

398 NE 6TH AVENUE DEVELOPMENT

398 NE 6th AVENUE, DELRAY BEACH, FL 33483

PROJECT NUMBER: 23036

PRELIMINARY DESIGN: 3/27/25



PROGRESS ARTIST RENDITION, SUBJECT TO CHANGE. NOT TO SCALE.

OWNER	DON HICKEY 3954 NW 82ND DRIVE PEMBROKE PINES, FL 33024 DON.HICKEY@OHLA-USA.COM
ARCHITECT	REG ARCHITECTS, INC. RICK GONZALEZ, AIA, PRESIDENT ALELI DE LA VEGA, ASSOC. AIA, SENIOR PROJECT MANAGER DOMINIC J. ARRESTA, AIA, PROJECT MANAGER 120 SOUTH OLIVE AVENUE, SUITE 210 WEST PALM BEACH, FL 33401 (561) 659 - 2383
CONSTRUCTION MANAGER	TBD
CIVIL ENGINEER	SIMMONS & WHITE ROBERT F. RENNEBAUM, P.E. 2581 METROCENTRE BLVD WEST, STE 3 WEST PALM BEACH, FL 33407 OFFICE: (561) 478-7848 X103 CELL: (561) 346-4331 SIMMONSANDWHITE.COM
LANDSCAPE ARCHITECT / LAND PLANNER	URBAN DESIGN STUDIO SANDRA J. MGRUE, AICP 610 CLEMATIS ST CU#2, WEST PALM BEACH, FL 33401 (561) 366 - 1100 SMGRUE@UDSFLORIDA.COM
STRUCTURAL ENGINEER	JEZERINAC GROUP GRAHAM BRASIC, PE, SE 480 HIBISCUS STREET, SUITE 107, WEST PALM BEACH, FLORIDA 33401 (561) 622 - 8585 GBRASIC@JEZERINACGROUP.COM
MEP, FIRE PROTECTION & PHOTOMETRICS	RGD CONSULTING ENGINEERS JOSE CAYON, PE MIKE BISHOP, PE, LEED AP 2151 FL A1AALT #2000, JUPITER, FL 33477 (561) 743 - 0165 JOSE.CAYON@RGDENGINEERS.COM
SURVEYOR	PERIMETER SURVEYING & MAPPING, INC. JEFF S. HODAPP, P.S.M., PRESIDENT 947 CLINT MOORE ROAD BOCA RATON, FL 33487 (561) 241 - 9988
SCOPE OF WORK	NEW FOUR STORY CONDO BUILDING OF 20,460 SQFT IN DELRAY BEACH.
LOCATION MAP	

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Rick Gonzalez, AIA
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120 South Olive Ave. Ste. 210,
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P (561) 659-2383
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COVER SHEET

PRELIMINARY DESIGN

A-0.00



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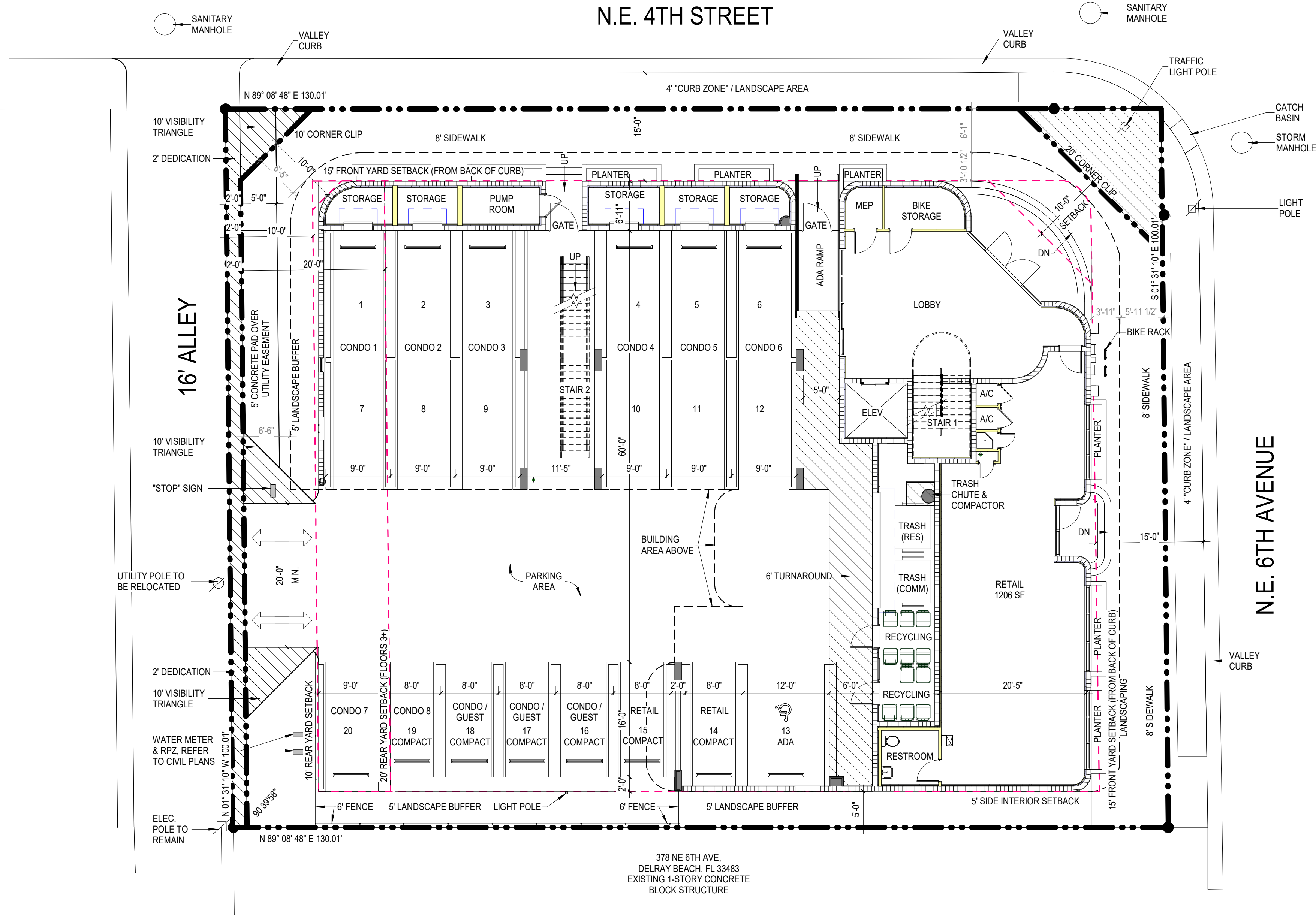
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PARKING PLAN & SITE
DIAGRAM

A-0.10



1 | PARKING PLAN & SITE DIAGRAM
A-0.10 SCALE: 1" = 10'-0" NORTH

STREETSCAPE REQUIREMENTS

DESCRIPTION	REQUIRED	PROVIDED	INTENT
CURB ZONE	4' MINIMUM (FROM BACK OF CURB)	4'	STREET TREES, PUBLIC INFRASTRUCTURE, ETC.
PEDESTRIAN CLEAR ZONE	8' MINIMUM	8'	PUBLIC SIDEWALK
REMAINING AREA	3'	3'	HARDSCAPE/LANDSCAPE

ZONING ANALYSIS TABLE

APPLICATION NUMBER: 2025-082		DELRAY BEACH, CBD CENTRAL CORE
DESCRIPTION	REQUIRED	PROVIDED
MIN LOT AREA	2,000 SF	13,001 SF (0.3 ACRE)
MIN LOT WIDTH	20'	130.01'
MAX HEIGHT	4 STORIES OR 54'	54' / 62'-5"
DENSITY	30 DU/AC (9 UNITS)	8 UNITS PROVIDED
FRONT SETBACK	10' MIN - 15' MAX	10'
SIDE STREET SETBACK (4TH)	10' / 20' ABOVE 3RD FLOOR	10.1'
REAR SETBACK (ALLEY)	10' / 20' ABOVE 3RD FLOOR	10.8'
PROPOSED USES	MIXED USE (RESIDENTIAL, BUSINESS, PROF. OFFICE, COMMERCIAL)	
EXISTING FLOOR AREA RATIO	3.0	0.37
PROPOSED FLOOR AREA RATIO	3.0	1.81
LAST P&Z APPROVAL		

PARKING ANALYSIS TABLE

USE	NET INTERIOR SF	PROVIDED	PARKING REQ'D
RETAIL	1 SPACE PER 500 SF OF GROSS FLOOR AREA	1,206 SF	2 SPACES
LIVE WORK UNITS	2 SPACES PER UNIT		0 SPACES
ONE BEDROOM DWELLING	1.25 SPACES PER UNIT		0 SPACES
TWO+ BEDROOM DWELLING	1.75 SPACES PER UNIT	8 UNITS	14 SPACES
VISITOR PARKING	0.5 SPACES PER UNIT	8 UNITS	4 SPACES
			20 SPACES REQ'D
			20 SPACES PROVIDED

ARCHITECTURAL SITE PLAN FOR DIAGRAMMATIC PURPOSES ONLY;
SEE SITE PLAN BY CIVIL ENGINEER & LANDSCAPE ARCHITECT FOR
ADDITIONAL INFORMATION.



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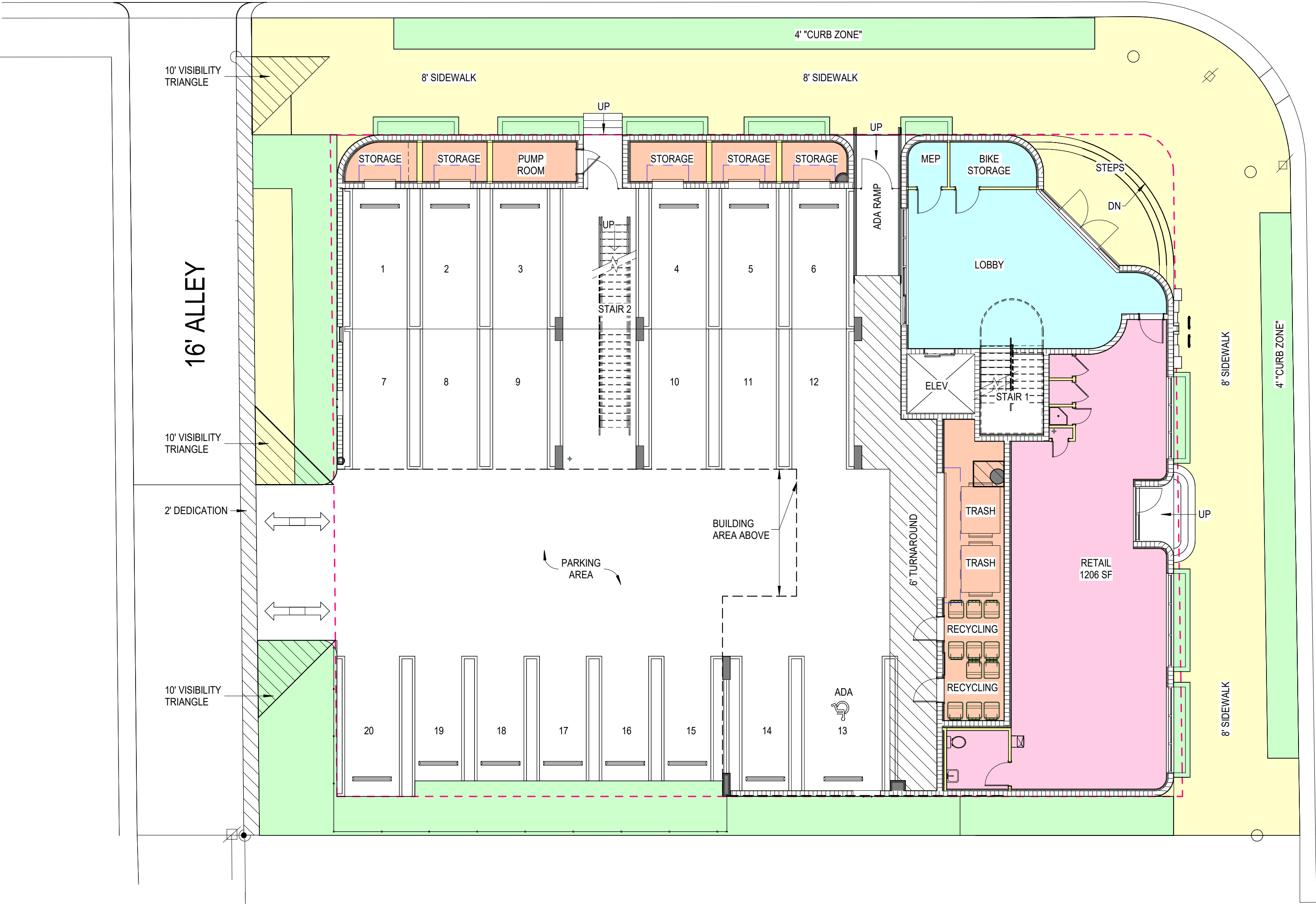
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ARCHITECTURAL SITE PLAN -
DIAGRAM

PRELIMINARY DESIGN

A-0.20

N.E. 4TH STREET



1 SITE PLAN DIAGRAM

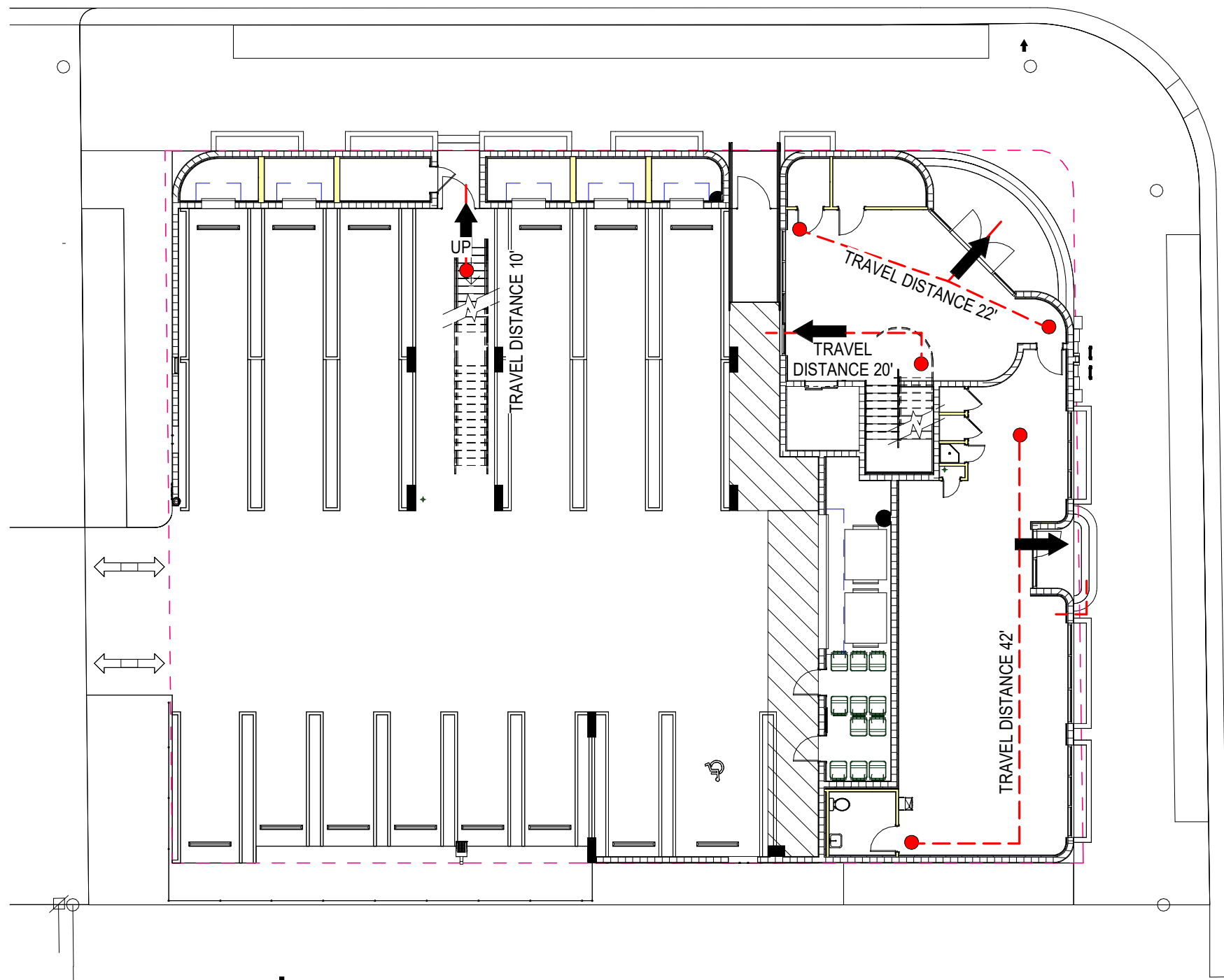
A-0.20

SCALE: 1" = 10'-0"

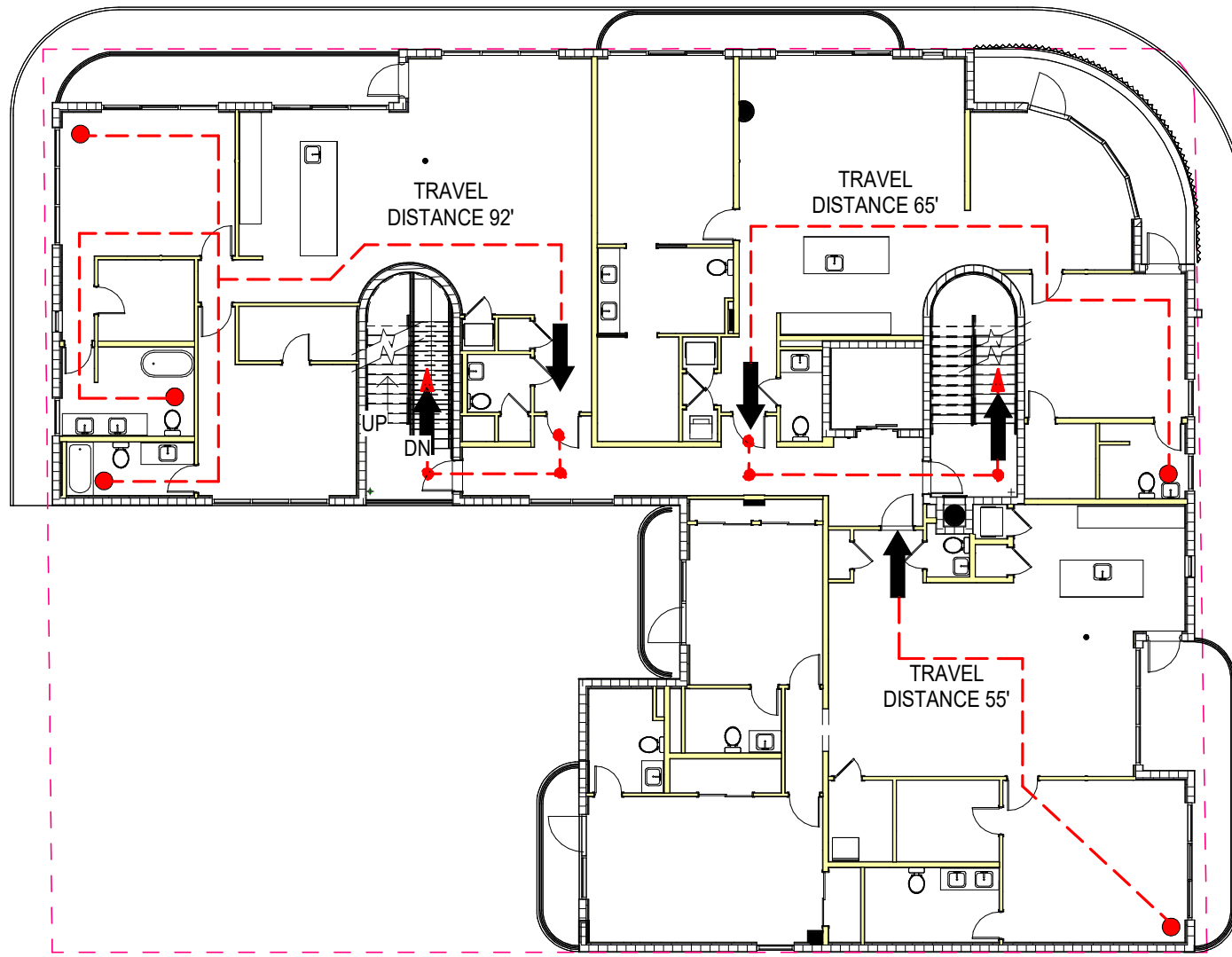


COLOR LEGEND

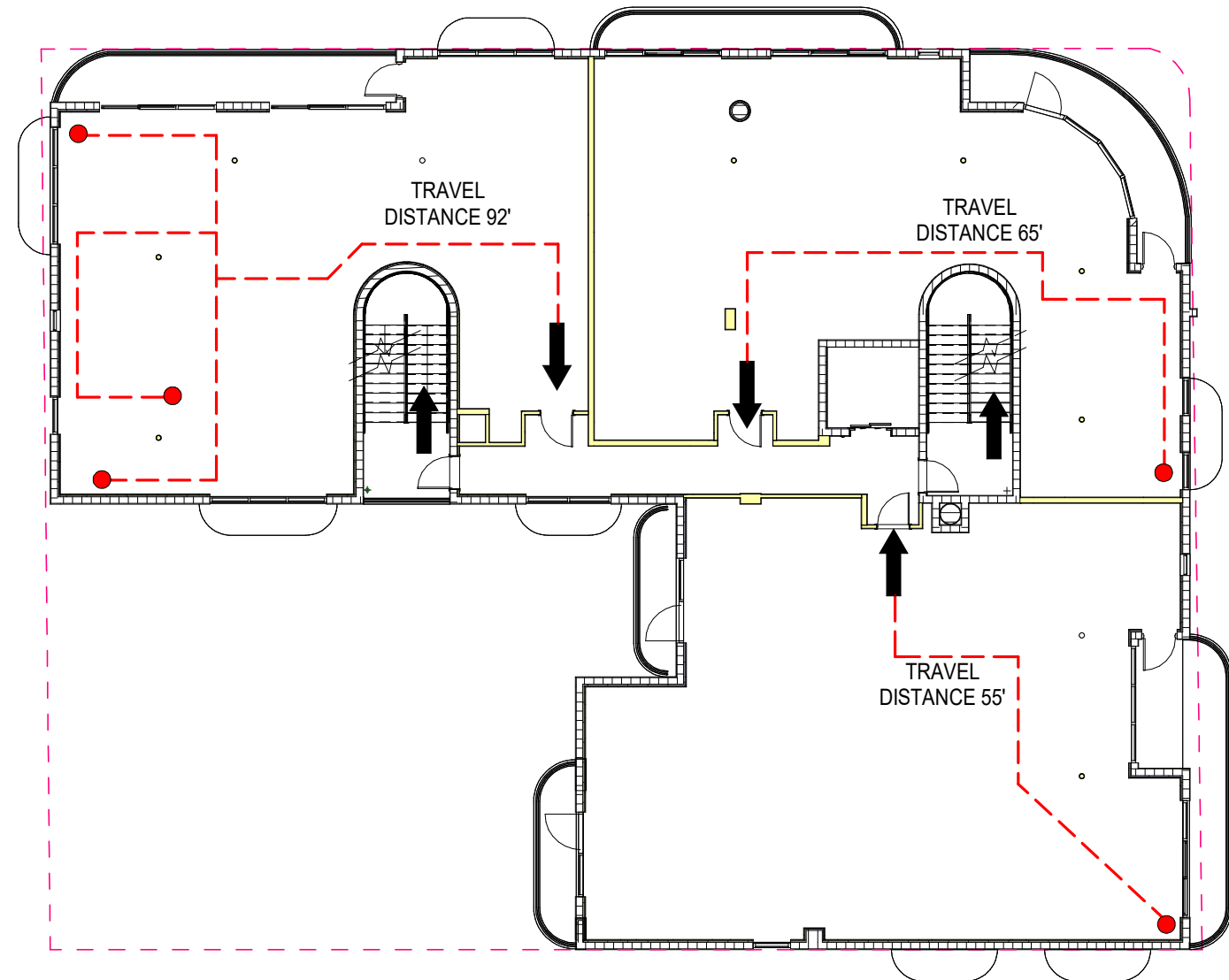
	SIDEWALK
	LANDSCAPING
	COMMERCIAL
	LOBBY
	BACK OF HOUSE
	RESIDENTIAL



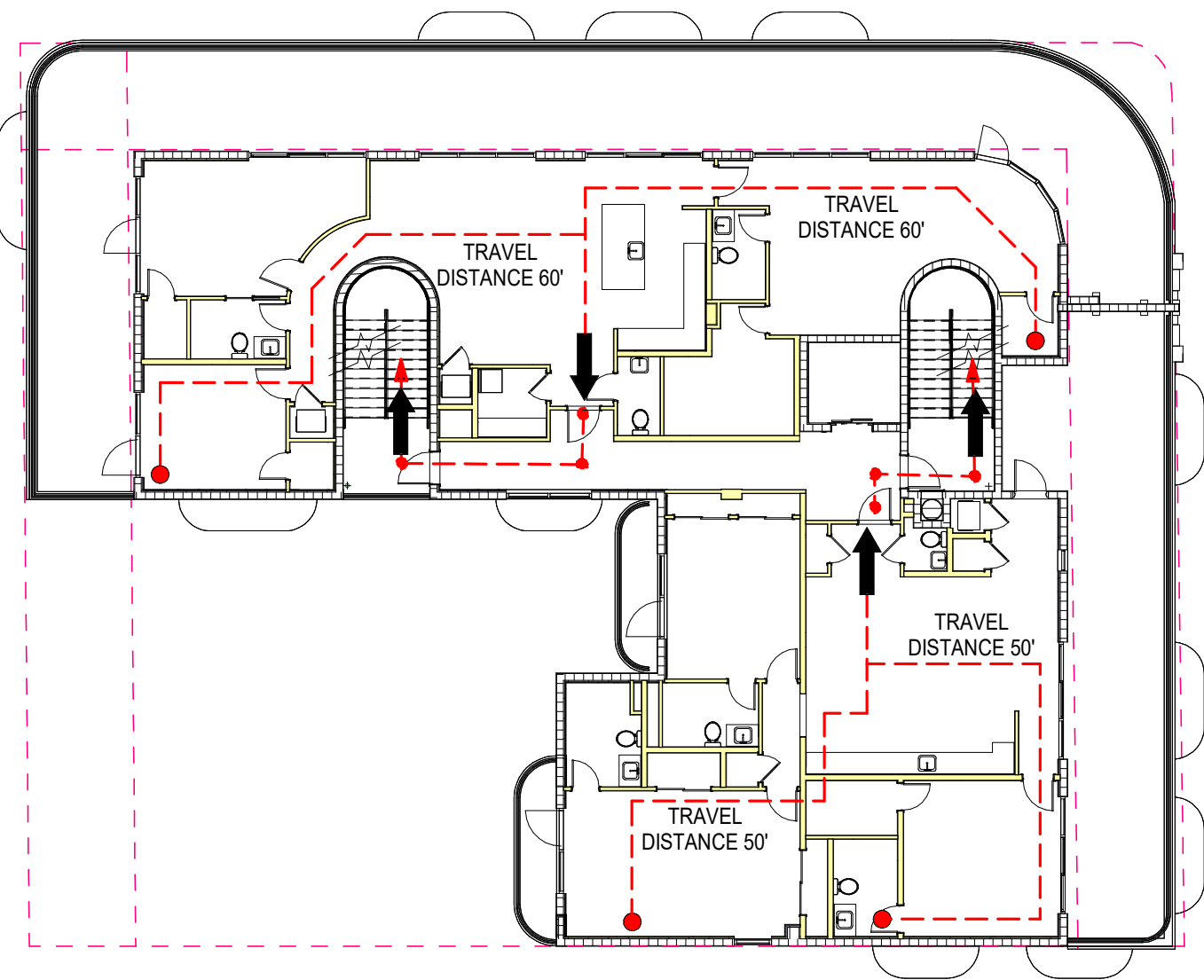
1 | FIRST FLOOR PLAN
A-0.30 SCALE: 1/16" = 1'-0"



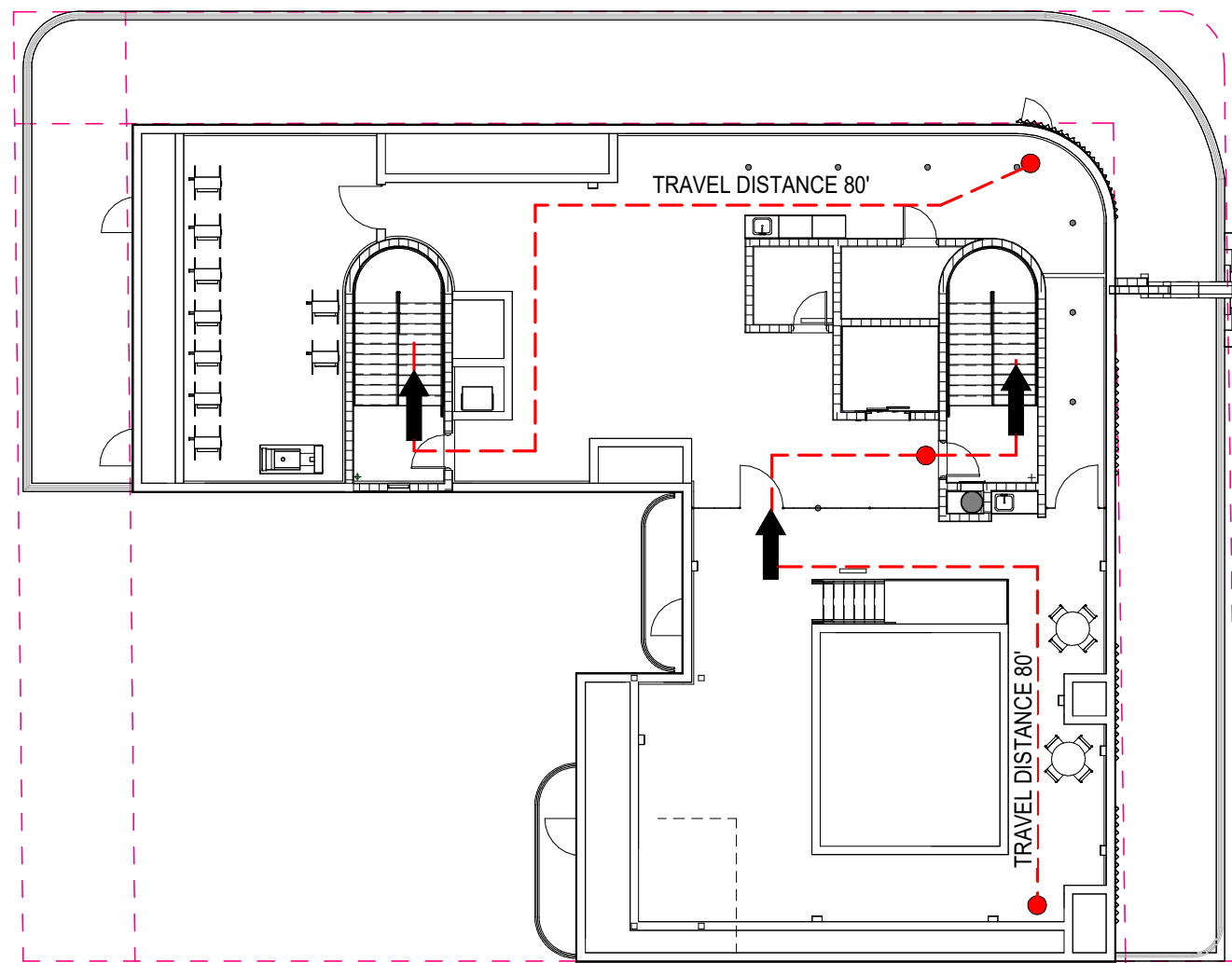
2 | SECOND FLOOR PLAN
A-0.30 SCALE: 1/16" = 1'-0"



3 | LIFE SAFETY - THIRD FLOOR PLAN
A-0.30 SCALE: 1/16" = 1'-0"



4 | LIFE SAFETY - FOURTH FLOOR PLAN
A-0.30 SCALE: 1/16" = 1'-0"



5 | LIFE SAFETY - ROOF PLAN
A-0.30 SCALE: 1/16" = 1'-0"

OCCUPANY LOAD/PLUMBING CALCULATION		
OCCUPANCY LOAD (FBC 1004.5)	MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (FPC 403.1)	PROVIDED
1ST FLOOR COMMERCIAL (MERCANTILE) - 17 OCC	M- MERCANTILE: 1 WC PER 500; 1 LAV PER 750; 1 SERVICE SINK; 1 DRINKING FOUNTAIN PER 1,000	1ST FLOOR 1 WC, 1 LAV, 1 SERVICE SINK, 1 DRINKING FOUNTAIN
2ND FLOOR RESIDENCE - 31 OCC	R-2 RESIDENCE: PER UNIT: 1 WC, 1 LAV; 1 SHOWER; 1 KITCHEN SINK 1 CLOTHING WASHER CONNECTION PER 20 UNITS	2ND FLOOR PER RESIDENCE - 1 WC, 1 LAV, 1 SHOWER, 1 KITCHEN SINK, 1 WASHER CONNECTION
3RD FLOOR RESIDENCE - 31 OCC	R-2 RESIDENCE: PER UNIT: 1 WC, 1 LAV; 1 SHOWER; 1 KITCHEN SINK 1 CLOTHING WASHER CONNECTION PER 20 UNITS	3RD FLOOR PER RESIDENCE - 1 WC, 1 LAV, 1 SHOWER, 1 KITCHEN SINK, 1 WASHER CONNECTION
4TH FLOOR RESIDENCE - 31 OCC	R-2 RESIDENCE: PER UNIT: 1 WC, 1 LAV; 1 SHOWER; 1 KITCHEN SINK 1 CLOTHING WASHER CONNECTION PER 20 UNITS	3RD FLOOR PER RESIDENCE - 1 WC, 1 LAV, 1 SHOWER, 1 KITCHEN SINK, 1 WASHER CONNECTION
NOTES: PER FPC 410.2 SMALL OCCUPANCIES, DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER. PER FPC 403.8 EXCEPTION E, FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, SERVICE SINKS SHALL NOT BE REQUIRED. PER FPC 403.2 SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER.		

CODE RESEARCH AND TABULATION - PROFESSIONAL SERVICES			
APPLICABLE BUILDING CODE:		FLORIDA BUILDING CODE - EIGHTH EDITION 2023 - INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, & ACCESSIBILITY	
OCCUPANCY - SECTION 310.4		GROUP R2 - RESIDENTIAL	
TYPE OF CONSTRUCTION - TABLE 601		TYPE IIB	
		SPRINKLERED	
		ALLOWED	PROVIDED
MAXIMUM AREA - TABLE 506.2A		48,000 SF	20,460 GSF
MAXIMUM HEIGHT - TABLE 504.3A		75'	62'-5"
MAXIMUM NO. OF STORIES - TABLE 504.4A		5-STORY	5-STORY
FIRE PROTECTION OF EXTERIOR WALLS (TYPE IIB CONSTRUCTION PER FBC 2023 TABLE 601)		REQUIRED RATING	PROVIDED RATING
		0	0
FIRE SEPARATION BETWEEN OCCUPANCY GROUPS M & R-2 TABLE 508.4		1	1
MAXIMUM EXTERIOR WALL OPENING SF - TABLE 705.8 UNPROTECTED, SPINKLERED			
SOUTH, 5FT FROM PROPERTY LINE		25% OR 528 SF	524 SF
WEST, 20FT FROM CENTER OF ALLEY		NO LIMIT	391 SF
NORTH, 36FT FROM CENTER OF NE 4TH STREET		NO LIMIT	720 SF
EAST, 40FT FROM CENTER OF NE 6TH AVE		NO LIMIT	790 SF
OCCUPANCY LOADS TABLE - FBC 2023 1004.5			
OCCUPANCY GROUP		OCCUPANTS	PER TABLE 1004.5
R-2		(18,725 GSF / 200G) = 94	200 GROSS / OCC.
M		(1,000 GSF / 60G) = 17	60 GROSS / OCC.
EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)		250'	
MEANS OF EGRESS			
		RESIDENTIAL (R-2)	MERCANTILE (M)
		Required	Provided
STAIRWAYS 1005.3.1		44"	48"
OTHER EGRESS COMPONENTS 1005.3.2		44"	54"
MAX COMMON PATH OF TRAVEL Table 1006.2.1		125'	92'
NUMBER OF EXITS Table 1006.3.2		2	2
SIZE OF DOORS 1010.1.1		32"	32"
MIN. STAIR WIDTH 1011.2		44"	48"
MAX TRAVEL DISTANCE Table 1017.2		250'	85'
MIN. CORRIDOR WIDTH Table 1020.3		36"	54"
MAX DEAD END Table 1020.5		50'	N/A
FLORIDA FIRE PREVENTION CODE			
BASED ON FLORIDA FIRE PREVENTION CODE (7TH EDITION)			
OCCUPANCY - SECTION 6.1.10		RESIDENTIAL (R-2)	MERCANTILE (M)
		Req'd	Provided
MAX COMMON PATH OF TRAVEL NFPA Table A.7.6			
MAX DEAD END NFPA Table A.7.6			
MAX TRAVEL DISTANCE FBC Table A.7.6			
NOTES: BUILDING IS PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM.			



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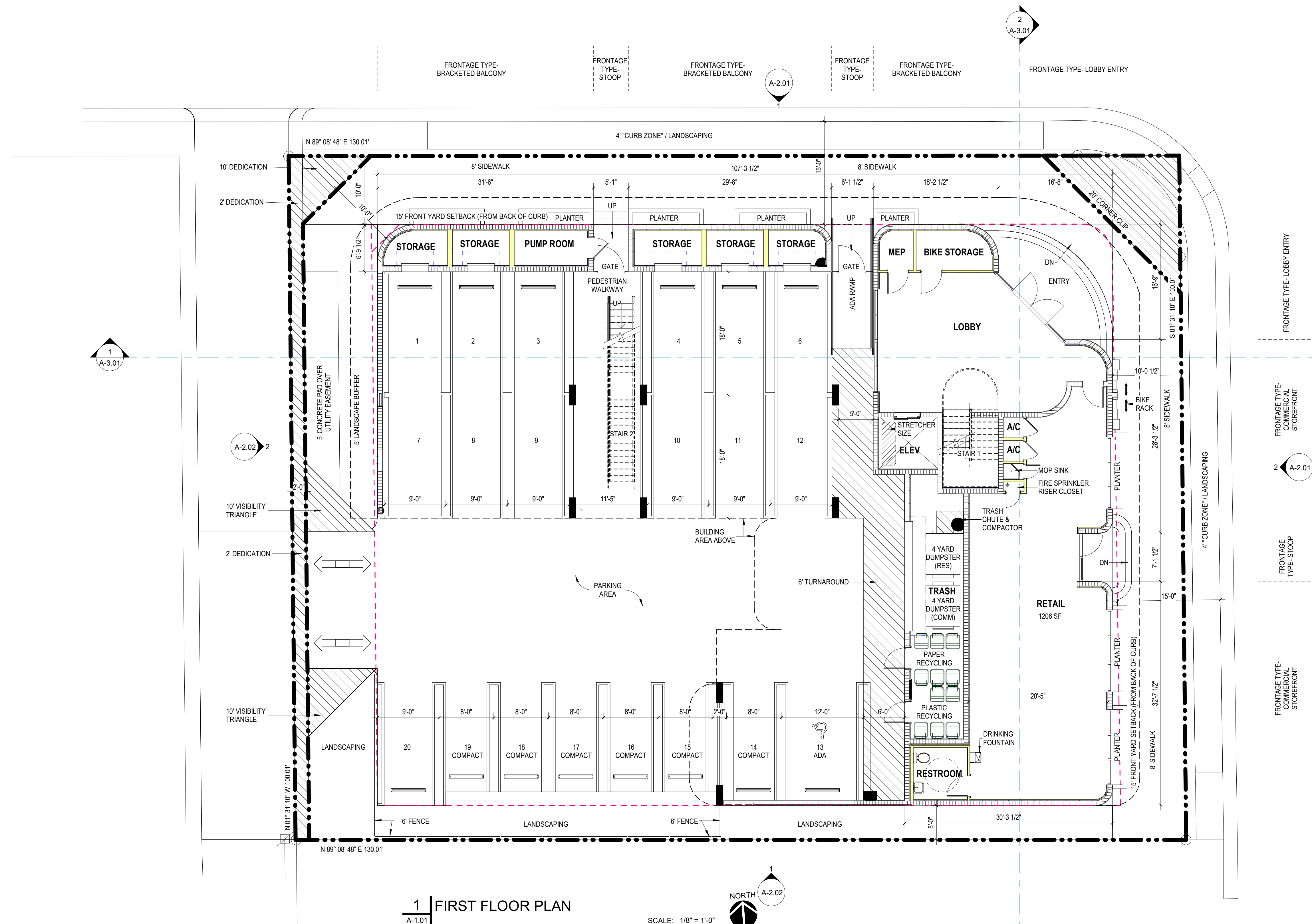
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
FIRST FLOOR PLAN

PRELIMINARY DESIGN

A-1.01



FLOOR PLAN LEGEND

	POURED IN PLACE CONCRETE (SEE WALL TYPES)
	RIGID INSULATION (SEE WALL TYPES)
	CMU PARTITION (SEE WALL TYPES)
	STUD WALL/FURRING (SEE WALL TYPES)
-----	ABOVE
	DOOR TAG (SEE DOOR SCHEDULE)
	WINDOW TAG (SEE WINDOW SCHEDULE)
	WALL TAG (SEE WALL TYPES)
	ROOM NUMBER

1. ALL EXTERIOR WALL DIMENSIONS NOTED ARE FROM FACE OF CMU TO FACE OF CMU.
2. ALL INTERIOR WALL DIMENSIONS NOTED ARE FROM FINISH FACE OF GWB TO FINISH FACE OF GWB UNLESS NOTED OTHERWISE.
3. ALL INTERIOR DOORS WILL BE LOCATED 4" FROM FINISH FACE OF GWB UNLESS NOTED OTHERWISE.
4. INTERIOR PARTITION DIMENSIONS ARE NOMINAL.



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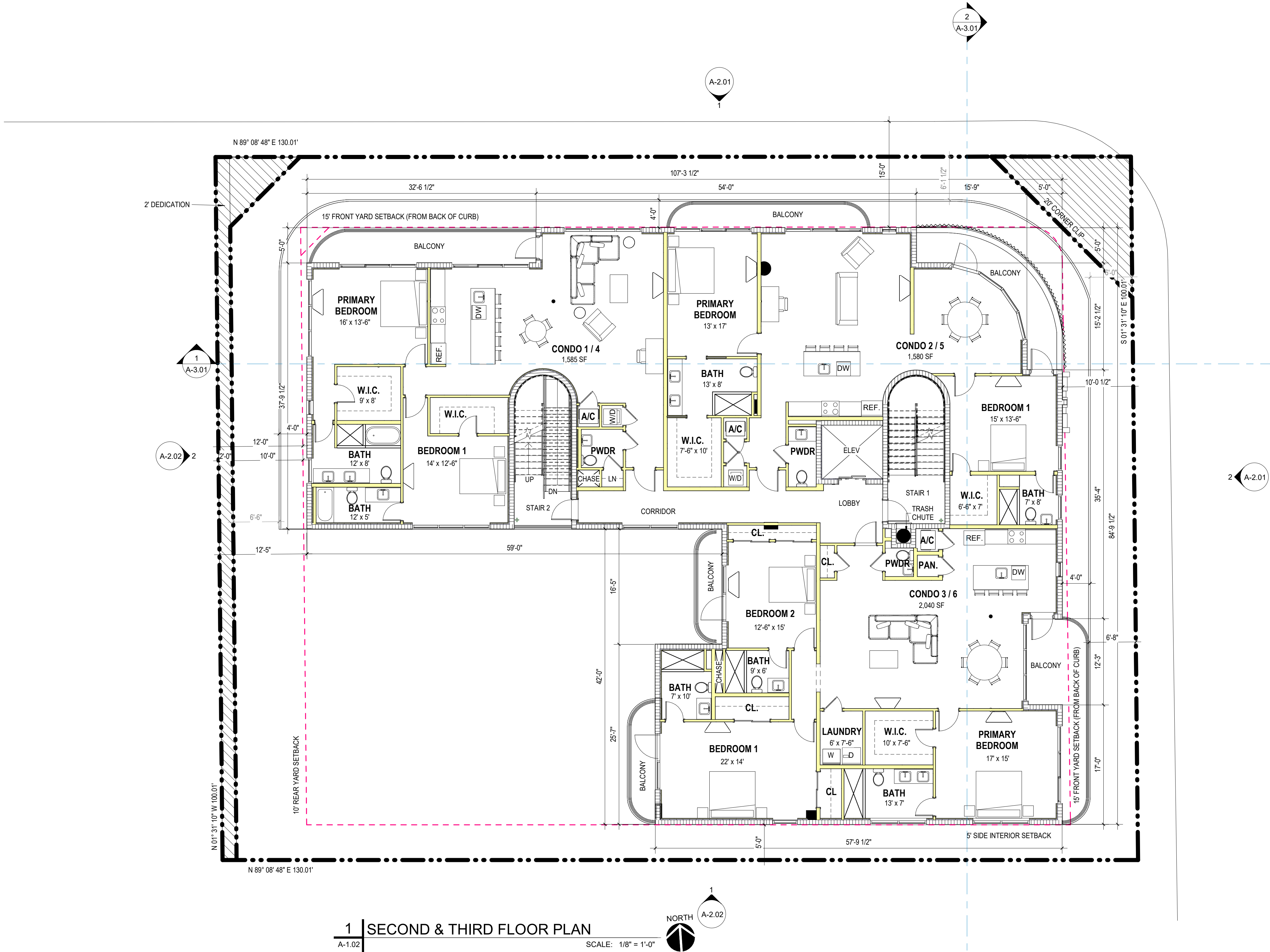
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SECOND & THIRD FLOOR PLAN

PRELIMINARY DESIGN

A-1.02



1 | SECOND & THIRD FLOOR PLAN

A-1.02

SCALE: 1/8" = 1'-0"



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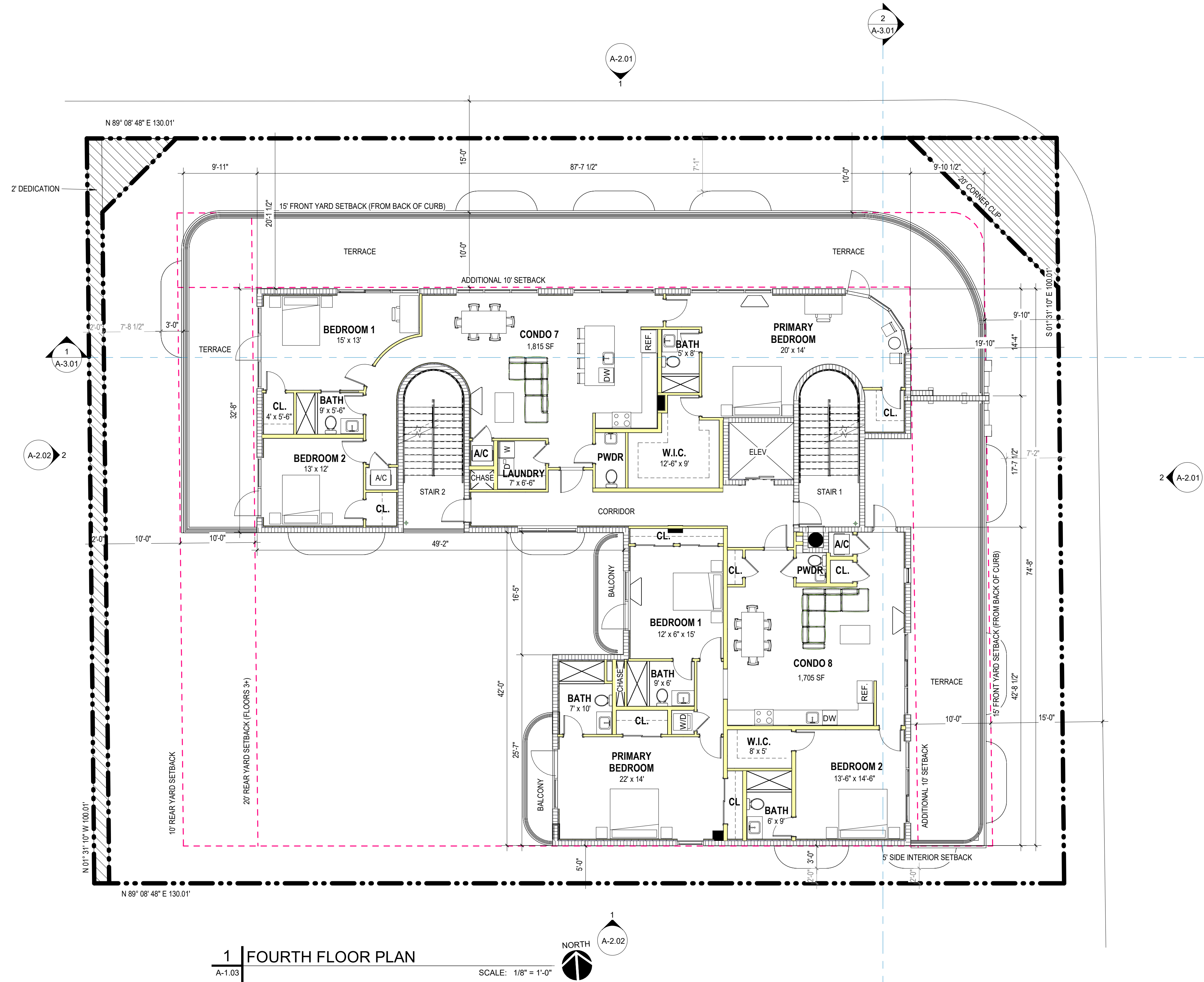
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FOURTH FLOOR PLAN

PRELIMINARY DESIGN

A-1.03





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ROOFTOP ZONING ANALYSIS		
DESCRIPTION	DIMENSIONAL REQUIREMENT	PROPOSED
ROOFTOP TERRACE AREA		2,936 SF
MAX. COVERED AREA	MAXIMUM (25%) / 734 SF	682 SF
MIN. VEGETATED AREA	MINIMUM (10%) / 294 SF	320 SF
MAX HEIGHT COVERED STRUCTURES	MAXIMUM 60 FT	60 FT
SWIMMING POOL	MAX 8 FT ABOVE TOP OF ROOF	4 FT
	MIN 5 FT WALKWAY AROUND	5 FT
RAILING/PARAPET	MIN 4 FT HEIGHT	4 FT
ELEVATOR	MAX HEIGHT- 10' ABOVE MAX BLDG HEIGHT (64FT)	62'-5"

FLOOR PLAN LEGEND

- POURED IN PLACE CONCRETE (SEE WALL TYPES)
- RIGID INSULATION (SEE WALL TYPES)
- CMU PARTITION (SEE WALL TYPES)
- STUD WALL/FURRING (SEE WALL TYPES)
- ABOVE
- DOOR TAG (SEE DOOR SCHEDULE)
- WINDOW TAG (SEE WINDOW SCHEDULE)
- WALL TAG (SEE WALL TYPES)
- ROOM NUMBER

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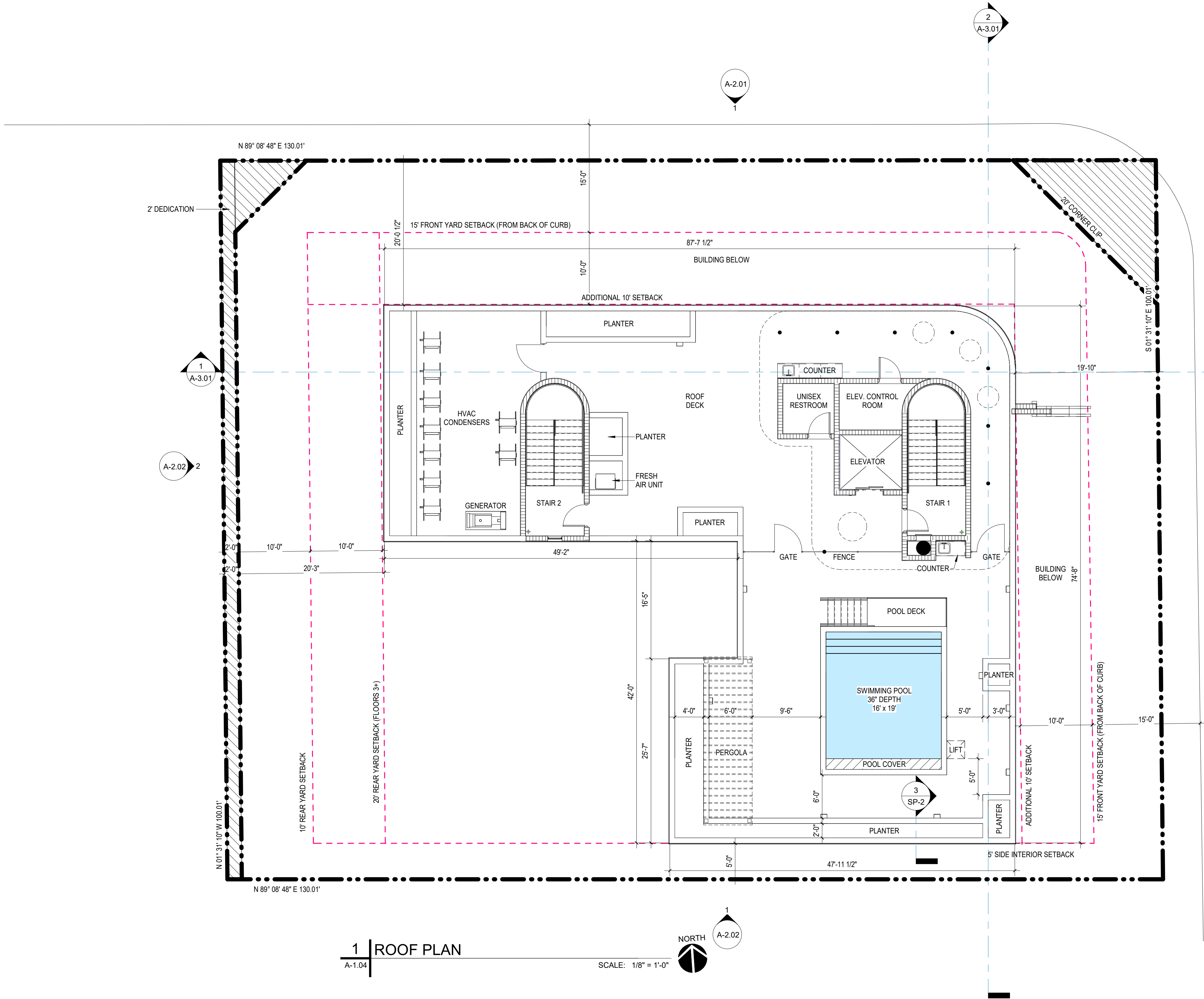
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ROOF PLAN

PRELIMINARY DESIGN

A-1.04





1 NORTH ELEVATION

A-2.01

SCALE: 1/8" = 1'-0"



2 EAST ELEVATION

A-2.01

SCALE: 1/8" = 1'-0"

MATERIALS LEGEND	
SYMBOL	MATERIAL / FINISH (TYPICAL)
A	STUCCO FINISH (COLOR SW 9541)
B	DECORATIVE STUCCO BANDING (COLOR SW 9166)
C	CONCRETE EYEBROW OVERHANG
D	IMPACT RESISTANT STOREFRONT ALUMINUM WINDOWS & DOORS
E	ALUMINUM RAILINGS, SILVER KYNAR FINISH
F	BUILDING SIGNAGE
G	PERFORATED METAL PANELS, MECHANICAL SCREENS
H	DECORATIVE LIGHT FIXTURE
I	DECORATIVE PRECAST PANEL
J	GREEN WALL

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BUILDING ELEVATIONS

A-2.01



1 | SOUTH ELEVATION

A-2.02 SCALE: 1/8" = 1'-0"



2 | WEST ELEVATION

A-2.02 SCALE: 1/8" = 1'-0"

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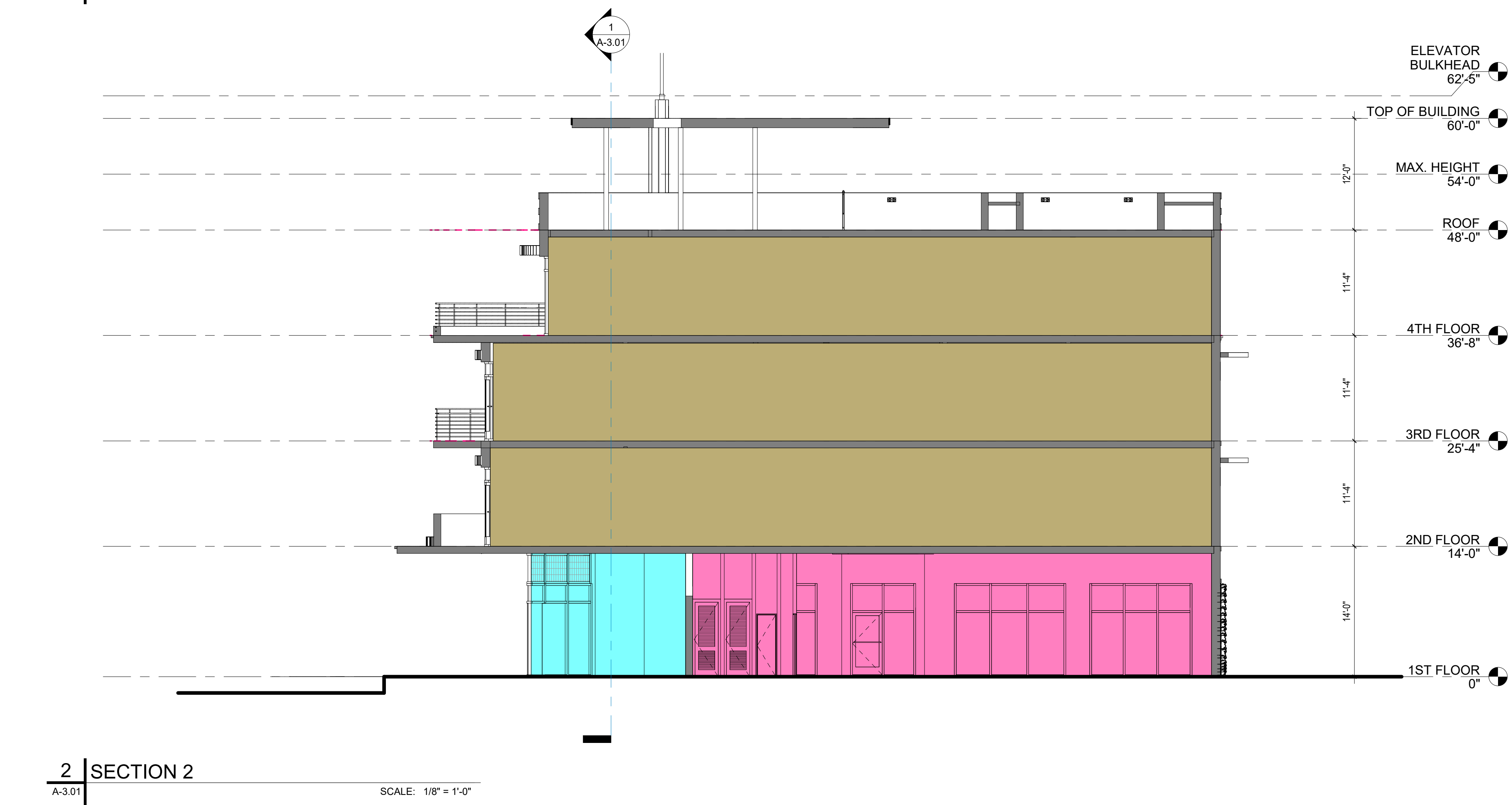
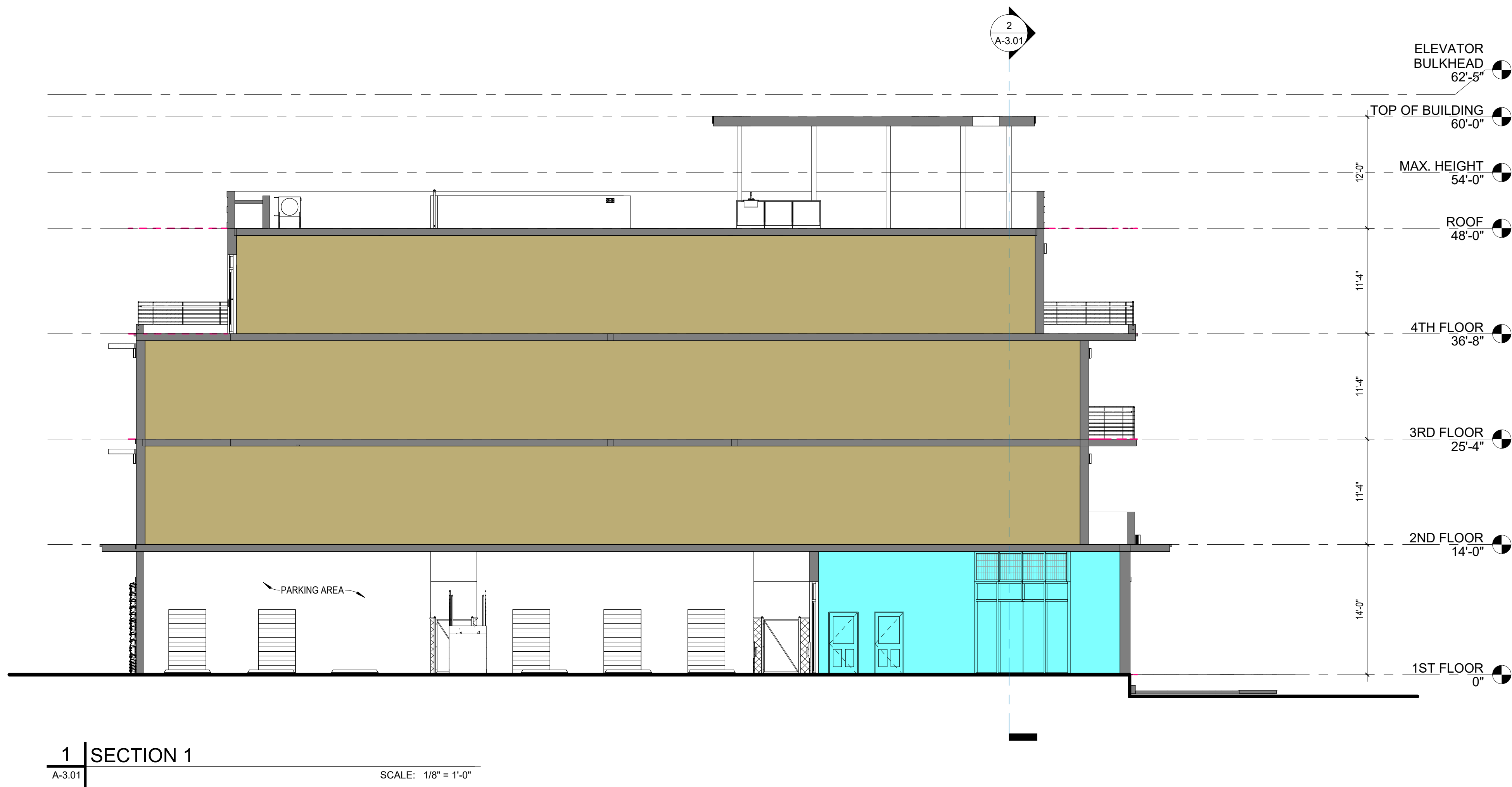
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BUILDING SECTIONS

A-3.01



COLOR LEGEND	
	SIDEWALK
	LANDSCAPING
	COMMERCIAL
	LOBBY
	BACK OF HOUSE
	RESIDENTIAL

PRELIMINARY DESIGN



NORTHWEST CORNER



ROOFTOP



SOUTHEAST CORNER



REAR ELEVATIONS

PROGRESS ARTIST RENDERINGS.
SUBJECT TO CHANGE. NOT TO SCALE.

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Rick Gonzalez, AIA
President
FL License AR0014172
120 South Olive Ave. Ste. 210,
West Palm Beach, FL 33401
P (561) 659-2383
www.regarchitects.com

398 NE 6TH AVENUE DEVELOPMENT

398 NE 6th AVENUE, DELRAY
BEACH, FL 33483

NO.	DATE	DESCRIPTION
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DATE	3/27/2025
MODELED	DA
CHECKED	MA/REG
PROJECT #	23036
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RENDERINGS- SECONDARY
FACADES & ROOFTOP

PRELIMINARY DESIGN

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