



## *Development Services Department*

### **BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Spice Office Building

**Project Location:** 325-343 NE 5<sup>th</sup> Avenue

**Request:** Class V Site Plan

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** September 23, 2020

**Board Action:**

Approved (6-0) the Class V Plan

**Project Description:**

The subject property is a 0.43-acre site comprised of portions of Lots 18, 19, and 20 of Block 105 of the Highland Park Subdivision, the Benjamins Subdivision and Town of Delray Subdivision. The property is zoned Central Business District (CBD) within the Central Core Sub-District and has a Future Land Use Map designation of Commercial Core (CC). The property contains two buildings that were built in 1940 and 1965. These will be demolished as part of the development proposal.

The proposed project is a Class V Site Plan proposal to demolish the existing buildings on the property and construct a two-story 9,975 square foot office building. It includes the construction of a parking lot along the east side of the property with a one-way driveway from NE 5<sup>th</sup> Avenue and the alley. A 5-foot high fence will be constructed around the parking lot.

**Board Comments:**

The Board member's comments were supportive.

**Public Comments:**

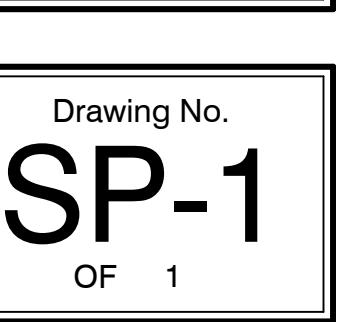
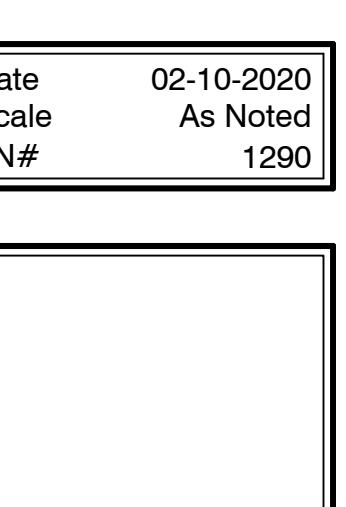
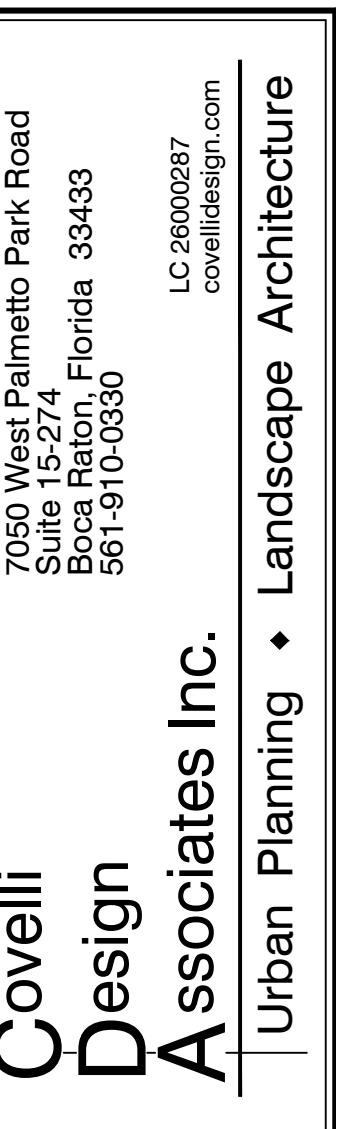
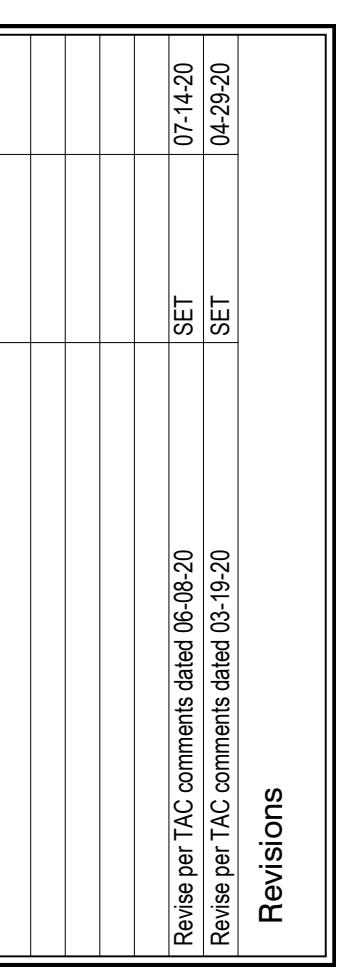
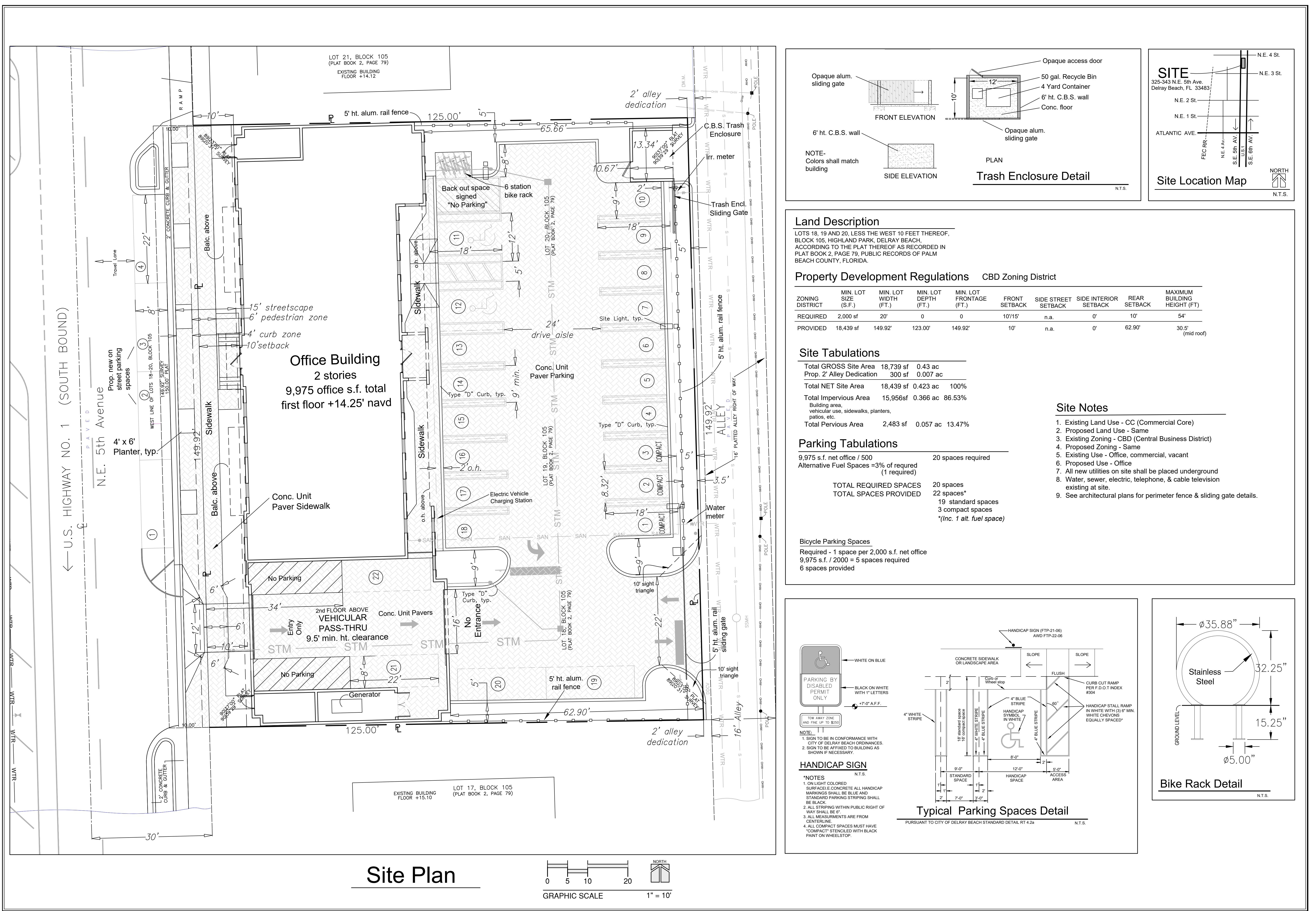
None

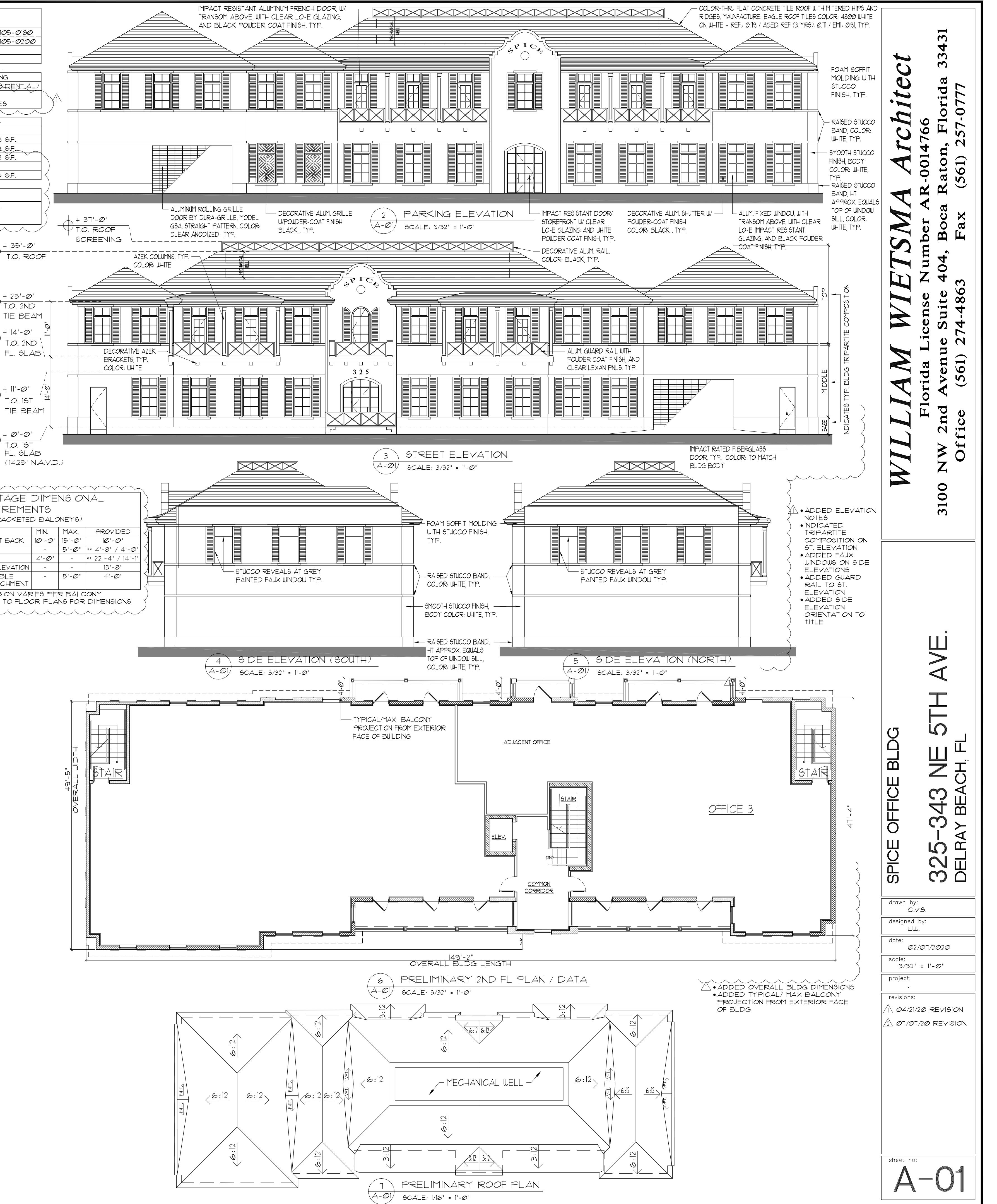
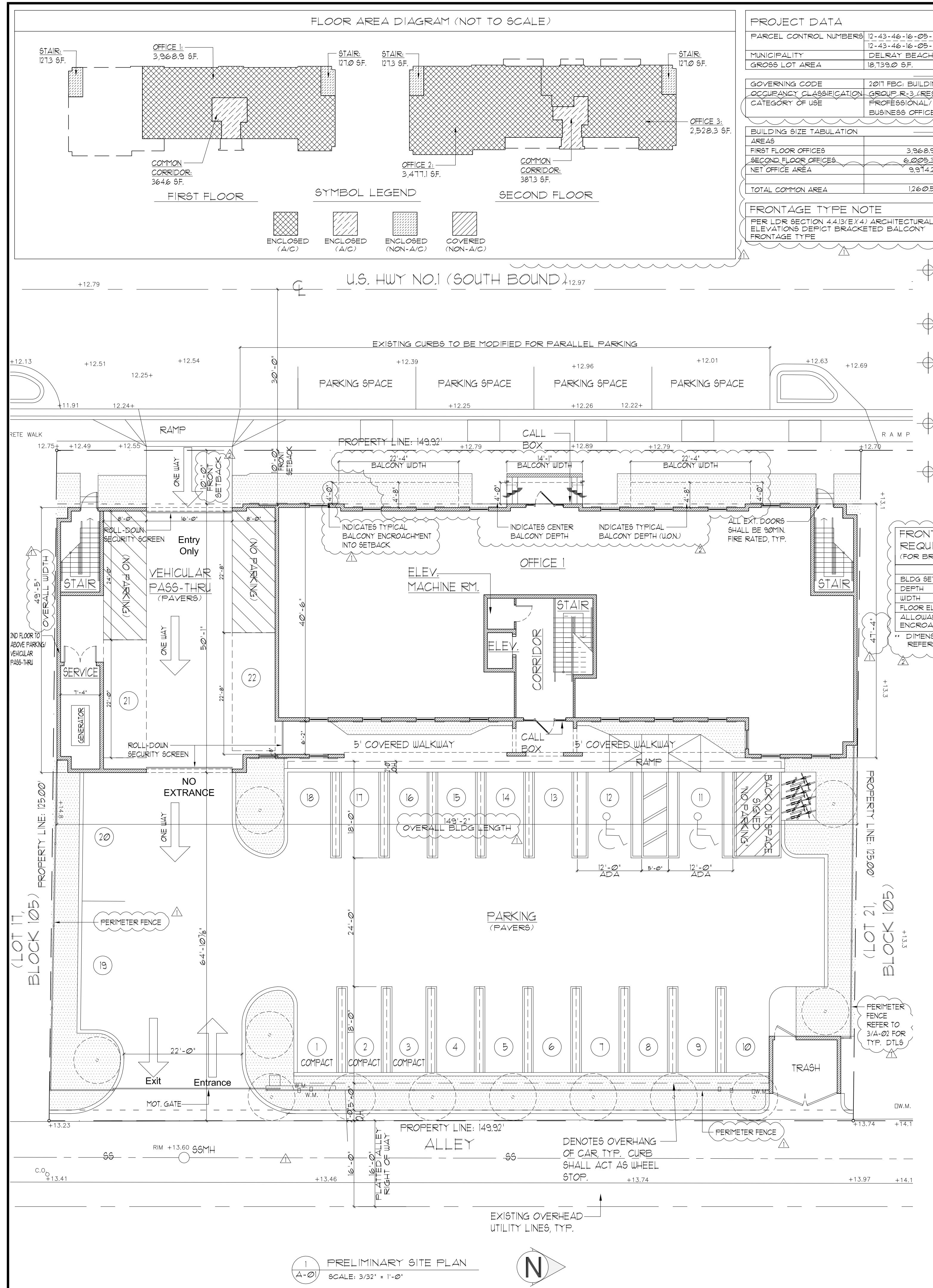
**Associated Actions:**

No associated actions.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.





# WILLIAM WIETSMA Architect

Florida License Number AR-0014766

3100 NW 2nd Avenue Suite 404, Boca Raton, Florida 33431

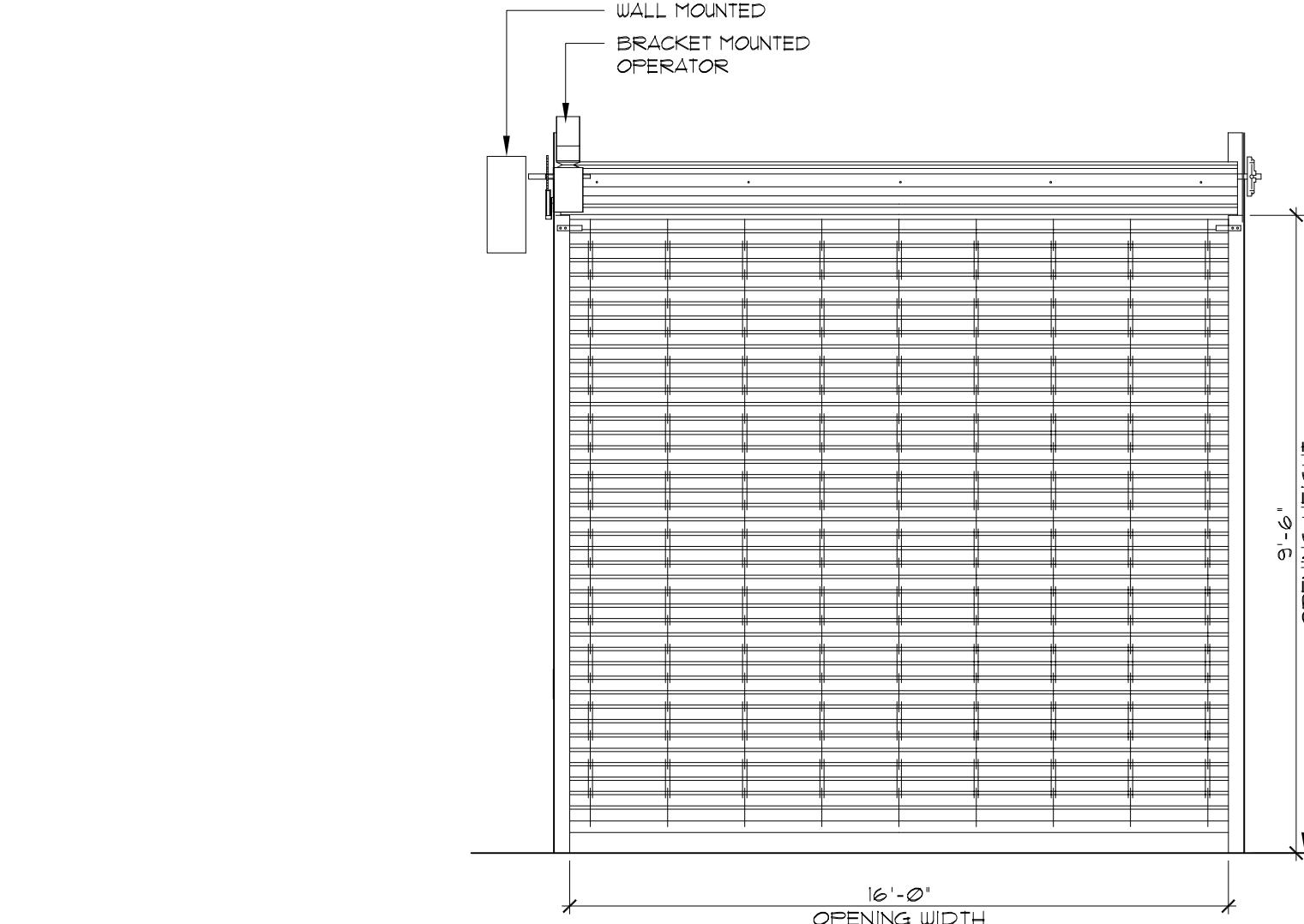
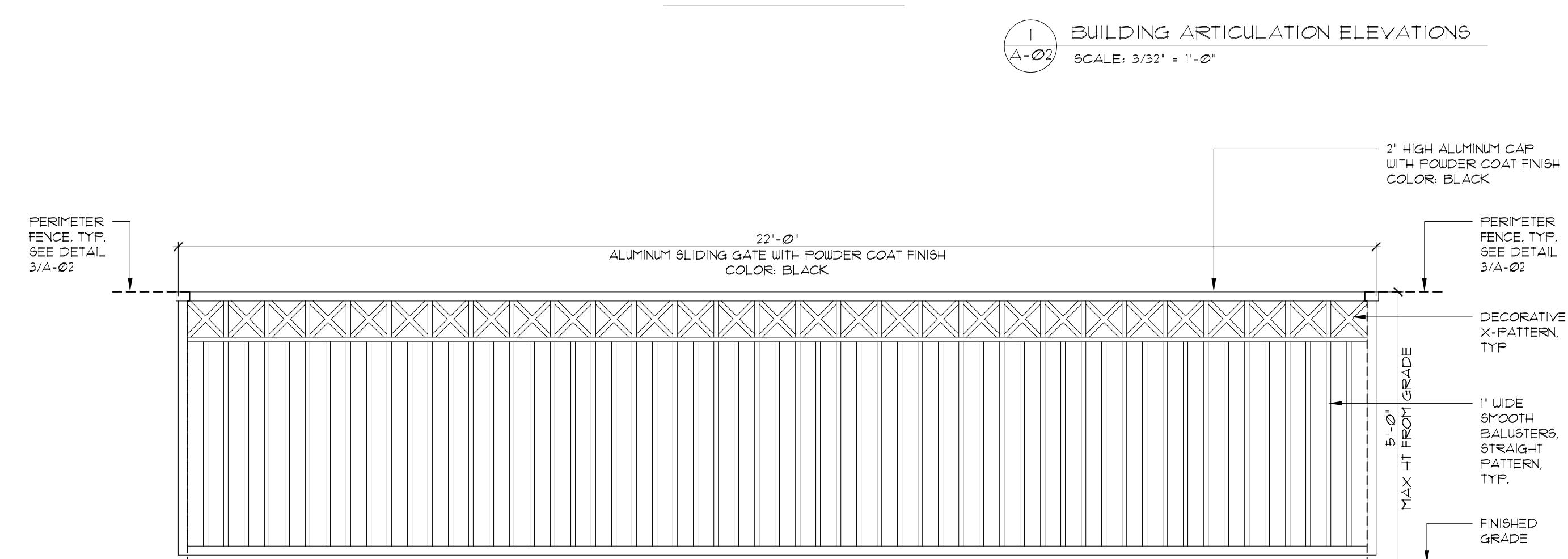
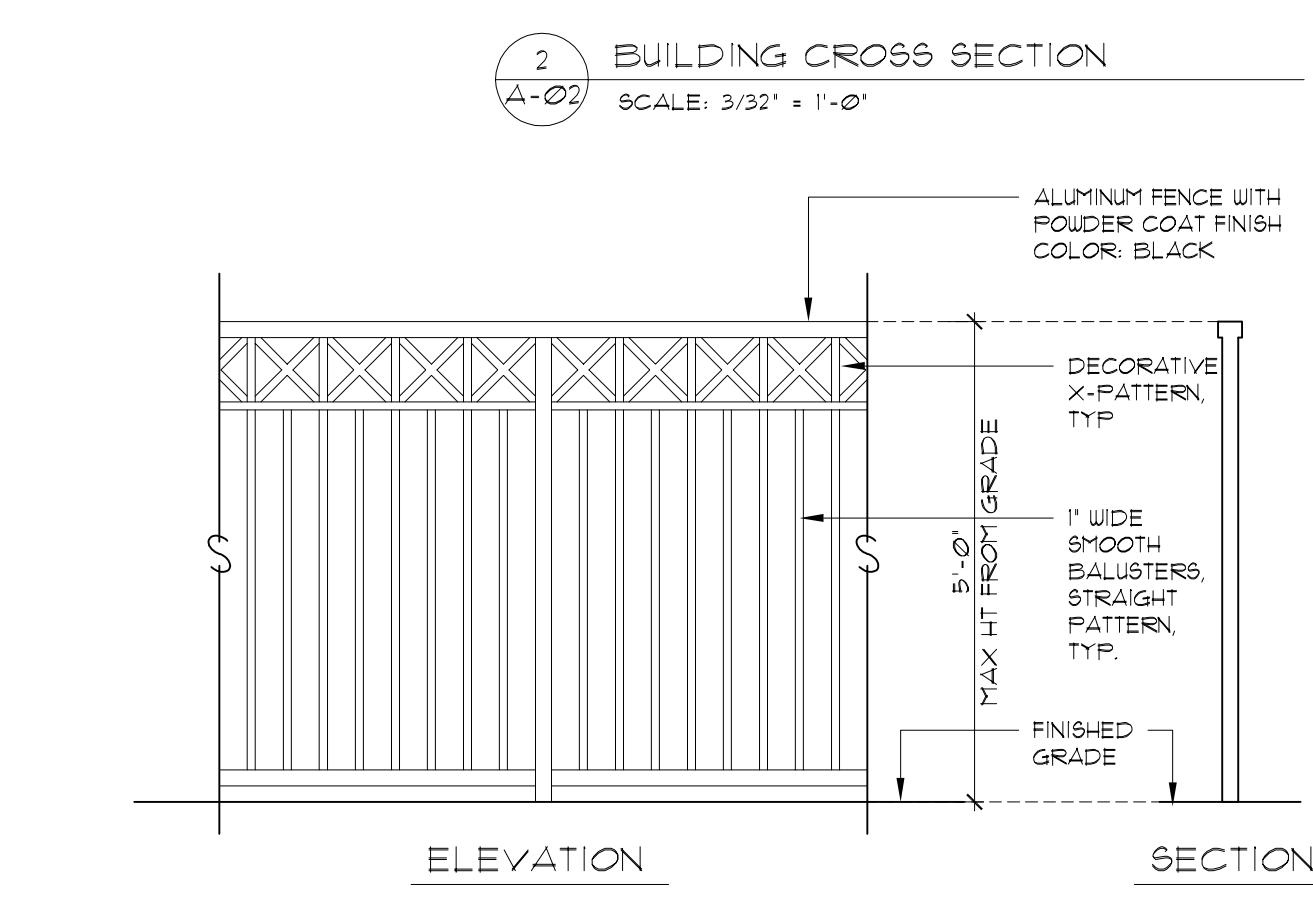
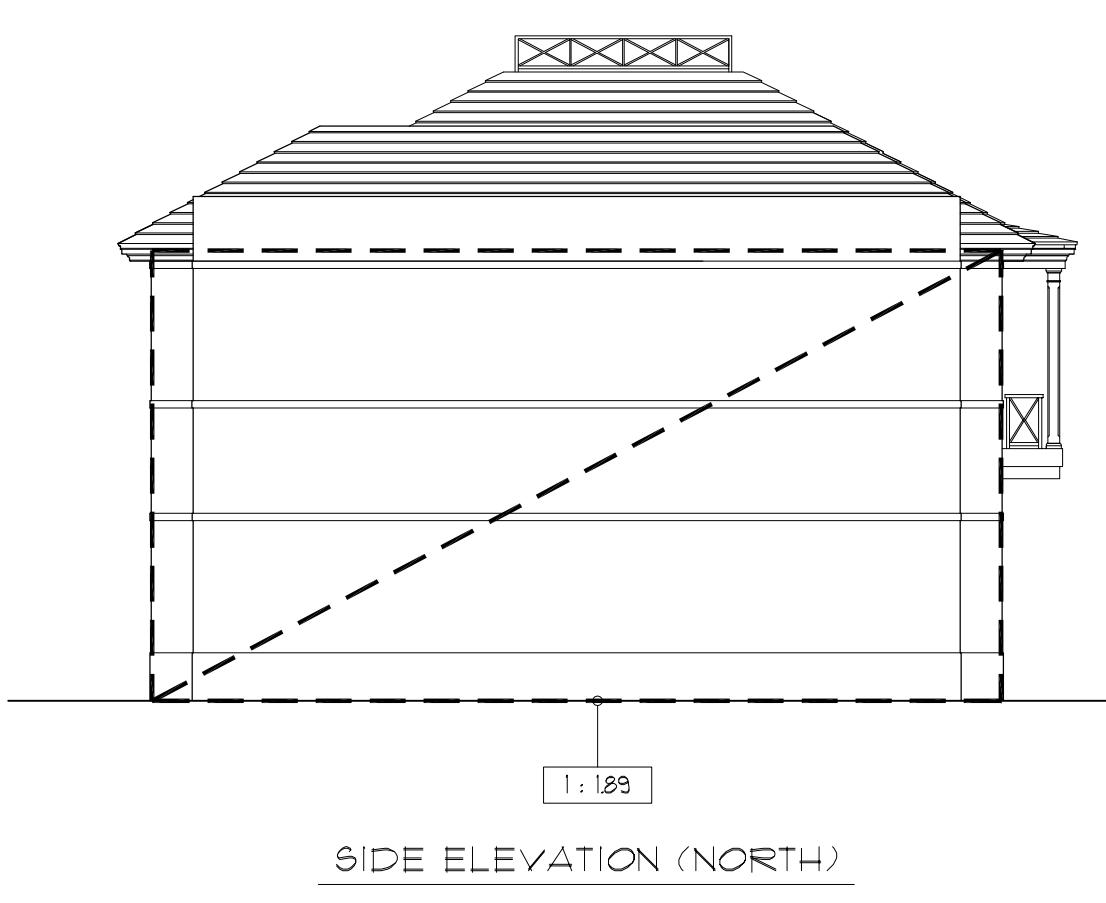
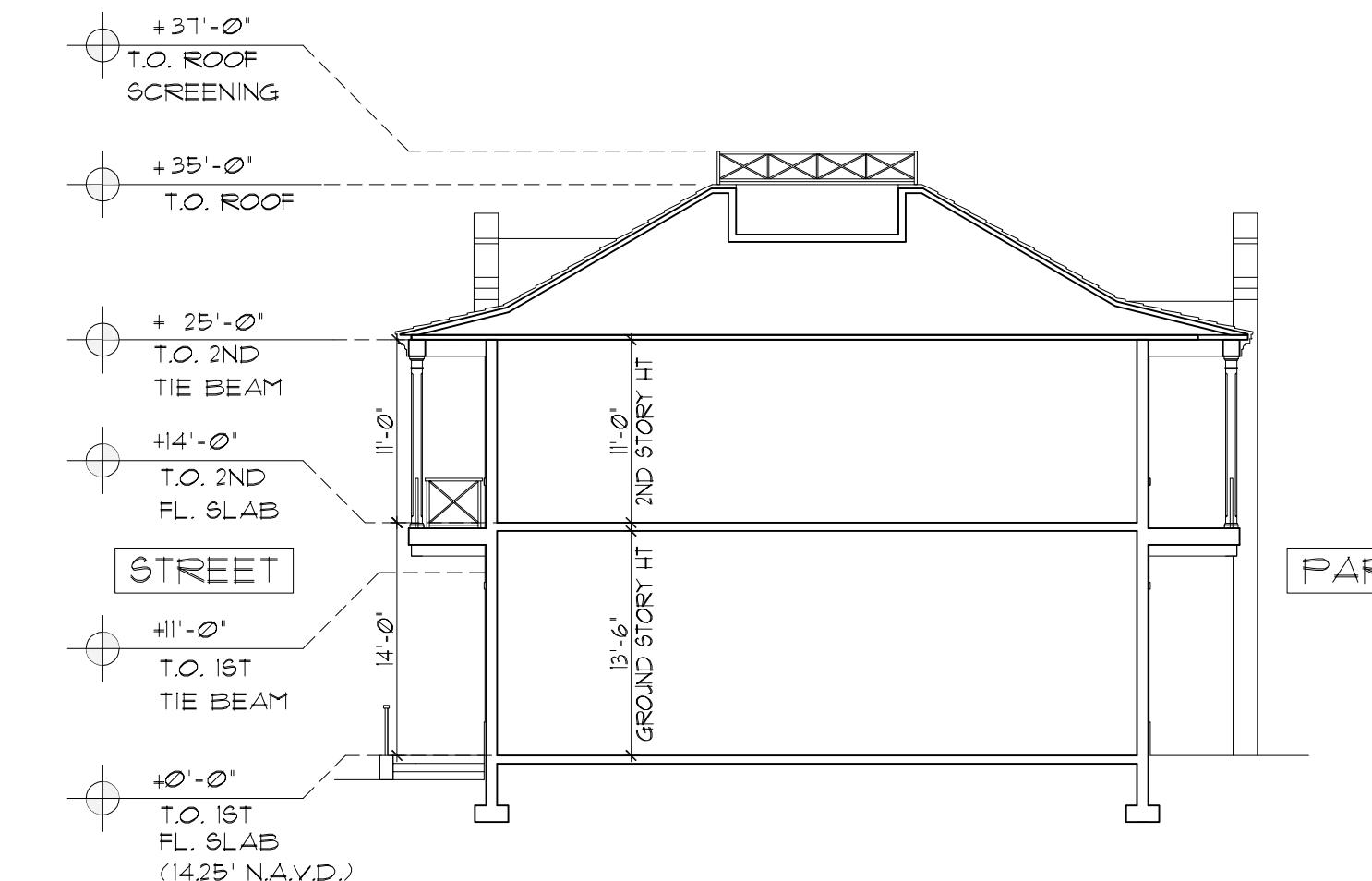
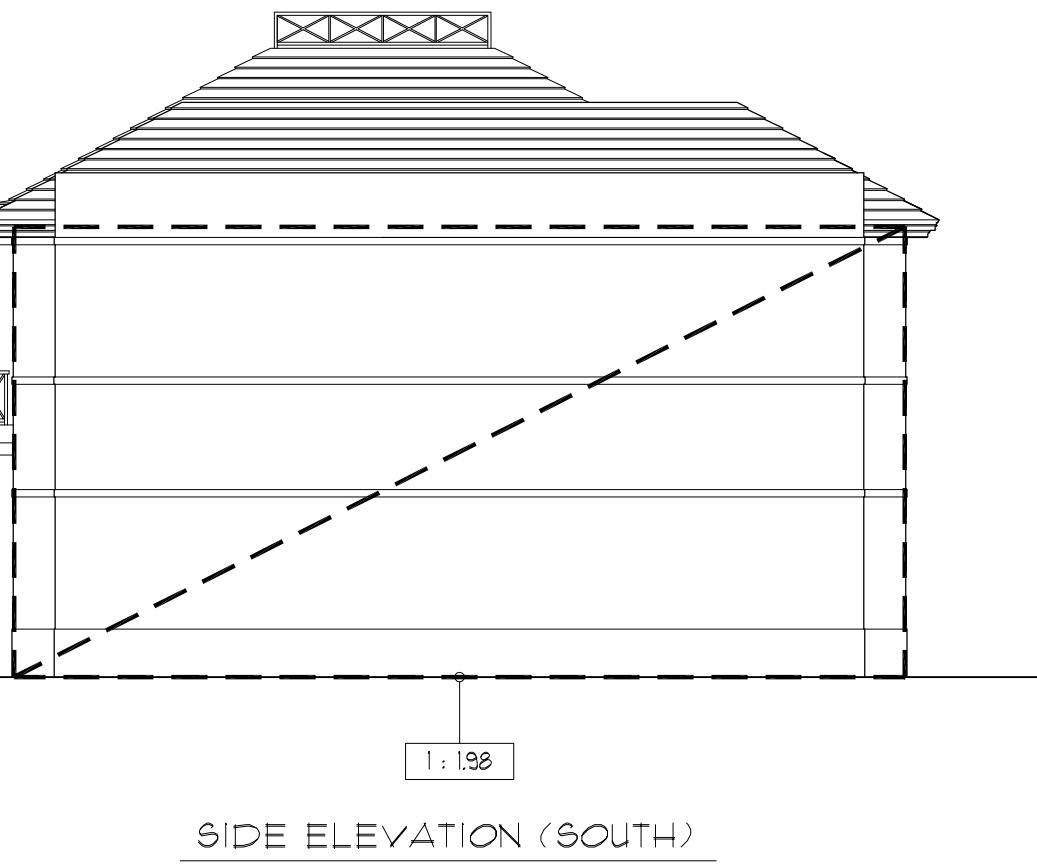
Office (561) 274-4863 Fax (561) 257-0777

## SPICE OFFICE BLDG

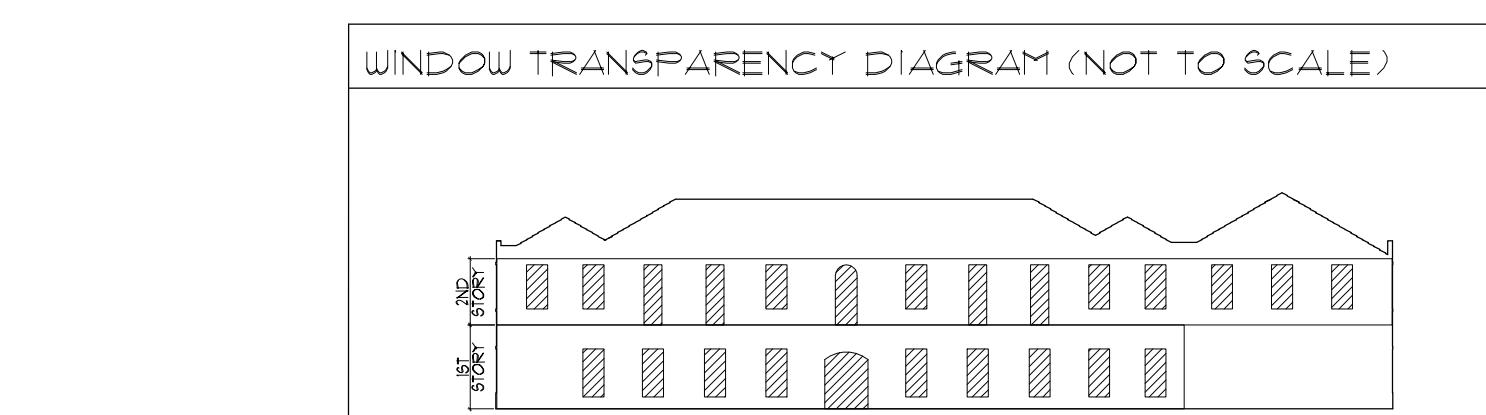
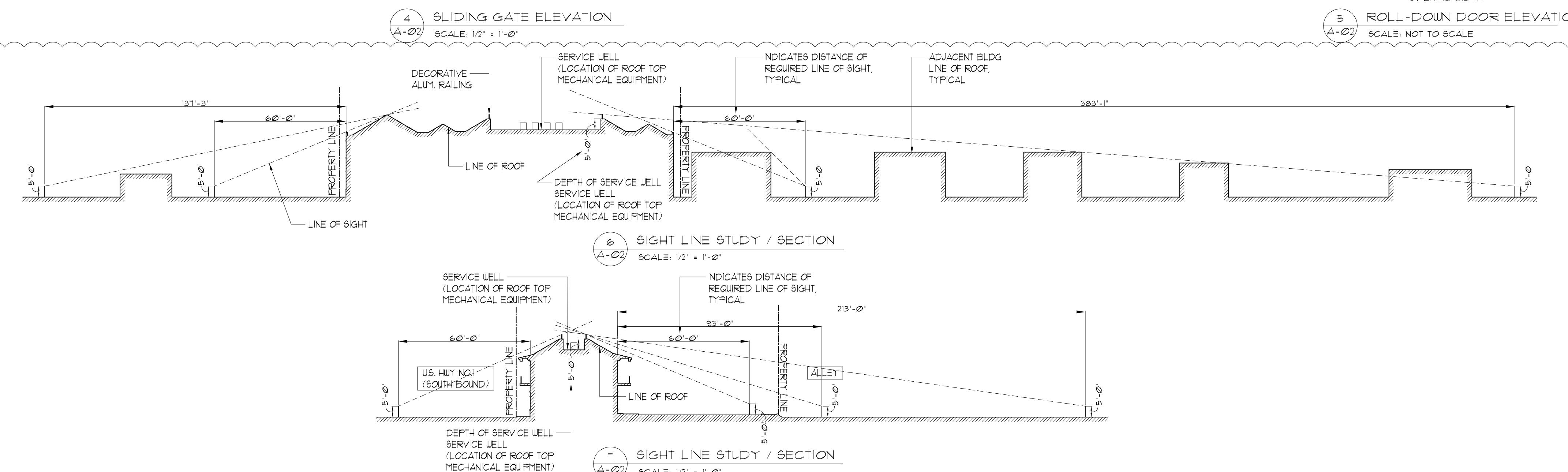
325-343 NE 5TH AVE.  
DELRAY BEACH, FL

drawn by: C.V.S.  
designed by: W.W.  
date: 04/21/2020  
scale: 3/32" = 1'-0"  
project:  
revisions:  
04/21/20 NEW SHEET  
07/01/20 REVISION

sheet no:  
A-02



ROLL-DOWN DOOR SPECS	
MANUFACTURE	RAYNOR GARAGE DOORS
PRODUCT	DURA-GRILLE
MODEL	GBA
DESCRIPTION	CURTAIN- CONSISTS OF HORIZONTAL 5/16" DIAMETER ALUMINUM RODS SPACED VERTICALLY @ 2" O.C. AND THE LINKS SPACED HORIZONTALLY @ 1" O.C. THE BOTTOM OF THE CURTAIN TO BE REINFORCED WITH AN ALUMINUM EXTRUDED TUBULAR BOTTOM BAR
MOTOR OPERATION	INTERIOR FACE MOUNT
FINISH	CLEAR ANODIZED
PATTERN	STRAIGHT



WINDOW TRANSPARENCY CALCULATIONS					
AREA	FAÇADE SQ. FT.	TRANS. SQ. FT.	PERCENTAGE	MIN.	MAX.
1ST STORY	1603.0 SF.	317.2 SF.	20.0 %	20.0 %	70.0 %
2ND STORY	1640.8 SF.	385.8 SF.	24.0 %	20.0 %	70.0 %

GLASS SPECS	
TYPE	7/16" CLEAR (LAMINATED GLASS)
IMPACT RATED	YES - LARGE MISSILE
U-VALUE	0.34
SHGC	0.55
VISIBLE LIGHT TRANSMITTANCE %	86 %
MAX. LIGHT REDUCTION %	14 % (ALLOWED: 20.0 %)

# SPICE OFFICE BUILDING

DELRAY BEACH, FLORIDA

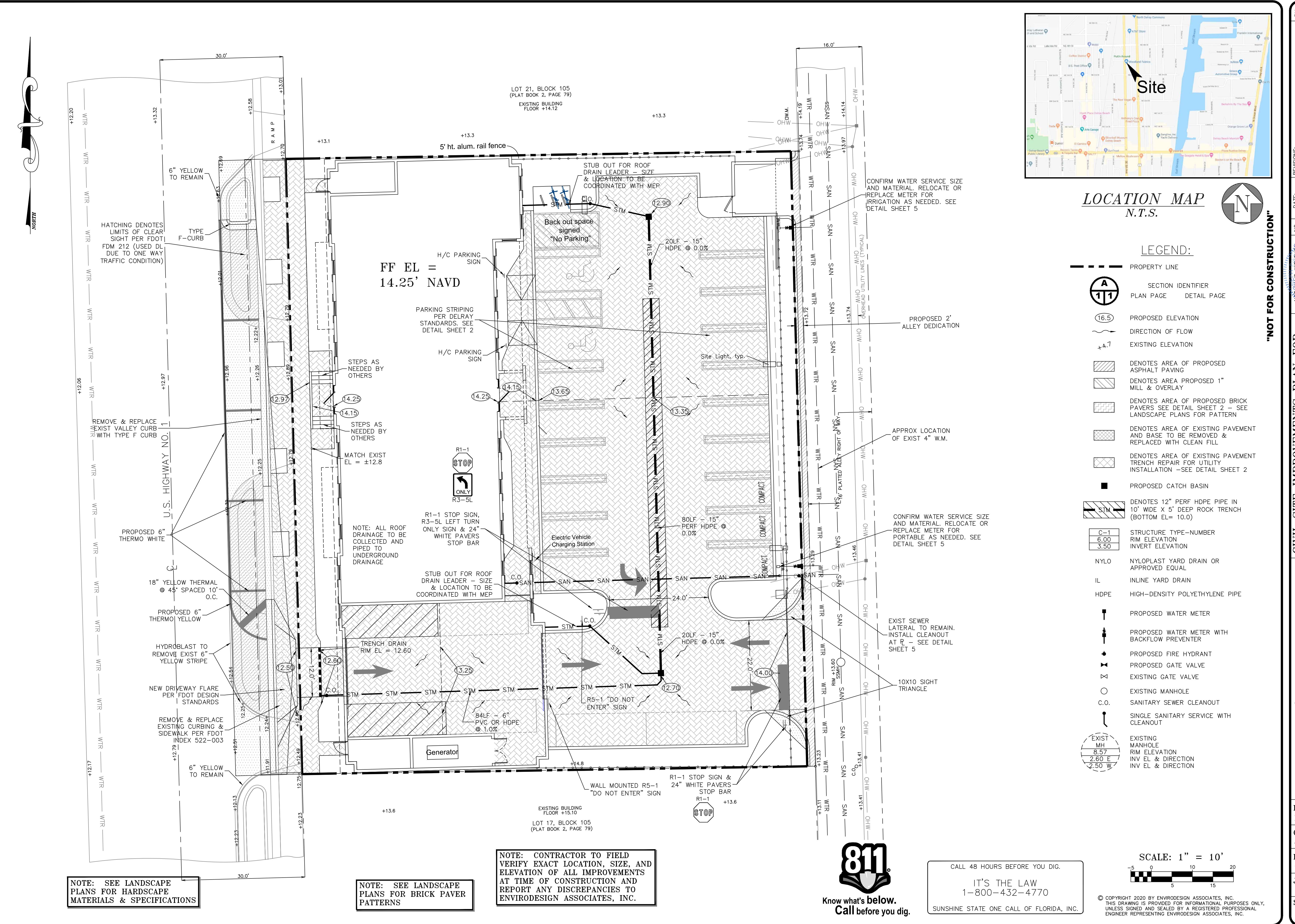


FRONT ELEVATION



REAR ELEVATION

WILLIAM WIETSMA ARCHITECT



REVISIONS:	DATE: 4/1/2020	REVISER: PER CITY COMMENTS	
BY: B.A.B.	NO. 111	DATE: 7/15/2020	REVISER: PER CITY COMMENTS
B.A.B.			
NOT VALID WITHOUT ENGINEER'S SEAL No. 111656 * * * * * State of PROFESSIONAL LICENSE No. 42896			
CIVIL SITE IMPROVEMENTS PLAN FOR: SPICE OFFICE BUILDING 325-343 NE 5TH AVE DELRAY BEACH, FLORIDA			
DRAWN: B.A.B.			
CHECKED: J.A.P.			
DATE: 07/15/20			
JOB NO. 19092-ENG			
SHEET NO. 1 OF 7			

**"NOT FOR CONSTRUCTION"**

BY:	DATE:
BAB	4/1/2020
REVISIONS:	
NO. □	
A/D	
4/1/2020	
REVIEW PAVEMENT DETAIL 6" LIMEROCK BASE	

PROPOSED

STATE OF FLORIDA

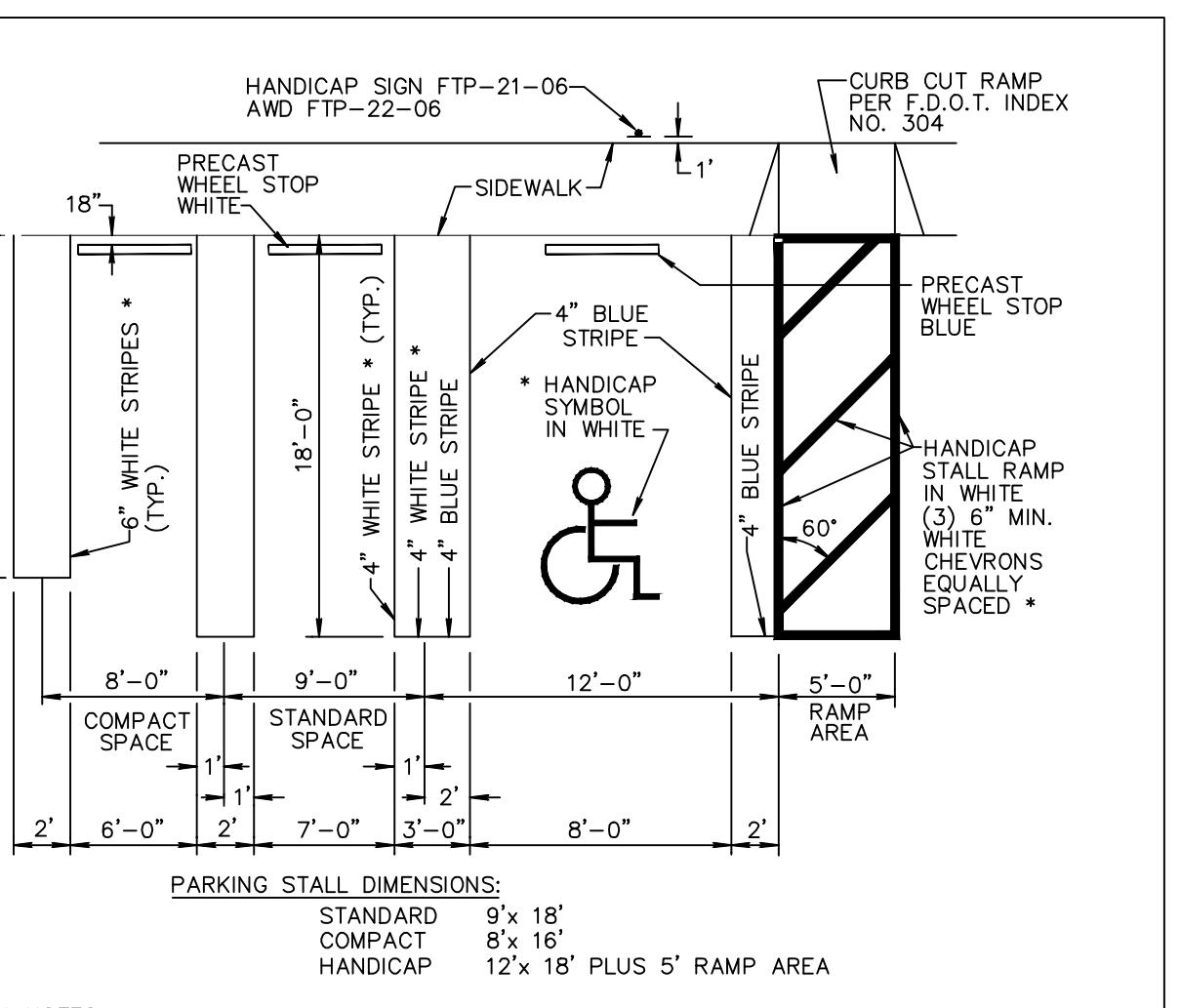
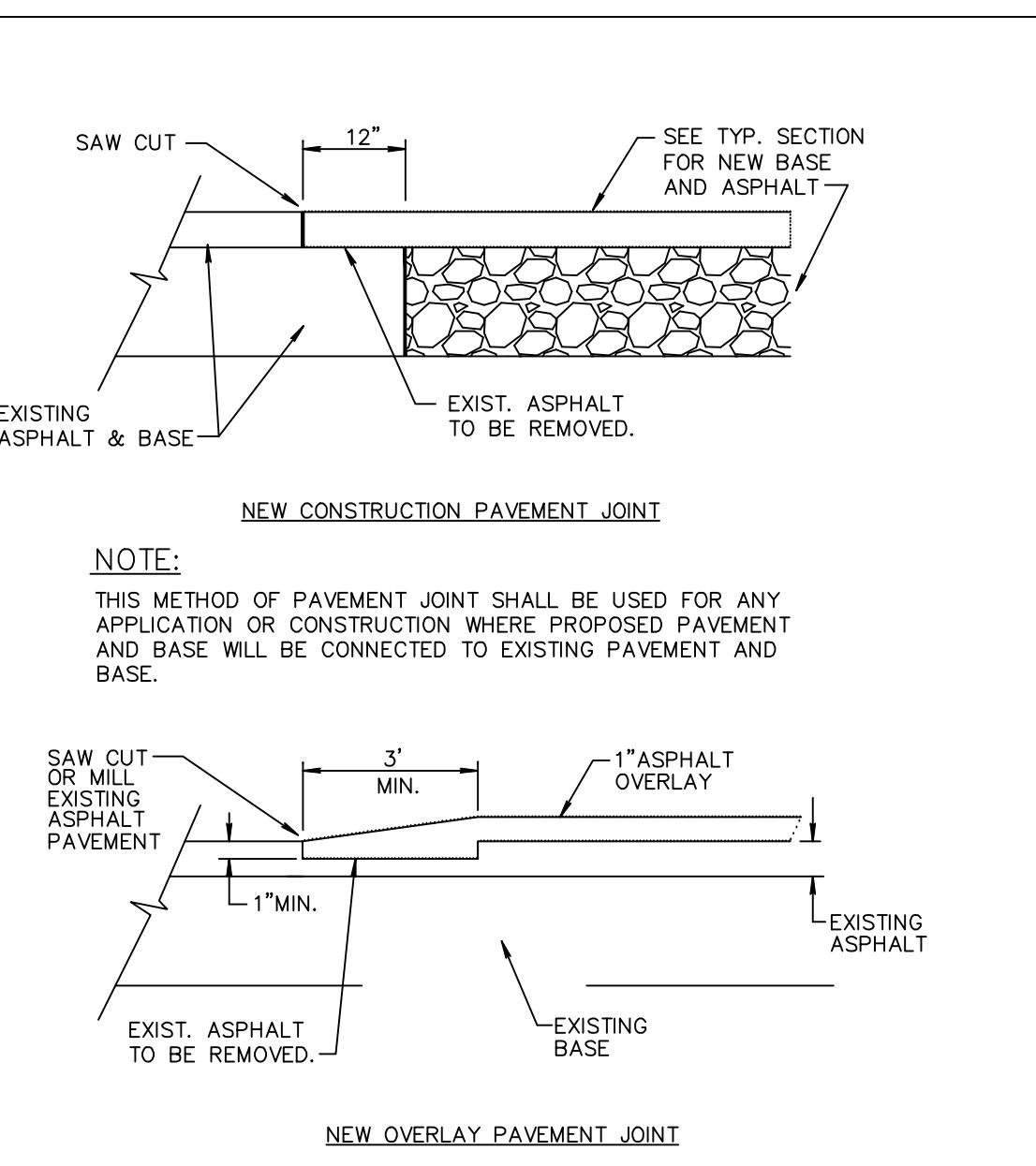
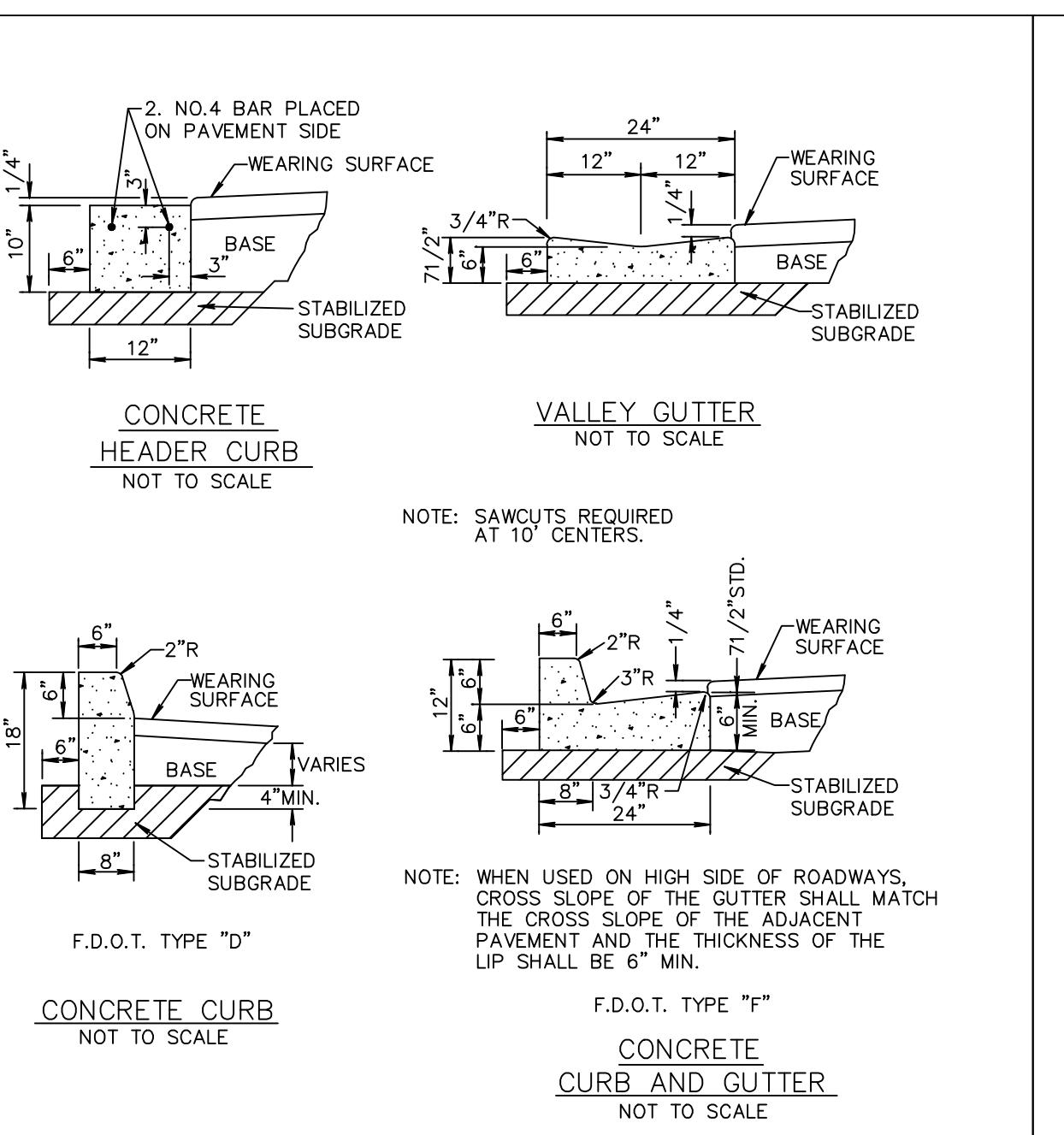
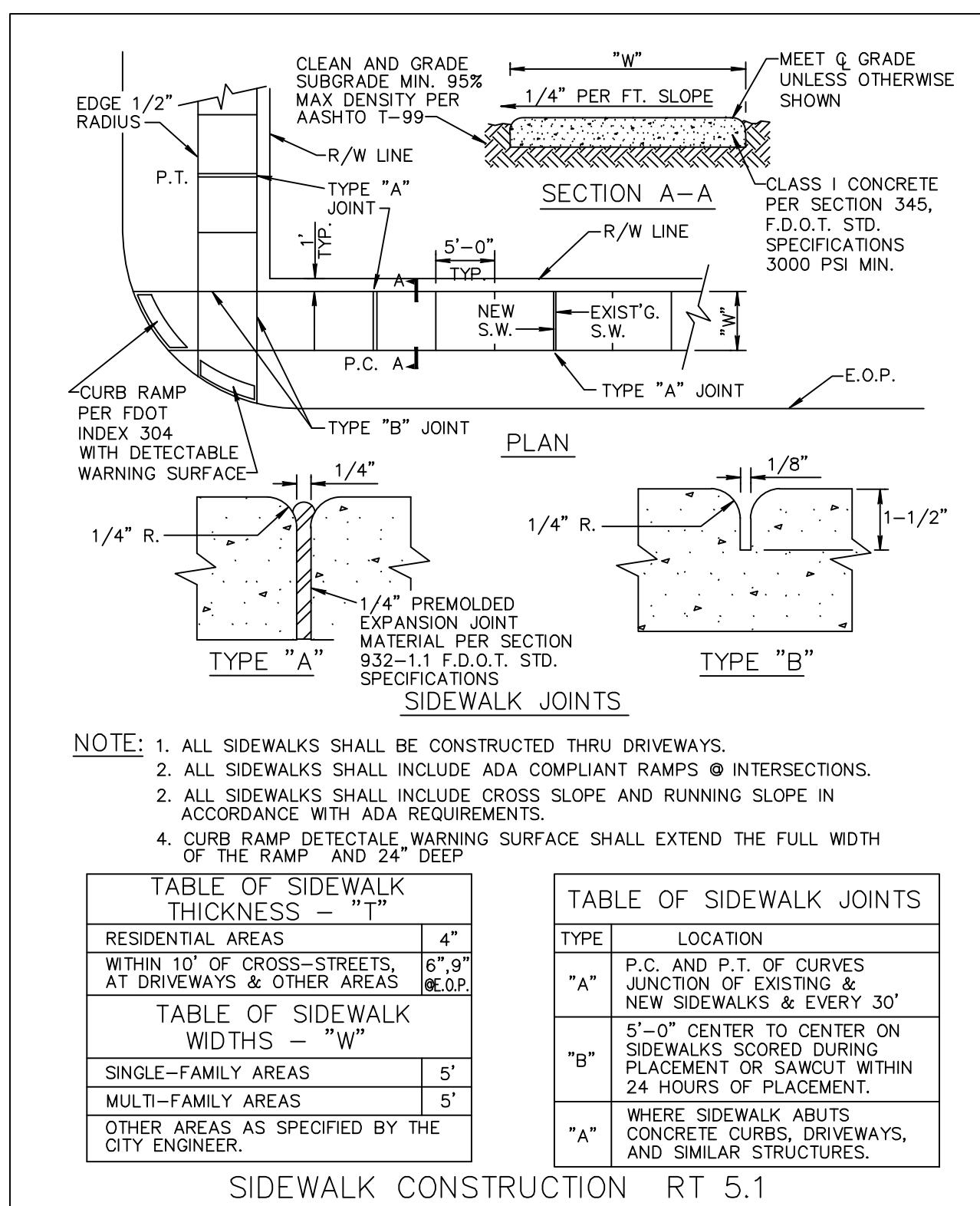
NO. 4046

4/1/2020

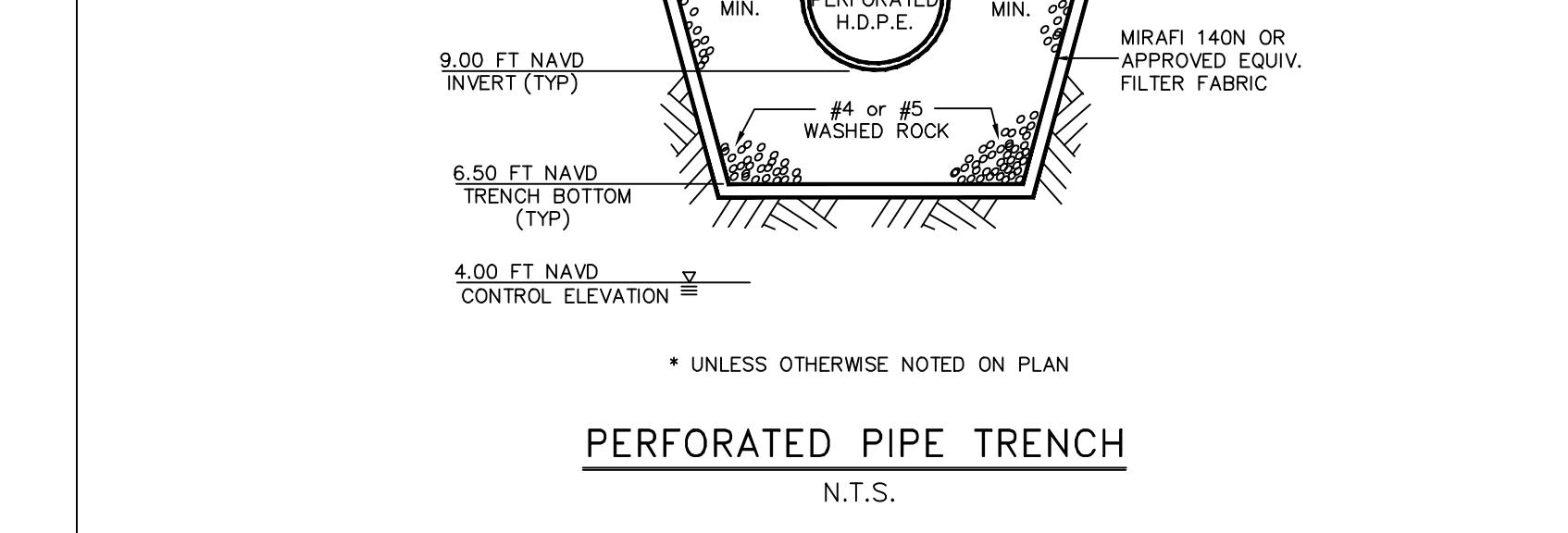
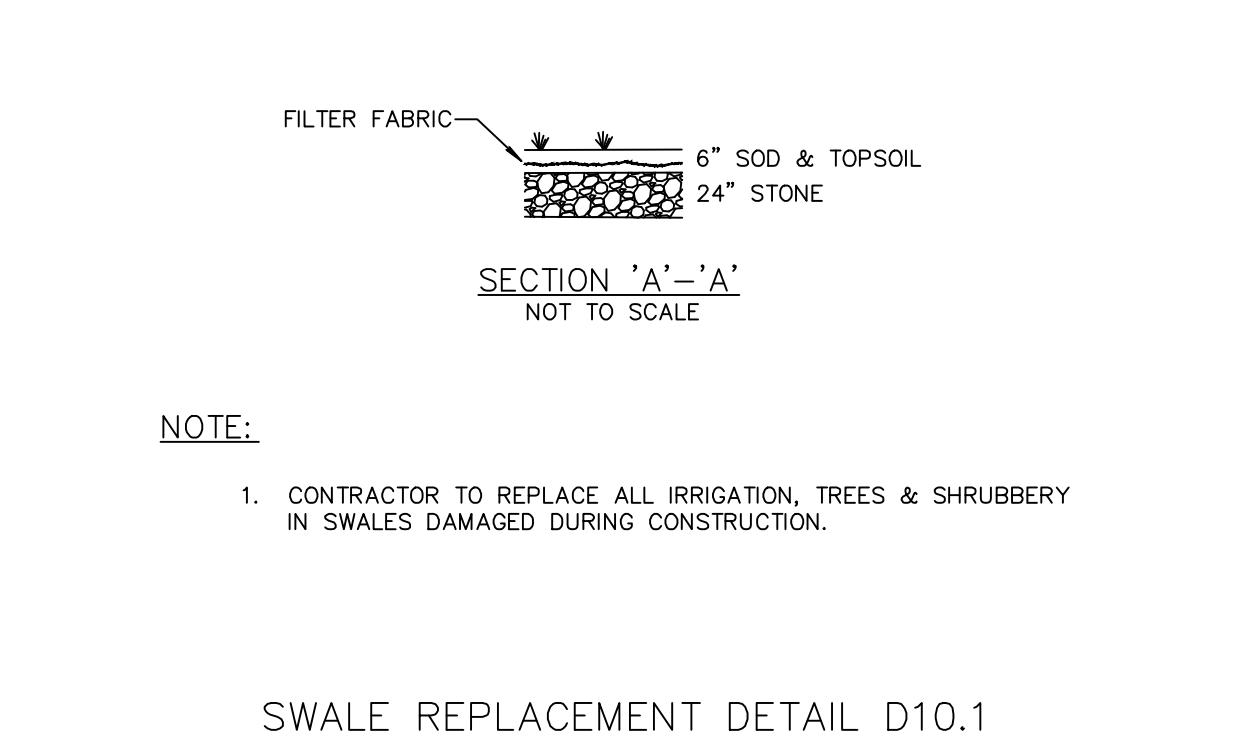
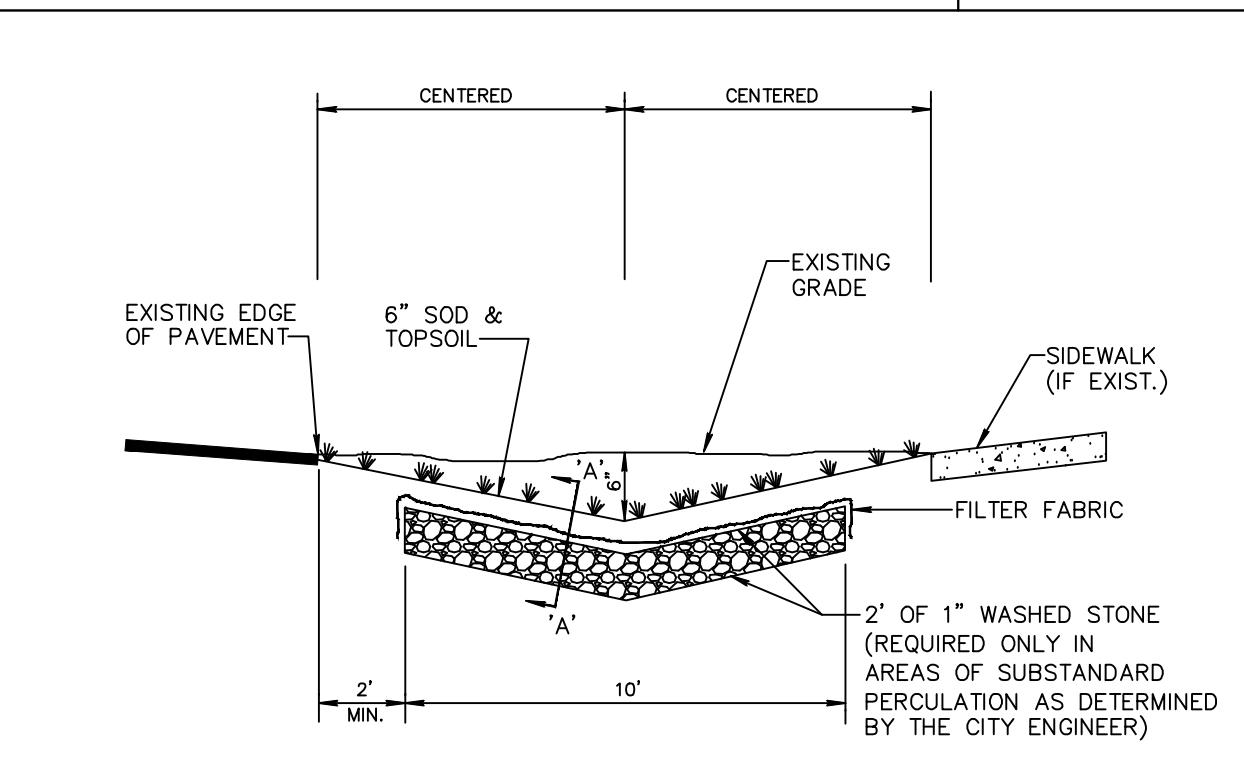
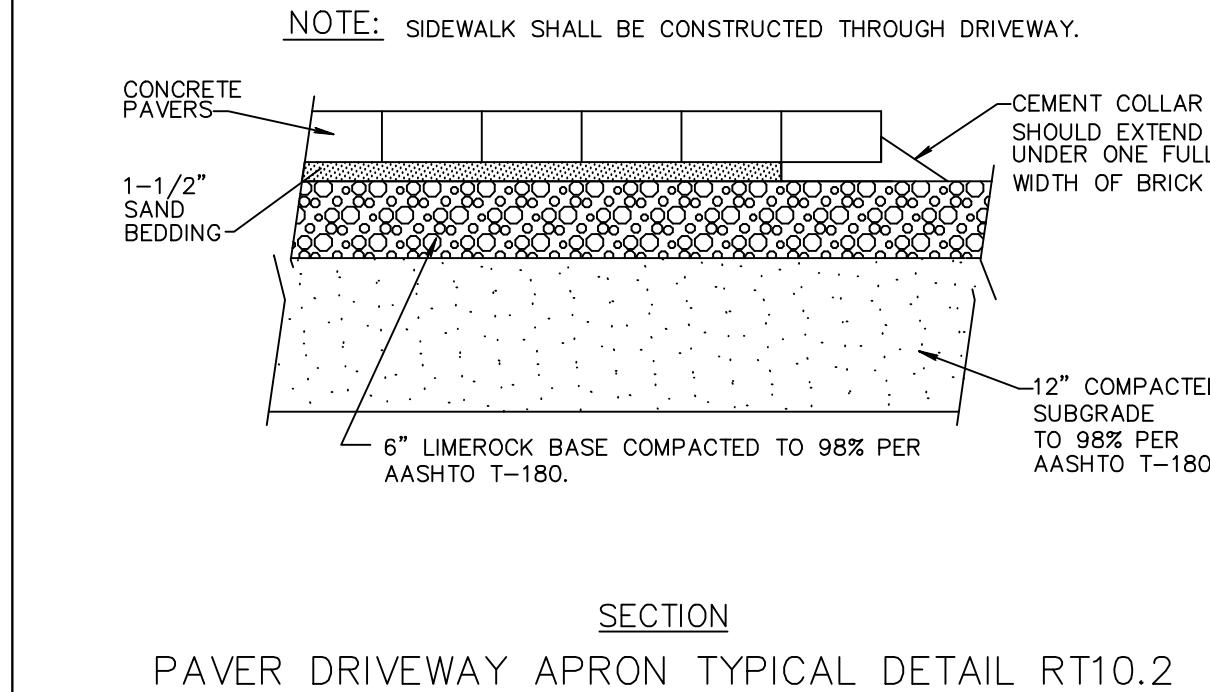
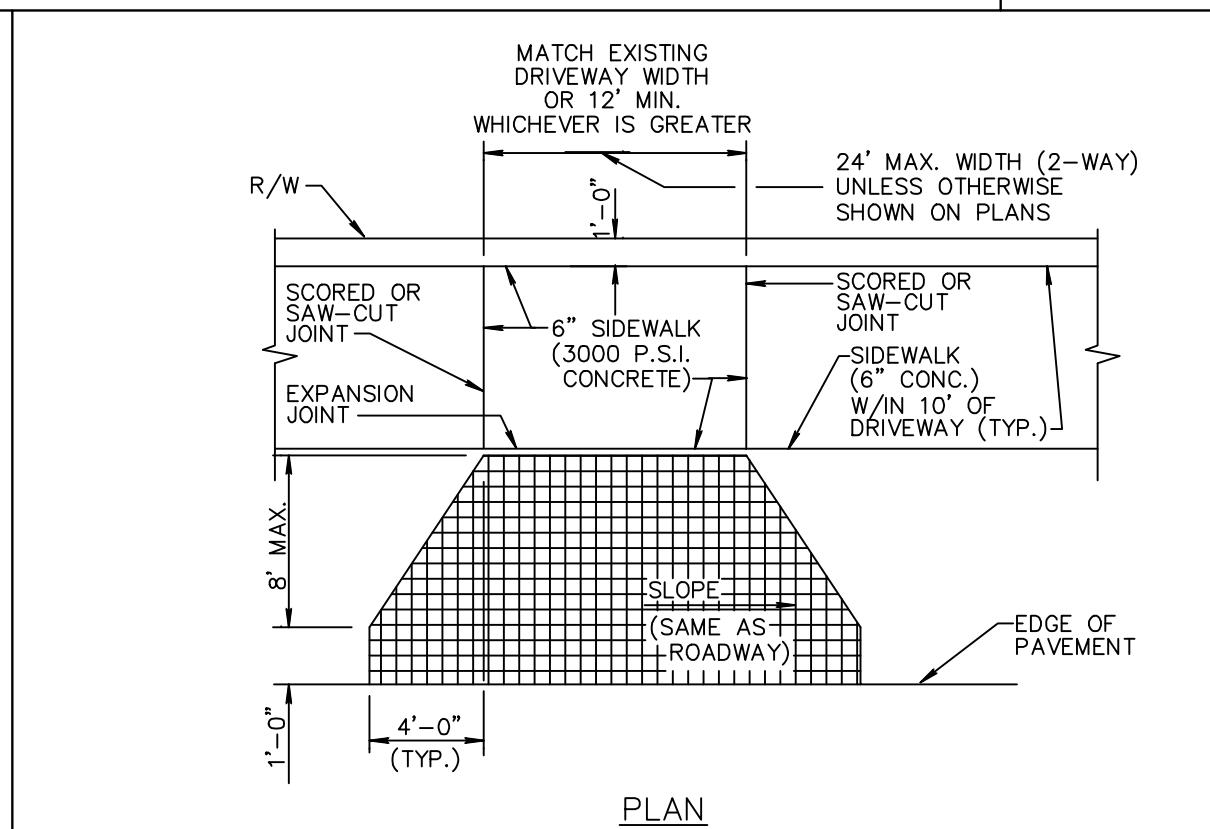
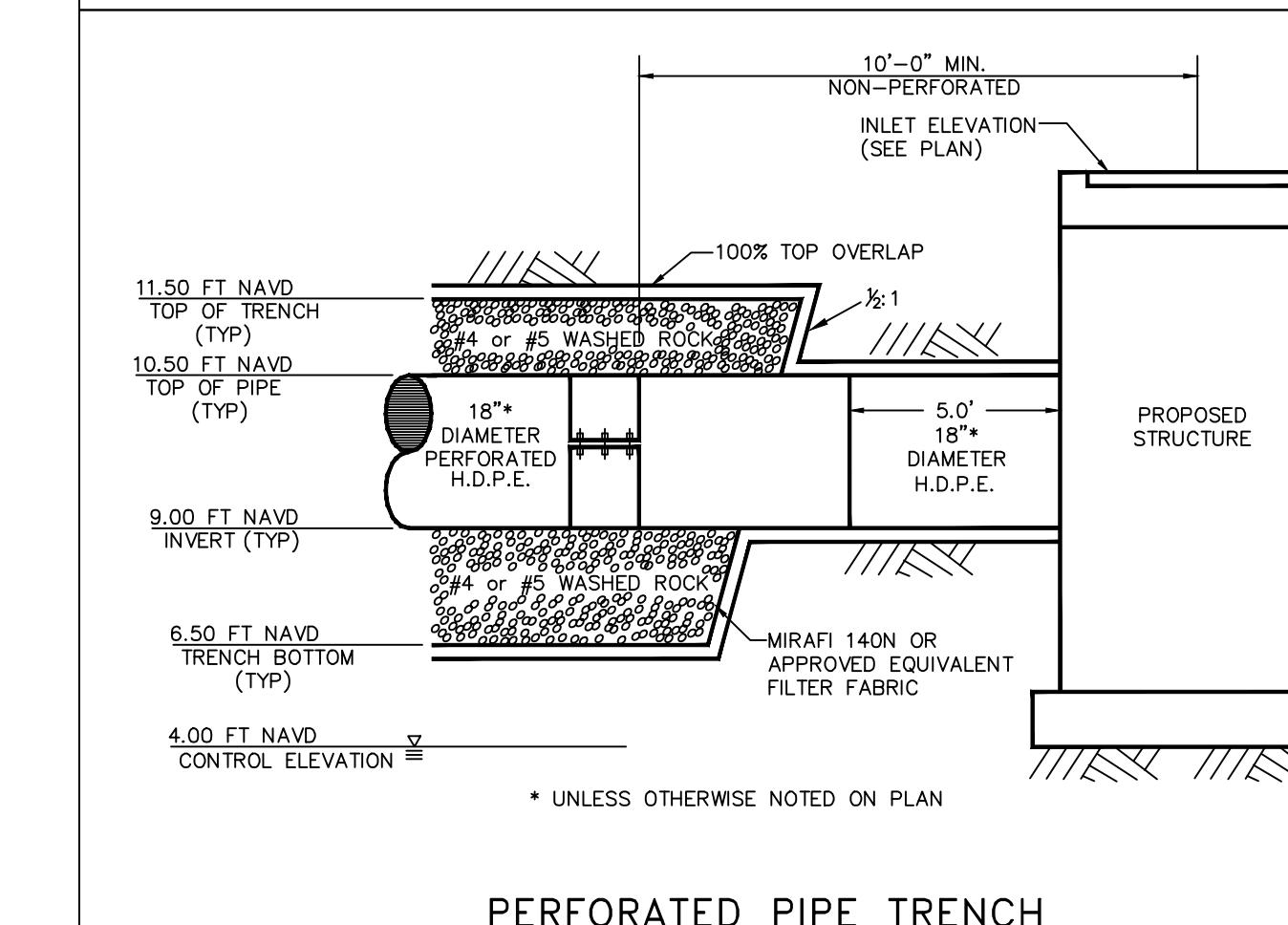
PAVING & DRAINAGE DETAILS FOR:  
SPICE OFFICE BUILDING  
325-343 NE 5TH AVE  
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc. <a href="http://www.envirodesign.com">www.envirodesign.com</a>	ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 610633444	
298 Pineapple Grove Way Delray Beach, Florida 33444	
Phone: (561) 274-6558	

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CHECKED:  
J.A.P.  
DATE:  
04/02/20  
JOB NO.  
19092-DTL  
SHEET NO.  
2 OF 7



**TYPICAL PARKING SPACES (1 OF 3)**  
**DETAIL RT 4.2a**



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PAVING & DRAINAGE DETAILS FOR:  
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19092-DTL  
SHEET NO.  
3 OF 7

**PAVEMENT MARKING SPECIFICATIONS**  
All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

**PERMANENT MARKINGS**

**Installation:**

- All markings shall be installed by the extruded method.
- Markings shall be free of weaves, bows, drips, drops, and other degrading items.
- Chalk shall be used for all layout markings.

**Materials:**

- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.

**Thickness:**

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

**Spheres:**

- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.

**Alternate Material:**

- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

**Layout:**

- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

**TEMPORARY MARKINGS**

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

**Final Pavement Surface:**

- Only foil backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

**Other Pavement Surfaces:**

- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a  
(Sheet 1 of 2)

**ALL PAVEMENT MARKINGS**  
All paved surfaces shall be properly marked prior to the hours of darkness.

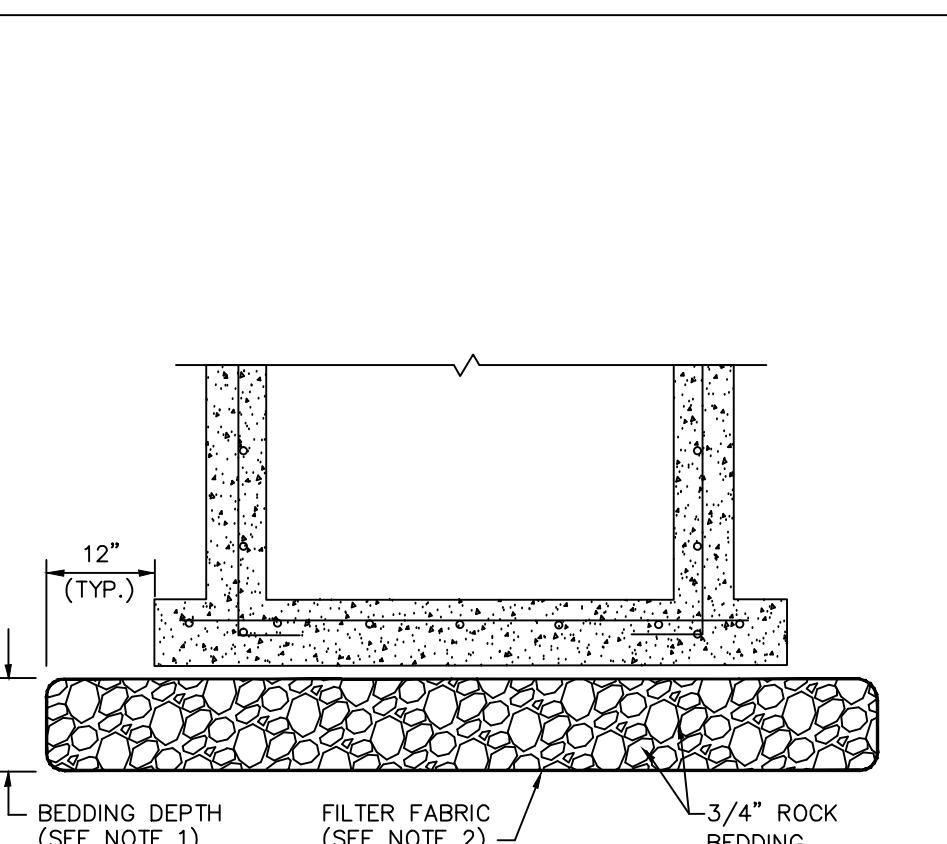
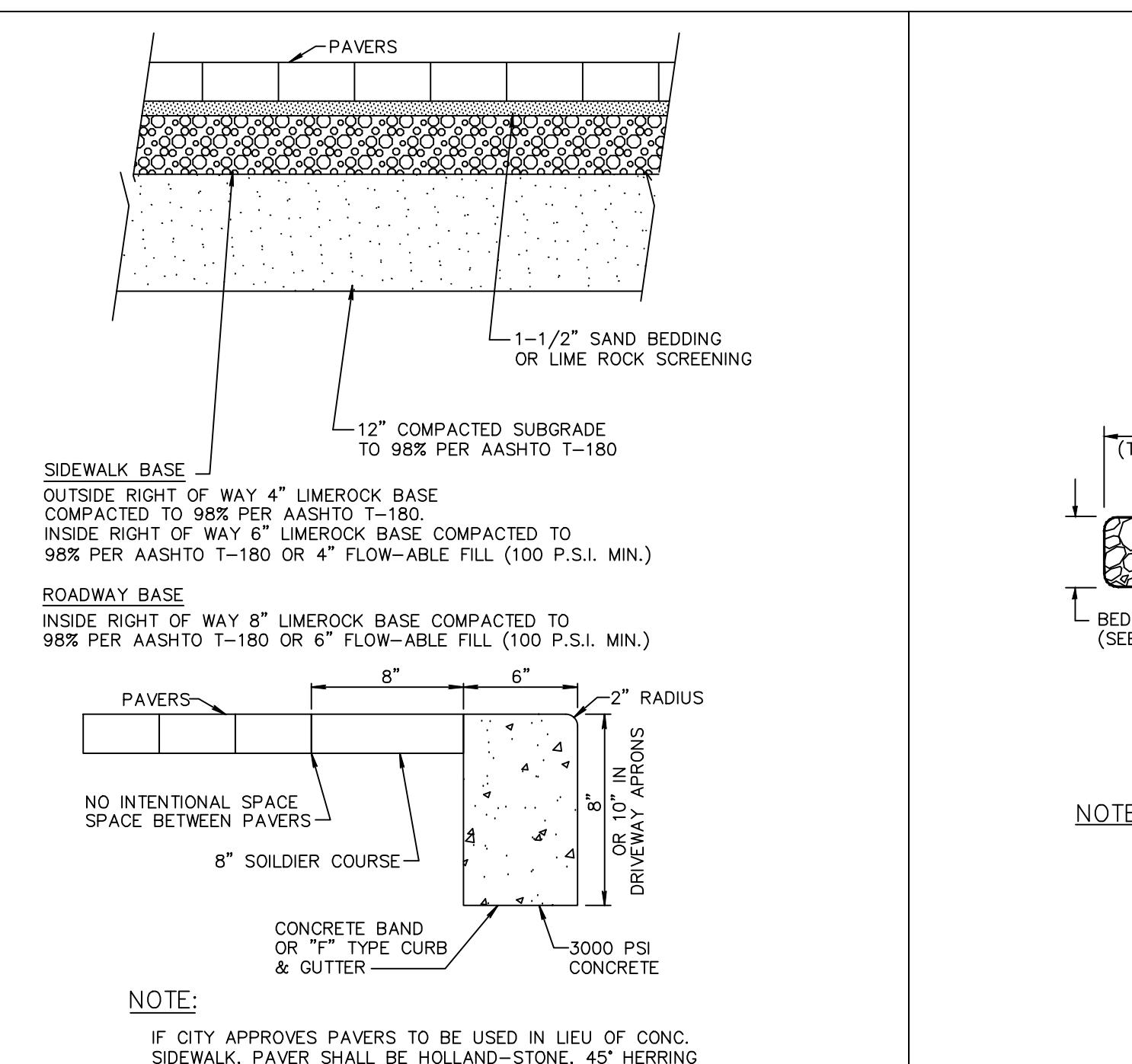
**RAISED PAVEMENT MARKERS**

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

**OTHER NOTES**

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

PAVEMENT MARKING SPECIFICATIONS RT 8.1b  
(Sheet 2 of 2)

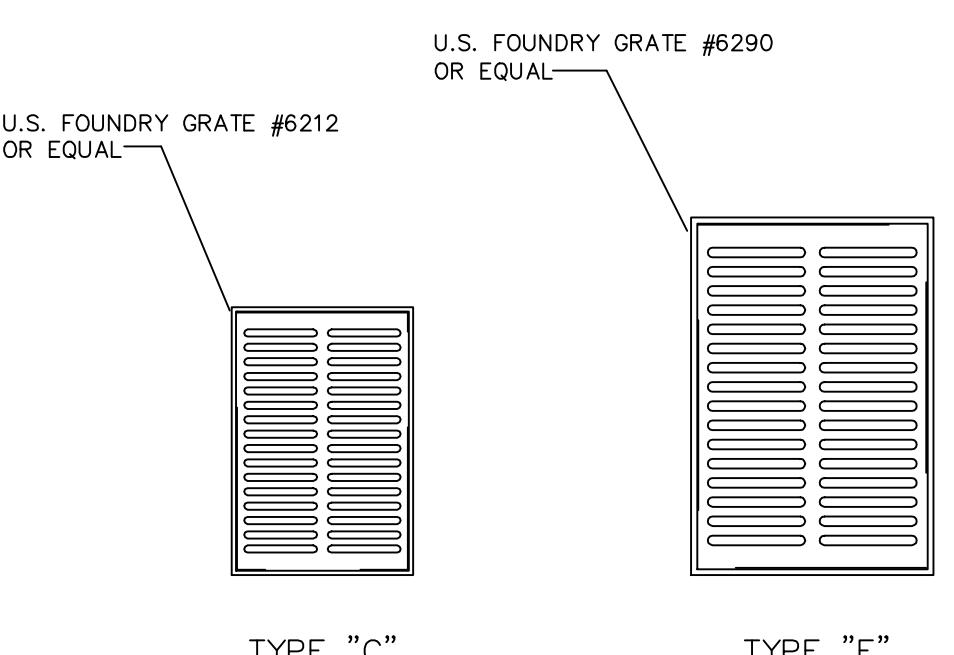


**NOTES:**

1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.

STANDARD BEDDING D 3.1

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE
	A	B		
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P. 24" R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P. 36" R.C.P.

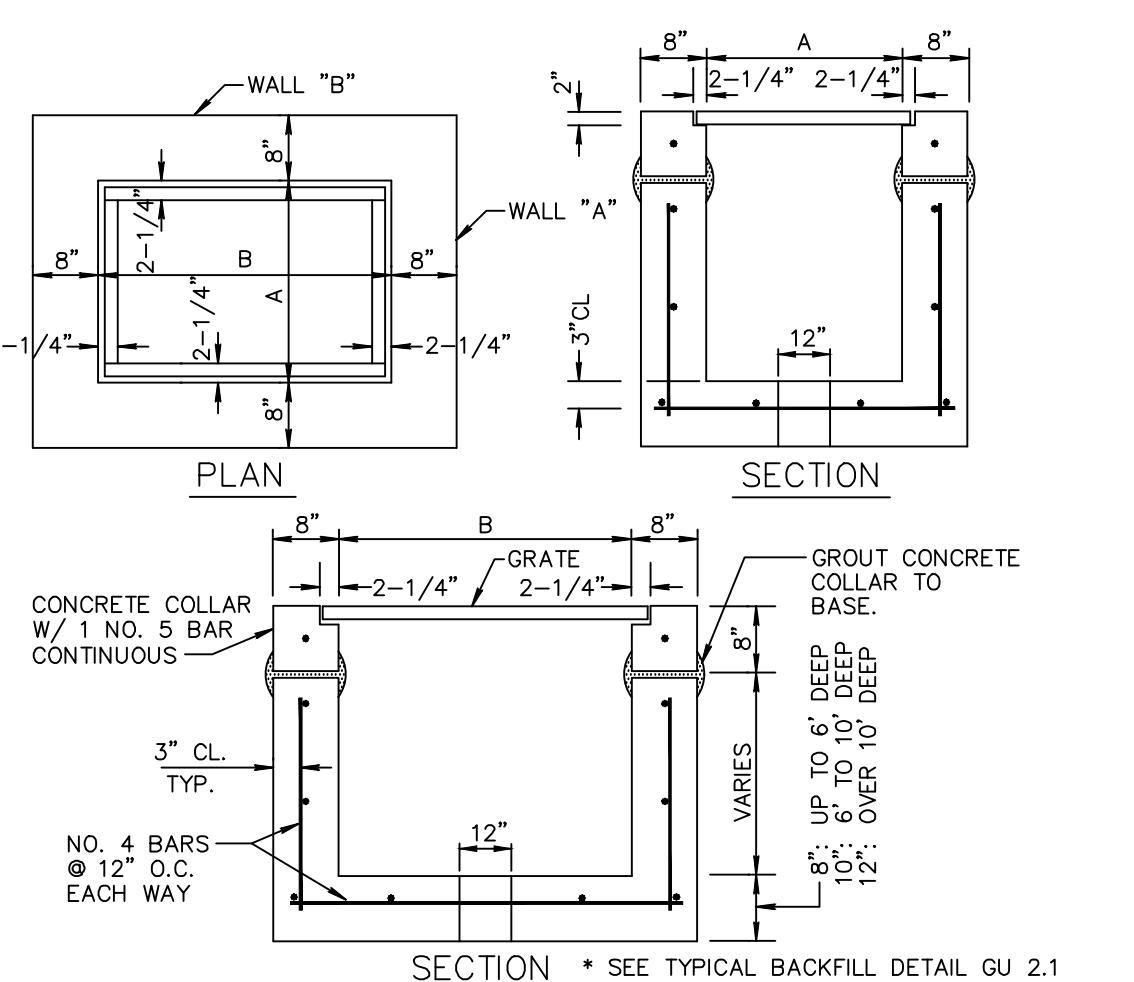


TYPE "C" TYPE "E"

**NOTES:**

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

TYPE C & E INLET GRATE DETAIL D 6.1



**NOTES:**

1. INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
3. 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WET FIELDS.
4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
5. SEE BEDDING DETAIL D 3.1
6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

TYPE C & E INLET DETAIL D 7.1



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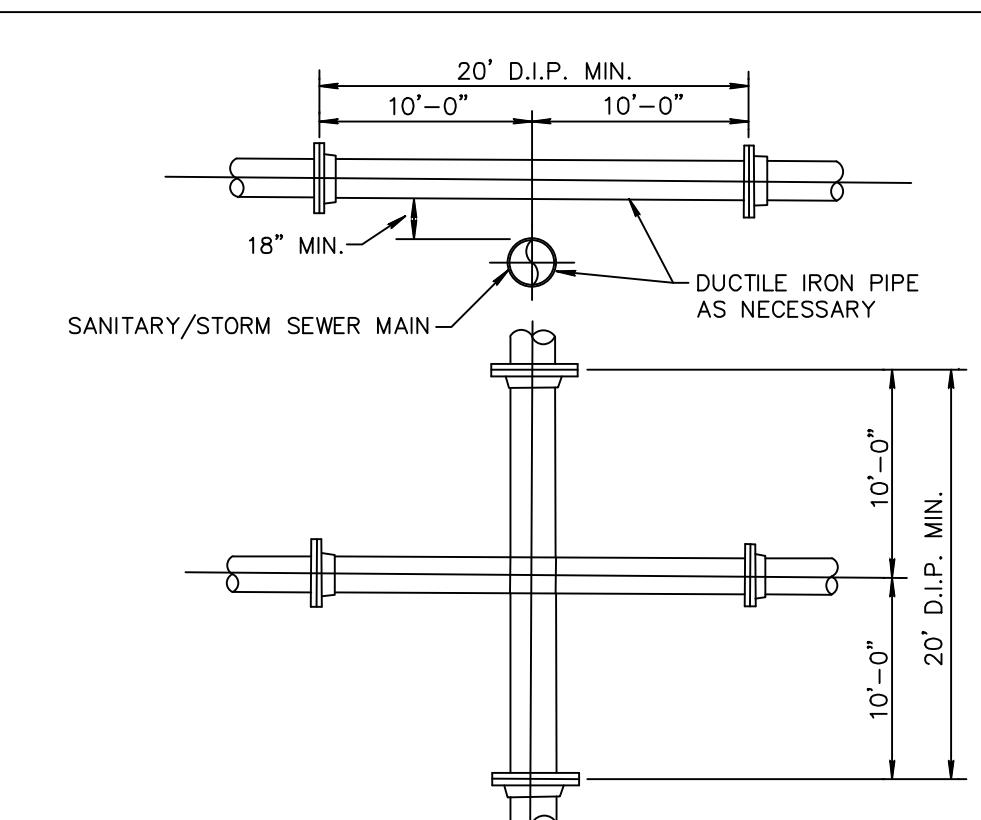
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WATER & WASTEWATER DETAILS FOR:  
SPICE OFFICE BUILDING  
325-343 NE 5TH AVE  
DELRAY BEACH, FLORIDA

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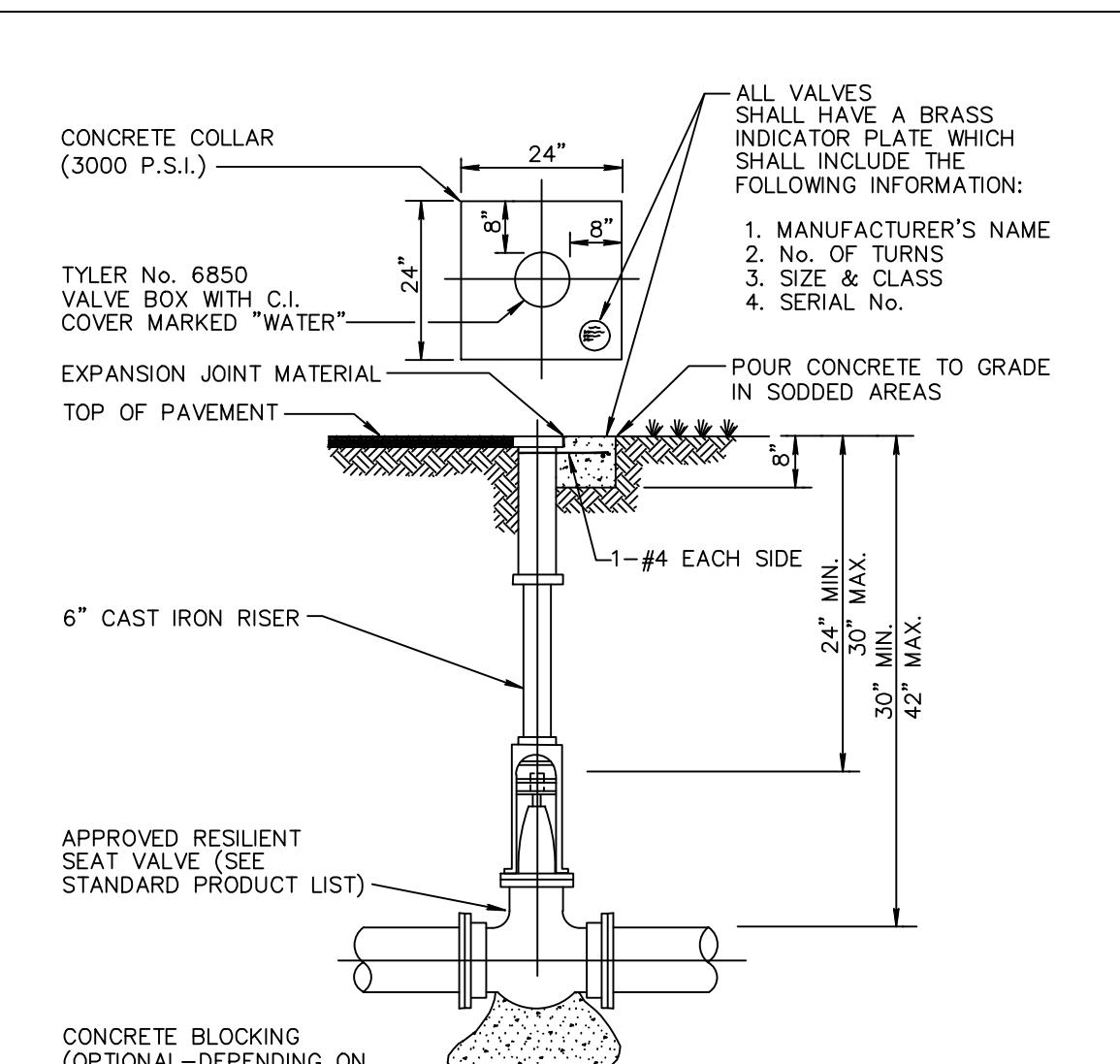
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SHEET NO.  
5 OF 7



NOTES:

1. STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER SEWER AND THE INVERT OF THE WATER MAIN. SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN JOINTS ARE EQUIDISTANT FROM POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN THE TWO JOINTS AND BOTH LINES SHALL BE DUG AND THE MINIMUM VERTICAL SEPARATION SHALL BE SIX (6) INCHES. WHERE THERE IS AN ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOIN ARRANGEMENT AS STARTED ABOVE, SHALL BE REQUIRED. THE WATER MAIN SHALL NOT BE D.I.P. OR SEWER LATERAL SHALL NOT BE REQUIRED FOR STORM SEWERS.
2. MAINTAIN (10) FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN AS A MINIMUM.
3. FORCE MAIN CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE WATER MAIN WITH WATER MAIN CROSSING OVER FORCE MAIN.
4. SEWER SERVICE LATERALS SHALL CROSS UNDER WATERMAINS WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE D.I.P. AND THE SANITARY LATERAL C-900 SDR10 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES.
5. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL, A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATERMAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-900 SDR-10 OR BETTER.

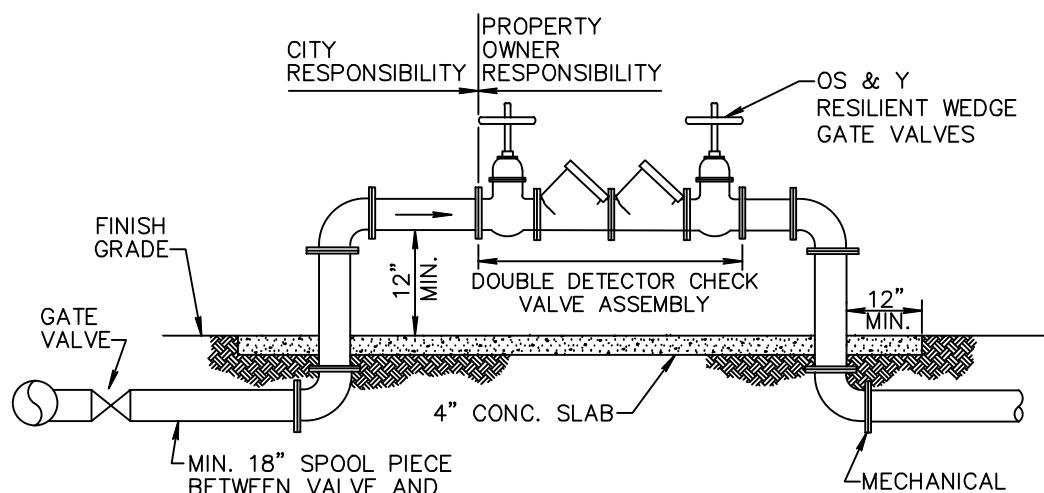
WATER MAIN & SEWER CONFLICT DETAIL PW 2.1



NOTES:

1. WHEN VALVE IS DEEPER THAN 30" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED.
2. AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS, TIERODS, OR OTHER APPROVED RESTRAINT.

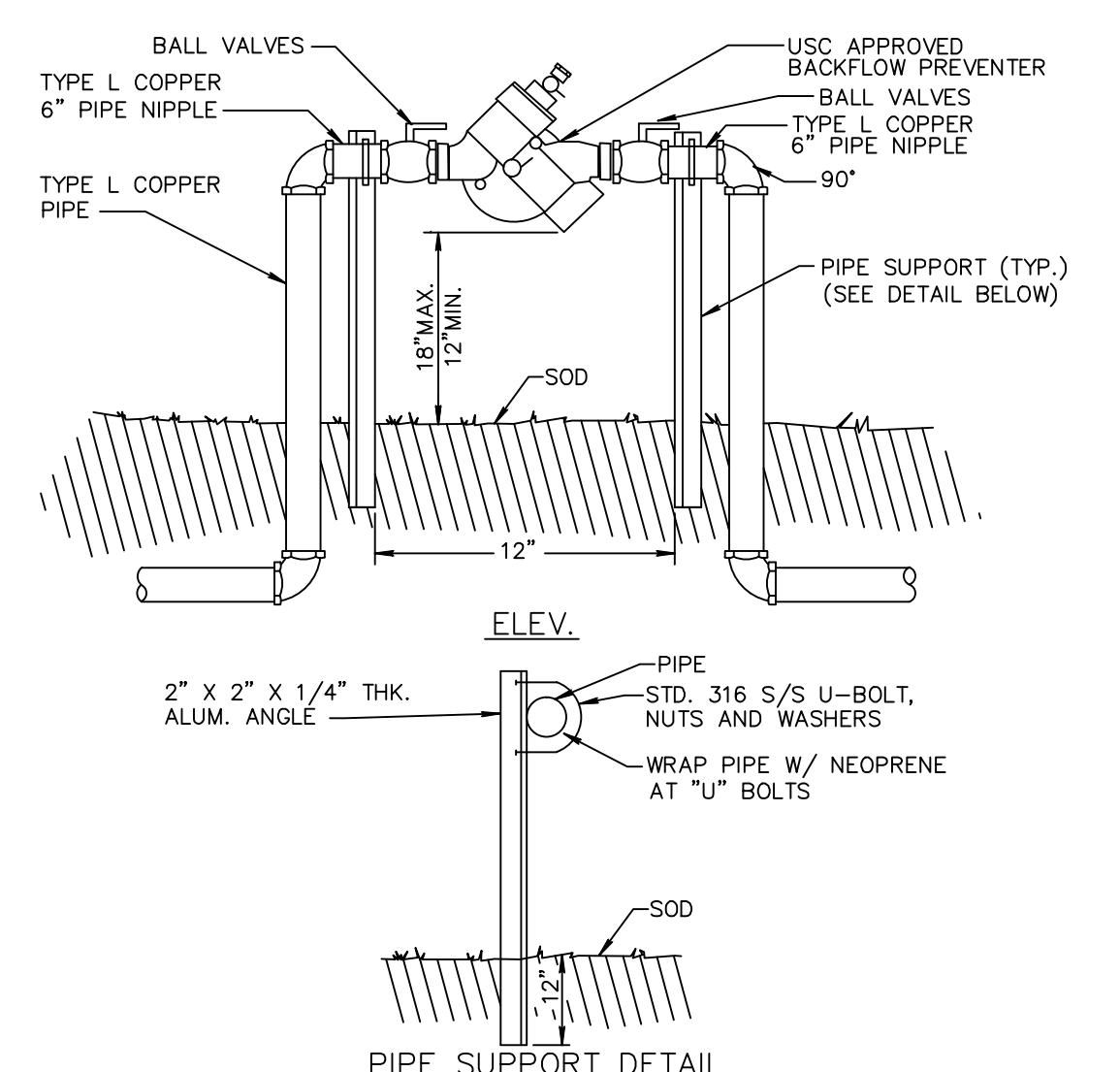
TYPICAL GATE VALVE DETAIL  
4" THRU 12" PW 3.1



NOTES:

1. FOR ALL SERVICES GREATER THAN 2" DIA.
2. ALL PIPE AND FITTINGS SHALL BE CLASS 52 DUCTILE IRON CEMENT LINED WITH CEMENT LINED DUCTILE IRON FLANGE FITTINGS FOR ABOVE GROUND USE. MECHANICAL JOINT SHALL BE USED UNDERGROUND IN ACCORDANCE WITH AWWA STANDARDS.
3. THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY SHALL MEET AWWA M14 AND AWWA C511-89, AND APPROVAL OF ENVIRONMENTAL SERVICES DEPARTMENT.
4. CERTIFICATION OF PROPER INSTALLATION AND OPERATION WILL BE REQUIRED FROM A CERTIFIED BACKFLOW PREVENTION TECHNICIAN PRIOR TO WATER MAIN ACCEPTANCE BY THE CITY OF DELRAY BEACH.
5. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND TESTING OF THE DOUBLE DETECTOR CHECK VALVE ASSEMBLY.
6. BOLLARDS TO BE USED IF THE ASSEMBLY IS WITHIN 5' OF THE PAVEMENT, REFER TO BOLLARD detail PW 2.2.
7. ALL TWO INCH DOUBLE DETECTOR CHECK VALVE, SHALL BE BRASS OR TYPE "L" COPPER TUBING.
8. USE OF OTHER PIPE MATERIALS WITH APPROVAL OF WATER SEWER MANAGER.
9. CITY MAINTAINS UP TO THE FIRST O S & Y VALVE.

DOUBLE DETECTOR CHECK VALVE PW 10.1



NOTES:

1. FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
2. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
3. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
4. RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.80.
5. USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIRECTOR OF UTILITIES.
6. RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER PW 10.2

ITEM	BOX COMPLETE EXTENSION IN INCHES	TOP SECTION W/LID WT.	BOTTOM LENGTH WT.	Pieces per Pkg.
461-S	19-22	60	10	35
462-S	23-33	70	10	35
562-S	27-37	80	16	45
563-S	33-43	90	16	45
564-S	39-50	90	16	45
662-S	36-52	105	26	65
663-S	39-55	105	26	65
666-S	51-71	135	26	65
668-S	62-82	145	26	60

\*\*MAY BE FURNISHED IN TWO PIECES SCREWED TOGETHER TO MAKE THE LENGTH REQUIRED.

BOX COMPLETE EXTENSION IN INCHES

TOP SECTION W/LID WT.

BOTTOM LENGTH WT.

Pieces per Pkg.

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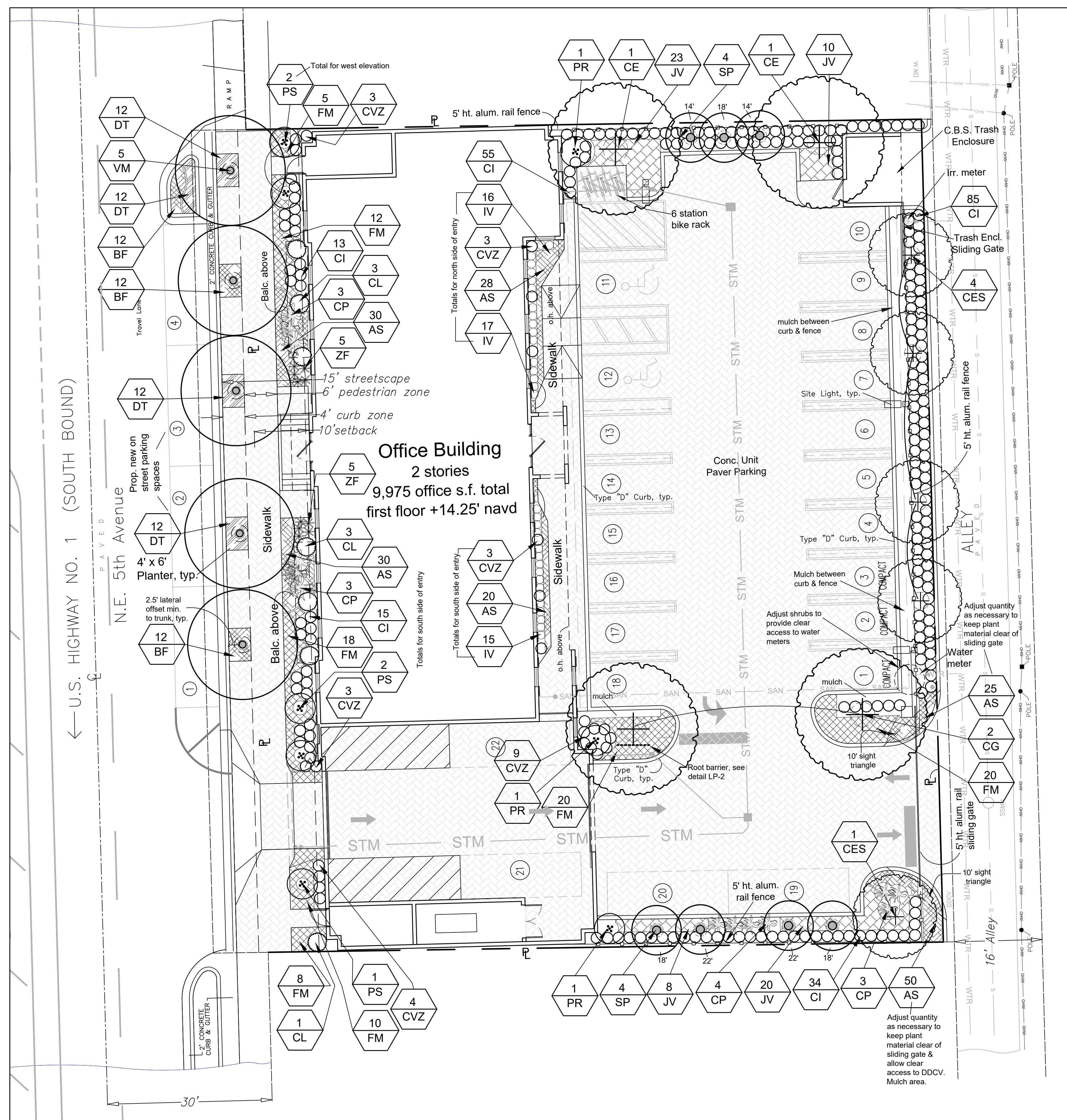
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# Landscape Plan

GRAPHIC SCALE       $1" = 10'$

## Plant Key

Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance	Tree or Palm Replacement Value @ 1:1	Replacement Value d.b.h.
183	AS	<i>Asparagus densiflorus</i> "Myers" / Foxtail Asparagus Fern 10-12" spr., 15" o.c.	VERY		
36	BC	<i>Bulbine frutescens</i> / Orange Bulbine 12-15" o.a., 15" o.c.	VERY		
2	CE*	<i>Conocarpus erectus</i> / Green Buttonwood 16' ht. x 6' spr., 4" d.b.h., 6' c.t.	VERY		2@4"= 8"
5	CES*	<i>Conocarpus erectus</i> var. <i>sericeus</i> / Silver Buttonwood 12' ht. x 5' spr., full and dense, min. 3 trunks, trim to 5' c.t.	VERY	5	
2	CG	<i>Caesalpinia granadillo</i> / Bridalveil Tree 16' ht. x 6' spr., 4" d.b.h., 6' c.t., matched in character	VERY	2	
202	CI*	<i>Chrysobalanus icaco</i> "Red Tip" / Red Tip Cocoplum 20" ht. x 12-15" spr., 24" o.c.	VERY		
7	CL	<i>Clusia guttifera</i> / Small Leaf Clusia 4' ht. x 3' spr., full to ground	VERY		
13	CP	<i>Crinum procerum splendens</i> / Purple Procerum Lily 36" o.a., full	VERY		
25	CVZ	<i>Codiaeum variegatum</i> "Zanzibar" / Zanzibar Croton 30" ht. x 24" spr., full to ground	VERY		
48	DT	<i>Dianella tasmanica</i> 'Variegata' / White Striped Tasman Flax Lily 12-15" o.a., 15" o.c.	VERY		
93	FM	<i>Ficus microcarpa</i> "Green Island" / Green Island Fig 15" spr., full, 24" o.c.	VERY		
48	IV*	<i>Ilex vomitoria</i> "Schillings Dwarf" / Dwarf Yaupon 12-15" o.a./, 24" o.c.	VERY		
61	JV	<i>Jasminum volubile</i> / Wax Jasmine 15" o.a., full, 24" o.c.	VERY		
3	PR	<i>Phoenix roebelenii</i> / Dwarf Date Palm 5-6' o.a., double staggered ht. trunks	VERY		
5	PS	<i>Ptychosperma schefferi</i> / Scheffer's Palm 8'-10' ht. o.a., min. 4 main trunks, trim fronds to clear bldg.	MOD		
8	SP*	<i>Sabal palmetto</i> / Cabbage Palm c.t. as noted on plan	VERY	2 palms @ 1:1 4 over 16' c.t.	
5	VM	<i>Veitchia montgomeryana</i> / Montgomery Palm 14' g.w., matched heavy trunks	VERY	5 palms	
10	ZF*	<i>Zamia floridana</i> / Coontie 18-20" o.a., full	VERY		

\* = Native to Florida

Abbreviations:  
c.t. - clear trunk      o.c. - on-center spacing  
g.w. - grey wood      o.a. - overall  
ht.      height      spr. - spread

## NOTES

NOTES

1. All prohibited plant species shall be eradicated from the development site and reestablishment of prohibited species shall not be permitted.
2. Any trees or shrubs placed within water, sewer, or drainage easements shall conform to the City of Delray Beach Standard Details; LD 1.1 & LD 1.2.,

## Removal & Mitigation Summary

## Removal & Mitigation Summary

Trees	
<i>Rating</i>	<i>Quant.</i>
0-49%	7 (1:1 replacement) <b>Replaced by this plan = 7 trees</b>
50-100%	2 ( 8" replacement) <b>Replaced by this plan = 8"</b>
<b>Note - Schefflera not counted for replacement</b>	
Total	6

Palms	
<i>Rating</i>	<i>Quant.</i>
0-49%	7 (1:1 replacement)
50-100%	4 (1:1 replacement, min. 16' ht.)
Total - 11	

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**Covelli  
Design  
Associates Inc.**

7050 West Palmetto Park Road  
Suite 15-274  
Boca Raton, Florida 33433  
561-910-0330

LC 26000287  
covellidesign.com

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**Urban Planning • Landscape Architecture**

# Landscape Plan

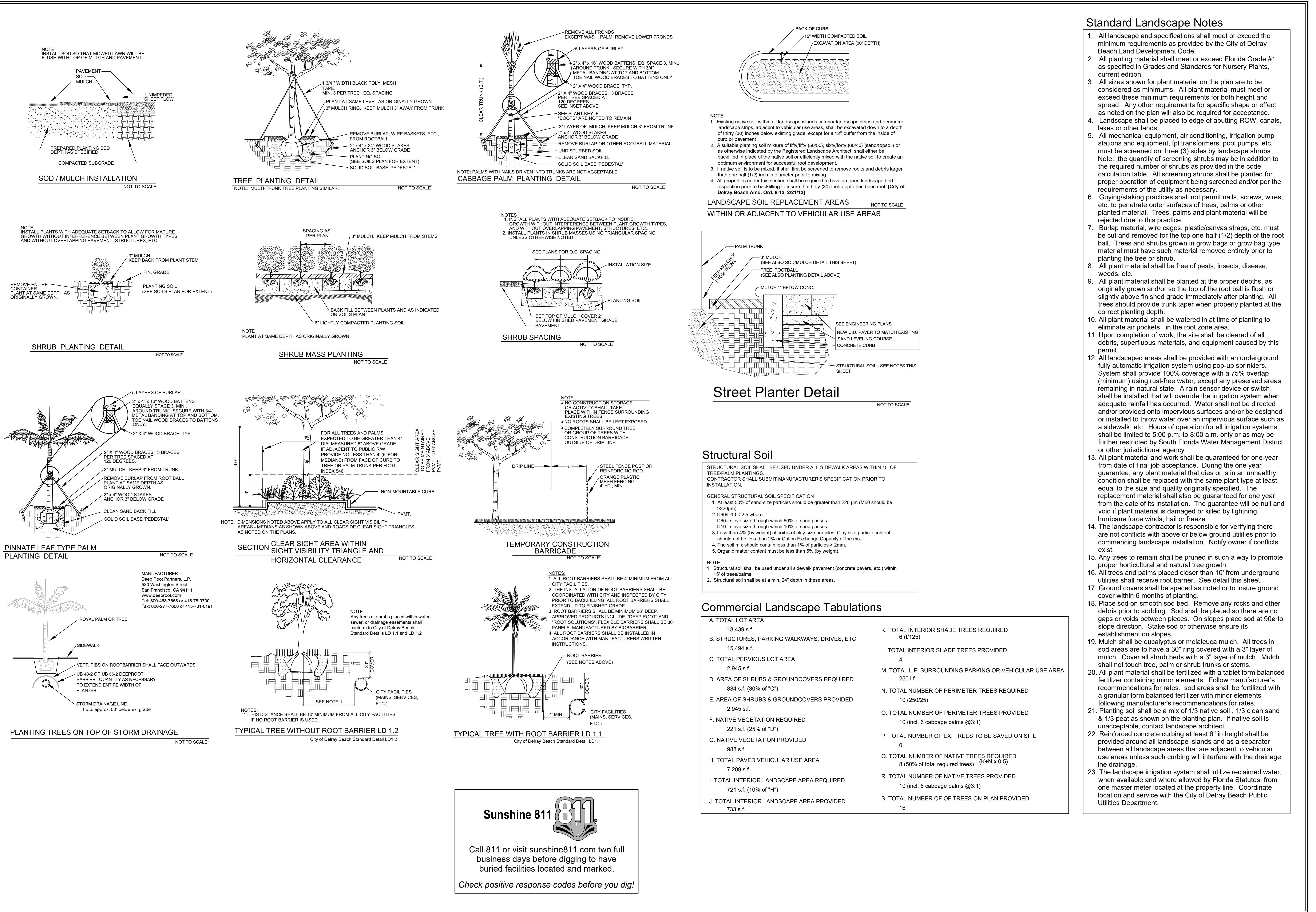
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## Spice Office Building

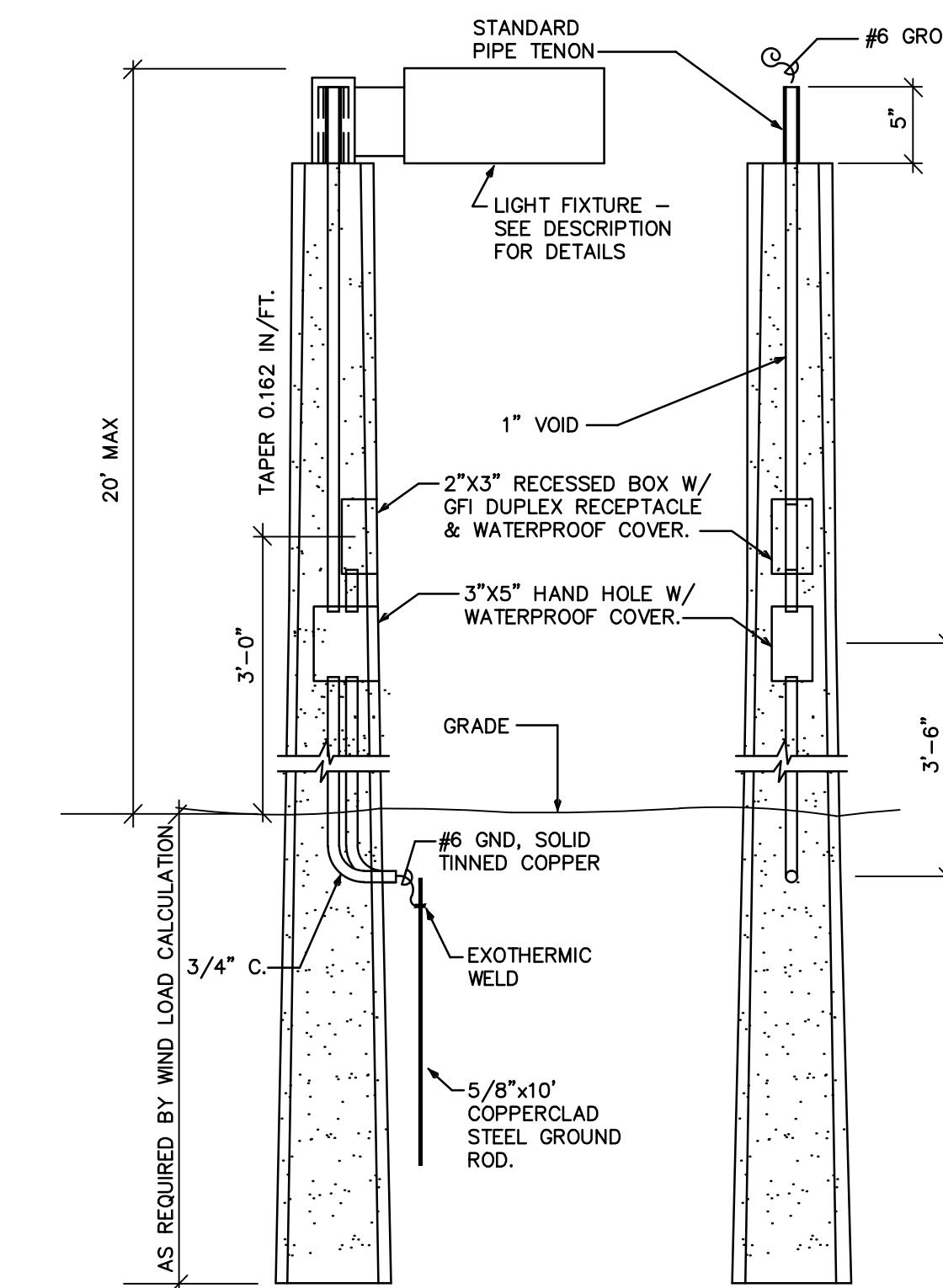
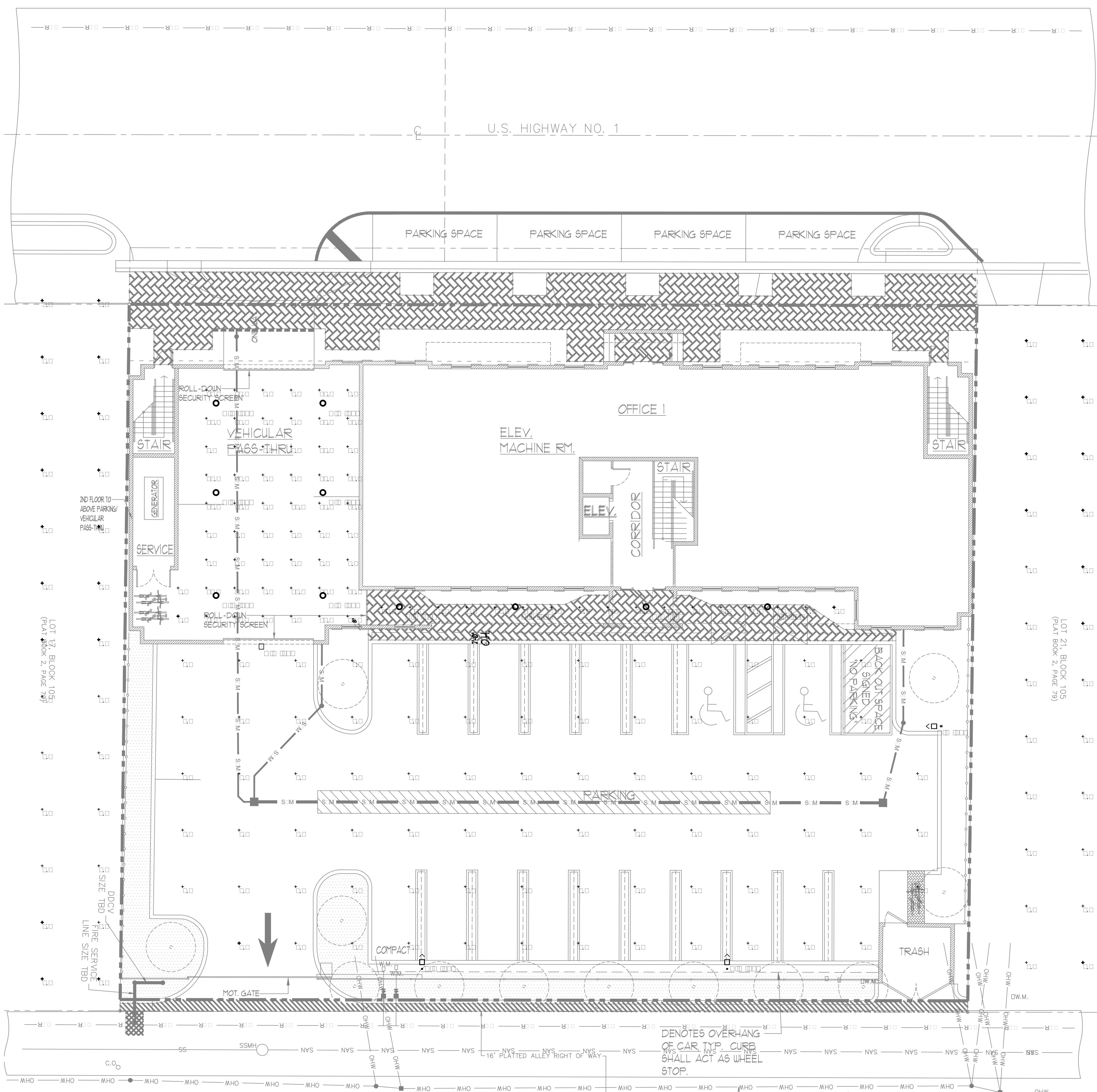
### Delray Beach, Florida

Date	02-10-2020
Scale	As Noted
PN #	1200

Drawing No.  
**LP-1**  
OF 2







NG FIXTURE SCHEDULE. LED MULTIPLE DISTRIBUTION  
FOOTCANDLE REQUIREMENTS USING SEGMENTED  
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# TERED FLORIDA ENGINEER

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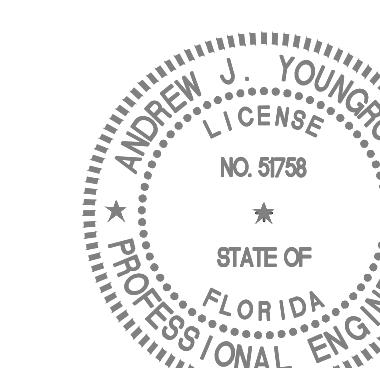
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**NOT TO SCALE**

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Statistics						
Description	Symbol	avg	Mode	Min	Max	avg/Min
Mean	+	0.00c	0.00c	0.00c	0.00	0.00
Normal Range	+	0.00c	0.00c	0.00c	No	No
Range	+	0.00c	0.00c	0.00c	0.00	0.00
Standard Deviation	+	0.00c	0.00c	0.00c	No	No
Percentile	+	0.00c	0.00c	0.00c	0.00	0.00



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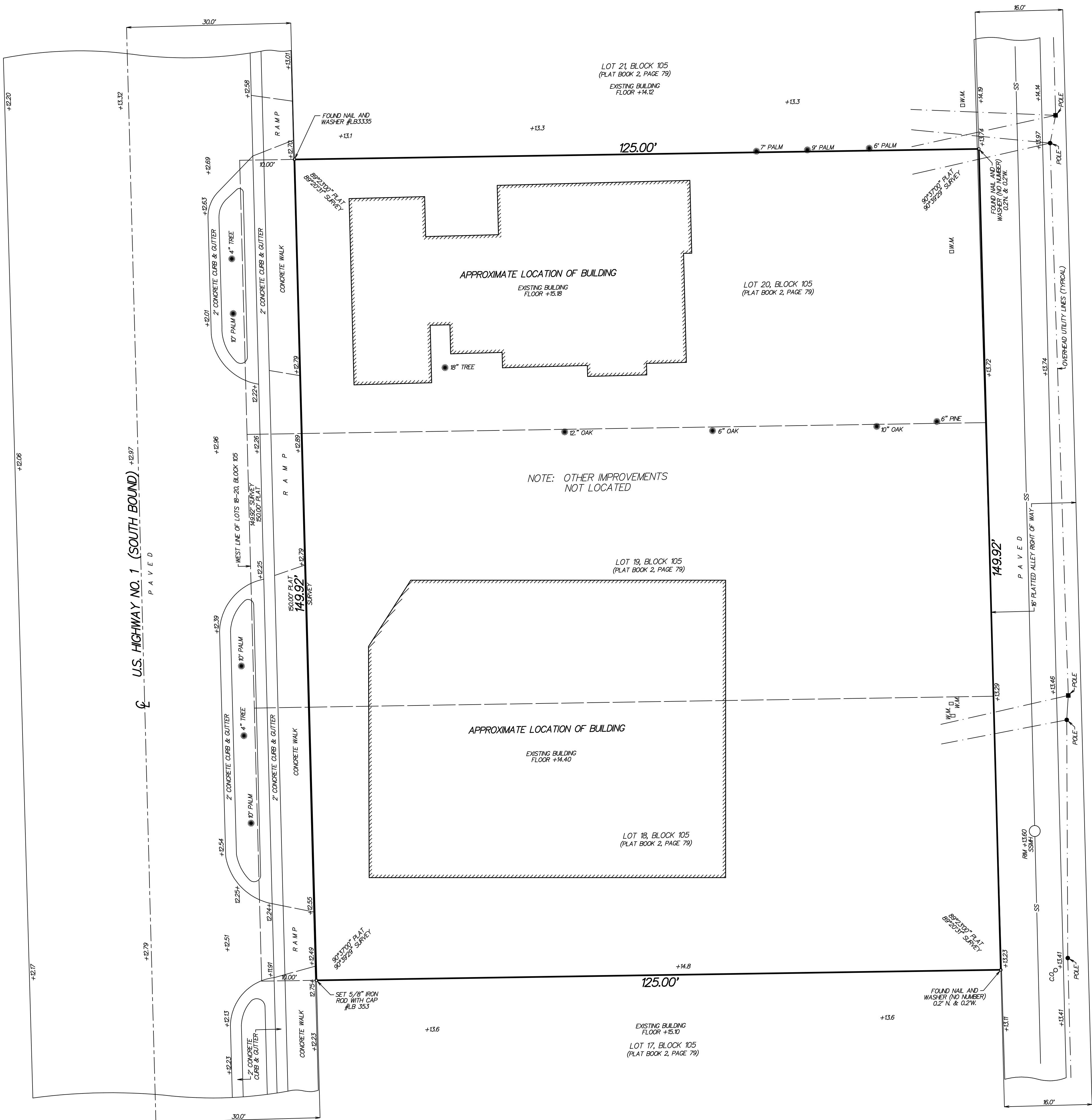
## NOTE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

Date	12-12-2011
Scale	As Note
PN#	1290/1915

Copyright © Bigelow et al.

Drawing No.  
**ES-1.1**  
OF 1



SURVEYOR'S REPORT/LEGEND:

= CENTERLINE

*W.M. = WATER METER*

O. = SANITARY SEWER CLEAN OUT

SMH = SANITARY SEWER MANHOLE  
13.74 = ELEVATION BASED ON NORTH  
AMERICAN VERTICAL DATUM 1988. SOURCE:

LOOD ZONE: X  
COMMUNITY PANEL NO.: 125102  
AP NO.: 12099C0979  
UFFIX: F  
FFECTIVE DATE: OCTOBER 5, 2017  
LL DIMENSIONS SHOWN BASED ON STANDARD

THIS SURVEY MEETS THE CLOSURE OF 1 FOOT  
PER 10,000 FEET AS REQUIRED FOR COMMERCIAL  
HIGH RISK PROPERTY

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL  
OF CLOSURE OF 1 FOOT IN 10,000 FEET AS  
REQUIRED FOR COMMERCIAL/HIGH RISK  
PROPERTY CLOSURE WAS ACHIEVED BASED ON  
REDUNDANCY OF MEASUREMENTS FOR VERTICAL  
OR HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

DO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR  
UNDERGROUND FOOTERS.

**CERTIFIED TO:**

XIE HOLDINGS 17, LLC, A FLORIDA LIMITED  
ABILITY COMPANY

ACMILLIAN & STANLEY, PLLC

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

EVITT, THISTLE & LORENZO, PLLC

### DESCRIPTION:

OTS 18, 19 AND 20, LESS THE WEST 10 FEET  
HEREOF, BLOCK 105, HIGHLAND PARK, DELRAY BEACH,  
ACCORDING TO THE PLAT THEREOF AS RECORDED IN  
PLAT BOOK 2, PAGE 79, PUBLIC RECORDS OF PALM  
BEACH COUNTY, FLORIDA.

MAP OF AS-BUILT SURVEY  
SITE ADDRESS: 325 & 343 N.E. 5TH AVENUE  
DELRAY BEACH, FLORIDA 33483  
PARCEL CONTROL NO. 12-43-46-16-05-105-0180  
PARCEL CONTROL NO. 12-43-16-16-05-105-0200

PARCEL CONTROL NO. 12-43-46-16-05-105-0200  
HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE  
AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA  
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA  
ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND  
THE ORIGINAL RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER.

PAUL D. ENGLE  
SURVEYOR & MAPPER #570

**O'BRIEN, SUITER & O'BRIEN, INC.**  
**LAND SURVEYORS**  
**CERTIFICATE OF AUTHORIZATION #LB353**  
**SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE**  
**955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445**

(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY AUGUST 15, 2019	REVISED: 10/01/19 - ADDED CERT. TO REVISED: 11/12/19 - LOCATED TREES	SCALE: 1" =
FIELD BOOK D 320	PAGE NO. 31	ORDER NO.: 19-4