment of Elements in All Districts		
F Awning Projection	5 feet	-
G Projecting Sign	N/A	3 feet



* Dimensions listed above are code standards. See A3.20 drawing for actual dimensions

LOBBY FRONTAGE REQUIREMENTS

Table 4.4.13(K) Dimensional Requirements for Lobby Entry

	Minimum	Maximum
A Building Setback	10 ft.	15 ft.
B Lobby Entry Width	N/A	N/A
Maximum Allowable Encroachment of Elements in All Districts		
C Overhang/Awning Projection	N/A	10 ft.
D Columns, Pilaster, Posts	N/A	5 ft.

* Dimensions listed above are code standards. See plan drawings for actual dimensions

Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO. AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

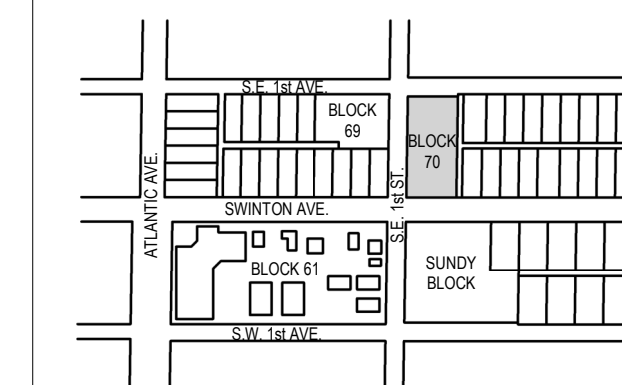
06.3292.200

Description
DRAWING INDEX AND LOCATION MAP

Scale
As indicated

A0.01

KEY PLAN



01 OVERALL SITE PLAN
SCALE: 1" = 40'-0"

S.E. 1st AVENUE

*ONLY BLOCK 70 INCLUDED IN THIS SITE MODIFICATION SET

S.W 1ST STREET

C.B.D. OVERLAY
O.S.S.H.A.D.

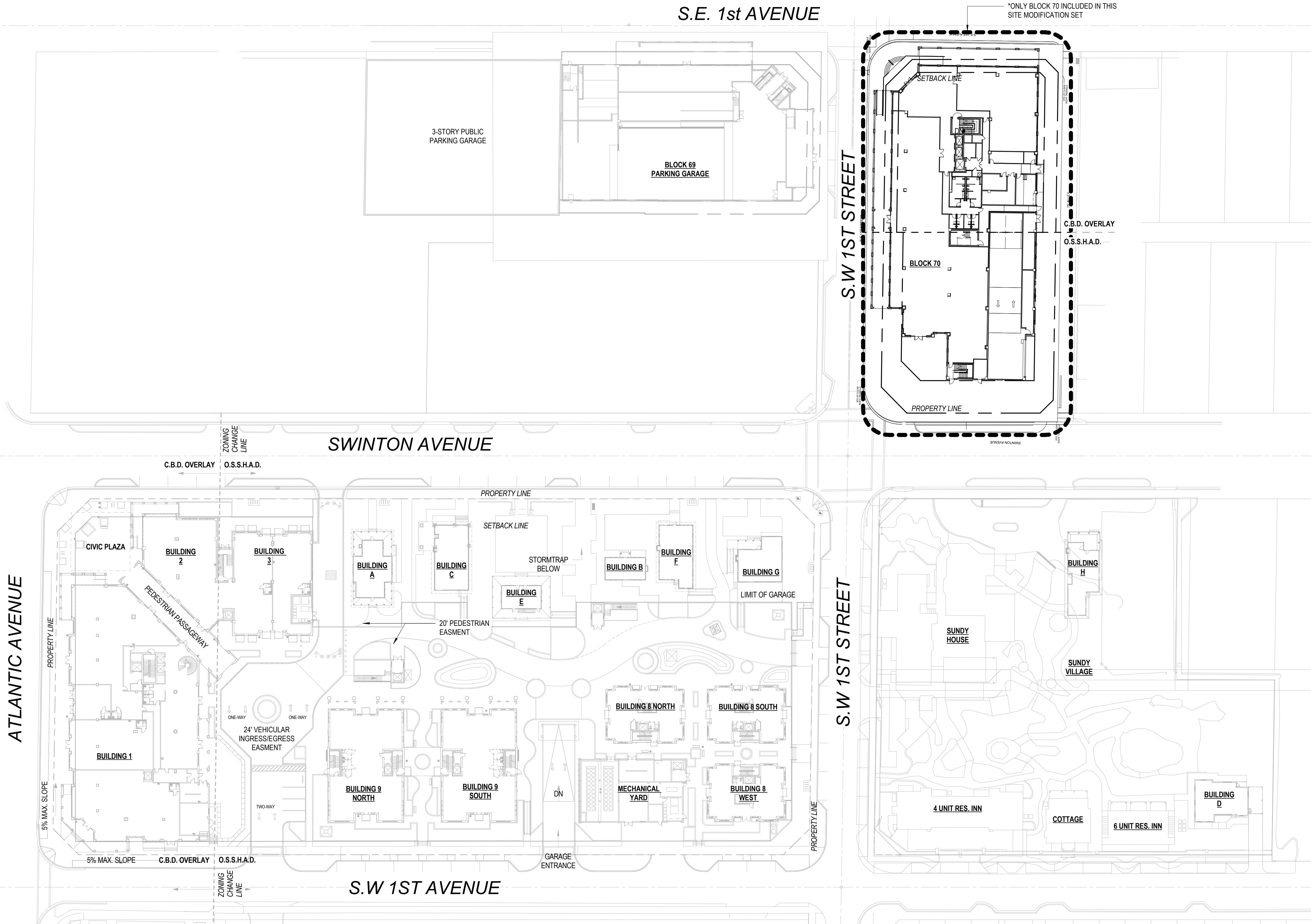
SWINTON AVENUE

C.B.D. OVERLAY
O.S.S.H.A.D.

S.W 1ST STREET

S.W 1ST AVENUE

ATLANTIC AVENUE



GENERAL NOTES

- PER LDR SECTION 4.4.3(F)(10), THE PROJECT WILL COMPLY WITH GREEN BUILDING PRACTICE SUCH AS CROSS-VENTILATION, ENERGY EFFICIENCY AND GREEN BUILDING DESIGN. ALL PROJECT DEVELOPMENT WHICH PROPOSES TO BUILD 50,000 SQUARE FEET OR MORE, IN ONE OR MORE BUILDINGS, SHALL BE AT A MINIMUM CERTIFIED AS SILVER BY THE UNITED STATES GREEN BUILDING COUNCIL (USGBC) LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) STANDARDS OR EQUIVALENT STANDARDS ADOPTED OR APPROVED BY THE CITY
- ALL EMERGENCY GENERATORS PROPOSED ON SITE WILL UTILIZE NATURAL GAS AS A FUEL SOURCE
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATED SPRINKLER SYSTEM THAT WILL PROVIDE COMPLETE COVERAGE OF ALL PLANTS MATERIALS AND GRASS TO BE MAINTAINED. ALL SYSTEMS SHALL BE DESIGNED TO ALLOW HEAD-TO-HEAD COVERAGE (100 PERCENT WITH 100 PERCENT OVERLAP)
- ANTI-SKATE BOARD DEVICES WILL BE INSTALLED ON ALL PLANTERS AND KNEEWALLS, TYP. FOR ALL SUBJECT PARCELS
- A VIDEO SURVEILLANCE AND CCTV SYSTEM WITHIN THE UNDERGROUND GARAGE WILL BE PROVIDED
- EMERGENCY CALL BOXES WILL BE PLACED IN THE PARKING GARAGE. CALL BOXES WILL BE STRATEGICALLY POSITIONED AND CLEARLY MARKED, WITH A BLUE LIGHT ON TOP
- AN OFF-DUTY OFFICER WILL BE HIRED DURING NON-COMMERCIAL USE HOURS FOR SAFETY AND PROTECTION
- THE GARAGES WILL HAVE GATES TO RESTRICT ACCESS AND DETER UNAUTHORIZED PERSONS AND PREVENT POTENTIAL CRIMES FROM OCCURRING
- ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.02

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100 SE 1st AVENUE
DELRAY BEACH, FL 33444

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Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

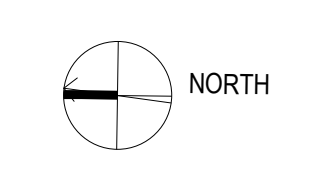
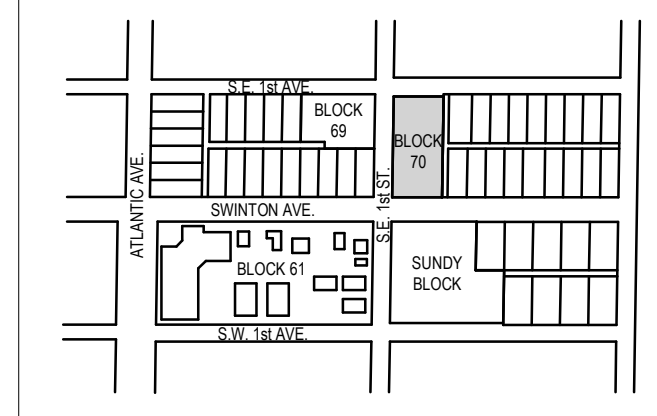
OVERALL SITE PLAN

Scale

As indicated

A0.30

KEY PLAN



SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
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Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

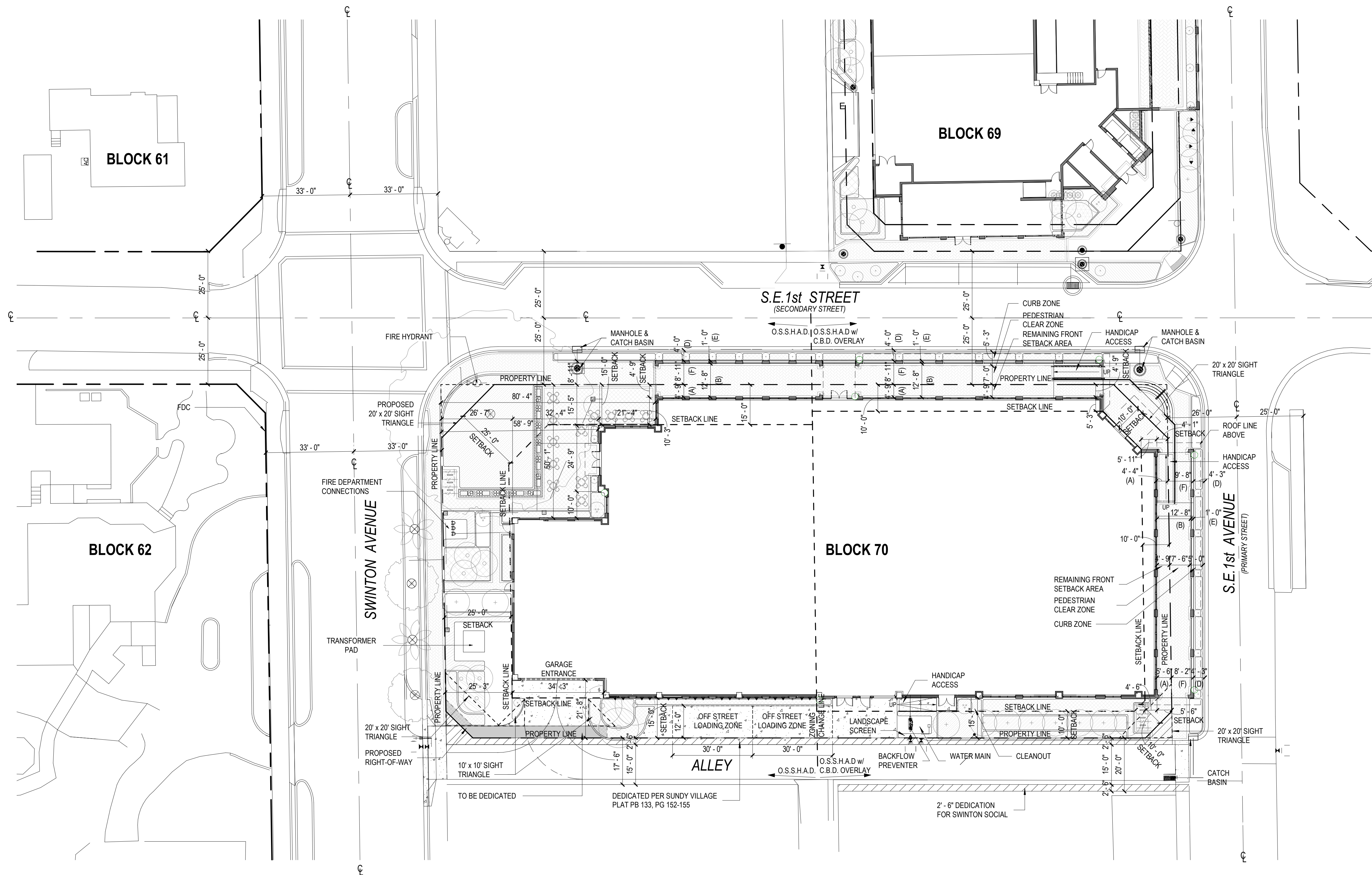
BLOCK 70 SITE PLAN

Scale

As indicated

A0.31

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01 BLOCK 70 - SITE PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES

1. PARCEL 3, "SUNDY VILLAGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 133 AT PAGES 152 THROUGH 155 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LANDS SITUATED IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAIN 0.817 ACRES, MORE OR LESS.
2. EMERGENCY GENERATOR WILL USE NATURAL GAS AS A FUEL SOURCE.
3. PROJECT WILL COMPLY WITH LEED SILVER AS REQUIRED BY LDR GREEN BUILDING PRACTICES.
4. OUTDOOR ROOFTOP ACTIVITIES (NOT WITHIN ENCLOSED AREAS) ARE LIMITED ON SUNDAY THROUGH THURSDAY TO THE TIME BETWEEN 7 A.M. AND 10 P.M., AND ON FRIDAY AND SATURDAY TO THE TIME BETWEEN 7 A.M. AND 11 P.M.
5. FINAL PLACEMENT OF TYPE 1 BIKE RACKS TO BE COORDINATED WITH EXISTING TREES TO REMAIN AND SITE DEVELOPMENT CALCULATIONS
6. DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01

POLICE DEPARTMENT NOTES

1. A VIDEO SURVEILLANCE AND CCTV SYSTEM WITHIN GARAGE WILL BE PROVIDED.
2. EMERGENCY CALL BOXES WILL BE PLACED IN PARKING GARAGE.
3. THE GARAGE WILL HAVE A GATE TO PREVENT ACCESS AFTER HOURS

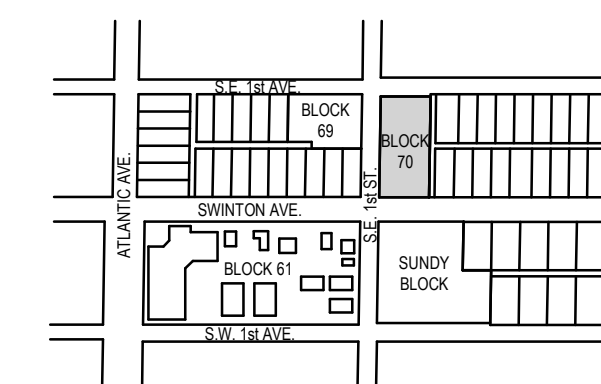
FIRE DEPARTMENT NOTES

1. THE PROJECT WILL COMPLY WITH 2020 FLORIDA FIRE PREVENTION CODE
2. FIRE PUMP WILL BE LOCATED ON GROUND LEVEL
3. FIRE ALARM CONTROL PANELS WILL BE LOCATED IN THE MAIN LOBBY
4. THE UNDERGROUND PARKING GARAGE WILL BE FULLY SPRINKLERED.
5. SEE LIFE SAFETY PLANS FOR ADDITIONAL NOTES.

LEGEND

- | | |
|---|---------------------|
| 12"x12" SHELLLOCK PAVERS, REF. LANDSCAPE PLANS | LIGHT POLE |
| 4"x8" HERRINGBONE PAVERS, REF. LANDSCAPE PLANS | STORM MANHOLE |
| 4"x8" SINGLE STACKED SHELLLOCK PAVERS, REF. LANDSCAPE PLANS | PLANTER DRAIN |
| LANDSCAPED AREA REF. LANDSCAPE PLANS | PAVING DRAIN |
| | EXISTING UTILITY |
| | EXISTING LIGHT POLE |
| | STANDPIPE |

KEY PLAN



SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genzler

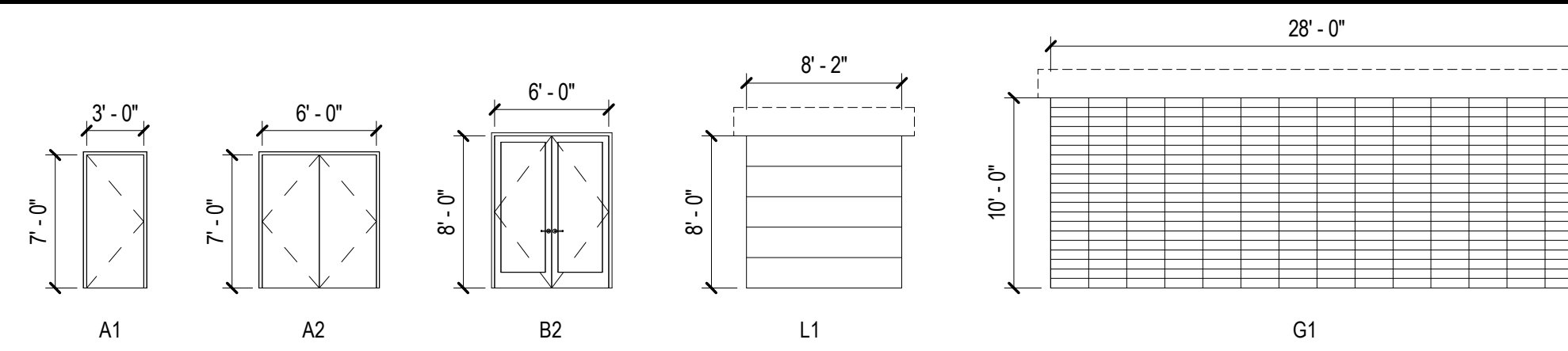
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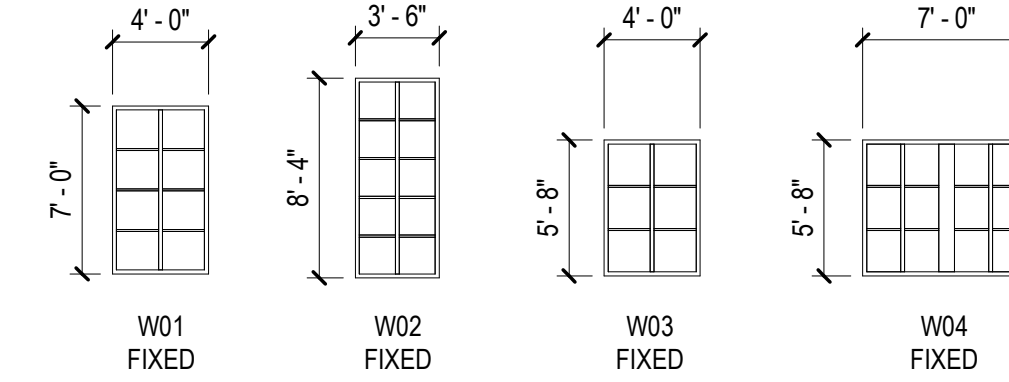
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BLOCK 70 - DOOR SCHEDULE

TAG	DOOR TYPE	WIDTH	HEIGHT	GLASS TYPE	FRAME MATERIAL	FRAME COLOR	NOA NUMBER
1A1	B2	6'-0"	9'-0"	GL01	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
1C4	A2	6'-0"	8'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
1D1	B2	6'-0"	8'-8"	GL01	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
1D4B	L1	8'-0 1/4"	8'-0"	N/A	STEEL	COLOR: SW7102 - WHITE FLOUR	NOA: 10-0420.03
1D4C	A1	3'-8"	8'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
1E4	A2	6'-0"	8'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
1H1	B2	6'-0"	8'-8"	GL01	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
1J2	A1	3'-8"	7'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
1J2A	A1	3'-0"	8'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
1J3	A1	3'-0"	7'-0"	N/A	HOLLOW METAL	COLOR: SW7102 - WHITE FLOUR	NOA: 20-1118.07
3A3	B2	6'-0"	7'-0"	GL02	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
RB3	B2	6'-0"	7'-0"	GL02	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
RB7	B2	6'-0"	7'-0"	GL02	ALUMINUM	COLOR: SW7055 - ENDURING BRONZE	NOA: 20-1118.07
RB21	A1	3'-8"	8'-0"		HOLLOW METAL		



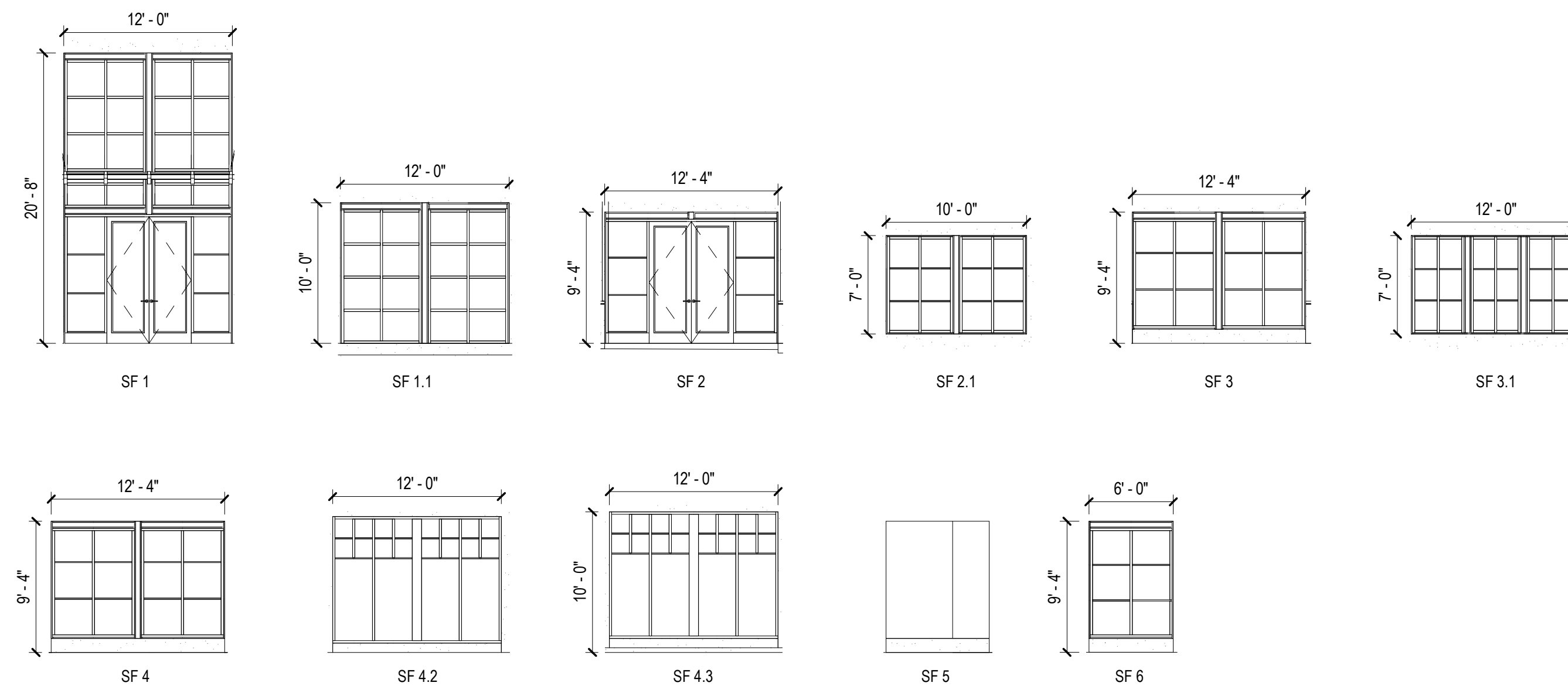
DOOR TYPES



WINDOW TYPES

BLOCK 70 - WINDOW SCHEDULE

TAG	WINDOW TYPE	WIDTH	HEIGHT	GLASS TYPE	FRAME MATERIAL	FRAME COLOR	NOA NUMBER
W01	FIXED	4'-0"	7'-0"	GL02	ALUM.	SW7055 - ENDURING BRONZE	NOA: 22-0105.01
W02	FIXED	3'-6"	8'-4"	GL02	ALUM.	SW7055 - ENDURING BRONZE	NOA: 22-0105.01
W03	FIXED	4'-0"	5'-8"	GL02	ALUM.	SW7055 - ENDURING BRONZE	NOA: 22-0105.01
W04	FIXED	7'-0"	5'-8"	GL02	ALUM.	SW7055 - ENDURING BRONZE	NOA: 22-0105.01



STOREFRONT TYPES

BLOCK 70 - STOREFRONT SCHEDULE

TAG	WINDOW TYPE	WIDTH	HEIGHT	GLASS TYPE	FRAME MATERIAL	FRAME COLOR	NOA NUMBER
SF1	FIXED	12'-0"	20'-8"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA:20-0519.06
SF1.1	FIXED	12'-0"	10'-0"	GL02	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF2	FIXED	12'-4"	9'-4"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF2.1	FIXED	10'-0"	7'-0"	GL02	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF3	FIXED	12'-0"	9'-4"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF3.1	FIXED	12'-0"	7'-0"	GL02	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF4	FIXED	12'-4"	8'-4"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF4.2	FIXED	12'-0"	9'-0"	GL02	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF4.3	FIXED	12'-0"	9'-0"	GL02	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF5	FIXED	7'-4"	8'-4"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06
SF6	FIXED	6'-0"	8'-4"	GL01	ALUMINUM	SW7055 - ENDURING BRONZE	NOA: 20-0519.06

NOTES:

- ALL FIRST FLOOR GLAZING TO BE TYPE GL-01: CLEAR LAMINATED GLASS, 88% VISIBLE LIGHT TRANSMITTANCE, SHGC 0.76
- ALL SECOND FLOOR AND ABOVE GLAZING TO BE TYPE GL-02: CLEAR LAMINATED GLASS WITH LOW-E COATING. GLASS COATING TO BE CLEAR, COLOR-NEUTRAL WITH LOW REFLECTIVITY, 75% VISIBLE LIGHT TRANSMITTANCE AND SHGC 0.45
- ALL MUNTINS TO HAVE A 3 DIMENSIONAL PROFILE

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

OVERALL DOORS AND WINDOWS SCHEDULES

Scale

1/8" = 1'-0"

A0.41

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SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

Lic. No. AA0002837
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1700 Broadway
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Satellite Office:
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Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

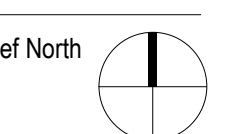
06.3292.200

Description

BLOCK 70 - GARAGE LEVEL PLAN

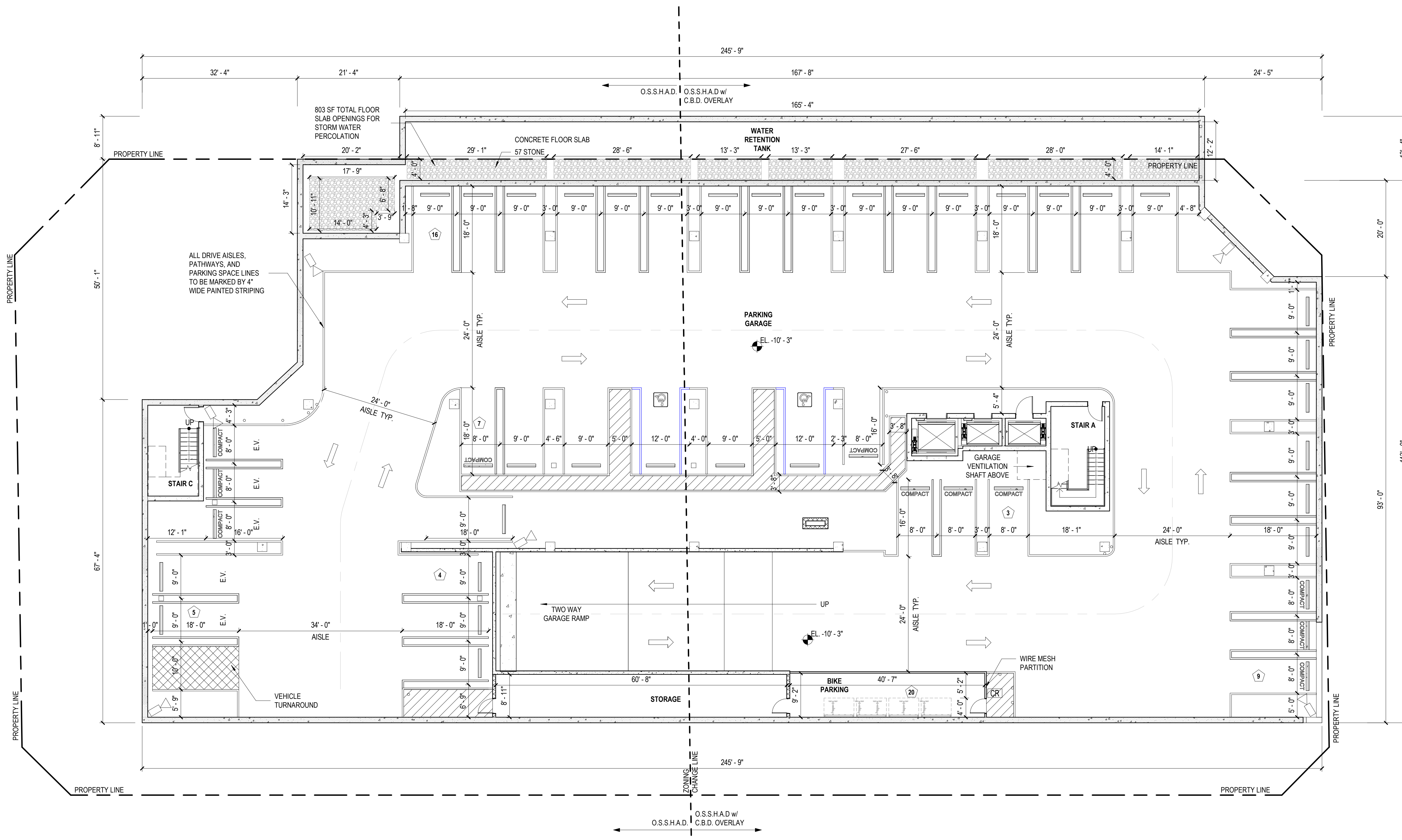
Scale

As indicated



A1.00

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01 BLOCK 70 - PARKING PLAN

SCALE: 3/32" = 1'-0"

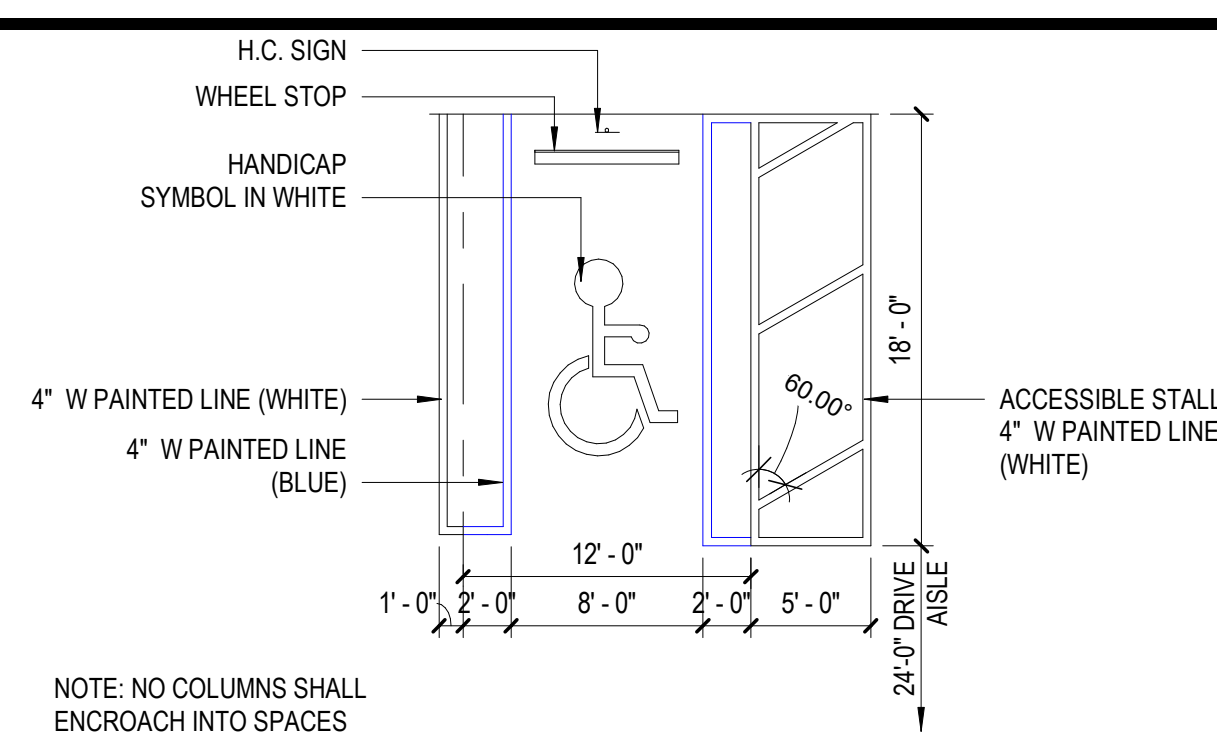
GENERAL NOTES

- ALL PARKING REQUIREMENTS NOTED IN SHARED PARKING MATRIX CHART ON SHEET A0.40
- TYPE II BIKE STORAGE ROOM PROVIDED IN GARAGE. SHOWERS ARE ACCESSIBLE VIA ELEVATOR OR STAIR ON FOURTH FLOOR.

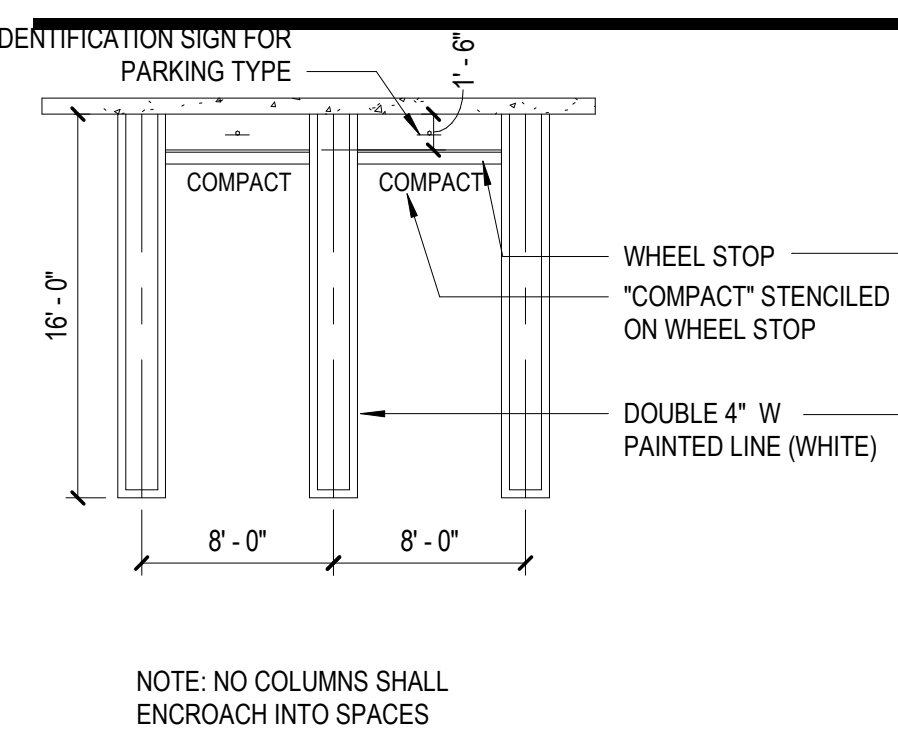
PARKING SCHEDULE

PARKING TYPE	COUNT
ACCESSIBLE	2
COMPACT	11
STANDARD	31
TOTAL:	44

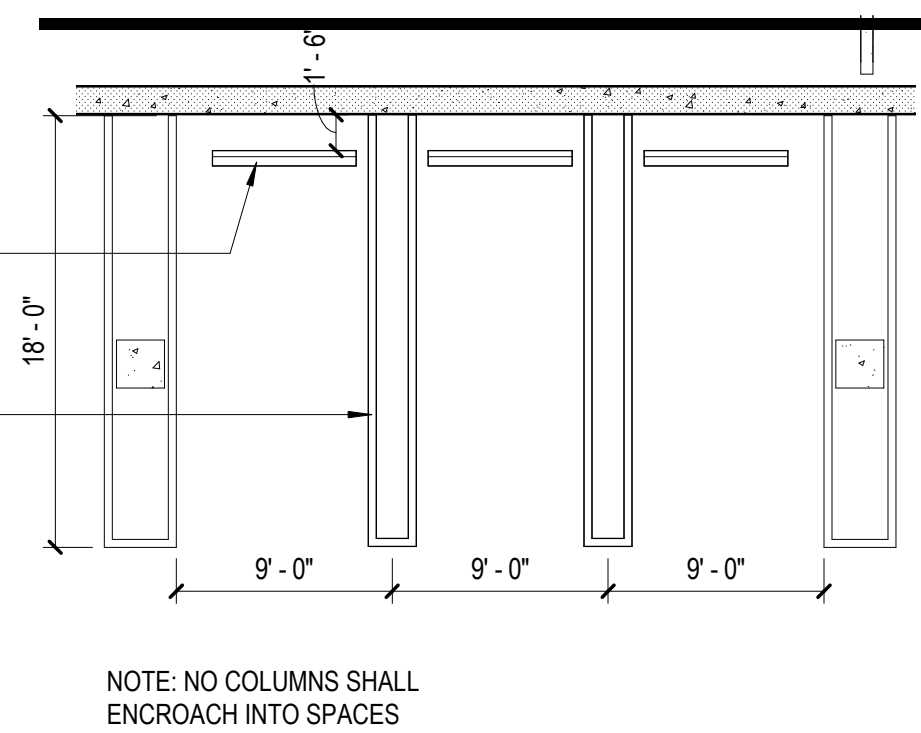
TYPICAL ADA ACCESSIBLE STALL



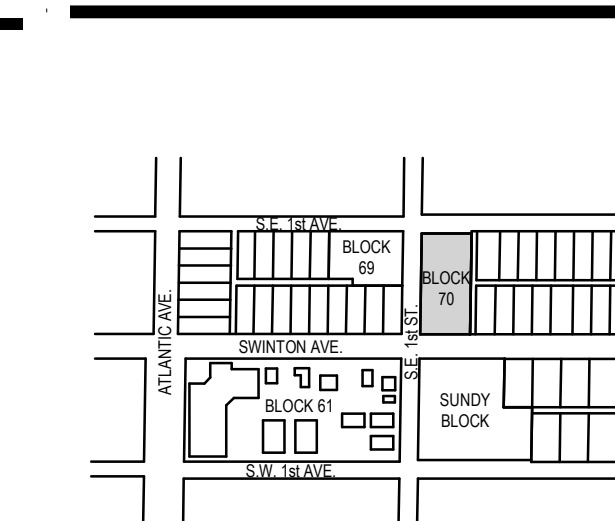
TYPICAL COMPACT STALL



TYPICAL STANDARD PARKING STALL



KEY PLAN



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Seal / Signature

Bryan Alzati, LEED AP, NCB, REG. FL. NO. AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description
BLOCK 70 - LEVEL 1 PLAN

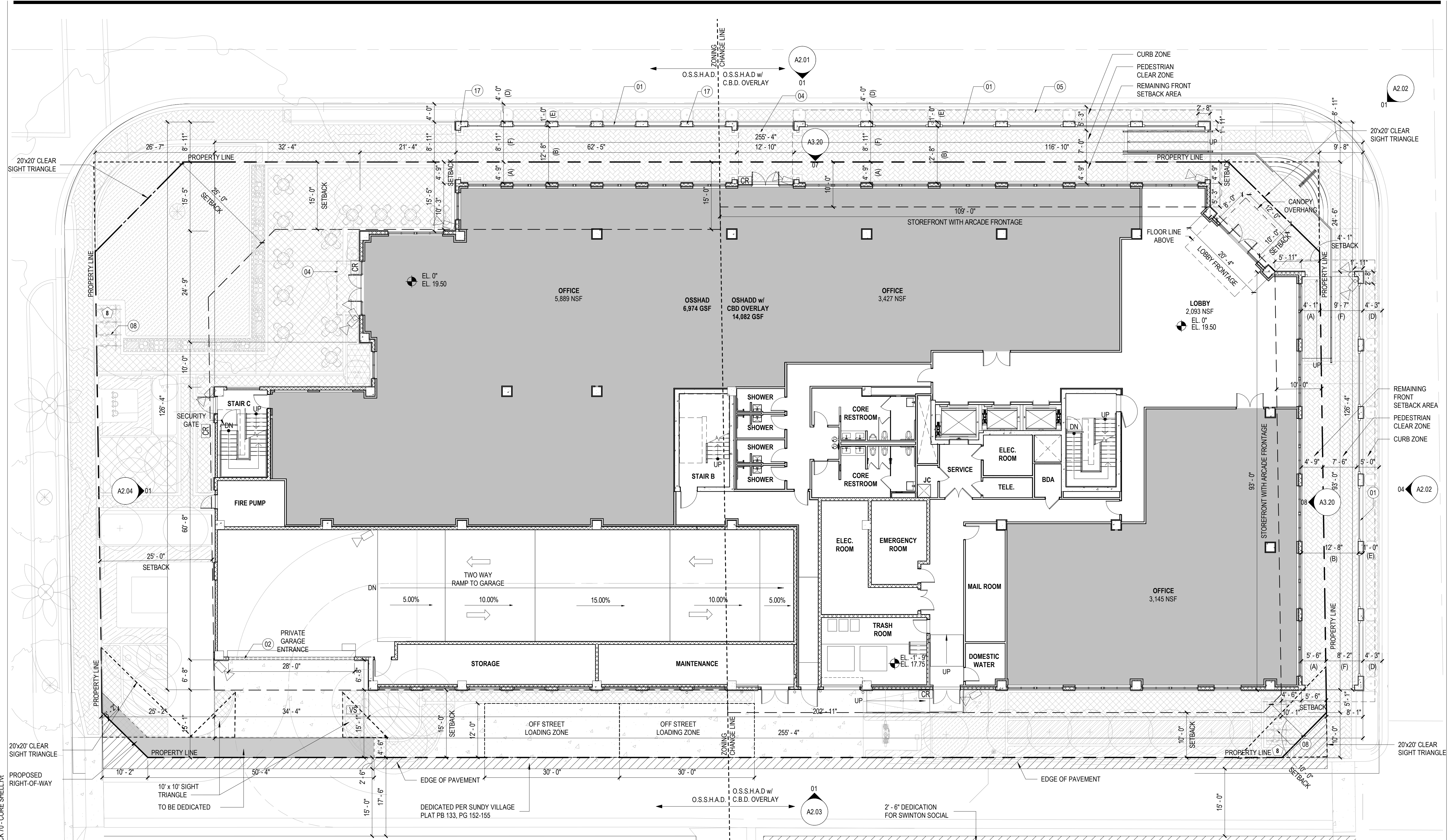
Scale

As indicated

Ref North

A1.10

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01 BLOCK 70 - LEVEL 1 PLAN

SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
| 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL | 09 CONCRETE PAVERS ON PEDESTAL SYSTEM |
| 02 SECURITY GATE, CLOSED AFTER HOURS | 10 6"x6" GUTTER |
| 03 LINE OF CANOPY / AWNING ABOVE | 11 SOLAR PANELS |
| 04 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS | 12 TRELLIS |
| 05 EXTERIOR STAIR TO GROUND FLOOR BELOW | 13 MECHANICAL SCREEN |
| 06 PLANTING BED, SEE LANDSCAPE DRAWINGS | 14 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN |
| 07 BIKE PARKING | 15 ENCLOSED OPENING |
| | 16 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT |

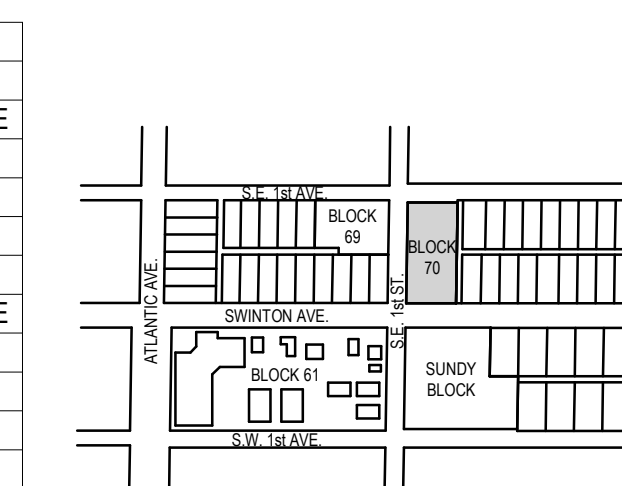
GENERAL NOTES

- ALL SQUARE FOOTAGE TABULATIONS NOTED IN BUILDING DATA CHART ON SHEET A0.40
- OFF STREET LOADING AND TRASH PICKUP PROVIDED FROM ALLEY
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- SEE SHEET A01.00 FOR ARCADE FRONTAGE REQUIREMENTS AND KEY PLAN FOR DIMENSIONS
- AGGREGATE LANDSCAPING AREA ON TERRACE FLOORS EXCEEDS THE REQUIRED 10%
- DIMENSIONS A-F PERTAIN TO TABLE 4.4.1 (J) DIMENSIONAL REQUIREMENTS FOR AN ARCADE. CHART INCLUDED ON SHEET A0.01

MATERIALS LEGEND

AL-02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL-01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



SUNDY VILLAGE WEST, LLC

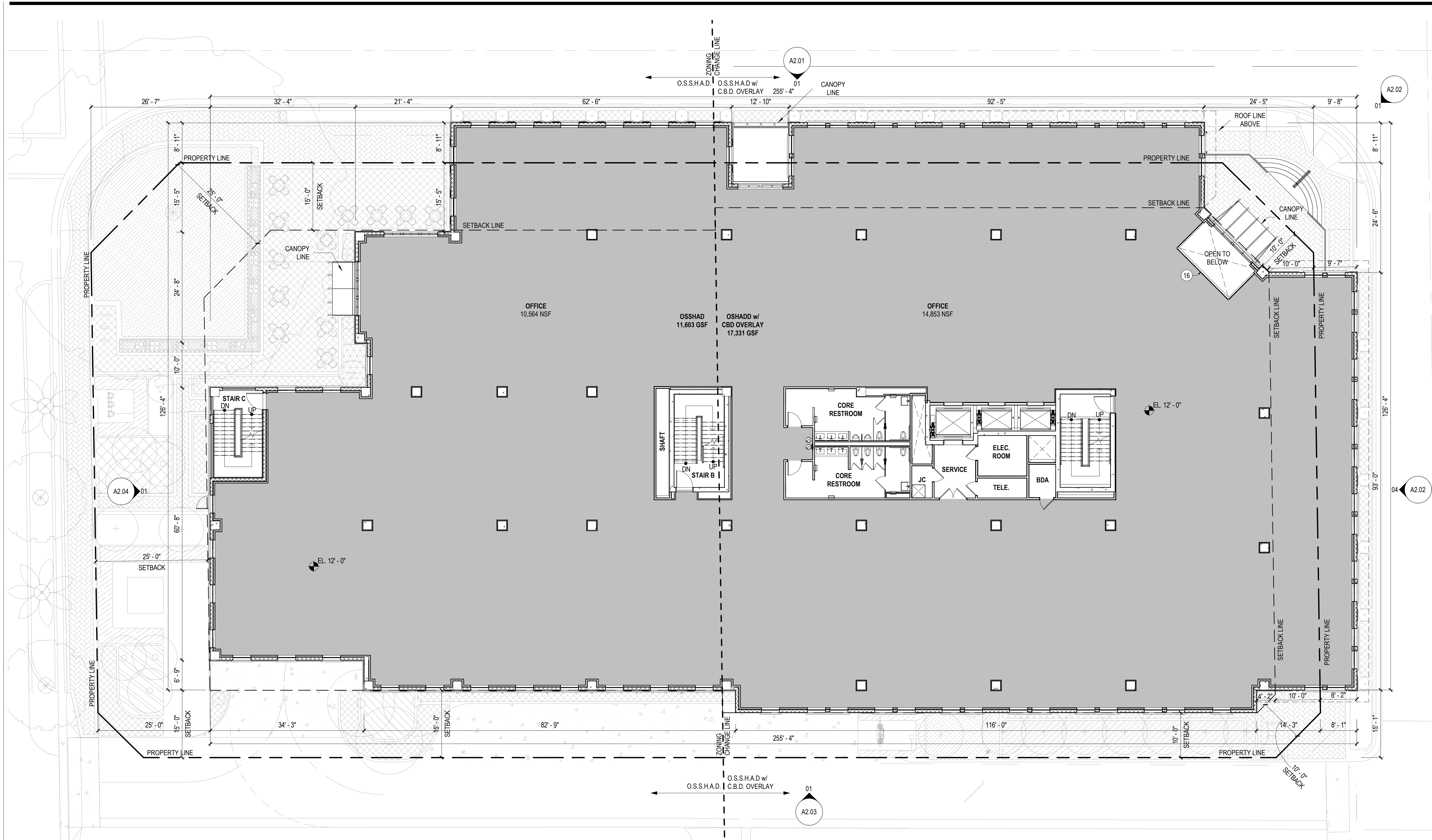
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09/15/2023	SITE MODIFICATION RESUBMISSION



01 BLOCK 70 - LEVEL 2 PLAN

SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
| 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL | 09 CONCRETE PAVERS ON PEDESTAL SYSTEM |
| 02 SECURITY GATE, CLOSED AFTER HOURS | 10 6"x6" GUTTER |
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| 07 BIKE PARKING | 15 ENCLOSED OPENING |
| | 16 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT |

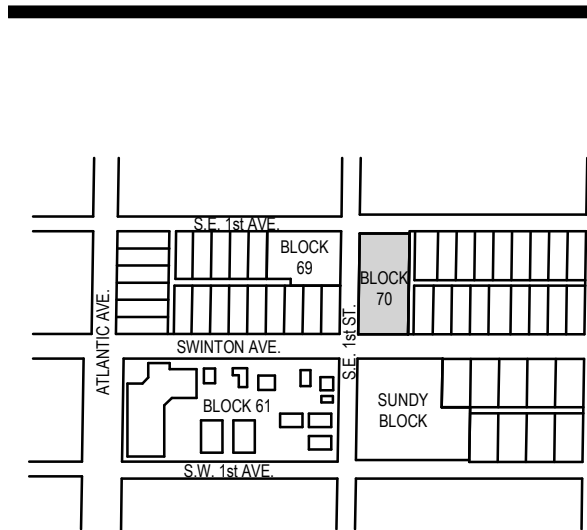
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- AGGREGATE LANDSCAPING AREA ON TERRACE FLOORS EXCEEDS THE REQUIRED 10%

MATERIALS LEGEND

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AL-02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL-01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
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MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - LEVEL 2 PLAN

Scale
As indicated

A1.20

9/19/2023 11:25:16 AM BIM-360/1006.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 70 - CORE SHELL.rvt

SUNDY VILLAGE WEST, LLC

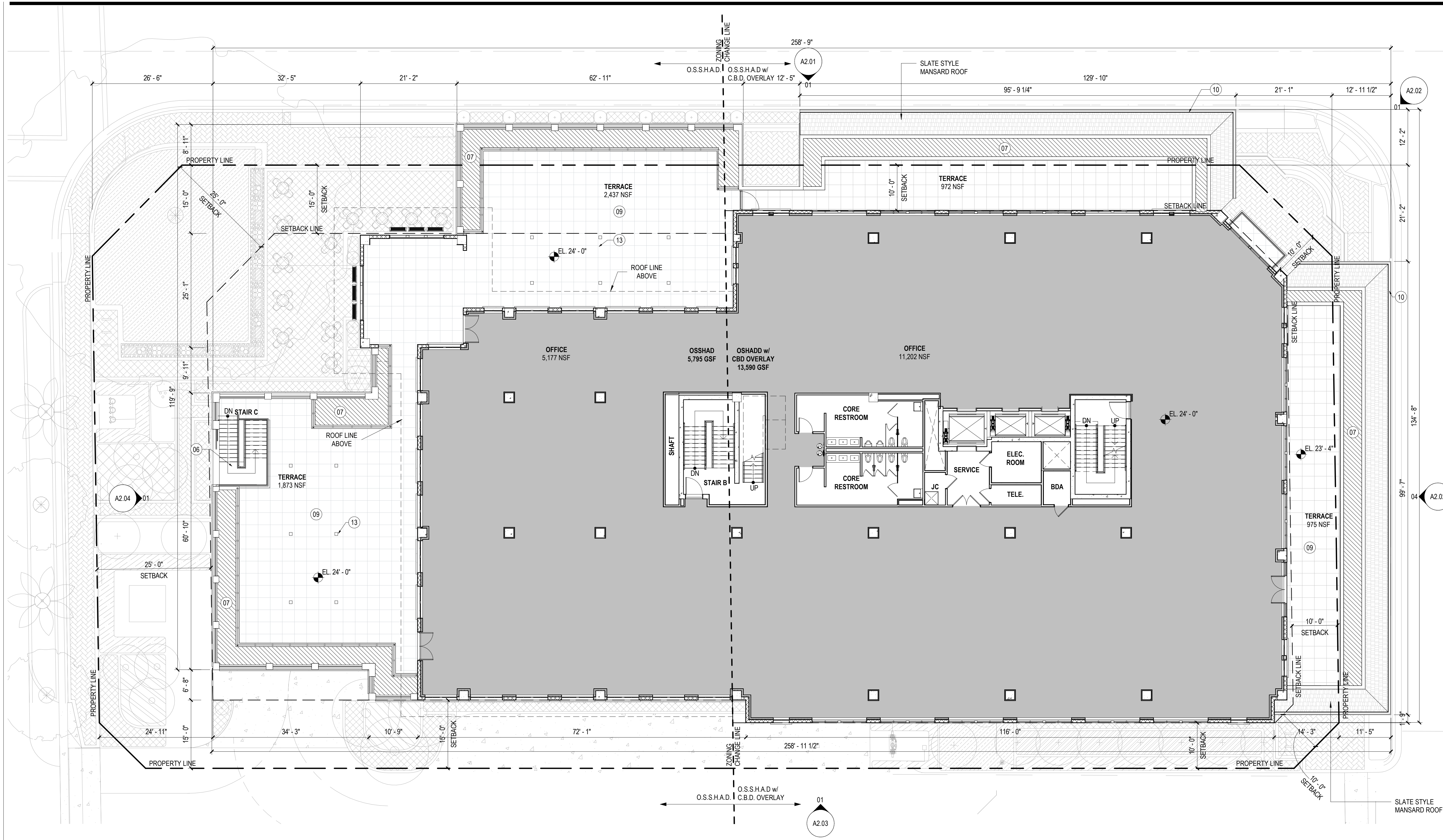
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01 BLOCK 70 - LEVEL 3 PLAN

SCALE: 3/32" = 1'-0"

SHEET NOTES

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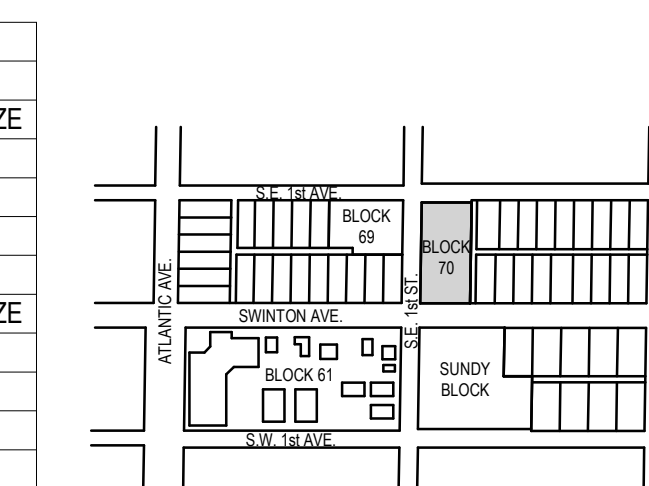
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KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description
BLOCK 70 - LEVEL 3 PLAN

Scale

As indicated

Ref North

A1.30

SUNDY VILLAGE WEST, LLC

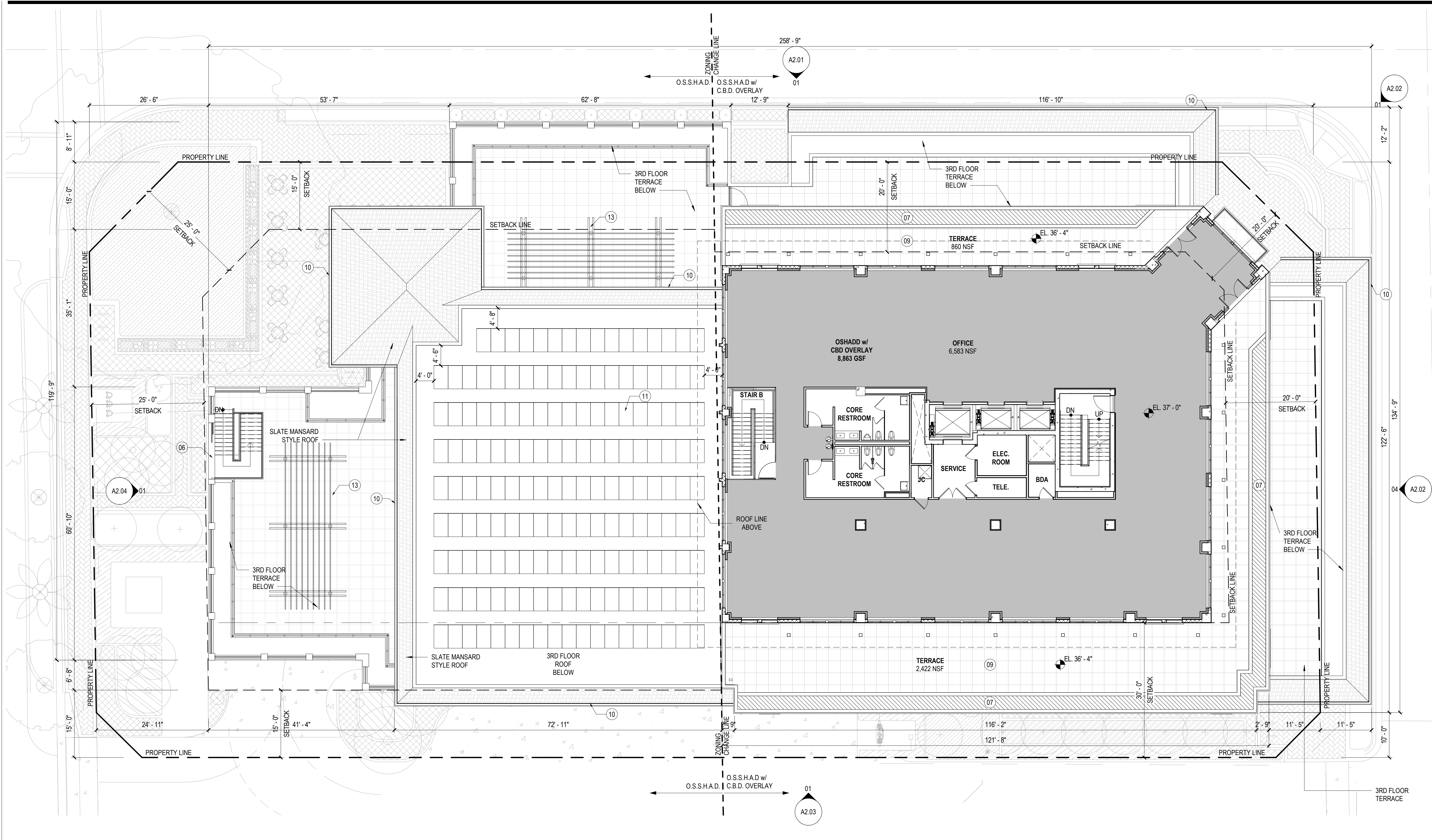
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09/15/2023	SITE MODIFICATION RESUBMISSION



01 BLOCK 70 - LEVEL 4 PLAN

SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
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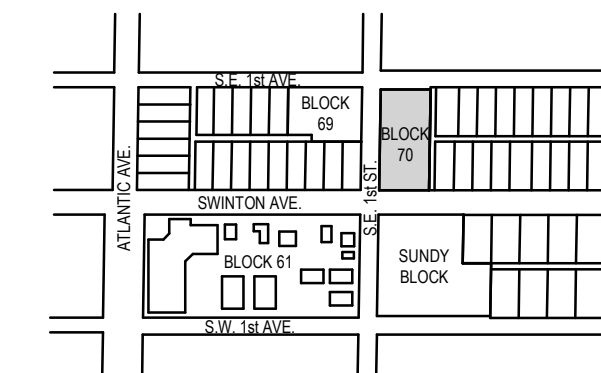
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MATERIALS LEGEND

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AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
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ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

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06.3292.200

Description

BLOCK 70 - LEVEL 4 PLAN

Scale

As indicated

Ref North

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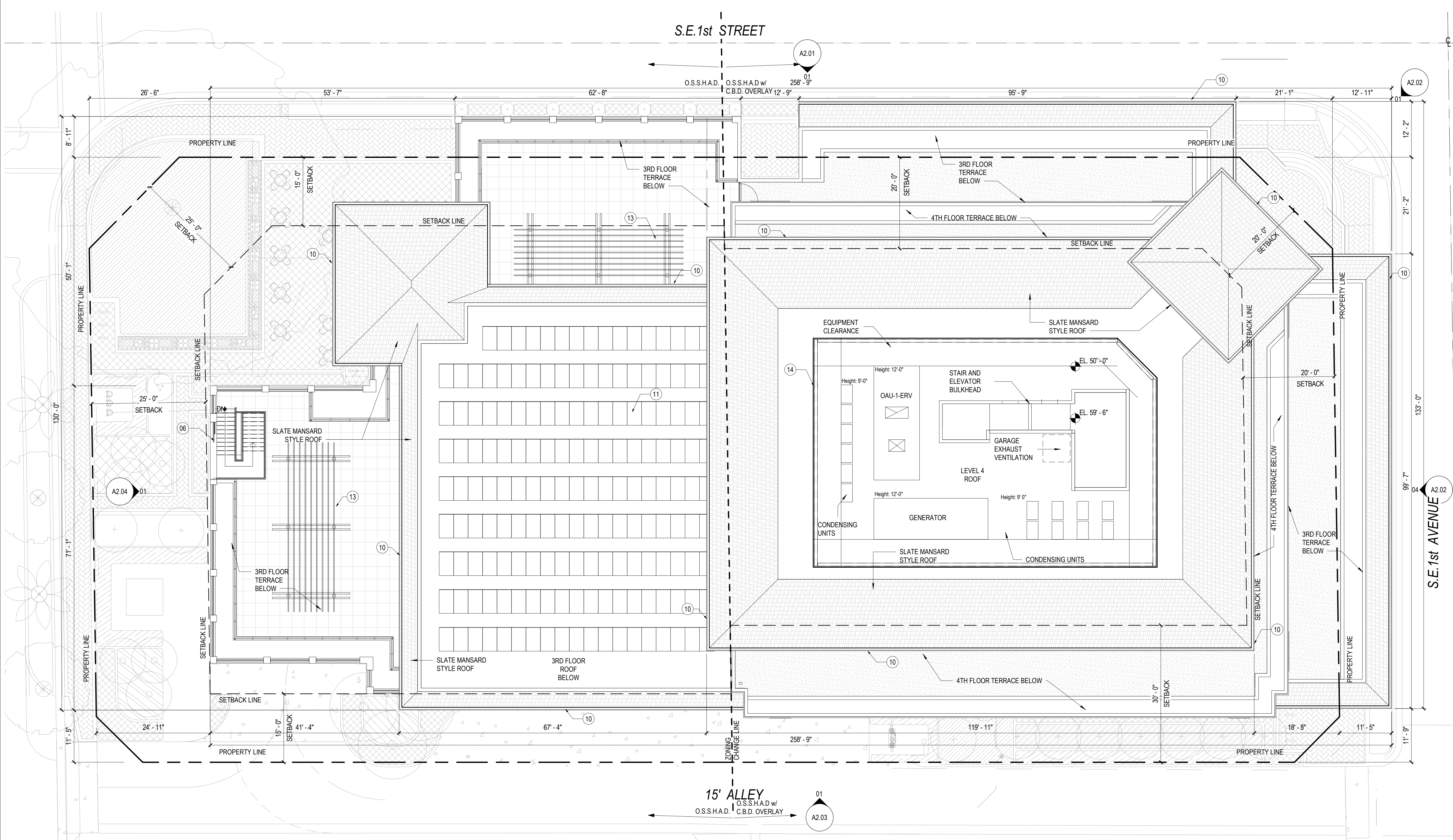
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1 BLOCK 70 - HIGH ROOF PLAN

SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
| 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL | 09 CONCRETE PAVERS ON PEDESTAL SYSTEM |
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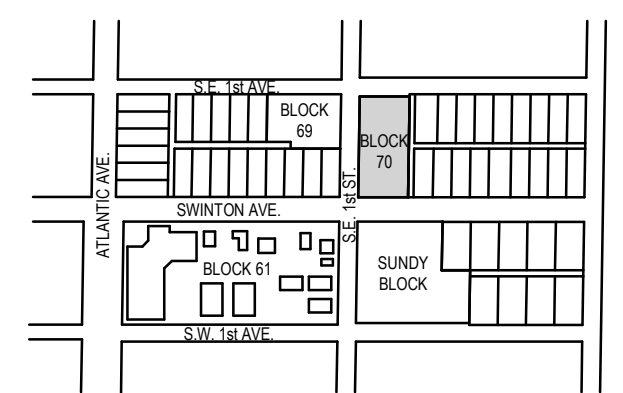
GENERAL NOTES

- PER LDR SECTION 4.4.13(F)(9):
- NON-ROOFED AREAS WILL PROVIDE SHADE (WITHIN FIVE YEARS) ON AT LEAST 30% OF NON-ROOF IMPERVIOUS SURFACE ON THE SIDE, INCLUDING PARKING LOTS, WALKWAYS, PLAZAS, ETC.
- ROOFED AREAS WILL BE ENERGY STAR ROOF-COMPLIANT, HIGH REFLECTANCE AND HIGH EMISSIVITY ROOFING. INITIAL REFLECTANCE OF AT LEAST 0.65 AND THREE YEAR AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM 4080 FOR A MINIMUM OF 75% OF THE ROOF SURFACE.
- PROVIDE KEE ROOFING MEMBRANE BY FIBERTITE OR EQUAL, D66 WHITE WITH INITIAL SRI OF 104 AND 3-YEAR AGED SRI OF 76.

MATERIALS LEGEND

AL02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM LIGHT GRAY
CO-01	ROOF: CONCRETE SLATE STYLE TILE	CLEAR
GL01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800

Project Number
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - HIGH ROOF PLAN

Scale
As indicated

A1.51

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genzler

Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

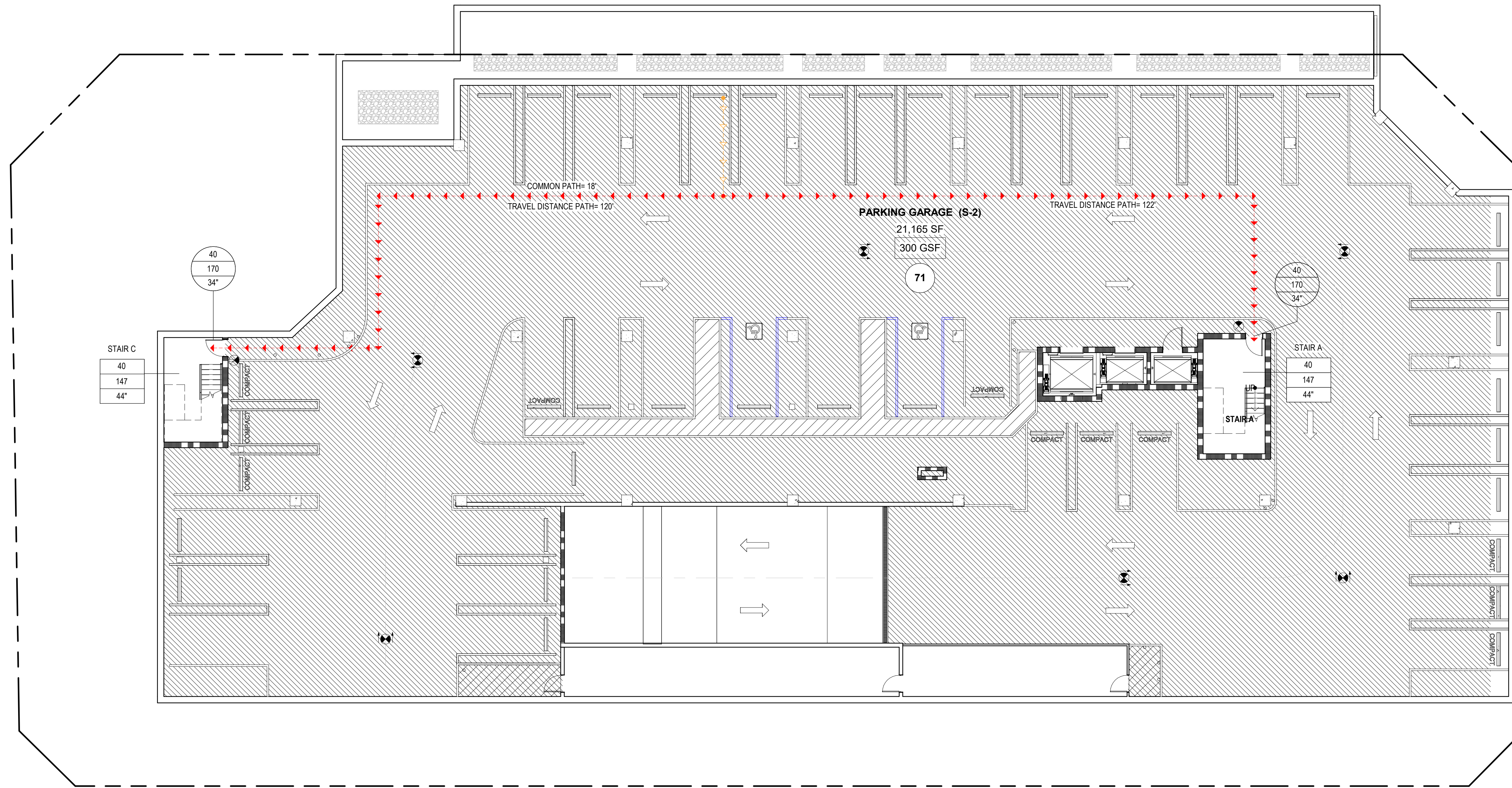
Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
Fax 305.350.7071

Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION

SPACE	FUNCTION	AREA	OCC FACTOR-FBC	TOTAL OCC-FBC	OCC FACTOR-FFPC	TOTAL OCC-FFPC
PARKING	PARKING GARAGE	22,624 SF	300	76	500	46
STORAGE	STORAGE	925 SF	300	4	500	2
TOTALS:		23,549 SF		80		48

OCCUPANCY USE LEGEND

S-2 - PARKING GARAGE (STORAGE)



01 BLOCK 70 - LEVEL B1 FIRE SAFETY PLAN

SCALE: 3/32" = 1'-0"

GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
- THE FIRE PROTECTION SYSTEM SHALL COMPLY WITH THE 2020 STATE OF FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, NFPA 13 AND NFPA 20. ALL LIGHT HAZARD OCCUPANCY AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING OF 225 SQ. FT. PER SPRINKLER AND 0.10 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. OF APPLICATION WITH 100 GPM OF HOSE ALLOWANCE. ALL ORDINARY HAZARD GROUP 1 AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING 130 SQ. FT. PER SPRINKLER AND 0.15 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. WITH 230 GPM OF HOSE ALLOWANCE.

LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

FIRE-RESISTANCE-RATING (HOURS)
05 = 1/2 HOUR
1 = 1 HOUR
2 = 2 HOUR
3 = 3 HOUR
4 = 4 HOUR
1FSB"X" = OPTIONAL HORIZONTAL EXIT DESIGNATION
TYPE OF WALL ASSEMBLY

1FSB = FIRE & SMOKE BARRIER
1FB = FIRE BARRIER
05FB = FIRE PARTITION
2FW = FIRE WALL
SP = SMOKE PARTITION

1 HR. RATED PARTITION
2 HR. RATED PARTITION
3 HR. RATED PARTITION
4 HR. RATED PARTITION
SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

Name = USE GROUP OF SPACE
000 SF = AREA OF SPACE
300 GSF = SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

EXIT SIGN
EXIT TO EXTERIOR / GRADE
COMMON PATH OF TRAVEL
PATH OF EXIT TRAVEL
FEC = FIRE EXTINGUISHER CABINET
FDC = FIRE DEPARTMENT CONNECTION
FSP = FIRE STANDPIPE

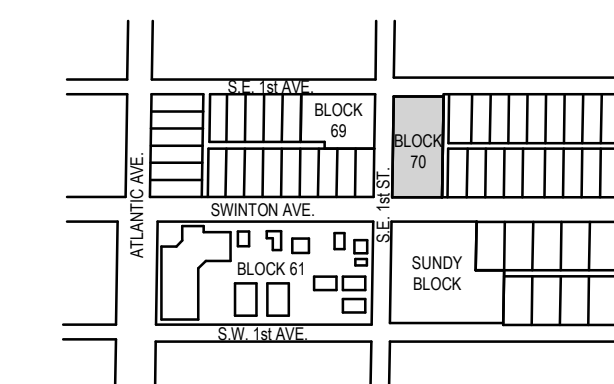
EGRESS COMPONENT CAPACITY SYMBOLS

CALCULATED OCCUPANT CAPACITY
FFPC (2" MULTIPLIER)
145
145
33"
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
STAIR #1
OCC
OCC
1'-0"
STAIR NAME OR DESCRIPTION
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
FFPC (3" MULTIPLIER)

ASSEMBLY OCCUPANCY SYMBOLS

0 = OCCUPANT LOAD OF SPACE
* = REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCCCO, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

BLOCK 70 - LIFE SAFETY GARAGE LEVEL

Scale

As indicated

A1.60

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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New York, NY 10019
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Satellite Office:
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Date	Description
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3 06/07/2023	SITE MODIFICATION RESUBMISSION
4 09/15/2023	SITE MODIFICATION RESUBMISSION

Seal / Signature

Bryan Alzati, LEED AP, NCB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - LIFE SAFETY FIRST FLOOR

Scale
As indicated

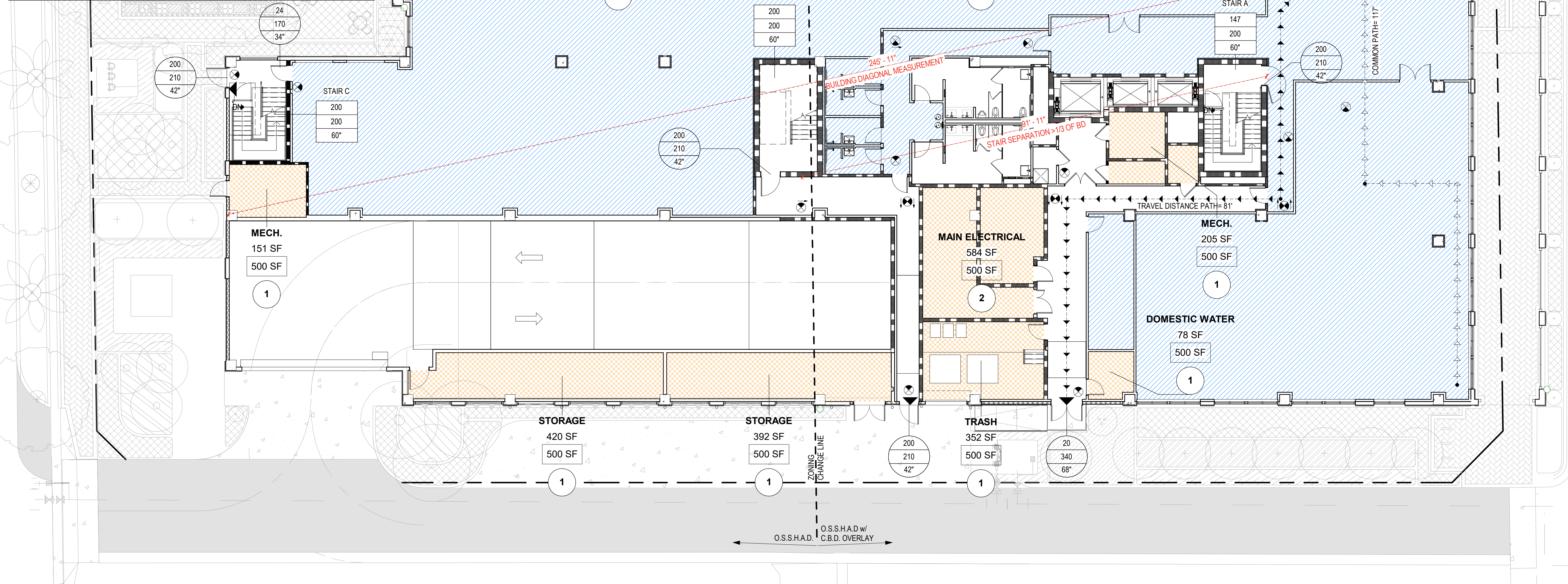
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OCCUPANCY - LIFE SAFETY - FIRST FLOOR						
SPACE	FUNCTION	AREA	OCC FACTOR-FBC	TOTAL OCC-FBC	OCC FACTOR-FFPC	TOTAL OCC-FFPC
OFFICE		9,605 SF	150	65	100	97
OFFICE		5,905 SF	150	40	100	60
MAIN ELECTRICAL		584 SF	300	2	500	2
STORAGE		420 SF	300	2	500	1
STORAGE		392 SF	300	2	500	1
TRASH		352 SF	300	2	500	1
MECH.		205 SF	300	1	500	1
MECH.		151 SF	300	1	500	1
DOMESTIC WATER		78 SF	300	1	500	1
TOTALS:		17,692 SF		116		165

PLUMBING FIXTURE TABULATION - FIRST FLOOR (PER FBC)									
OCCUPANT GROUP- BUSINESS - B	FBC OCCUPANT LOAD: 116	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK. FOUNT.	SERV. SINKS
		MALE	FEMALE	WATER CLOSET	LAVATORIES		1.25 FIRST 50 1.50 REMAIN		
		2.16	2.16	2	2	2	2	1 per 100	1
REQUIRED:		2.16	2.16	1.45	1.45			1.16	1

1ST FLOOR SUMMARY		FIXTURES PROVIDED					
REQUIRED:	WATER CLOSETS:	WATER CLOSET		LAVATORIES		DRINK. FOUNT.	SERV. SINKS
		MALE	FEMALE	MALE	FEMALE		
3	3	3	2	2	2	2	1
2	3	-	3	2	2	-	-
-	-	-	-	2	2	-	-
1	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-
TOTALS:	3	3	3	2	2	0	1



01 LIFE SAFETY PLAN - LEVEL 01

SCALE: 3/32" = 1'-0"

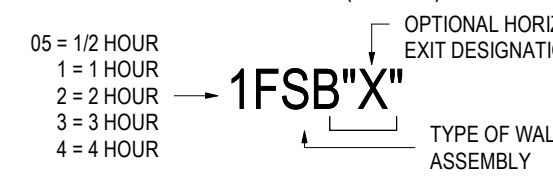
GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
- THE FIRE PROTECTION SYSTEM SHALL COMPLY WITH THE 2020 STATE OF FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, NFPA 13 AND NFPA 20. ALL LIGHT HAZARD OCCUPANCY AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING OF 225 SQ. FT. PER SPRINKLER AND 0.10 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. OF APPLICATION WITH 100 GPM OF HOSE ALLOWANCE. ALL ORDINARY HAZARD GROUP 1 AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING 130 SQ.FT. PER SPRINKLER AND 0.15 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. WITH 250 GPM OF HOSE ALLOWANCE.

LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

FIRE-RESISTANCE-RATING (HOURS)



- 1FSB = FIRE & SMOKE BARRIER
- 1FB = FIRE BARRIER
- 05FB = FIRE PARTITION
- 2FW = FIRE WALL
- SP = SMOKE PARTITION
- 1 HR. RATED PARTITION
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- 4 HR. RATED PARTITION
- SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

- Name** — USE GROUP OF SPACE
000 SF — AREA OF SPACE
300 GSF — SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

- EXIT SIGN
- EXIT TO EXTERIOR / GRADE
- COMMON PATH OF TRAVEL
- PATH OF EXIT TRAVEL
- FIRE EXTINGUISHER CABINET
- FIRE DEPARTMENT CONNECTION
- FIRE STANDPIPE

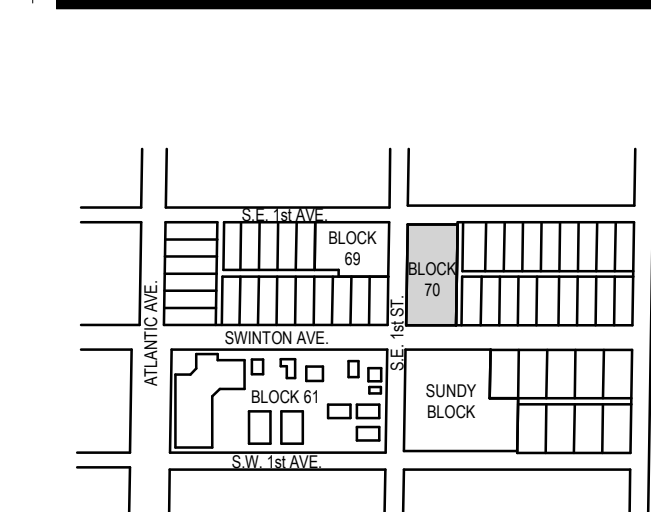
EGRESS COMPONENT CAPACITY SYMBOLS

- CALCULATED OCCUPANT CAPACITY
 FFPC (2* MULTIPLIER)
- CALCULATED OCCUPANT CAPACITY
 FFPC (3* MULTIPLIER)
- STAIR #1
 OCC
 OCC
 1'-0"

ASSEMBLY OCCUPANCY SYMBOLS

- NUMBER OF OCCUPANTS EXITING
 EXIT WIDTH PROVIDED (IN.)
- OCCUPANT LOAD OF SPACE
 REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

KEY PLAN



SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

GenSLER

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Satellite Office:
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4 09/15/2023	SITE MODIFICATION RESUBMISSION

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description
BLOCK 70 - LIFE SAFETY SECOND FLOOR

Scale

As indicated

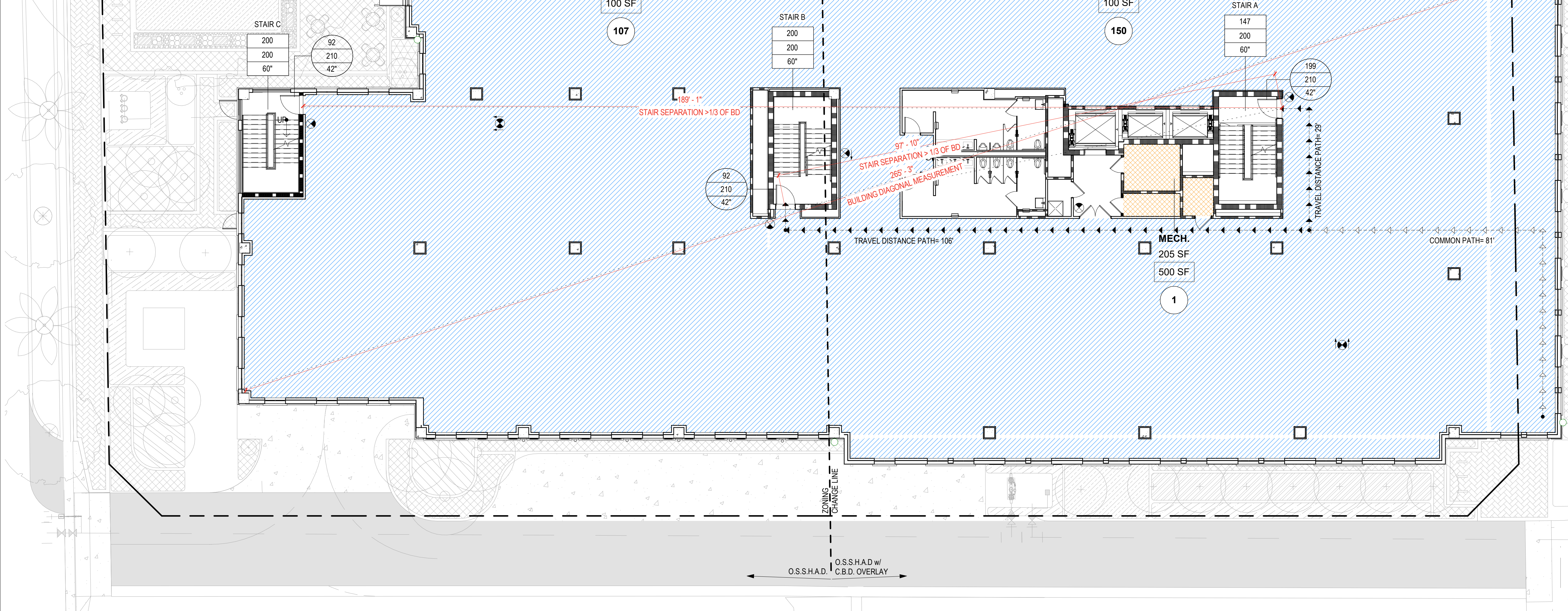
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OCCUPANCY - LIFE SAFETY - SECOND FLOOR						
SPACE	FUNCTION	AREA	OCC FACTOR-FBC	TOTAL OCC-FBC	OCC FACTOR-FFPC	TOTAL OCC-FFPC
OFFICE	BUSINESS	14,939 SF	150	100	100	150
OFFICE	BUSINESS	10,602 SF	150	71	100	107
MECH.		205 SF	300	1	500	1
TOTALS:		25,746 SF		172		258

PLUMBING FIXTURE TABULATION - SECOND FLOOR (PER FBC)									
OCCUPANT GROUP- BUSINESS - B	FBC OCCUPANT LOAD: 172	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK FOUNT.	SERV. SINKS
		MALE: 86	FEMALE: 86	WATER CLOSET		LAVATORIES			
				MALE	FEMALE	MALE	FEMALE		
				RATIO: 1:25 FIRST 50 1:50 REMAIN		1:40 FIRST 80 1:80 REMAIN		1 per 100	1
				REQUIRED: 2.72	2.72	2.08	2.08	1.72	1

2ND FLOOR SUMMARY		FIXTURES PROVIDED					
	REQUIRED:	WATER CLOSET		LAVATORIES		DRINK FOUNT.	SERV. SINKS
		MALE	FEMALE	MALE	FEMALE		
		3	3	3	3	2	1
WATER CLOSETS:		2	4	-	-	-	-
LAVATORIES:		-	-	3	3	-	-
URINALS:		2	-	-	-	-	-
DRINKING FOUNTAINS:		-	-	-	-	2	-
TOTALS:		4	4	3	3	2	1



01 LIFE SAFETY PLAN - LEVEL 02

SCALE: 3/32" = 1'-0"

GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
- THE FIRE PROTECTION SYSTEM SHALL COMPLY WITH THE 2020 STATE OF FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, NFPA 13 AND NFPA 20. ALL LIGHT HAZARD OCCUPANCY AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING OF 225 SQ. FT. PER SPRINKLER AND 0.10 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. OF APPLICATION WITH 100 GPM OF HOSE ALLOWANCE. ALL ORDINARY HAZARD GROUP 1 AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING 130 SQ.FT. PER SPRINKLER AND 0.15 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. WITH 250 GPM OF HOSE ALLOWANCE.

LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES	
FIRE-RESISTANCE-RATING (HOURS)	TYPE OF WALL ASSEMBLY
05 = 1/2 HOUR	OPTIONAL HORIZONTAL EXIT DESIGNATION
1 = 1 HOUR	1FSB "X"
2 = 2 HOUR	
3 = 3 HOUR	
4 = 4 HOUR	

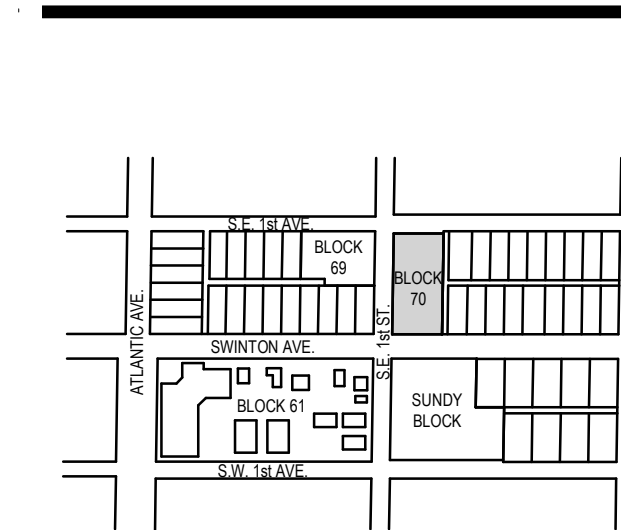
USE GROUP AND FUNCTION OF SPACE TAG	
Name	USE GROUP OF SPACE
000 SF	AREA OF SPACE
300 GSF	SF PER OCCUPANT

EGRESS COMPONENT CAPACITY SYMBOLS	
Symbol	Description
145	CALCULATED OCCUPANT CAPACITY
145	NUMBER OF OCCUPANTS EXITING
33"	EXIT WIDTH PROVIDED (IN.)
FFPC (2* MULTIPLIER)	FIRE FIGHTER PASSAGE CAPACITY
STAIR #1	STAIR NAME OR DESCRIPTION
OCC	CALCULATED OCCUPANT CAPACITY
OCC	NUMBER OF OCCUPANTS EXITING
1'-0"	EXIT WIDTH PROVIDED (IN.)
FFPC (.3* MULTIPLIER)	FIRE FIGHTER PASSAGE CAPACITY

ASSEMBLY OCCUPANCY SYMBOLS	
Symbol	Description
0	OCCUPANT LOAD OF SPACE
*	REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

EXITING AND FIRE PROTECTION SYMBOLS	
Symbol	Description
EXIT SIGN	EXIT SIGN
EXIT TO EXTERIOR / GRADE	EXIT TO EXTERIOR / GRADE
COMMON PATH OF TRAVEL	COMMON PATH OF TRAVEL
PATH OF EXIT TRAVEL	PATH OF EXIT TRAVEL
FIRE EXTINGUISHER CABINET	FIRE EXTINGUISHER CABINET
FDC	FIRE DEPARTMENT CONNECTION
FSP	FIRE STANDPIPE

KEY PLAN



9/19/2023 11:37:02 AM BIM-360/1006.3292.200 - Sundy Village - Block 69-70/06.3292.200 - BLOCK 70 - CORE SHELL.rvt

SUNDY VILLAGE WEST, LLC

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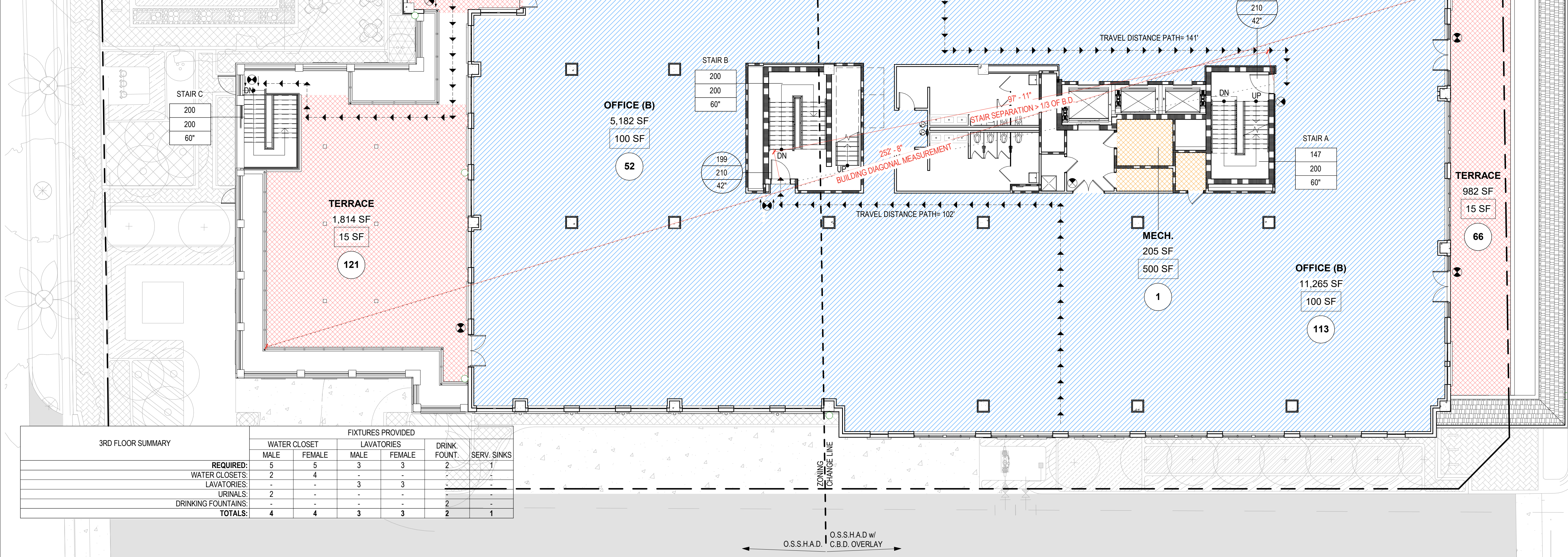
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Date	Description
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2 10/21/2022	SITE MODIFICATION RESUBMISSION
3 06/07/2023	SITE MODIFICATION RESUBMISSION
4 09/15/2023	SITE MODIFICATION RESUBMISSION

OCCUPANCY - LIFE SAFETY - THIRD FLOOR						
SPACE	FUNCTION	AREA	OCC FACTOR-FBC	TOTAL OCC-FBC	OCC FACTOR-FFPC	TOTAL OCC-FFPC
OFFICE	BUSINESS	11,265 SF	150	76	100	113
OFFICE	BUSINESS	5,182 SF	150	35	100	52
TERRACE	ASSEMBLY	2,445 SF	15	163	15	163
TERRACE	ASSEMBLY	1,814 SF	15	121	15	121
TERRACE	ASSEMBLY	982 SF	15	66	15	66
TERRACE	ASSEMBLY	895 SF	15	60	15	60
MECH.		205 SF	300	1	500	1
TOTALS:		22,788 SF		522		576

PLUMBING FIXTURE TABULATION - THIRD FLOOR (PER FBC)									
OCCUPANT GROUP	FBC OCCUPANT LOAD	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK FOUNT.	SERV. SINKS
		MALE	FEMALE	WATER CLOSET MALE	LAVATORIES MALE	LAVATORIES FEMALE	FEMALE		
ASSEMBLY - A-2	411	206	206						
RATIO:		1 per 75		1 per 200		1 per 500		1	
REQUIRED:		2.75	2.75	1.03	1.03	0.82	1		

OCCUPANT GROUP	FBC OCCUPANT LOAD	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK FOUNT.	SERV. SINKS
		MALE	FEMALE	WATER CLOSET MALE	LAVATORIES MALE	LAVATORIES FEMALE	FEMALE		
BUSINESS - B	111	56	56						
RATIO:		1.25 FIRST 50 1.50 REMAIN		1.40 FIRST 80 1.80 REMAIN		1 per 100		1	
REQUIRED:		2.12	2.12	1.4	1.4	1.11	1		
TOTALS:		522		4.87	4.87	2.43	2.43	1.93	1



3RD FLOOR SUMMARY	FIXTURES PROVIDED					
	WATER CLOSET MALE	WATER CLOSET FEMALE	LAVATORIES MALE	LAVATORIES FEMALE	DRINK FOUNT.	SERV. SINKS
REQUIRED:	5	5	3	3	2	1
WATER CLOSETS:	2	4	-	-	-	-
LAVATORIES:	-	-	3	3	-	-
URINALS:	2	-	-	-	-	-
DRINKING FOUNTAINS:	-	-	-	-	2	-
TOTALS:	4	4	3	3	2	1

01 LIFE SAFETY PLAN - LEVEL 03

SCALE: 3/32" = 1'-0"

- #### GENERAL NOTES
- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
 - FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
 - THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
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LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

FIRE-RESISTANCE-RATING (HOURS)

OPTIONAL HORIZONTAL EXIT DESIGNATION

1FSB "X" TYPE OF WALL ASSEMBLY

1FSB = FIRE & SMOKE BARRIER
1FB = FIRE BARRIER
05FB = FIRE PARTITION
2FW = FIRE WALL
SP = SMOKE PARTITION

1 HR. RATED PARTITION
2 HR. RATED PARTITION
3 HR. RATED PARTITION
4 HR. RATED PARTITION
SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

Name USE GROUP OF SPACE
000 SF AREA OF SPACE
300 GSF SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

EXIT SIGN
EXIT TO EXTERIOR / GRADE
COMMON PATH OF TRAVEL
PATH OF EXIT TRAVEL
FIRE EXTINGUISHER CABINET
FIRE DEPARTMENT CONNECTION
FIRE STANDPIPE

EGRESS COMPONENT CAPACITY SYMBOLS

CALCULATED OCCUPANT CAPACITY (2* MULTIPLIER)
FPPC

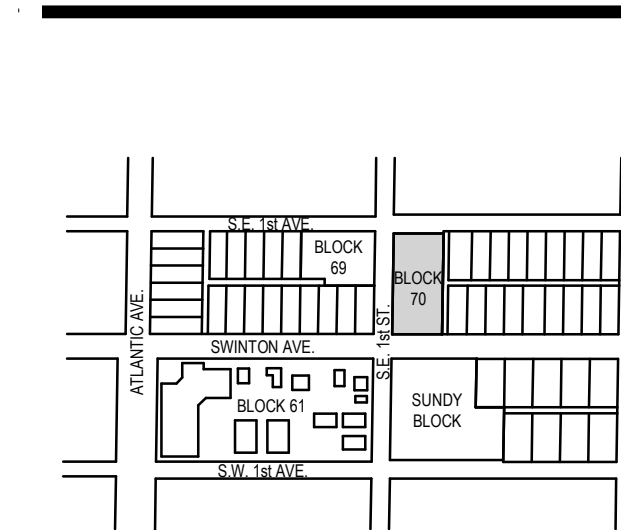
CALCULATED OCCUPANT CAPACITY (3* MULTIPLIER)
FPPC

ASSEMBLY OCCUPANCY SYMBOLS

NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
OCCUPANT LOAD OF SPACE
REPRESENTS POSTED OCCUPANCY SIGN REQUIRED

STAIR #1
STAIR NAME OR DESCRIPTION
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)

KEY PLAN



Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800
Project Name
SUNDY VILLAGE - BLOCK 70
Project Number
06.3292.200
Description
BLOCK 70 - LIFE SAFETY THIRD FLOOR
Scale
As indicated

A1.63

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

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Fax 305.350.7071

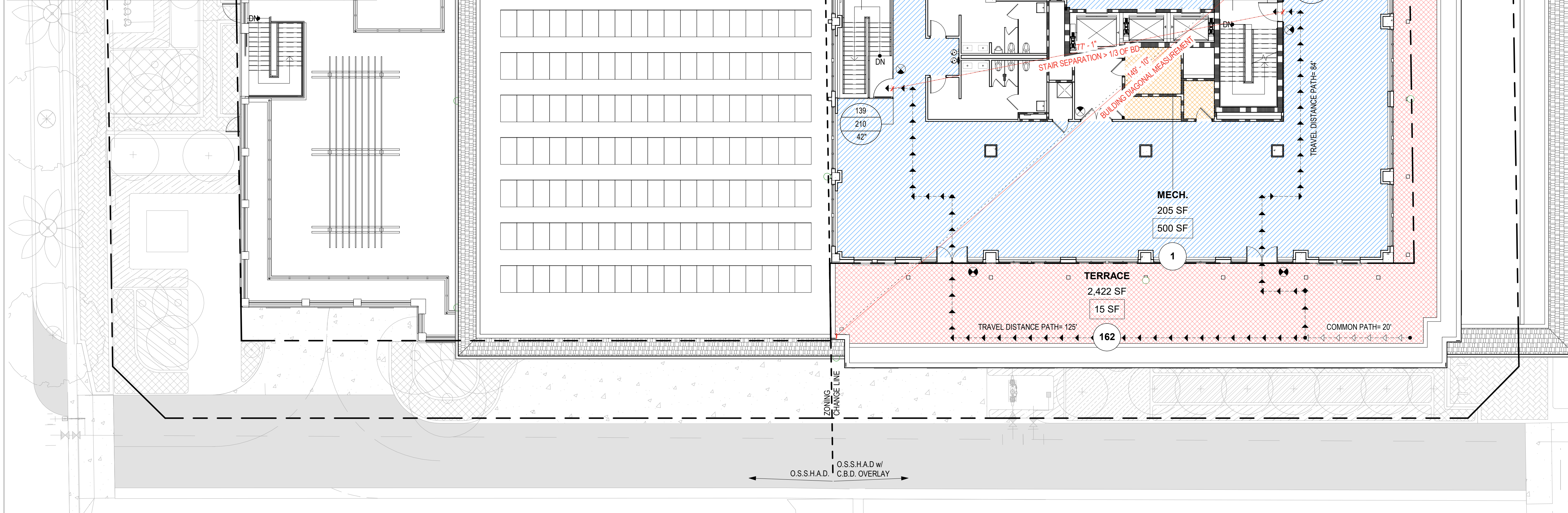
Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION

OCCUPANCY - LIFE SAFETY - FOURTH FLOOR						
SPACE	FUNCTION	AREA	OCC FACTOR-FBC	TOTAL OCC-FBC	OCC FACTOR-FFPC	TOTAL OCC-FFPC
OFFICE	BUSINESS	6,614 SF	150	45	100	67
TERRACE	ASSEMBLY	2,422 SF	15	162	15	162
TERRACE	ASSEMBLY	857 SF	15	58	15	58
MECH.		205 SF	300	1	500	1
TOTALS:		10,098 SF		266		288

PLUMBING FIXTURE TABULATION - FOURTH FLOOR (PER FBC)													
OCCUPANT GROUP	FBC OCCUPANT LOAD	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK. FOUNT.	SERV. SINKS	RATIO	REQUIRED		
		MALE	FEMALE	WATER CLOSET	LAVATORIES								
ASSEMBLY - A-2	218	109	109	MALE	FEMALE	MALE	FEMALE			1 per 75	1 per 200	1 per 500	1
				1.45	1.45	0.55	0.55	0.44					1

OCCUPANT GROUP	FBC OCCUPANT LOAD	50/50 SPLIT		CODE REQUIRED FIXTURE COUNTS				DRINK. FOUNT.	SERV. SINKS	RATIO	REQUIRED
		MALE	FEMALE	WATER CLOSET	LAVATORIES						
BUSINESS - B	40	20	20	1:25 FIRST 50	1:40 FIRST 80					1 per 100	1
				1:50 REMAIN	1:80 REMAIN						1
TOTALS:	522			0.8	0.8	0.5	0.5	0.39			1
				2.25	2.25	1.05	1.05	0.83			1

4TH FLOOR SUMMARY						
FIXTURES PROVIDED	WATER CLOSET		LAVATORIES		DRINK. FOUNT.	SERV. SINKS
	MALE	FEMALE	MALE	FEMALE		
REQUIRED:	3	3	2	2	1	1
WATER CLOSETS:	2	3	-	-	-	-
LAVATORIES:	-	-	2	2	-	-
URINALS:	1	-	-	-	-	-
DRINKING FOUNTAINS:	-	-	-	-	-	-
TOTALS:	3	3	2	2	0	1



01 LIFE SAFETY PLAN - LEVEL 04

SCALE: 3/32" = 1'-0"

GENERAL NOTES

- ENTIRE BUILDING AND FLOORS SHALL BE FULLY SPRINKLERED WITH AUTOMATIC SPRINKLER SYSTEM
- FIRE RESISTANCE RATING FOR THE BUILDING ELEMENTS: TYPE 1B CONSTRUCTION
- THE EMERGENCY LIGHTING SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION, CHAPTER 10, SECTION 1008. THE POWER SUPPLY FOR THE EMERGENCY LIGHTING WILL BE PROVIDED BY AN ON SITE EMERGENCY GENERATOR.
- THE FIRE PROTECTION SYSTEM SHALL COMPLY WITH THE 2020 STATE OF FLORIDA BUILDING CODE, FLORIDA FIRE PREVENTION CODE, NFPA 13 AND NFPA 20. ALL LIGHT HAZARD OCCUPANCY AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING OF 225 SQ. FT. PER SPRINKLER AND 0.10 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. OF APPLICATION WITH 100 GPM OF HOSE ALLOWANCE. ALL ORDINARY HAZARD GROUP 1 AREAS WILL BE DESIGNED TO PROVIDE A MAXIMUM SPRINKLER SPACING 130 SQ.FT. PER SPRINKLER AND 0.15 GPM PER SQ. FT. OF WATER DENSITY OVER THE HYDRAULICALLY MOST REMOTE 1,500 SQ. FT. WITH 250 GPM OF HOSE ALLOWANCE.

LEGEND

FIRE-RESISTANCE-RATED WALL ASSEMBLIES

FIRE-RESISTANCE-RATING (HOURS)

OPTIONAL HORIZONTAL EXIT DESIGNATION

1FSB"X" TYPE OF WALL ASSEMBLY

1FSB = FIRE & SMOKE BARRIER
1FB = FIRE BARRIER
05FB = FIRE PARTITION
2FW = FIRE WALL
SP = SMOKE PARTITION

--- 1 HR. RATED PARTITION
--- 2 HR. RATED PARTITION
--- 3 HR. RATED PARTITION
--- 4 HR. RATED PARTITION
--- SMOKE PARTITION

USE GROUP AND FUNCTION OF SPACE TAG

Name --- USE GROUP OF SPACE
000 SF --- AREA OF SPACE
300 GSF --- SF PER OCCUPANT

EXITING AND FIRE PROTECTION SYMBOLS

EXIT SIGN
EXIT TO EXTERIOR / GRADE
COMMON PATH OF TRAVEL
PATH OF EXIT TRAVEL
FIRE EXTINGUISHER CABINET
FIRE DEPARTMENT CONNECTION
FIRE STANDPIPE

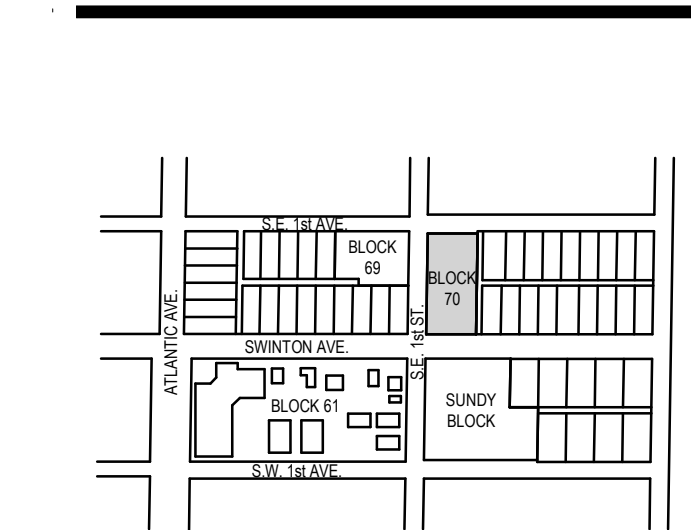
EGRESS COMPONENT CAPACITY SYMBOLS

CALCULATED OCCUPANT CAPACITY (2* MULTIPLIER)
CALCULATED OCCUPANT CAPACITY (3* MULTIPLIER)

ASSEMBLY OCCUPANCY SYMBOLS

NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)
STAIR NAME OR DESCRIPTION
NUMBER OF OCCUPANTS EXITING
EXIT WIDTH PROVIDED (IN.)

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - LIFE SAFETY FOURTH FLOOR

Scale
As indicated

A1.64

9/19/2023 11:37:09 AM BIM-360/1006.3292.200 - Sundy Village - Block 69-7006.3292.200 - BLOCK 70 - CORE SHELL.rvt

GENERAL NOTES

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

Lic. No. AA0002837
Main Office
1700 Broadway
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Fax 212.492.1472

Satellite Office:
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09/15/2023	SITE MODIFICATION RESUBMISSION

MATERIALS LEGEND

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description
BLOCK 70 - SITE ELEVATIONS & PROPORTIONS

Scale
1" = 20'-0"

A2.00



05 BLOCK 70 - PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 1" = 20'-0"



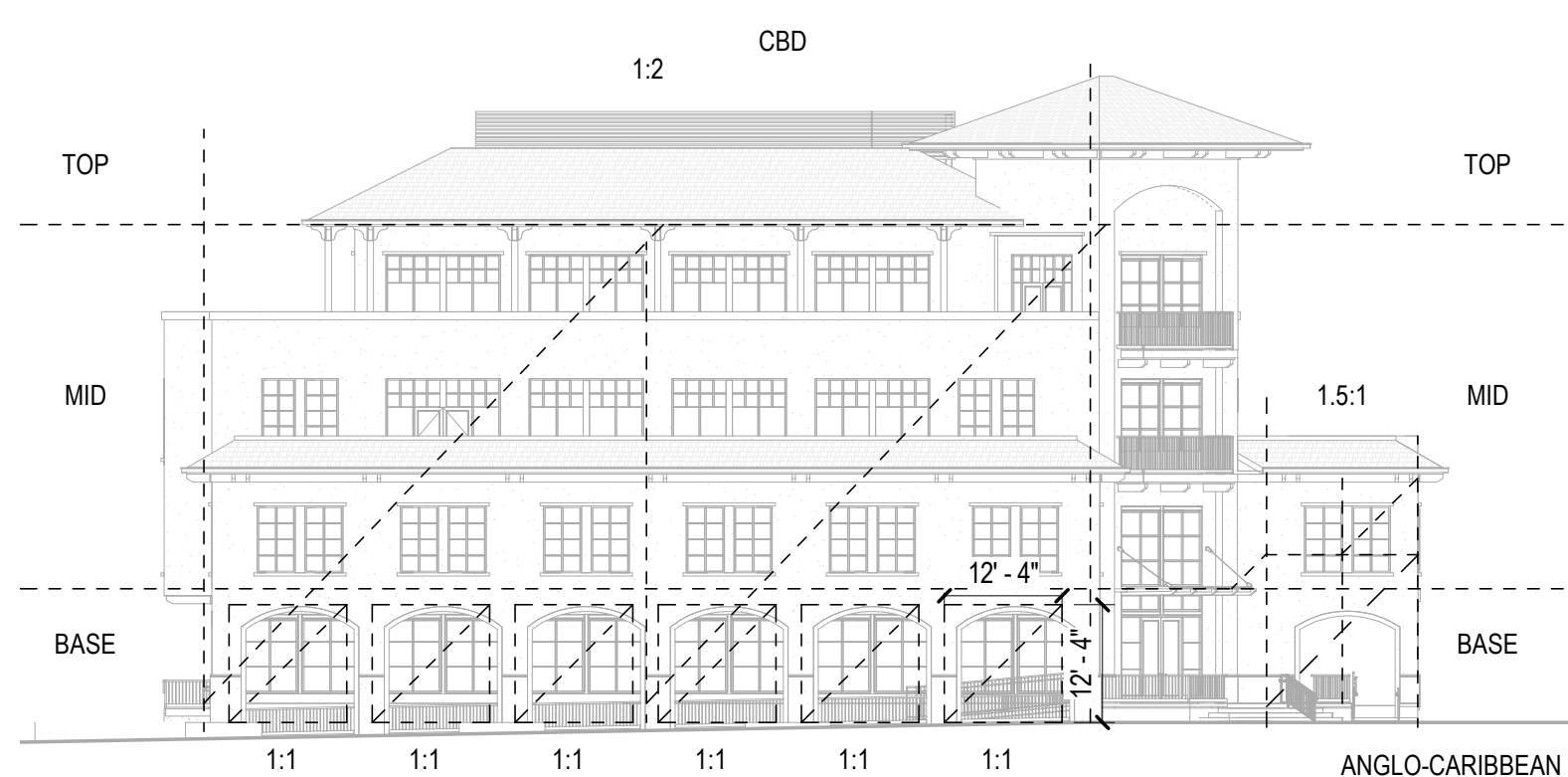
01 BLOCK 70 - PROPOSED EXTERIOR ELEVATION - NORTH
SCALE: 1" = 20'-0"



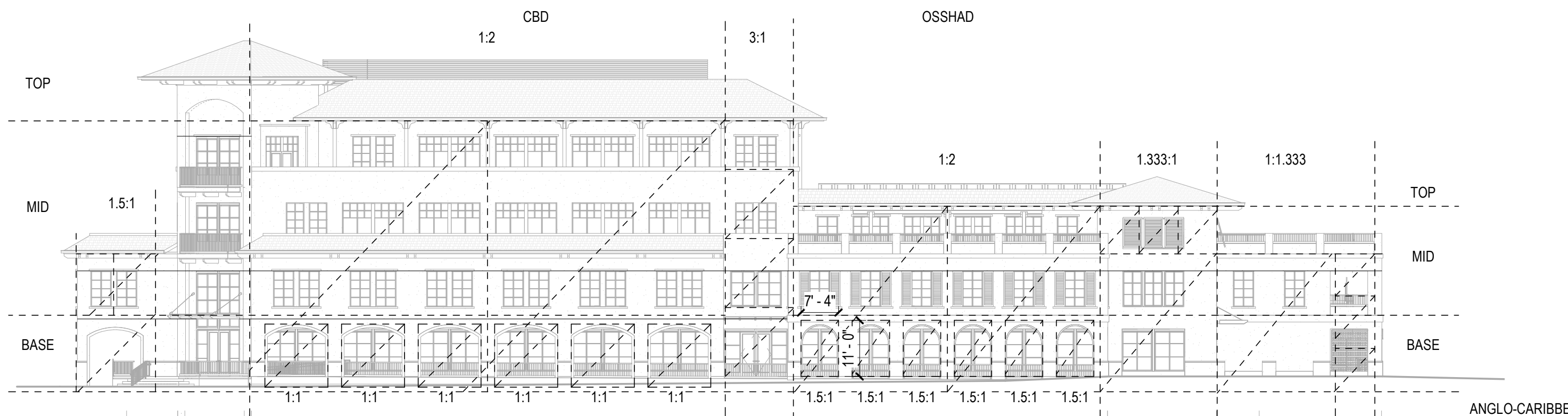
06 BLOCK 70 - PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 1" = 20'-0"



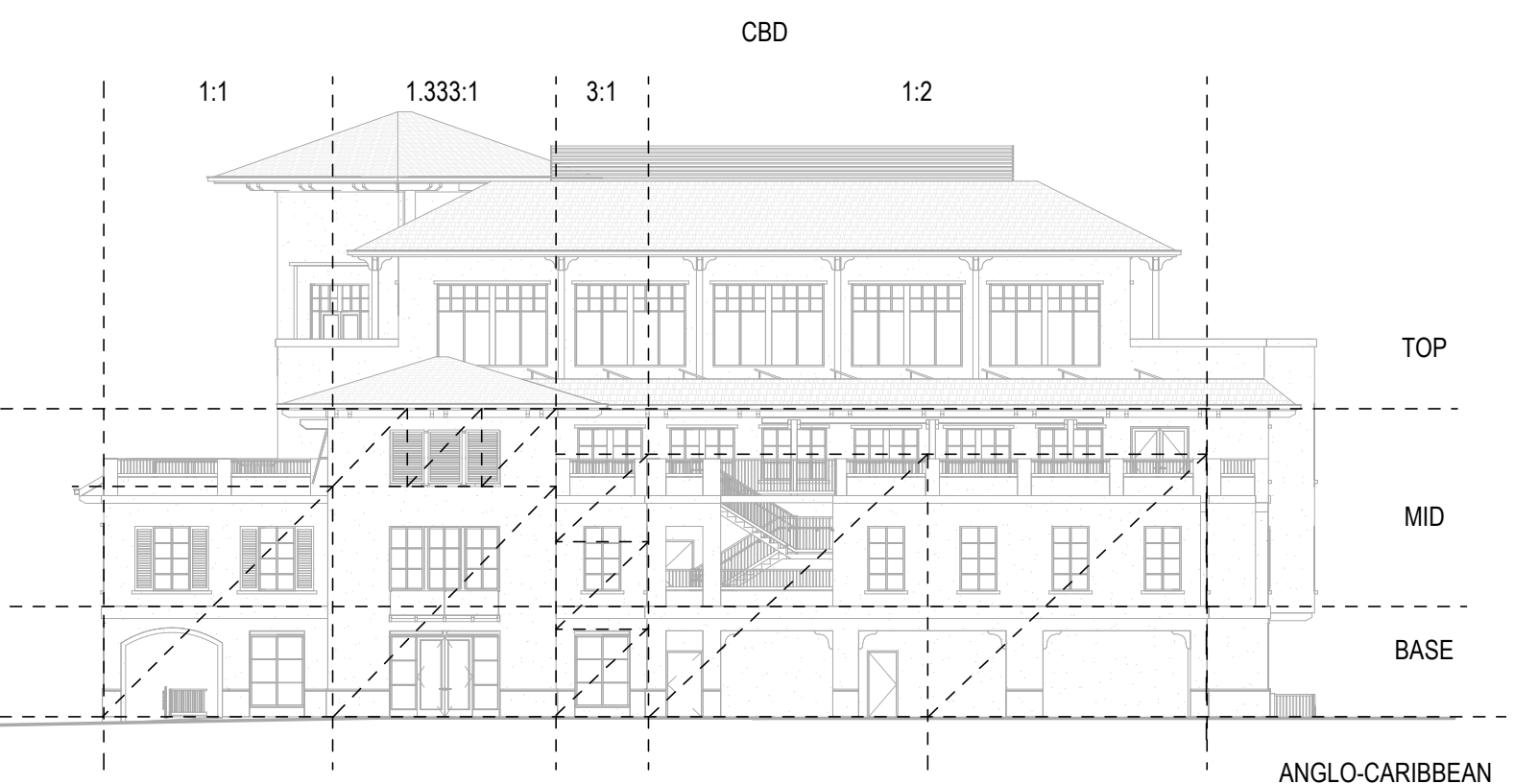
02 BLOCK 70 - PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 1" = 20'-0"



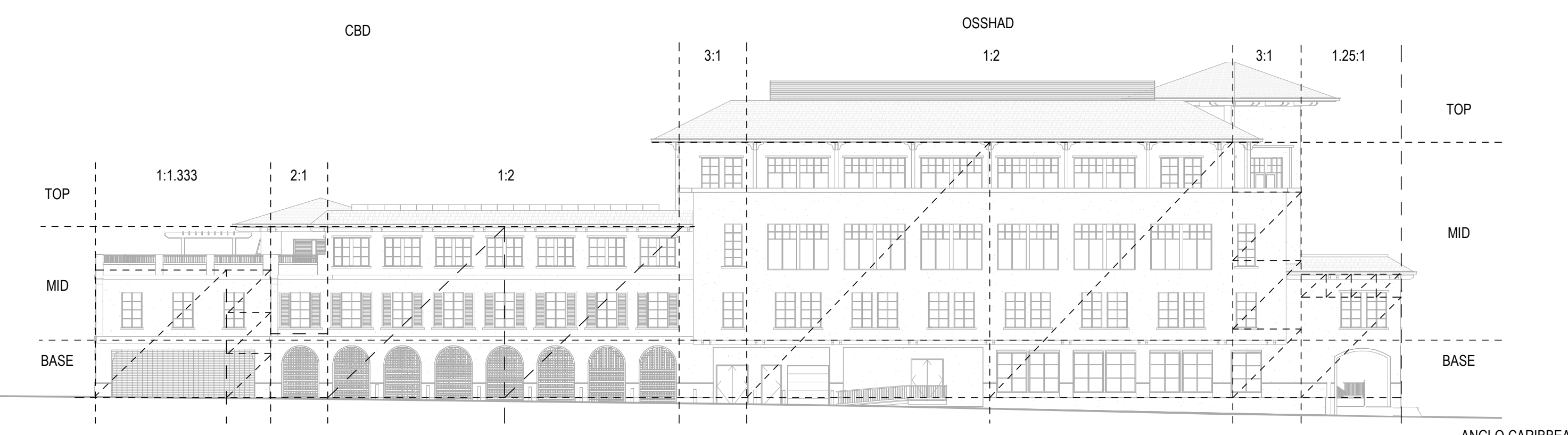
07 BLOCK 70 - ELEVATION PROPORTIONS - EAST
SCALE: 1" = 20'-0"



03 BLOCK 70 - ELEVATION PROPORTIONS - NORTH
SCALE: 1" = 20'-0"



08 BLOCK 70 - ELEVATION PROPORTIONS - WEST
SCALE: 1" = 20'-0"



04 BLOCK 70 - ELEVATION PROPORTIONS - SOUTH
SCALE: 1" = 20'-0"

KEY PLAN

SUNDY VILLAGE WEST, LLC

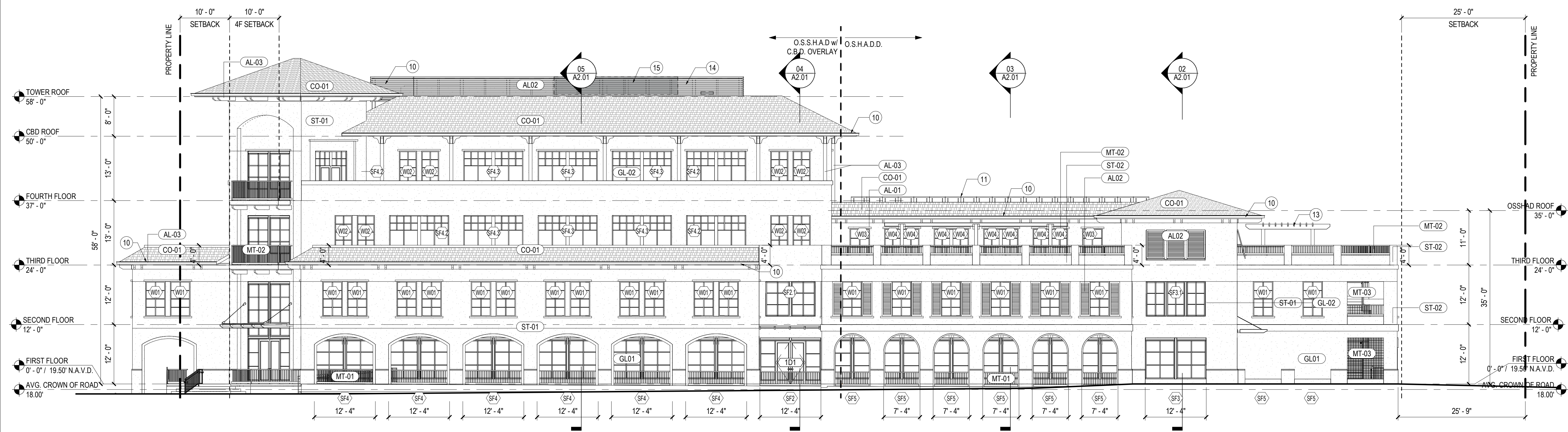
100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

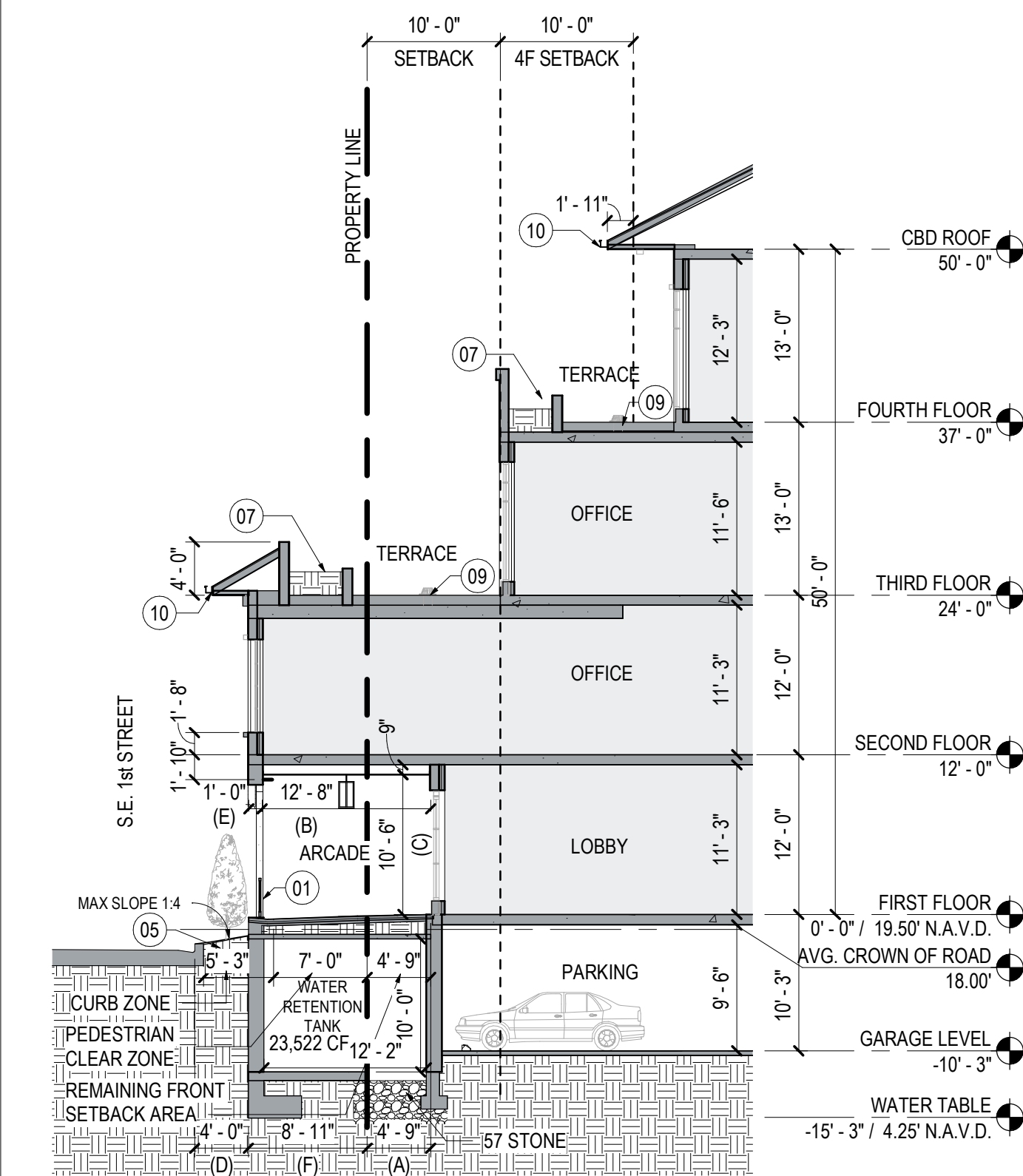
Lic. No. AA0002837
Main Office
1700 Broadway
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New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
545 NW 26th Street
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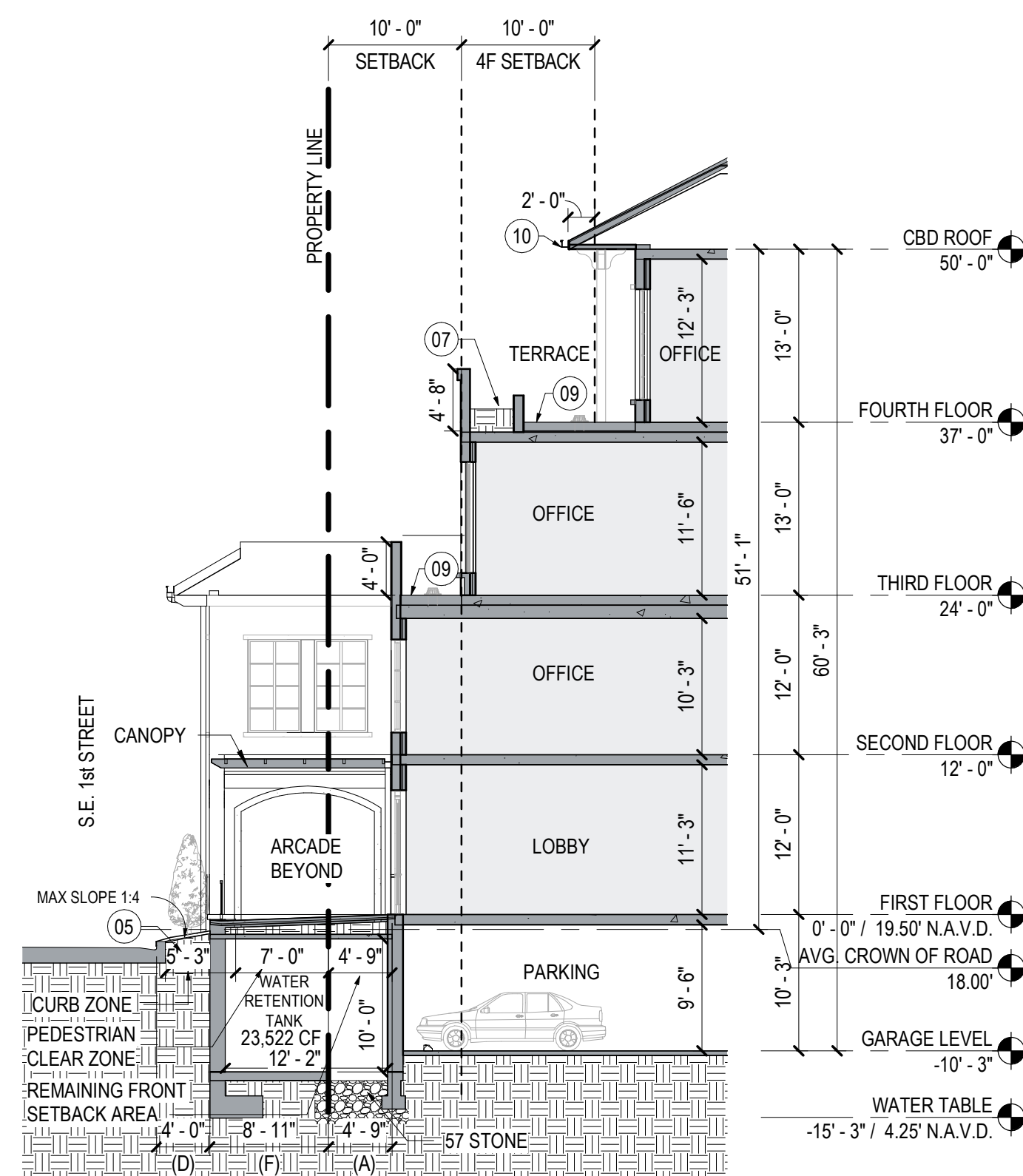
Date	Description
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3 06/07/2023	SITE MODIFICATION RESUBMISSION
4 09/15/2023	SITE MODIFICATION RESUBMISSION



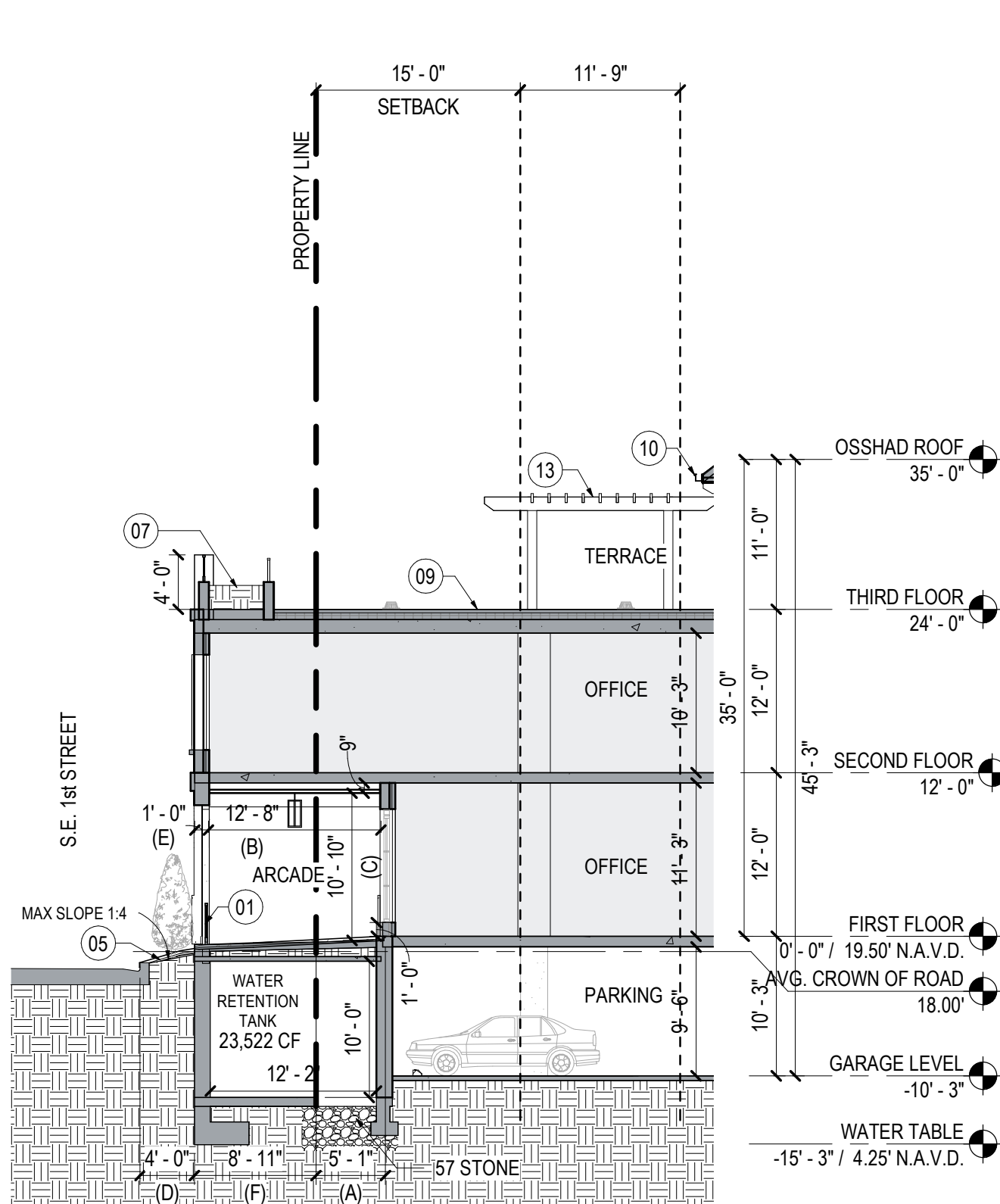
01 BLOCK 70 - EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



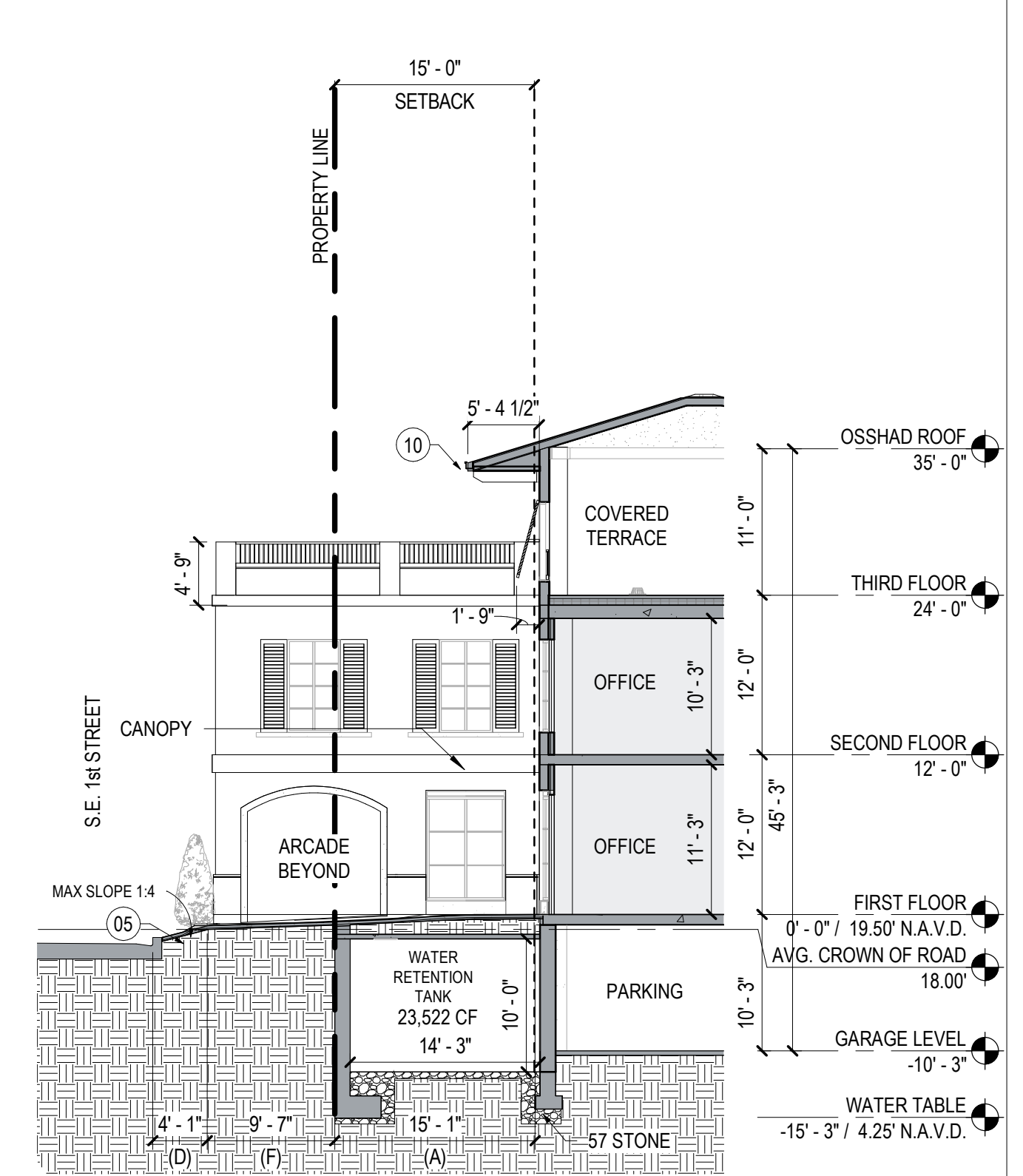
05 STREETSCAPE STUDY - SE 1st STREET (D)
SCALE: 3/32" = 1'-0"



04 STREETSCAPE STUDY - SE 1st STREET (C)
SCALE: 3/32" = 1'-0"



03 STREETSCAPE STUDY - SE 1st STREET (B)
SCALE: 3/32" = 1'-0"



02 STREETSCAPE STUDY - SE 1st STREET (A)
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 LINE OF CANOPY / AWNING ABOVE
- 04 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 06 EXTERIOR STAIR TO GROUND FLOOR BELOW
- 07 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 08 BIKE PARKING
- 09 CONCRETE PAVERS ON PEDESTAL SYSTEM
- 10 6"x6" GUTTER
- 11 SOLAR PANELS
- 13 TRELLIS
- 14 MECHANICAL SCREEN
- 15 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN
- 16 ENCLOSED OPENING
- 17 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT

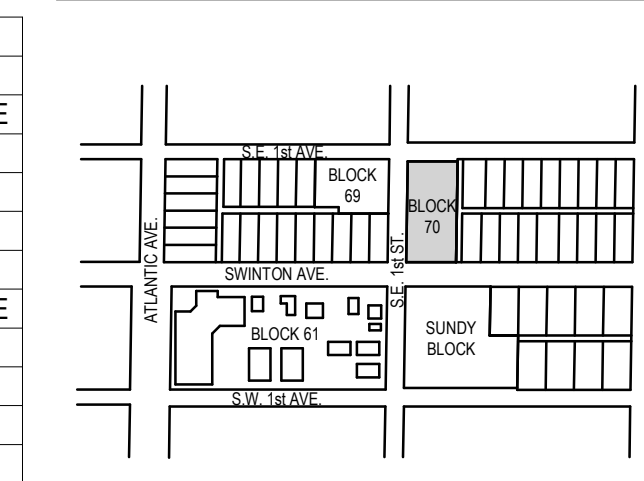
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOULDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - OVERALL BUILDING ELEVATION - NORTH

Scale
As indicated

A2.01

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

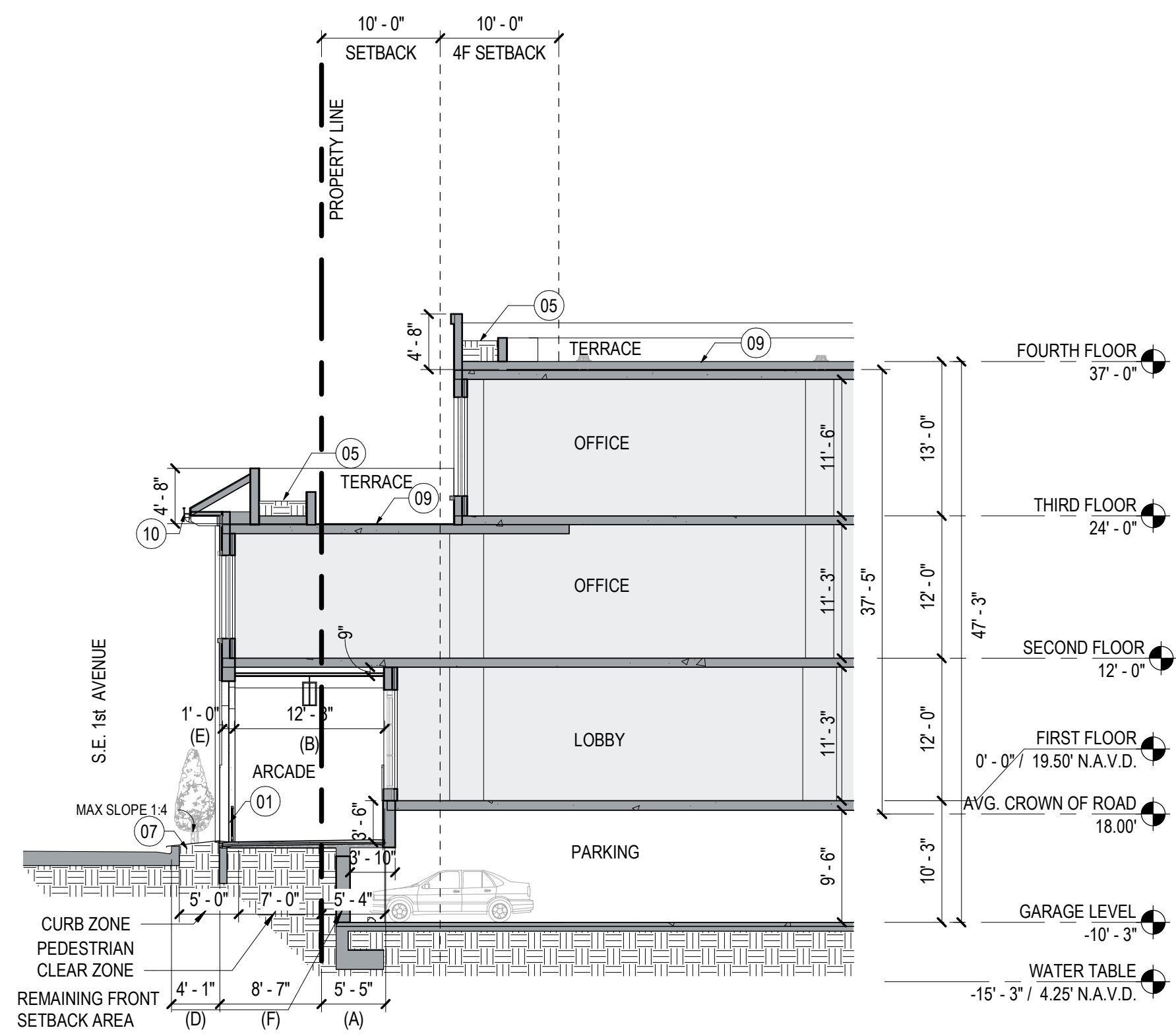
Satellite Office:
545 NW 26th Street
Suite 250
Miami, FL 33127
United States
Tel 305.350.7070
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Date	Description
1 08/17/2022	SITE MODIFICATION
2 10/21/2022	SITE MODIFICATION RESUBMISSION
3 06/07/2023	SITE MODIFICATION RESUBMISSION
4 09/15/2023	SITE MODIFICATION RESUBMISSION

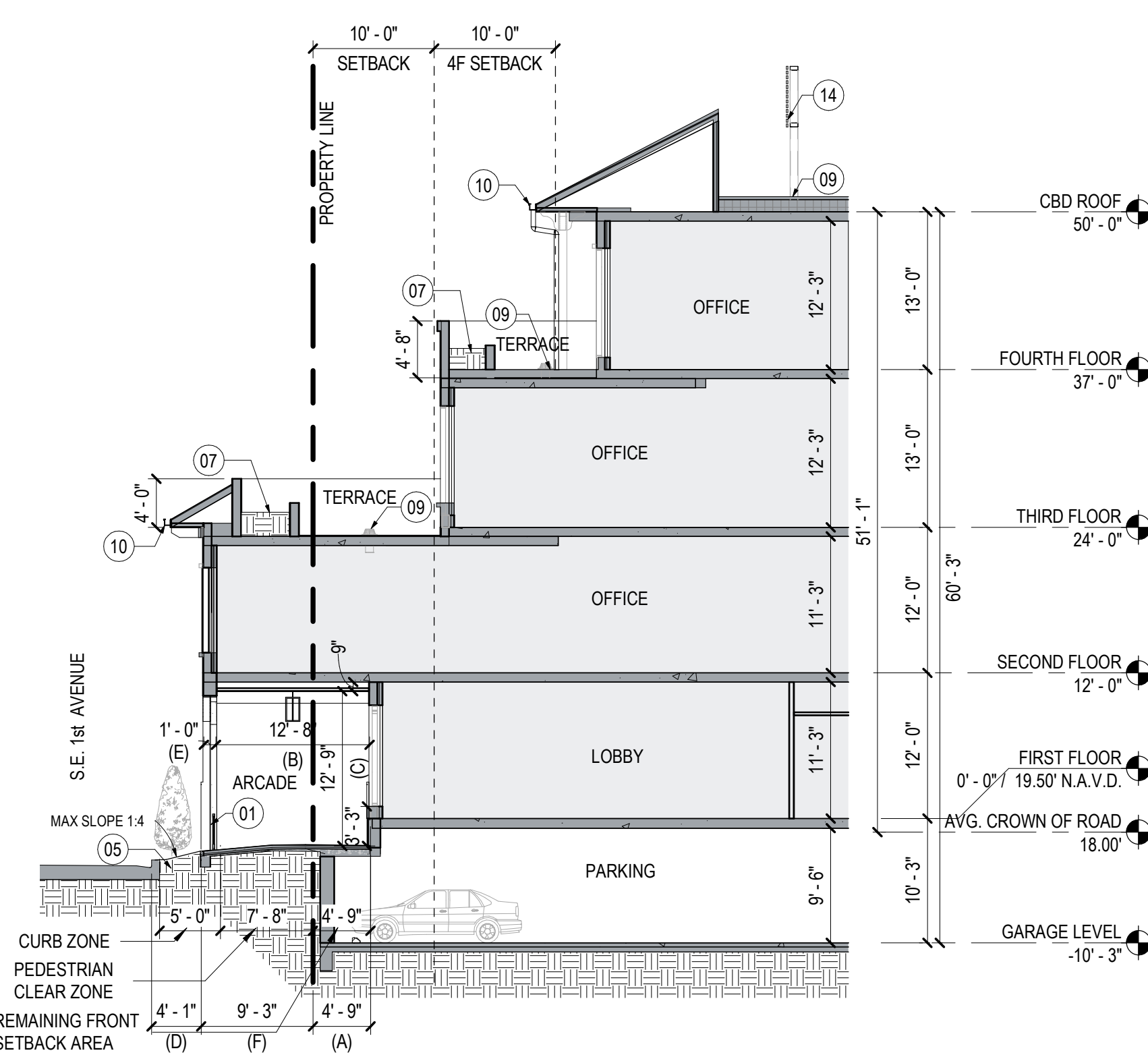


04 BLOCK 70 - EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"

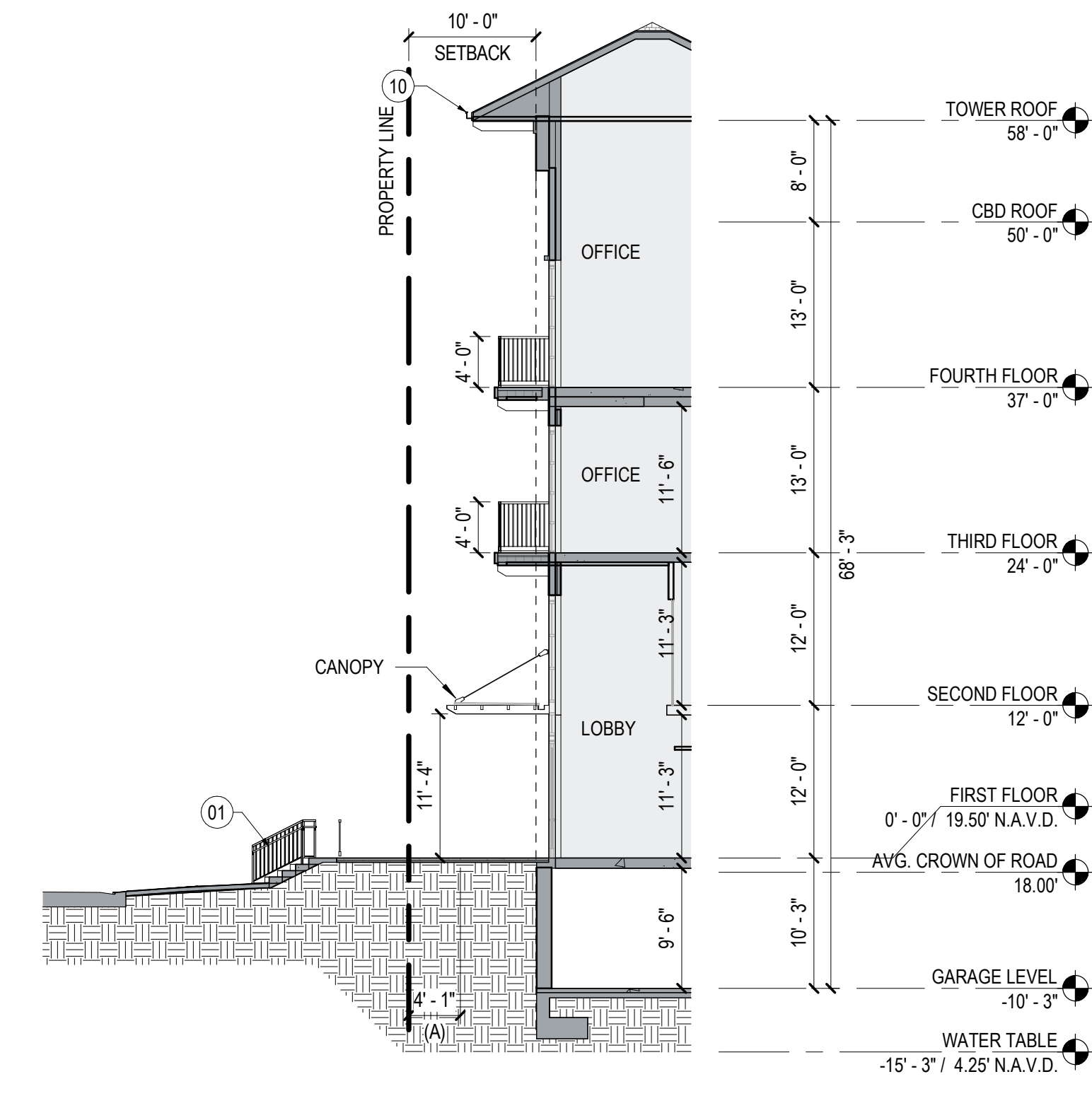
01 BLOCK 70 - EXTERIOR ELEVATION - NE TOWER
SCALE: 3/32" = 1'-0"



05 SECTION - SE 1st AVENUE (B)
SCALE: 3/32" = 1'-0"



03 SECTION - SE 1st AVENUE (A)
SCALE: 3/32" = 1'-0"



02 SECTION - NE TOWER
SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
| 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL | 09 CONCRETE PAVERS ON PEDESTAL SYSTEM |
| 02 SECURITY GATE, CLOSED AFTER HOURS | 10 6"x6" GUTTER |
| 03 LINE OF CANOPY / AWNING ABOVE | 11 SOLAR PANELS |
| 04 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS | 12 TRELIS |
| 05 EXTERIOR STAIR TO GROUND FLOOR BELOW | 13 MECHANICAL SCREEN |
| 06 PLANTING BED, SEE LANDSCAPE DRAWINGS | 14 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN |
| 07 BIKE PARKING | 15 ENCLOSED OPENING |
| | 16 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT |

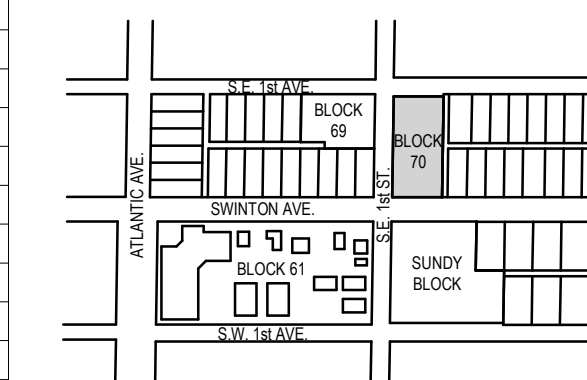
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOULDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCB, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

BLOCK 70 - OVERALL BUILDING ELEVATION - EAST AND CORNER

Scale

As indicated

A2.02

SUNDY VILLAGE WEST, LLC

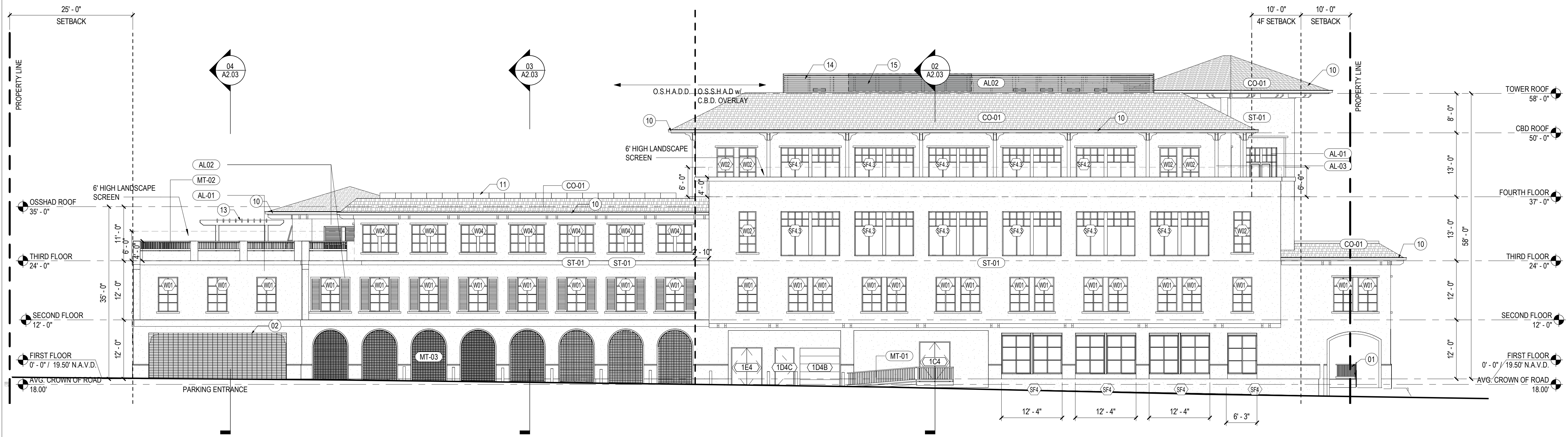
100 SE 1st AVENUE
DELRAY BEACH, FL 33444

GenSler

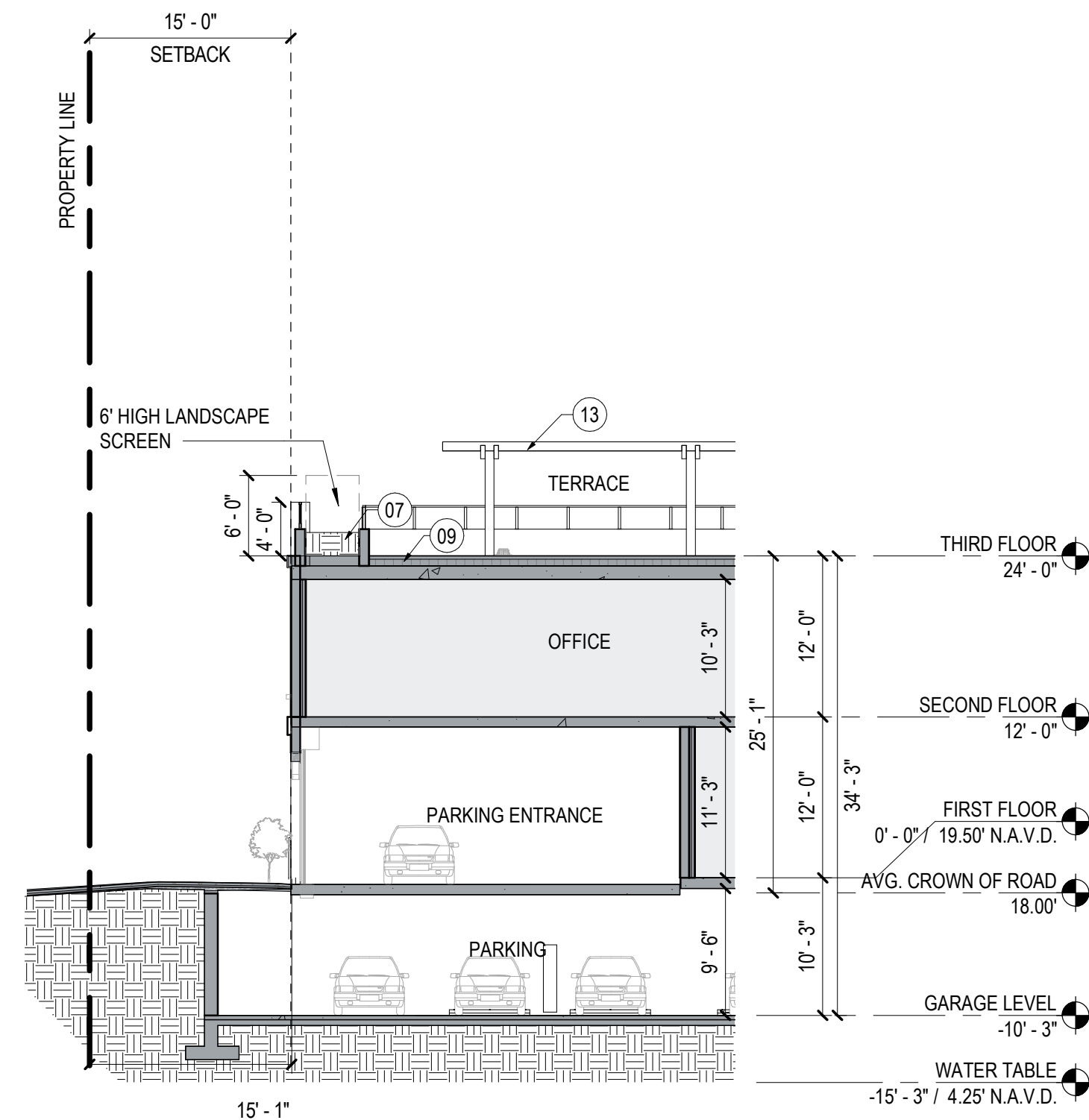
Lic. No. AA0002837
Main Office
1700 Broadway
Suite 400
New York, NY 10019
United States
Tel 212.492.1400
Fax 212.492.1472

Satellite Office:
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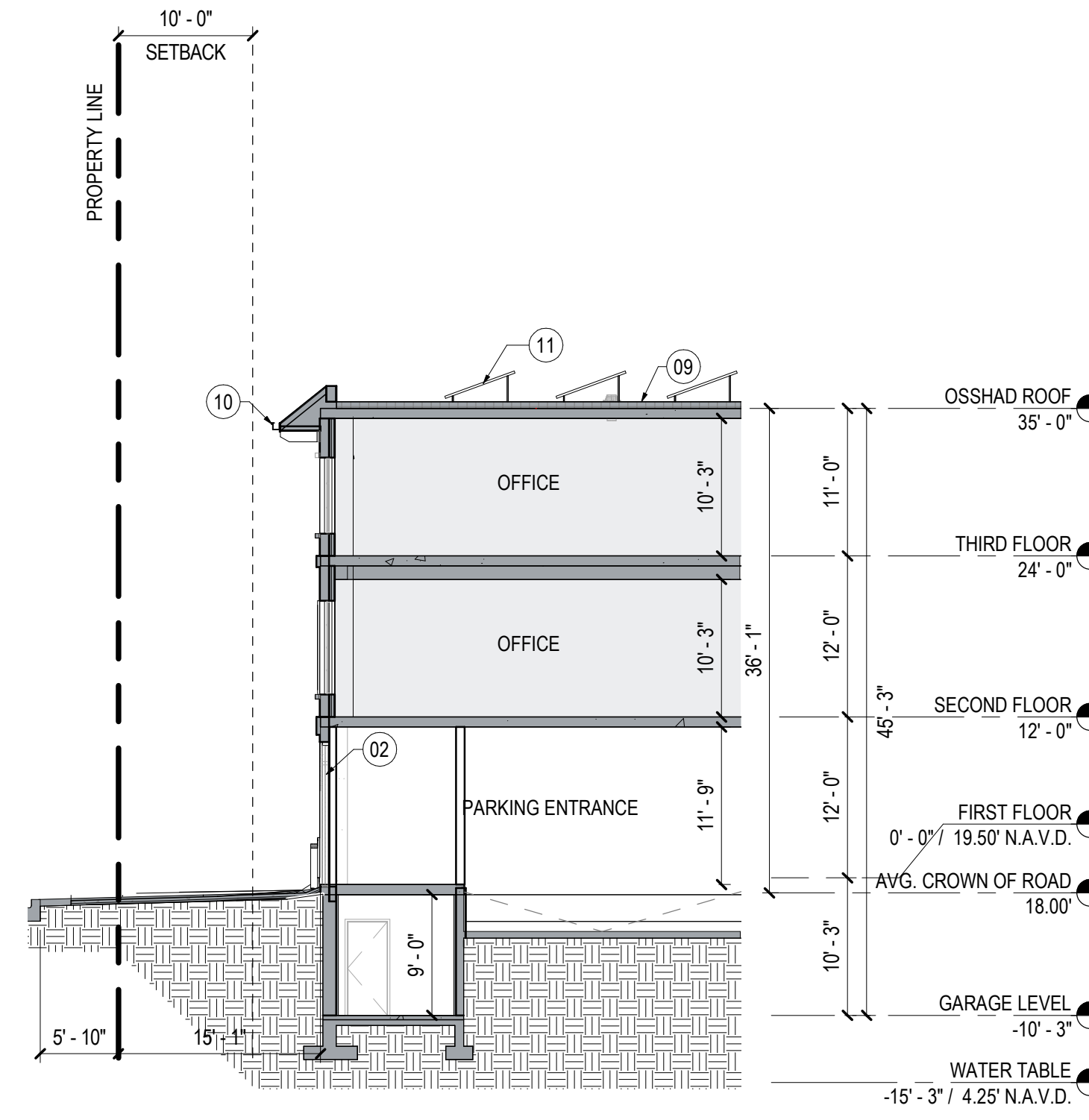
Date	Description
08/17/2022	SITE MODIFICATION
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09/15/2023	SITE MODIFICATION RESUBMISSION



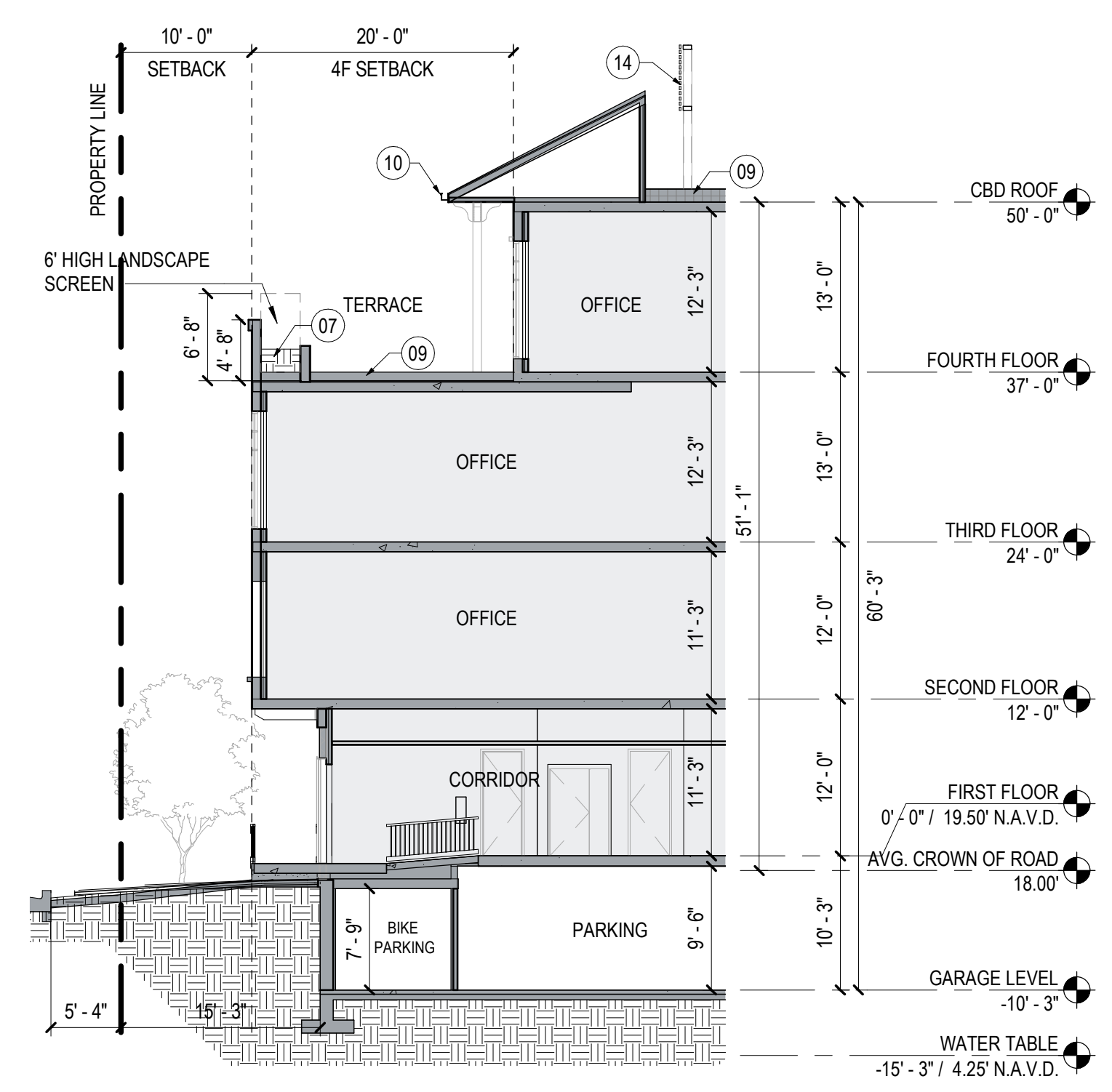
01 BLOCK 70 - EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



04 STREETSCAPE STUDY - SOUTH ALLEY (C)
SCALE: 3/32" = 1'-0"



03 STREETSCAPE STUDY - SOUTH ALLEY (B)
SCALE: 3/32" = 1'-0"



02 STREETSCAPE STUDY - SOUTH ALLEY (A)
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 03 LINE OF CANOPY / AWNING ABOVE
- 04 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 05 EXTERIOR STAIR TO GROUND FLOOR BELOW
- 06 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 07 BIKE PARKING

- 08 CONCRETE PAVERS ON PEDESTAL SYSTEM
- 09 6"x6" GUTTER
- 10 SOLAR PANELS
- 11 TRELLIS
- 12 MECHANICAL SCREEN
- 13 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN
- 14 ENCLOSED OPENING
- 15 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT

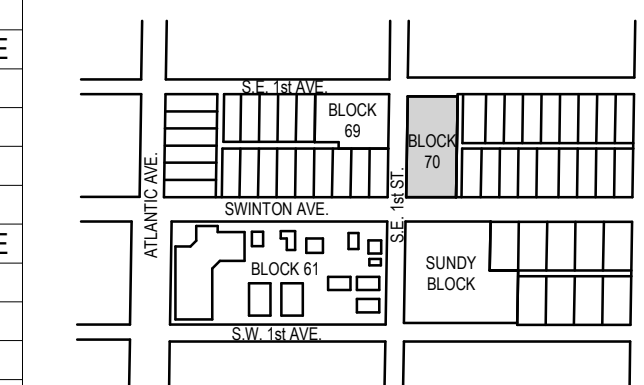
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800
Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

BLOCK 70 - OVERALL BUILDING ELEVATIONS - SOUTH

Scale

As indicated

A2.03

SUNDY VILLAGE WEST, LLC

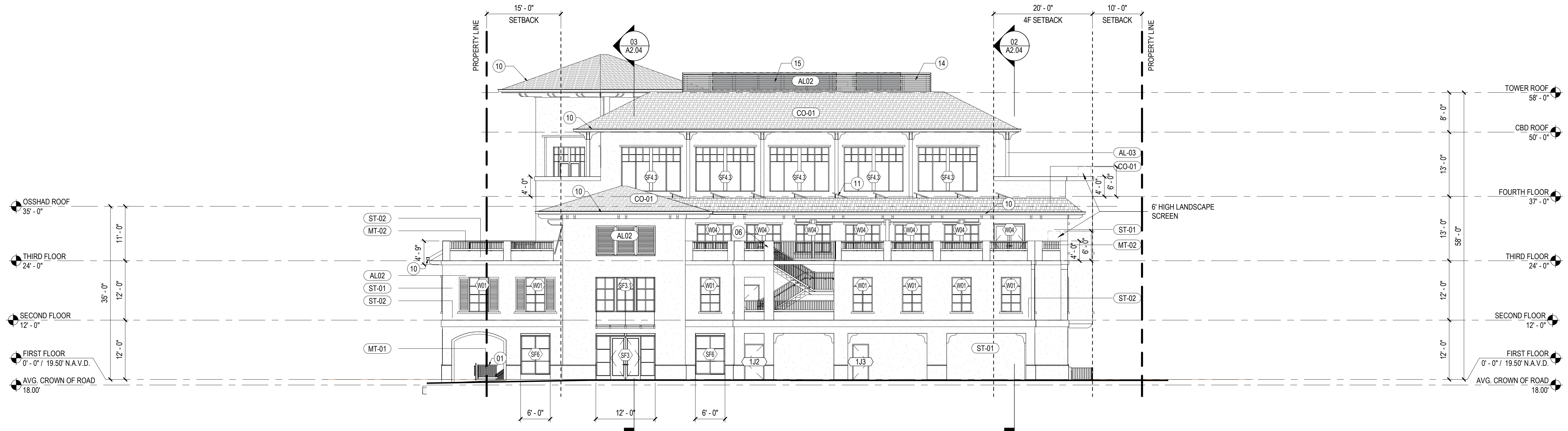
100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

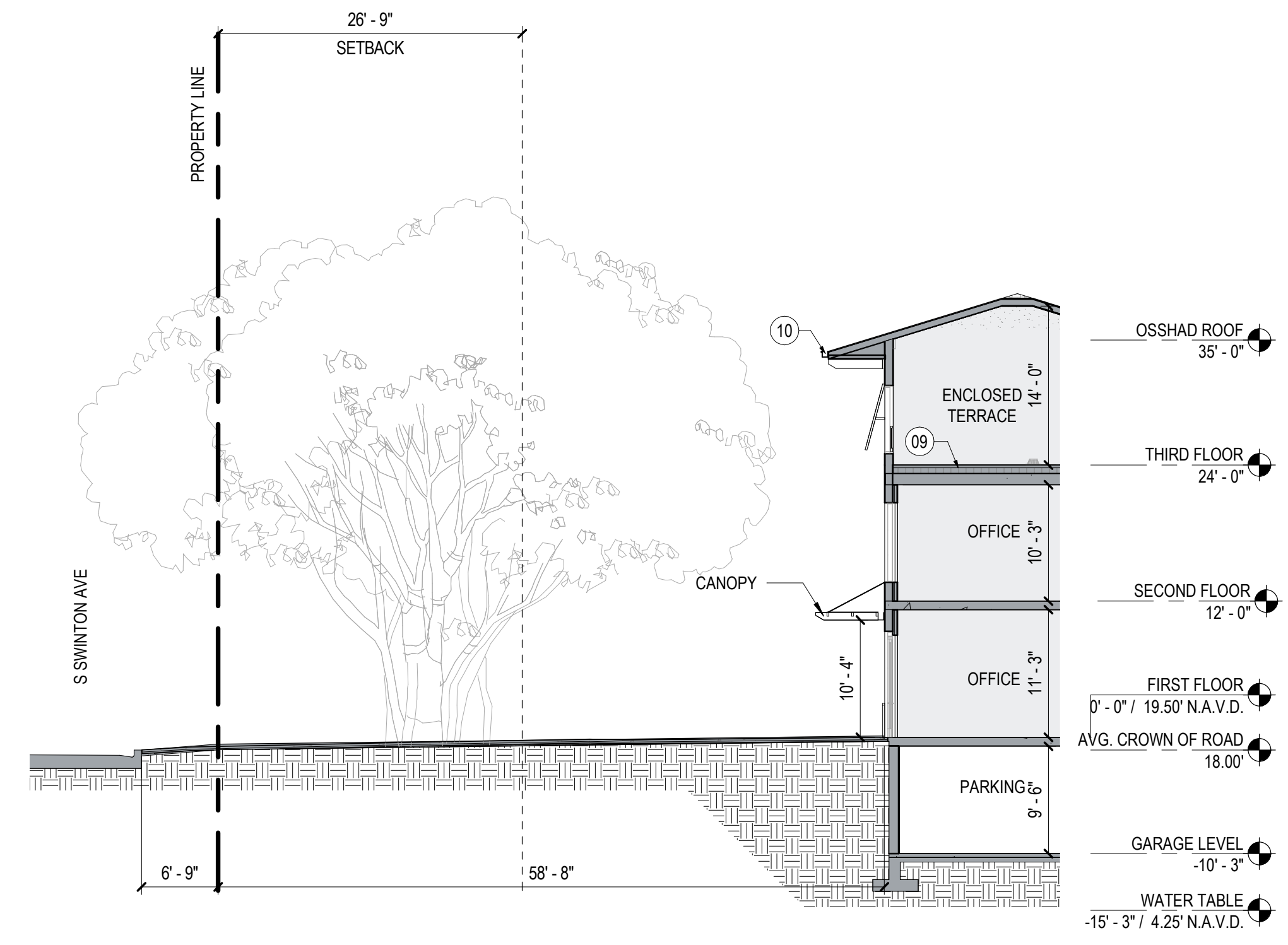
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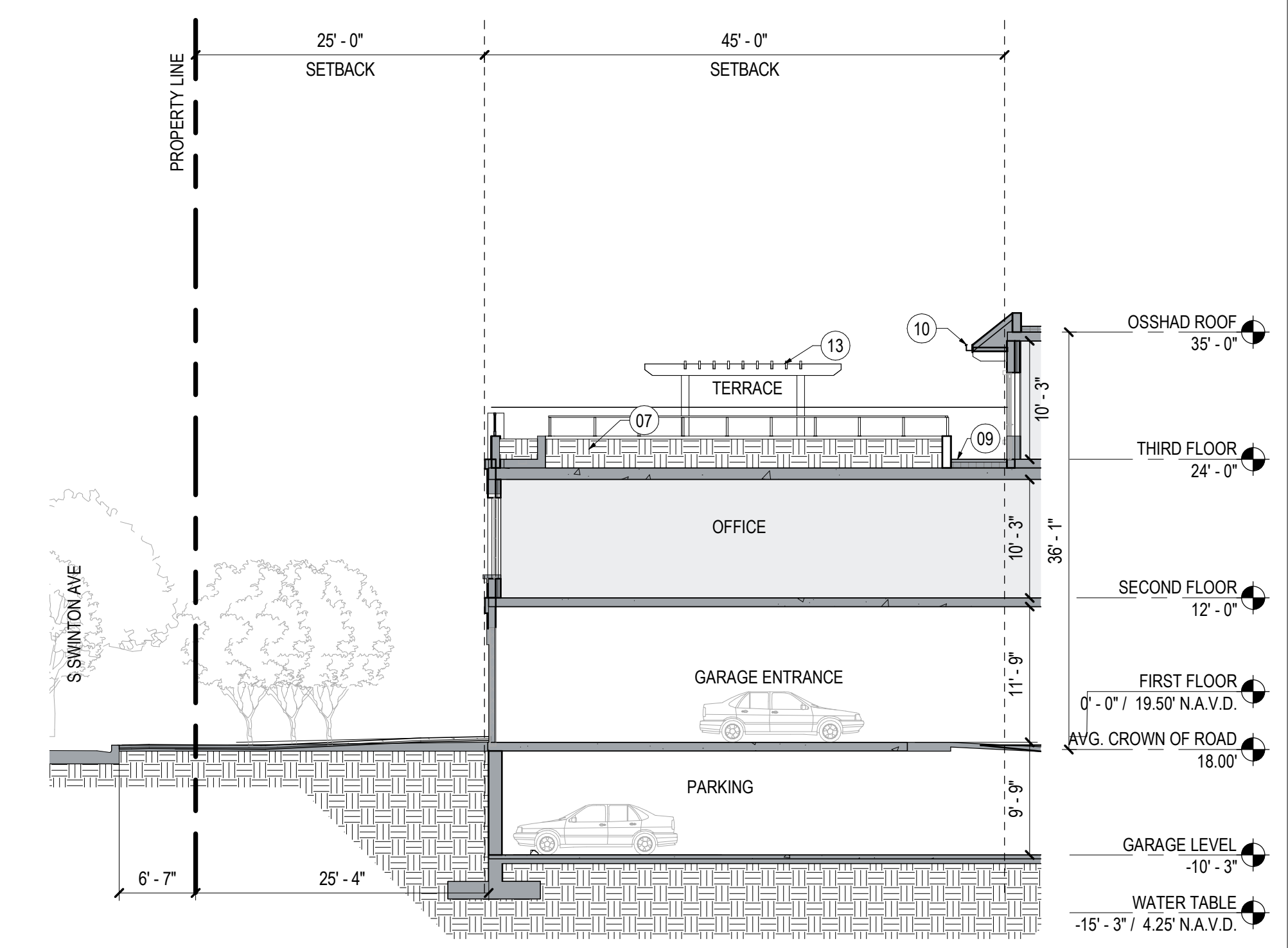
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06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION



01 BLOCK 70 - EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"



03 STREETSCAPE STUDY - SWINTON AVENUE PLAZA (B)
SCALE: 3/32" = 1'-0"



02 STREETSCAPE STUDY - SWINTON AVENUE PLAZA (A)
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 04 LINE OF CANOPY / AWNING ABOVE
- 05 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS
- 06 EXTERIOR STAIR TO GROUND FLOOR BELOW
- 07 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 08 BIKE PARKING
- 09 CONCRETE PAVERS ON PEDESTAL SYSTEM
- 10 6"x6" GUTTER
- 11 SOLAR PANELS
- 13 TRELLIS
- 14 MECHANICAL SCREEN
- 15 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN
- 16 ENCLOSED OPENING
- 17 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT

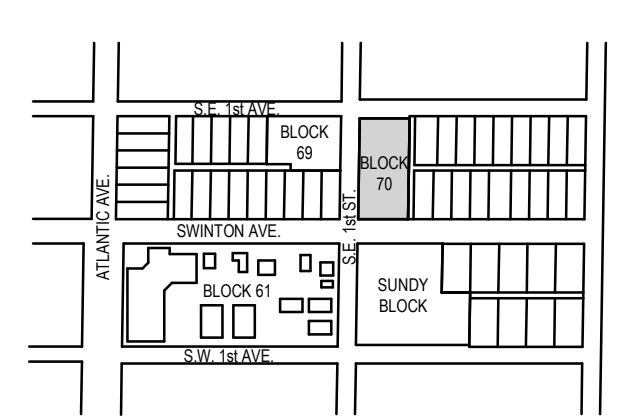
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOULDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - OVERALL BUILDING ELEVATIONS - WEST

Scale
As indicated

A2.04

SUNDY VILLAGE WEST, LLC

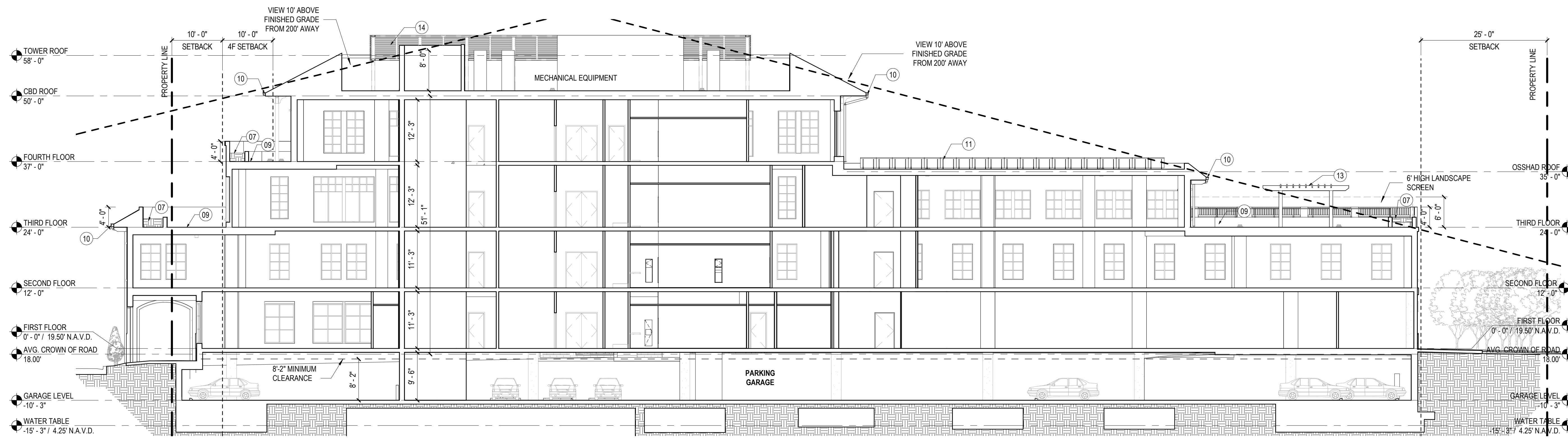
100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

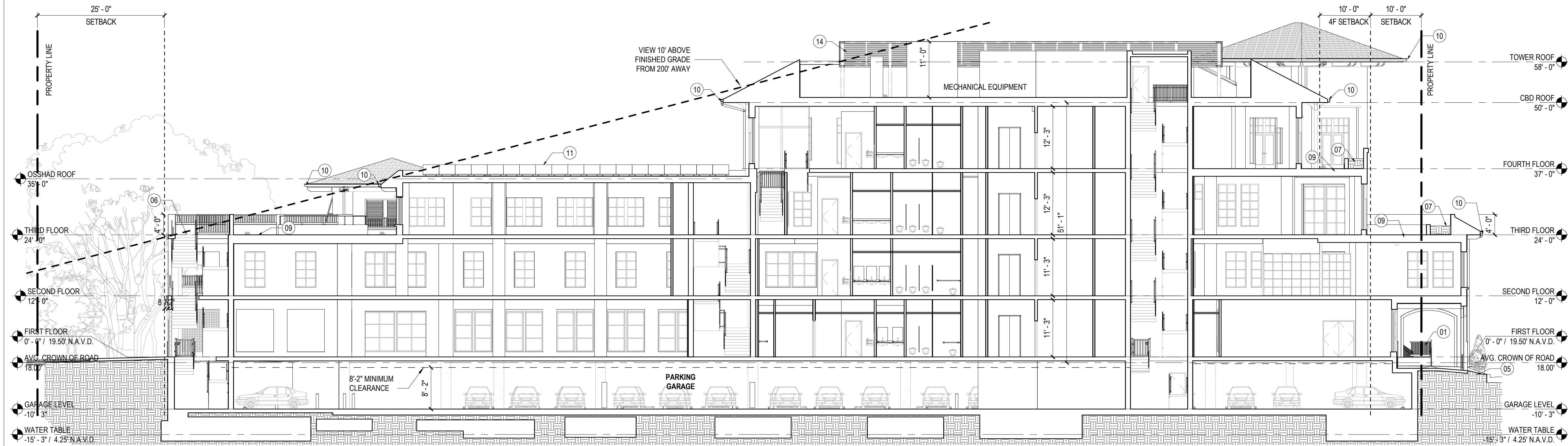
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Fax 212.492.1472

Satellite Office:
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United States
Tel 305.350.7070
Fax 305.350.7071

Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION



01 BUILDING SECTION - A-A
SCALE: 3/32" = 1'-0"



02 BUILDING SECTION - B-B
SCALE: 3/32" = 1'-0"

SHEET NOTES

- | | |
|---|---|
| 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL | 09 CONCRETE PAVERS ON PEDESTAL SYSTEM |
| 02 SECURITY GATE, CLOSED AFTER HOURS | 10 6"x6" GUTTER |
| 04 LINE OF CANOPY / AWNING ABOVE | 11 SOLAR PANELS |
| 05 AT GRADE PLANTING, SEE LANDSCAPE DRAWINGS | 13 TRELLIS |
| 06 EXTERIOR STAIR TO GROUND FLOOR BELOW | 14 MECHANICAL SCREEN |
| 07 PLANTING BED, SEE LANDSCAPE DRAWINGS | 15 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN |
| 08 BIKE PARKING | 16 ENCLOSED OPENING |
| | 17 SETBACK VARIANCE REQUEST TO PERMIT ARCADE COLUMNS TO BE 4 FT FROM CURB WITHIN THE OSSHAD ZONING DISTRICT |

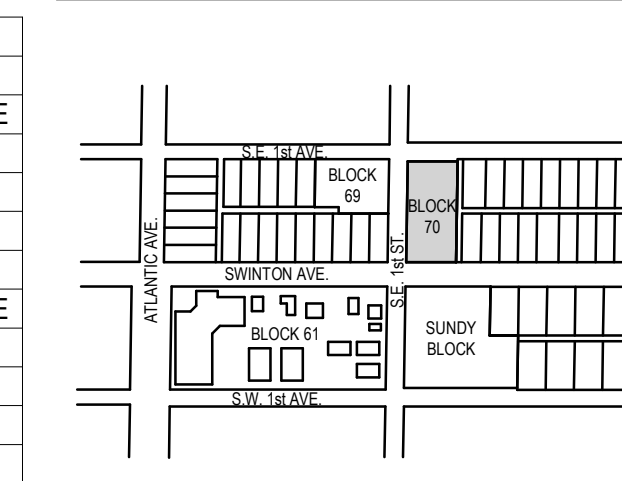
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL02 SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01 WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03 COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01 ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL01 CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02 CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01 RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02 RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03 4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01 MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02 TRIM, CORNICE, MOULDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCBAB, REG. FL. NO AR97800

Project Name

SUNDY VILLAGE - BLOCK 70

Project Number

06.3292.200

Description

BLOCK 70 - BUILDING SECTIONS

Scale

As indicated

A3.01

SUNDY VILLAGE WEST, LLC

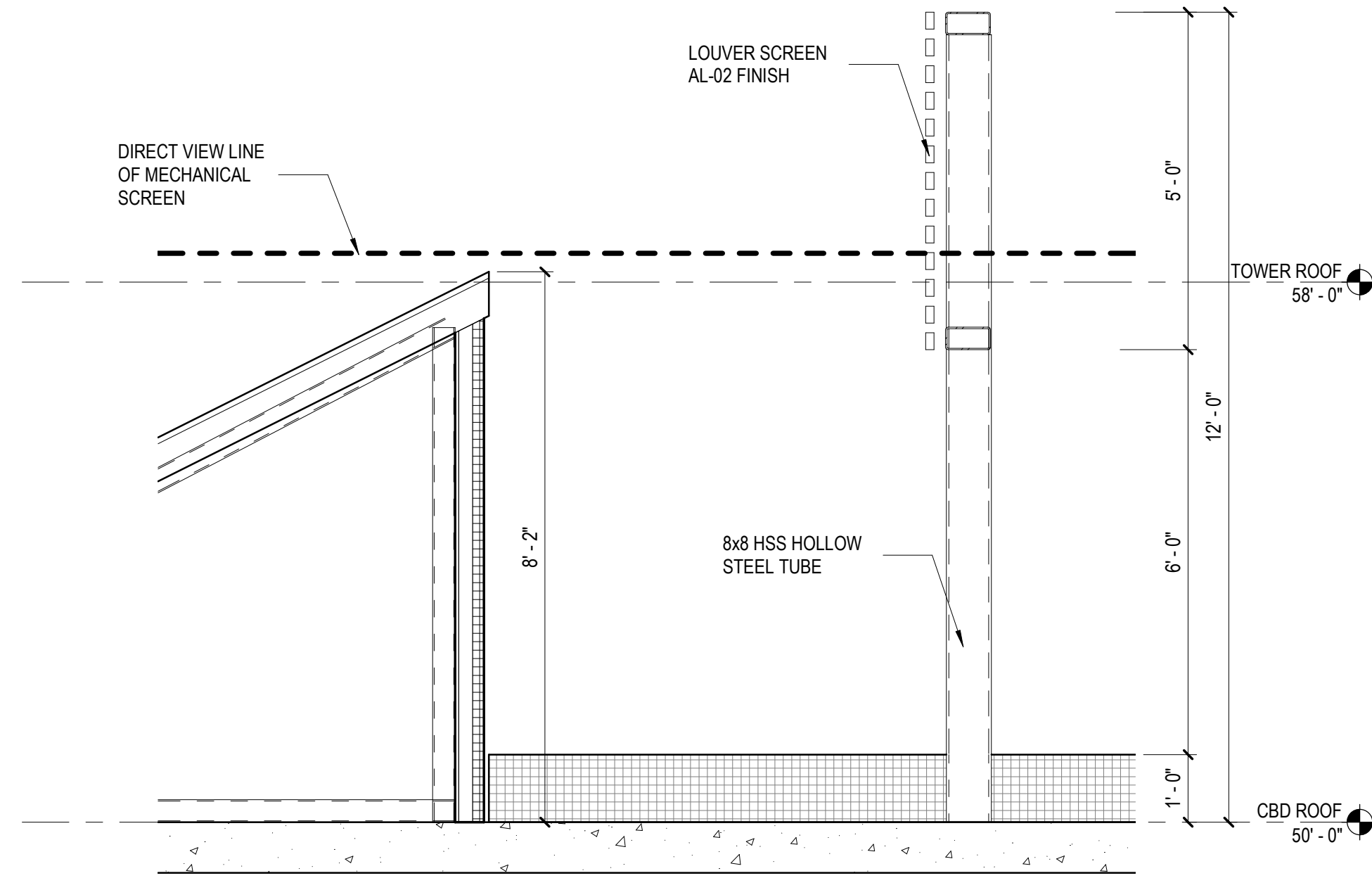
100 SE 1st AVENUE
DELRAY BEACH, FL 33444

Genster

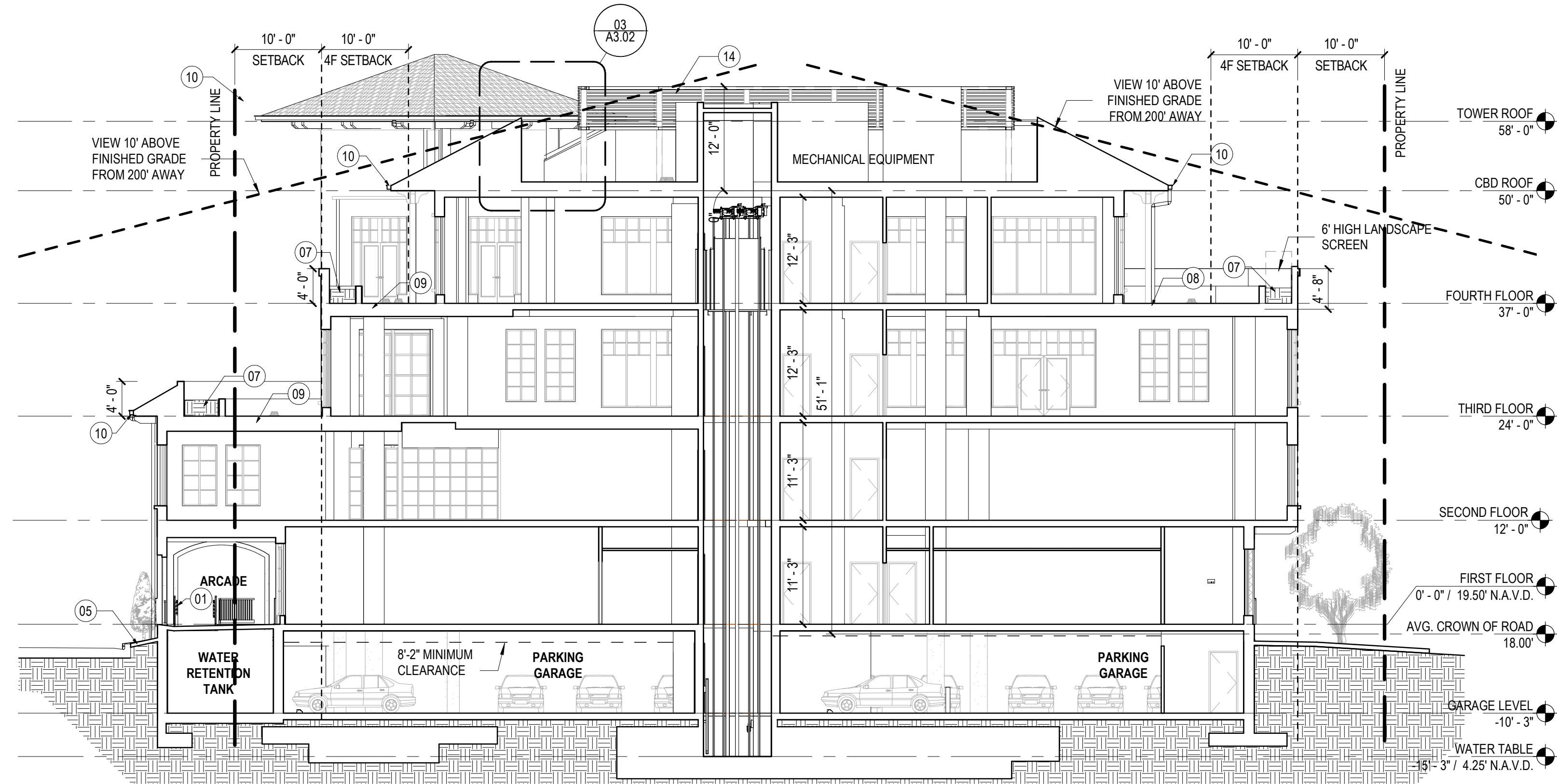
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Satellite Office:
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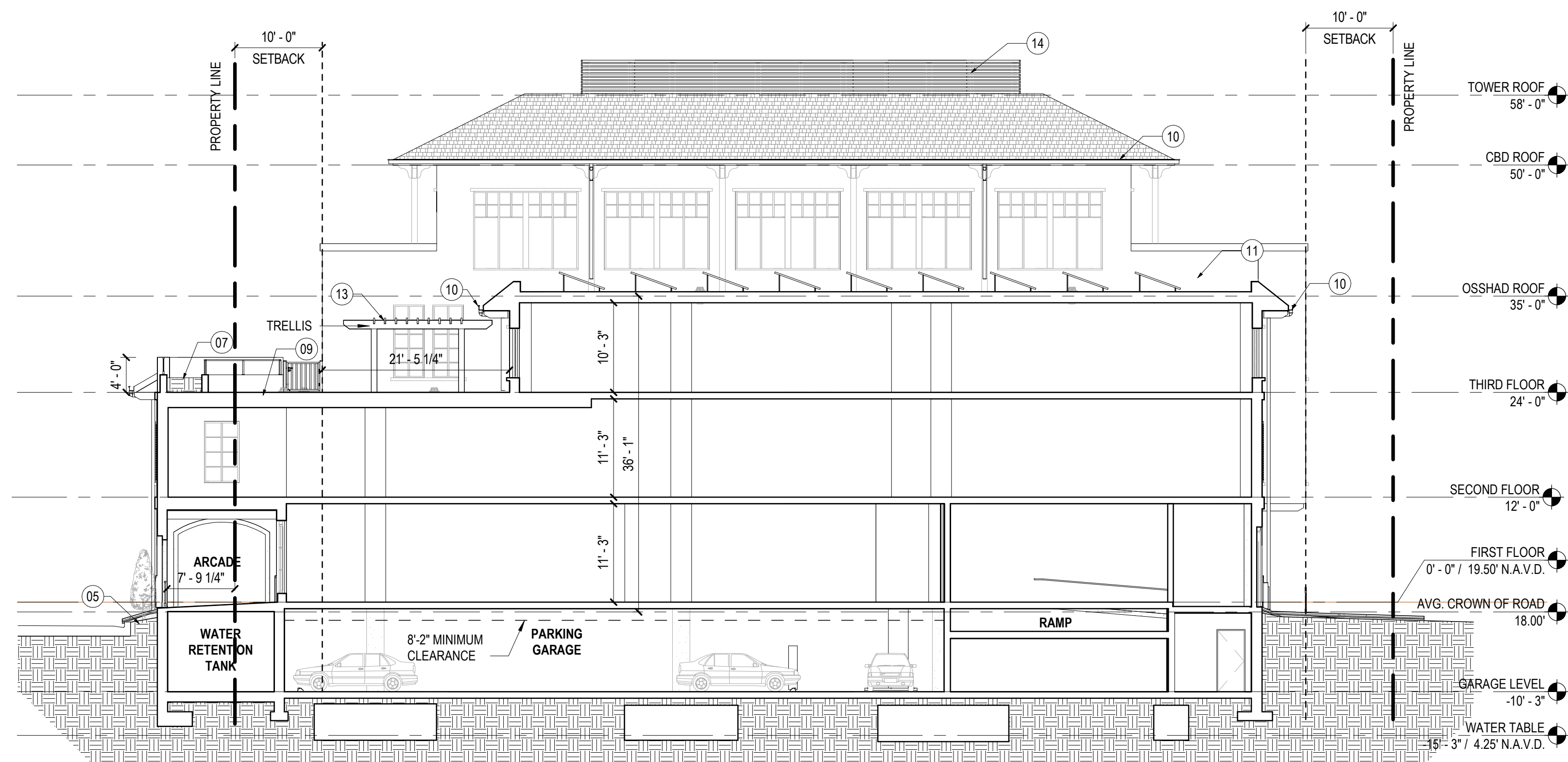
Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION



03 SECTION DETAIL - MECHANICAL SCREEN
SCALE: 1/2" = 1'-0"



01 BUILDING SECTION - C-C
SCALE: 3/32" = 1'-0"



02 BUILDING SECTION - D-D
SCALE: 3/32" = 1'-0"

SHEET NOTES

- 01 GUARD RAILINGS AT ARCADE OPENINGS ALONG STREET FRONTAGE, TYPICAL
- 02 SECURITY GATE, CLOSED AFTER HOURS
- 04 LINE OF CANOPY / AWNING ABOVE
- 06 EXTERIOR STAIR TO GROUND FLOOR BELOW
- 07 PLANTING BED, SEE LANDSCAPE DRAWINGS
- 08 BIKE PARKING
- 09 CONCRETE PAVERS ON PEDESTAL SYSTEM
- 10 6"x6" GUTTER
- 11 SOLAR PANELS
- 13 TRELLIS
- 14 MECHANICAL SCREEN
- 15 MECHANICAL EQUIPMENT DASHED BEHIND SCREEN
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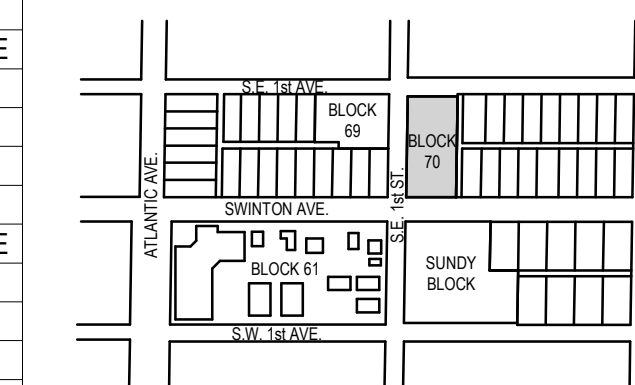
GENERAL NOTES

- A. ALL CORNICES AND MOULDINGS IN "CBD" DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM FACE OF WALL SURFACE.

MATERIALS LEGEND

AL-02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
AL-03	COLUMNS, RAFTERS, AND TRIM: POWDER COATED ALUMINUM	COLOR: SW7537 - IRISH CREAM
CO-01	ROOF: CONCRETE SLATE STYLE TILE	LIGHT GRAY
GL-01	CLEAR LAMINATED GLASS VLT: 0.88, SHGC: 0.76	CLEAR
GL-02	CLEAR LAMINATED GLASS VLT: 0.75, SHGC: 0.45	CLEAR
MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOULDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

KEY PLAN



Seal / Signature

Bryan Alzati, LEED AP, NCB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - BUILDING SECTIONS

Scale
As indicated

A3.02

SUNDY VILLAGE WEST, LLC

100 SE 1st AVENUE
DELRAY BEACH, FL 33444

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Date	Description
08/17/2022	SITE MODIFICATION
10/21/2022	SITE MODIFICATION RESUBMISSION
06/07/2023	SITE MODIFICATION RESUBMISSION
09/15/2023	SITE MODIFICATION RESUBMISSION

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800

Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
BLOCK 70 - CBD STOREFRONT & ARCADE FRONTAGE

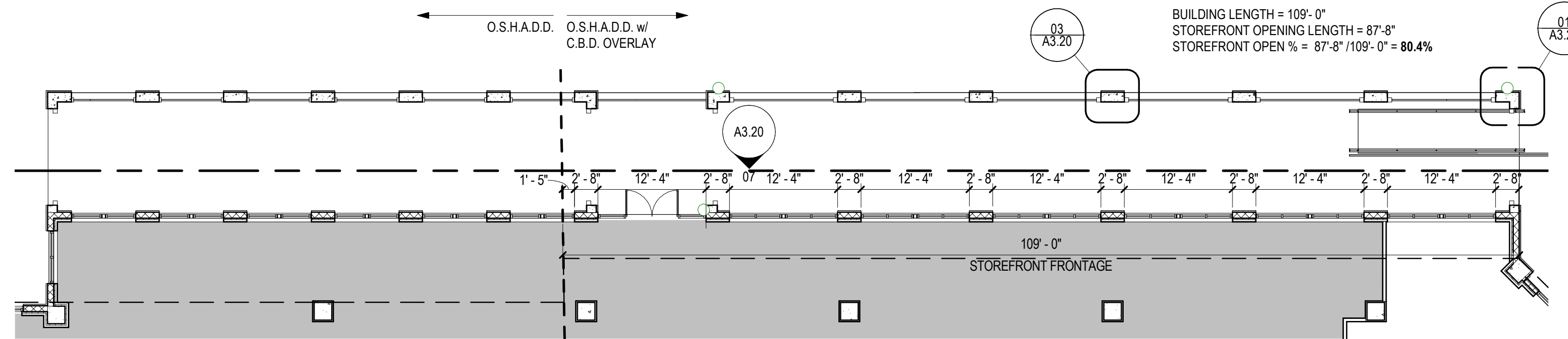
Scale
As indicated

A3.20

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1st ST. STOREFRONT CALCULATION

BUILDING LENGTH = 109'-0"
STOREFRONT OPENING LENGTH = 87'-8"
STOREFRONT OPEN % = 87'-8" / 109'-0" = 80.4%

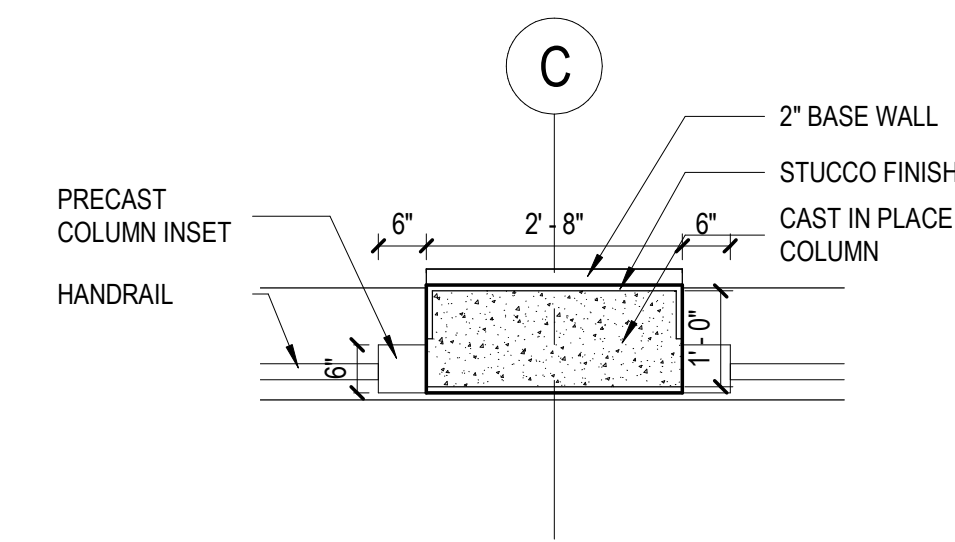


05 PLAN - ARCADE SE 1st ST.

SCALE: 3/32" = 1'-0"

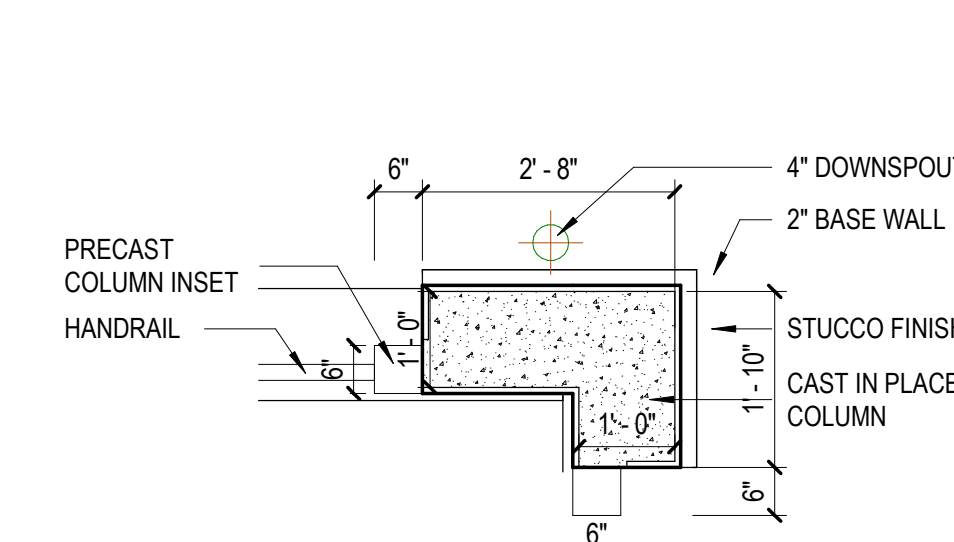
03 ARCADE COLUMN TYP.

SCALE: 1/2" = 1'-0"



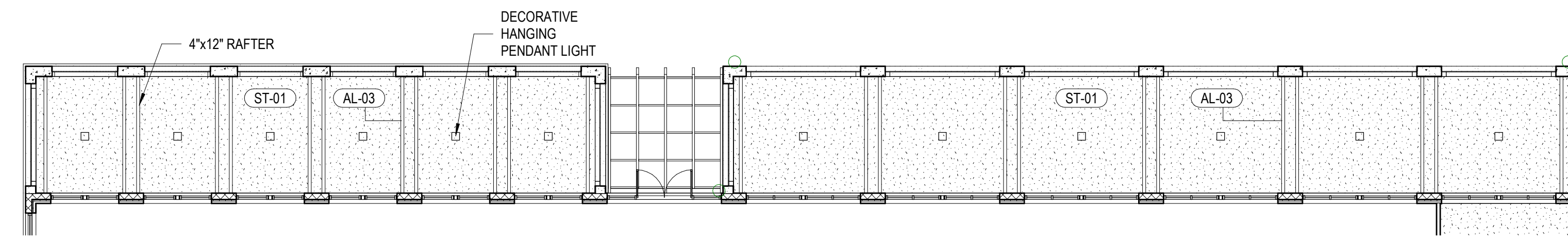
01 ARCADE COLUMN CORNER

SCALE: 1/2" = 1'-0"



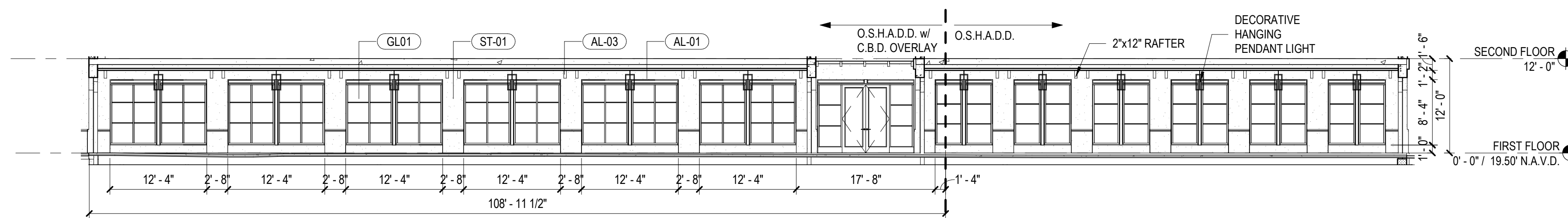
1st AVE. STOREFRONT CALCULATION

BUILDING LENGTH = 93'-0"
STOREFRONT OPENING LENGTH = 74'-0"
STOREFRONT OPEN % = 74'-0" / 93'-0" = 79.6%



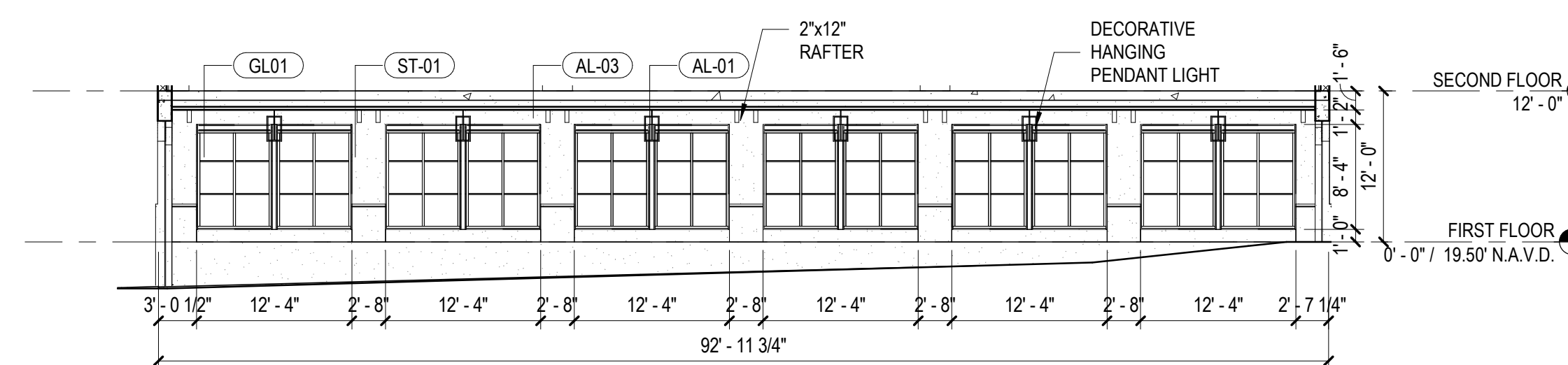
06 RCP - ARCADE SE 1st ST.

SCALE: 3/32" = 1'-0"



07 ELEVATION - ARCADE SE 1st ST.

SCALE: 3/32" = 1'-0"



08 ELEVATION - ARCADE SE 1st AVE.

SCALE: 3/32" = 1'-0"

GENERAL NOTES

SHEET NOTES

04 RCP - ARCADE SE 1st AVE.

SCALE: 3/32" = 1'-0"

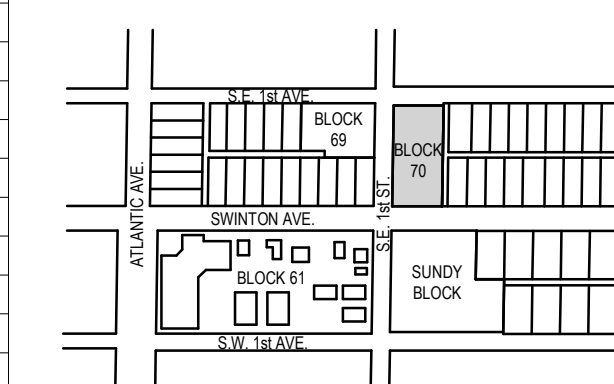
MATERIALS LEGEND

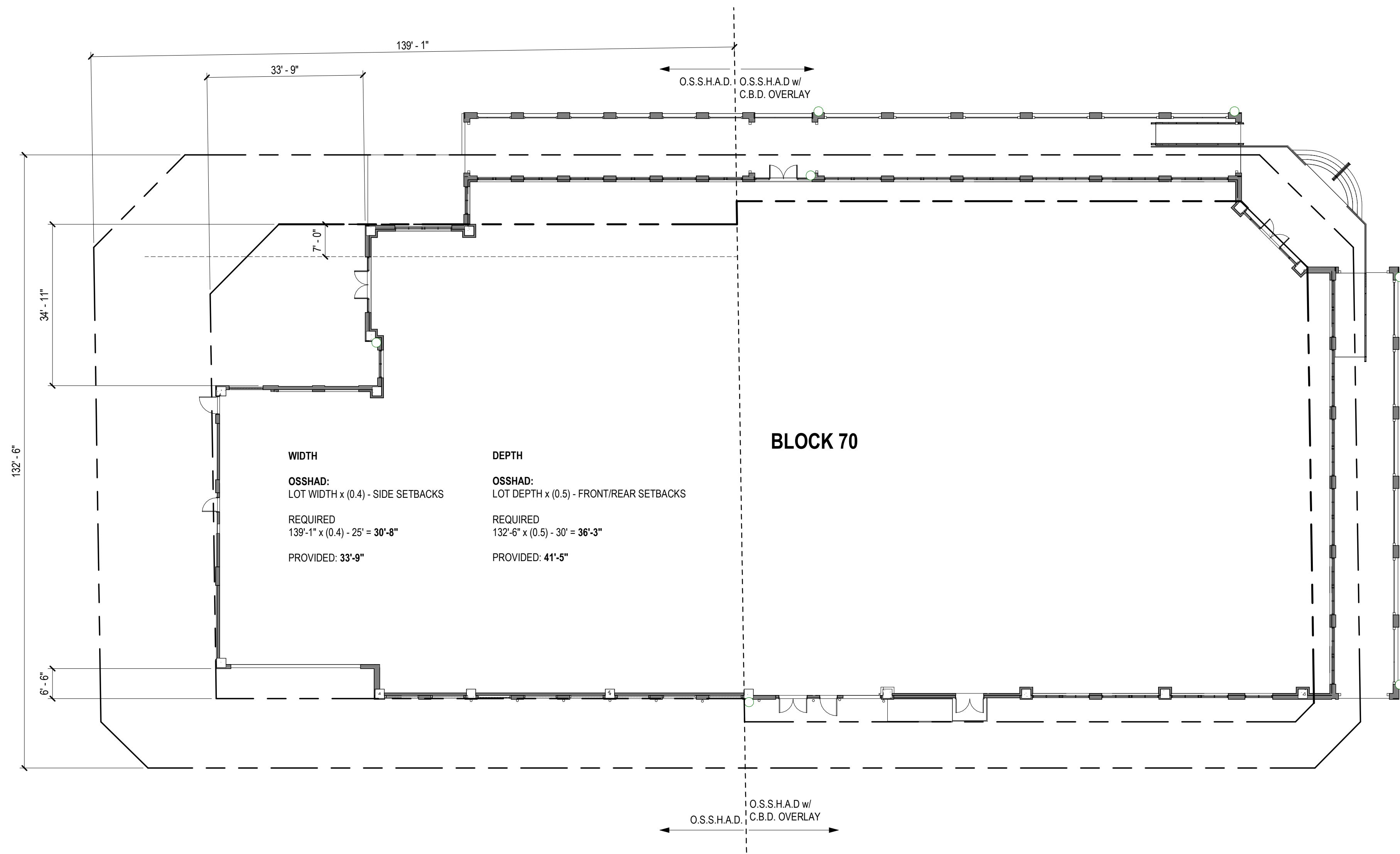
AL-02	SHUTTERS, MECHANICAL SCREEN: POWDER COATED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
AL-01	WINDOW & DOOR FRAMES: POWDER COATED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
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MT-01	RAILING: PAINTED ALUMINUM	COLOR: SW7055 - ENDURING BRONZE
MT-02	RAILING: PAINTED ALUMINUM	COLOR: SW7102 - WHITE FLOUR
MT-03	4"x4" WIRE MESH	COLOR: SW6258 - TRICORN BLACK
ST-01	MAIN WALLS: STUCCO	COLOR: SW7102 - WHITE FLOUR
ST-02	TRIM, CORNICE, MOLDINGS: STUCCO	COLOR: SW7102 - WHITE FLOUR

02 PLAN - ARCADE SE 1st AVENUE

SCALE: 3/32" = 1'-0"

KEY PLAN





1 BLOCK 70 - BUILDING SCALE DIAGRAM
SCALE: 1/16" = 1'-0"

SHEET NOTES

GENERAL NOTES

KEY PLAN

SUNDY VILLAGE WEST, LLC
100 SE 1st AVENUE
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Date	Description
------	-------------

Seal / Signature

Bryan Alzati, LEED AP, NCARB, REG. FL. NO AR97800
Project Name
SUNDY VILLAGE - BLOCK 70

Project Number
06.3292.200

Description
SCALE OF BUILDING DIAGRAM

Scale
1/16" = 1'-0"

A3.30