

+-2009
EXISTING 2-STORY
RESIDENCE

PROPOSED PROJECT CHART:

OSSHAD	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH/FRONTAGE (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. OPEN SPACE (%)	MAX. LOT COVERAGE (%)	MIN. FRONT SETBACK (ft.)	MIN. SIDE STREET SETBACK (ft.)	MIN. INTERIOR SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MIN. BUILDING HEIGHT (ft.)	PERVIOUS/ IMPERVIOUS AREA (sq. ft.)	OPEN SPACE - LANDSCAPED (sq. ft.)	WATER BODIES (sq. ft.)	GROSS FLOOR AREA (sq. ft.)	FLOOR AREA RATIO (%)
REQUIRED	8,000	80'-0"	100'-0"	(1)	N/A	40	25'-0"	15'-0"	7'-6"	10'-0"	35'-0"	-	-	0	-	-
EXISTING/ PROPOSED (2)	13,631.6	106'-0"	128.6'	1,947	N/A	14.3	38.2'	20.5'	40.1'	+-1.8'	22'-0"	+-8,179.6/ +-5,452.0	+-5,452.0	0	2,875	21

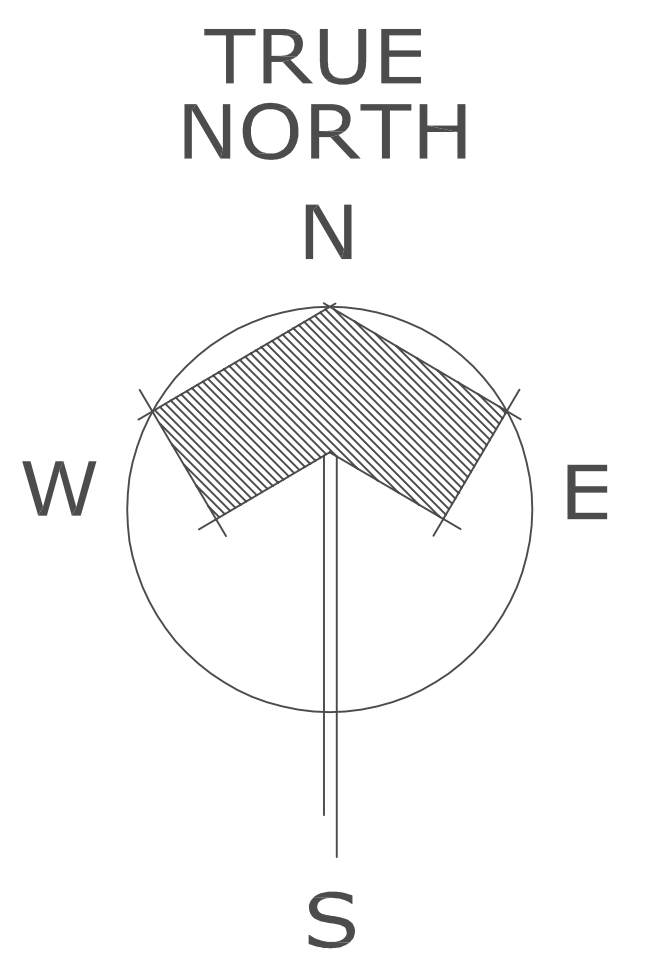
FOOTNOTE: (1) REFER TO INDIVIDUAL DISTRICT REGULATIONS
FOOTNOTE: (2) EXISTING = PROPOSED AS NO CHANGES IN SITE VS BUILDING RELATIONSHIP IS PART OF THIS SCOPE
FOOTNOTE: (3) PREVIOUS OWNER DEDICATED 2.5' TO THE CITY OF DELRAY BEACH TO WIDEN THE R.O.W. OF THE ALLEY GREATLY AFFECTING THE EXISTING REAR BUILDING SETBACK, FROM 4.3' TO 1.5'

VARIANCE REQUEST

NO CHANGES ARE PROPOSED IN
SITE VS BUILDING RELATIONSHIPS

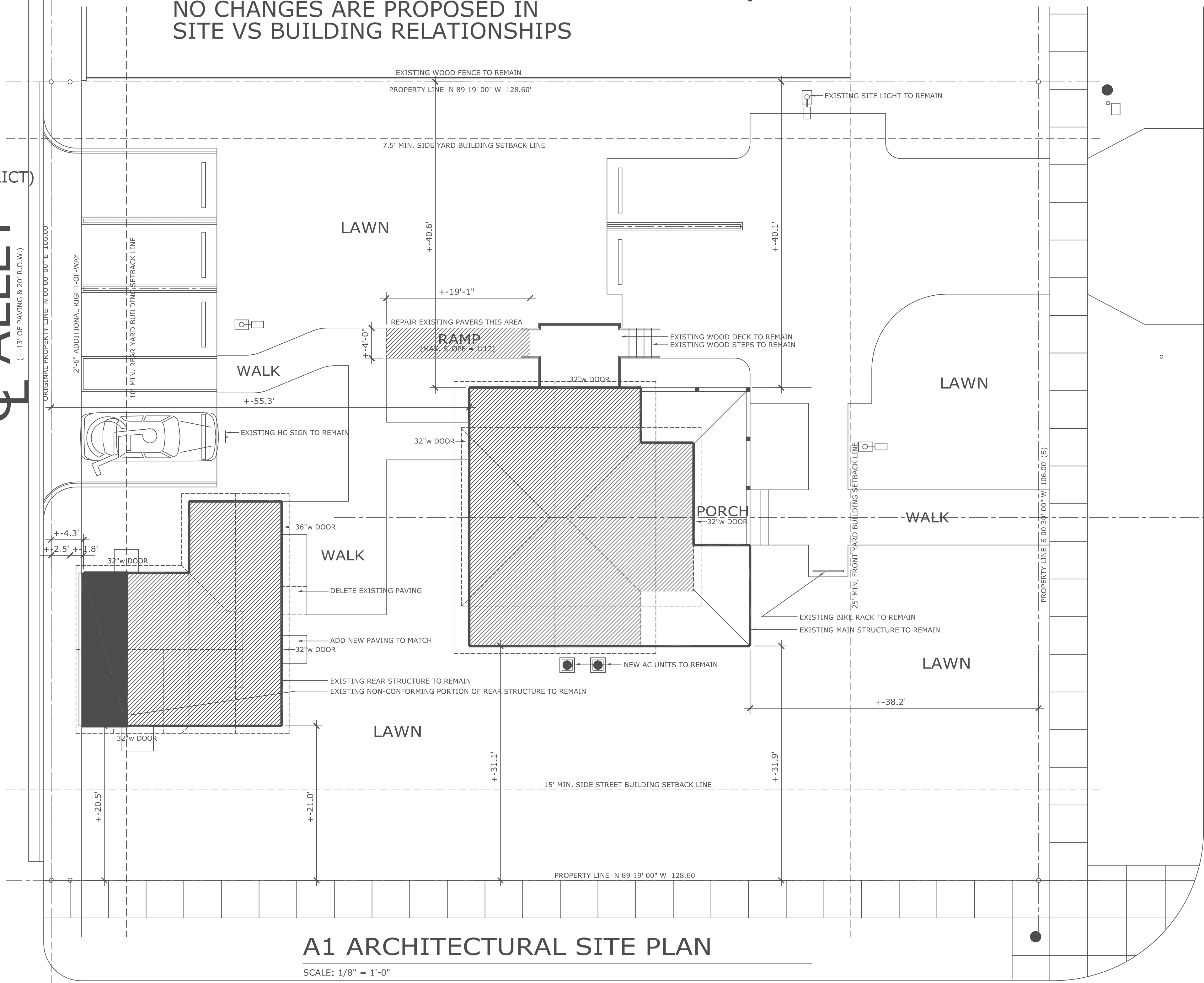
LEGAL DESCRIPTION:
(AS PROVIDED BY THE OWNER)

SITE DATA:
(APPROX. 13,631.60 SQ. FT. OR +- 0.31 ACRES)
ZONED: OSSHAD (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)
PROPOSED USE: COMMERCIAL



ALLEY
(+-13' OF PAVING & 20' R.O.W.)

N. SWINTON AVE.
(+-24' OF PAVING & 66' R.O.W.)



A1 ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

NW 2ND STREET

No.	REVISIONS	Date

Consultant Seal

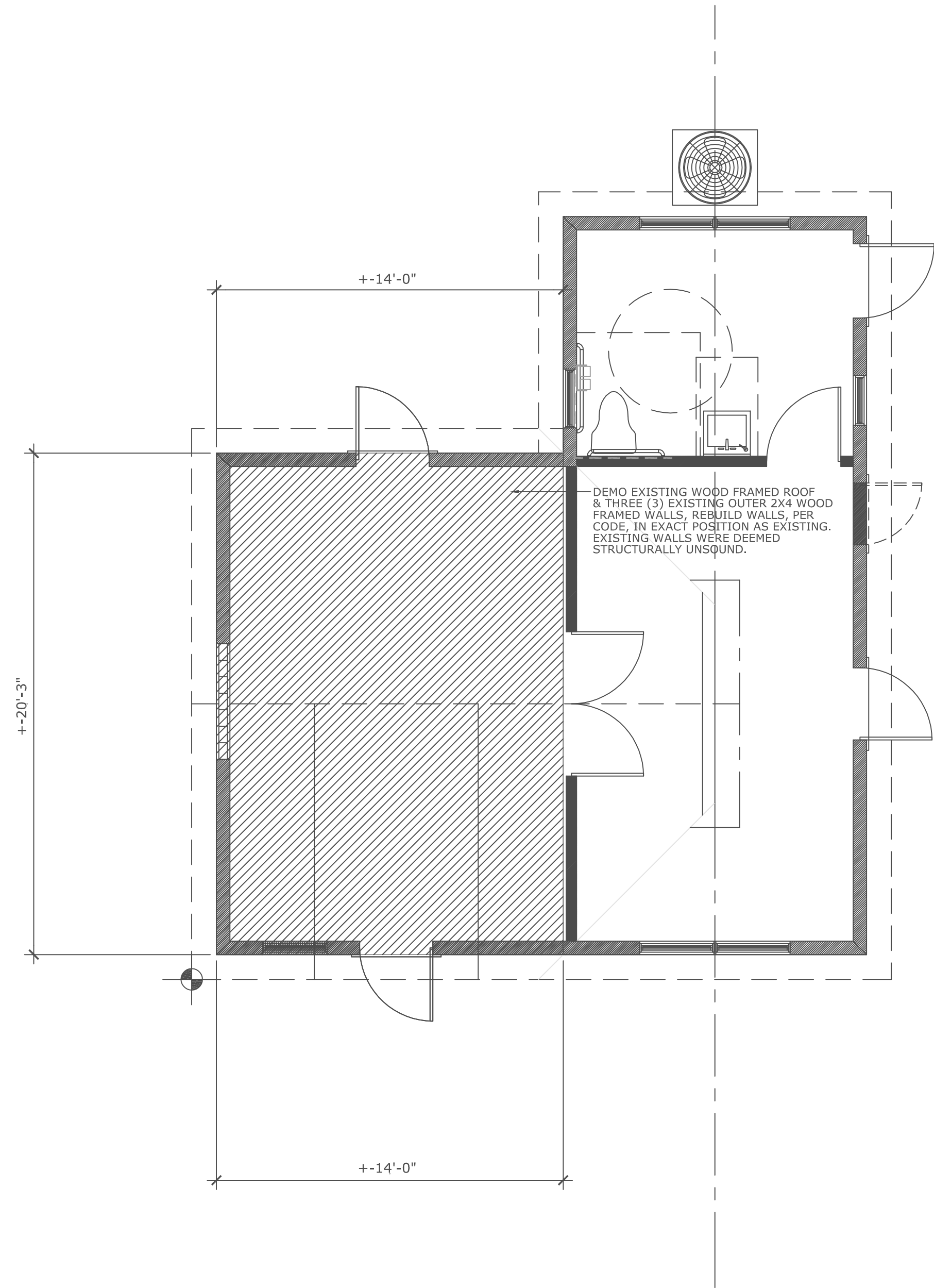
"202 LAKEWOOD, LLC"
202 N SWINTON AVE.
DELRAY BEACH, FLORIDA 33444

COPE ARCHITECTS, INC.
114 W. NE 1ST AVE.
DELRAY BEACH, FLORIDA 33444-3713
ARCHITECTURE - PLANNING - INTERIORS
cell 561 274-0706 email copearchitect@bellsouth.net

Seal
Florida License No.
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Drawn
RW COPE
Project No.
2024.40LAKEWOOD
CAD File No.
EXISTING SITE PLAN
Date
SEPTEMBER 30, 2024
Drawing No.

A2.1
of



D1 DEMO FLOOR PLAN: REAR STRUCTURE

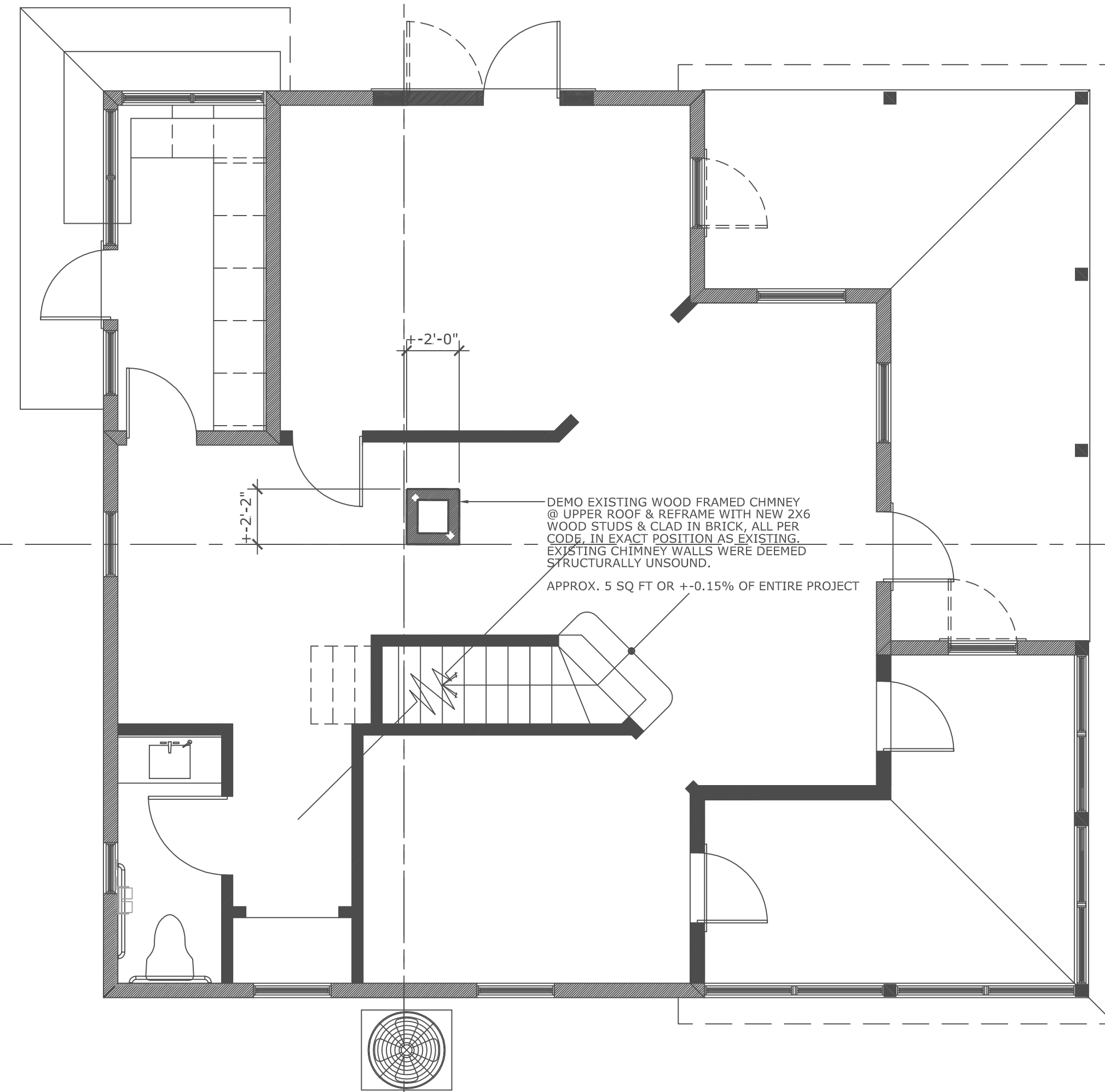
SCALE: 1/4" = 1'- 0"

EXISTING FLOOR AREA OF REAR STRUCTURE:

COMMERCIAL AREA (UNDER AIR) : +/- 651 SQ. FT.
 COVERED OUTDOOR AREA : +/- 0 SQ. FT.
 EXISTING REAR FLR. TOTAL AREA : +/- 651 SQ. FT.

DEMO AREA OF REAR STRUCTURE:

+/-284 SQ. FT. OR +/-9.86% OF ENTIRE PROJECT'S SQ. FT.



D2 DEMO ROOF PLAN: MAIN STRUCTURE

SCALE: 1/4" = 1'- 0"

EXISTING 1ST FLOOR AREA OF MAIN STRUCTURE:

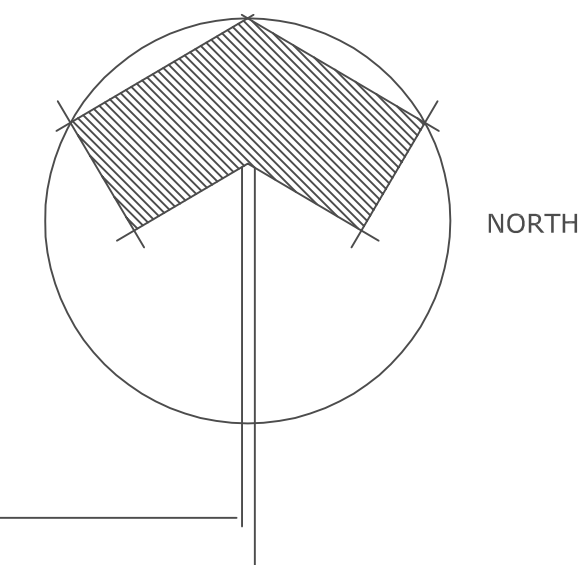
COMMERCIAL AREA (UNDER AIR) : +/- 1,084 SQ. FT.
 COVERED OUTDOOR AREA: (PORCH) +/- 212 SQ. FT.
 EXISTING MAIN 1ST FLR. AREA : +/- 1,296 SQ. FT.

EXISTING 2ND FLOOR AREA OF MAIN STRUCTURE:

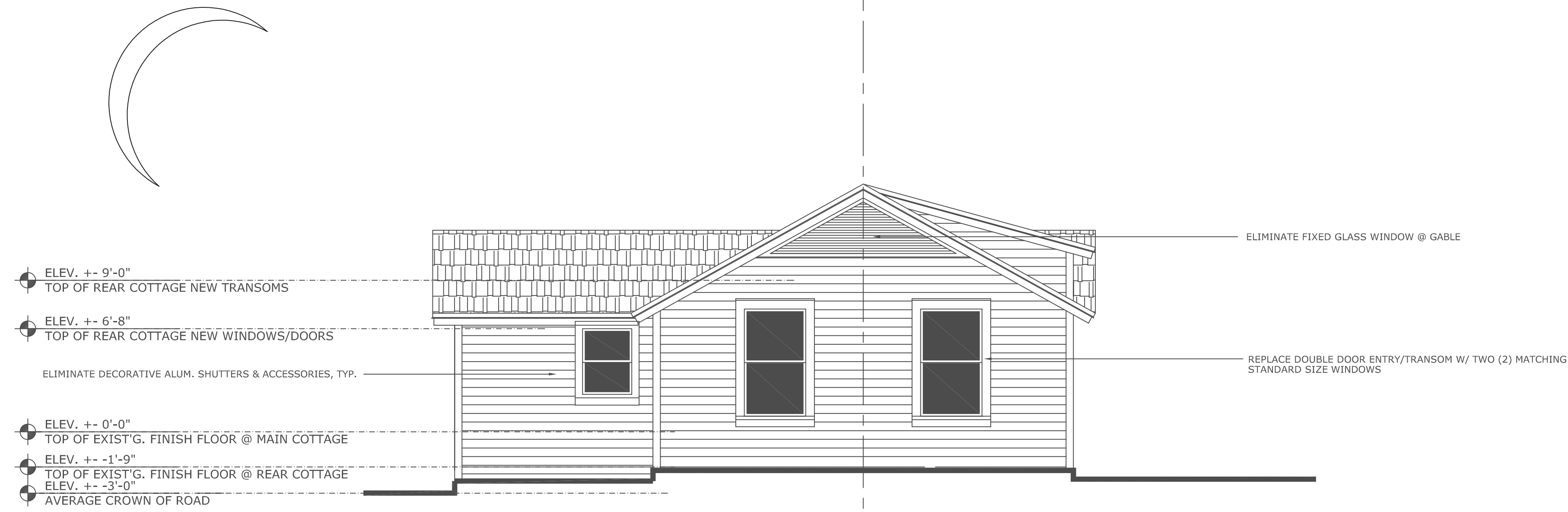
COMMERCIAL AREA (UNDER AIR) : +/- 928 SQ. FT.
 COVERED OUTDOOR AREA: (BALCONY) +/- 0 SQ. FT.
 EXISTING MAIN 2ND FLR. AREA : +/- 928 SQ. FT.

TOTAL EXISTING FLOOR AREA @ ENTIRE PROJECT:

COMMERCIAL AREA (UNDER AIR) : +/- 2,663 SQ. FT.
 COVERED PORCH : +/- 212 SQ. FT.
 TOTAL EXISTING 1ST FLR. AREA : +/- 2,875 SQ. FT.

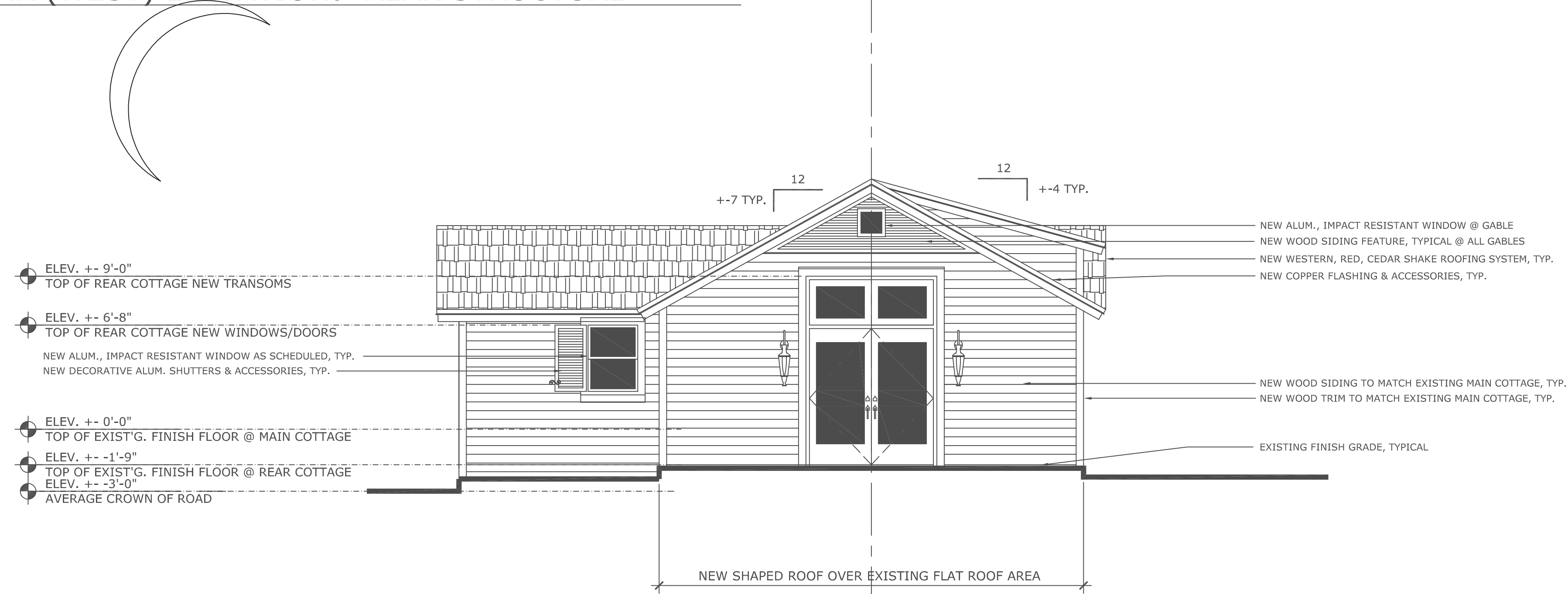


Consultant Seal	"202 LAKEWOOD, LLC"		Date
	202 N. SWINTON AVE. DELRAY BEACH, FLORIDA 33444		
Consultant Seal	COPE ARCHITECTS, INC.		Date
	701 SE 1ST STREET DELRAY BEACH, FLORIDA 33483-5205 ARCHITECTURE - PLANNING - INTERIORS CELL 561 799-3793 FAX 561 274-6707		
Drawing Title		REVISIONS	
DEMOLITION FLOOR PLANS		No.	Date
Seal		Florida License No. AR0013552	
Drawn RW COPE		Project No. 2022.32	
CAD File No. DEMO FLOORPLANS		Date JUNE 23, 2024	
Drawing No. D1.0		of	



A12 FINAL REVISIONS REAR (WEST) ELEVATION: REAR STRUCTURE

SCALE: 1/4" = 1'- 0"



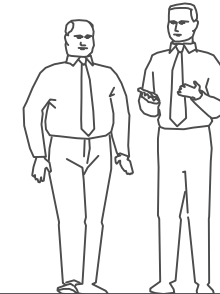
A13 CERTIFIED REAR (WEST) ELEVATION: REAR STRUCTURE

SCALE: 1/4" = 1'- 0"

Date	
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Drawing Title	
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Seal	Florida License No. AR0013552
Drawn	RW COPE
Project No.	2022.32KURZMAN
CAD File No.	EXTER'R ELEVATIONS
Date	MAY 21, 2024
Drawing No.	
R9.0	
of	



ELIMINATE FIXED TRANSOM ABOVE NEW DOOR
 ELIMINATE FIXED GLASS WINDOW @ GABLE
 ELIMINATE DECORATIVE ALUM. SHUTTERS & HARDWARE, TYP.

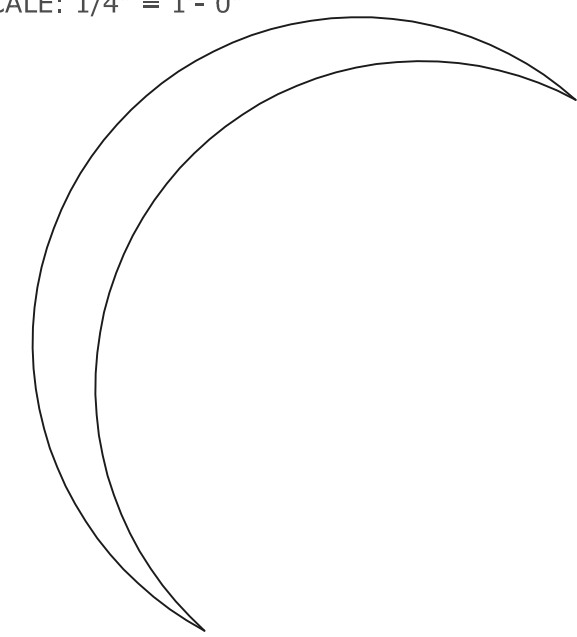


NEW WESTERN, RED, CEDAR SHAKE ROOFING SYSTEM, TYP.
 EXISTING WOOD OUTLOOKERS TO REMAIN, TYP.
 NEW WESTERN, RED, CEDAR SHAKE ROOFING SYSTEM, TYP.
 NEW COPPER FLASHING & ACCESSORIES, TYP.
 EXISTING WOOD OUTLOOKERS TO REMAIN, TYP.
 NEW DECORATIVE ALUM. SHUTTERS & HARDWARE, TYP.
 NEW ALUM., IMPACT RESISTANT WINDOWS, TYP.
 EXISTING 2X4 TO BE REMOVED
 EXISTING FINISH GRADE, TYPICAL

ELEV. +- 16'-8"
TOP OF 2ND FLR. WINDOWS/DOORS
 ELEV. +- 10'-0"
TOP OF EXIST'G. 2ND FINISH FLOOR
 ELEV. +- 6'-10"
TOP OF 1ST FLR WINDOWS/DOORS
 ELEV. +- 0'-0"
TOP OF EXIST'G. 1ST FINISH FLOOR
 ELEV. +- 0'-2.5"
TOP OF EXIST'G. PORCH DECK
 ELEV. +- 3'-0"
AVERAGE CROWN OF ROAD

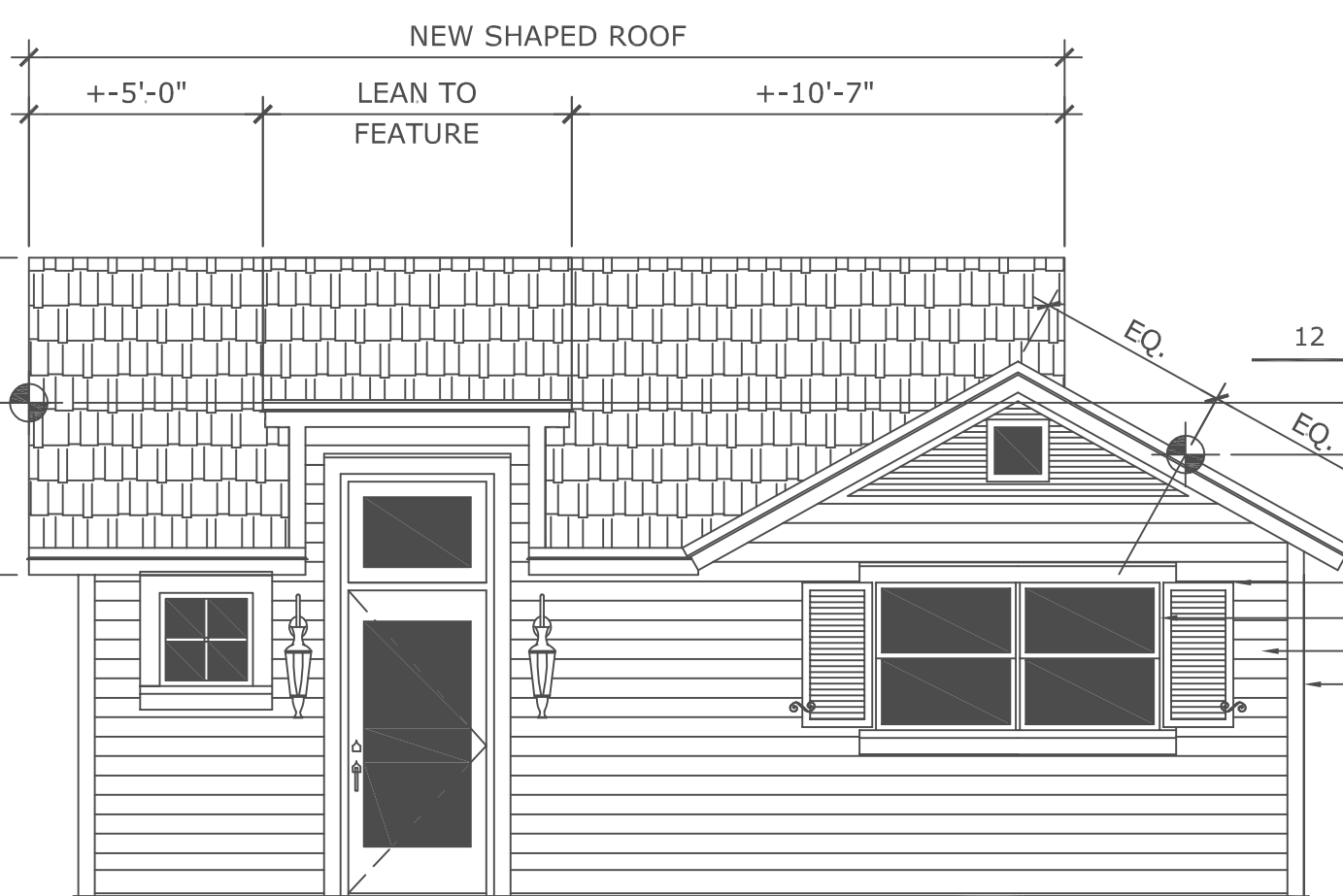
A4 FINAL REVISIONS LEFT SIDE (SOUTH) ELEVATIONS: BOTH STRUCTURES

SCALE: 1/4" = 1'- 0"

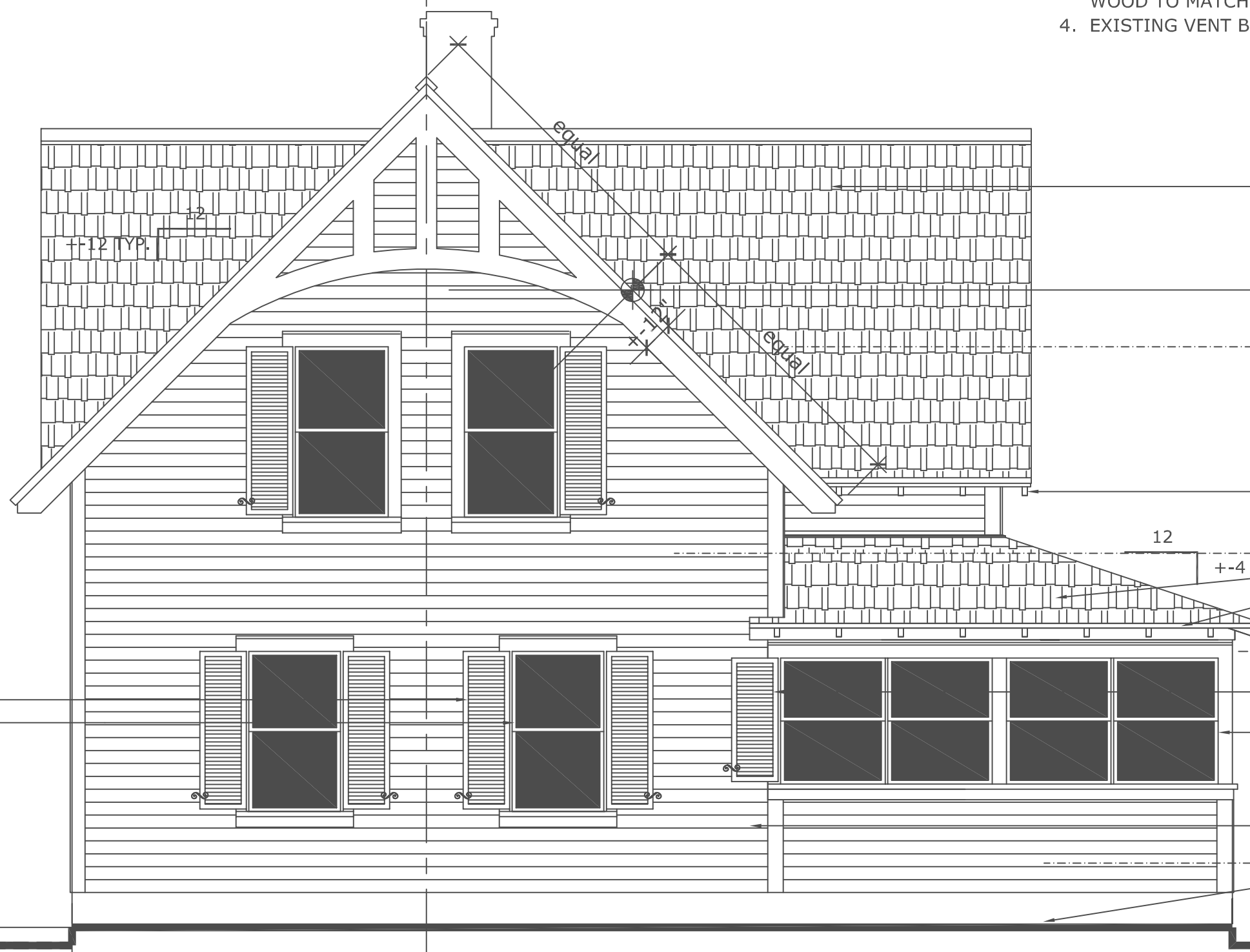
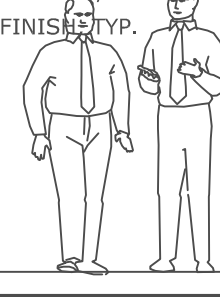


GENERAL NOTES:

1. GENERAL CONTRACTOR TO REMOVE EXISTING EXTERIOR SHINGLE SIDING TO RE-EXPOSE ORIGINAL WOOD SIDING (& TRIM) UNDERNEATH, TYPICAL.
2. ANY REPAIRS TO EXISTING WOOD SIDING SHALL BE BY USE OF NEW WOOD SIDING MATCHING EXACT PROFILE OF EXISTING SIDING.
3. ANY REPAIRS TO EXISTING WOOD TRIM (@ WINDOWS, DOORS, CORNER BOARDS, FASCIA, OUTLOOKERS, ETC.) SHALL BE BY USE OF WOOD TO MATCH EXISTING CONDITIONS, TYPICAL.
4. EXISTING VENT BLOCKS IN STEMWALL TO REMAIN, REPAIR (ADD INSECT SCREEN) AS REQUIRED. ADD SKIM COAT OF STUCCO, TYP.



NEW DECORATIVE ALUM. SHUTTERS & HARDWARE, TYP.
 NEW ALUM., IMPACT RESISTANT WINDOWS, TYP.
 NEW WOOD SIDING W/ PAINTED FINSH, TYP.
 NEW WOOD TRIM W/ PAINTED FINISH, TYP.
 EXISTING CROWN OF ALLEY (NAVD) +-11'-0" AVG.
 PROPOSED CROWN OF ALLEY (NAVD) +-12'-2" AVG.



NEW WESTERN, RED, CEDAR SHAKE ROOFING SYSTEM, TYP.
 EXISTING WOOD OUTLOOKERS TO REMAIN, TYP.
 NEW WESTERN, RED, CEDAR SHAKE ROOFING SYSTEM, TYP.
 NEW COPPER FLASHING & ACCESSORIES, TYP.
 EXISTING WOOD OUTLOOKERS TO REMAIN, TYP.
 NEW DECORATIVE ALUM. SHUTTERS & HARDWARE, TYP.
 NEW ALUM., IMPACT RESISTANT WINDOWS, TYP.
 EXISTING 2X4 TO BE REMOVED
 EXISTING FINISH GRADE, TYPICAL

ELEV. +- 16'-8"
TOP OF 2ND FLR. WINDOWS/DOORS
 ELEV. +- 10'-0"
TOP OF EXIST'G. 2ND FINISH FLOOR
 ELEV. +- 6'-10"
TOP OF 1ST FLR WINDOWS/DOORS
 ELEV. +- 0'-0"
TOP OF EXIST'G. 1ST FINISH FLOOR
 ELEV. +- 0'-2.5"
TOP OF EXIST'G. PORCH DECK
 ELEV. +- 3'-0"
AVERAGE CROWN OF ROAD

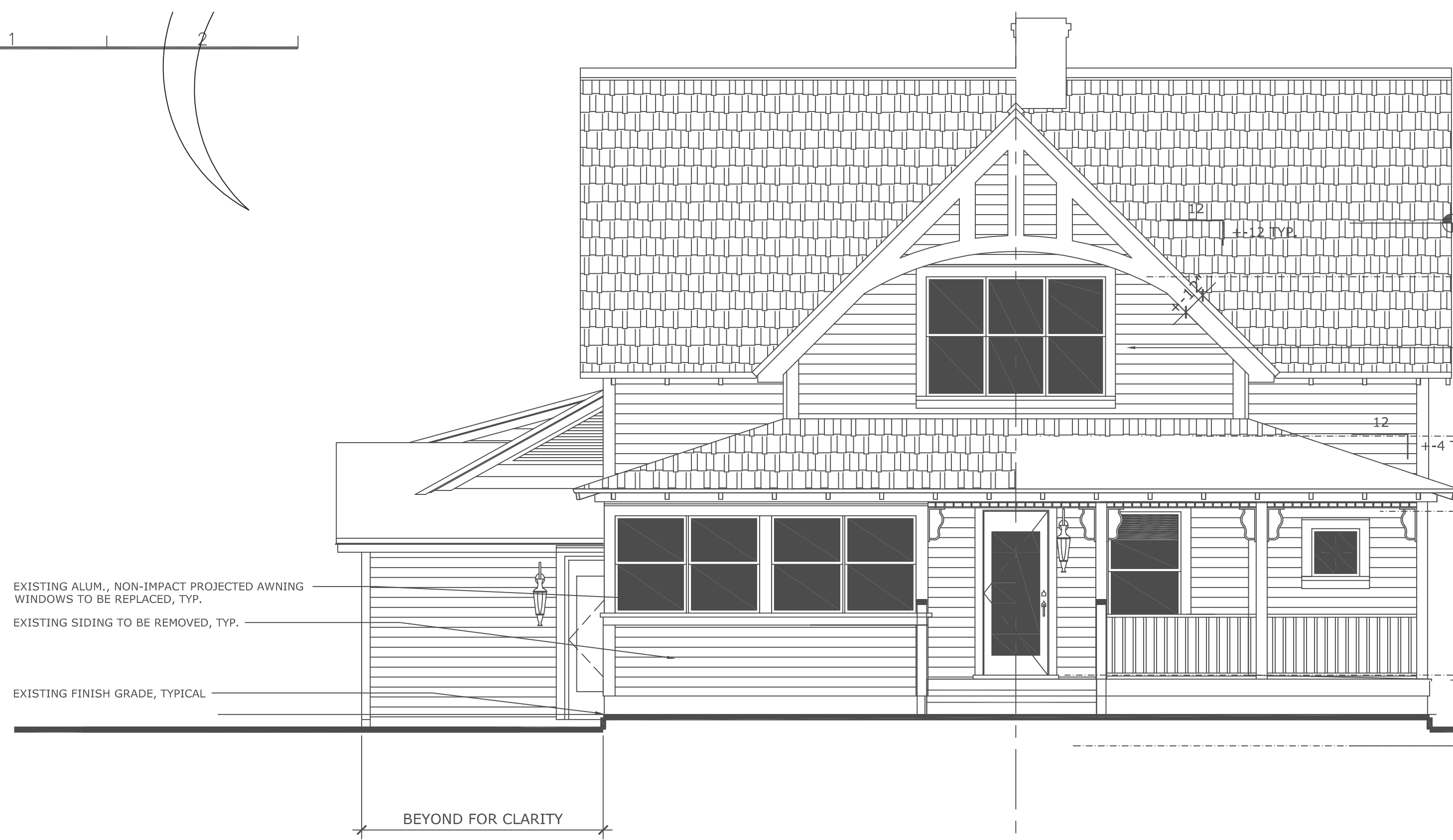
A5 CERTIFIED LEFT SIDE (SOUTH) ELEVATIONS: BOTH STRUCTURES

SCALE: 1/4" = 1'- 0"

EXISTING COURTYARD TO REMAIN AS IS

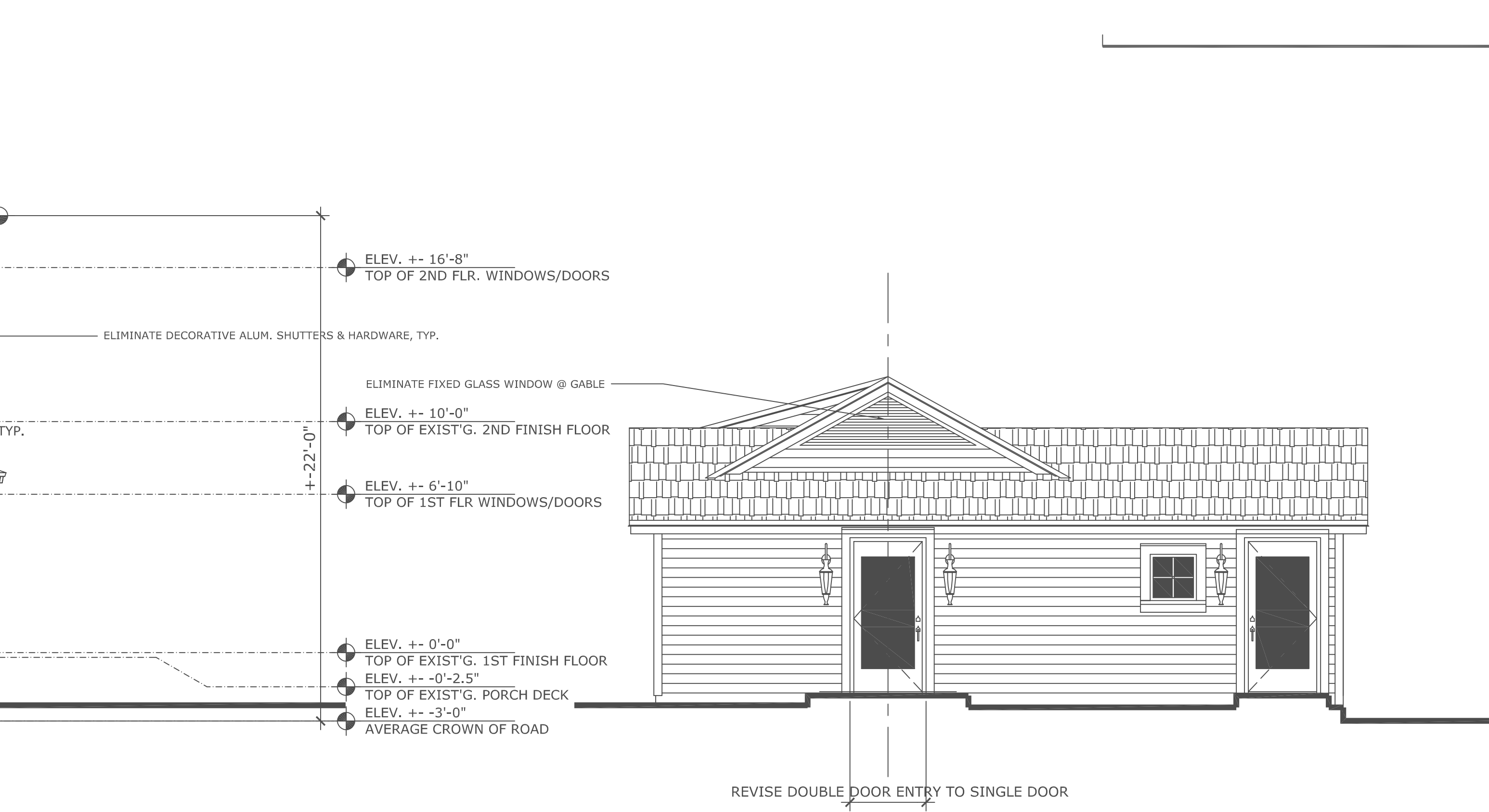
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Drawing Title EXTERIOR ELEVATIONS		No.
Seal Drawn RW COPE Project No. 2022.32 CAD File No. EXTER'R ELEVATIONS Date MAY 21, 2024 Drawing No.		REVISIONS
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A6 FINAL REVISIONS ENTRY (EAST) ELEVATION: MAIN STRUCTURE

SCALE: 1/4" = 1'-0"

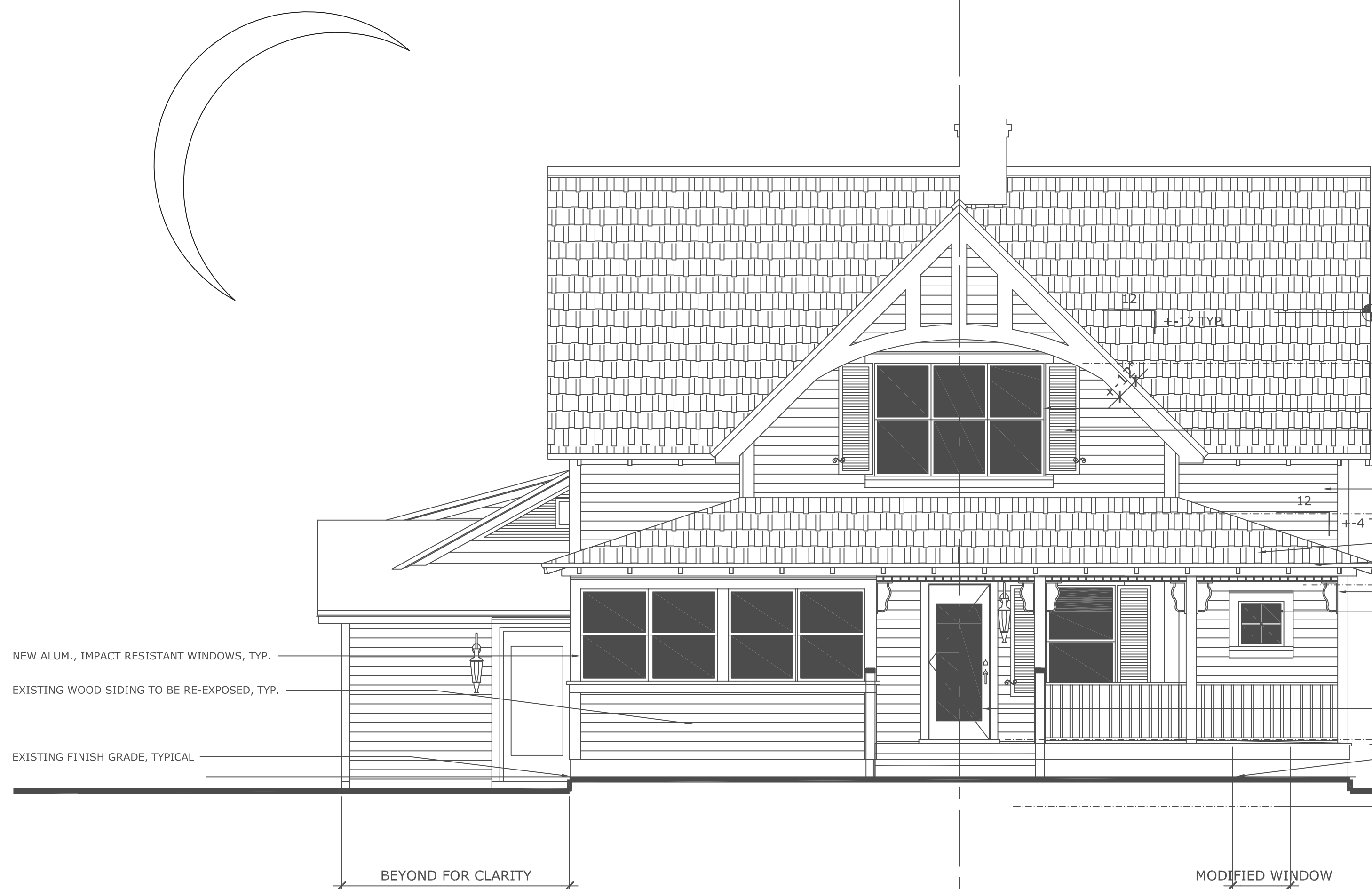


A6A EXISTING ENTRY (EAST) ELEVATION: REAR STRUCTURE

SCALE: 1/4" = 1'-0"

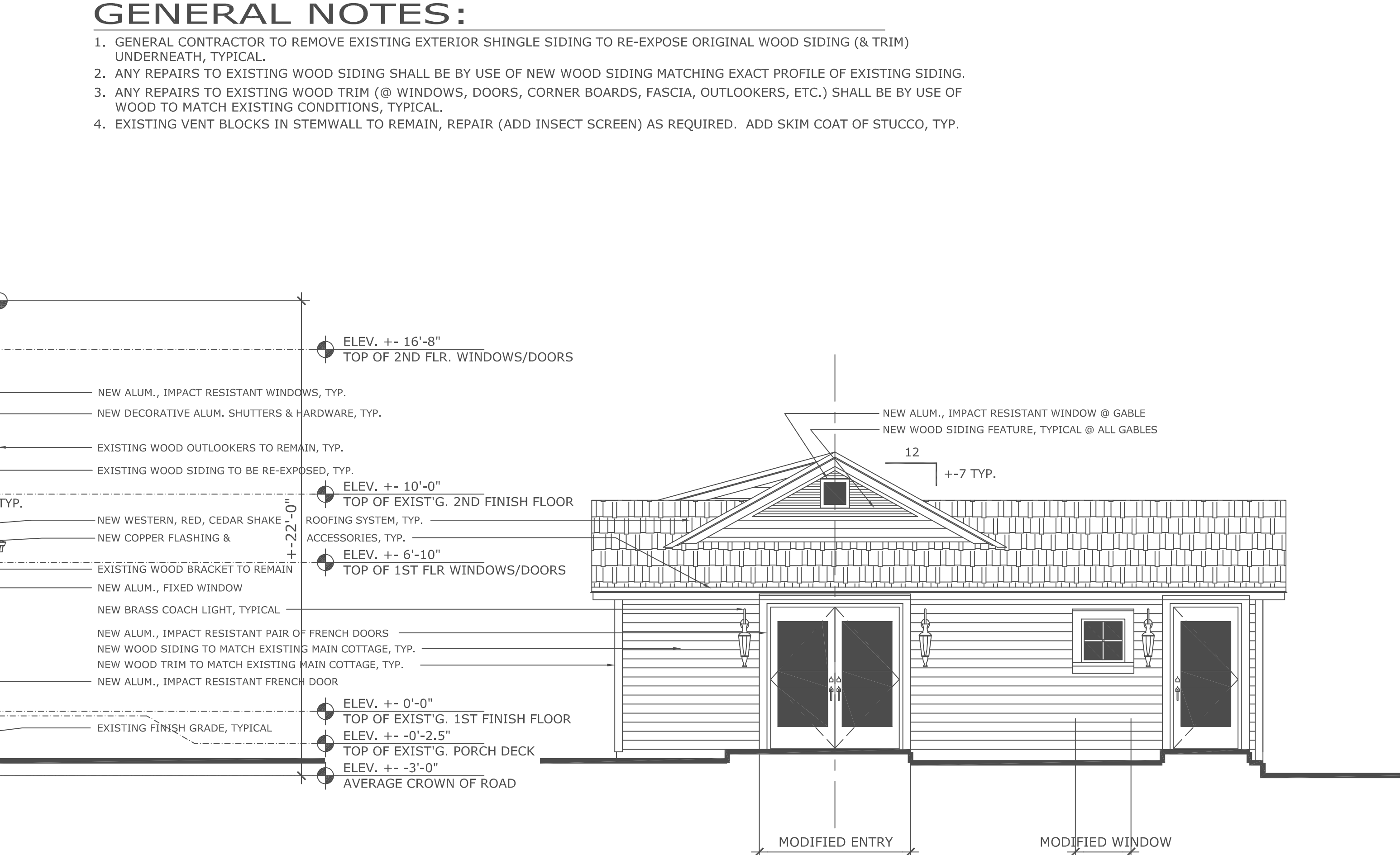
GENERAL NOTES:

1. GENERAL CONTRACTOR TO REMOVE EXISTING EXTERIOR SHINGLE SIDING TO RE-EXPOSE ORIGINAL WOOD SIDING (& TRIM) UNDERNEATH, TYPICAL.
2. ANY REPAIRS TO EXISTING WOOD SIDING SHALL BE BY USE OF NEW WOOD SIDING MATCHING EXACT PROFILE OF EXISTING SIDING.
3. ANY REPAIRS TO EXISTING WOOD TRIM (@ WINDOWS, DOORS, CORNER BOARDS, FASCIA, OUTLOOKERS, ETC.) SHALL BE BY USE OF WOOD TO MATCH EXISTING CONDITIONS, TYPICAL.
4. EXISTING VENT BLOCKS IN STEMWALL TO REMAIN, REPAIR (ADD INSECT SCREEN) AS REQUIRED. ADD SKIM COAT OF STUCCO, TYP.



A7 CERTIFIED ENTRY (EAST) ELEVATION: MAIN STRUCTURE

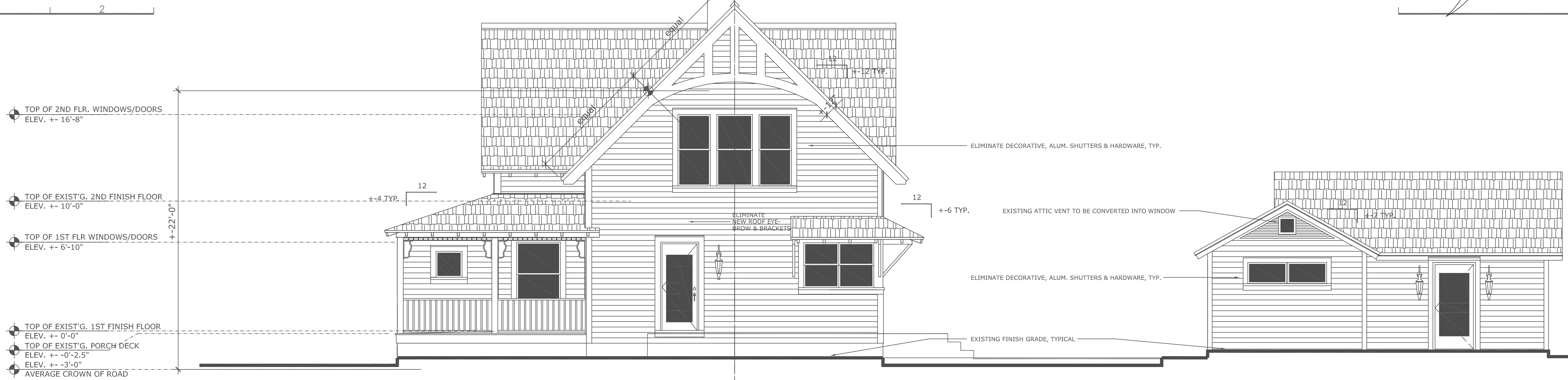
SCALE: 1/4" = 1'-0"



A7A PROPOSED ENTRY (EAST) ELEVATION: REAR STRUCTURE

SCALE: 1/4" = 1'-0"

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Drawing Title		EXTERIOR ELEVATIONS		
Florida License No.		AR0013552		
Drawn		RW COPE		
Project No.		2022.32KURZMAN		
CAD File No.		EXTER'R ELEVATIONS		
Date		MAY 21, 2024		
Drawing No.		R6.0		

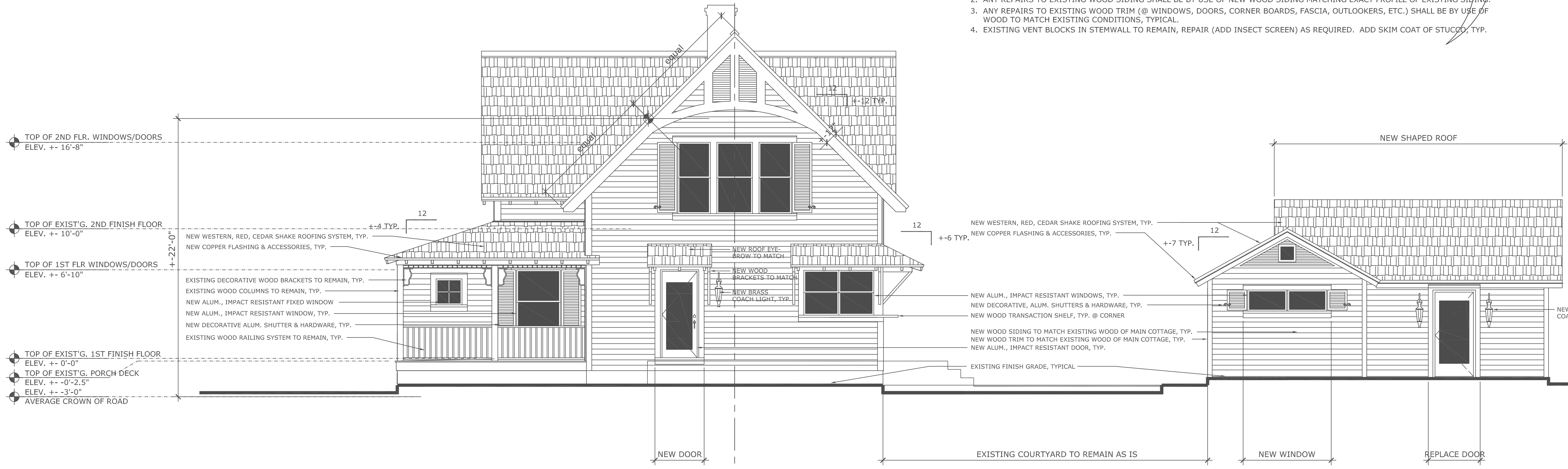


A8 FINAL RIGHT SIDE (NORTH) ELEVATIONS: BOTH STRUCTURES

SCALE: 1/4" = 1'- 0"

GENERAL NOTES:

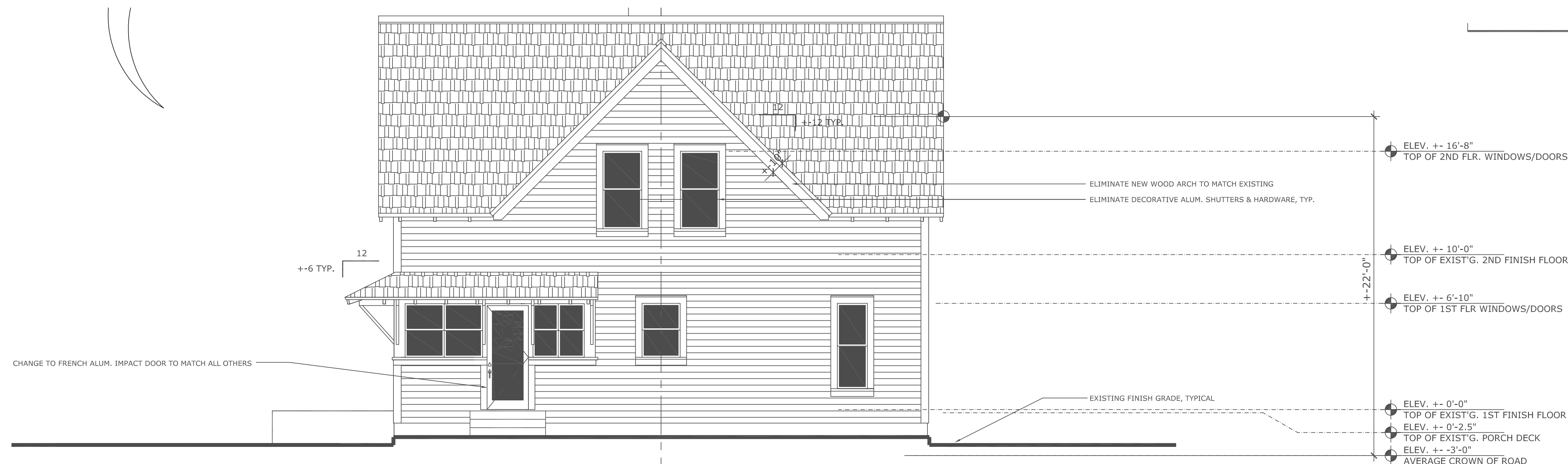
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A9 CERTIFIED RIGHT SIDE (NORTH) ELEVATIONS: BOTH STRUCTURES

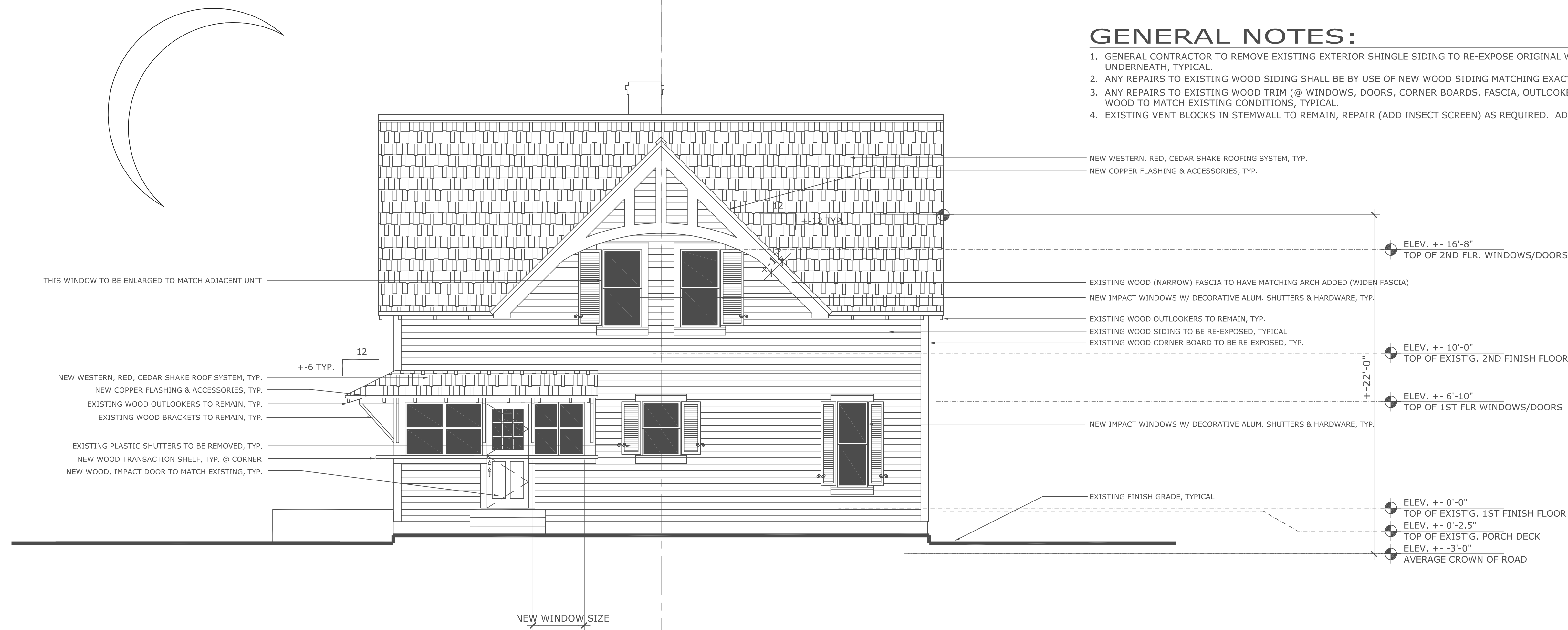
SCALE: 1/4" = 1'- 0"

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CAD File No. EXTER'R ELEVATIONS		R7.0		
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A10 FINAL REAR (WEST) ELEVATION: MAIN STRUCTURE

SCALE: 1/4" = 1'- 0"



A11 CERTIFIED REAR (WEST) ELEVATION: MAIN STRUCTURE

SCALE: 1/4" = 1'- 0"

GENERAL NOTES:

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