



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD

238 SE 1st Ave – Exterior Renovations

Meeting	File No.	Application Type
December 11, 2024	2024-148-SPR LV1	Level 1 Site Plan Modification with Landscape Waivers
Property Owner		Authorized Agent
Wylie Properties LLC		Sandra Miura

Request

Consideration of a Level 1 Site Plan Modification for 238 SE 1st Ave, including exterior renovations and requests for two landscape waivers pursuant to LDR Sections 4.6.16(H)(3)(d) and 4.6.16(H)(3)(i).

Site Data & Information

Location: 238 SE 1st Avenue

PCN: 12-43-46-16-01-071-0060

Total Development Area: 13,654 Square feet (0.313 acres)

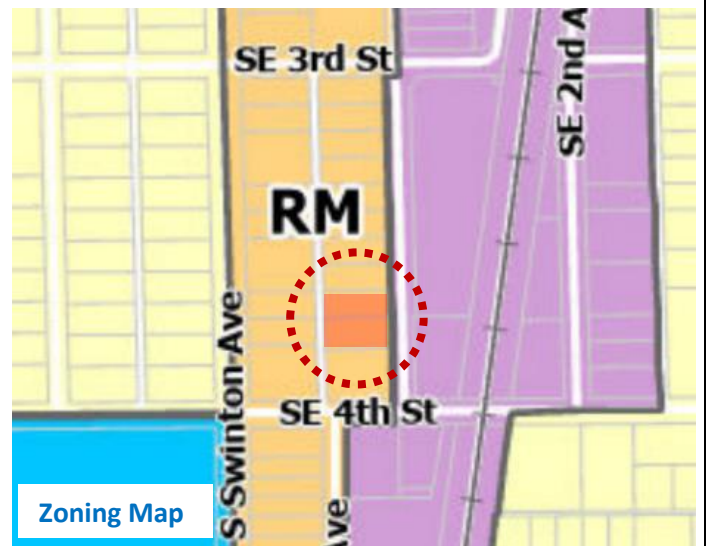
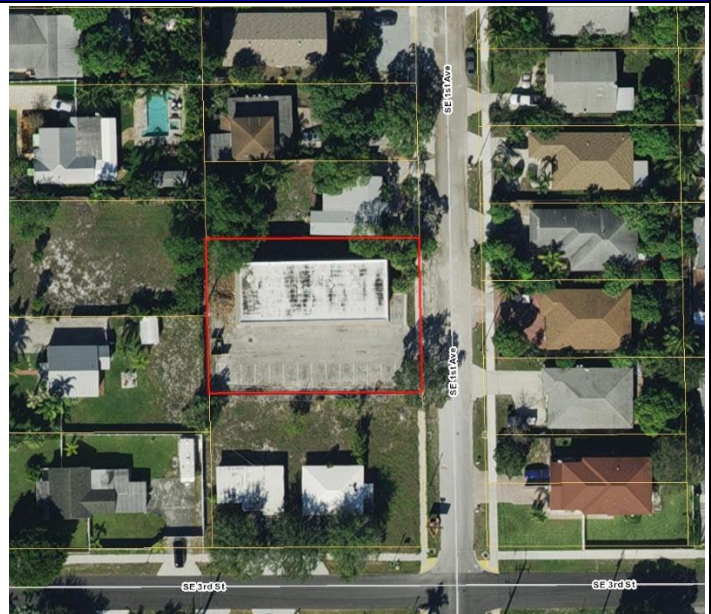
Land Use Designation: Medium Density Residential (MD)

Zoning District: Medium Density Residential (RM) District

Adjacent Zoning:

- North: RM
- South: RM
- West: RM
- East: Central Business District- Central Core (CBD – CC)

Existing Use: Multi-family Development (10 Units)



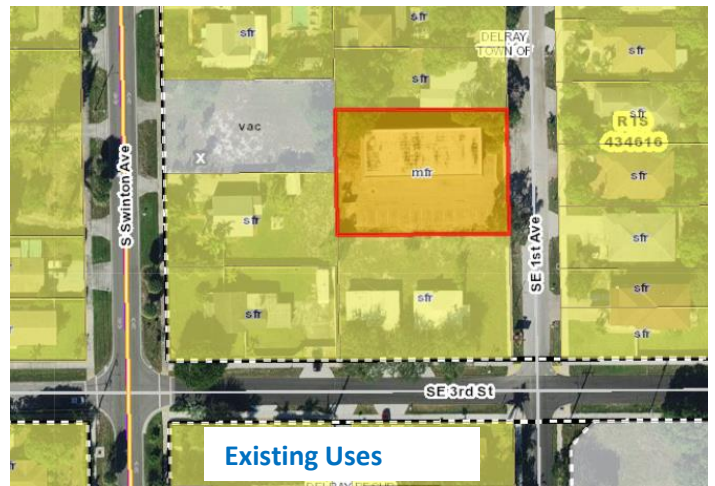


Background

The subject property, located at 238 SE 1st Ave, is a multifamily residential development comprising ten (10) dwelling units. The parcel is part of the Delray Beach subdivision, as recorded in Plat Book 1, Page 3 of the Public Records of Palm Beach County.

Although the property lies within the Residential Multifamily (RM) Zoning District, the surrounding context is predominantly single-family residential development on all four sides, with the exception of a portion of the rear boundary, which abuts a vacant lot.

Constructed in 1972, the development has undergone several improvements over the years through the building permit process. Notable permits include the installation of a wooden fence in 1990, the addition of a dumpster enclosure in 1998, and interior alterations completed in 2022.



The current application involves exterior renovations to the site and includes requests for two landscape waivers. These waivers pertain to specific requirements outlined in the Land Development Regulations (LDRs) and are sought to address existing site constraints while maintaining the character and functionality of the property. The proposed improvements aim to enhance the overall appearance and compatibility of the development within its predominantly single-family residential context.

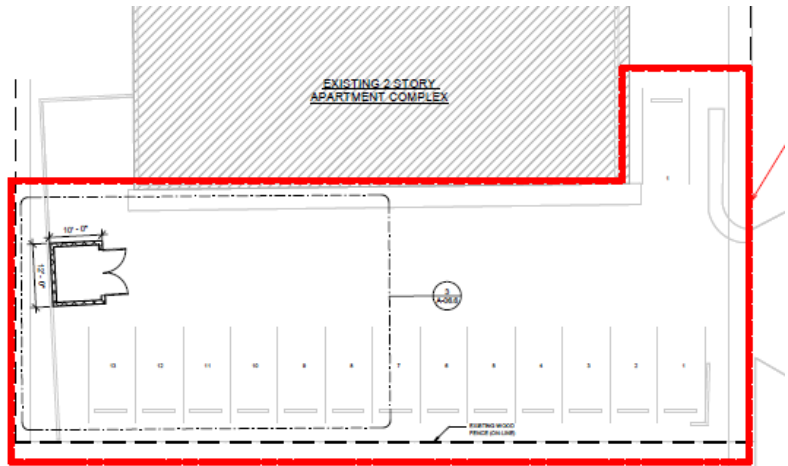
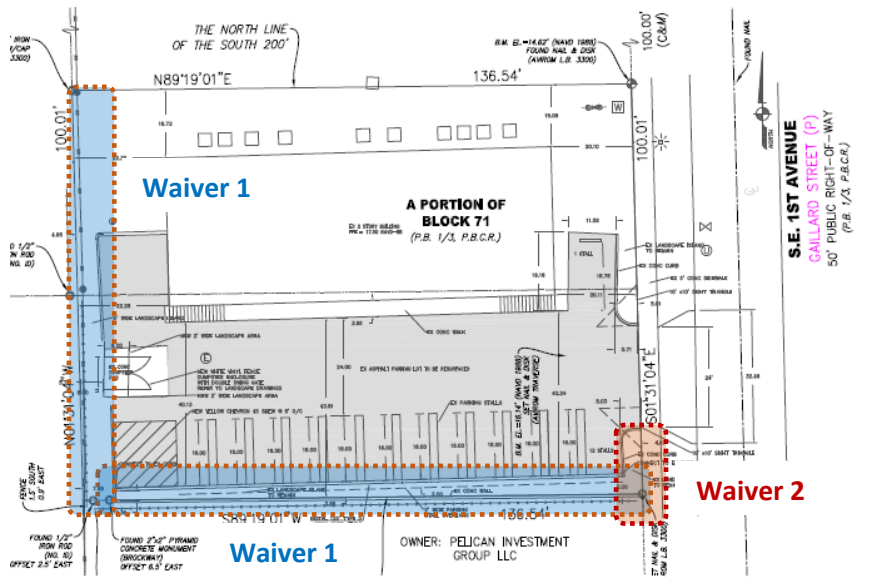
Description of Proposal

The applicant proposes modifications to the site, including the extension of the existing fence, the installation of a dumpster enclosure, and the addition of staircase railings. As part of this request, the applicant seeks approval for two landscape waivers.

The first waiver pertains to Section 4.6.16(H)(3)(d), which requires a 5-foot landscape perimeter along the southern boundary of the property.

The second waiver is for Section 4.6.16(H)(3)(i), which mandates that landscape islands contain a minimum of 135 square feet of planting area, with a minimum dimension of nine feet (exclusive of the required curb), and be placed at intervals of no more than 13 parking spaces. Each island must also include one shade tree and a minimum of 75 square feet of shrubs and groundcovers. The waiver request specifically addresses a reduction in the size of an existing landscape island in the southeast portion of the site, where the presence of established trees limits the ability to meet the dimensional requirements without negatively affecting existing vegetation.

These waivers are requested to address constraints posed by the existing site development, while all other applicable provisions of the Land Development Regulations (LDRs) remain in effect.





The illustration to the right depicts the proposed exterior color transition from the existing beige to **Chantilly Lace OC-65**, a crisp and clean white shade from Benjamin Moore's collection. This selection is intended to modernize the building's appearance, providing a fresh, neutral aesthetic that complements its surroundings while enhancing its curb appeal.



Additionally, the proposed **new wood fence** will be painted in a classic **white** finish. The choice of white for the fence aligns with the updated building color, creating a cohesive and harmonious look. The white paint will highlight the natural grain of the wood while providing a durable and polished finish suitable for outdoor exposure.

Review & Analysis: Site Plan

LDR Section 2.4.10(A)(2)(d), Board Review

Level 1 and Level 2 Site Plan applications that are dependent upon waiver relief require action by the SPRAB and/or the City Commission.

LDR Section 2.1.6(E)(1), Board Action

The SPRAB has the authority to take action on the following items pursuant to the procedures and standards of the LDR, except where authority is granted to the Historic Preservation Board:

- (a) *Level 1 or Level 2 Site Plan applications when associated with the following requests for relief:*
 1. *Waivers that do not require City Commission action.*
 2. *Reduction in the number of parking spaces required for specific uses, pursuant to Section 4.6.9(F)(1).*
 3. *Waivers to Section 4.6.16, Landscape Regulations.*

LDR Section 2.4.10(A)(3)(a), Findings

Formal findings are not required for Level 1 Site Plan applications.

Due to the Level 1 Site Plan application requesting a waiver to LDR Section 4.6.16, the Level 1 must be reviewed by the Site Plan Review and Appearance Board.

Review & Analysis: Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

LDR Section 2.4.11(B)(5), Findings *Prior to granting a waiver, the granting body shall make findings that the granting of the waiver:*

- (a) *Shall not adversely affect the neighboring area;*
- (b) *Shall not significantly diminish the provision of public facilities;*
- (c) *Shall not create an unsafe situation; and*
- (d) *Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.*
- (e) *Within the CBD, the following additional findings apply:*
 1. *The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.*
 2. *The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.*
 3. *The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/pedestrian master plan.*
 4. *The waiver shall not reduce the quality of civic open spaces provided under this code.*

LDR Section 4.6.16(H)(3)(d) - Waiver 1

LDR Section 4.6.16(H)(3)(d) A landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet at the time of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such

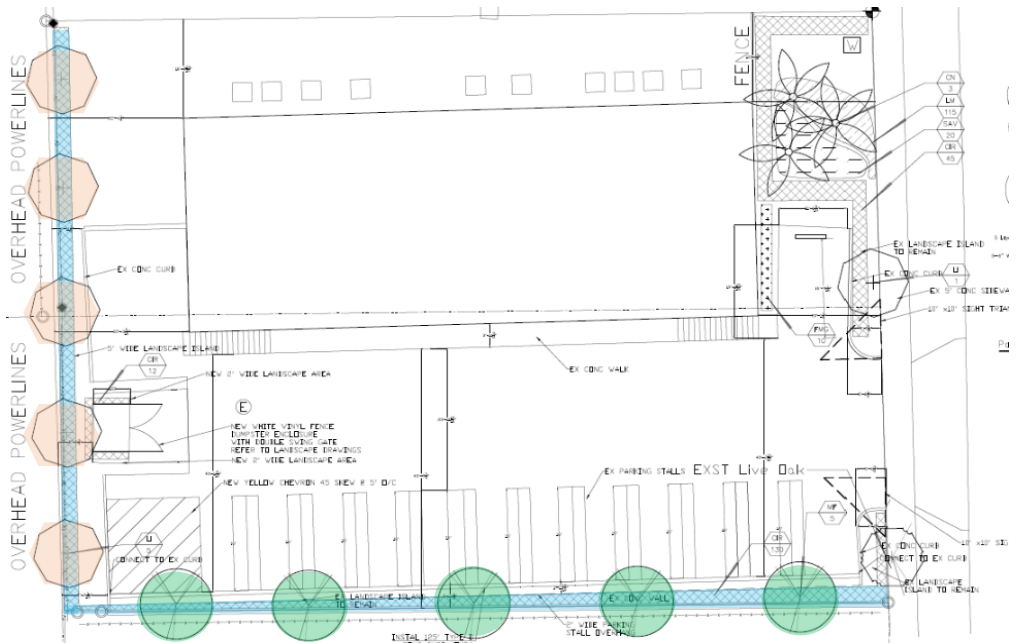


abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of **not less than five feet in width** that is free of any vehicular encroachment, including car overhang...

Waiver Analysis:

The applicant seeks relief from Section 4.6.16(H)(3)(d) of the Land Development Regulations (LDR), which requires a landscaped barrier with a minimum width of five feet to separate off-street parking areas or vehicular use areas from abutting properties. The landscape barrier must provide a continuous screen, measuring between three and six feet in height at maturity, within a planting strip that is free from vehicular encroachment, including car overhangs.

The subject site presents physical constraints that challenge compliance with these requirements. Along the **southern property boundary**, the existing landscaped buffer varies in width, measuring approximately 4.3 feet at its widest point on the eastern side and narrowing to 2.3 feet at its westernmost extent. Along the **western property boundary**, the landscape barrier width fluctuates between approximately 2 feet and 3 feet. These existing non-conformities are primarily due to the building's offset placement, the configuration of existing parking areas, and the location of the dumpster enclosure, all of which limit the available space to establish a uniform five-foot-wide buffer.



Additional constraints are present along the **western property boundary**, where overhead utility lines restrict the feasibility of installing taller vegetation that could provide the required vertical screening. These physical and spatial limitations necessitate a tailored approach to achieving the screening objectives of the LDR while accommodating the existing site conditions.



Simpson Stopper trees



Red Tip Cocoplum



Crape Myrtle



To address these constraints, the applicant has submitted an enhanced landscape plan designed to meet the intent of the code by improving buffering and visual screening along both boundaries while accommodating the site's limitations.

- **Southern Boundary:** The applicant proposes the installation of five **Simpson Stopper trees** (*Myrcianthes fragrans*), which are characterized by compact growth and dense foliage. These trees will be planted at a height of 16 feet, with a six-foot straight trunk and an eight-foot canopy spread, providing vertical screening along this boundary. Additionally, 130 **Red Tip Cocoplum shrubs** (*Chrysobalanus icaco*) will be installed to create a dense hedge at a height of three feet, ensuring continuous visual and functional screening along the southern property line.
- **Western Boundary:** Given the overhead utility lines, the applicant proposes planting five **Crape Myrtle trees** (*Lagerstroemia indica*), selected for their smaller mature height of 12 feet, to avoid conflicts with utilities while providing vertical screening. The same **Red Tip Cocoplum shrubs** will be used to establish a cohesive hedge along this boundary, similar to the southern boundary.

The proposed landscaping enhancements aim to mitigate the reduced barrier widths by leveraging plant species that are well-suited to the site conditions and capable of achieving the buffering objectives of the LDR.

The requested waiver reflects the inherent limitations of the existing site configuration and the applicant's effort to address these challenges through a tailored landscape plan. The proposed enhancements are intended to align with the intent of the LDR by improving visual and functional screening without requiring significant structural changes to the site. The board's evaluation should focus on whether the proposed solution sufficiently addresses the objectives of the code and whether similar relief would be granted under comparable circumstances for other properties.

LDR Section 4.6.16(H)(3)(i) - Waiver 2

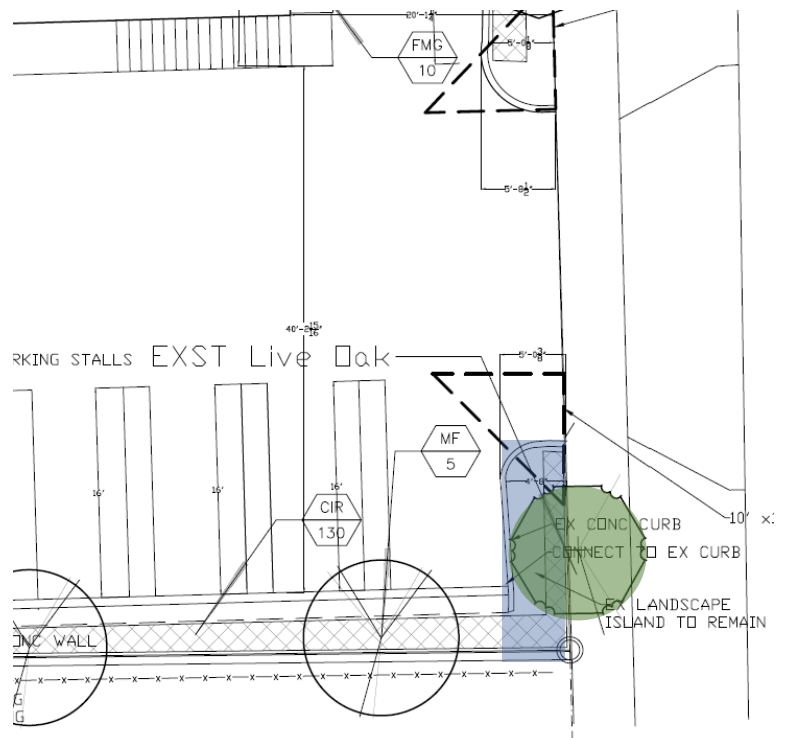
LDR Section 4.6.16(H)(3)(i) Landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of nine feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Tree specifications shall adhere to those listed in Section 4.6.16(E)(5) and 4.6.16(E)(6).



Existing Oak Tree

Waiver Analysis:

The applicant requests a waiver from Section 4.6.16(H)(3)(i) of the Land Development Regulations (LDR), which requires that landscape islands provide a minimum planting area of 135 square feet, with a minimum width of nine feet (exclusive of the required curb), and be placed at intervals of no more than 13 parking spaces. Each landscape island must include one shade tree and a minimum of 75 square feet of shrubs and groundcover, adhering to specifications outlined in Sections 4.6.16(E)(5) and 4.6.16(E)(6).





The site includes an established landscape island that does not meet the dimensional requirements outlined in the LDR. The existing island is located adjacent to the property boundary abutting SE 1st Avenue and varies in width, measuring approximately **4.21 feet** at its narrowest point on the northern side and **4.26 feet** at its narrowest point on the southern side. Despite the dimensional non-conformity, the landscape island currently supports a **mature Live Oak tree** (*Quercus virginiana*), which fulfills the shade tree requirement and contributes to the site's overall canopy coverage.

The presence of this mature tree presents a site constraint, as modifications to expand the island to meet the minimum width and area requirements would disrupt the root zone and potentially compromise the health and stability of the tree. Additionally, spatial constraints within the existing parking lot configuration further limit the feasibility of achieving compliance without significant structural reconfiguration.

To address these constraints, the applicant proposes retaining the existing landscape island in its current dimensions while enhancing the planting to improve its visual and functional contribution. The plan includes the installation of Red Tip Cocoplum shrubs (*Chrysobalanus icaco*), which will establish a cohesive and consistent hedge along the edge of the island, complementing similar plantings along the southern and western boundaries of the property.

The proposed landscaping enhancement seeks to balance the preservation of the mature Live Oak tree and reflects an effort to prioritize the preservation of an existing mature tree, which provides environmental and aesthetic benefits consistent with the objectives of the LDR. While the proposed solution does not meet the dimensional requirements of Section 4.6.16(H)(3)(i), it aligns with the broader intent of the regulation to enhance the visual and environmental quality of parking areas. The board's assessment should evaluate whether the proposal sufficiently meets the intent of the LDR and ensures consistency with other landscape standards across the site.

Review By Others

No other review is required for request.

Optional Board Motions

- A. Move to **approve** the Level 1 Site Plan Modification for **238 SE 1st Ave** including two landscape waivers for **LDR Section 4.6.16(H)(3)(d)**, and **LDR Section 4.6.16(H)(3)(i)**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move to **approve, as amended**, the Level 1 Site Plan Modification for **238 SE 1st Ave** including two landscape waivers for **LDR Section 4.6.16(H)(3)(d)**, and **LDR Section 4.6.16(H)(3)(i)**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move to **denial** the Level 1 Site Plan Modification for **238 SE 1st Ave** including two landscape waivers for **LDR Section 4.6.16(H)(3)(d)**, and **LDR Section 4.6.16(H)(3)(i)**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. **Move to continue with direction.**

APARTMENT UNITS REMODEL - RENOVATIONS

238 S.E. 1st AVENUE,
DELRAY BEACH, FL 33444

PROJECT INFORMATION

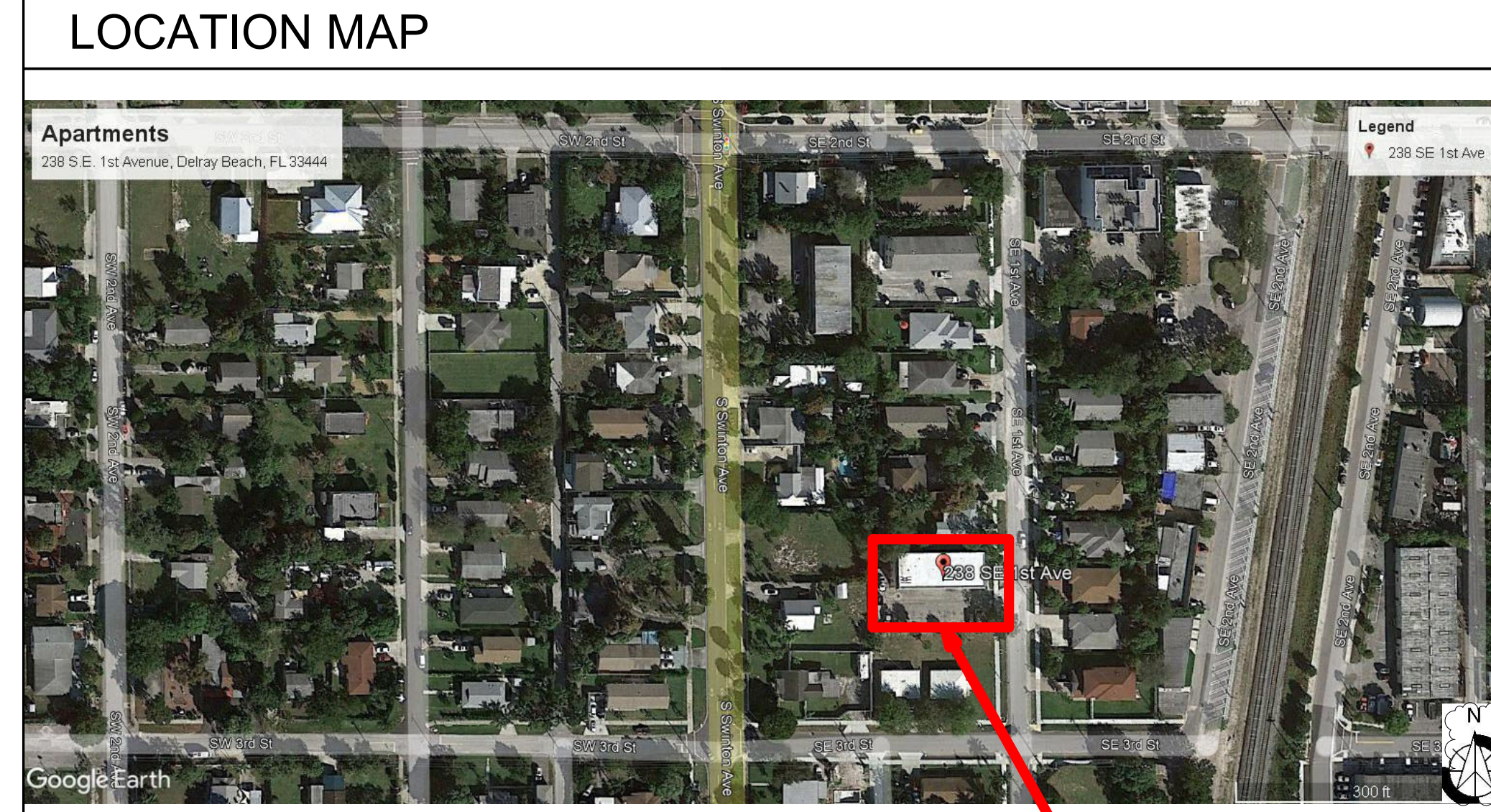
No.	Description	Date
4	Revision 4 - City Comments	01.29.24



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DRAWING INDEX	CODE RESEARCH
<p>A-00 GENERAL NOTES</p> <p>A-01 EX. OVERALL BLDG. PLAN</p> <p>A-02 EXISTING OVERALL FLOOR PLAN</p> <p>A-03 EXISTING FLOOR & DEMO. PLANS - UNITS # 2, 3, 4, 7, 8 & 9</p> <p>A-03.5 EX. FLOOR & DEMO. PLANS - UNITS # 3, 4, 7, 8 & 9</p> <p>A-04 PROPOSED FLOOR PLANS-UNITS #1, 5, 6 & 10</p> <p>A-04.1 PROPOSED FLOOR PLANS-UNITS #2, 3, 4, 7, 8 & 9</p> <p>A-05 REFLECTED CEILING PLANS-UNITS # 6,7,8,9 & 10</p> <p>A-05.5 REFLECTED CEILING PLANS-UNITS # 1,2,3,4 & 5</p> <p>A-06 DETAIL SHEET</p> <p>A-06.4 OVERALL EXISTING SITE PLAN</p> <p>A-06.5 EXTERIOR RENOVATION PLANS</p> <p>A-06.6 DUMPSTER PLANS</p> <p>A-06.7 EXISTING ELEVATIONS SHOWING RAILING</p>	<p>GOVERNING CODE 2020 Florida Building Code - 7th Ed., 2017 Existing Florida Building Code, 2020 Florida Accessibility Code, Florida Fire Prevention Code Seventh Edition.</p> <p>BUILDING HEIGHT 20'-0" Approximately</p> <p>PROJECT AREA 7,029 S.F.</p> <p>TYPE OF CONSTRUCTION Type I-B</p> <p>LEVEL OF ALTERATION 2</p> <p>OCCUPANCY CLASSIFICATION R-2</p> <p>COMPLIANCE METHOD PRESCRIPTIVE</p> <p>FOLIO: 12-43-46-16-01-071-0060</p> <p>LEGAL DESCRIPTION TOWN OF DELRAY N. 100 FT OF S 200 FT OF E 1/2 OF BLK 71</p> <p>SCOPE OF WORK INTERIOR RENOVATIONS - REMOVAL & RETILING OF NEW FLOORING THROUGHOUT UNIT. REMOVAL OF EXISTING KITCHEN PARTITION. REMOVAL AND REPLACEMENT OF ALL EXISTING PLUMBING FIXTURES IN BATHROOM. REMOVAL AND REPLACEMENT OF EXISTING KITCHEN FIXTURES, APPLIANCES, COUNTERS, BASE AND TOP CABINETRIES. PLUMBING TO BE TEMPORARILY CAPPED OFF. ELECTRICAL TO BE SAFED OFF.</p> <p>NEW DUMPSTER ENCLOSURE, RE- ASPHALT EXISTING AREA PARKING LOT, NEW HANDRAILS ON BUILDING AND STAIRS AND BALCONIES & NEW FENCE ON NORTH AND WEST SIDE OF THE PROPERTY</p> <p>No Fire Alarm System / No Fire Sprinkler System</p>

SYMBOLS	
<p>IDENTIFICATION NUMBER 1 A-2</p> <p>SHEET NUMBER</p>	<p>DETAIL SYMBOL</p>
<p>IDENTIFICATION NUMBER 1 A-2</p> <p>SHEET NUMBER</p>	<p>SECTION SYMBOL</p>
<p>SHEET NUMBER</p> <p>ELEVATION NUMBER</p>	<p>INTERIOR ELEVATIONS</p>
<p>1 A-2</p> <p>ENLARGED PLAN/ CALL OUT</p>	<p>ELEVATION</p> <p>KEY NOTE</p> <p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>WALL TYPE</p> <p>EXISTING WALL</p> <p>NEW WALL</p> <p>EXISTING WALLS TO BE REMOVED</p> <p>BATT INSULATION</p> <p>FIRE RATED WALL</p>



GENERAL NOTES

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO SUBMITTING HIS BID.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMISSION OF ANY BIDS, AND VERIFY THE ARCHITECTS DIMENSIONS, DETAILS AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES, CONFLICTING INFORMATION, ERRORS OR OMISSIONS ARE PRESENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMEN'S COMPENSATION INSURANCE. VALID CERTIFICATES OF ALL SHALL BE PROVIDED.

THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT LOCAL EDITION, NFPA-101 AND ALL OTHER REGULATION CODES.

THE CONTRACTOR SHALL OBTAIN ALL PERMITS, AND SECURE ALL CERTIFICATES OF INSPECTION AND OCCUPANCY THAT ARE REQUIRED BY THE GOVERNING JURISDICTION. THE OWNER SHALL RECEIVE A COPY OF THE PERMIT UPON ISSUANCE.

THE CONTRACTOR SHALL REFERENCE THE BUILDING SHELL DRAWINGS FOR ALL INFORMATION RELATIVE TO THE BUILDING SHELL AND FOR COORDINATION OF NEW WORK.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS/VENDORS SHALL FAMILIARIZE THEMSELVES WITH AND CONFORM TO ALL REQUIREMENTS SET FORTH BY THE BUILDING OWNER OR MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE COORDINATION ALL SUBCONTRACTORS, SUPPLIERS AND VENDORS.

THE CONTRACTOR SHALL NOT ALLOW ON THE PROJECT ANY MATERIALS CONTAINING ASBESTOS, PETROLEUM OR PCB.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO THE SUBCONTRACTORS/VENDORS AS WELL AS SUPERVISING AND COORDINATING THE WORK OF ALL TRADES IN ACCORDANCE WITH THE SPECIFICATIONS AND MAKING ADJUSTMENTS IN LAYOUT AS REQUIRED. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO THE EXECUTION OF THEIR REVISIONS TO AVOID CONFLICT BETWEEN TRADES FOR PROPER EXECUTION OF THE WORK.

THE CONTRACTOR SHALL INSTALL ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY FOR COMPLETION OF THE WORK FOR OPERATION WITHOUT ADDITIONAL EXPENSE TO OWNER.

THE CONTRACTOR SHALL COORDINATE ALL OWNER/TENANT SUPPLIED ITEMS AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE.

THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES INCLUDING ELECTRICAL, WATER, AND TELEPHONE REQUIRED FOR THE COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL HAVE A DIGITAL CAMERA ON SITE TO DOCUMENT ANY ISSUES THAT MAY NEED TO BE CLARIFIED. THESE PICTURES SHALL BE EMAILED TO THE ARCHITECT ALONG WITH AN RFI FOR CLARIFICATION.

THE CONTRACTOR SHALL PROVIDE AT ALL TIMES PROTECTION FROM THE WEATHER AND EXCESSIVE DUST THAT MAY IN ANY WAY DAMAGE THE WORK, MATERIAL, FIXTURES, AND EQUIPMENT, OR PRESENT DANGER TO PERSONNEL. ANY WORK UNDER CONTRACT BY THE GENERAL CONTRACTOR DAMAGED BY A FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE SOLE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAINTAIN THE JOB SITE FREE FROM RUBBISH AND DEBRIS. DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL CONFORM TO BUILDING REGULATIONS.

THE CONTRACTOR SHALL RUN FIRE RATED WALLS AND PARTITIONS TO UNDERSIDE OF RATED ROOF/CEILING ASSEMBLY ABOVE. TAPE AND SEAL JOINTS. PROVIDE FIRE DAMPERS AT DUCT PENETRATIONS AS REQUIRED BY CODE. TAPE AND SEAL OTHER PENETRATIONS TO MAINTAIN INTEGRITY OF FIRE-RATED PARTITION USING ONLY UL APPROVED MATERIAL.

THE CONTRACTOR SHALL FINISH GYPSUM WALLBOARD ABUTTING OTHER MATERIAL WITH METAL EDGE STRIPS. CONCEAL PIPING, DUCTWORK, AND CONDUIT.

THE CONTRACTOR SHALL BACK ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT LOCATED IN FIRE-RATED WALLS WITH 5/8" TYPE 'X' GYPSUM BOARD AS REQUIRED TO MAINTAIN THE RATING.

THE CONTRACTOR SHALL PROVIDE BRACING OR BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT: CABINETS, GRILLES, DOORS, WINDOWS, ETC.. WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. METAL STUDS MAY BE USED IN LIEU OF WOOD BLOCKING.

THE CONTRACTOR SHALL NOT CUT ANY STEEL, WOOD, OR OTHER MAIN STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

ANY ROOM, WALL, FLOOR, OR CEILING FINISH NOT SCHEDULED SHALL BE ASSUMED TO BE IDENTICAL TO THE CLOSEST ROOM OF SIMILAR USE AND TYPE FOR PURPOSES OF BIDDING AND CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY OBSERVED APPARENT DISCREPANCIES IN WRITING PRIOR TO COMMENCING WITH THE WORK.

ANY DETAIL NOT SPECIFICALLY REFERENCED SHALL BE ASSUMED TO BE SIMILAR TO THAT SHOWN IN THE CLOSEST POSITION WHERE A SIMILAR CONDITIONS OCCURS FOR THE PURPOSES OF BIDDING AND CONSTRUCTION. NOTIFY THE ARCHITECT IN WRITING OF ANY OBSERVED APPARENT DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK.

WHERE TWO OR MORE DETAILS, MATERIALS, OR CONDITIONS OCCUR IN APPARENT CONFLICT, THE CONTRACTOR SHALL INCLUDE THE MOST COSTLY SOLUTION IN HIS BID AND NOTIFY THE ARCHITECT OF ANY APPARENT DISCREPANCIES PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE UPON COMPLETION OF THE WORK A SET OF "AS-BUILT" NEATLY MARKED UP PLANS, THE ELECTRICAL CONTRACTORS "AS-BUILT" DRAWINGS SHALL BE INCLUDED. THESE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER.

BUILDER, SUBCONTRACTOR, SUPPLIER, ETC., SHALL VERIFY ALL DIMENSIONS, PLANS, SPECIFICATIONS, CONDITIONS AT JOBSITE, ETC. PRIOR TO STARTING ANY WORK AND WITHIN (7) SEVEN CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE DESIGNER (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE DESIGNER WILL ASSUME NO RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE. NOTE: ALL DIMENSIONS ARE NOMINAL; TO FACE OF STUD, STEM WALL, OR MONOLITHIC FOOTINGS UNLESS OTHERWISE NOTED. THE DESIGNER DOES NOT HAVE ANY FIELD SUPERVISION NOR CONSTRUCTION ADMINISTRATION ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE DESIGNER FOR ANY PERSONAL INJURY OR DAMAGE TO THE PROJECT OR TO ADJACENT PROPERTIES AND OMISSIONS.

CONCRETE: ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 2500 P.S.I. AT 28 DAYS UNLESS NOTED OTHERWISE. CONCRETE PER ASTM C95. CONCRETE WORK PER ACI 301.

ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR THE OWNER TO THE DESIGNER. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE DESIGNER WILL FULLY UNCON DITIONALLY AND TOTALLY RELEASE THE DESIGNER FROM ANY AND ALL RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST THE DESIGNER FOR CULPABILITY, ETC. FROM DATE SHOWN ON PLANS ORIGIN UNTIL THE END OF TIME.

REBAR: ALL REINFORCEMENT STEEL TO BE ASTM A-615 GRADE 60, BENT, LAPPED AND PLACED IN ACCORD. WITH THESE DRAWINGS AND THE LATEST SPECIFICATIONS IN ACI 318.

CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL COORDINATION AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO POURING OF FLOOR SLABS, FOOTINGS, OR PADS.

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

LUMBER USED FOR JOISTS, RAFTERS, TRUSSES, COLUMNS, BEAMS AND / OR STRUCTURAL MEMBERS SHALL BE STRESS GRADE NOT LESS THAN fb = 1000 PSI UNLESS OTHERWISE SPECIFIED. REFER TO STRUCTURAL DRAWINGS. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.

APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURERS PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICES.

SMOKE DETECTORS TO BE POWERED BY HOUSE ELECTRIC SERVICE AND HAVE BATTERY BACK-UP. MULTIPLE DETECTORS MUST BE INTERCONNECTED AS PER F.B.C. SECTION 905.2.5.

MIRRORS OVER 9 S.F. SHALL BE ANCHORED TO STUDS.

ALL VERTICAL ELEVATION DATUM FOLLOWED BY "AFF" (ABOVE FINISHED FLOOR) IS REFERENCED FROM THE 0'-0" FINISHED FLOOR. IF NOT FOLLOWED BY "AFF" THE VERTICAL ELEVATION DATUM IS REFERENCED FROM THAT ROOM'S FLOOR ELEVATION.

APARTMENT UNITS REMODEL
INTERIOR & EXTERIOR
RENOVATIONS
238 S.E. 1st AVENUE, DELRAY
BEACH, FL 33444

SEAL

PROJECT NO: _____

DRAWN BY: JMW

CHECKED BY: JMW

DATE: 02/16/2022

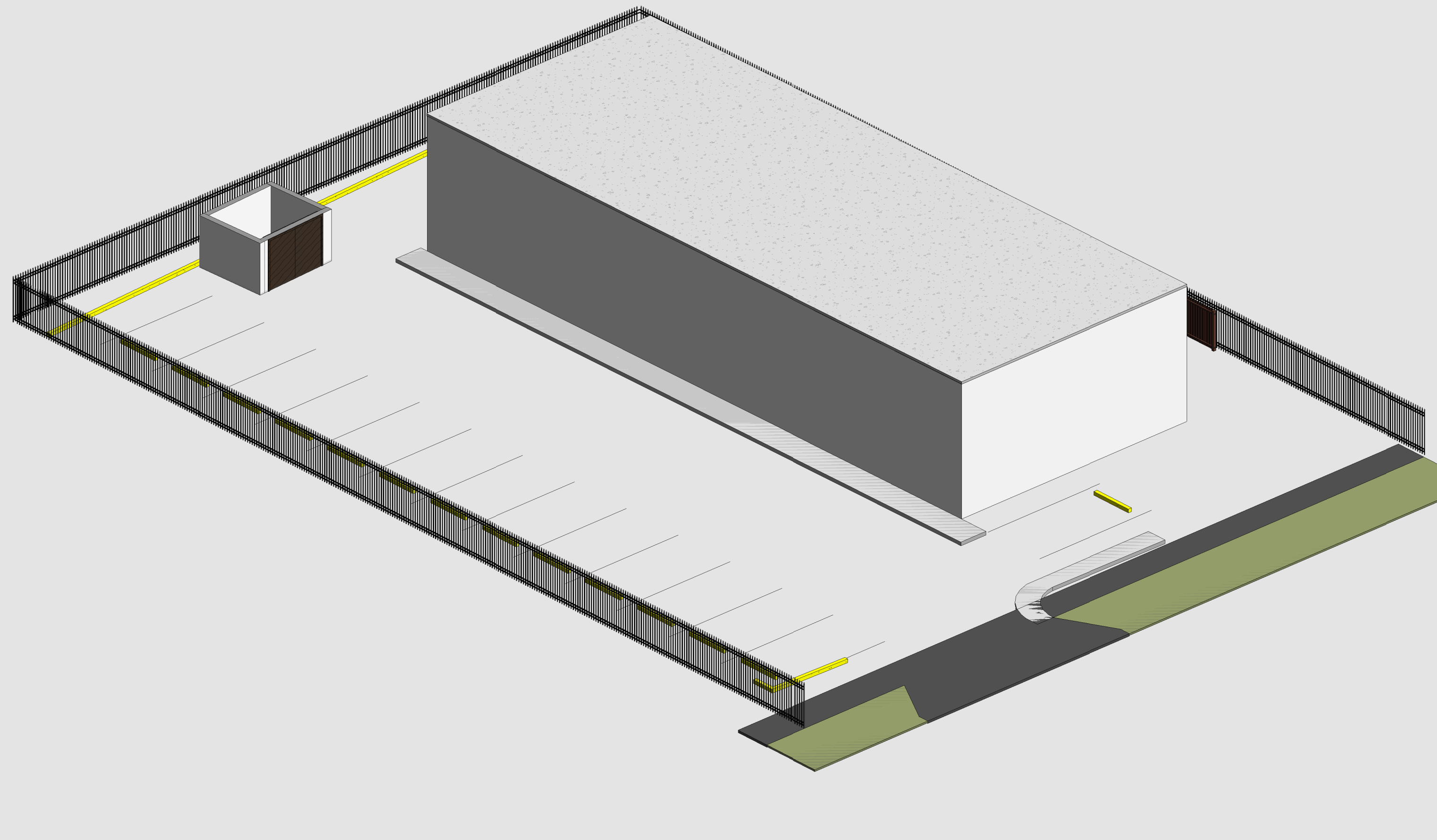
FILE NAME: _____

GENERAL NOTES & SITE PLAN

SHEET NO.

A-00

SHEET: ____ OF ____



② {3D} Copy 1

AREA OF WORK

ADJACENT ACCESS NOTE:
POINT OF ACCESS OF ADJACENT PROPERTIES,
THERE ARE NO DRIVEWAYS WITHIN 50 FEET.

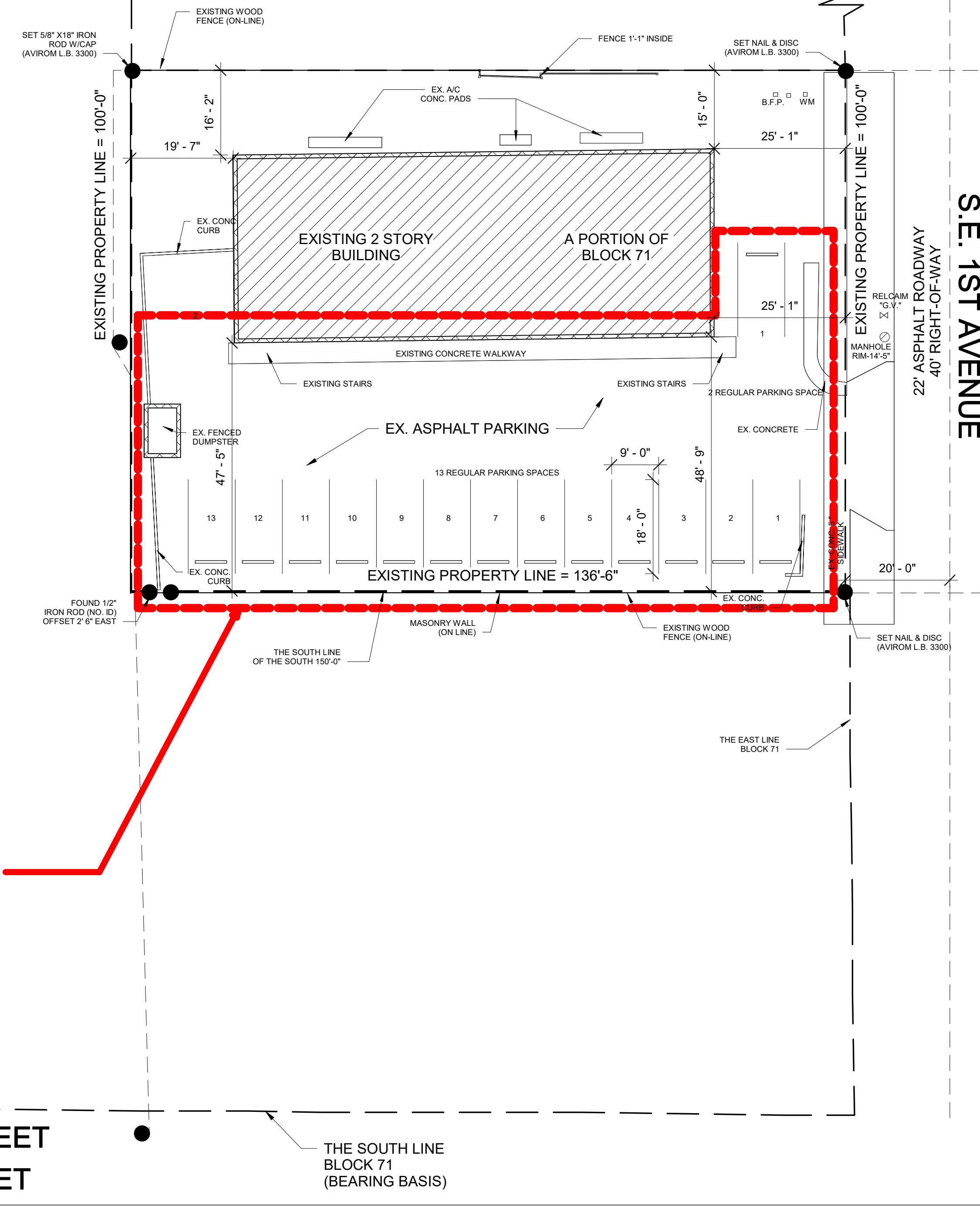
① EXISTING SITE PLAN Copy 1
1/16" = 1'-0"

THE WEST LINE OF THE EAST ONE-HALF BLOCK 71

THE NORTH LINE OF THE SOUTH 450'-0"

FOUND 1/2" IRON ROD (BENT) (NO. ID)
THE NORTH LINE OF THE SOUTH 300'-0"

THE EAST ONE-HALF OF BLOCK 71



S. SWINTON AVENUE

THE WEST LINE BLOCK 71

REMAINDER OF BLOCK 71

S.E. 1ST AVENUE

22 ASPHALT ROADWAY 40' RIGHT-OF-WAY

S.E. 3RD STREET

DEILY STREET

THE SOUTH LINE BLOCK 71 (BEARING BASIS)

No.	Description	Date
4	Revision 4 - City Comments	01.29.24

WY
Jarvis M. Wyandon, Architect
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APARTMENT UNITS REMODEL
INTERIOR & EXTERIOR
RENOVATIONS
238 S.E. 1st AVENUE, DELRAY
BEACH, FL 33444

SEAL

PROJECT NO: _____
DRAWN BY: JMW
CHECKED BY: JMW
DATE: 02/16/2022

FILE NAME: _____

OVERALL EXISTING SITE PLAN

SHEET NO. **A-06.4**

SHEET: ____ OF ____

AREA OF WORK

RAILING NOTES:

HANDRAIL DESIGN AND CONSTRUCTION. HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED A CONCENTRATED LOAD OF 200 LB (890 N) APPLIED AT ANY POINT AND IN ANY DIRECTION.

LOADING CONDITIONS NOT BE APPLIED SIMULTANEOUSLY, BUT EACH SHALL BE APPLIED TO PRODUCE MAXIMUM STRESS IN EACH OF THE RESPECTIVE COMPONENTS OR ANY OF THE SUPPORTING COMPONENTS.

GUARDRAIL SYSTEM DESIGN AND CONSTRUCTION. GUARDRAIL SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LB (890 N) APPLIED AT ANY POINT AND IN ANY DIRECTION AT THE TOP OF THE GUARDRAIL.

THE GUARDRAIL SYSTEM SHALL ALSO BE DESIGNED AND CONSTRUCTED TO RESIST A 200 LB (890 N) CONCENTRATED HORIZONTAL LOAD APPLIED ON A 1 FT SQUARE AREA (0.093 M2) AT ANY POINT IN THE SYSTEM INCLUDING INTERMEDIATE RAILS OR OTHER ELEMENTS SERVING THIS PURPOSE.

LOADING CONDITIONS SHALL NOT BE APPLIED SIMULTANEOUSLY, BUT EACH SHALL BE APPLIED TO PRODUCE MAXIMUM STRESS IN EACH OF THE RESPECTIVE COMPONENTS OR ANY OF THE SUPPORTING COMPONENTS.

No.	Description	Date
4	Revision 4 - City Comments	01.29.24



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APARTMENT UNITS REMODEL
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 238 S.E. 1st AVENUE, DELRAY
 BEACH, FL 33444

SEAL

PROJECT NO:

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FILE NAME:

EXTERIOR
 RENOVATION
 PLANS

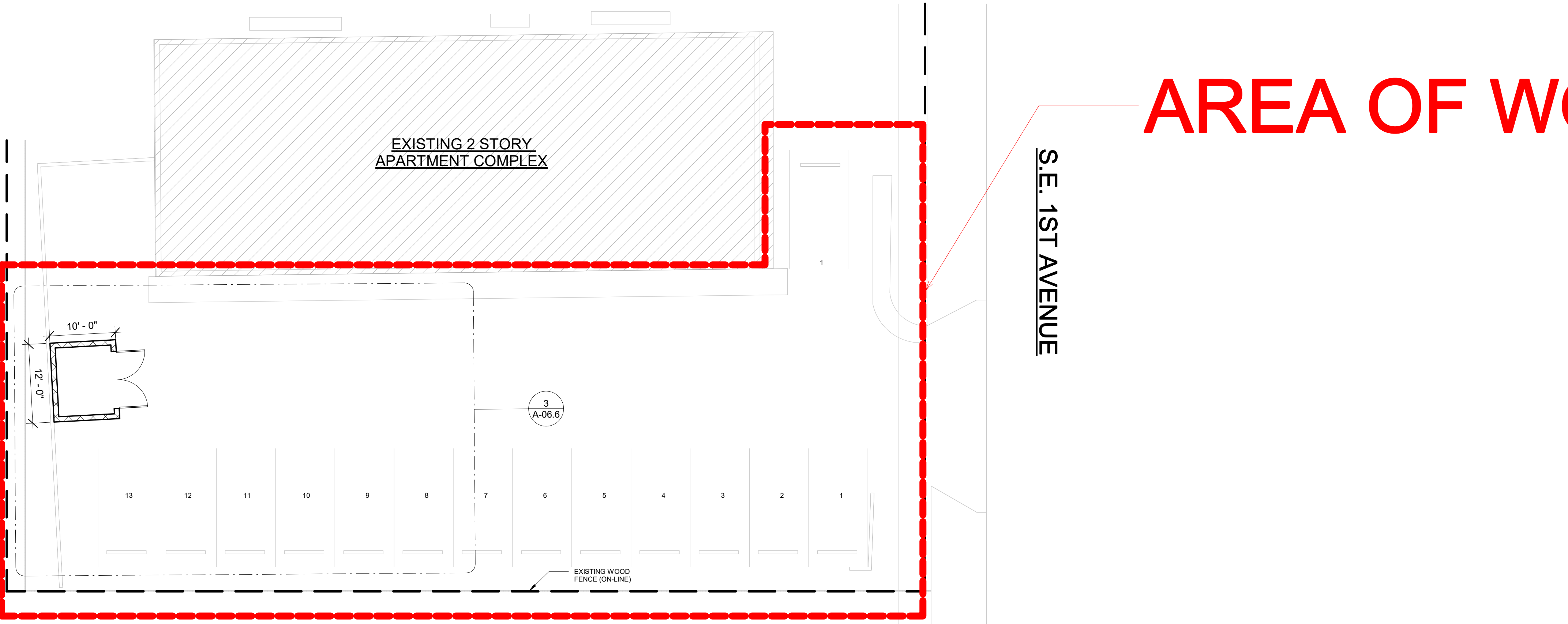
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A-06.5

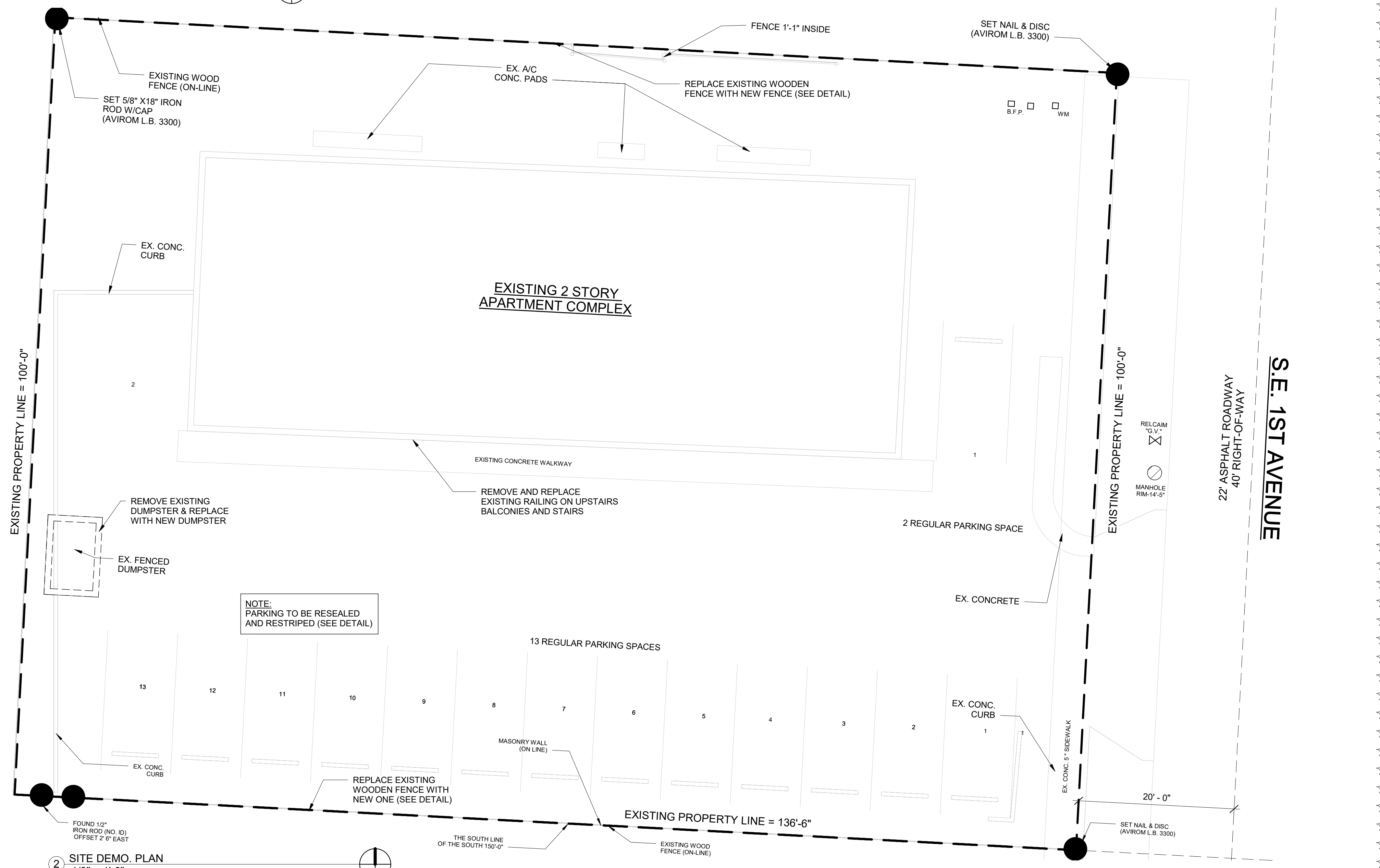
SHEET: OF

EXISTING 2 STORY
 APARTMENT COMPLEX

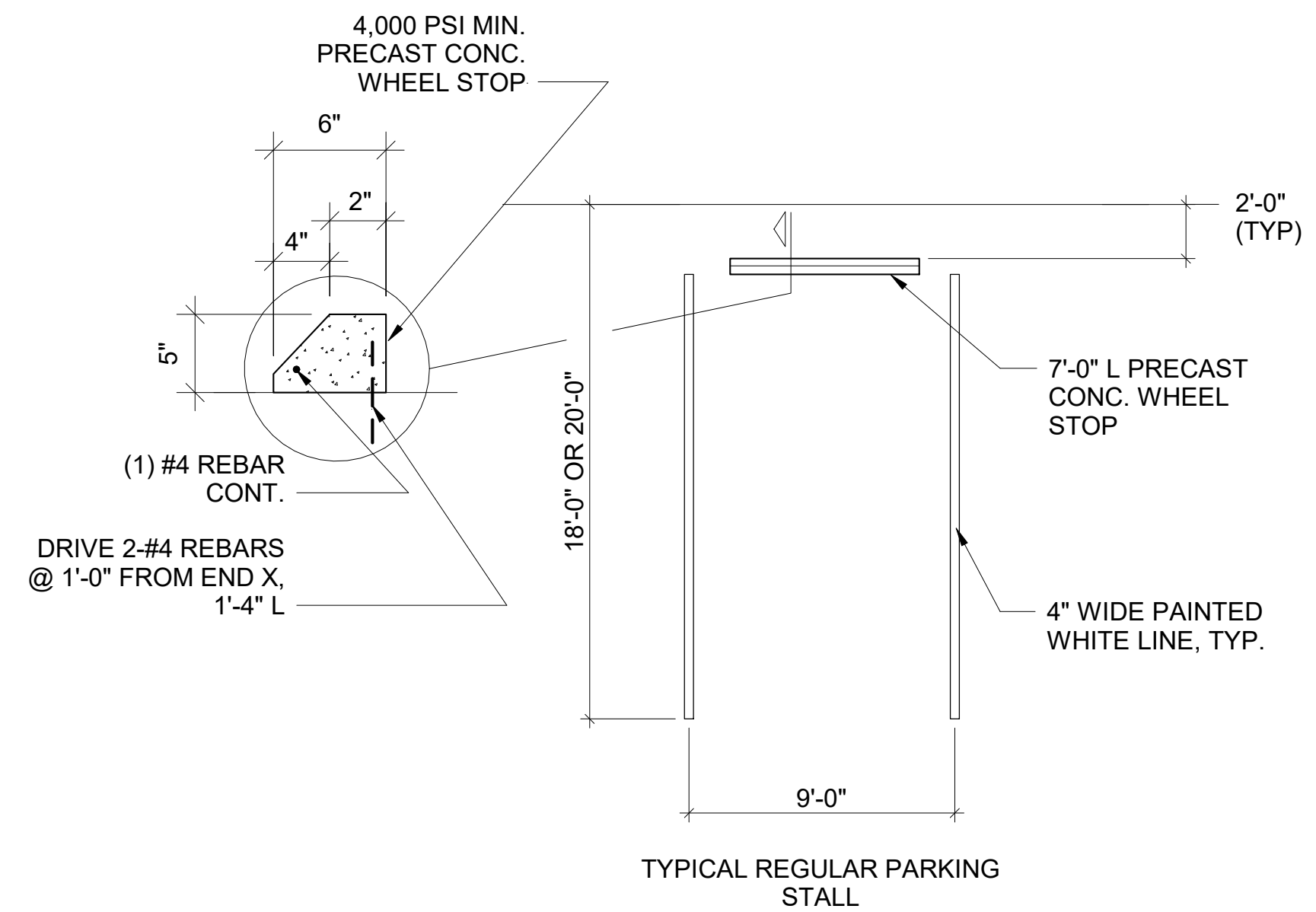
S.E. 1ST AVENUE



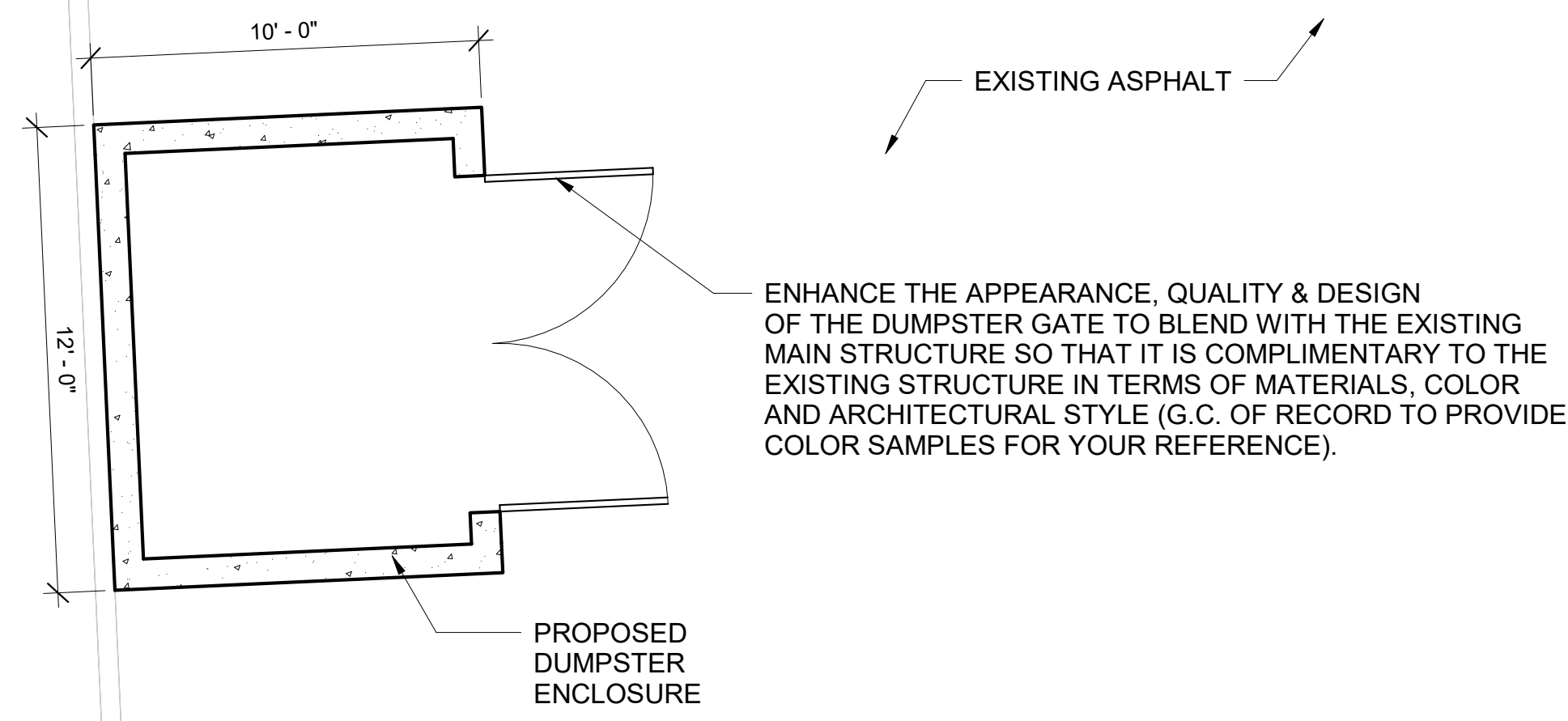
1 KEY EXTERIOR PLAN
 3/32" = 1'-0"



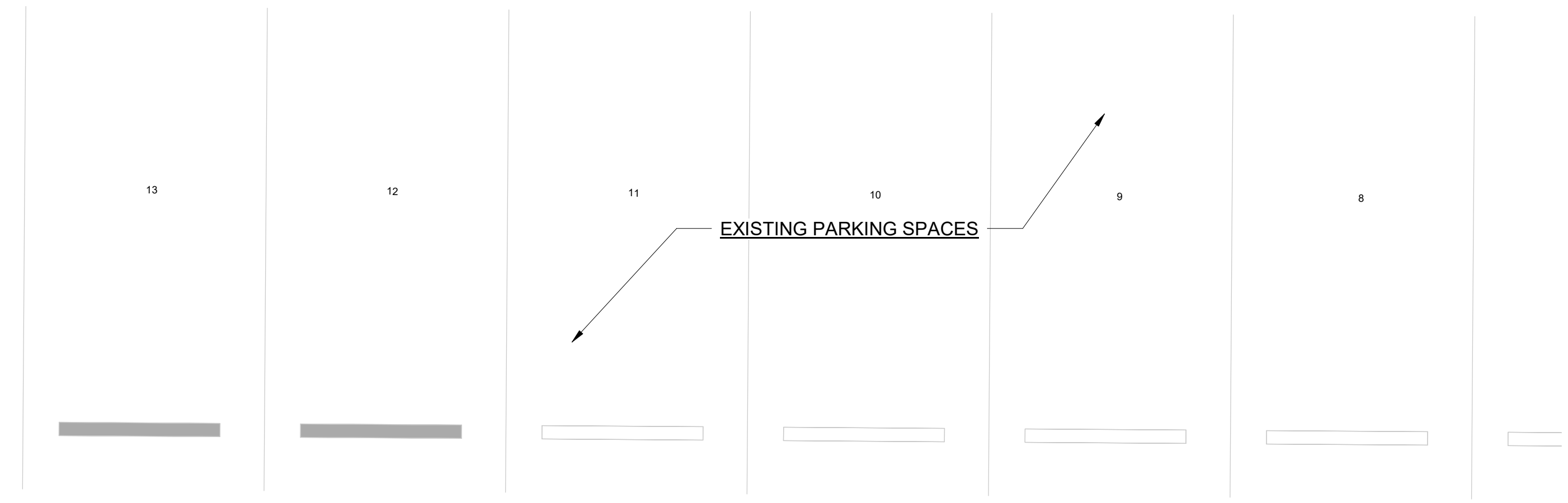
2 SITE DEMO. PLAN
 1/8" = 1'-0"



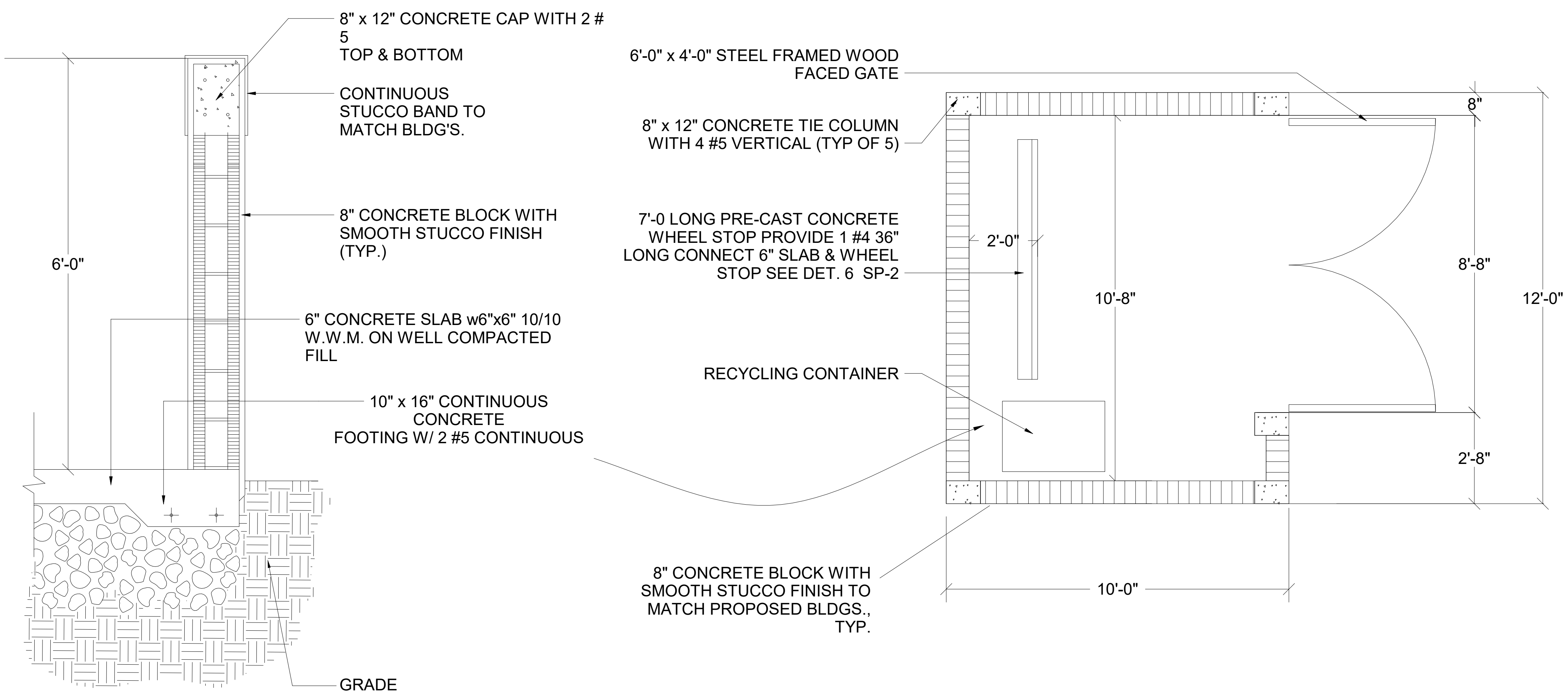
3 TYPICAL PARKING STALL
 1/4" = 1'-0"



PROPOSED DUMPSTER ENCLOSURE



PROPOSED ENLARGED DUMPSTER
 PLAN
 1/4" = 1'-0"



SECTION

DUMPSTER ENCLOSURE DETAILS
 1/2" = 1'-0"

No.	Description	Date
3	Revision 2 - Owner Change	07.14.23

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APARTMENT UNITS REMODEL
 INTERIOR & EXTERIOR
 RENOVATIONS
 238 S.E. 1st AVENUE, DELRAY
 BEACH, FL 33444

SEAL

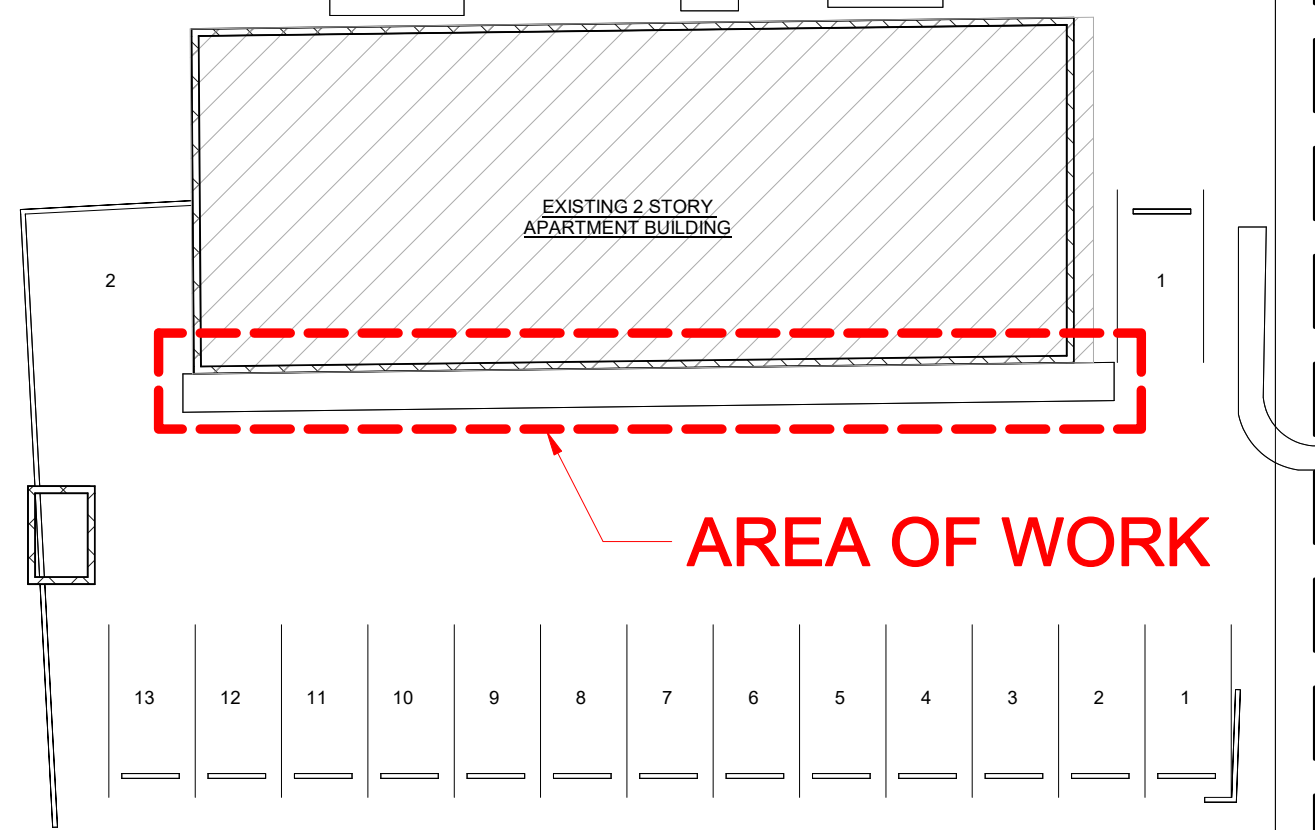
PROJECT NO: _____
 DRAWN BY: JMW
 CHECKED BY: JMW
 DATE: 02/16/2022

FILE NAME: _____

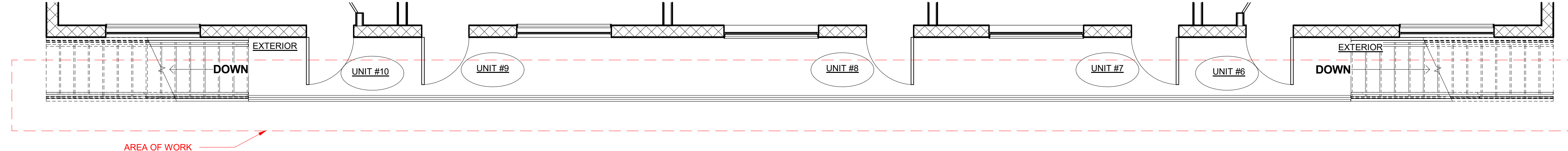
DUMPSTER PLANS

SHEET NO.
A-06.6

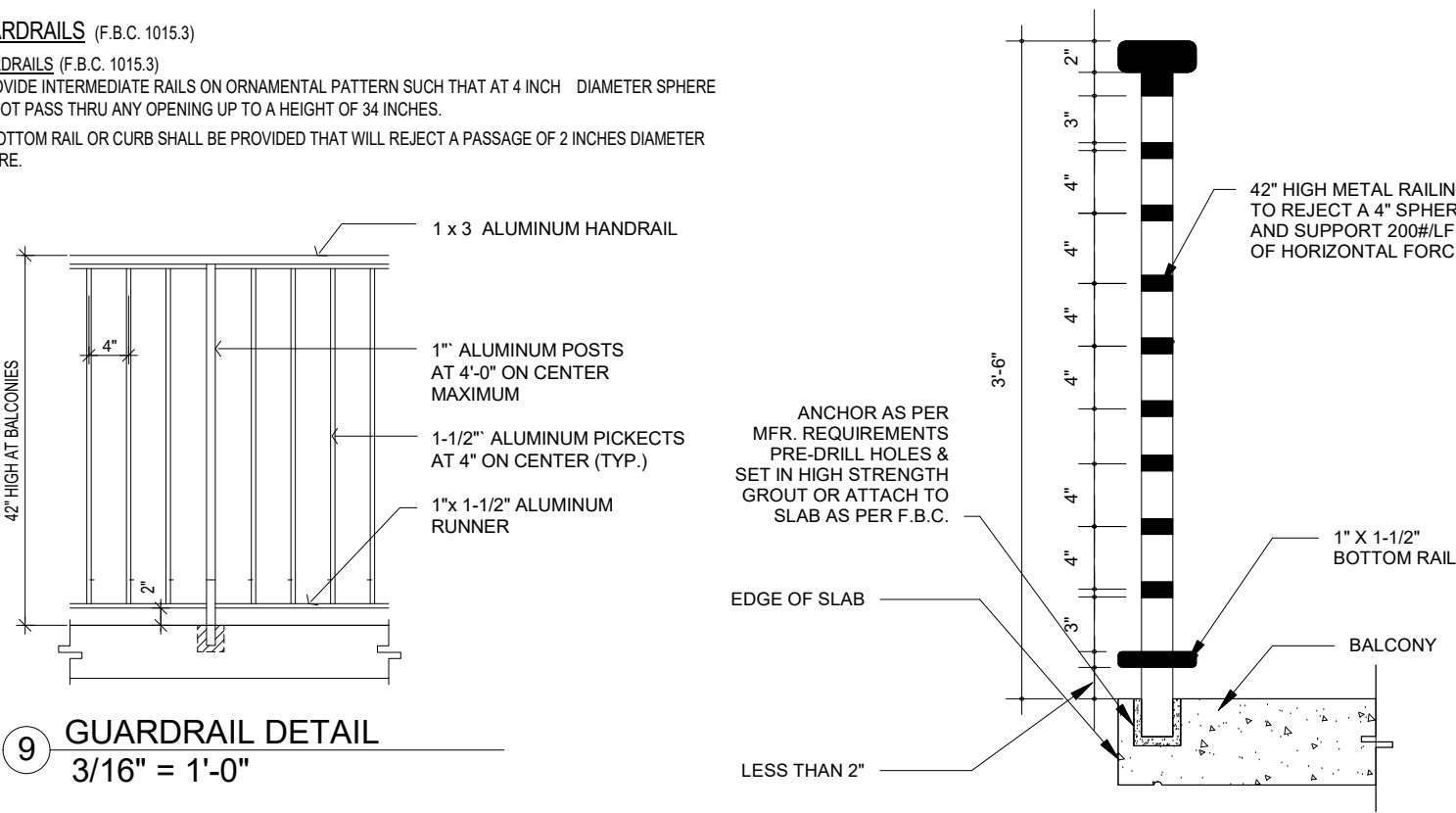
SHEET: ____ OF ____



5 KEY PLAN
1" = 20'-0"

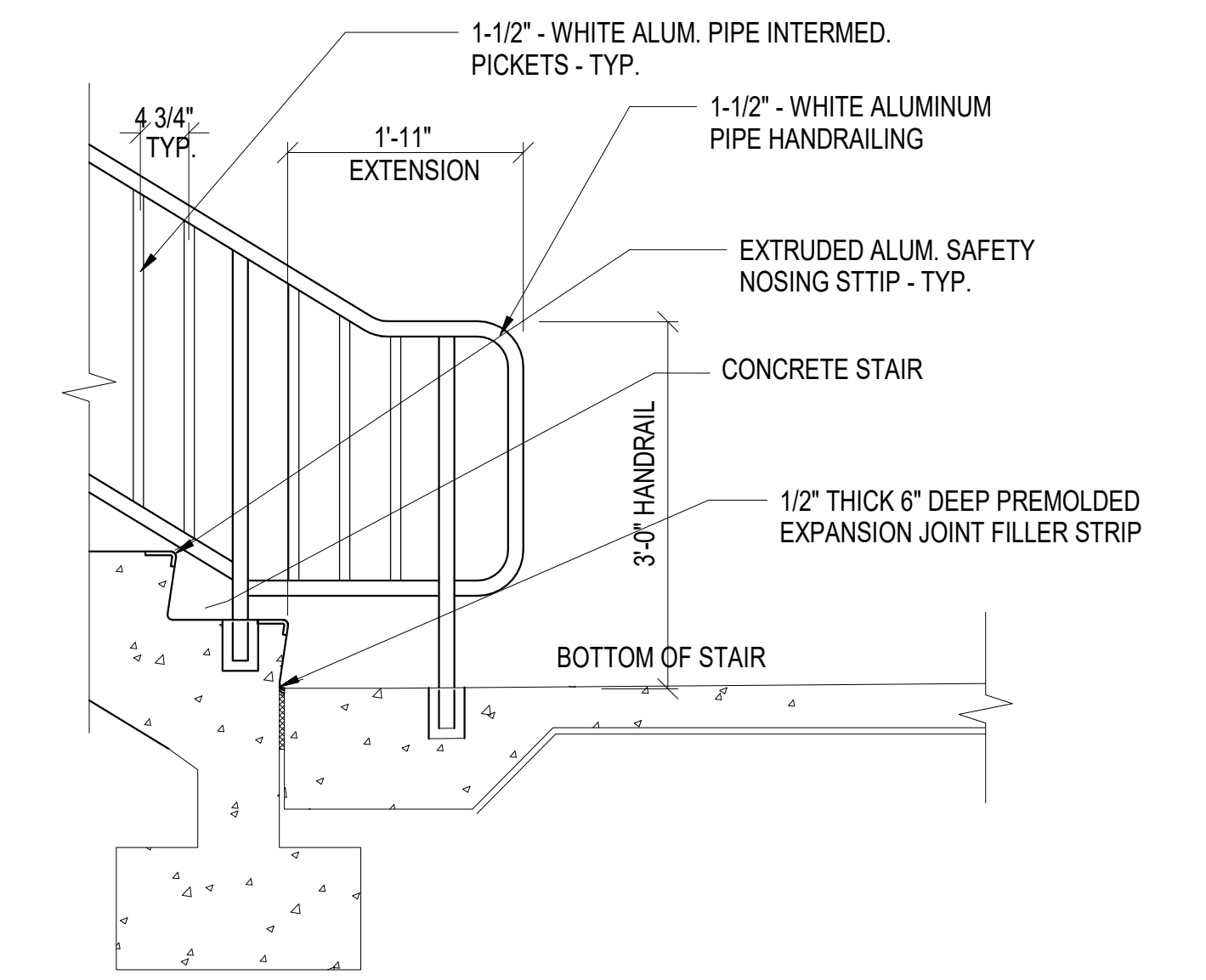


1 EX. 2ND LEVEL EXISTING PARTIAL
FRONTAL PLAN
1/4" = 1'-0"

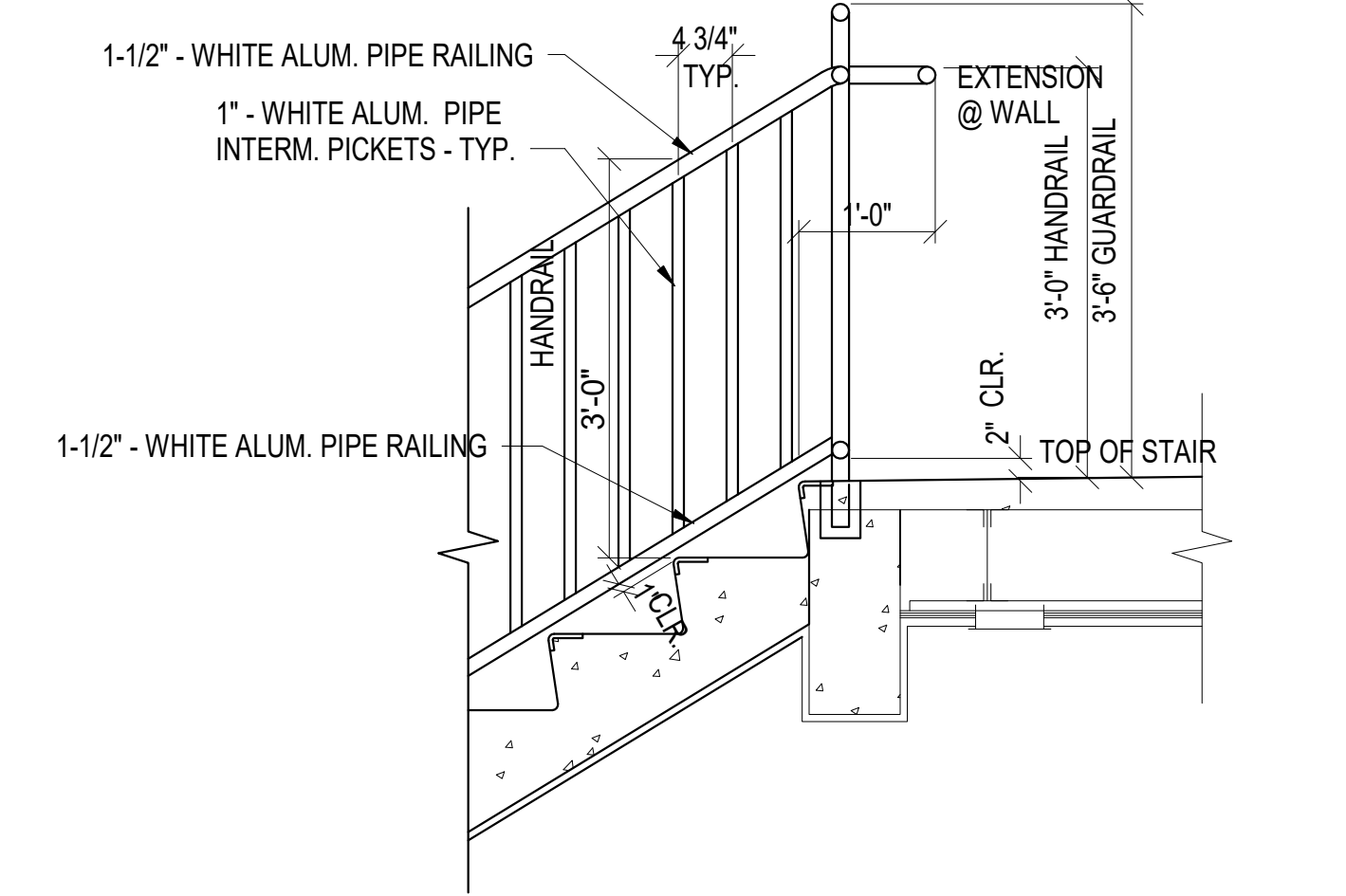


9 GUARDRAIL DETAIL
3/16" = 1'-0"

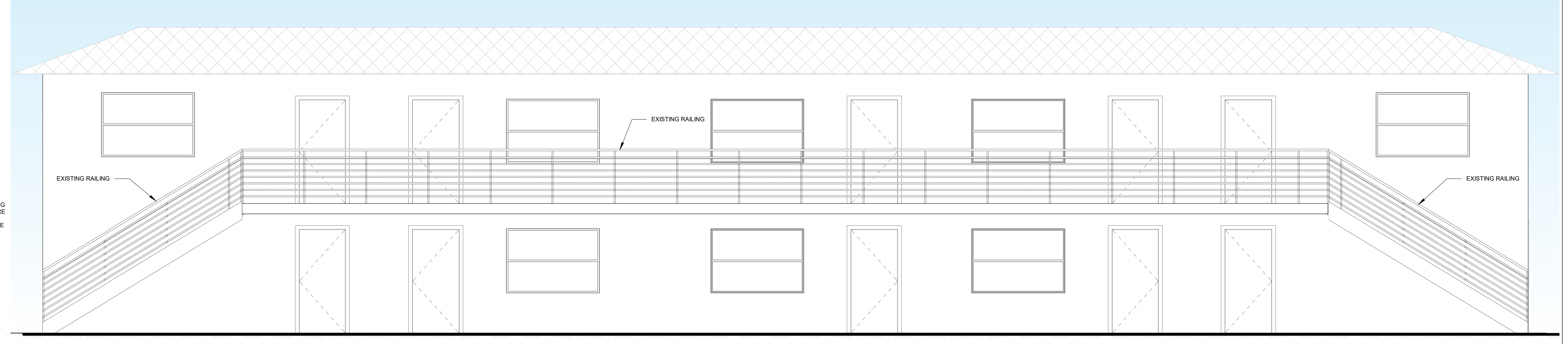
8 RAILING DETAIL
1" = 1'-0"



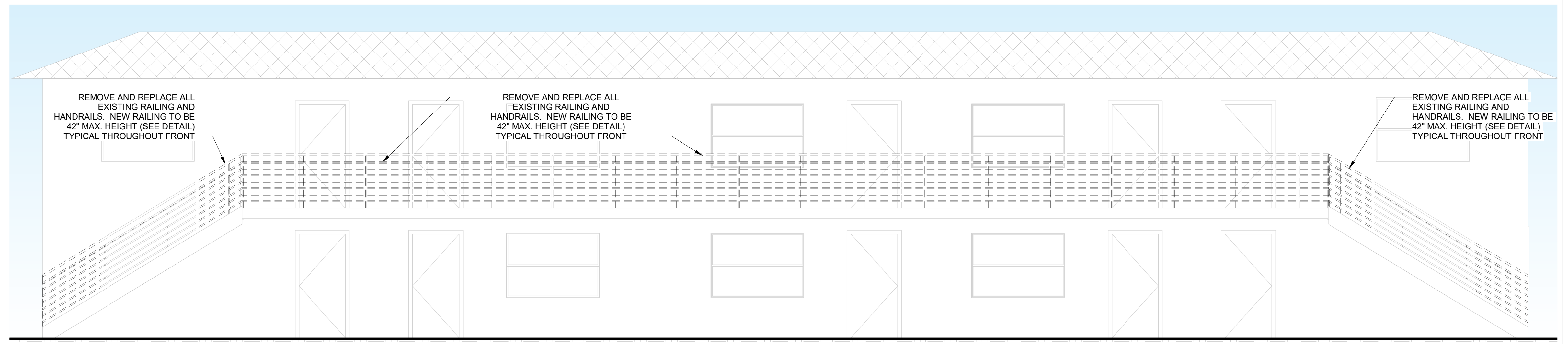
6 BOTTOM OF STAIRS
3/4" = 1'-0"



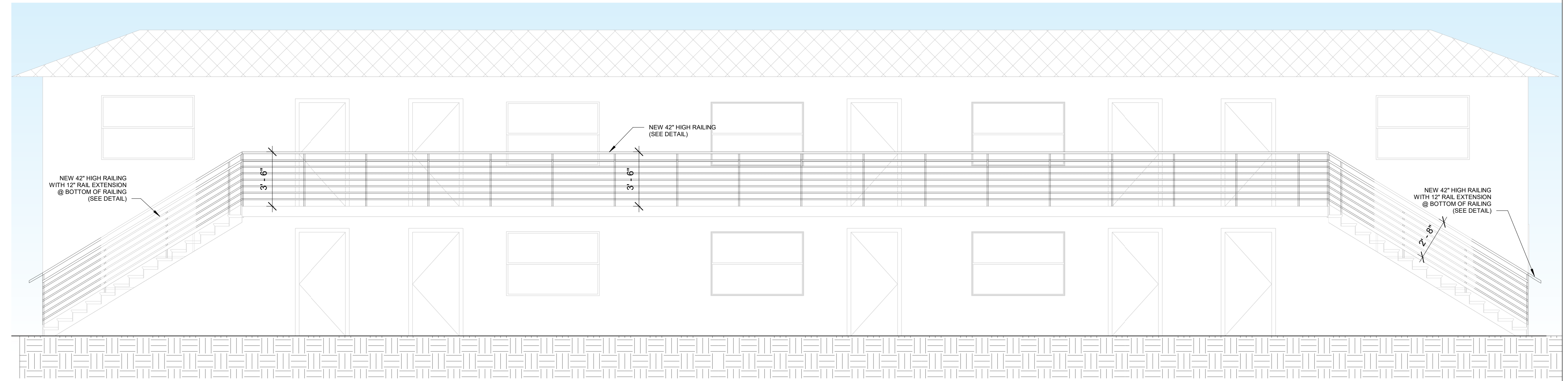
7 RAILING - (TOP OF STAIRS)
3/4" = 1'-0"



2 EXISTING FRONT (NORTH) ELEVATION
1/4" = 1'-0"



3 DEMO FRONT (NORTH) ELEVATION
1/4" = 1'-0"



4 PROPOSED FRONT (NORTH) ELEVATION
Copy 1
1/4" = 1'-0"

No.	Description	Date
3	Revision 2 - Owner Change	07.14.23

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**APARTMENT UNITS REMODEL
INTERIOR & EXTERIOR
RENOVATIONS**
238 S.E. 1st AVENUE, DELRAY
BEACH, FL 33444

SEAL

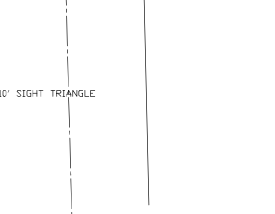
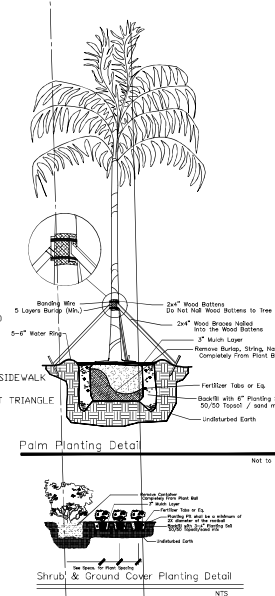
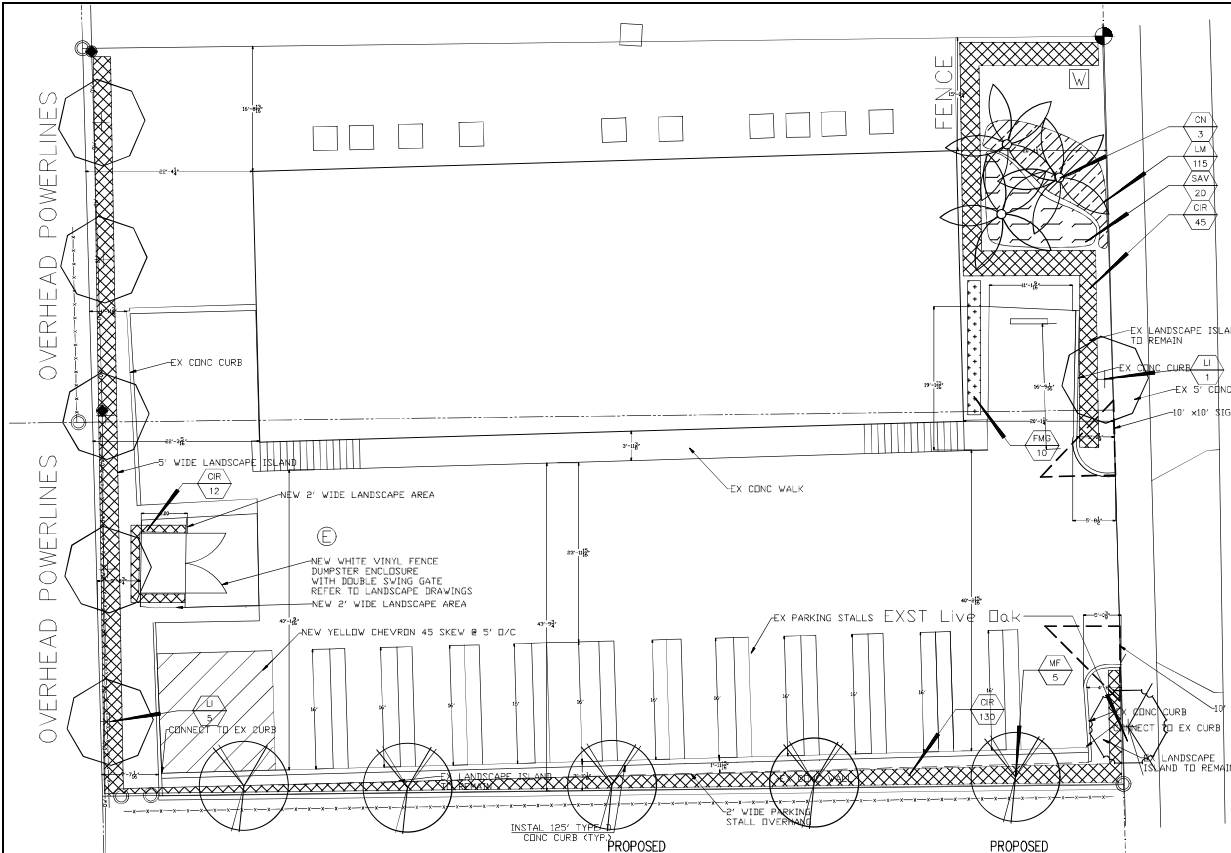
PROJECT NO:
DRAWN BY: JMW
CHECKED BY: JMW
DATE: 02/16/2022

FILE NAME:

**EXISTING
ELEVATIONS
SHOWING RAILING**

SHEET NO.
A-06.7

SHEET: OF



NOTES:
GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for size, height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Access and Standards for Florida Nursery Plant" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as indicated herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting material for 30 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean, loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all roots, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Metcassa mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant material shall be planted such that the top of the plant soil is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturer's specifications and performance standards utilizing a soil free water source. Each system shall be installed with a rain sensor.

Each lot shall supply, install, and maintain an individual irrigation system for that individual lot.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and all supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to locate and verify all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Wayne K. Tonning, RLA.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

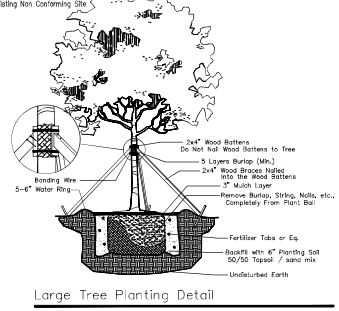
General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All soil areas as indicated on the planting plan shall receive Steadfast® granular, St. Augustine Turf™ soil seed. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any soil which may be damaged from the landscape installer operators.

All existing plants to be trimmed and cleaned.

PROPOSED South Follower Water Request

Parking Area - 5095 SF Landscape Area 885 SF Complex
Total Site: 13,600 SF Interior Landscape MA = 1,300 SF Required 11 Trees - Provided



LANDSCAPE PLAN

PROPOSED PLANT LIST

TREES / PALMS	Drought	QTY.	Botanical Name / Common Name	Specifications
MF (N)	V	5	Myrsineles fragrans / Simpson Stopper	B&B Field Dren, 6" Single Straight Trunk, 8" CT, 7" Spread, 16" DA
LI	V	7	Loagstroemia indica / Orange Myrtle	B&B Field Dren, 12" DA
CU	V	3	Coccoa nucifera / Coconut Palm	B&B Field Dren, 8" CT, 16" DA
ACCENTS / SHRUBS / GROUND COVERS				
OR (N)	V	157	Chrysanthemum 'Coco' / Red Top Cockscomb	7 Gal., 36" DA, 24" DC
IMC	V	10	Ipomoea macrocarpa - Green Island Flare	3 Gal., 18" DA, 18" DC
LM	V	115	Utricularia / Green Utricle	1 Gal., 12" DA, 7" DC
SAV	V	20	Schefflera arboricola / Umbrella	3 Gal., 24" DA, 2" DC
MISCELLANEOUS				
SOD	M		St. Augustine Sod	Solid application - no gaps between seams
(N)			Florida Native Plant Species	
V			Low Drought Tolerance	
M			Moderate Drought Tolerance	
L			Very Drought Tolerant	

3) New single family, commercial, and industrial development. Multi-family, commercial, industrial and all other uses are required to comply with the minimum requirements for off-street parking on the site of a building or open lot use providing an off-street parking, storage or other, vehicular use area, where such an area will not be screened visually by an intervening building or structure. From an existing right-of-way or dedicated alley, there shall be provided landscaping as follows: Perimeter requirements adjacent to public and private rights-of-way:

at least one tree for each 30 linear feet or fraction thereof. The trees shall be located between the right-of-way line and the off-street parking or vehicular use area.

a hedge, wall or other durable landscape area shall be placed along the interior perimeter of the landscape strip.

Perimeter landscaping requirements relating to abutting properties:

a) A landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet of the top of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width to a tree of any vehicular encroachment, including car overhang. Subsequent may be permitted to reduce the perimeter planting strip to two and one-half feet in width in cases where lot frontage is less than 55 feet. In addition, one tree shall be provided for every 30 linear feet of such landscaped barrier or fraction thereof. (Am. D. 6-12 2/21/12)

b) Where any commercial or industrial areas abut a residential zoning district or properties in residential use, in addition to requirements established for district boundary line separator in the zoning code, one tree shall be planted every 25 feet to form a solid line.

4) The provisions for perimeter landscape requirements relating to abutting properties shall not be applicable where a proposed parking area or other vehicular use area abuts an existing hedge or established tree line, the existing hedge and trees may be used to satisfy the landscape requirements provided the existing material meets all applicable standards. The landscape strip, a minimum of five feet in depth, however, is still required, and must be landscaped with sod or ground cover and be free of any vehicular encroachment, including car overhang. If the existing landscaping does not meet the standards of this article, additional landscaping shall be required as necessary to meet the standards. In the event that the landscaping provided by the adjacent property which has been used to satisfy the landscaping requirements for the property making application is ever removed, the property heretofore using the existing vegetation to satisfy landscaping requirements, must then install landscaping as required to comply with the provisions of this code. Interior landscape requirements for parking and other vehicular use areas: (Am. D. 6-12 2/21/12)

5) The amount of interior landscaping within off-street parking areas shall amount to no less than ten percent of the total area used for parking and accessways.

6) There shall be a group of palms or a shade tree for every 150 square feet of required interior landscaping. No more than 25 percent of these required trees shall be palms.

7) Landscape islands which contain a minimum of 150 square feet of planting area, with a minimum dimension of nine feet exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 15 compact parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Tree specifications shall adhere to those listed in Section 4.6.16(E)(3) and 4.6.16(C)(3). Where approval for the use of compact parking lots is approved, islands may be placed at intervals of no less than one island for every 15 compact parking spaces' (Am. D. 6-12 2/21/12)

TONNING & ASSOCIATES INC.
Landscape Architect & Landscape Planner
14655 NW 22nd Street - Florida License #6568709
33615 SW 15th Avenue - Florida License #33067
Tel: 305-581-1465 Fax: 305-581-1468 Email: wctonning@tonningandassociates.com

LANDSCAPE PLAN
APARTMENT UNITS REMODEL
WHELCHER PARTNERS

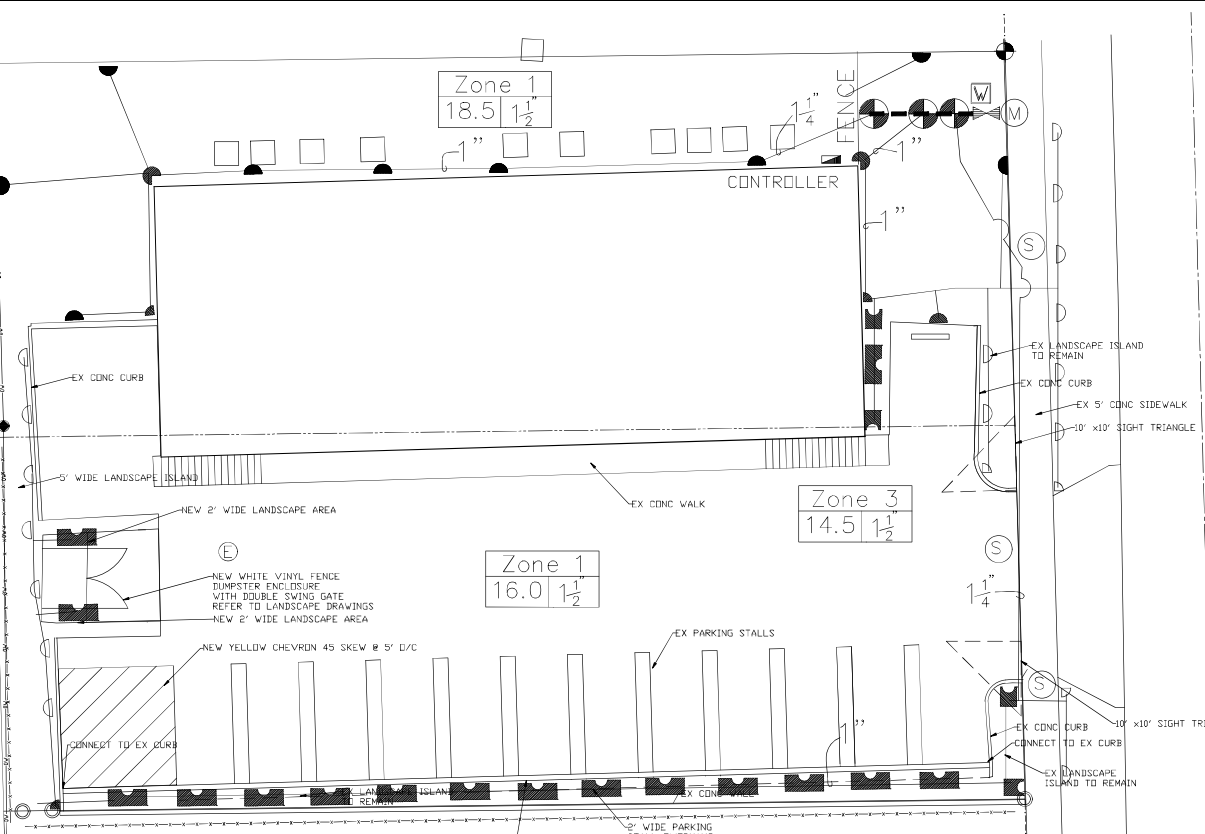
DRWG. TITLE :
PROJECT :
CLIENT :

Wayne K. Tonning
238 SE 1st Avenue
Deerfield Beach, Florida 33444
Wayne K. Tonning, RLA
Lic. #6568709

Wayne K. Tonning Digitally signed by Wayne K. Tonning
Date: 2024.11.07 14:49:43 -0500

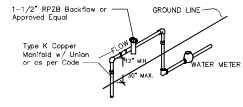
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DRAWN BY WKT
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CHECKED BY WKT
DATE : 09-17-23
DWG. NO. LP-1
SHT. NO. 1 of 1
REVISIONS :
08-17-24
10-11-24
11-06-24

OVERHEAD POWERLINES

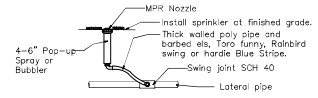


IRRIGATION PLAN

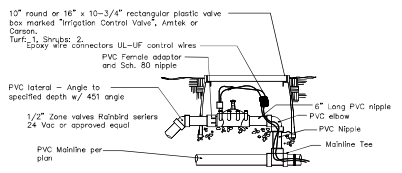
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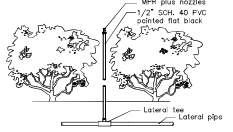
Point of Connection



4 or 6" Pop-up Spray / Bubbler Detail



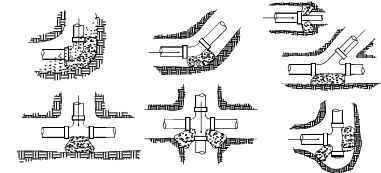
Zone Valve Detail



Shrub Riser Spray Detail

IRRIGATION NOTES:

Piping:
 Main Lines: PVC SDR 35 Class 140 SDR 35
 Zone Lines: PVC 1/2" and 3/4" are not used. Min. pipe 1/2". 3/5 PVC 1/2" = SDR 21, 200 PSI 1-1/4" and greater = SDR 35, 160 PSI. All solvent weld.
 All end of the unarmored pipe = 1/2" (min.).
 Sleeves and suction line: PVC, SCH 40.
 Fittings: SDR 40 PVC.
 Application: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.
 Allow all main lines to cure for 24 hours before pressuring.
 All pipe, fittings, and elbows to conform to latest AWWA specs.
 Depth of lines: Main lines and pop-ups at 18" depth, min.
 Sprinkler pipe placement = 24" R, depth, min.
 Bubbler lines = 30" R, depth, min.
 Zone Lines 1-1/2" R, and greater = 12" R, depth, min.
Control Valve: AWP 14 for all valves and AWP 10 for controls.
 200 copper line 1/2" dia for direct burial.
 Run across the main.
 Run with under main and tape every 20 feet.
 Solenoid valves must be weather proof using.
 Stop line or 28" UL connection.
 Connect and be able to shut off by valve or color coded.
 Spare shall be black. Run in conduit where no Main line runs.
Backfill: All trenches free of debris, compact to original density, flush all feet, use screens in all heads, adjust heads for proper coverage avoiding areas under walk, walls, etc.
 All details are granularly shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractor's responsibility to ensure complete coverage. Any discrepancies shall be reported to the owner and landscape analyzed before proceeding. Codes and local regulations shall have precedence over these plans. It is the contractor's responsibility to comply. The contractor shall be responsible to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper coverage, coverage.
 Provide owner with an accurate as installed plan(s) of connections showing main lines, fittings, valves, controllers, riser, rising sprinklers from these details.
 Contractor shall verify all underground utilities prior to commencement of work.
 The perforator sprinkler and landscape may be required to be installed prior to other or both pump stations and all main line / valve valves. A separate plan provides modification and alternate water source will be provided prior to construction. The modifications will not impact upon the design sheet or subsequently affect the construction plan.



Main Line Thrust Blocks

IRRIGATION LEGEND:

- MAIN LINE - 1/2" x 1/4" Fend From City Water Source
- LATERAL ZONE LINES - SDR PVC as noted
- ZONE BOUNDARIES
- SMK FLOW: See Point of Connection Detail
- 1/4" x 1/4" Fend From City Water Source
- 1/2" x 1/2" Fend From City Water Source
- 3/4" x 3/4" Fend From City Water Source
- 1" x 1" Fend From City Water Source
- 1 1/2" x 1 1/2" Fend From City Water Source
- 2" x 2" Fend From City Water Source
- 3" x 3" Fend From City Water Source
- 4" x 4" Fend From City Water Source
- 6" x 6" Fend From City Water Source
- 8" x 8" Fend From City Water Source
- 10" x 10" Fend From City Water Source
- 12" x 12" Fend From City Water Source
- 14" x 14" Fend From City Water Source
- 16" x 16" Fend From City Water Source
- 18" x 18" Fend From City Water Source
- 20" x 20" Fend From City Water Source
- 24" x 24" Fend From City Water Source
- 30" x 30" Fend From City Water Source
- 36" x 36" Fend From City Water Source
- 42" x 42" Fend From City Water Source
- 48" x 48" Fend From City Water Source
- 60" x 60" Fend From City Water Source
- 72" x 72" Fend From City Water Source
- 84" x 84" Fend From City Water Source
- 96" x 96" Fend From City Water Source
- 108" x 108" Fend From City Water Source
- 120" x 120" Fend From City Water Source
- 132" x 132" Fend From City Water Source
- 144" x 144" Fend From City Water Source
- 156" x 156" Fend From City Water Source
- 168" x 168" Fend From City Water Source
- 180" x 180" Fend From City Water Source
- 192" x 192" Fend From City Water Source
- 204" x 204" Fend From City Water Source
- 216" x 216" Fend From City Water Source
- 228" x 228" Fend From City Water Source
- 240" x 240" Fend From City Water Source
- 252" x 252" Fend From City Water Source
- 264" x 264" Fend From City Water Source
- 276" x 276" Fend From City Water Source
- 288" x 288" Fend From City Water Source
- 300" x 300" Fend From City Water Source

Zone 2: 37.6 1 1/2
 Zone Number
 Valve Size
 GPM per Zone

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 Landscape Architecture
 1805 NW 42nd Street, Suite 200
 Coral Springs, Florida 33067
 Tel: 305-441-6839 Email: wtonning@tonningassociates.com

IRRIGATION PLAN
 APARTMENT UNITS REMODEL
 238 SE 181 AVENUE
 DEER BEACH, FLORIDA 33444
 WHELCH PARTNERS

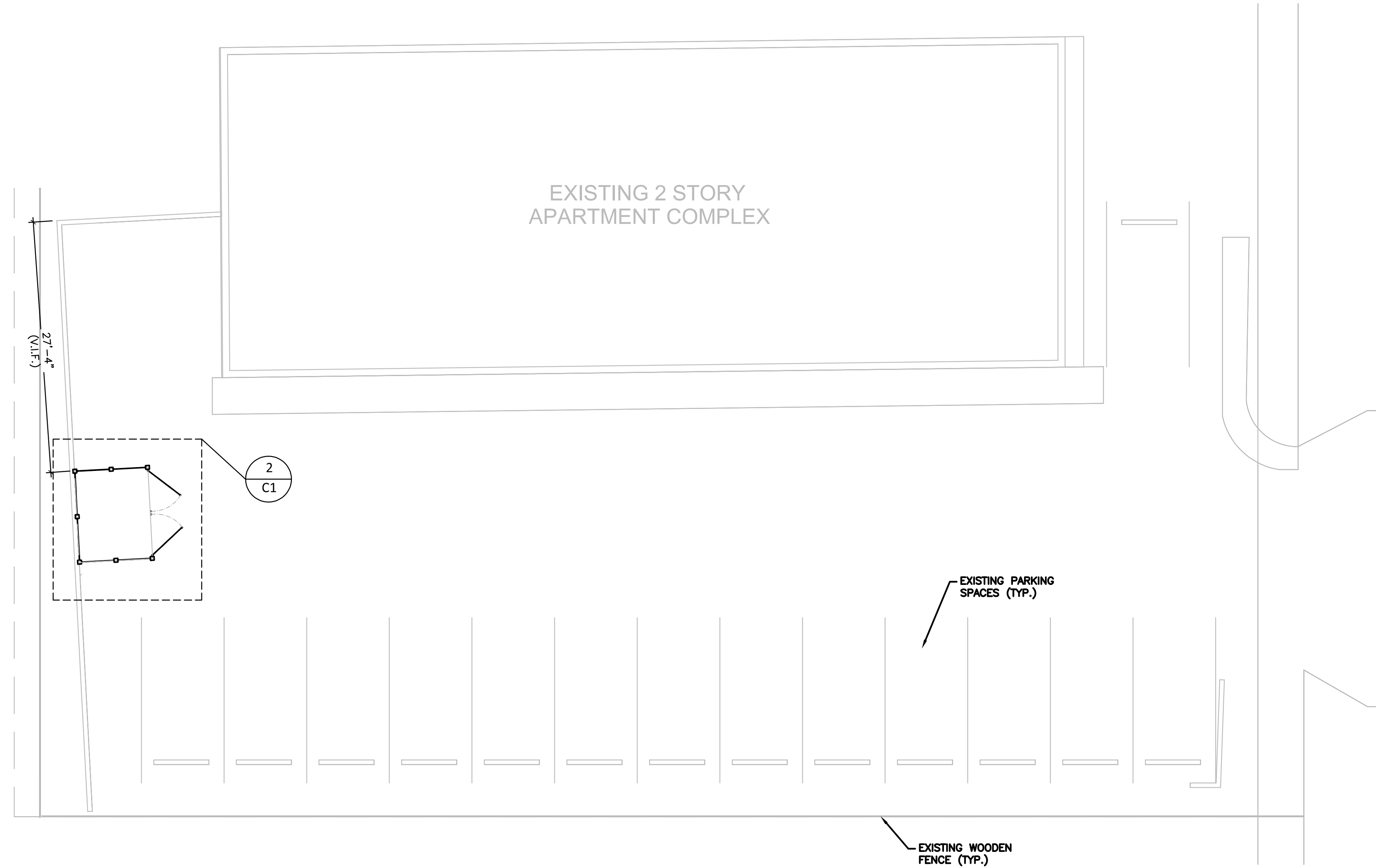
Wayne K Tonning
 Digitally signed by Wayne K Tonning
 Date: 2024.11.07 14:09:17
 144917-0500

PROJECT NO: 23-141
 DRAWN BY: WKT
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 DWG. NO. 11-1
 SHT. NO. 1 of 1
 REVISIONS: 10-11-24
 11-06-24

GENERAL NOTES

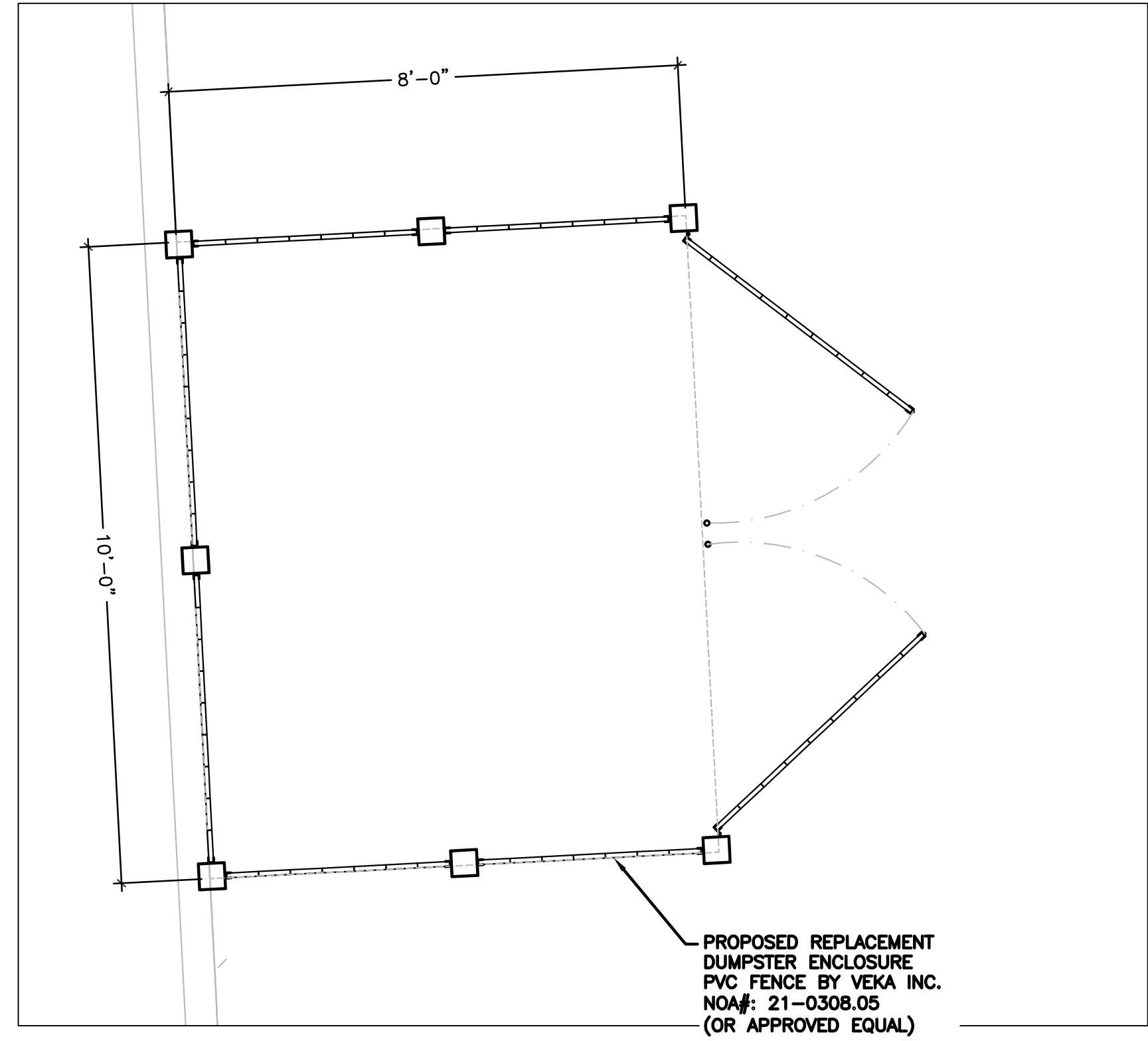
- GSN1. CODES:**
ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE, 8th EDITION (2023) AND ALL OTHER APPLICABLE LOCAL CODES.
- GSN2. DESIGN CRITERIA:**
THE STRUCTURAL FRAMING WAS DESIGNED USING THE FOLLOWING SUPERIMPOSED LOADS. DESIGN WIND LOADS WERE DETERMINED IN ACCORDANCE WITH ASCE 7-22.
DESIGN WIND SPEED = 175 MPH
RISK CATEGORY = II
EXPOSURE = C
INTERNAL PRESSURE = + 0.18/ - 0.18
- GSN21 SHOP DRAWINGS AND OTHER SUBMITTALS:**
- SUBMIT TO THE ENGINEER COMPLETE SHOP DRAWINGS AS REQUIRED BY THESE CONTRACT DOCUMENTS.
 - CHECK ALL SHOP DRAWINGS FOR COMPLIANCE AND COMPLETENESS PRIOR TO SUBMITTAL. ALL SHOP DRAWINGS SHALL BEAR EVIDENCE OF CONTRACTOR'S REVIEW AND APPROVAL.
 - REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR CONFORMANCE WITH DESIGN CONCEPT AND INFORMATION INDICATED IN CONTRACT DOCUMENTS. ACCURACY, COMPLETENESS, DIMENSIONS, QUANTITIES, SAFETY PRECAUTIONS, CONSTRUCTION MEANS AND METHODS, SEQUENCE OF CONSTRUCTION, COORDINATION WITH OTHER TRADES AND PERFORMANCE OF SYSTEMS REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
 - REVIEW BY THE ENGINEER IS NOT FOR THE PURPOSE OF APPROVING CHANGES OR SUBSTITUTIONS.
 - ALLOW ADEQUATE TIME FOR TRANSIT AND PROCESSING OF THE SUBMITTAL BEFORE FABRICATION, THE STRUCTURAL ENGINEER WILL REVIEW AN AVERAGE SUBMITTAL WITHIN 14 CALENDAR DAYS OF RECEIPT BY THEM.

- GSN3. CONSTRUCTION DOCUMENTS:**
- EXAMINE AND STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. DIRECT ANY QUESTIONS TO THE ENGINEER.
- GSN4. COORDINATION AND DIMENSIONS:**
- COORDINATE ALL DIMENSIONS PRIOR TO PROCEEDING WITH WORK. VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ENGINEER. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. SCALE IS FOR GUIDELINE PURPOSES ONLY. IF DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
 - COORDINATE ALL DIMENSIONS RELATIVE TO MANUFACTURED ITEMS.
- GSN5. METHODS & SAFETY:**
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION. PROVIDE APPROPRIATE SUPERVISION THROUGHOUT THE PROJECT. CONSTRUCTION SITE SAFETY, INCLUDING ALL ADEQUATE TEMPORARY BRACING AND SHORING, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY THE NECESSARY PROFESSIONAL SERVICES TO DETERMINE THE NECESSARY METHODS AND SUPPORTS REGARDING FORMING AND CONSTRUCTION LOADS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFE AND APPROPRIATE USE OF ALL PRODUCTS AND MATERIALS. STRICTLY CONFORM TO ALL OF THE MANUFACTURERS', PROVIDERS' OR INDUSTRY'S RESTRICTIONS, RECOMMENDATIONS, PRECAUTIONS AND PROTECTIONS (INCLUDING AS INDICATED IN THE MATERIAL/PRODUCT SAFETY DATA SHEET) FOR EACH PRODUCT'S OR MATERIAL'S STORAGE, HANDLING, USE, APPLICATION, CLEAN-UP AND DISPOSAL.



1 SITE PLAN
Scale: 1/8" = 1'-0"

SE 1ST AVENUE



2 REPLACEMENT DUMPSTER DETAIL
Scale: 1/2" = 1'-0"

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF THE OWNER. IT IS PRODUCED SOLELY FOR USE BY THE OWNER AND ITS AFFILIATES. REPRODUCTION OR USE OF THIS DRAWING AND/OR THE INFORMATION CONTAINED IN IT IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE OWNER.

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14359 Miramar Parkway #147
Miramar, FL 33027
Tel: (954) 918-9608
ediaz@edengllc.com
Certificate of Authorization #34175

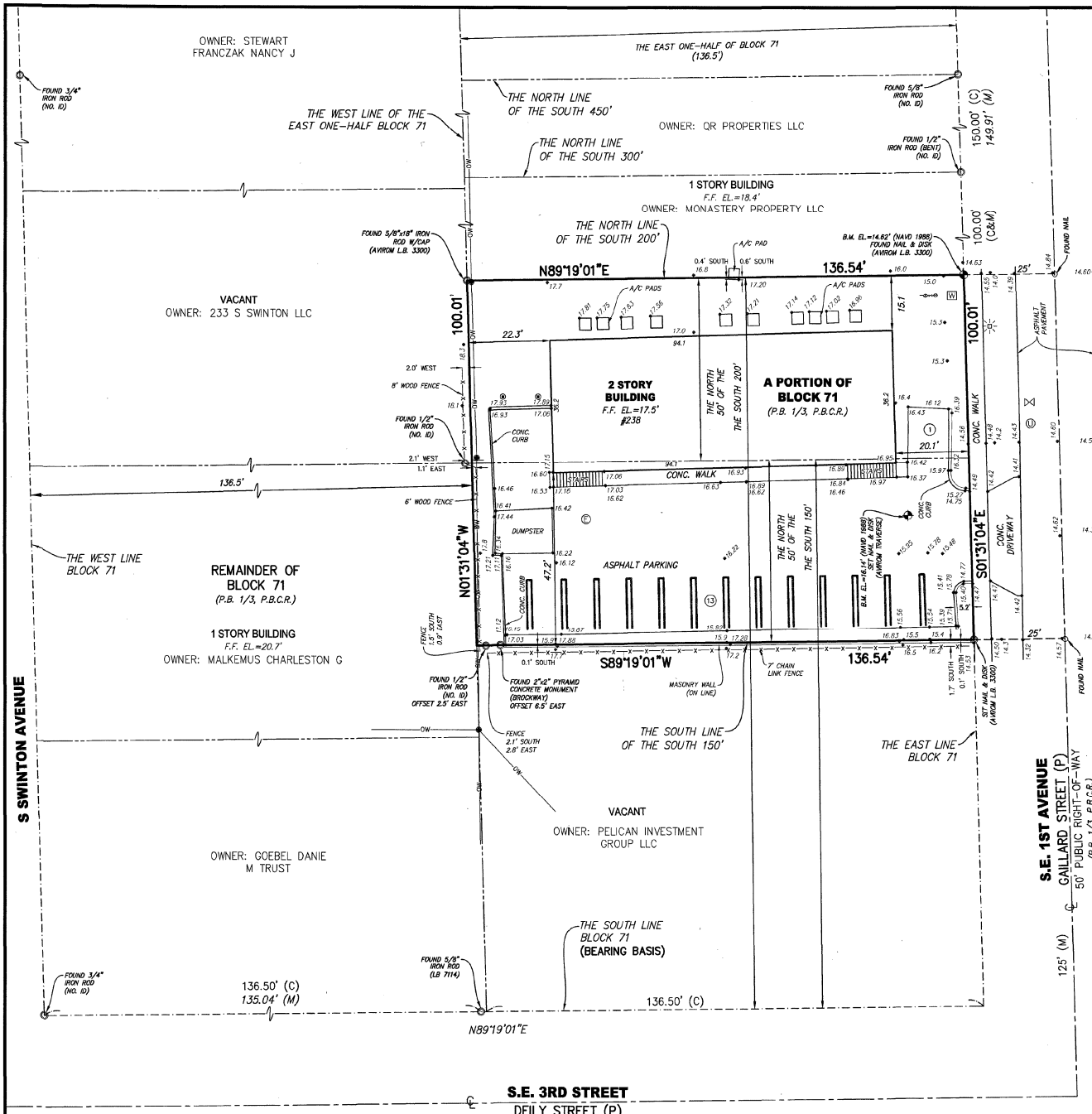
DUMPSTER REPLACEMENT
PROJECT ADDRESS: 238 SE 1st Ave, Delray Beach, FL 33444

REV	DESCRIPTION	DATE
A	ISSUED FOR COORDINATION	03.12.2024

PROJECT NO: 24-001
DRAWN BY: EDE
SCALE: AS SHOWN

SHEET TITLE
GENERAL NOTES, SITE PLAN & DETAILS

SHEET NUMBER
C1



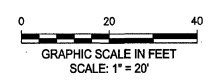
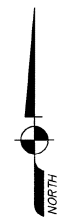
SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the electronic signature of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown hereon is in accord with lands described in Special Warranty Deed recorded in Official Records Book 3199, Page 246 of the Public Records of Palm Beach County, Florida.
4. No underground improvements were located.
5. Distances and angles shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are assumed based on the south line of Block 71 having a bearing of N89°19'01"E.
6. The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12099C0979F, Community Number 125102, dated 10/05/2017.
7. Elevations indicated hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988), established by GPS and certified to a 4 centimeter accuracy relative to the following benchmark: U.S. Coast & Geodetic Survey Benchmark "A 234" (P.I.D. AD2690), Elevation = 14.99 feet (NAVD 1988).
8. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
9. This map is intended to be displayed at a scale of 1:240.
10. Adjacent property owner information shown hereon was obtained from the Palm Beach County Property Appraiser's website.
11. Property Address: 238 SE 1st Avenue, Delray Beach, FL.
12. Abbreviation Legend: C = Centerline; A/C = Air Conditioner; ALTA = American Land Title Association; B.M. = Benchmark; C = Calculated; CONC = Concrete; F.B. = Field Book; ID. = Identification; L.B. = Licensed Business; M = Measured; NAVD = North American Vertical Datum; NSPS = National Society of Professional Surveyors; OW = Overhead Wires; P = Per Record Plat; P.B. = Plat Book; P.B.C.R. = Palm Beach County Records; PG. = Page; P.L.S. = Professional Land Surveyor; W/CAP = With Surveyors Cap.

LAND DESCRIPTION:

The North 50 feet of the South 200 feet of the East One-half of Block 72 and the North 50 feet of the South 150 feet of the East one-half of Block 71, DELRAY BEACH, according to the Plat thereof, recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida.

Said lands lying in Palm Beach County, Florida and containing 13.654 square feet (0.3135 acres) more or less.



LEGEND	
	BACK FLOW PREVENTOR VALVE
	BENCHMARK
	CONCRETE LIGHT POLE
	CLEAN OUT
	ELECTRIC MANHOLE
	NUMBER OF REGULAR PARKING
	OVERHEAD WIRES
	UNKNOWN MANHOLE
	WATER VALVE
	WATER METER
	WOOD UTILITY POLE

CERTIFICATION:

To _____

This is to certify that this map and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, 13, and 14 of Table A thereof. The fieldwork was completed on 07/15/2024.

Date: 8/13/2024

Michael J. Avrom, P.S.M.
 Digitally signed by Michael J. Avrom, P.S.M.
 Date: 2024.08.13 16:53:53 -0400

MICHAEL J. AVROM, P.S.M.
 Florida Registration No. 7253
 AVIROM & ASSOCIATES, INC.
 L.B. No. 3300



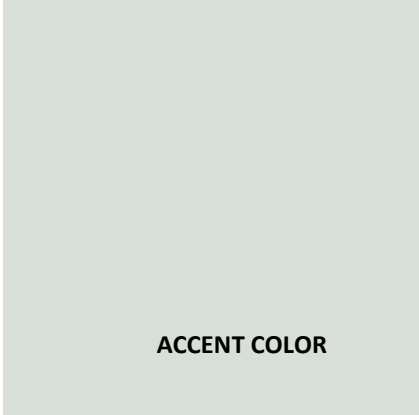
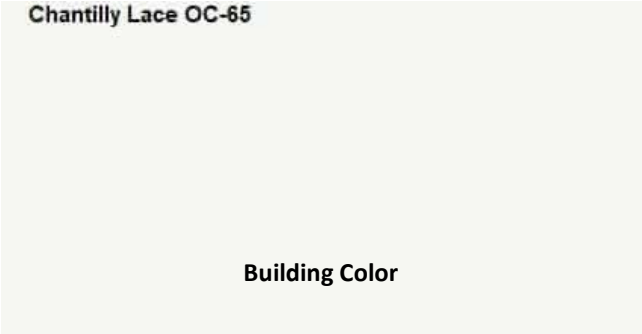
AVIROM & ASSOCIATES, INC.
 SURVEYING & MAPPING
 50 S.W. 2nd AVENUE, SUITE 102
 BOCA RATON, FLORIDA 33432
 (561) 392-2594 / www.AVIROMSURVEY.com
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REVISIONS	DATE	F.B. / PG.	BY	CK'D	REVISIONS	DATE	F.B. / PG.	BY	CK'D
UPDATE ALTA/NSPS & TOPOGRAPHIC SURVEY	07/15/2024	2216/35	M.A.J.	M.J.A.					

ALTA/NSPS SURVEY
238 SE 1ST AVENUE
 A PORTION OF
 BLOCK 71
 (P.B. 1, PG. 3, P.B.C.R.)
 CITY OF DELRAY BEACH
 PALM BEACH COUNTY, FLORIDA

JOB #:	12187
SCALE:	1" = 20'
DATE:	08/25/2021
BY:	W.R.E.
CHECKED:	M.D.A.
F.B. 2080 PG. 25-28	
SHEET:	1 OF 1

238 SE 1st AVE—PHOTOS



238 SE 1st AVE—PHOTOS



238 SE 1st AVE—PHOTOS

