



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Spice Office Building

Project Location: 325-343 NE 5th Avenue

Request: Class V Site Plan

Board: Site Plan Review and Appearance Board

Meeting Date: September 23, 2020

Board Action:

Approved (6-0) the Class V Plan

Project Description:

The subject property is a 0.43-acre site comprised of portions of Lots 18, 19, and 20 of Block 105 of the Highland Park Subdivision. the Benjamins Subdivision and Town of Delray Subdivision. The property is zoned Central Business District (CBD) within the Central Core Sub-District and has a Future Land Use Map designation of Commercial Core (CC). The property contains two buildings that were built in 1940 and 1965. These will be demolished as part of the development proposal.

The proposed project is a Class V Site Plan proposal to demolish the existing buildings on the property and construct a two-story 9,975 square foot office building. It includes the construction of a parking lot along the east side of the property with a one-way driveway from NE 5th Avenue and the alley. A 5-foot high fence will be constructed around the parking lot.

Board Comments:

The Board member's comments were supportive.

Public Comments:

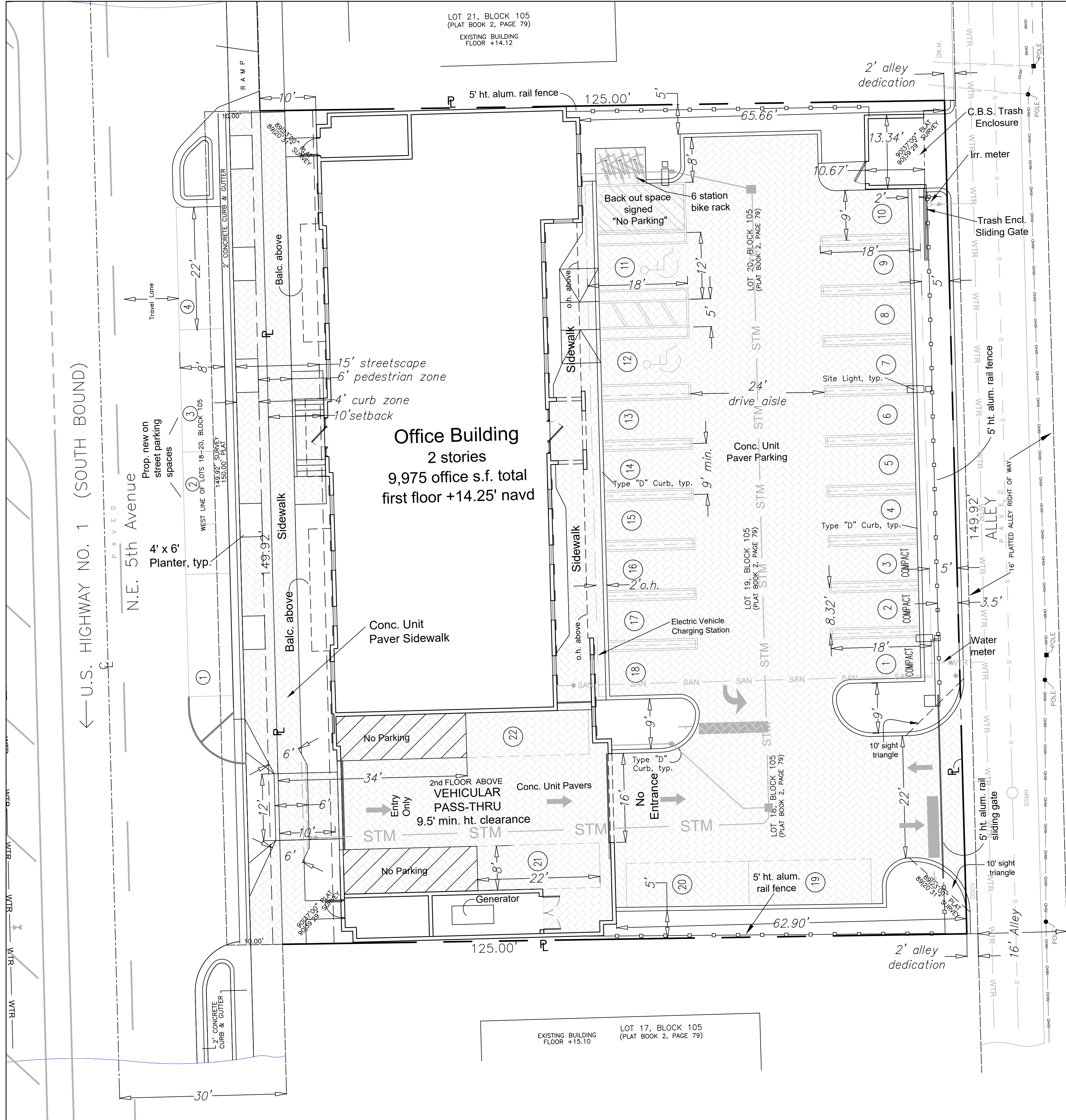
None

Associated Actions:

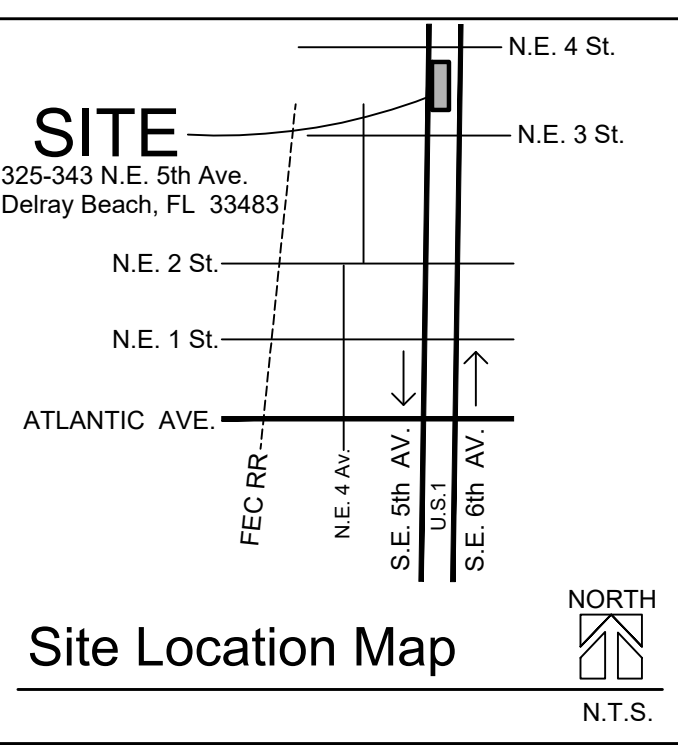
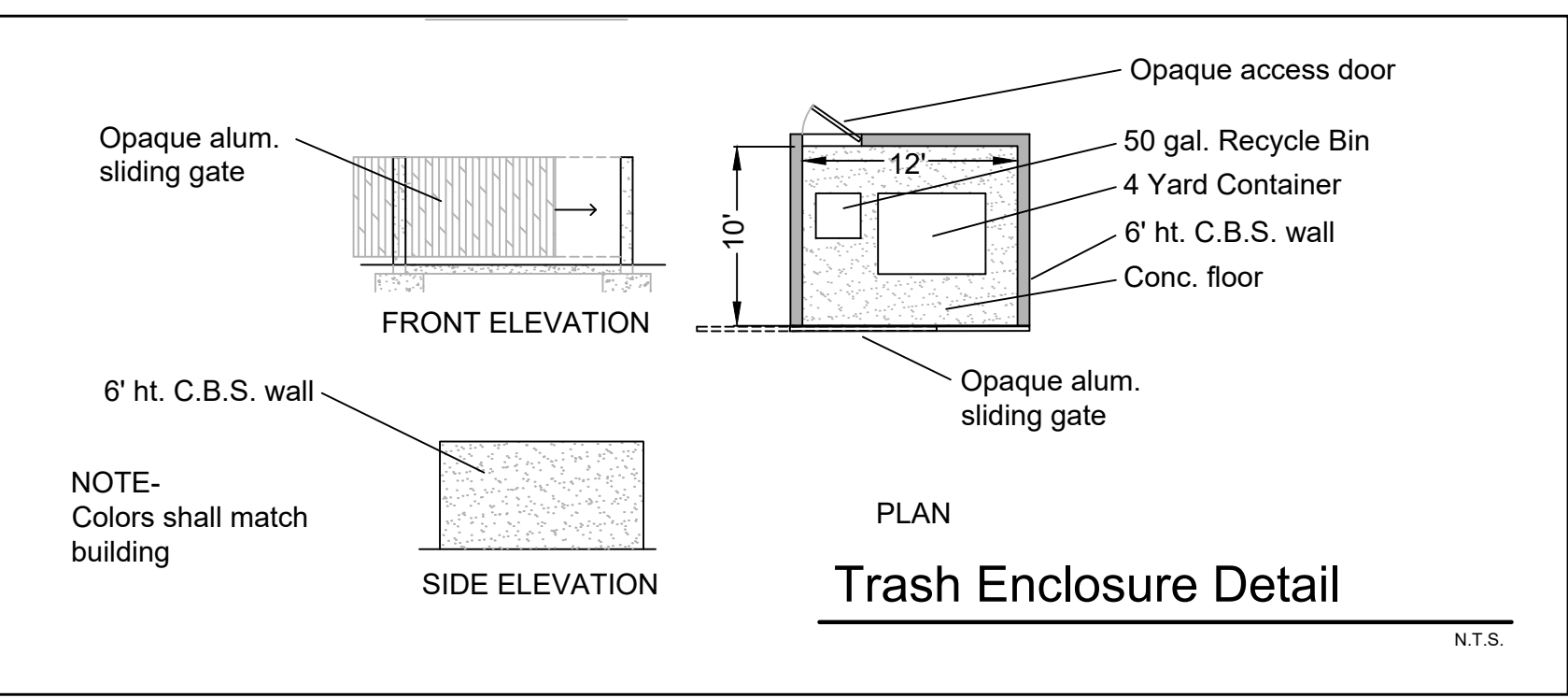
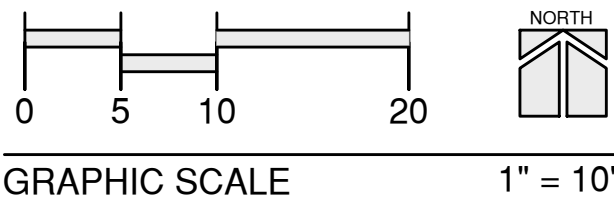
No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



Site Plan



Land Description

LOTS 18, 19 AND 20, LESS THE WEST 10 FEET THEREOF, BLOCK 105, HIGHLAND PARK, DELRAY BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 79, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

Property Development Regulations

ZONING DISTRICT	MIN. LOT SIZE (S.F.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. LOT FRONTAGE (FT.)	FRONT SETBACK	SIDE STREET SETBACK	SIDE INTERIOR SETBACK	REAR SETBACK	MAXIMUM BUILDING HEIGHT (FT)
REQUIRED	2,000 sf	20'	0	0	10'/15'	n.a.	0'	10'	54'
PROVIDED	18,439 sf	149.92'	123.00'	149.92'	10'	n.a.	0'	62.90'	30.5' (mid roof)

Site Tabulations

Total GROSS Site Area	18,739 sf	0.43 ac
Prop. 2' Alley Dedication	300 sf	0.007 ac
Total NET Site Area	18,439 sf	0.423 ac
Total Impervious Area	15,956sf	0.366 ac
Building area, vehicular use, sidewalks, planters, patios, etc.	2,483 sf	0.057 ac
Total Pervious Area	2,483 sf	0.057 ac

Parking Tabulations

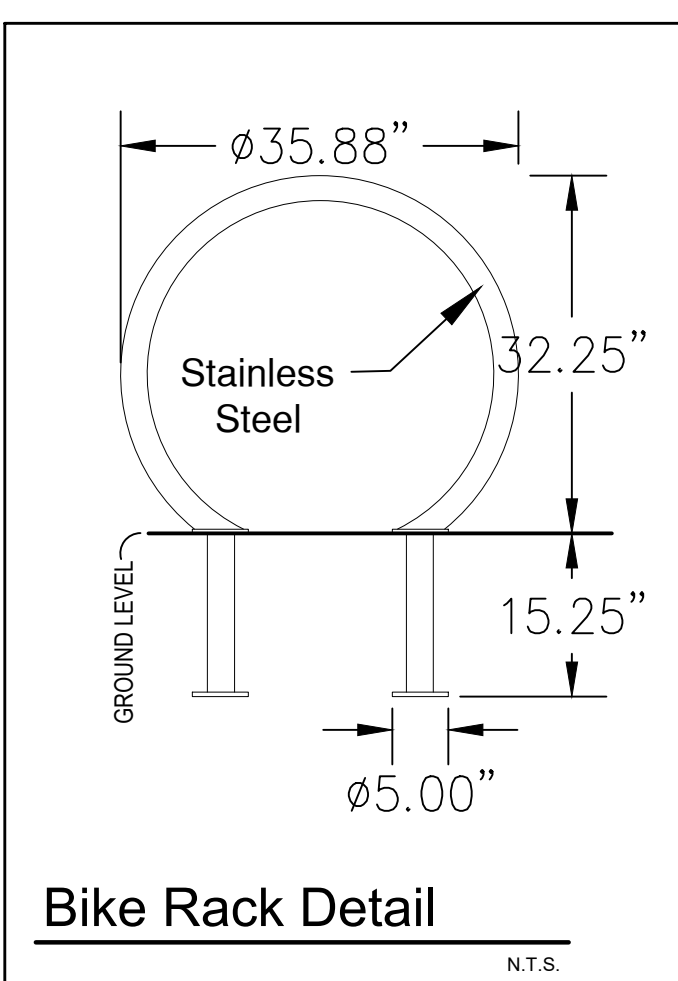
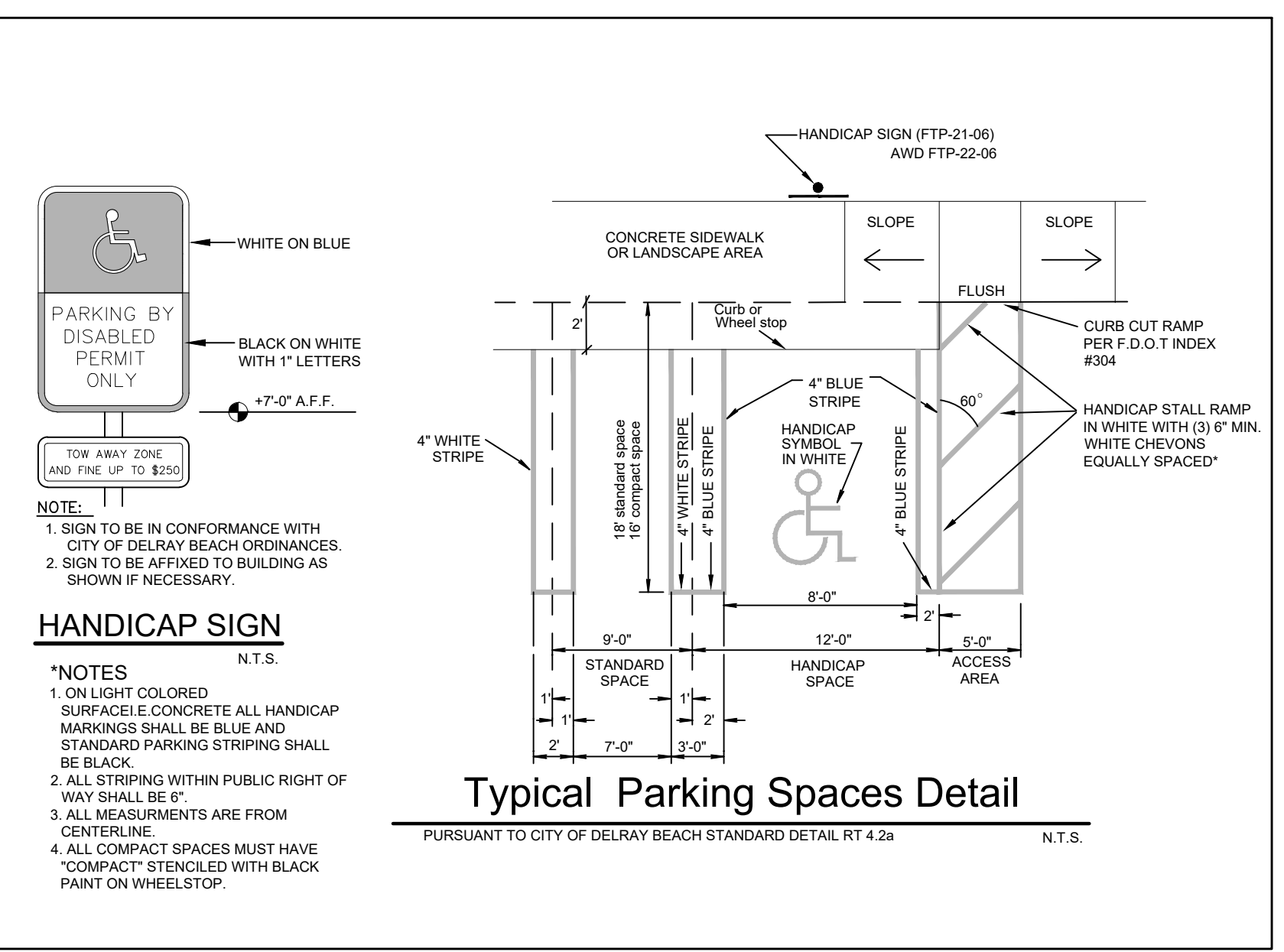
9,975 s.f. net office / 500	20 spaces required
Alternative Fuel Spaces =3% of required (1 required)	
TOTAL REQUIRED SPACES	20 spaces
TOTAL SPACES PROVIDED	22 spaces*
	19 standard spaces
	3 compact spaces
	*(Inc. 1 alt. fuel space)

Site Notes

- Existing Land Use - CC (Commercial Core)
- Proposed Land Use - Same
- Existing Zoning - CBD (Central Business District)
- Proposed Zoning - Same
- Existing Use - Office, commercial, vacant
- Proposed Use - Office
- All new utilities on site shall be placed underground
- Water, sewer, electric, telephone, & cable television existing at site.
- See architectural plans for perimeter fence & sliding gate details.

Bicycle Parking Spaces

Required - 1 space per 2,000 s.f. net office
9,975 s.f. / 2000 = 5 spaces required
6 spaces provided



Revisions	SET	07-14-20
Revised per FAC comments dated 06-08-20	SET	07-14-20
Revised per FAC comments dated 03-19-20	SET	04-29-20

7050 West Palmetto Park Road
Suite 150
Boca Raton, Florida 33433
561-910-0330

Covelli
Design
Associates Inc.

Urban Planning • Landscape Architecture

Site Plan

Spice Office Building

Delray Beach

Florida

Date	02-10-2020
Scale	As Noted
PN#	1290

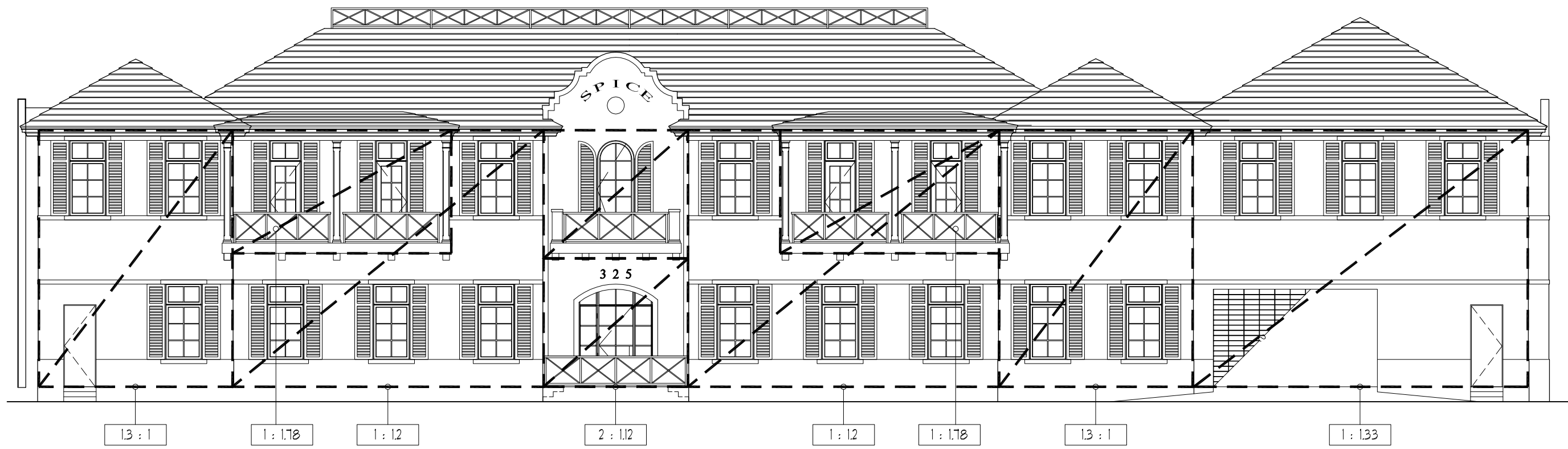
Drawing No.

SP-1

OF 1

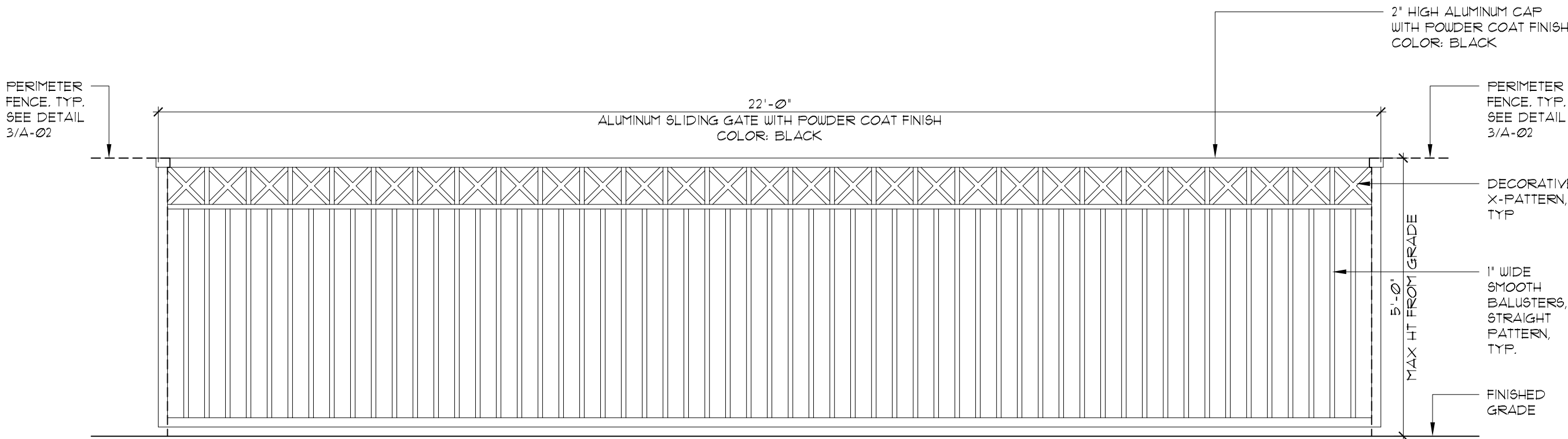


PARKING ELEVATION

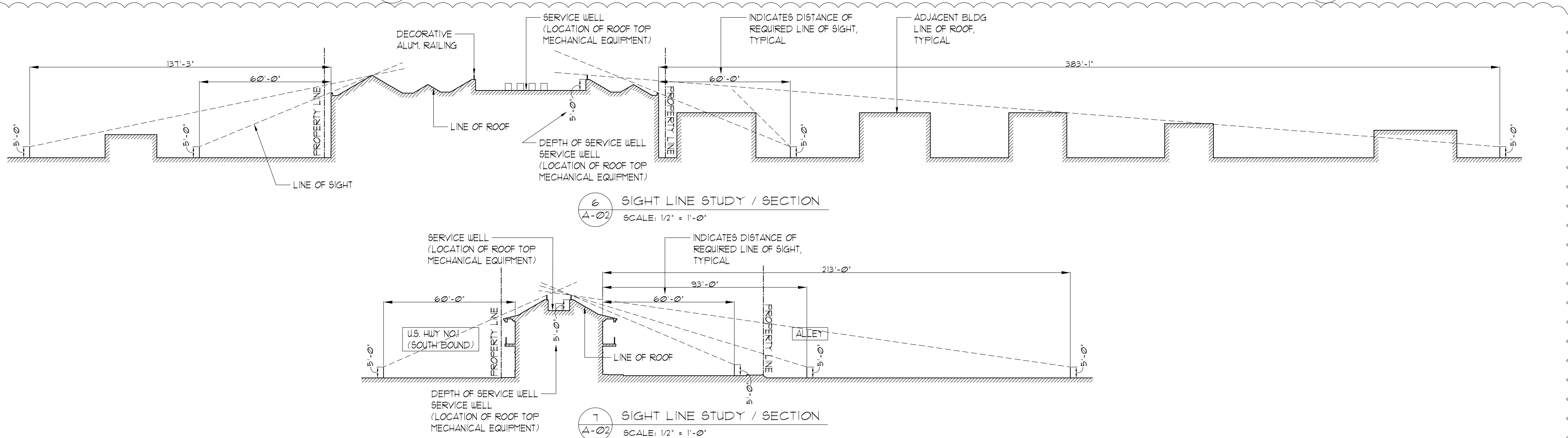


STREET ELEVATION

1 BUILDING ARTICULATION ELEVATIONS
SCALE: 3/32" = 1'-0"

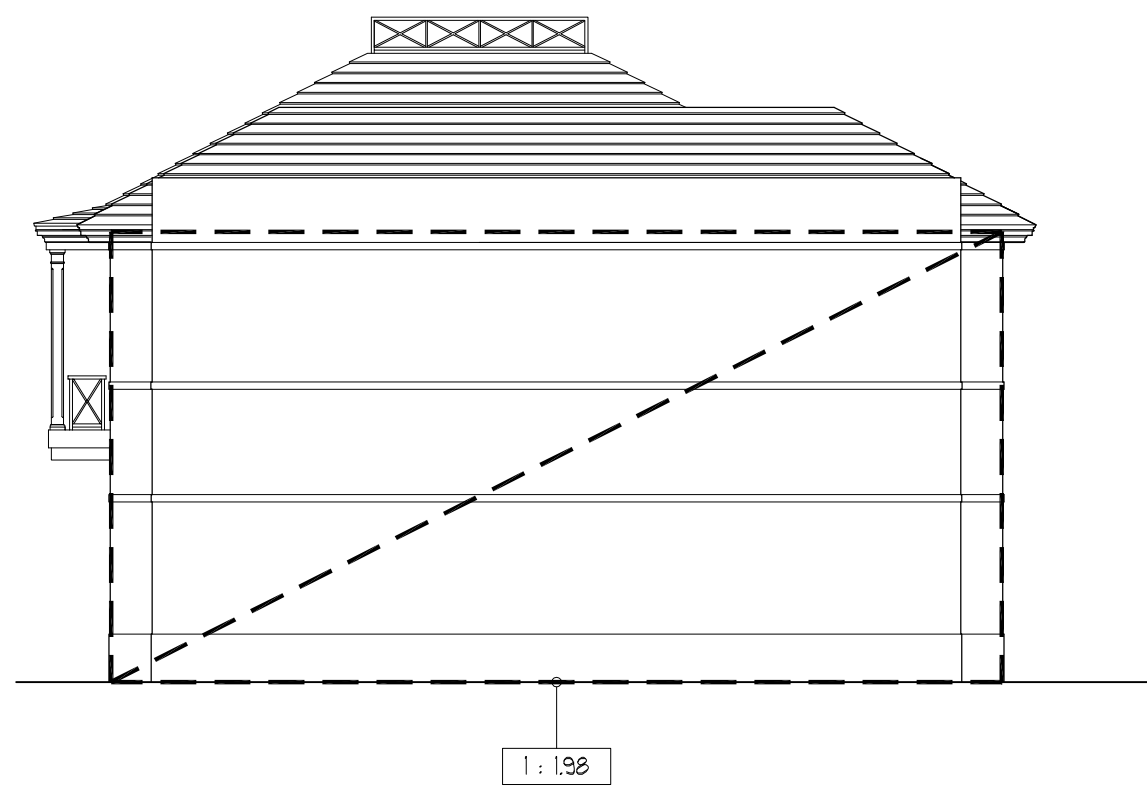


4 SLIDING GATE ELEVATION
SCALE: 1/2" = 1'-0"

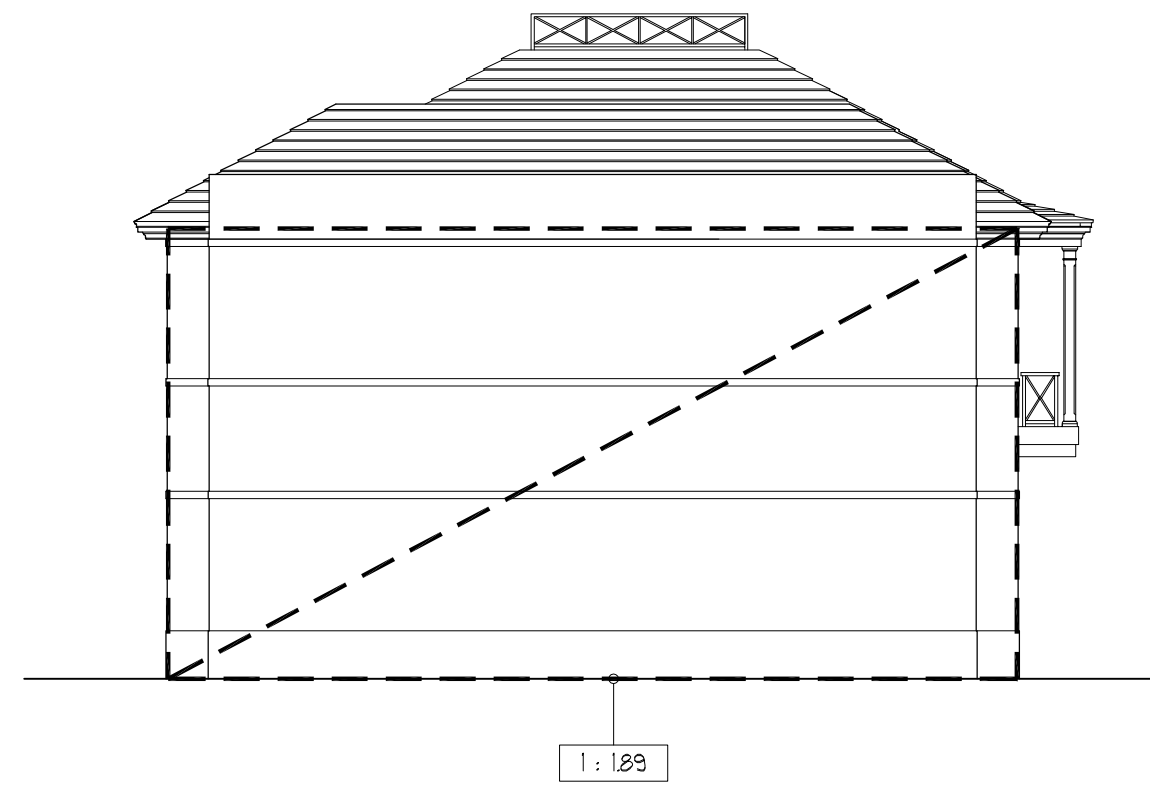


6 SIGHT LINE STUDY / SECTION
SCALE: 1/2" = 1'-0"

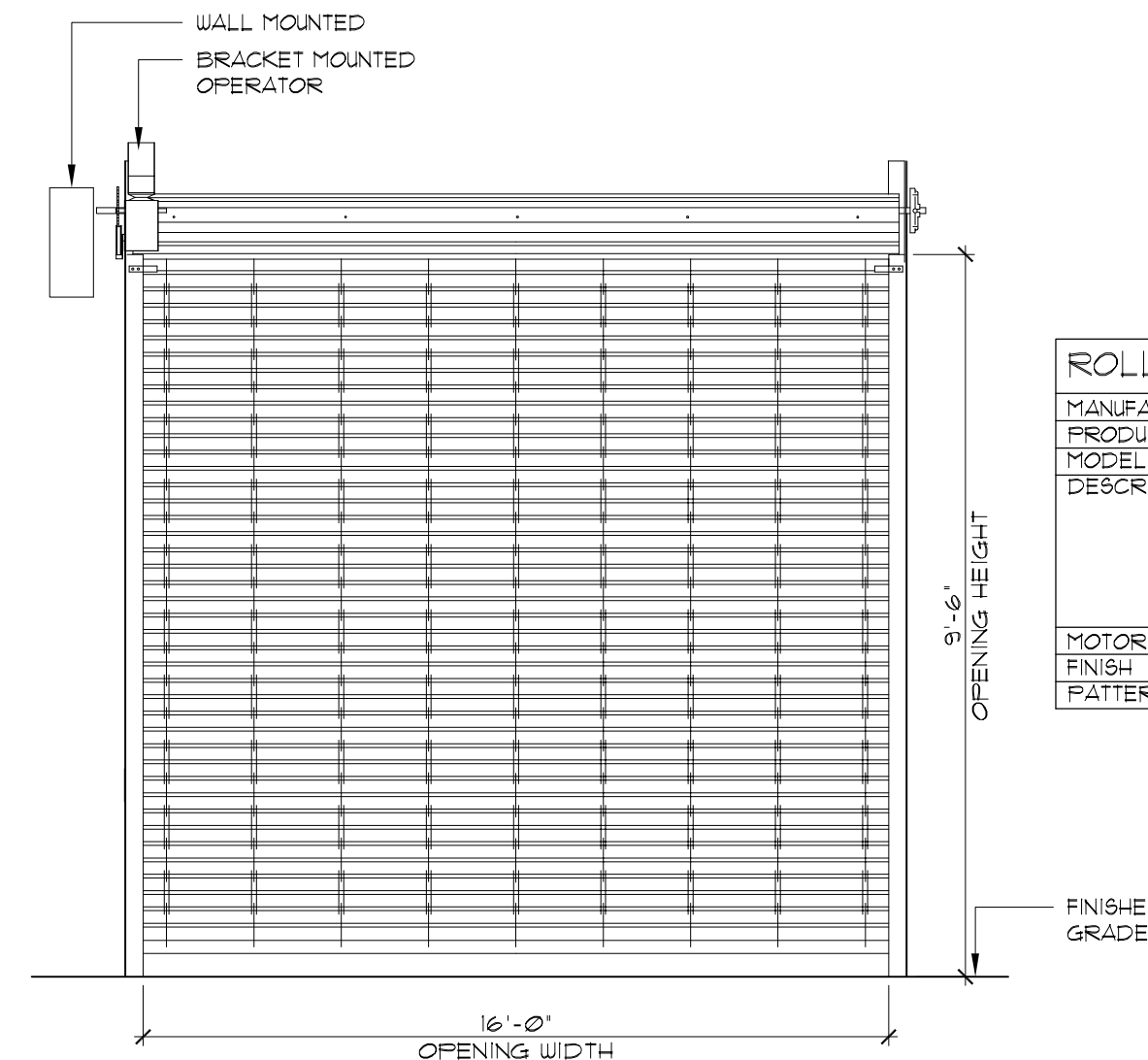
7 SIGHT LINE STUDY / SECTION
SCALE: 1/2" = 1'-0"



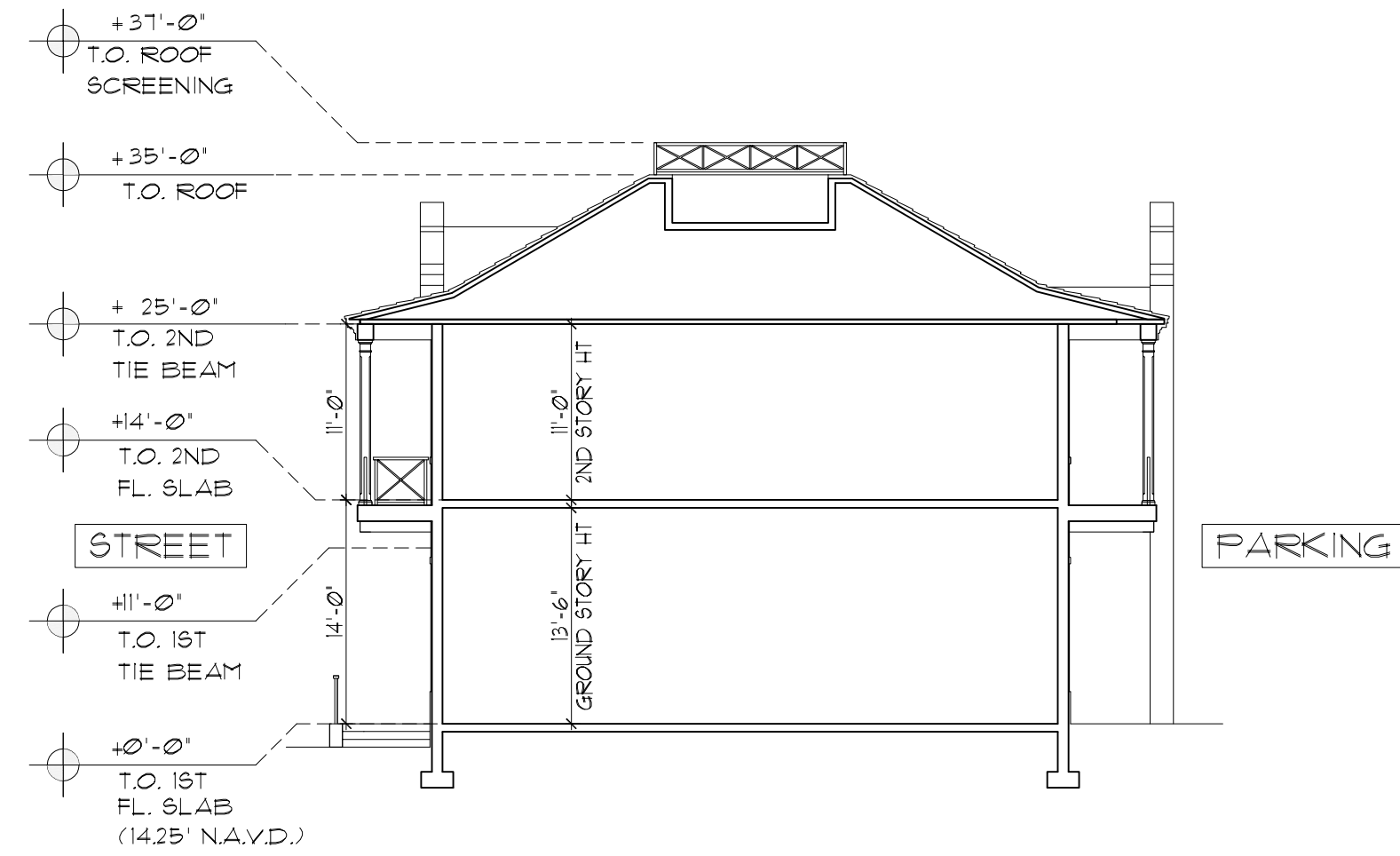
SIDE ELEVATION (SOUTH)



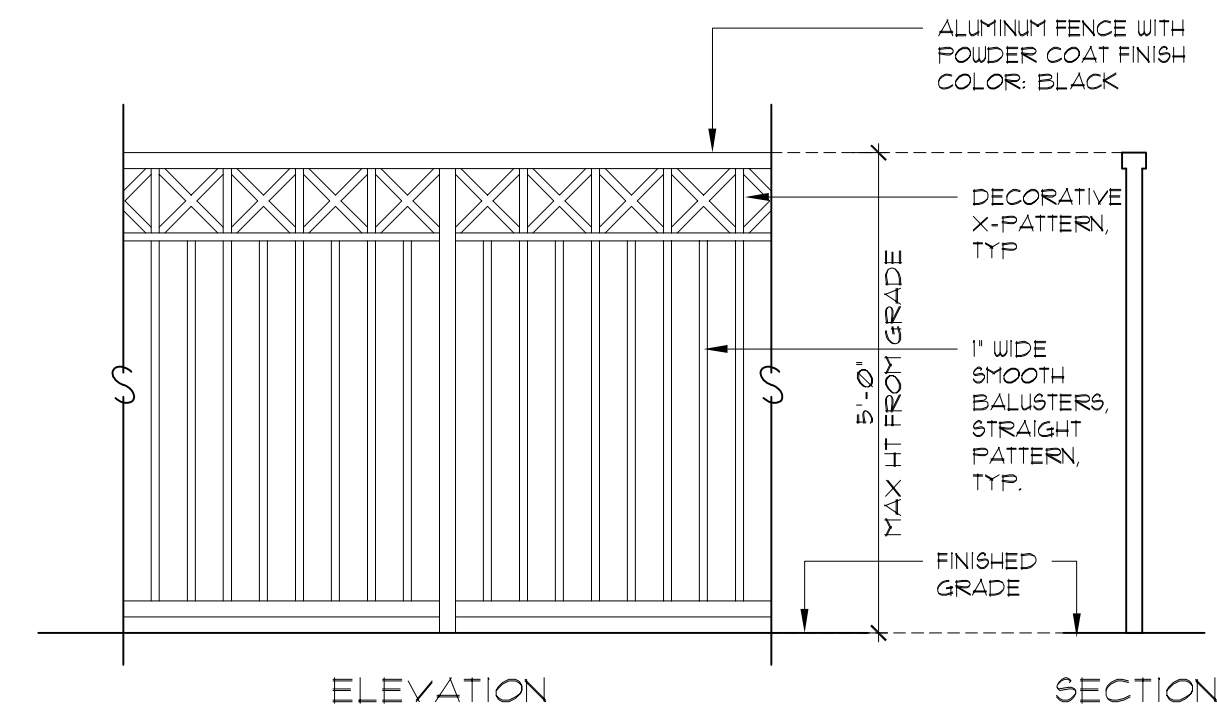
SIDE ELEVATION (NORTH)



5 ROLL-DOWN DOOR ELEVATION
SCALE: NOT TO SCALE



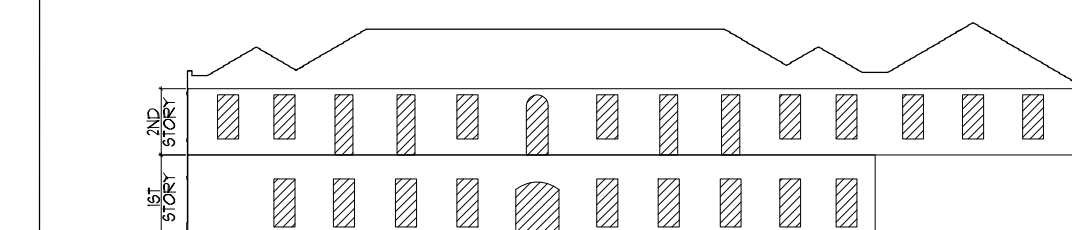
2 BUILDING CROSS SECTION
SCALE: 3/32" = 1'-0"



3 PERIMETER FENCE DETAIL
SCALE: 1/2" = 1'-0"

ROLL-DOWN DOOR SPECS	
MANUFACTURE	RAYNOR GARAGE DOORS
PRODUCT	DURA-GRILLE
MODEL	66A
DESCRIPTION	CURTAIN- CONSISTS OF HORIZONTAL 5/16" DIAMETER ALUMINUM RODS SPACED VERTICALLY # 2" O.C. AND THE LINKS SPACED HORIZONTALLY # 9" O.C. THE BOTTOM OF THE CURTAIN TO BE REINFORCED WITH AN ALUMINUM EXTRUDED TUBULAR BOTTOM BAR.
MOTOR OPERATION	INTERIOR FACE MOUNT
FINISH	CLEAR ANODIZED
PATTERN	STRAIGHT

WINDOW TRANSPARENCY DIAGRAM (NOT TO SCALE)



WINDOW TRANSPARENCY CALCULATIONS				
AREA	FACADE SQ. FT.	TRANSP. SQ. FT.	PERCENTAGE	MIN. MAX.
1ST STORY	1603.0 SF.	311.2 SF.	20.0 %	20.0 % 100.0 %
2ND STORY	1640.8 SF.	385.8 SF.	24.0 %	20.0 % 100.0 %

GLASS SPECS	
TYPE	1/16" CLEAR (LAMINATED GLASS)
IMPACT RATED	YES - LARGE MISSILE
U-VALUE	0.94
SHGC	0.59
VISIBLE LIGHT TRANSMITTANCE %	86 %
MAX. LIGHT REDUCTION %	14 % (ALLOWED: 20.0 %)

SPICE OFFICE BLDG

WILLIAM WIETSMAN Architect

Florida License Number AR-0014766
3100 NW 2nd Avenue Suite 404, Boca Raton, Florida 33431
Office (561) 274-4863 Fax (561) 257-0777

325-343 NE 5TH AVE.
DELRAY BEACH, FL

drawn by: C.V.S.
designed by: W.W.
date: 04/21/2010
scale: 3/32" = 1'-0"
project:
revisions:
A 04/21/20 NEW SHEET
A 07/07/20 REVISION

sheet no:
A-02

SPICE OFFICE BUILDING

DELRAY BEACH, FLORIDA

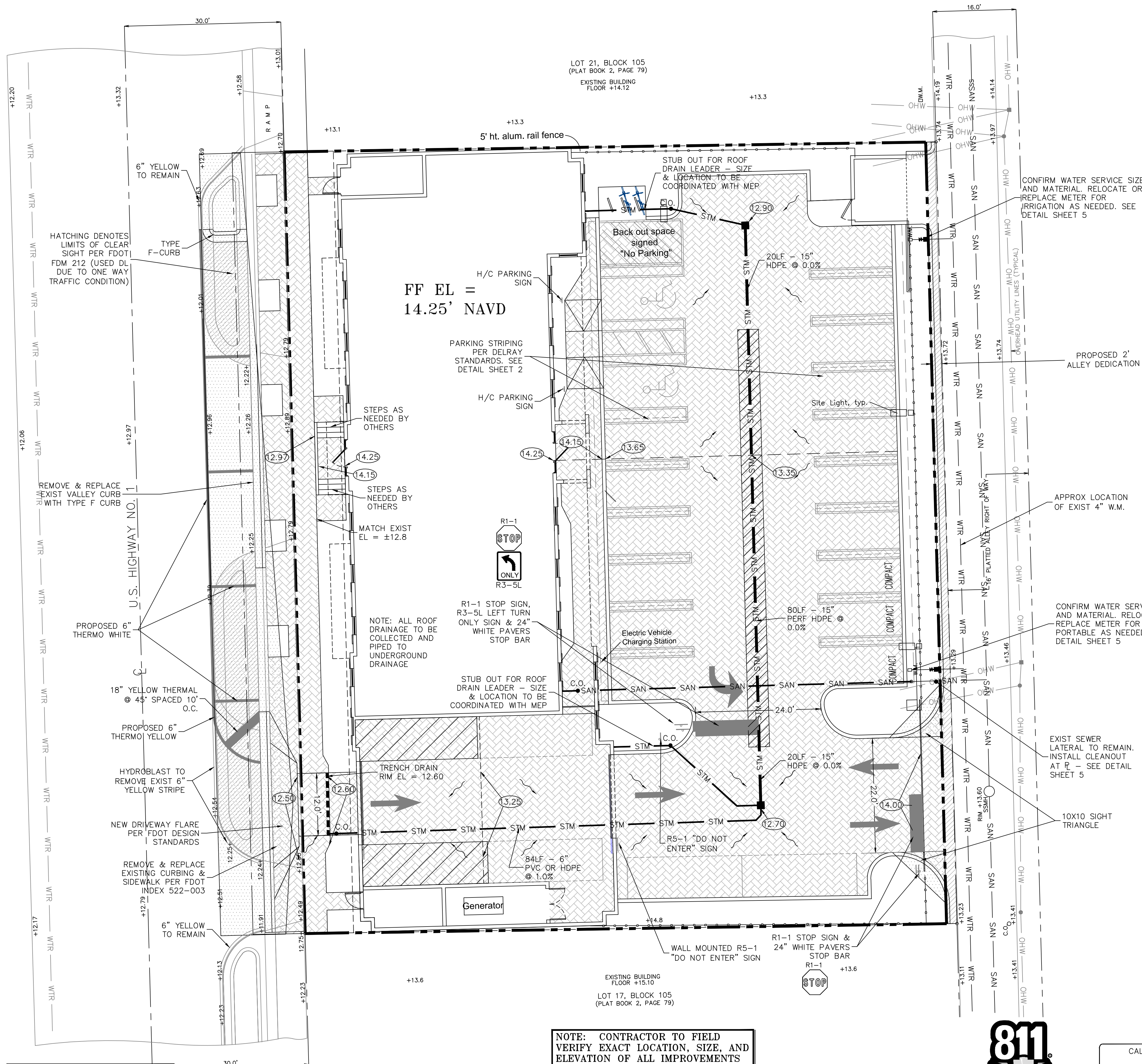


FRONT ELEVATION



REAR ELEVATION

WILLIAM WIETSMA ARCHITECT



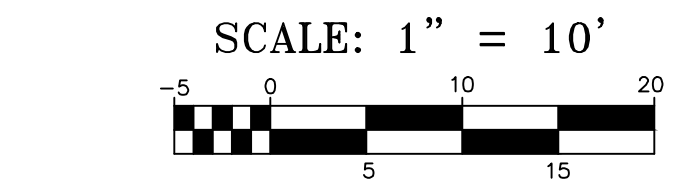
NOTE: SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS & SPECIFICATIONS

NOTE: SEE LANDSCAPE PLANS FOR BRICK PAVER PATTERNS

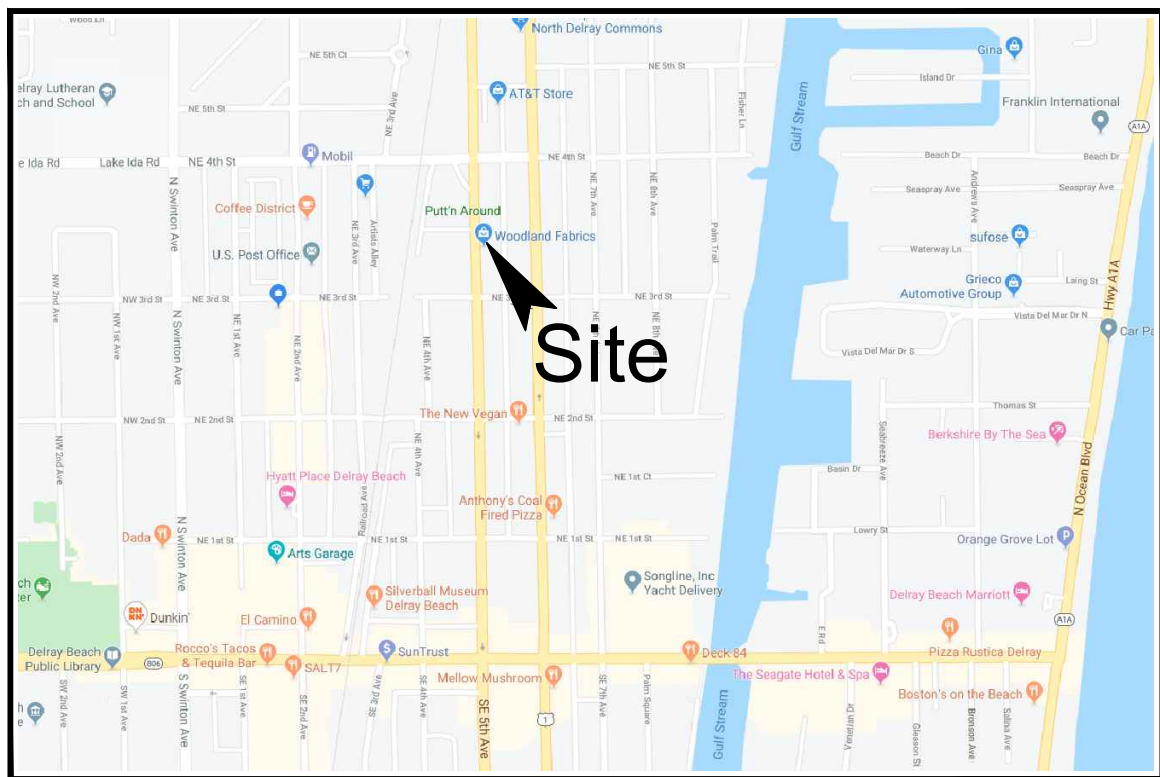
NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



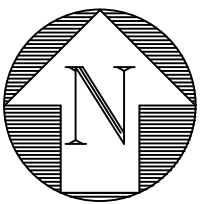
CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



© COPYRIGHT 2020 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.



LOCATION MAP
N.T.S.



LEGEND:

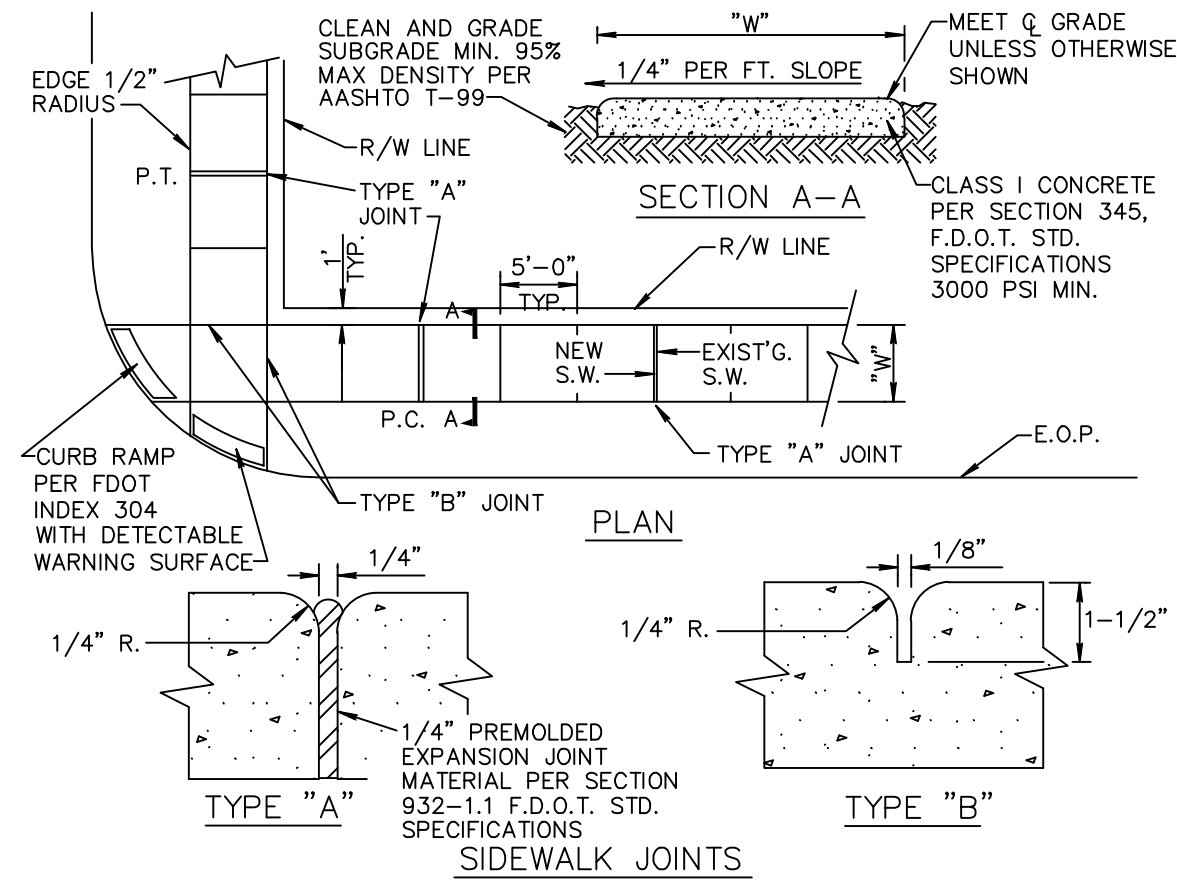
- PROPERTY LINE
- SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA PROPOSED 1" MILL & OVERLAY
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- DENOTES AREA OF EXISTING PAVEMENT TRENCH REPAIR FOR UTILITY INSTALLATION -SEE DETAIL SHEET 2
- PROPOSED CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN 10' WIDE X 5' DEEP ROCK TRENCH (BOTTOM EL= 10.0)
- STRUCTURE TYPE-NUMBER
RIM ELEVATION
INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED WATER METER
- PROPOSED WATER METER WITH BACKFLOW PREVENTER
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- EXISTING GATE VALVE
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT
- EXISTING MANHOLE
RIM ELEVATION
INV EL & DIRECTION
INV EL & DIRECTION

"NOT FOR CONSTRUCTION"

CIVIL SITE IMPROVEMENTS PLAN FOR:
SPICE OFFICE BUILDING
325-343 NE 5TH AVE
DELRAY BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS
EnviroDesign Associates Inc.
www.envirodesign.com
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-8558 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
07/15/20
JOB NO.
19092-ENG
SHEET NO.
1 OF 7

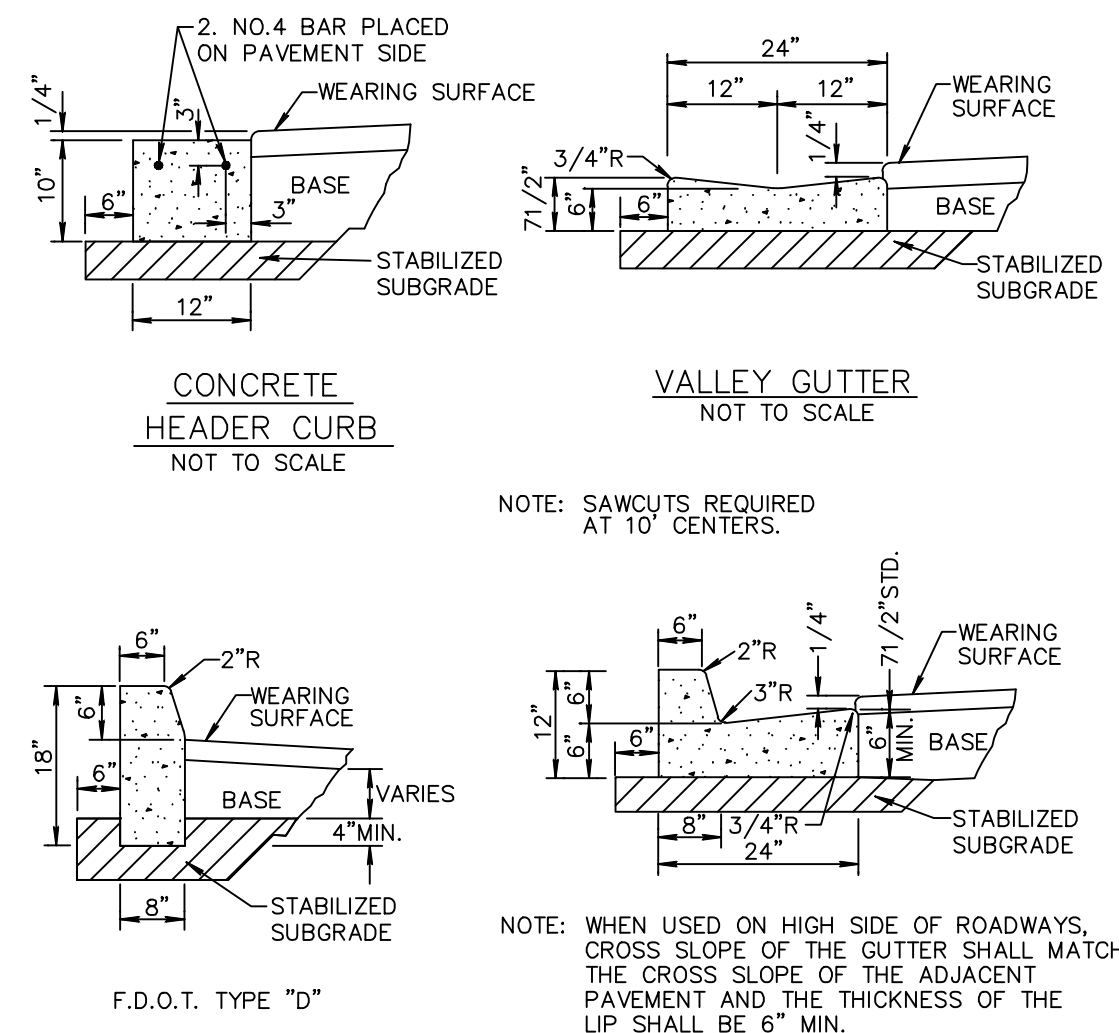


NOTE: 1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24\"/>

TABLE OF SIDEWALK THICKNESS - "T"	
RESIDENTIAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, DRIVEWAYS & OTHER AREAS	6", 9" @ E.O.P.
TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY ENGINEER.	

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.

SIDEWALK CONSTRUCTION RT 5.1

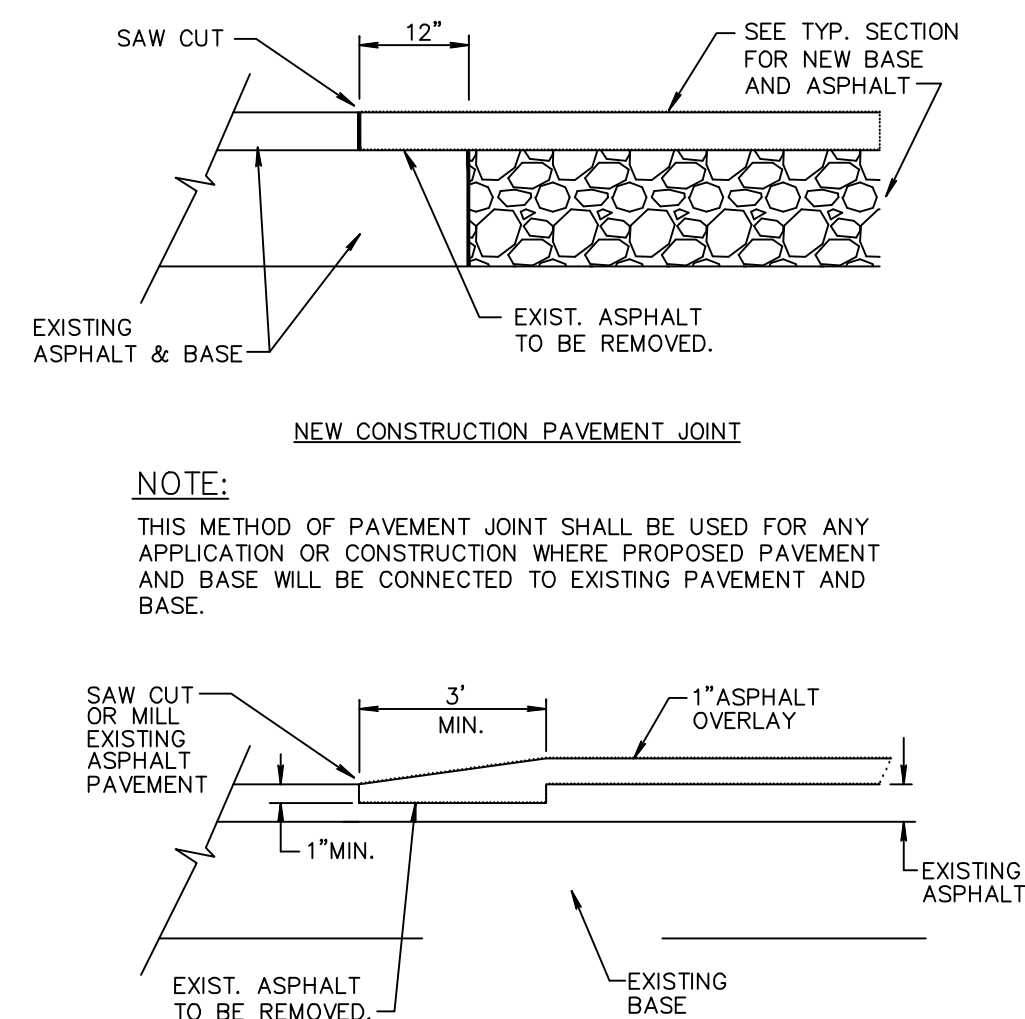


CONCRETE CURB NOT TO SCALE

CONCRETE CURB AND GUTTER NOT TO SCALE

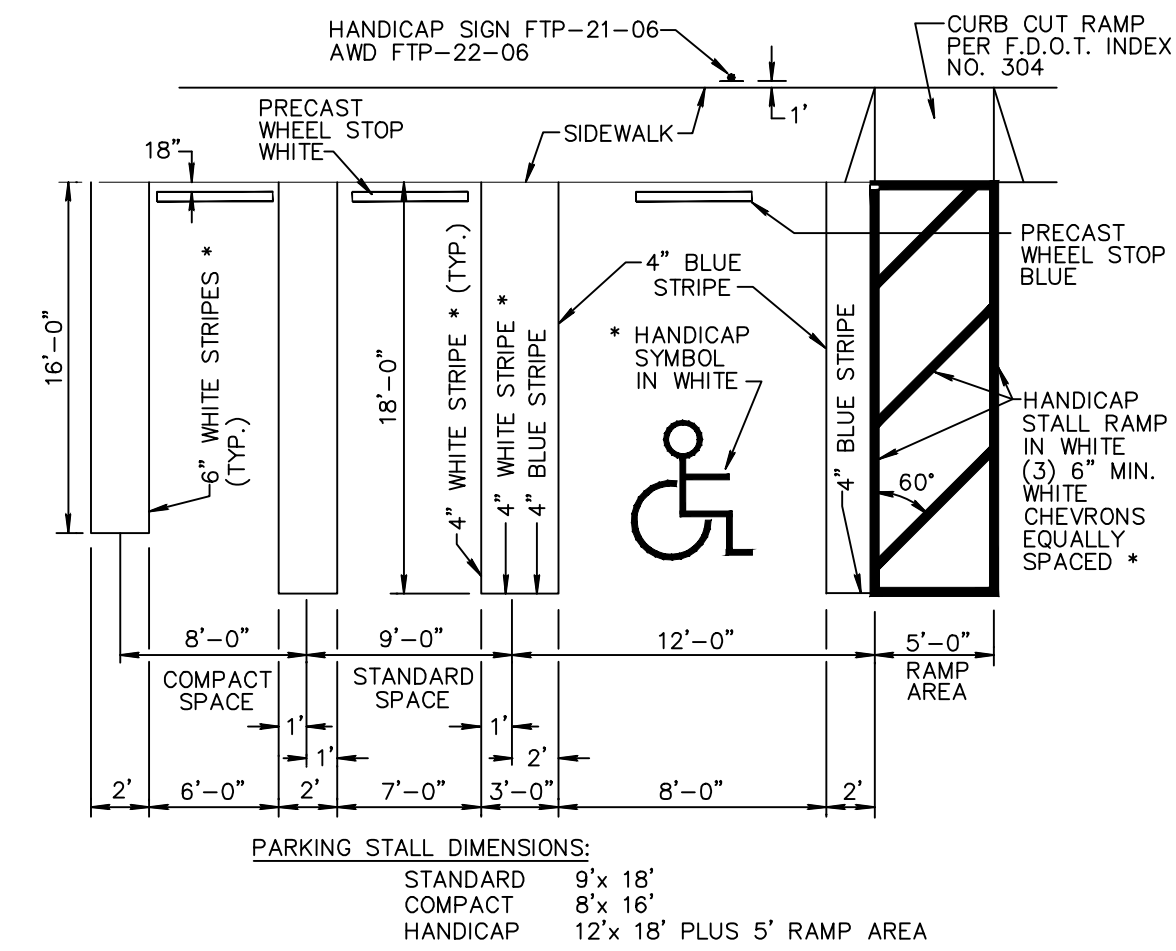
NOTES: 1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.
2. SAWCUTS AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.

CURB AND GUTTER SECTIONS RT 6.1



NOTE: THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT WILL BE CONNECTED TO EXISTING PAVEMENT.

PAVEMENT JOINT DETAIL RT 7.1



- * NOTES:
- ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3\"/>

TYPICAL PARKING SPACES (1 OF 3) DETAIL RT 4.2a

"NOT FOR CONSTRUCTION"

PAVING & DRAINAGE DETAILS FOR:
SPICE OFFICE BUILDING
325-343 NE 5TH AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
04/02/20
JOB NO.
19092-DTL
SHEET NO.
2 OF 7



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2020 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

PERMANENT MARKINGS

Installation:

- All markings shall be installed by the extruded method.
- Markings shall be free of weaves, bows, drips, drags, and other degrading items.
- Chalk shall be used for all layout markings

Materials:

- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.

Thickness:

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:

- Reflective glass sheres are to be applied to all stripes and markings per FDOT specifications.

Alternate Material:

- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

Layout:

- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Surface:

- Only foil backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

Other Pavement Surfaces:

- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

ALL PAVEMENT MARKINGS

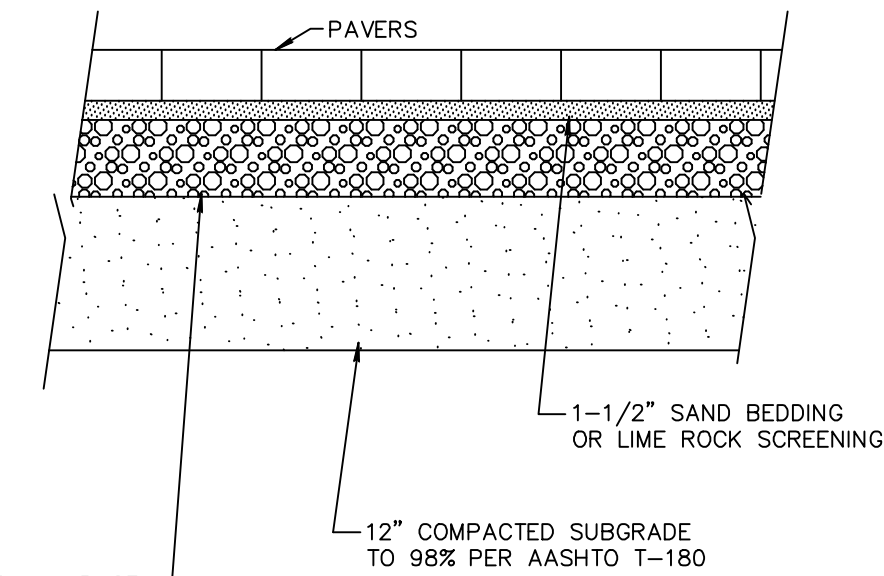
All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

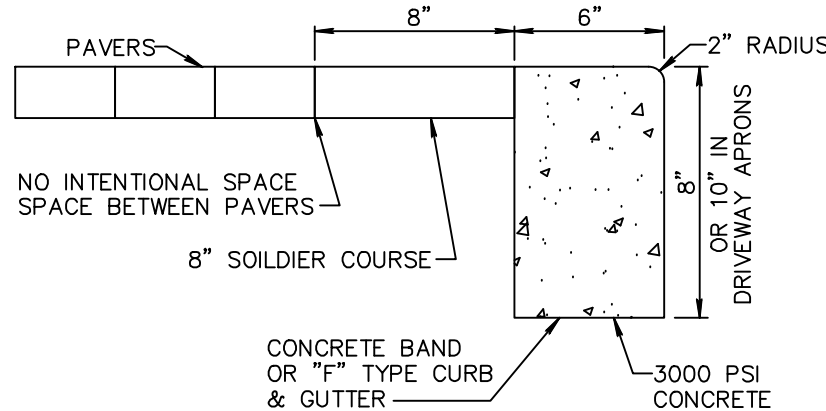
OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.



SIDEWALK BASE
OUTSIDE RIGHT OF WAY 4" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180.
INSIDE RIGHT OF WAY 6" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180 OR 4" FLOW-ABLE FILL (100 P.S.I. MIN.)

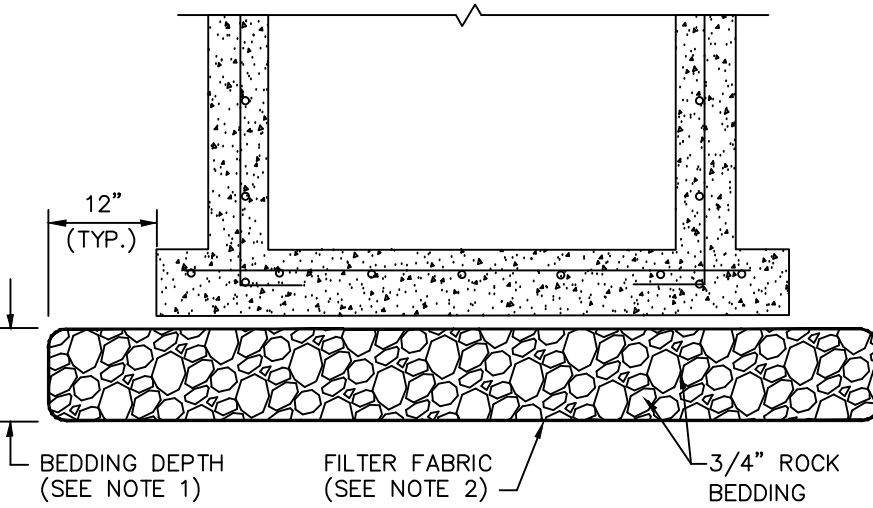
ROADWAY BASE
INSIDE RIGHT OF WAY 8" LIMEROCK BASE COMPACTED TO 98% PER AASHTO T-180 OR 6" FLOW-ABLE FILL (100 P.S.I. MIN.)



NOTE:

IF CITY APPROVES PAVERS TO BE USED IN LIEU OF CONC. SIDEWALK, PAVES SHALL BE HOLLAND-STONE, 45' HERRING BONE, RED/CHARCOAL, COLOR MIX #2.

PAVER BRICK SECTION
DETAIL RT 10.1a



NOTES:

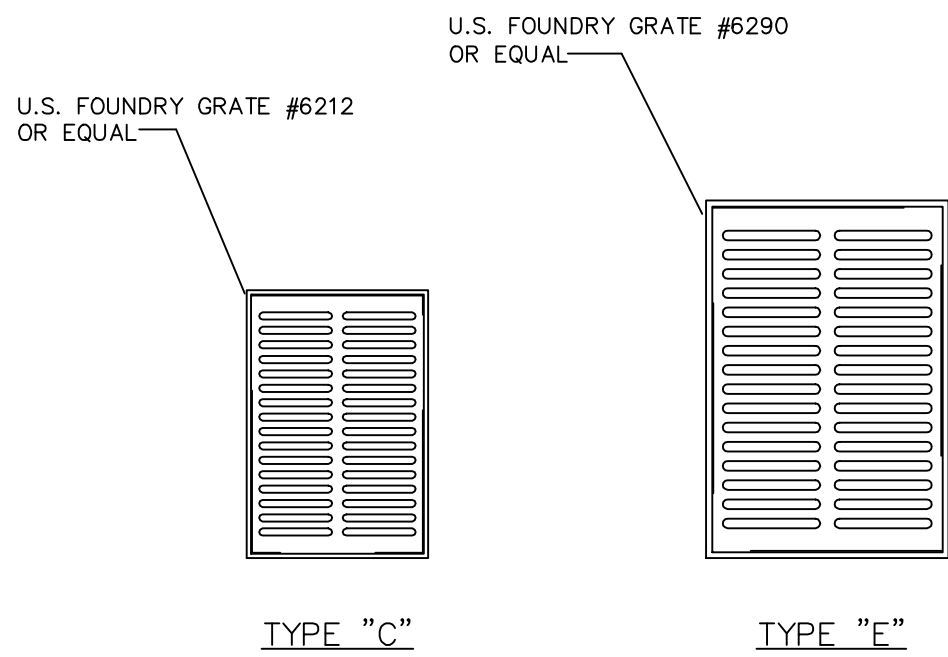
1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.

STANDARD BEDDING D 3.1

PAVEMENT MARKING SPECIFICATIONS RT 8.1a
(Sheet 1 of 2)

PAVEMENT MARKING SPECIFICATIONS RT 8.1b
(Sheet 2 of 2)

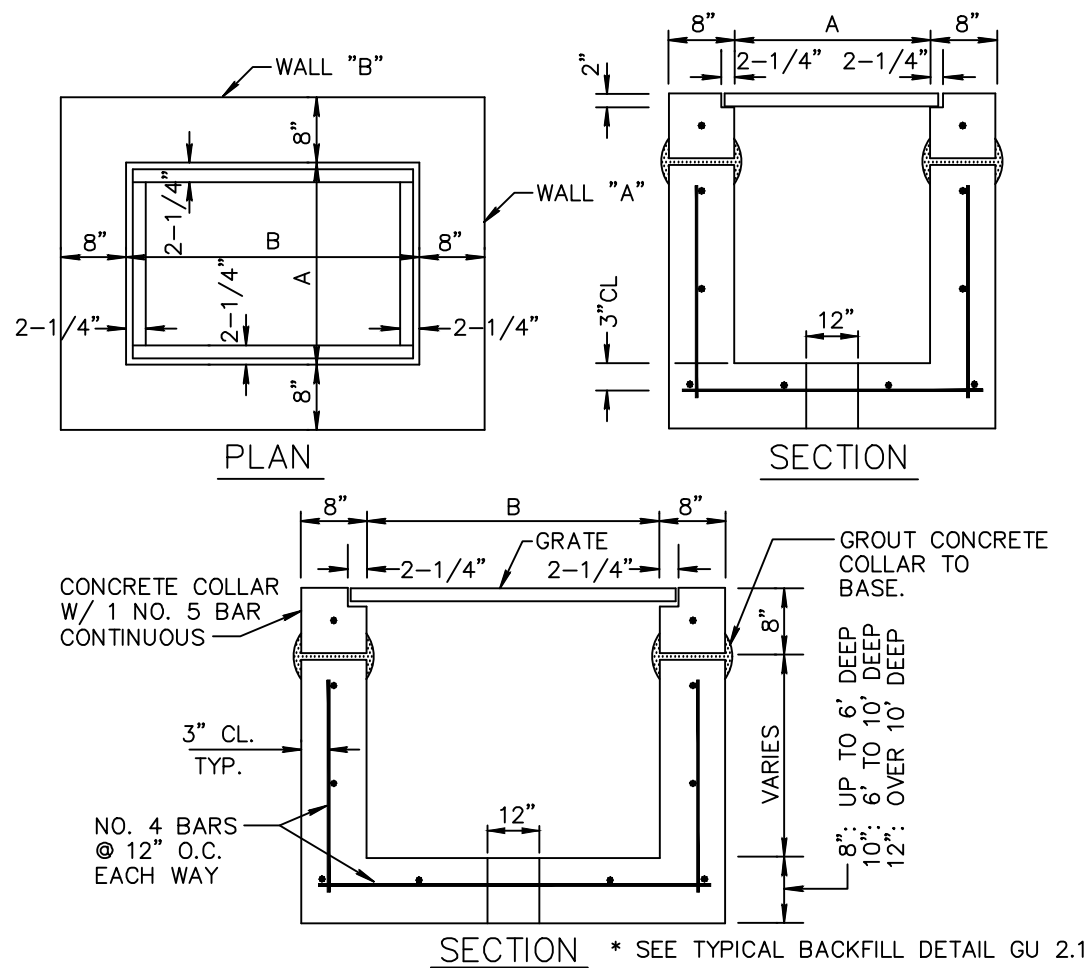
INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.



NOTES:

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

TYPE C & E INLET GRATE DETAIL D 6.1



INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'0"	3'1"	U.S. FOUNDRY NO. 6212	15" R.C.P.	24" R.C.P.
'E'	3'0"	4'6"	U.S. FOUNDRY NO. 6290	24" R.C.P.	36" R.C.P.

NOTES:

1. INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
3. 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WELLFIELDS.
4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
5. SEE BEDDING DETAIL D 3.1
6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

TYPE C & E INLET DETAIL D 7.1



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2020 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

"NOT FOR CONSTRUCTION"

PAVING & DRAINAGE DETAILS FOR:
SPICE OFFICE BUILDING
325-343 NE 5TH AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.

CHECKED:
J.A.P.

DATE:
04/02/20

JOB NO.
19092-DTL

SHEET NO.
3 OF 7

PAVING, GRADING AND DRAINAGE NOTES	
1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.	OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.	11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTEMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.	12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.	13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-17, WHERE APPLICABLE.
5. MUCK AND PEAT -- IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.	14. SEQUENCE OF CONSTRUCTION -- THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.	15. INLETS AND MANHOLES -- ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
7. CLEARING AND GRUBBING -- WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.	16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
8. GUMBO -- WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.	17. GRADES SHOWN ARE FINISHED GRADES.
9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.	18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. EXISTING N.A.V.D.
10. TACK COAT -- BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE	19. REINFORCED CONCRETE PIPE -- THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.

GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COAST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
5. ALL ELEVATIONS REFER TO N.A.V.D. 1988. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 14.25 (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.i
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)

CITY OF DELRAY BEACH GENERAL NOTES	
DEFINITIONS 1. CITY -- THE CITY OF DELRAY BEACH 2. CONTRACTOR -- UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS 3. ENGINEER -- ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION PROCEDURE 1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES. 2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING. 3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91. 4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. 6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE. 7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED. 8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES. 10. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE 11. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL. 12. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY. 13. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS. 14. PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-P-17 (LATEST REVISION) UNLESS SHOWN OTHERWISE. 15. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY. 16. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES. 17. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION. 18. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE. 19. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO	PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION. 20. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE. 21. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE. 22. CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS. 23. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED. 24. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING. 25. EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS. 26. CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY. 27. SITE INFORMATION BASED ON A SURVEY PREPARED BY: O'BRIEN, SUITER, & O'BRIEN 28. THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION. 29. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES. 30. ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT. 31. CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC 32. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 33. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 34. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2 35. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS, ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS-- AND RUNNING--SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS. 36. CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312. 37. THE EXISTING SANITARY SEWER LINE MUST BE TELEVISED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT. 38. UPON APPROVAL AND RECIEPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK. 39. ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION. 40. ALL CITY OF DELRAY BEACH 2016 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2020 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY,
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

BY:	
REVISIONS:	
NO.	DATE:
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

"NOT FOR CONSTRUCTION"

GENERAL NOTES FOR:
SPICE OFFICE BUILDING
325-343 NE 5TH AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

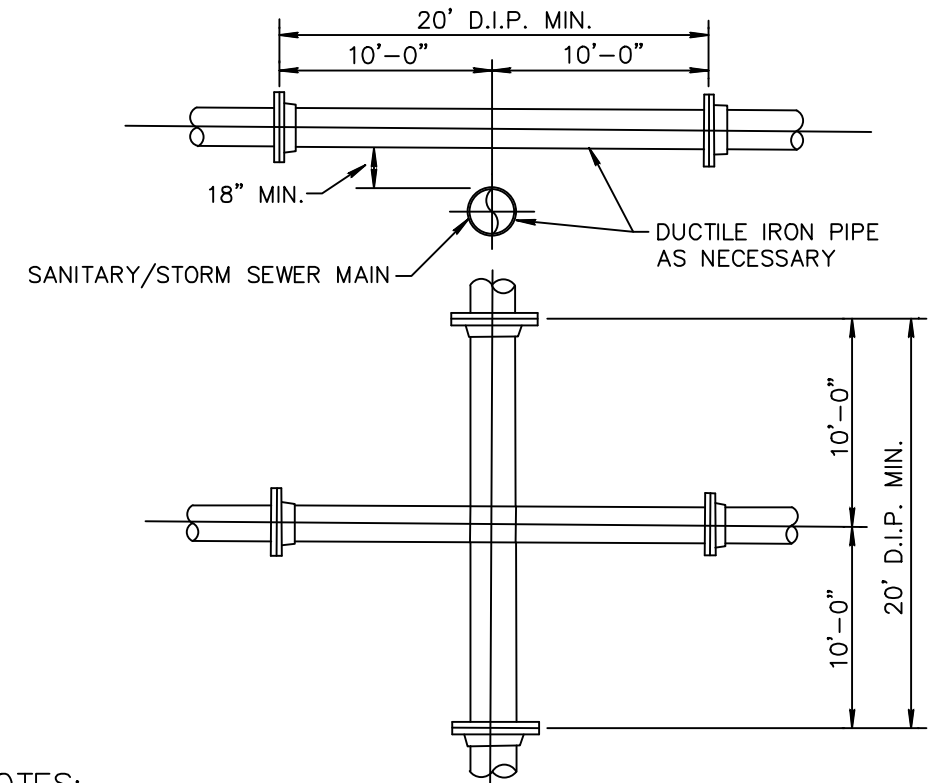
DRAWN:
B.A.B.

CHECKED:
J.A.P.

DATE:
04/02/20

JOB NO.
19092-DTL

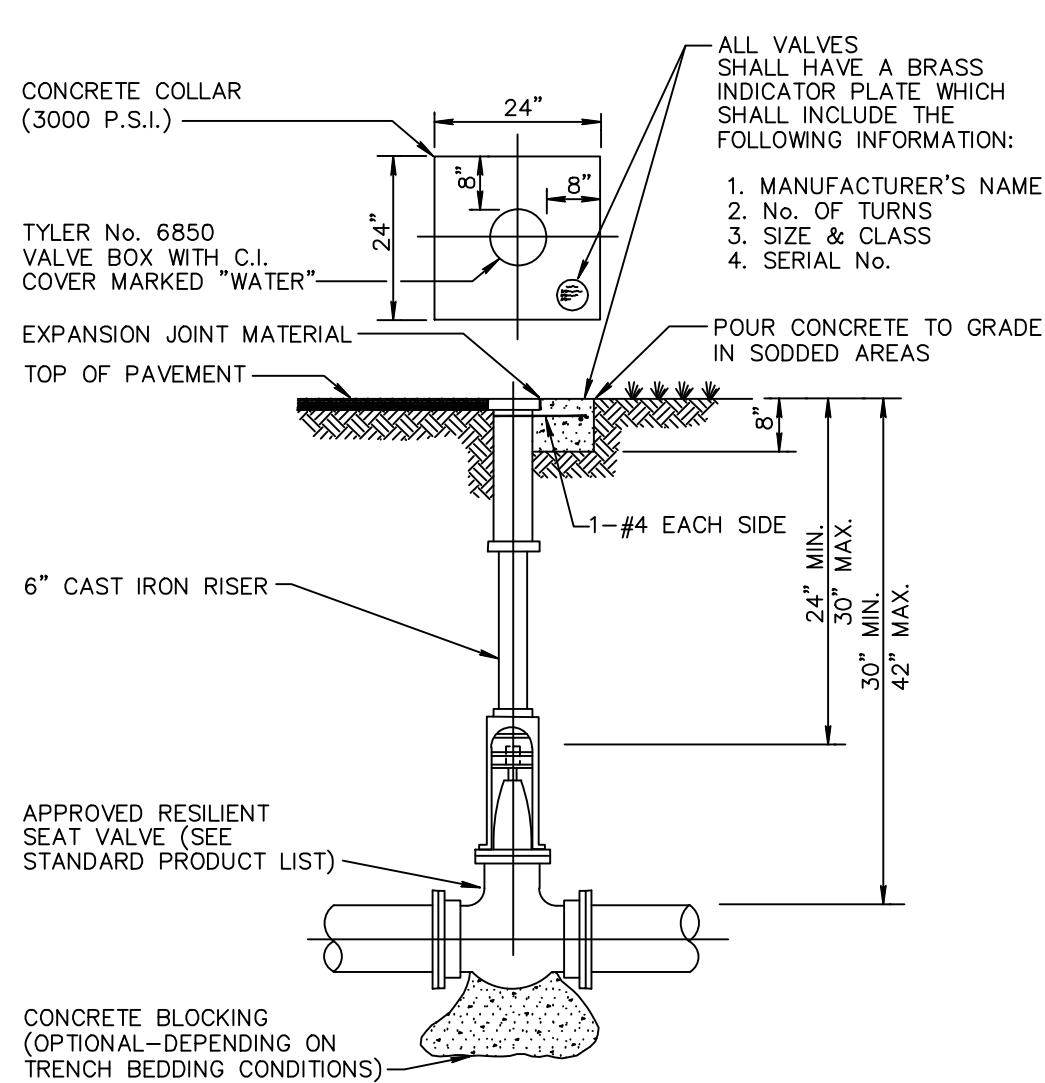
SHEET NO.
4 OF 7



NOTES:

- STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN JOINTS ARE EQUIDISTANT FROM POINT OF CROSSING WITH NO LESS THAN (10) FEET BETWEEN ANY TWO JOINTS AND BOTH PIPES SHALL BE D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED AND BOTH PIPES SHALL BE CLASS 52 D.I.P. IRRESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- MAINTAIN (10) FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN, AS A MINIMUM.
- FORCE MAIN CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE WATER MAIN WITH WATER MAIN CROSSING OVER FORCE MAIN.
- SEWER SERVICE LATERALS SHALL CROSS UNDER WATERMAINS WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE D.I.P. AND THE SANITARY LATERAL C-900 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES.
- WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATERMAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-900 SDR-18 OR BETER.

WATER MAIN & SEWER CONFLICT DETAIL PW 2.1



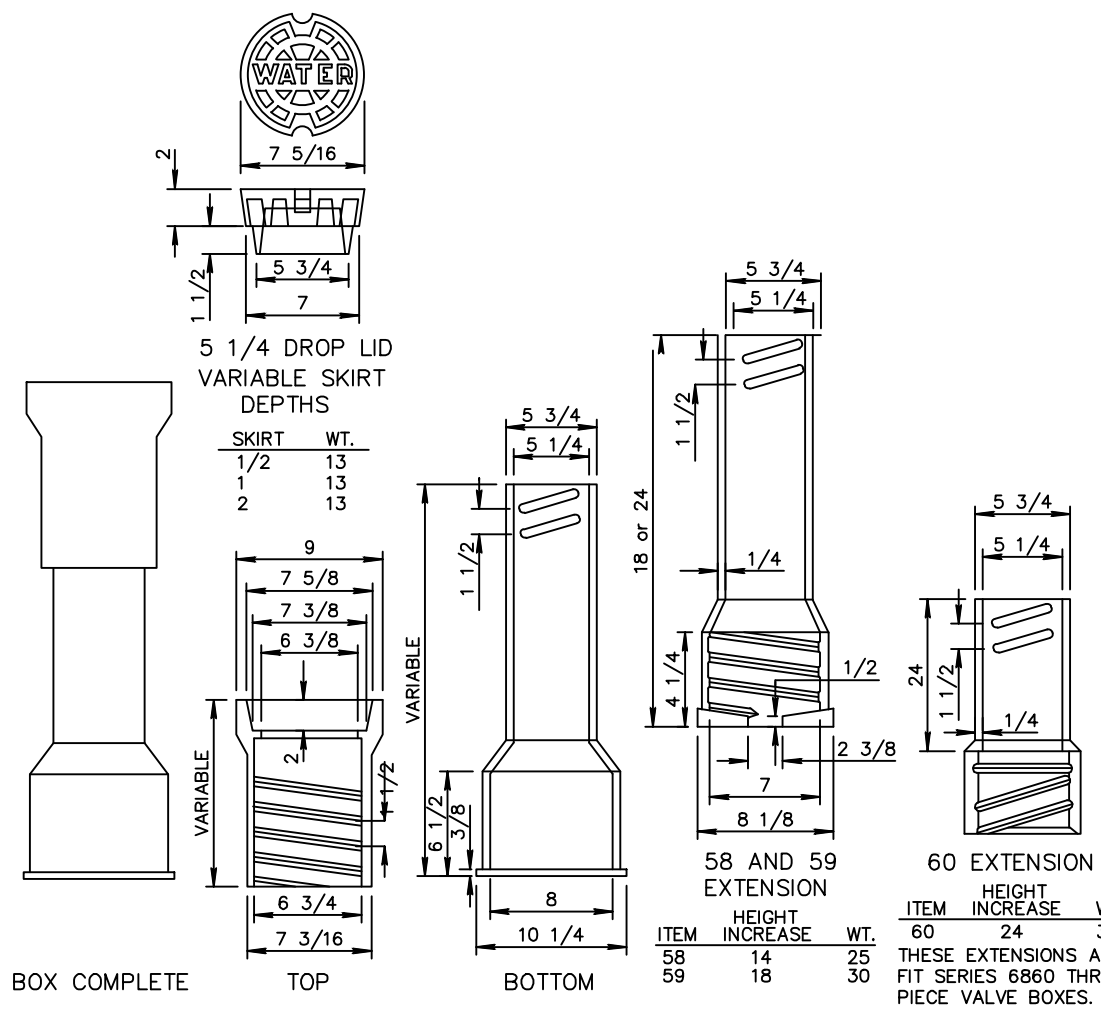
NOTES:

- WHEN VALVE IS DEEPER THAN 30" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED.
- AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS, TIERODS, OR OTHER APPROVED RESTRAINT.

TYPICAL GATE VALVE DETAIL
4" THRU 12" PW 3.1

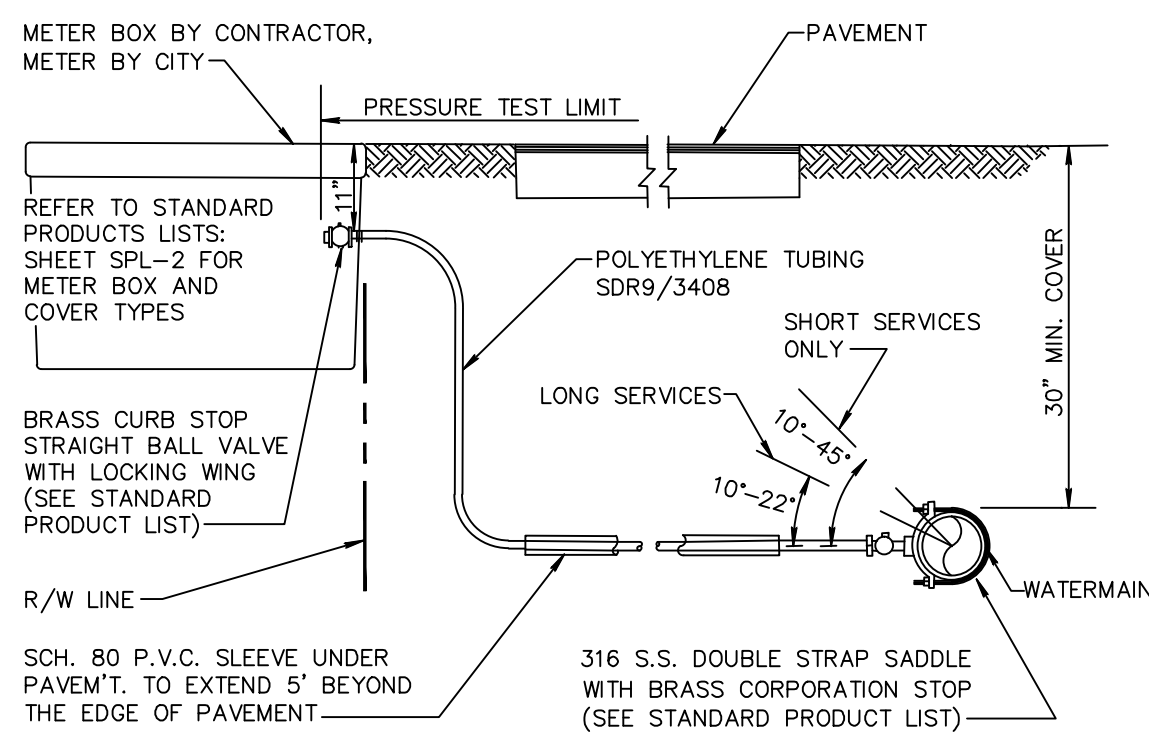
ITEM	BOX COMPLETE EXTENSION IN INCHES	WT.	TOP SECTION W/LD LENGTH	WT.	BOTTOM LENGTH	WT.	PIECES PER PKG.
461-S	19-22	60	10	35	15	25	..
462-S	27-32	70	10	35	24	35	20
562-S	27-37	80	16	45	24	35	20
563-S	33-43	85	16	45	30	40	20
564-S	39-50	90	16	45	36	45	20
662-S	36-52	105	26	65	30	40	20
664-S	39-60	110	26	65	36	45	20
666-S	51-71	135	26	65	48	70	20
668-S	62-82	145	26	65	60	80	20

**MAY BE FURNISHED IN TWO PIECES SCREWED TOGETHER TO MAKE THE LENGTH REQUIRED.



NOTE: LOCKING LIDS WILL NOT BE ACCEPTED.

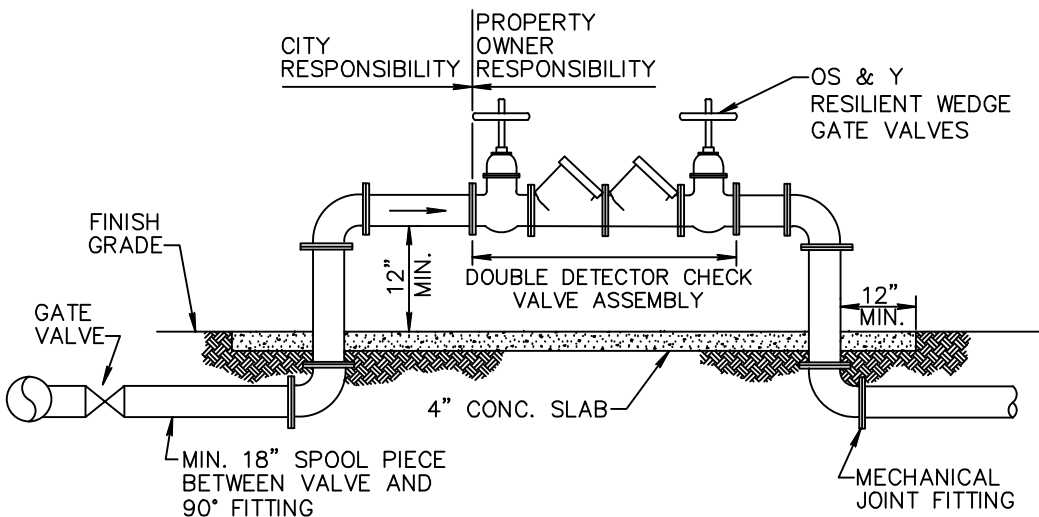
CAST IRON VALVE BOXES, TWO-PIECE PW 3.2



NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.

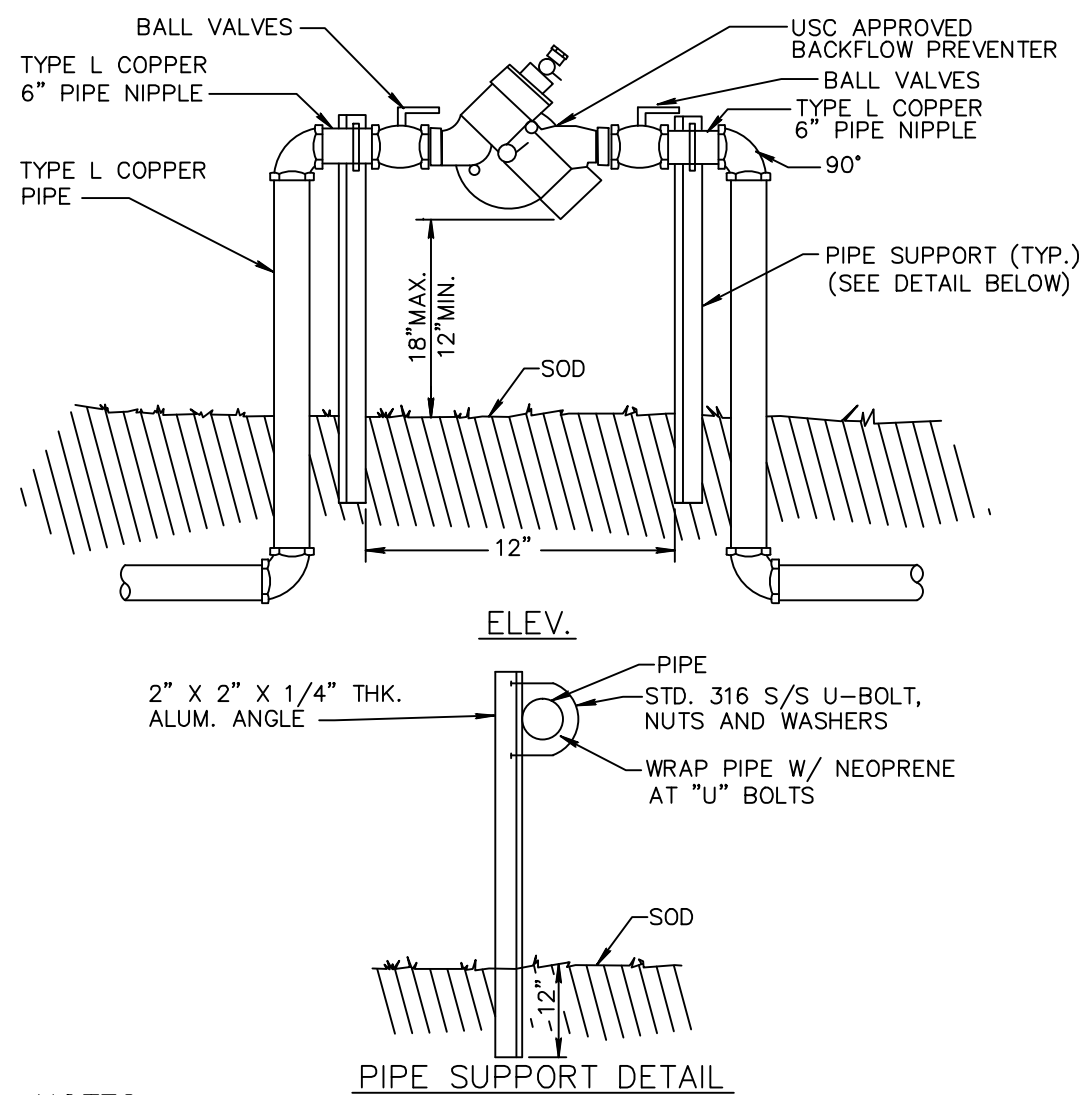
TYPICAL SERVICE CONNECTION PW 9.1a



NOTES:

- FOR ALL SERVICES GREATER THAN 2" DIA.
- ALL PIPE AND FITTINGS SHALL BE CLASS 52 DUCTILE IRON CEMENT LINED WITH CEMENT LINED DUCTILE IRON FLANGE FITTINGS FOR ABOVE GROUND USE. MECHANICAL JOINT SHALL BE USED UNDERGROUND IN ACCORDANCE WITH AWWA STANDARDS.
- THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY SHALL MEET AWWA M14 AND AWWA C511-89, AND APPROVAL OF ENVIRONMENTAL SERVICES DEPARTMENT.
- CERTIFICATION OF PROPER INSTALLATION AND OPERATION WILL BE REQUIRED FROM A CERTIFIED BACKFLOW PREVENTION TECHNICIAN PRIOR TO WATER MAIN ACCEPTANCE BY THE CITY OF DELRAY BEACH.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND TESTING OF THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY.
- BOLLARDS TO BE USED IF THE ASSEMBLY IS WITHIN 5' OF THE PAVEMENT, REFER TO BOLLARD DETAIL PW 5.2.
- ALL TWO INCH DOUBLE DETECTOR CHECK VALVE, SHALL BE BRASS OR TYPE "L" COPPER TUBING
- USE OF OTHER PIPE MATERIALS WITH APPROVAL OF WATER SEWER MANAGER.
- CITY MAINTAINS UP TO THE FIRST O S & Y VALVE.

DOUBLE DETECTOR CHECK VALVE PW 10.1



NOTES:

- FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
- ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
- ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
- RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.80.
- USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIRECTOR OF UTILITIES.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER PW 10.2

FITTING TYPE		PIPE SIZE							
90° HORIZ. BEND		4"	6"	8"	10"	12"	16"	20"	24"
45° HORIZ. BEND		14	20	25	30	35	45	54	62
22.5° HORIZ. BEND		3	4	5	6	7	9	11	12
11.25° HORIZ. BEND		1	2	3	3	4	4	5	6
90° VERT. OFFSET	UPPER BEND	55	79	103	125	147	189	228	266
	LOWER BEND	22	38	49	59	69	88	106	123
45° VERT. OFFSET	UPPER BEND	22	32	42	51	60	77	93	109
	LOWER BEND	10	14	19	23	28	35	43	50
22.5° VERT. OFFSET	UPPER BEND	7	12	17	21	26	34	42	49
	LOWER BEND	2	4	6	8	10	14	17	21
11.25° VERT. OFFSET	UPPER BEND	3	4	6	9	11	15	19	22
	LOWER BEND	1	1	1	2	3	5	7	8
PLUG (DEAD END)		32	45	59	70	83	107	129	151
INLINE VALVE		32	45	59	70	83	107	129	151
TEE (BRANCH RESTRAINT)	4"x0	23							
	6"x0	21	35						
	8"x0	18	34	47					
	10"x0	16	32	46	58				
	12"x0	13	30	44	57	69			
	16"x0	7	26	41	55	67	90		
	20"x0	1	21	38	52	65	88	109	
REDUCER (LARGER PIPE RESTRAINT)	24"x0	1	16	34	49	62	86	108	129
	6"x0	23							
	8"x0	38	25						
	10"x0	57	43	24					
	12"x0	72	60	44	41				
	16"x0	99	90	78	75	45			
	20"x0	123	116	107	105	81	45		
	24"x0	146	140	132	131	111	82	45	

RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE

PIPE RESTRAINT TABLE FOR PRESSURE PIPE
PP 2.1A
(SHEET 1 OF 2)

NOTES:

- THE DATA IN THE PREVIOUS TABLE ARE BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:
SOIL TYPESAND
TEST PRESSURE150 PSI, 200 PSI FOR PIPES LARGER THAN 24"
DEPTH OF BURY3'
TRENCH TYPE3
SAFETY FACTOR1.5
VERTICAL OFF-SET3'
MINIMUM PIPE LENGTHS ALONG TEE RUN5'
- THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON PIPE AND PVC PIPE.
- ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.
- RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES
- THE PREVIOUS TABLE SHALL SERVICE AS A GENERAL DESIGN GUIDE ONLY. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO JUSTIFY AND DOCUMENT ANY DEVIATIONS FROM THE PIPE LENGTHS SPECIFIED IN THE PREVIOUS TABLE.
- SOURCES: EBAA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, RELEASE 3.1 AND DIPRA THRUST RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2.
- RESTRAIND JOINTS SHALL EXTEND ONE JOINT BEYOND MIN. LENGTH REQUIRED.

PIPE RESTRAINT TABLE FOR PRESSURE PIPE
PP 2.1B
(SHEET 2 OF 2)



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2020 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY,
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

WATER & WASTEWATER DETAILS FOR:
SPICE OFFICE BUILDING
325-343 NE 5TH AVE
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500

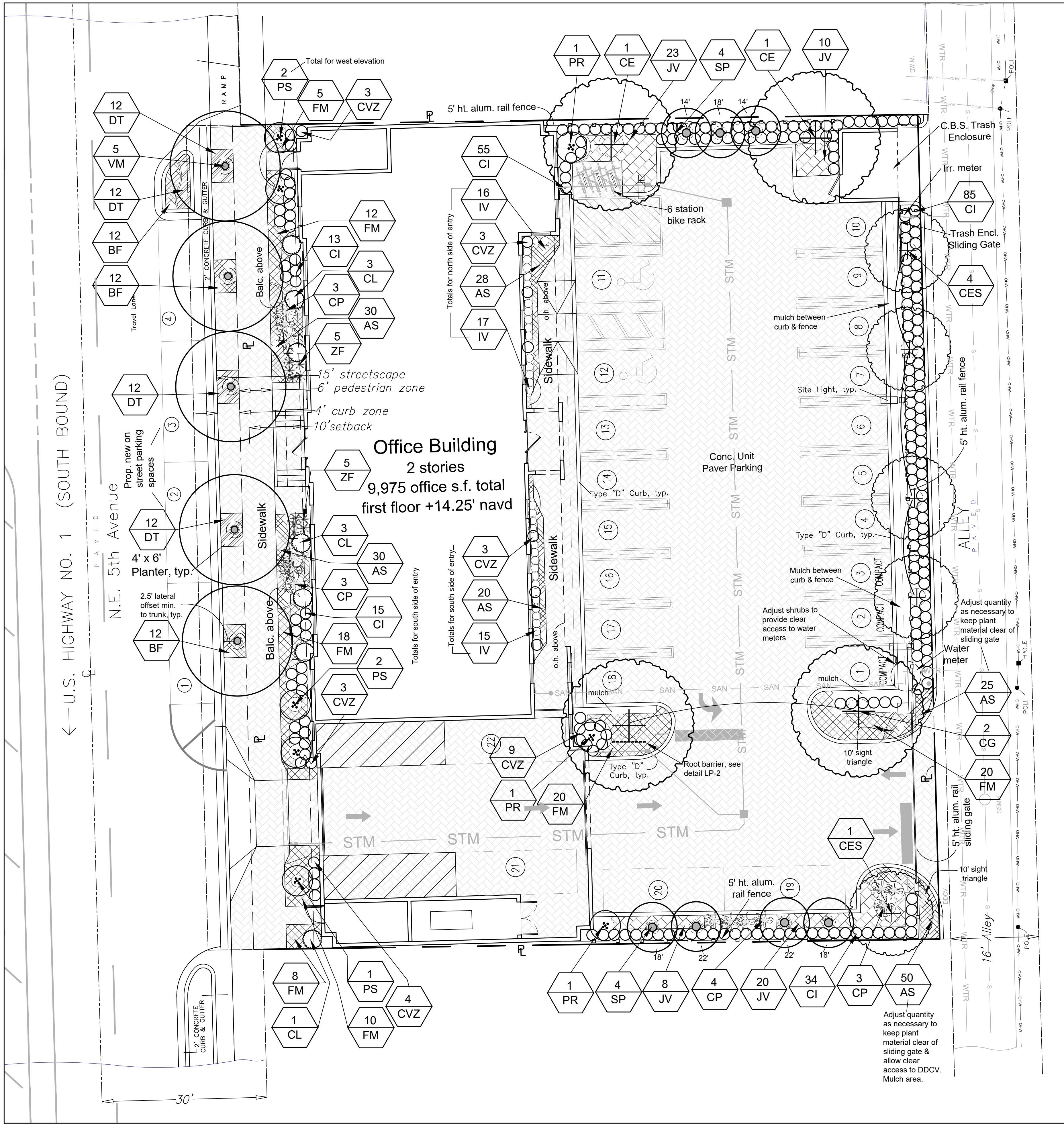
DRAWN:
B.A.B.

CHECKED:
J.A.P.

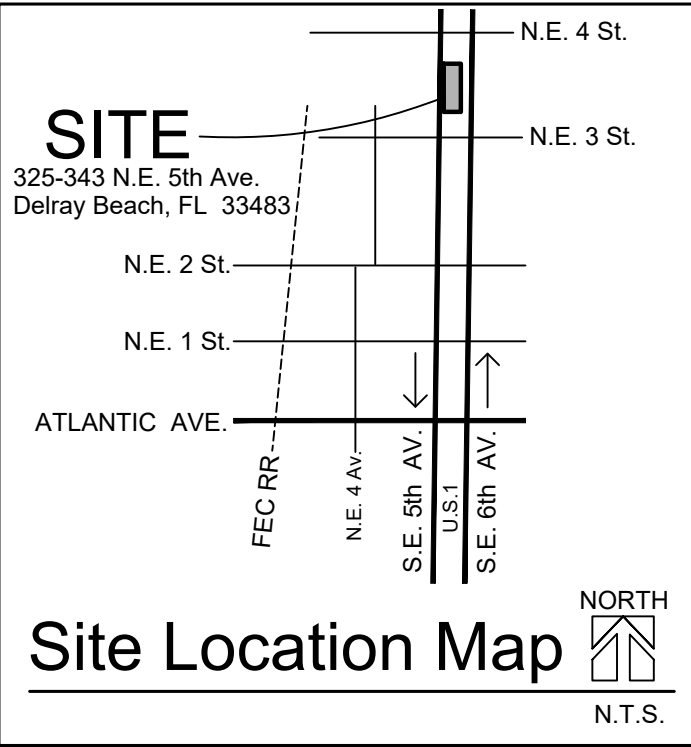
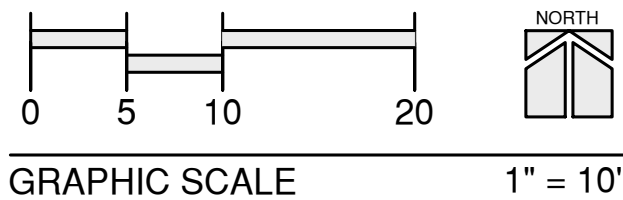
DATE:
04/02/20

JOB NO.
19092-DTL

SHEET NO.
5 OF 7



Landscape Plan



Plant Key

Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance	Tree or Palm Replacement Value @ 1:1	Replacement Value d.b.h.
183	AS	Asparagus densiflorus "Myers" / Foxtail Asparagus Fern 10-12" spr., 15" o.c.	VERY		
36	BC	Bulbine frutescens / Orange Bulbine 12-15" o.a., 15" o.c.	VERY		
2	CE*	Conocarpus erectus / Green Buttonwood 16' ht. x 6' spr., 4'd.b.h., 6' c.t.	VERY		2@4"= 8"
5	CES*	Conocarpus erectus var. sericeus / Silver Buttonwood 12' ht. x 5' spr., full and dense, min. 3 trunks, trim to 5' c.t.	VERY	5	
2	CG	Caesalpinia granadillo / Bridalveil Tree 16' ht. x 6' spr., 4'd.b.h., 6' c.t., matched in character	VERY	2	
202	CI*	Chrysobalanus icaco "Red Tip" / Red Tip Cocoplum 20" ht. x 12-15" spr., 24" o.c.	VERY		
7	CL	Clusia guttifera / Small Leaf Clusia 4' ht. x 3' spr., full to ground	VERY		
13	CP	Crinum procerum splendens / Purple Procerum Lily 36" o.a., full	VERY		
25	CVZ	Codiaeum variegatum "Zanzibar" / Zanzibar Croton 30" ht. x 24" spr., full to ground	VERY		
48	DT	Dianella tasmanica "Variegata" / White Striped Tasman Flax Lily 12-15" o.a., 15" o.c.	VERY		
93	FM	Ficus microcarpa "Green Island" / Green Island Fig 15" spr., full, 24" o.c.	VERY		
48	IV*	Ilex vomitoria "Schillings Dwarf" / Dwarf Yaupon 12-15" o.a./, 24" o.c.	VERY		
61	JV	Jasminum volubile / Wax Jasmine 15" o.a., full, 24" o.c.	VERY		
3	PR	Phoenix roebelenii / Dwarf Date Palm 5-6' o.a., double staggered ht. trunks	VERY		
5	PS	Ptychosperma schefferi / Scheffer's Palm 8-10' ht. o.a., min. 4 main trunks, trim fronds to clear bldg.	MOD		
8	SP*	Sabal palmetto / Cabbage Palm c.t. as noted on plan	VERY	2 palms @ 1:1 4 over 16' c.t.	
5	VM	Veitchia montgomeryana / Montgomery Palm 14' g.w., matched heavy trunks	VERY	5 palms	
10	ZF*	Zamia floridana / Coontie 18-20" o.a., full	VERY		

* = Native to Florida

Abbreviations:
c.t. - clear trunk
g.w. - grey wood
ht. - height

o.c. - on-center spacing
o.a. - overall
spr. - spread

PLANT KEY NOTES

- The Contractor is responsible to verify all plant quantities and report any discrepancies to the Landscape Architect.
- Drought tolerance noted is per SFWMD (May 2003) "Waterwise" South Florida Edition or University of Florida IFAS Extension Service, as applicable.

Removal & Mitigation Summary

Trees & Palms on site and in adjacent r/w - 13
Trees & Palms to Remove - 13

Trees
Rating Quant.
0-49% 7 (1:1 replacement)
50-100% 2 (8" replacement)
Replaced by this plan = 7 trees
Replaced by this plan = 8"
Note - Schefflera not counted for replacement
Total - 6

Palms
Rating Quant.
0-49% 7 (1:1 replacement)
50-100% 4 (1:1 replacement, min. 16' ht.)
Total - 11

NOTES

- All prohibited plant species shall be eradicated from the development site and reestablishment of prohibited species shall not be permitted.
- Any trees or shrubs placed within water, sewer, or drainage easements shall conform to the City of Delray Beach Standard Details; LD 1.1 & LD 1.2., see LP-2.

Revisions	07-14-20	04-29-20
SET	06-08-20	03-19-20
Revised per TAC comments dated	06-08-20	03-19-20
Revised per TAC comments dated	03-19-20	

Covelli Design Associates Inc.

7050 West Palmetto Park Road
Suite 150
Boca Raton, Florida 33433
561-910-0330

LC 26000287
covellidesign.com

Urban Planning • Landscape Architecture

Landscape Plan

Spice Office Building

Delray Beach

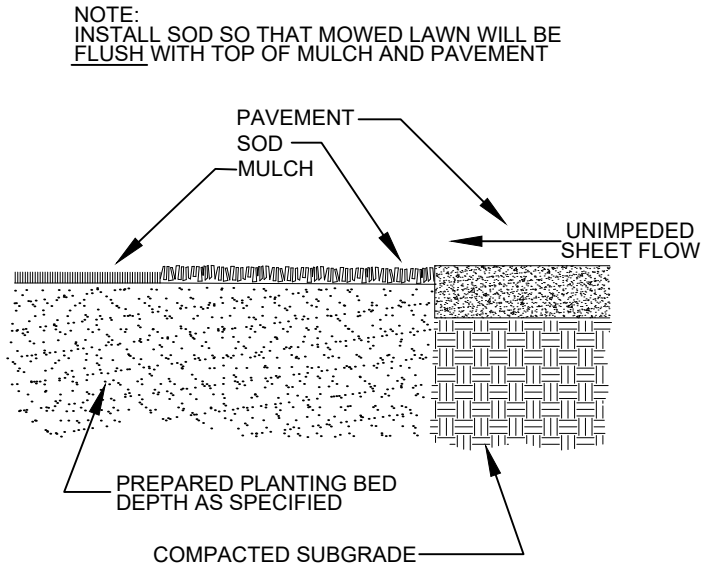
Florida

Date	02-10-2020
Scale	As Noted
PN#	1290

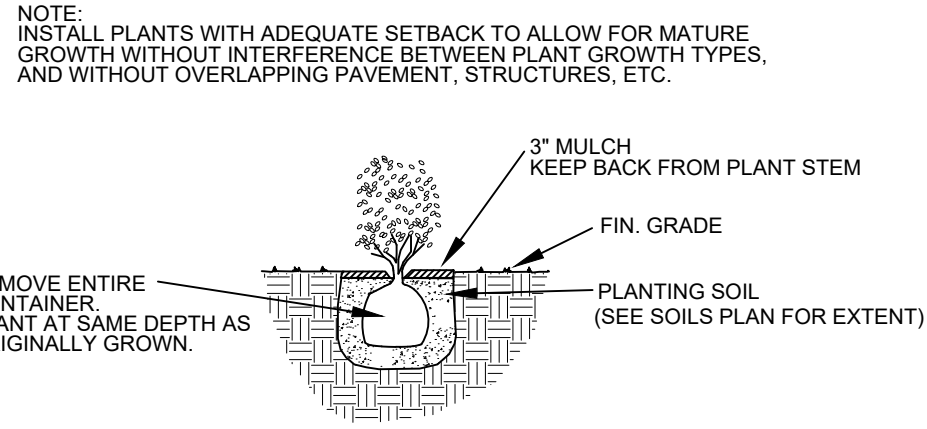
Drawing No.

LP-1

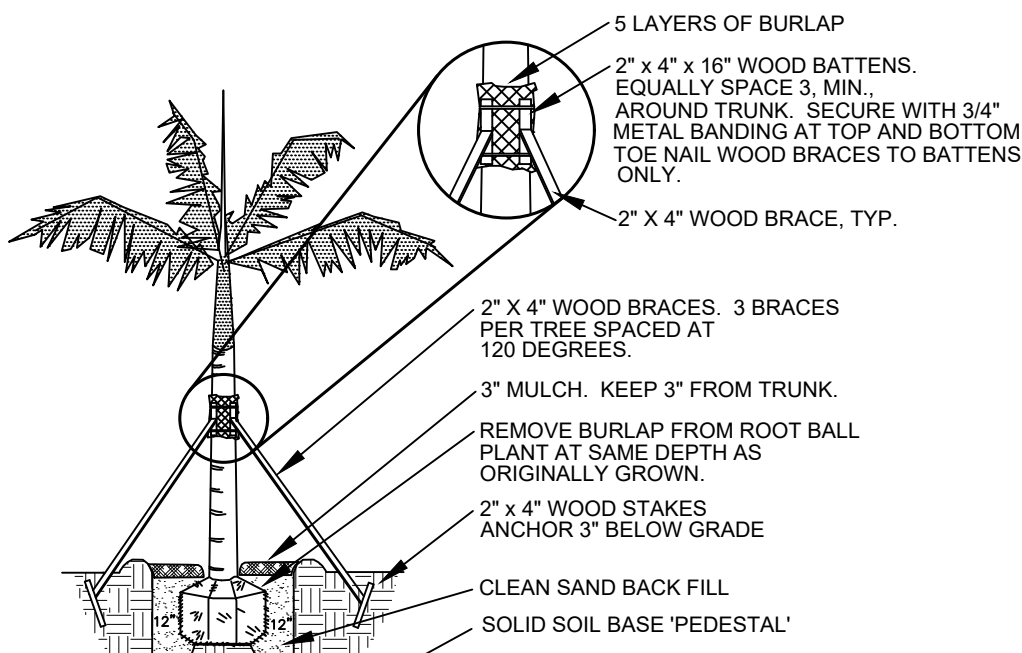
OF 2



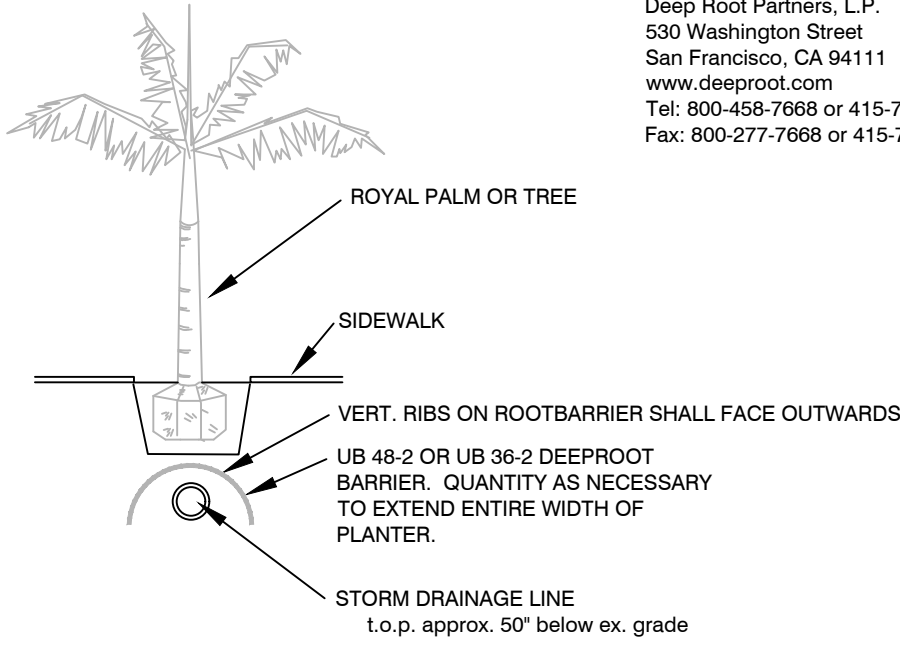
SOD / MULCH INSTALLATION
NOT TO SCALE



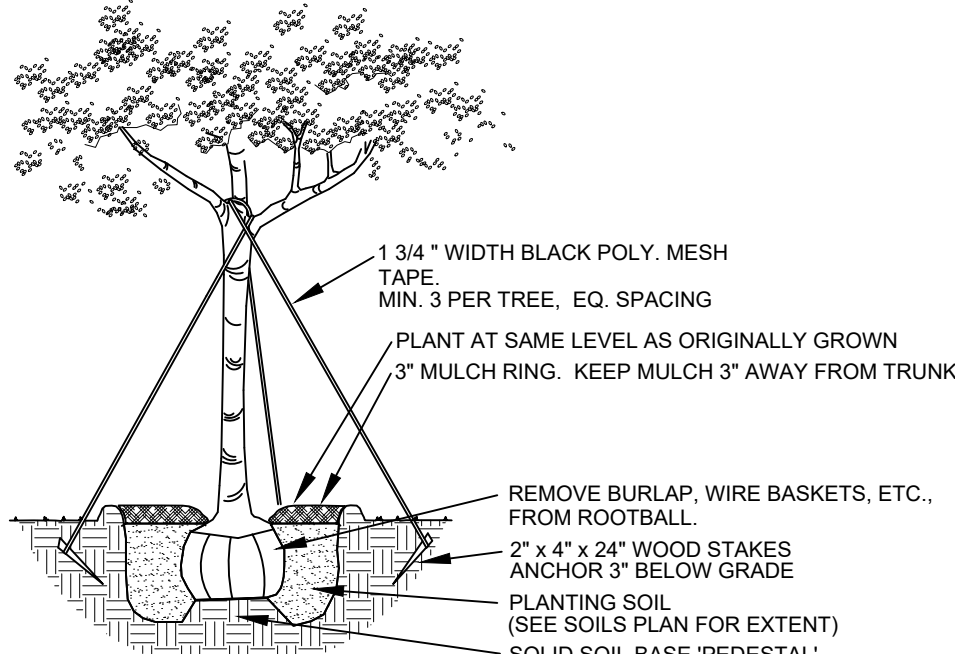
SHRUB PLANTING DETAIL
NOT TO SCALE



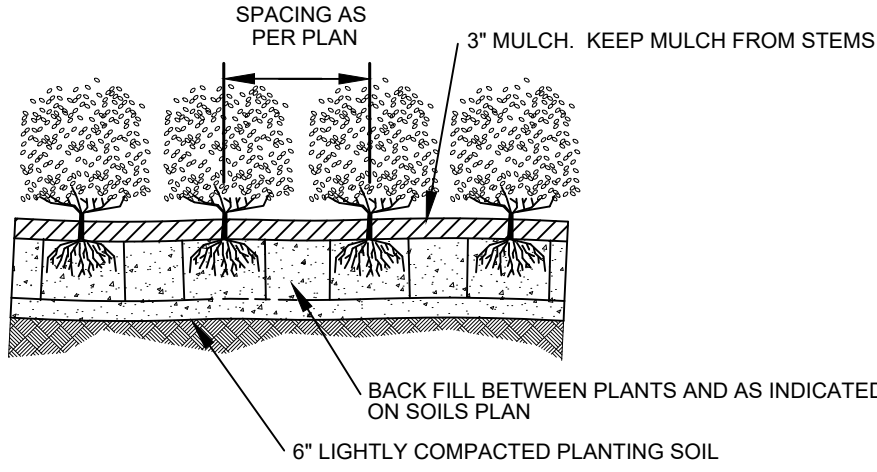
PINNATE LEAF TYPE PALM PLANTING DETAIL
NOT TO SCALE



PLANTING TREES ON TOP OF STORM DRAINAGE
NOT TO SCALE

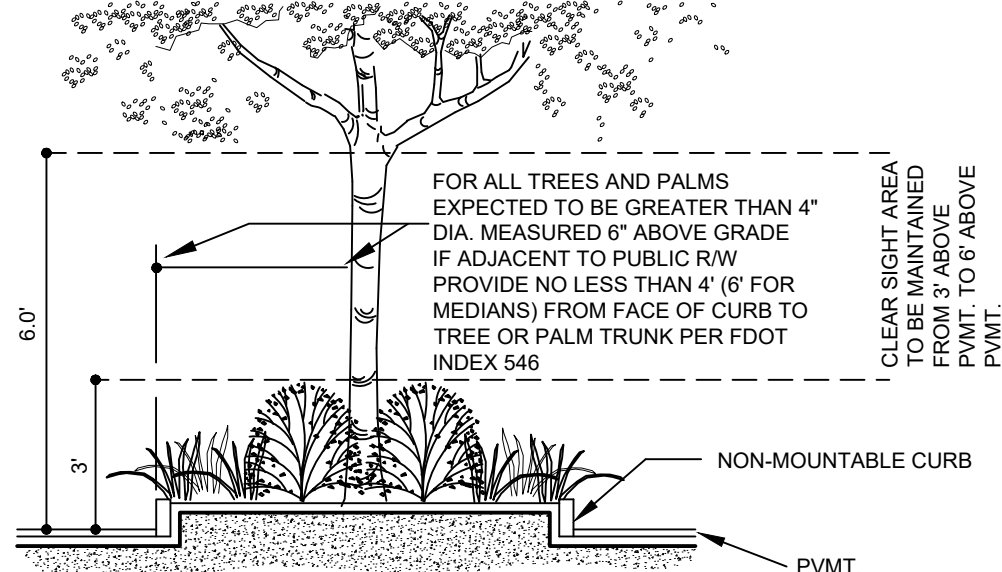


TREE PLANTING DETAIL
NOTE: MULTI-TRUNK TREE PLANTING SIMILAR.
NOT TO SCALE

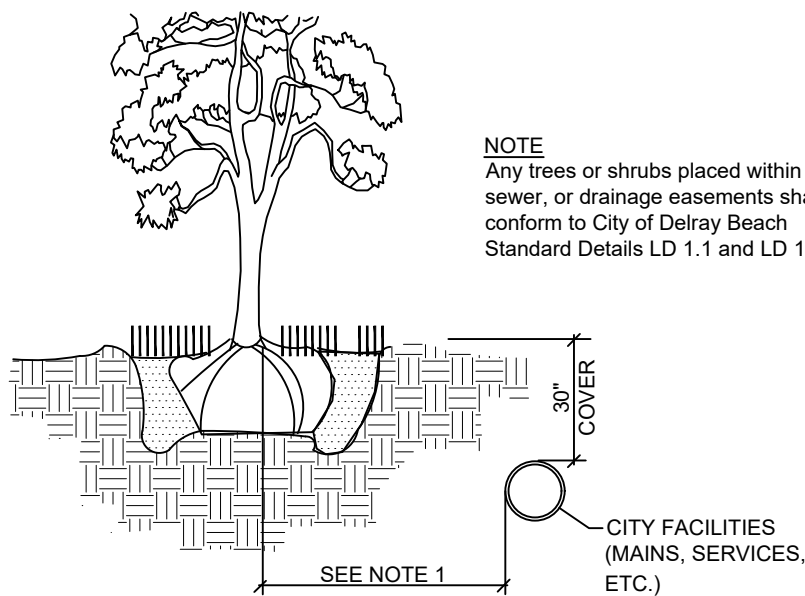


NOTE: PLANT AT SAME DEPTH AS ORIGINALLY GROWN

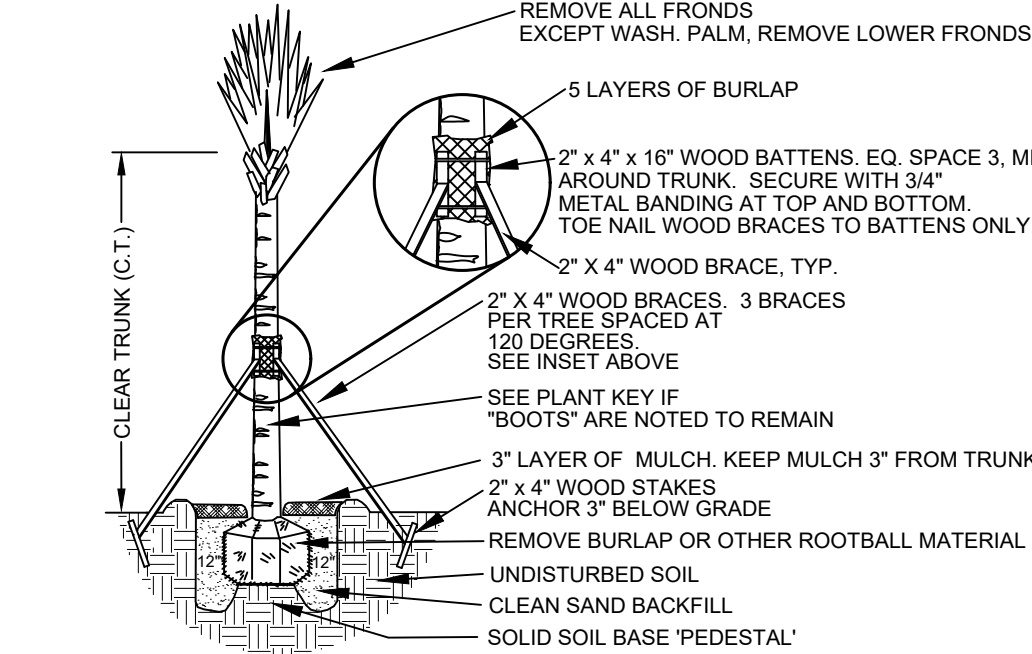
SHRUB MASS PLANTING
NOT TO SCALE



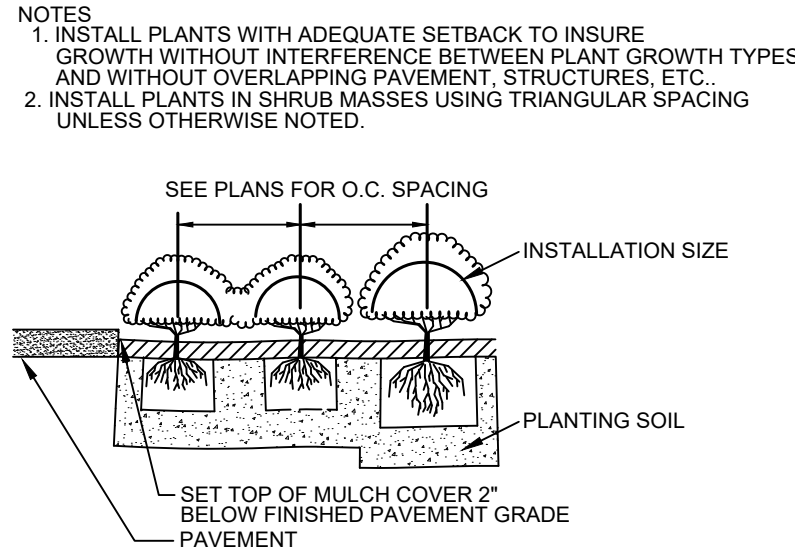
SECTION CLEAR SIGHT AREA WITHIN SIGHT VISIBILITY TRIANGLE AND HORIZONTAL CLEARANCE
NOTE: DIMENSIONS NOTED ABOVE APPLY TO ALL CLEAR SIGHT VISIBILITY AREAS - MEDIANS AS SHOWN ABOVE AND ROADSIDE CLEAR SIGHT TRIANGLES, AS NOTED ON THE PLANS.
NOT TO SCALE



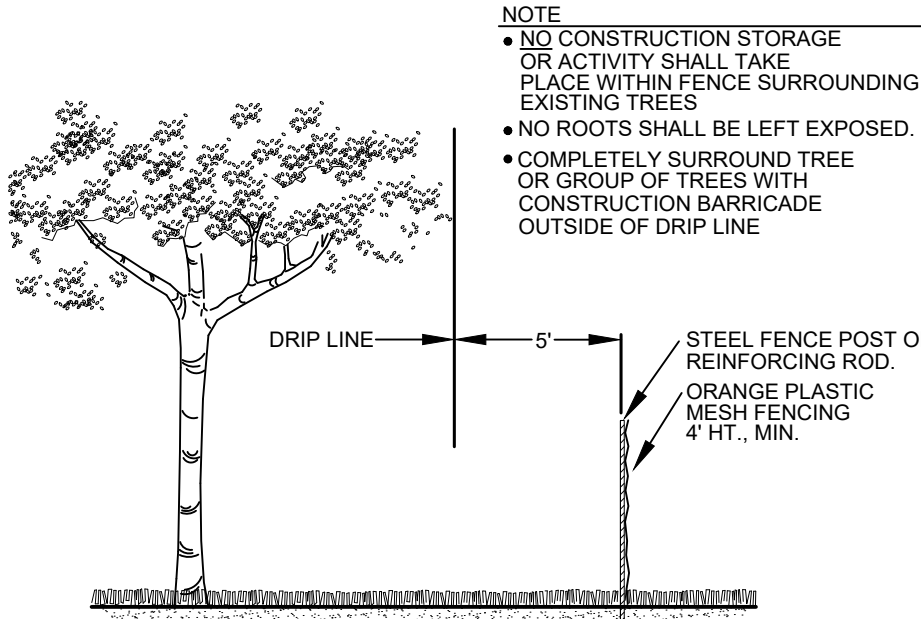
NOTES:
1. THIS DISTANCE SHALL BE 10' MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.
TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2
City of Delray Beach Standard Detail LD1.2



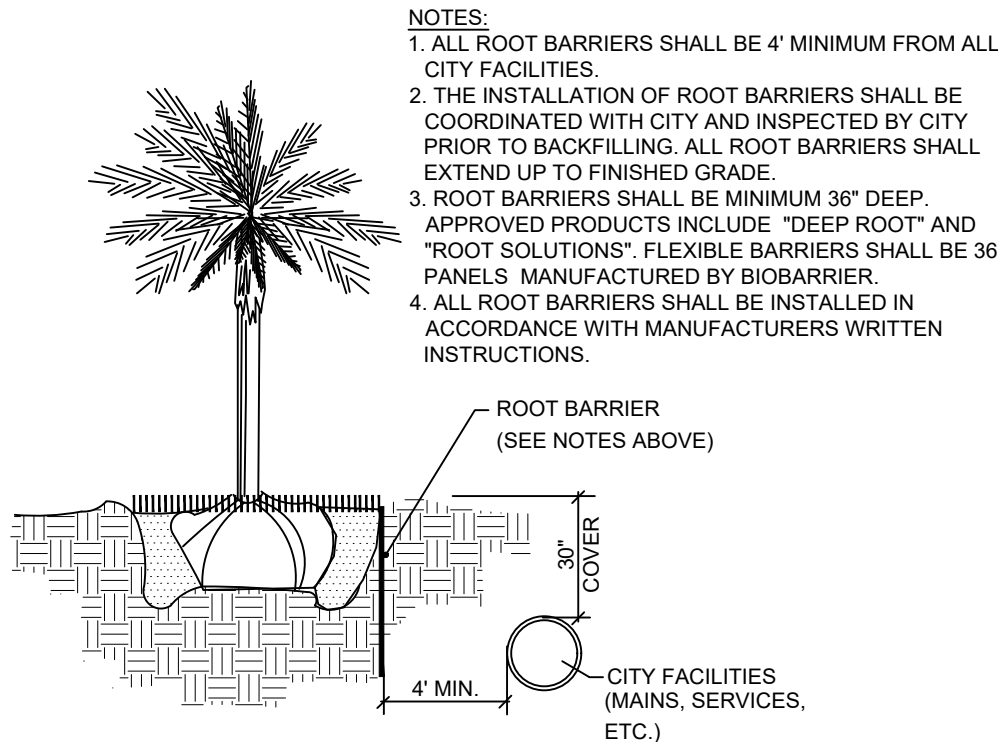
NOTE: PALMS WITH NAILS DRIVEN INTO TRUNKS ARE NOT ACCEPTABLE.
CABBAGE PALM PLANTING DETAIL
NOT TO SCALE



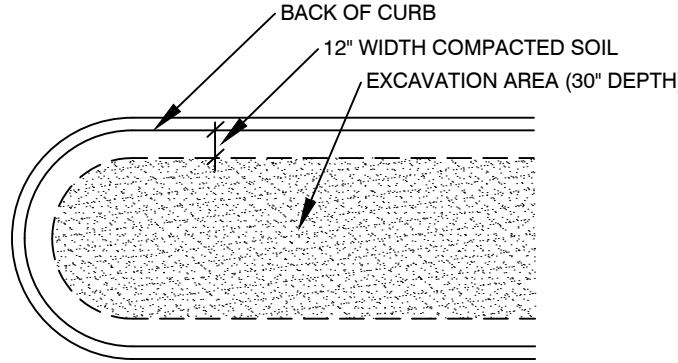
SHRUB SPACING
NOT TO SCALE



TEMPORARY CONSTRUCTION BARRICADE
NOT TO SCALE

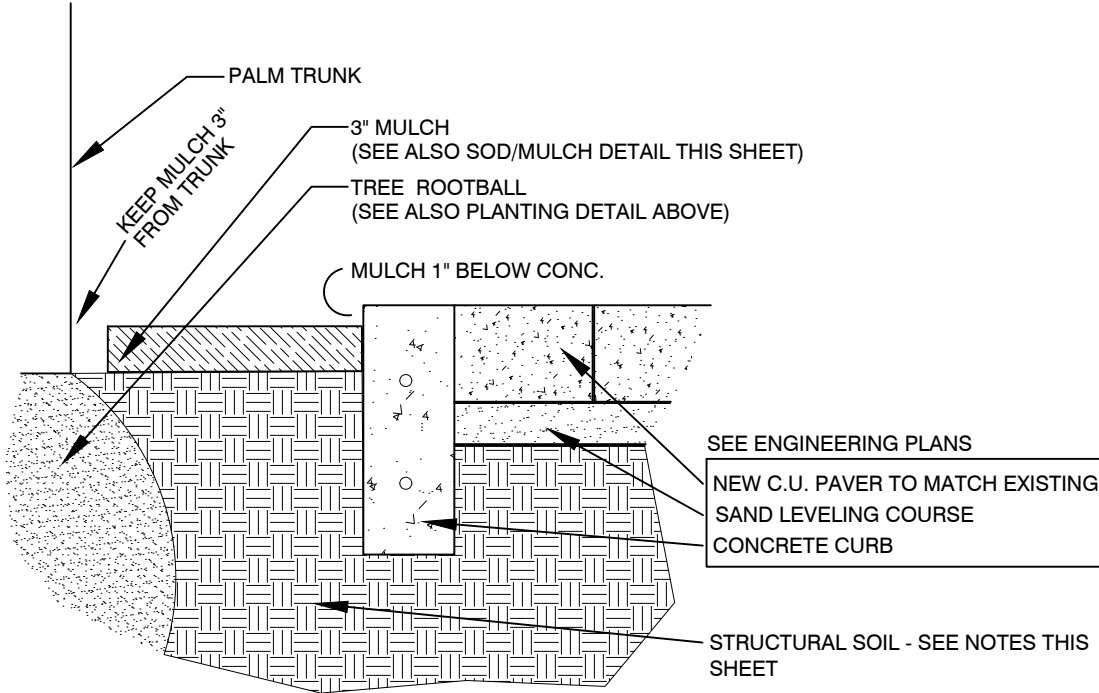


TYPICAL TREE WITH ROOT BARRIER LD 1.1
City of Delray Beach Standard Detail LD1.1



- NOTE
- Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement.
 - A suitable planting soil mixture of fifty/fifty (50/50), sixty/forty (60/40) (sand/topsoil) or as otherwise indicated by the Registered Landscape Architect, shall either be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development.
 - If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing.
 - All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met. [City of Delray Beach Amd. Ord. 6-12 2/21/12]

LANDSCAPE SOIL REPLACEMENT AREAS
WITHIN OR ADJACENT TO VEHICULAR USE AREAS
NOT TO SCALE



Street Planter Detail
NOT TO SCALE

Structural Soil

STRUCTURAL SOIL SHALL BE USED UNDER ALL SIDEWALK AREAS WITHIN 15' OF TREE/PALM PLANTINGS. CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATION PRIOR TO INSTALLATION.

- GENERAL STRUCTURAL SOIL SPECIFICATION
- At least 50% of sand-size particles should be greater than 220 µm (M50 should be >220µm).
 - D60/D10 < 2.5 where:
D60= sieve size through which 60% of sand passes
D10= sieve size through which 10% of sand passes
 - Less than 4% (by weight) of soil is of clay-size particles. Clay size particle content should not be less than 2% or Cation Exchange Capacity of the mix.
 - The soil mix should contain less than 1% of particles > 2mm.
 - Organic matter content must be less than 5% (by weight).

- NOTE
- Structural soil shall be used under all sidewalk pavement (concrete pavers, etc.) within 15' of trees/palms.
 - Structural soil shall be at a min. 24" depth in these areas.

Commercial Landscape Tabulations

A. TOTAL LOT AREA 18,439 s.f.	K. TOTAL INTERIOR SHADE TREES REQUIRED 6 (1/125)
B. STRUCTURES, PARKING WALKWAYS, DRIVES, ETC. 15,494 s.f.	L. TOTAL INTERIOR SHADE TREES PROVIDED 4
C. TOTAL PERVIOUS LOT AREA 2,945 s.f.	M. TOTAL L.F. SURROUNDING PARKING OR VEHICULAR USE AREA 250 l.f.
D. AREA OF SHRUBS & GROUNDCOVERS REQUIRED 884 s.f. (30% of "C")	N. TOTAL NUMBER OF PERIMETER TREES REQUIRED 10 (250/25)
E. AREA OF SHRUBS & GROUNDCOVERS PROVIDED 2,945 s.f.	O. TOTAL NUMBER OF PERIMETER TREES PROVIDED 10 (incl. 6 cabbage palms @3:1)
F. NATIVE VEGETATION REQUIRED 221 s.f. (25% of "D")	P. TOTAL NUMBER OF EX. TREES TO BE SAVED ON SITE 0
G. NATIVE VEGETATION PROVIDED 988 s.f.	Q. TOTAL NUMBER OF NATIVE TREES REQUIRED 8 (50% of total required trees) (K+N x 0.5)
H. TOTAL PAVED VEHICULAR USE AREA 7,209 s.f.	R. TOTAL NUMBER OF NATIVE TREES PROVIDED 10 (incl. 6 cabbage palms @3:1)
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED 721 s.f. (10% of "H")	S. TOTAL NUMBER OF OF TREES ON PLAN PROVIDED 16
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED 733 s.f.	

Standard Landscape Notes

- All landscape and specifications shall meet or exceed the minimum requirements as provided by the City of Delray Beach Land Development Code.
- All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition.
- All sizes shown for plant material on the plan are to be considered as minimums. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for acceptance.
- Landscape shall be placed to edge of abutting ROW, canals, lakes or other lands.
- All mechanical equipment, air conditioning, irrigation pump stations and equipment, fpl transformers, pool pumps, etc. must be screened on three (3) sides by landscape shrubs. Note: the quantity of screening shrubs may be in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary.
- Guying/staking practices shall not permit nails, screws, wires, etc. to penetrate outer surfaces of trees, palms or other planted material. Trees, palms and plant material will be rejected due to this practice.
- Burlap material, wire cages, plastic/canvas straps, etc. must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material removed entirely prior to planting the tree or shrub.
- All plant material shall be free of pests, insects, disease, weeds, etc.
- All plant material shall be planted at the proper depths, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
- Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit.
- All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with a 75% overlap (minimum) using rust-free water, except any preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
- All plant material and work shall be guaranteed for one-year from date of final job acceptance. During the one year guarantee, any plant material that dies or is in an unhealthy condition shall be replaced with the same plant type at least equal to the size and quality originally specified. The replacement material shall also be guaranteed for one year from the date of its installation. The guarantee will be null and void if plant material is damaged or killed by lightning, hurricane force winds, hail or freeze.
- The landscape contractor is responsible for verifying there are not conflicts with above or below ground utilities prior to commencing landscape installation. Notify owner if conflicts exist.
- Any trees to remain shall be pruned in such a way to promote proper horticultural and natural tree growth.
- All trees and palms placed closer than 10' from underground utilities shall receive root barrier. See detail this sheet.
- Ground covers shall be spaced as noted or to insure ground cover within 6 months of planting.
- Place sod on smooth sod bed. Remove any rocks and other debris prior to sodding. Sod shall be placed so there are no gaps or voids between pieces. On slopes place sod at 90° to slope direction. Stake sod or otherwise ensure its establishment on slopes.
- Mulch shall be eucalyptus or melaleuca mulch. All trees in sod areas are to have a 30" ring covered with a 3" layer of mulch. Cover all shrub beds with a 3" layer of mulch. Mulch shall not touch tree, palm or shrub trunks or stems.
- All plant material shall be fertilized with a tablet form balanced fertilizer containing minor elements. Follow manufacturer's recommendations for rates. sod areas shall be fertilized with a granular form balanced fertilizer with minor elements following manufacturer's recommendations for rates.
- Planting soil shall be a mix of 1/3 native soil, 1/3 clean sand & 1/3 peat as shown on the planting plan. If native soil is unacceptable, contact landscape architect.
- Reinforced concrete curbing at least 6" in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with the drainage the drainage.
- The landscape irrigation system shall utilize reclaimed water, when available and where allowed by Florida Statutes, from one master meter located at the property line. Coordinate location and service with the City of Delray Beach Public Utilities Department.



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

7050 West Palmetto Park Road
Suite 150
Boca Raton, Florida 33433
561-910-0330

Covelli
Design
Associates Inc.
Urban Planning • Landscape Architecture

Landscape Plan & Details
Spice Office Building
Delray Beach
Florida

Date 02-10-2020
Scale As Noted
PN# 1290

Drawing No.
LP-2
OF 2



- Not part of replacement calculation

Removal & Mitigation Summary

Trees & Palms on site and in adjacent r/w - 13
Trees & Palms to Remove - 13

Trees	
Rating	Quant.
0-49%	7 (1:1 replacement)
	Replaced by this plan = 7 trees
50-100%	2 (8" replacement)
	Replaced by this plan = 8"
Note - Schefflera not counted for replacement	
Total - 6	

Palms	
<i>Rating</i>	<i>Quant.</i>
0-49%	7 (1:1 replacement)
50-100%	4 (1:1 replacement, min. 16' ht.)
Total - 11	

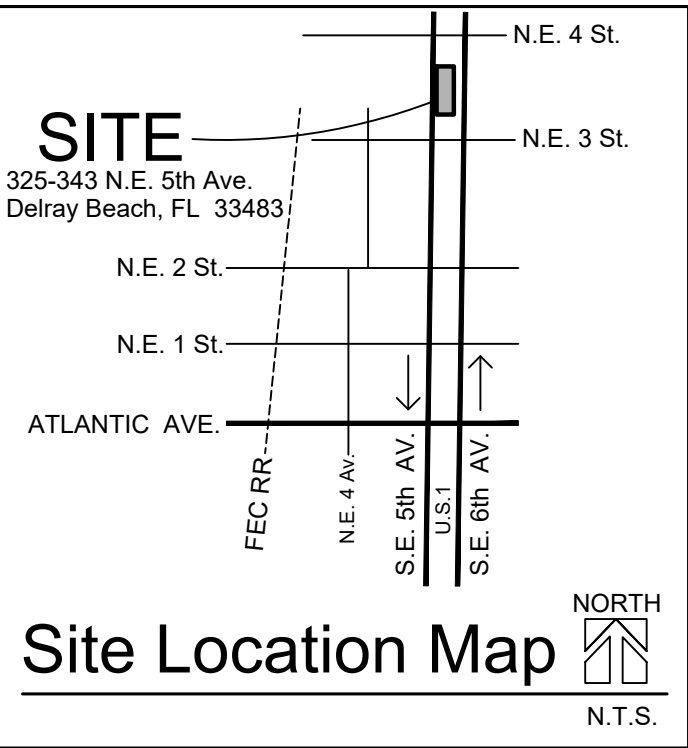
NOTE

This Tree Disposition Plan is based on a "Map of As-Built Survey" prepared by O'brien, Suiter, & O'brien, Inc. dated rev. 11-12-2019 and a Tree Survey Assessment prepared by James LaGette, Certified Arborist, dated 11-25-2019.

ALWAYS CALL TWO FULL BUSINESS DAYS BEFORE YOU DIG
sunshine 811.com



Know what's below.
Call before you dig.



**Covelli
Design
Associates Inc.**

7050 West Palmetto Park Road
Suite 15-274
Boca Raton, Florida 33433
561-910-0330

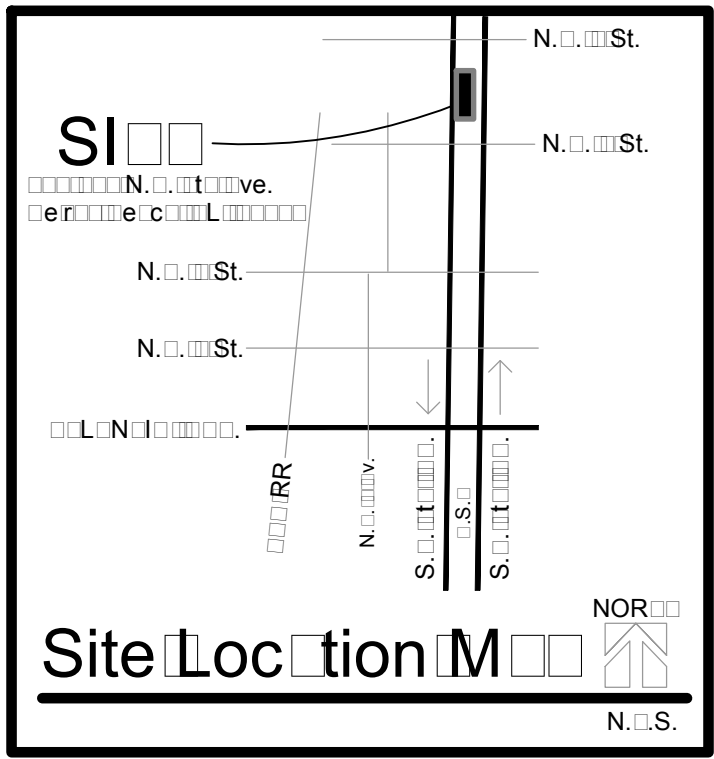
LC 26000287
covelldesign.com

Urban Planning ♦ Landscape Architecture

Tree Disposition Plan
Spice Office Building
 Delray Beach Florida


Date	02-10-2020
Scale	As Noted
PN#	1290

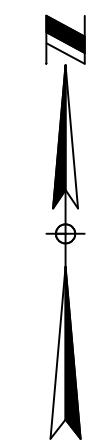
Drawing No.
TD-1
OF 1



T 1 CONCR T IR CT URIA
O TAI
NOT TO SCALE

Statistics	Sim. diff.	avg	Min	Max	Min	Max
DESCRIPTION LENGTH	+	0.000	0.000	0.000	0.000	0.000
NORM. DESCRIPTION LENGTH	+	0.000	0.000	0.000	N/A	N/A
DESCRIPTION	+	0.000	0.000	0.000	0.000	0.000
SCORE DESCRIPTION	+	0.000	0.000	0.000	N/A	N/A
SCORE DESCRIPTION	+	0.000	0.000	0.000	0.000	0.000

	HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
CERTIFICATE of AUTHORIZATION NO. 25996	
902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 www.tyecfla.com	TEL: 561-274-0200 FAX: 561-274-0222 E-MAIL: tyec@tyecfla.com



Y:\Development\GENERAL CAD\2007\10_46.dwg -- 04/09/2009 -- 09:49 AM -- Scale: 1 : 100,000