



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Harbor Freight
Project Location: 1509 – 1513 S. Congress Avenue
Request: Class II Site Plan Modification and Architectural Elevations
Board: Site Plan Review and Appearance Board
Meeting Date: February 8, 2017

Board Action:

Approved (4-0, Roger Cope, Vlad Dumitrescu and Laura Sullivan absent) for site plan approval (4-0, Roger Cope, Vlad Dumitrescu and Laura Sullivan absent) for architectural elevation changes associated with a Class II site plan modification with the condition that moving forward a comprehensive complete view of all approved elevations is consistent with this application and prior approvals.

Project Description:

The subject property is 8.36 acres and contains a 105,775 sq. ft. shopping plaza consisting of various retail, restaurant, office and medical uses in an existing shopping center known as Linton Square. The site was constructed in 1985.

The proposed improvements include:

- Installation of a concrete entry ramp
- Installation of a 20 x 20 concrete receiving pad
- The restriping of 34 compact spaces, 2 handicap spaces and 15 standard spaces
- Architectural elevation changes to the front façade
- New entry doors and rear doors in the same openings

Staff Recommendation:

Approve

Board Comments:

none

Public Comments:

None

Next Action:

The SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

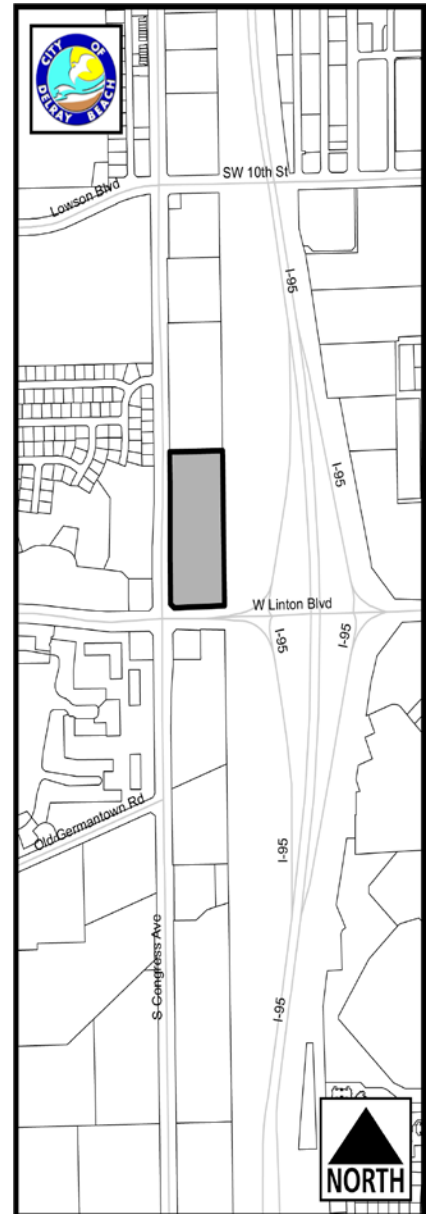
MEETING DATE: February 8, 2017

ITEM: Harbor Freight (2017-280) Approval of a Class II Site Plan Modification for Harbor Freight pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(b).

RECOMMENDATION: Approval

GENERAL DATA:

Owner.....	Gator Linton Partners LTD
Applicant.....	Rachel Myers
Location.....	On the East Side of Congress Ave North of Linton Blvd.
Existing land Use.....	Shopping Plaza
Property Size.....	8.36 Acres
Future Land Use Map.....	CMU (Congress Avenue Mixed Use)
Current Zoning.....	MROC (Mixed Residential Office & Commercial)
Adjacent Zoning.....North:	MROC (Mixed Residential Office & Commercial)
East:	CD (Conservation District)
South:	MROC
West:	R-1-A (Single Family Residential), RM (Multiple Family Residential – Medium Density) & POD (Professional Office District)



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Applicant: Rachel Myers
Project Name: Harbor Freight, Linton Square
Project Location: 1509 – 1513 S. Congress Avenue

ITEM BEFORE THE BOARD

The action before the Board is approval of a Class II Site Plan Modification for Harbor Freight pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(b).

BACKGROUND

The subject property is 8.36 acres and contains a 105,775 sq. ft. shopping plaza consisting of various retail, restaurant, office and medical uses in an existing shopping center known as Linton Square. The site was constructed in 1985.

On October 10, 2016, the Site Plan Review and Appearance Board approved a Class I site plan modification which minor renovations which include elevating the front façade and the installation of HVAC screens on the rear of the building for the junior anchor tenants.

PROJECT DESCRIPTION

The proposed improvements include:

- Installation of a concrete entry ramp
- Installation of a 20 x 20 concrete receiving pad
- The addition of 34 compact spaces, 2 handicap spaces and 18 standard spaces
- Architectural elevation changes to the front façade
- New entry doors and rear doors in the same openings

SITE PLAN MODIFICATION ANALYSIS

Items identified in the Land Development Regulations shall be specifically addressed by the body taking final action on the site and development proposal.

LDR Chapter 4.6 Supplementary District Regulations:

Parking

Pursuant to LDR Section 4.6.9(C)(3)(e), parking shall be provided at a rate of 4 spaces per 1,000 sq. ft. for shopping centers. For the existing 105,775 sq. ft. shopping center, 423 spaces are required. The addition of the Dunkin Donuts that was approved in April of 2016 which is an addition of 1,500 sq. ft. shall share parking with the balance of the site. Currently, 415 spaces exist on site. The site has an existing nonconformity with respect to parking. The current

proposal includes removing one space in the front and restriping it for a handicap accessible entry ramp and removing 4 spaces in the rear for the 20 x 20 concrete pad. The applicant is restriping 51 parking spaces to maintain the current 415 parking spaces on site. There will be 34 compact spaces, two handicap spaces, and 15 standard spaces. The proposed percentage of the compact spaces is 12.5% and 30% is allowed. The applicant will restripe all new spaces and provide wheel stops. Therefore, the parking requirement has been met. Plans indicate that the two-way drive aisle width requirement is met.

ARCHITECTURAL ELEVATION ANALYSIS

Pursuant to **LDR Section 4.6.18(E)**, the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed elevation changes include relocating the main entrance from the south and moving the doors to the north of the existing three windows. The doors will be automatic bi parting sliding doors finished in a dark bronze. The existing openings will be infilled to match the building. The northern most part of the front will remove the existing 3 entrance doors and replace with windows to bring consistency to the facade. The existing doors in the rear will be replaced with two new doors with the same openings and one new enlarged overhead door. Two additional doors in the rear will be infilled.

The façade changes include the addition of a parapet wall to accommodate signage that is 15' 9 ½" high by 35'10" wide. The removal of the existing clay tile roofing is required for the installation of the parapet and will be re-installed after the construction of the parapet. The cornice and sheathing will be removed to expose the existing frame and the existing clay roof and coping is to remain. The signboard is to accommodate signage that was previously approved under a Master Sign Program on October 10, 2016.

Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E) subject to compliance with the recommended conditions of approval.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Approve the Class II site plan modification and architectural elevations for Harbor Freight located at 1585 S. Congress Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(1)(b), 4.6.18(E).

- C. Deny the Class II site plan modification and architectural elevations for Harbor Freight located at 1585 S. Congress Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(G)(1)(b), 4.6.18(E).

RECOMMENDATION

By Separate Motions:

Site Plan Modification:

Approve the Class I site plan modification for Harbor Freight located at 1585 S. Congress Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Land Development Regulations set forth in sections 2.4.5(G)(1)(b).

Architectural Elevations:

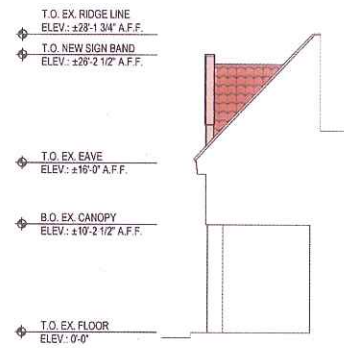
Approve the architectural elevations for Harbor Freight located at 1585 S. Congress Avenue; by adopting the findings of fact and law contained in the staff report, and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

Report Prepared By: Jennifer Buce, Assistant Planner

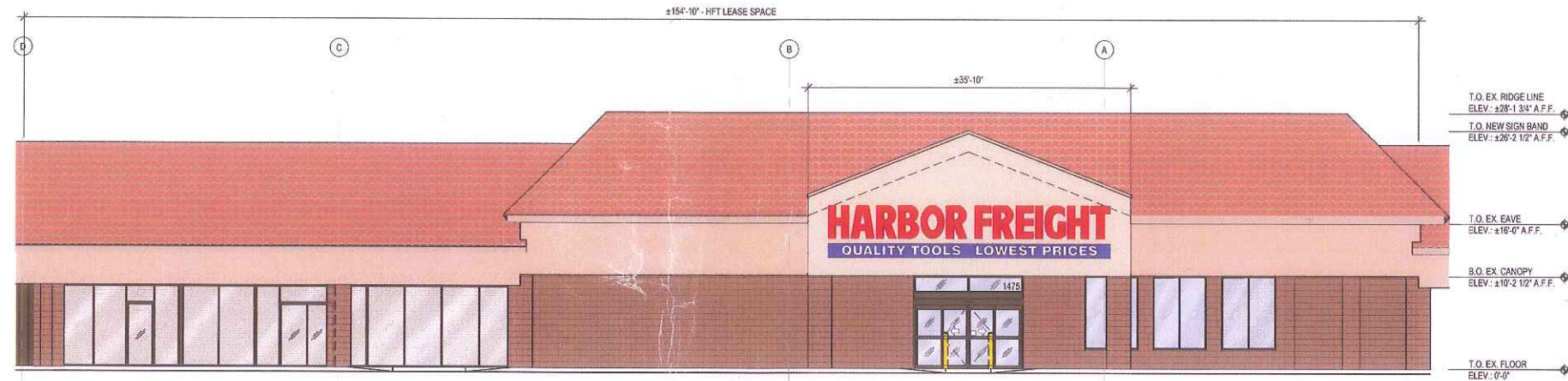
Attachments: Survey; Site Plan; Location Map; Existing Photographs



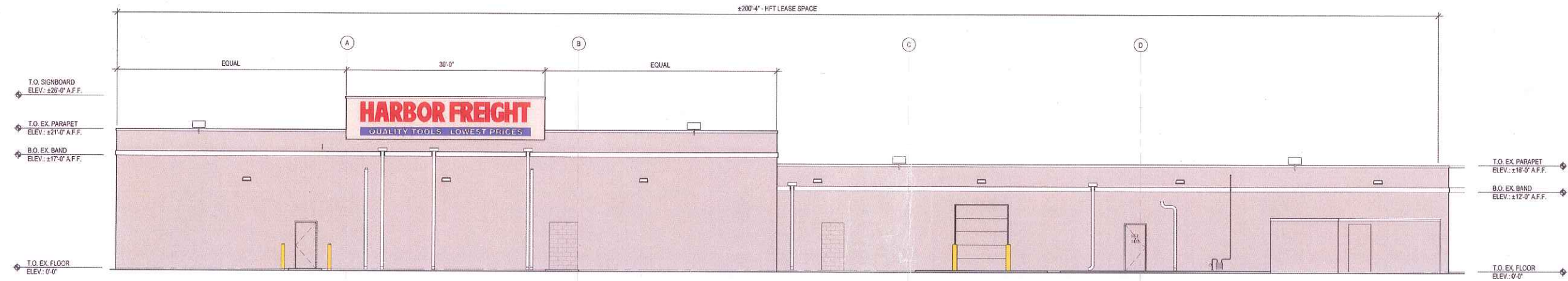
EXISTING WEST ELEVATION
SCALE: NTS



1B PARTIAL NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

KLS
ARCHITECT

Kurt L. Schmitz, Architect
17710 Deer Lake Circle, Suite 4107
Delray Beach, FL 33445
Phone (561) 521-5134 • Fax (561) 521-4824 • www.klsarchitects.com

HARBOR FREIGHT TOOLS
1475 SOUTH CONGRESS AVENUE
DELRAY BEACH, FL 33445

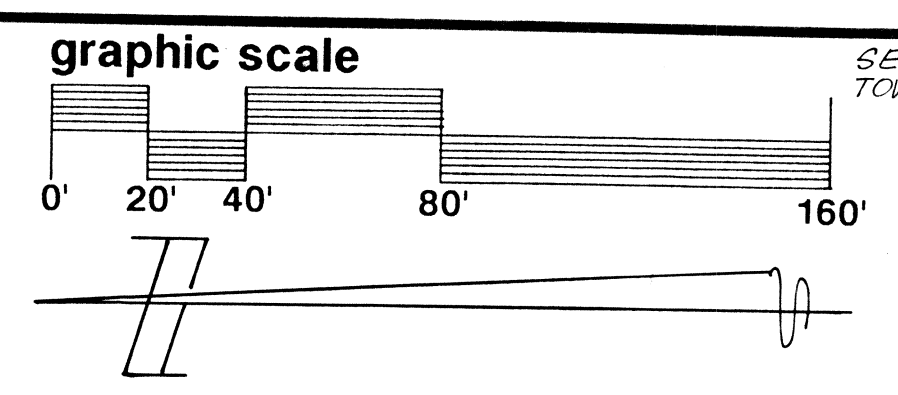
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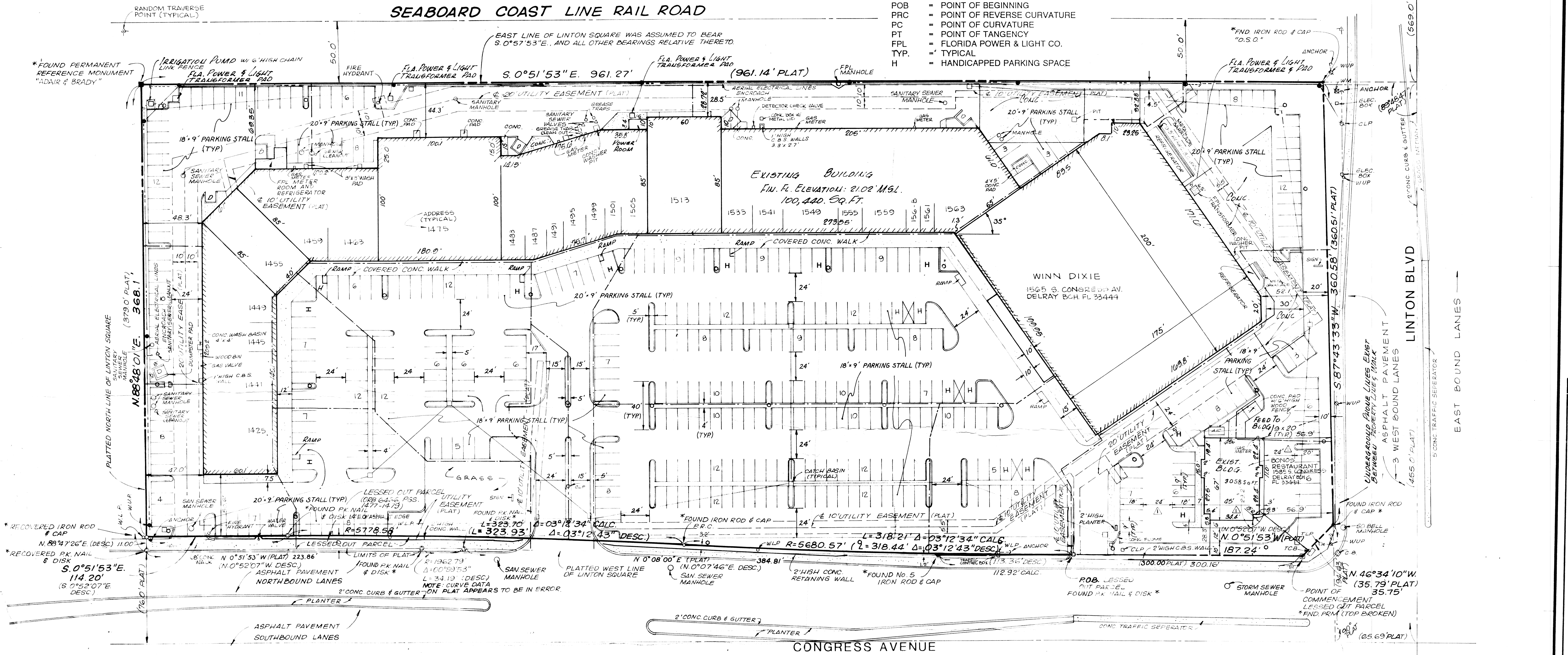
EXTERIOR ELEVATIONS
DATE: 9/06/16
JOB NO.: 16243
A3.0
SHEET NO.



- LEGEND**
- SAN - SANITARY
 - R - RADIUS
 - L - LENGTH OF ARC
 - CONC. - CONCRETE
 - FND - FOUND
 - CLP - CONC LIGHT POLE
 - WUP - WOOD UTILITY POLE
 - WLP - WOOD LIGHT POLE
 - TCB - TRAFFIC CONTROL BOX
 - TLP - TRAFFIC LIGHT POLE
 - SO - SOUTHERN
 - PRM - PERMANENT REFERENCE MONUMENT
 - POB - POINT OF BEGINNING
 - PRC - POINT OF REVERSE CURVATURE
 - PC - POINT OF CURVATURE
 - PT - POINT OF TANGENCY
 - FPL - FLORIDA POWER & LIGHT CO.
 - TYP. - TYPICAL
 - H - HANDICAPPED PARKING SPACE



SE CORNER OF SECTION 19, TOWNSHIP 46 S., RANGE 43 EAST



LEGAL DESCRIPTION

All of the PLAT OF LINTON SQUARE, according to the Plat thereof as recorded in Plat Book 50, pages 110 and 111, Public Records of Palm Beach County, Florida.

LESS AND EXCEPT the following described parcel:

A portion of "LINTON SQUARE", according to the Plat thereof, as recorded in Plat Book 50, pages 110 and 111, of the Public Records of Palm Beach County, Florida, and being more particularly described as follows:

Commencing at the Northernmost Southwest corner of said "LINTON SQUARE"; thence North 00°52'07" West, along the West line of said "LINTON SQUARE", a distance of 187.24 feet to the POINT OF BEGINNING of the herein described parcel; thence continue North 00°52'07" West, a distance of 113.36 feet; thence North 00°07'46" East, a distance of 384.81 feet to the point of curvature of a circular curve, concave Westerly; thence Northerly along the arc of said curve, having a radius of 1962.79 feet, a central angle of 00°59'53" and an arc distance of 34.19 feet to the point of tangency; thence North 00°52'07" West, a distance of 223.86 feet to a point on the North line of said "LINTON SQUARE", the last four described courses and distances being along the said West line of "LINTON SQUARE"; thence North 88°47'26" East, along the North line of said "LINTON SQUARE", a distance of 11.00 feet; thence South 00°52'07" East, a distance of 114.20 feet to the point of curvature of a circular curve, concave Westerly; thence Southerly along the arc of said curve, having a radius 5778.58 feet, a central angle of 3°12'43" and an arc distance of 323.93 feet to the point of reverse curvature of a circular curve, concave Easterly; thence Southerly along the arc of said curve, having a radius of 5680.57 feet, a central angle of 3°12'43" and an arc distance of 318.44 feet to the POINT OF BEGINNING.

Said lands situate, lying and being in the City of Delray Beach, Palm Beach County, Florida, and containing 4757 square feet more or less.

SETBACK REQUIREMENTS

FRONT	50'
SIDE INTERIOR	15'
SIDE CORNER	25'
REAR	20'

* FOUND POINT ON UPDATE SURVEY OF APRIL 23, 1997

NET AREA 8.36 ACRES (364,349 SQ. FT.)
 POWER POLE & OVERHEAD POWER LINE
 CONCRETE LIGHT POLES

TOTAL NUMBER OF PARKING SPACES = 431 (INCLUDES 16 HANDICAPPED)
 D REPRESENTS DUMPSTER LOCATION
 DESC. REFERS TO THE LEGAL DESCRIPTION CONTAINED
 IN THAT R/W DEED RECORDED IN O.R.B. 6466, PG. 1477

LAND SURVEYOR'S CERTIFICATION

"I hereby certify to American Enterprise Life Insurance Company, its successors and/or assigns, Allen J. Rapoport, Esq., Commonwealth Land Title Insurance Company, and Greenberg, Traurig, Hoffman, Lipoff and Quentel, P.A., that this plat represents a true and correct survey made on the ground under my direct supervision on April 23, 1997; this survey has been prepared to comply with the "Minimum Standard Detail Requirements for Land Title Surveys" jointly established and adopted by ALTA and ACSM in 1992 in accordance with the survey requirements provided which includes Table A Items No. 1, 2, 3, 4, 7(a), 7(b), 8, 9, 10, 11, 11(a) and 13 as specifically defined therein, and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey; that these buildings do not encroach on street, title or building lines, nor are there visible encroachments by improvements from adjoining properties.

THE UNDERSIGNED HEREBY FURTHER CERTIFIES that this survey meets the technical standards set forth in Chapter 61G17-6, F.A.C. by the Florida Board of Surveyors and Mappers, pursuant to Section 472.027, Florida Statutes.

BY: *Dennis Painter*
 Dennis Painter, Registered Land Surveyor
 State of Florida Certificate No. 3542
 Not valid without embossed Surveyor's Seal affixed.

CERTIFIED TO:
 AMERICAN ENTERPRISE LIFE INSURANCE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS
 ALLEN J. RAPOPORT, ESQ.
 COMMONWEALTH LAND TITLE INSURANCE COMPANY
 GREENBERG, TRAURIG, HOFFMAN, LIPOFF AND QUENTEL, P.A.

DRAINAGE AREA BOUNDARY
 AS SHOWN ON THE ORIGINAL ENGINEERING PLANS

PARCEL LOCATED IN FIRM FLOOD ZONE D
 (PER F.E.M.A. FLOOD ZONE MAP - COMMUNITY PANEL NO. 125102-0004-C, DATED SEPT 30, 1982.)

REFERENCE WAS MADE TO COMMONWEALTH LAND TITLE INSURANCE CO. COMMITMENT NO. 864-035413, DATED MARCH 11, 1997

NOTE: SEE SHEETS 2 AND 3 FOR UTILITY LOCATIONS.

THIS SURVEY OF THE PROPERTY SHOWN HEREON IS IN ACCORDANCE WITH THE DESCRIPTION FURNISHED BY:
 RAPOPORT & TRAY
 NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE FOR THE ACCURACY OR OMISSIONS OF THE DESCRIPTION FURNISHED.

Ref: L5 6224, L5 6225

4	B 6 92	AMS	DP
1	23 17	26	92089
5	B 12 96	ME	JK
100	0100	Dim	50 Ft.
2	B 7 90	ME	JK
2	B 19 88	AM	KJ
1	B 19 88	AM	KJ
1	B 19 88	AM	KJ

Cal	Ck	Ck	Appr
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Date	10/84	Scale	1" = 40'
Dr	ML	Ck	KJ
Asst		Asst	KJ
By	P	W.D.	4038H

FP 1421

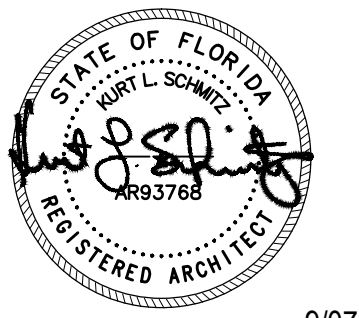
UPDATE SURVEY 93087A 4/23/97 KC
 UPDATE SURVEY 10-22-93 93087 KC
 Add. No. PARKING SPACES 7880
 UP DATED 6-23-86 EH

HARBOR FREIGHT TOOLS

1475 S. CONGRESS STREET

EXTERIOR IMPROVEMENTS

DELRAY BEACH, FL 33445



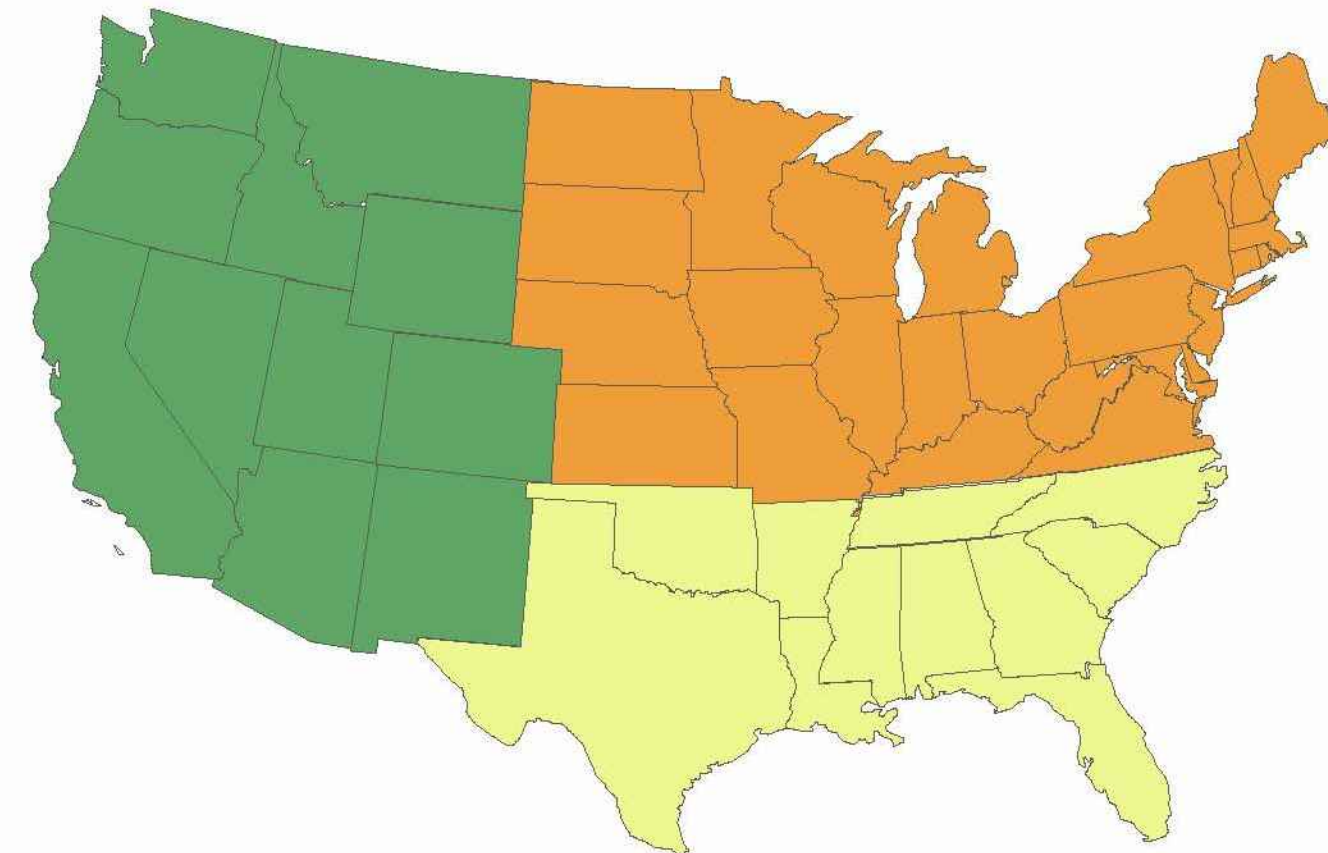
9/07/16

SIGN VENDOR LIST

Harbor Freight Tools Sign Vendor Territories

Vendors

- Southern US
Atlas Sign Industries
- Northern US
Urban Neon
- West Coast
Coast Sign Inc.



SIGN VENDOR (SOUTHERN)

ATLAS SIGN INDUSTRIES
1077 W. BLUE HERON BLVD.
WEST PALM BEACH, FL 33404
CONTACT: SCOTT HUNT
T: (561) 863-6659
CELL: (305) 582-5718
EMAIL: Scott.H@atlassignindustries.com

SIGN VENDOR (NORTHERN)

URBAN NEON ELECTRIC SIGN CO.
500 PINE STREET SUITE 30
HOLMES, PA 19043
CONTACT: JIM MALIN
T: (610) 522-5555
EMAIL: jim@urbanneon.com

SIGN VENDOR (WEST COAST)

COAST SIGN, INC.
1500 W. EMBASSY ST.
ANAHEIM, CA 92802
CONTACT: THERESA HEITKAMP
T: (714) 999-1976
EMAIL: theresa.heitkamp@coastsign.com

NOTE:
ALL SIGNAGE AND PERMITS FOR SIGNAGE ARE BY OTHERS AND NOT PART OF THE BUILDING PERMIT PACKAGE. NO BUILDING SIGNAGE WORK TO BE PERFORMED AS PART OF THIS PROJECT PERMIT.

CODE AND BUILDING DATA

- PROJECT SCOPE:**
EXTERIOR ALTERATIONS INCLUDING NEW BI-PARTING ENTRY/EXIT DOOR, NEW CONCRETE ACCESSIBLE CURB RAMP, NEW SALES AND RECEIVING AREA EGRESS MAN DOORS, NEW SIGNBOARD EXTENSION AT EAST AND WEST SIDES OF BUILDING, NEW 8'-0" W x 10'-0" H RECEIVING DOOR, NEW CONCRETE 20'x20' RECEIVING PAD, NEW MASONRY INFILLS OF EXISTING OPENINGS NOT RE-USED AND NEW EXTERIOR SIGNAGE, (UNDER A SEPARATE PERMIT).
- DEFERRED SUBMITTALS:**
- BUILDING SIGNAGE
- APPLICABLE CODES:**
BUILDING CODE: 2014 FLORIDA BUILDING CODE
ENERGY CODE: 2014 FLORIDA ENERGY CODE
MECHANICAL CODE: 2014 FLORIDA MECHANICAL CODE
ELECTRICAL CODE: 2014 FLORIDA ELECTRICAL CODE
PLUMBING CODE: 2014 FLORIDA PLUMBING CODE
FIRE CODE: 2014 FLORIDA FIRE CODE
- USE and OCCUPANCY CLASSIFICATION:**
M - MERCANTILE
- CONSTRUCTION CLASSIFICATION (TYPE):**
IIB - FULLY SPRINKLERED
BUILDING CONSTRUCTION SUMMARY:
• EXISTING PRE-CAST CONCRETE TILT-UP WALLS
• EXISTING CONCRETE SLAB ON GRADE FLOOR
• EXISTING STEEL ROOF STRUCTURE WITH STEEL ROOF DECK.
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS):
STRUCTURAL FRAME: 0 HOURS INTERIOR NONBEARING WALLS: 0 HOURS
EXTERIOR BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS
INTERIOR BEARING WALLS / COLUMNS: 0 HOURS ROOF CONSTRUCTION: 0 HOURS
- ALLOWABLE HEIGHT and BUILDING AREAS:**
ALLOWABLE AREA: 50,000 SQ. FT. (12,500 SQ. FT. PLUS SPRINKLER AREA INCREASE 300%)
SALES AREA: 9,637 SQ. FT.
SALES REPLENISHMENT AREA: 5,579 SQ. FT.
OFFICE AREA: 719 SQ. FT.
ELECTRICAL AREA: 117 SQ. FT.
TOTAL AREA: 16,052 SQ. FT.
ALLOWABLE HEIGHT: 55'-0"
ACTUAL HEIGHT: ±28'-2"
- OCCUPANT LOAD:**
ACTUAL INTERIOR AREA BUILDING: 15,931 SQ. FT.
FUNCTION OF SPACE FLR. AREA / OCC. CALCULATION ALLOWABLE
M - SALES 30 GROSS 9,637 SQ. FT. (SALES AREA) 321 OCCUPANTS
M - CORE AREA 100 GROSS 719 SQ. FT. (BUSINESS) 8 OCCUPANTS
M - STOCK 300 GROSS 5,579 SQ. FT. (STOCK AREA) 19 OCCUPANTS
M - MECHANICAL 300 GROSS 117 SQ. FT. (ELECTRICAL EQUIP. AREA) 1 OCCUPANTS
349 OCCUPANTS
ANTICIPATED OCCUPANT LOAD FOR HARBOR FREIGHT TOOLS: 150 MAX FROM HISTORICAL DATA
- EGRESS REQUIREMENTS:**
REQUIRED EGRESS WIDTH: 349 OCC. x 0.2 = 69.8"
PROVIDED EGRESS WIDTH: 136" (1 - 68" BREAK AWAY, 2 - 34" EGRESS MAN DOORS)
REQUIRED EXIT ACCESS TRAVEL DISTANCE: 250'
PROVIDED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250'
MIN. NUMBER OF EXITS REQUIRED / PROVIDED: 2 EXITS REQUIRED / 3 EXITS PROVIDED

LIST OF DRAWINGS

SHEET NO.	DRAWING NAME	ISSUE DATE	REVISION DATE
PROJECT ORIENTATION			
A0.0	COVER SHEET	9/06/16	
SITE			
AS1.0	ARCHITECTURAL SITE PLAN	9/06/16	
DEMOLITION			
D1.0	DEMOLITION PLAN - SITE	9/06/16	
ARCHITECTURAL			
A3.0	EXTERIOR ELEVATIONS	9/06/16	
A3.1	SIGNBOARD EXTENSION DETAILS	9/06/16	
STRUCTURAL			
S2.0	GENERAL STRUCTURAL NOTES & PLAN	9/06/16	
S2.1	SECTIONS	9/06/16	

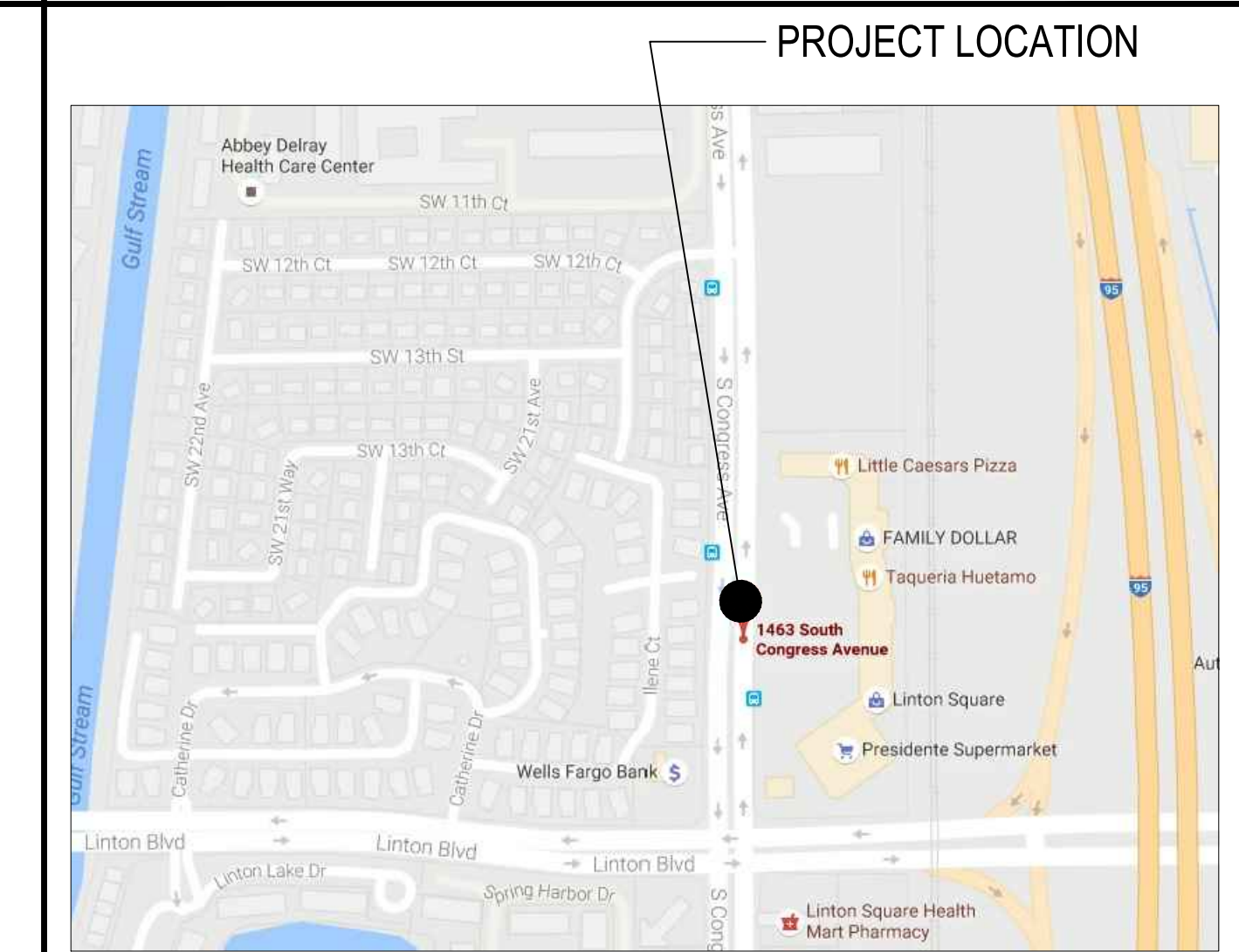
VENDOR LIST

IT CHECKLIST	ADDRESS VERIFICATION / METER SERVICES			
MUST HAVE CHECK LIST: <input type="checkbox"/> PROJECT MANAGERS CONTACT INFORMATION INCLUDING EMAIL ADDRESS <input type="checkbox"/> CONTRACTOR INFORMATION 1 WEEK BEFORE CONSTRUCTION STARTS (PROTRACK TRIGGER VIA EMAIL) <input type="checkbox"/> GENERAL CONTRACT INFO INCLUDING EMAIL ADDRESSES <input type="checkbox"/> SITE FOREMAN INFO INCLUDING EMAIL ADDRESS <input type="checkbox"/> CONFIRMED ADDRESS WITH MPQE LOCATION (CLOSET, DIMARK, ETC) <input type="checkbox"/> STANDARD STORE SET UP IS 2 LINES IN A HUNT GROUP, 1 LINE FOR BACK UP COMMUNICATION, AND 1 ALARM LINE. IF WE NEED MORE DEDICATED ALARM LINES TO PASS CITY CODE, NEED TO KNOW THAT UPFRONT	COST CONTROL ASSOCIATES 310 BAY ROAD QUEENSBURY, NY 12804 CONTACT: DAVE SADLOCHA T: (518) 824-0311			

HFT VENDOR SCOPE OF WORK SUMMARY

- SIGNAGE:**
- FURNISH AND INSTALL EXTERIOR SIGNAGE. POWER AND BLOCKING BY G.C.
 - FURNISH ALL INTERIOR SIGNAGE.
- NOTE:**
G.C. SHALL MANAGE ALL WARRANTY ITEMS AND REMEDIES INCLUDING MANAGING SUB-CONTRACTORS, VENDORS AND HFT VENDORS FOR A PERIOD OF (1) YEAR FROM TURNOVER

SITE VICINITY MAP



PROJECT DIRECTORY

BLDG. DEPT. CONTACT	HARBOR FREIGHT TOOLS	HARBOR FREIGHT TOOLS	ARCHITECT CONTACT
CITY OF DELRAY BEACH 100 NW 1st AVENUE DELRAY BEACH, FL 33444 T: (561) 243-7200	HARBOR FREIGHT TOOLS 26541 AGOURA ROAD CALABASAS, CA 91302 CONTACT: DOUG HORROCKS Construction Manager T: (805) 407-1961 EMAIL: dhorrocks@harborfreight.com	HARBOR FREIGHT TOOLS 26541 AGOURA ROAD CALABASAS, CA 91302 CONTACT: ADAM STEECE National Director of Construction T: (818) 519-7503 EMAIL: asteECE@harborfreight.com	ADA ARCHITECTS, INC. 17710 DETROIT AVE CLEVELAND, OH 44107 CLIENT MANAGER: BRIAN QUINN PROJECT MANAGER: LISA GOUBEUX T: (216) 521-5134 F: (216) 521-4824 EMAIL: bquinn@adaarchitects.cc EMAIL: lgouboux@adaarchitects.cc

KLS ARCHITECT

Kurt L. Schmitz, Architect
17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-5134 • Fax (216) 521-4824 • www.adaarchitects.cc

HARBOR FREIGHT TOOLS

1475 SOUTH CONGRESS AVENUE
DELRAY BEACH, FL 33445

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REVISIONS	
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COVER SHEET

DATE: 9/06/16
JOB NO.: 16243

A0.0

SHEET NO.

SITE VICINITY MAP
SCALE = NTS



12/28/16

KLS ARCHITECT

Karl L. Schmitt, Architect
17710 Delray Ave., Suite 44107
Delray Beach, FL 33445
Phone (216) 521-5134 • Fax (216) 521-4824 • www.architects.com

HARBOR FREIGHT TOOLS

1475 SOUTH CONGRESS AVENUE
DELRAY BEACH, FL 33445

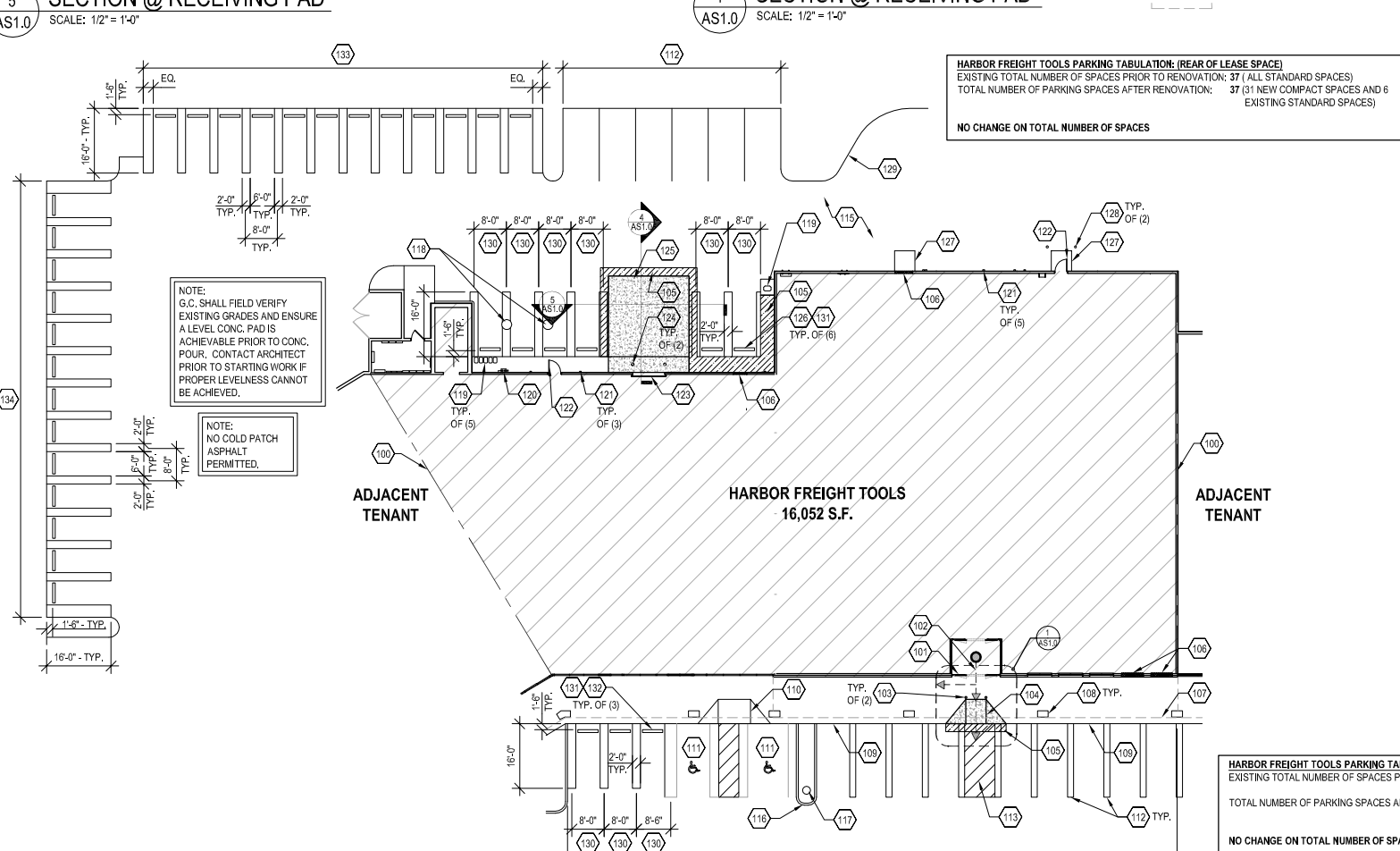
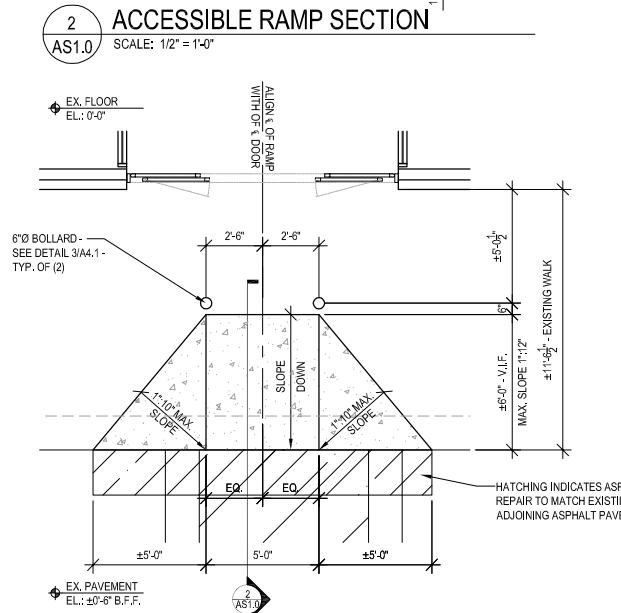
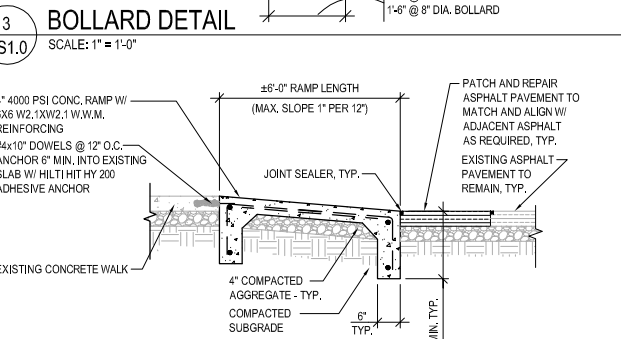
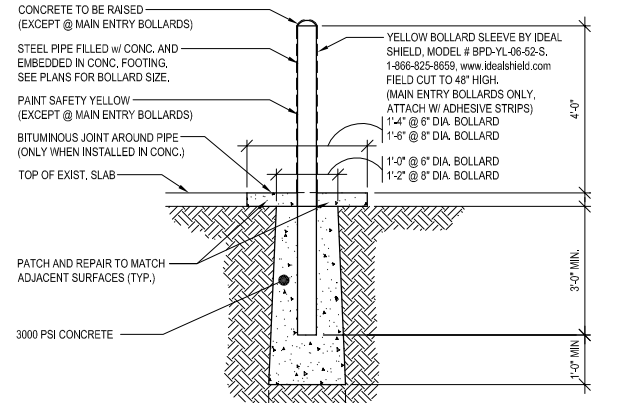
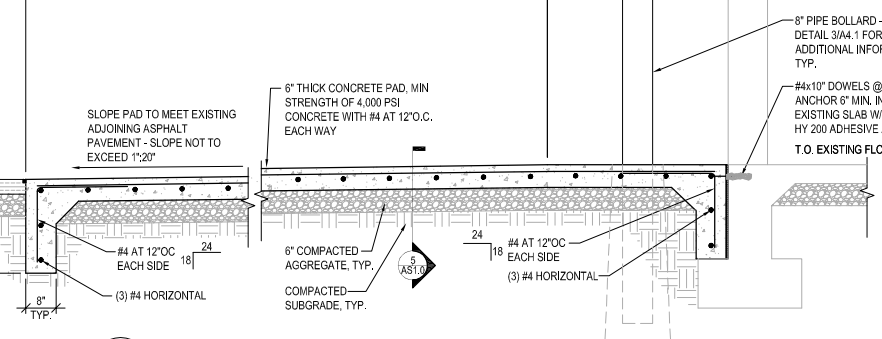
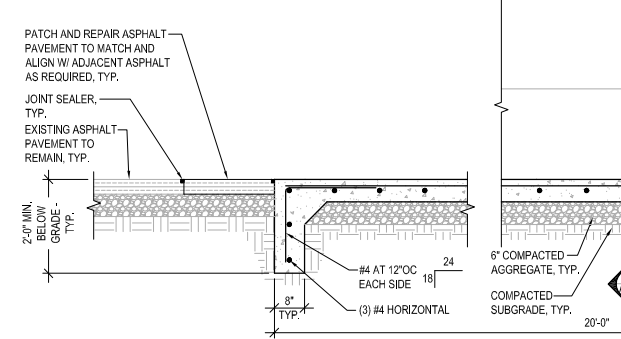
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KEY NOTES

- APPROXIMATE LOCATION OF HFT LEASE LINE.
- MAIN TENANT ENTRANCE DOORS.
- ACCESSIBLE PATH OF TRAVEL.
- 6"Ø STEEL PIPE BOLLARD. SEE DETAIL 3/AS1.0 FOR ADDITIONAL INFORMATION.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE DETAIL 1/AS1.0 FOR ADDITIONAL INFORMATION.
- AREA OF ASPHALT REPAIR. SEE SHEETS D1.0 AND A1.1 FOR ADDITIONAL INFORMATION.
- MASONRY INFILL IN EXISTING OPENING.
- LINE OF EXISTING CANOPY ABOVE.
- EXISTING MASONRY CANOPY PIER TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING CURB RAMP TO REMAIN.
- EXISTING ACCESSIBLE PARKING SPACES TO REMAIN.
- EXISTING PARKING STRIPING TO REMAIN.
- NEW DIAGONAL STRIPING TO PREVENT PARKING. NEW STRIPING SHALL MATCH EXISTING ADJOINING STRIPING WIDTH AND COLOR. (4" WIDE; COLOR: WHITE). SET AT 45° ANGLE. 2'-0" O.C.
- CONTRACTOR TO RE-PAINT EXISTING CURB BETWEEN HFT LEASE LINE. (COLOR: SAFETY YELLOW).
- EXISTING ASPHALT PAVEMENT.
- EXISTING CURBED LANDSCAPE AREA TO REMAIN.
- EXISTING SITE LIGHTING TO REMAIN.
- APPROXIMATE LOCATION OF EXISTING SANITARY MANHOLE COVER.
- APPROXIMATE LOCATION OF EXISTING WATER METER VAULT SET IN CONCRETE WALK.
- APPROXIMATE LOCATION OF EXISTING GAS METER.
- EXISTING ROOF LEADER TO REMAIN. CONTRACTOR TO CLEAN EXISTING ROOF LEADER OF ALL DEBRIS TO ENSURE PROPER DRAINAGE IS ACHIEVED.
- MAN DOOR AND FRAME.
- OVERHEAD RECEIVING DOOR.
- 8"Ø STEEL PIPE BOLLARD. SEE DETAIL 3/AS1.0 FOR ADDITIONAL INFORMATION.
- NEW CONCRETE RECEIVING PAD. SEE DETAILS 4&5/AS1.0 FOR ADDITIONAL INFORMATION.
- EXISTING PRE-CAST CONCRETE WHEEL STOP TO RE-INSTALLED.
- EXISTING CONCRETE PAD TO REMAIN.
- EXISTING BOLLARD TO REMAIN AND SHALL BE RE-PAINTED. (COLOR: SAFETY YELLOW).
- EXISTING CONCRETE CURB TO REMAIN.
- NEW COMPACT PARKING SPACE STRIPING. NEW STRIPING SHALL BE 4" WIDE. COLOR: WHITE.
- CONTRACTOR SHALL PAINT ON NEW OR EXISTING CONCRETE WHEEL STOP "COMPACT CAR ONLY", AS REQUIRED PER CITY OF DELRAY BEACH, FL LAND DEVELOPMENT REGULATIONS.
- NEW PRE-CAST CONCRETE WHEEL STOP INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO REMOVE EXISTING PARKING STRIPING. CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONCRETE WHEEL STOPS AND STORE ON SITE UNTIL RE-INSTALLATION. (NOTE: TOTAL OF EXISTING PARKING SPACES IN THIS AREA WAS 11.) EXISTING PARKING AREA SHALL BE RE-STRIPED FOR COMPACT CAR PARKING. NEW STRIPING SHALL BE 4" WIDE. COLOR: WHITE. CONTRACTOR SHALL RE-INSTALL EXISTING CONCRETE WHEEL STOPS AFTER NEW STRIPING HAS BEEN COMPLETED. CONTRACTOR SHALL PROVIDE NEW PRE-CAST CONCRETE WHEEL STOPS, AS REQUIRED, FOR NEW PARKING SPACES. (NEW TOTAL OF PARKING SPACES SHALL BE 12). CONTRACTOR SHALL PAINT ON NEW OR EXISTING CONCRETE WHEEL STOP "COMPACT CAR ONLY", AS REQUIRED PER CITY OF DELRAY BEACH, FL LAND DEVELOPMENT REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING PARKING STRIPING. CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONCRETE WHEEL STOPS AND STORE ON SITE UNTIL RE-INSTALLATION. (NOTE: TOTAL OF EXISTING PARKING SPACES IN THIS AREA WAS 12.) EXISTING PARKING AREA SHALL BE RE-STRIPED FOR COMPACT CAR PARKING. NEW STRIPING SHALL BE 4" WIDE. COLOR: WHITE. CONTRACTOR SHALL RE-INSTALL EXISTING CONCRETE WHEEL STOPS AFTER NEW STRIPING HAS BEEN COMPLETED. CONTRACTOR SHALL PROVIDE NEW PRE-CAST CONCRETE WHEEL STOPS, AS REQUIRED, FOR NEW PARKING SPACES. (NEW TOTAL OF PARKING SPACES SHALL BE 13). CONTRACTOR SHALL PAINT ON NEW OR EXISTING CONCRETE WHEEL STOP "COMPACT CAR ONLY", AS REQUIRED PER CITY OF DELRAY BEACH, FL LAND DEVELOPMENT REGULATIONS.

LEGEND

	EXISTING TO REMAIN
	NEW CONCRETE
	AREA OF ASPHALT REPAIR



OVERALL SITE PLAN
SCALE: N.T.S.

REVISIONS

#	DATE	TYPE
1	10/13/16	BULLETIN 1
2	12/8/16	BULLETIN 2
3	12/28/16	BULLETIN 3
4		
5		
6		
7		
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9		
10		

ARCHITECTURAL SITE PLAN

DATE: 9/06/16
JOB NO.: 16243

AS1.0

SHEET NO.

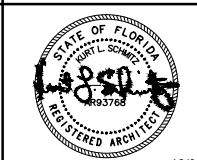


EXISTING WEST ELEVATION

SCALE: NTS

- ### GENERAL NOTES
- REFER TO GENERAL NOTES ON SHEET A0.2 FOR ADDITIONAL INFO.
 - SIGNAGE PERMIT DRAWINGS TO BE SUBMITTED SEPARATELY.
 - HFT GENERAL CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING WORK.
 - SIGNAGE SHOWN FOR REFERENCE ONLY - ACTUAL SIGNAGE SIZE AND TYPE TO BE DETERMINED BY HFT AND LANDLORD.
 - ALL SIGNAGE TO COMPLY WITH LANDLORD TENANT CRITERIA AND STATE / LOCAL CODES.
 - COORDINATE WITH SIGNAGE VENDOR FOR ANY SPECIFIC CRITERIA TO BE USED.
 - ALL SIGNAGE TO BE UL RATED.
 - EXISTING STOREFRONT CONSTRUCTION AND FINISHES TO REMAIN U.N.O.

- ### 600 SERIES ELEVATION KEY NOTES
- APPROXIMATE LOCATION OF HFT LEASE LINE.
 - AUTOMATIC BI-PARTING DOOR SYSTEM.
 - APPROXIMATE LOCATION OF HFT EXTERIOR BUILDING SIGN. BUILDING SIGNAGE PROVIDED AND INSTALLED BY HFT SIGN CONTRACTOR. HFT GENERAL CONTRACTOR TO COORDINATE ACTUAL SIGNAGE LOCATION WITH FINAL APPROVED BRANDBOOK. LOCATION AND SIZE SHOWN ARE APPROXIMATE. ALL SIGNAGE IS BY SEPARATE PERMIT.
 - NEW 6" Ø STEEL PIPE BOLLARD. SEE DETAIL 3/AS1.0 FOR ADDITIONAL INFORMATION.
 - NEW E.I.F.S. SIGNBOARD EXTENSION. SEE SHEET A3.1 FOR ADDITIONAL INFORMATION.
 - NEW CONCRETE ACCESSIBLE CURB RAMP. SEE DETAIL 1/AS1.0 FOR ADDITIONAL INFORMATION.
 - EXISTING ALUMINUM FRAME STOREFRONT WINDOW SYSTEM TO REMAIN. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING WINDOW SYSTEM FROM DAMAGE DURING CONSTRUCTION.
 - EXISTING MASONRY CANOPY PIER.
 - EXISTING E.I.F.S. CANOPY/SIGNBOARD.
 - EXISTING E.I.F.S. CORNICE.
 - EXISTING CLAY TILE ROOF.
 - EXISTING ALUMINUM FRAME STOREFRONT SYSTEM TO REMAIN. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING STOREFRONT SYSTEM FROM DAMAGE DURING CONSTRUCTION.
 - EXISTING CURB RAMP.
 - APPROXIMATE LOCATION OF EXISTING GAS METER. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - EXISTING THRU-WALL ROOF LEADER TO REMAIN.
 - EXISTING CONDUCTOR BOX AND ROOF LEADER TO REMAIN.
 - EXISTING PRE-CAST CONCRETE TILT-UP EXTERIOR WALL.
 - EXISTING BANDING TO REMAIN.
 - EXISTING METAL COPING TO REMAIN.
 - MAIN DOOR AND FRAME.
 - SECTIONAL OVERHEAD RECEIVING DOOR.
 - NEW 8" Ø STEEL PIPE BOLLARD. SEE DETAIL 3/AS1.0 FOR ADDITIONAL INFORMATION.
 - NEW CONCRETE RECEIVING PAD. SEE DETAILS 4&5/AS1.0 FOR ADDITIONAL INFORMATION.
 - NEW E.I.F.S. HVAC SCREEN. SEE SHEET A3.1 FOR ADDITIONAL INFORMATION.
 - EXISTING BOLLARD TO REMAIN AND SHALL BE RE-PAINTED TO MATCH EXISTING COLOR. (COLOR: SAFETY YELLOW). SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
 - EXTERIOR WALL MOUNTED LIGHT FIXTURE.



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HARBOR FREIGHT TOOLS
 1475 SOUTH CONGRESS AVENUE
 DELRAY BEACH, FL 33445

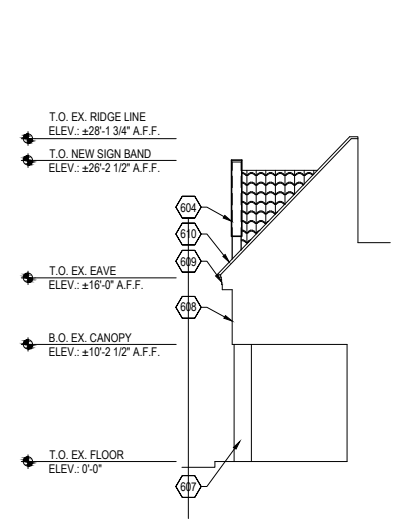
REVISIONS

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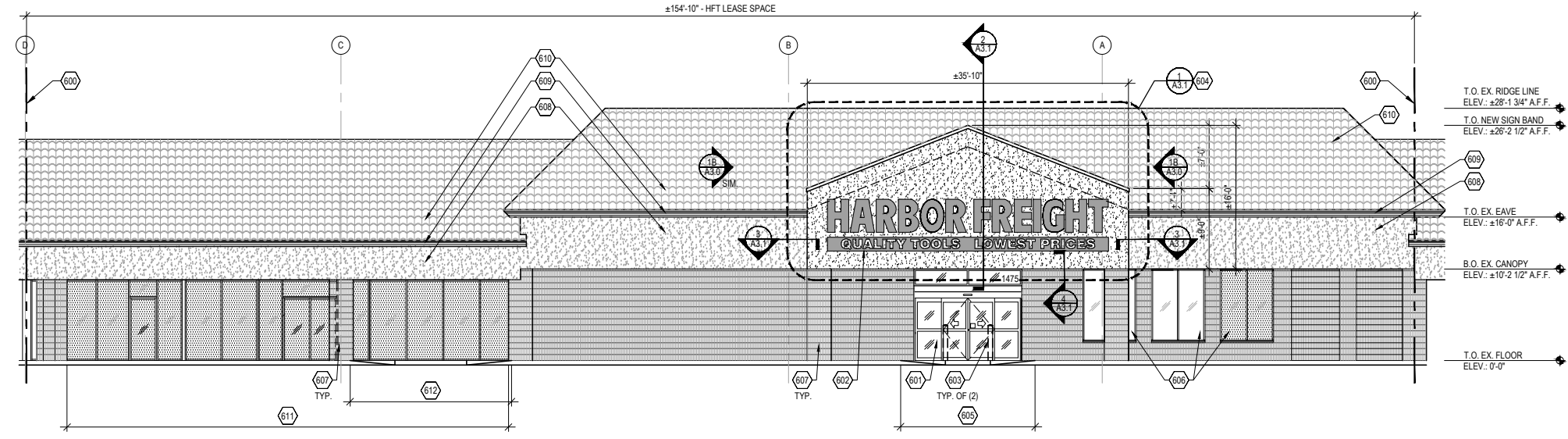
EXTERIOR ELEVATIONS

DATE 9/06/16
 JOB NO. 16243

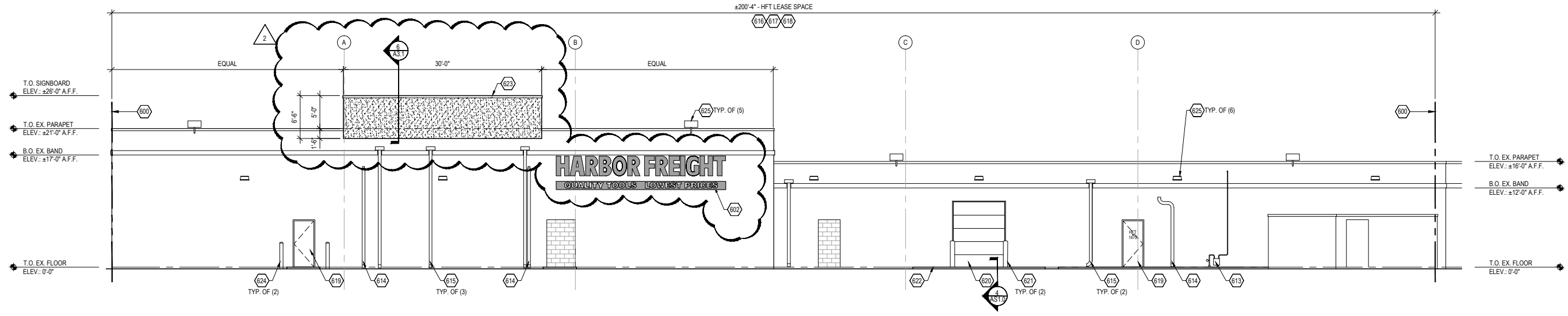
A3.0
 SHEET NO.



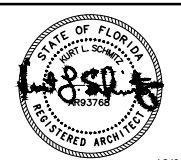
1B PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



12/08/16

KLS ARCHITECT

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REVISIONS

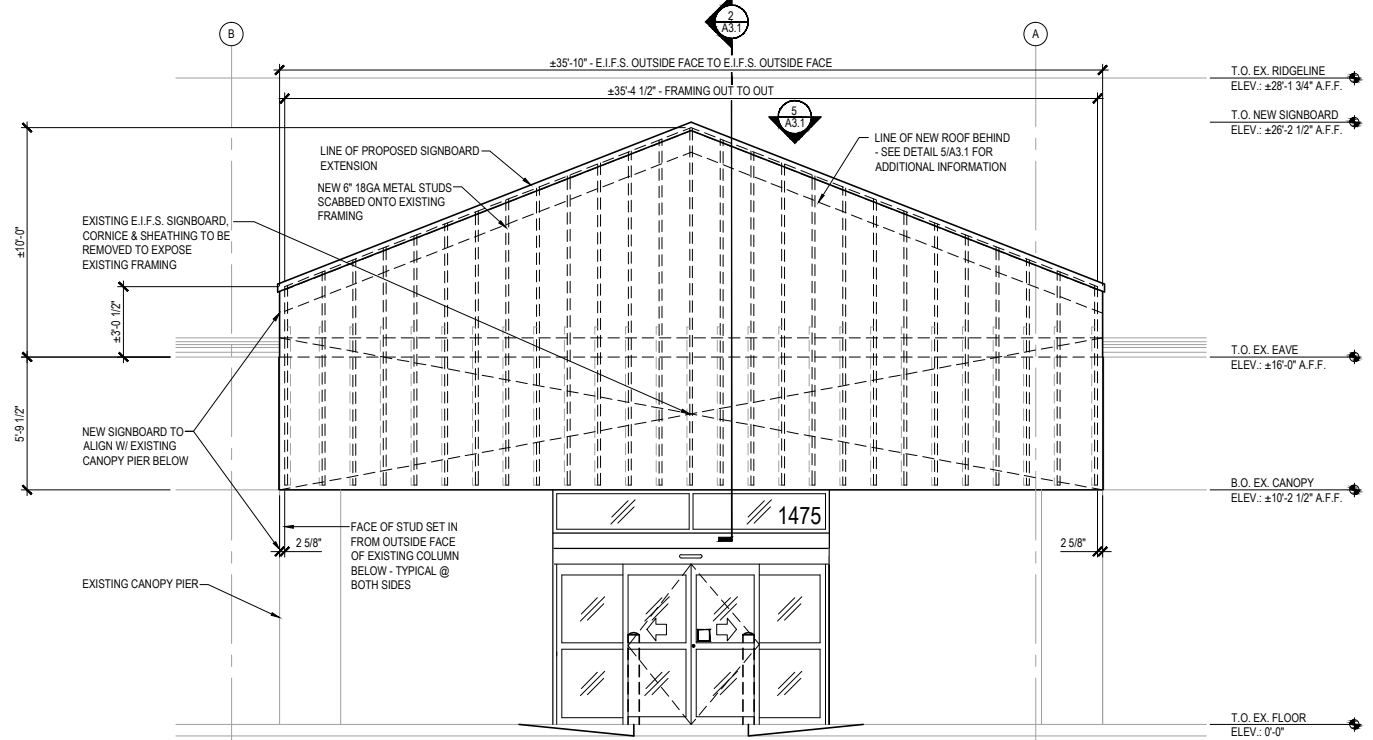
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CANOPY/ SIGNBOARD EXTENSION DETS.

DATE: 9/06/16
JOB NO.: 16243

A3.1

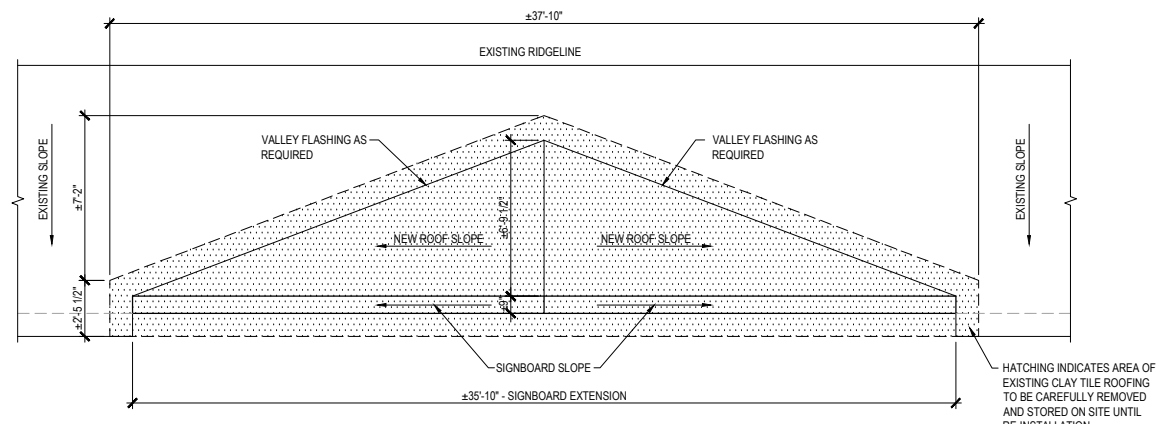
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FRONT (WEST) SIGNBOARD ELEVATION DEMOLITION AND FRAMING

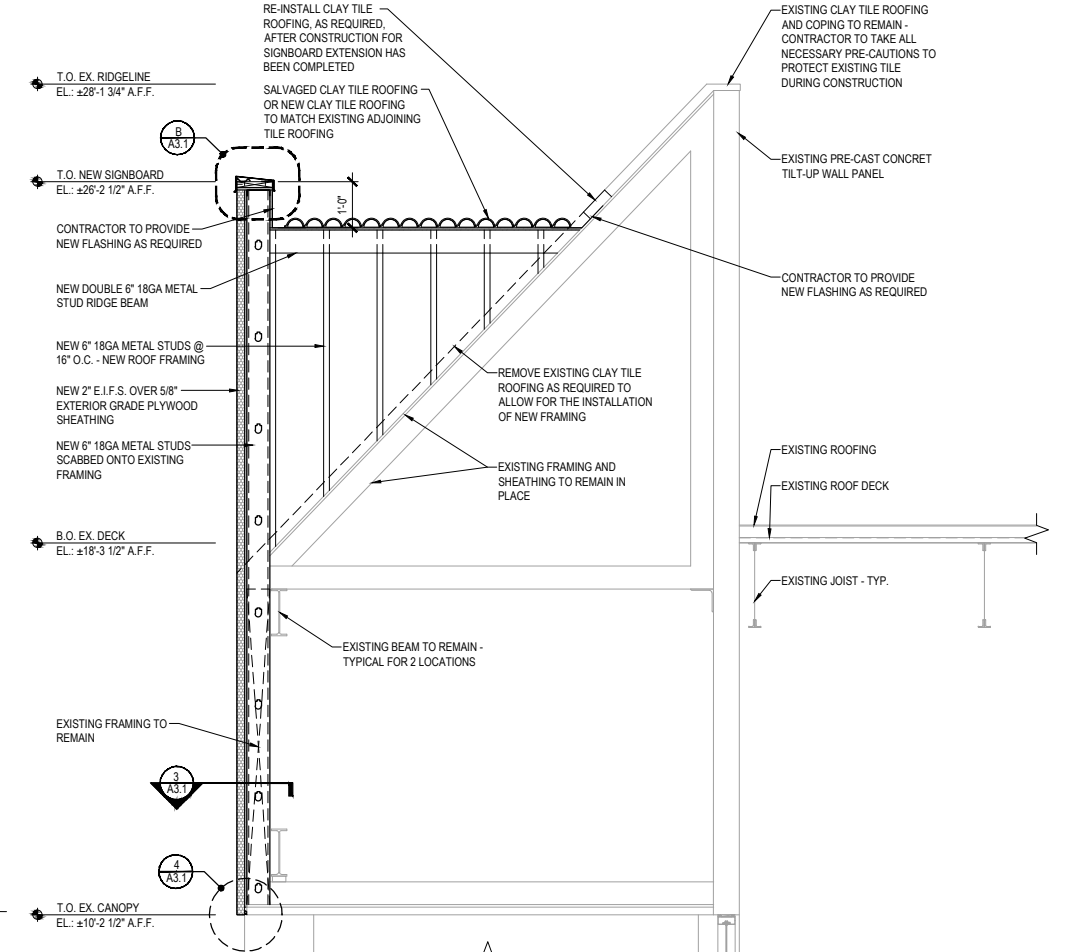
SCALE: 1/4" = 1'-0"

NOTE: AFTER REMOVAL OF EXISTING E.I.F.S. AND SHEATHING HAS BEEN COMPLETED G.C. SHALL VERIFY EXISTING FRAMING MEMBERS, SIZES, AND MATERIALS OF ALL EXISTING SIGNBOARD STRUCTURAL ELEMENTS AND SHALL NOTIFY ARCHITECT OF ANY/ALL DISCREPANCIES IMMEDIATELY.



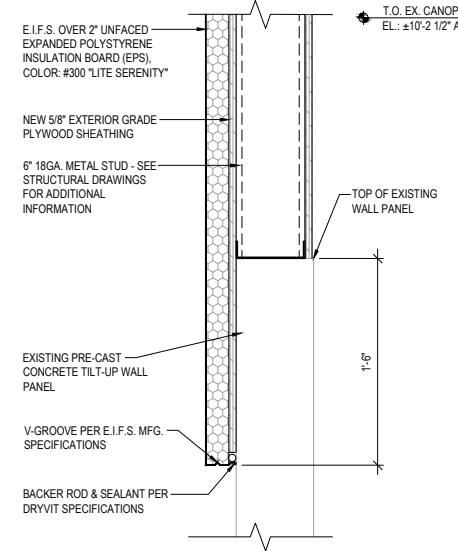
WEST SIGNBOARD PARTIAL ROOF PLAN

SCALE: 1/4" = 1'-0"



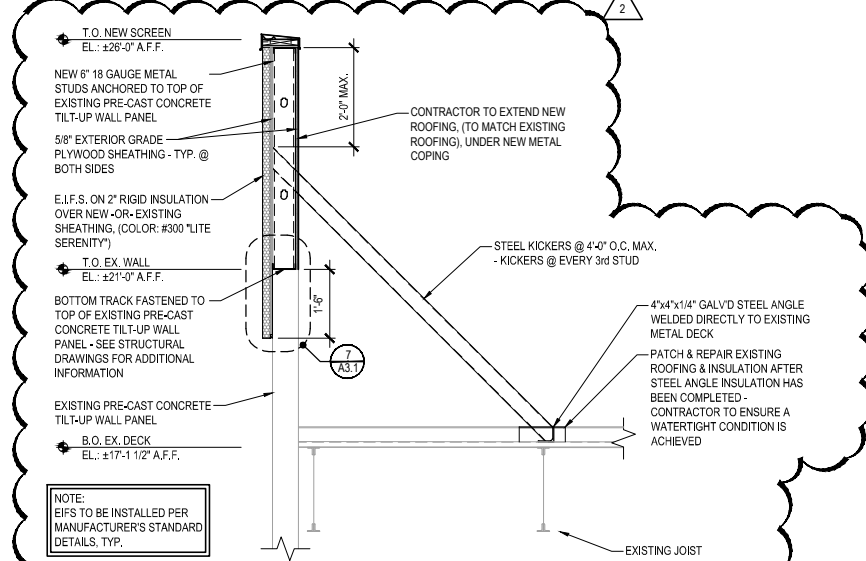
FRONT (WEST) SIGNBOARD SECTION

SCALE: 1/2" = 1'-0"



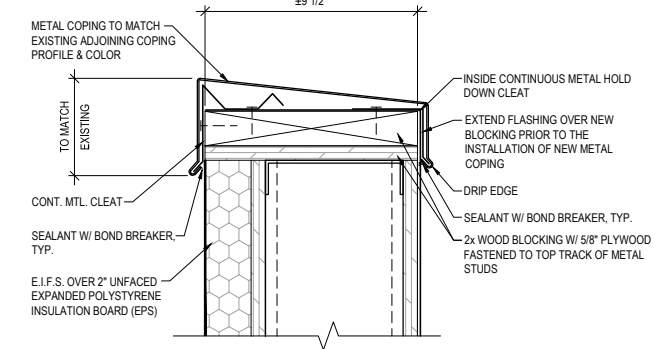
ENLARGED EIFS DETAIL

SCALE: 1 1/2" = 1'-0"



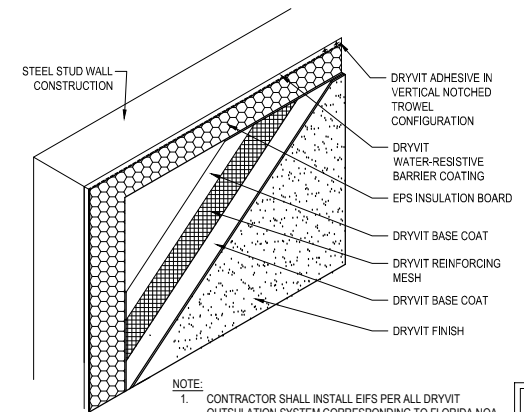
REAR (EAST) HVAC SCREEN SECTION

SCALE: 1/2" = 1'-0"



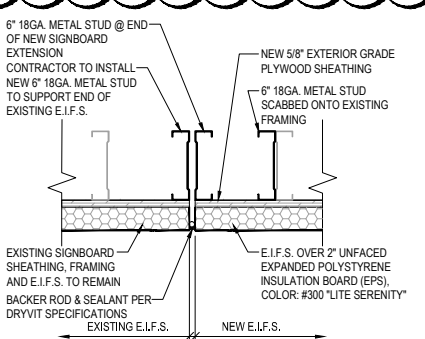
COPING DETAIL

SCALE: 3" = 1'-0"



TYPICAL EIFS DETAIL

SCALE: 1 1/2" = 1'-0"



ENLARGED EIFS DETAIL

SCALE: 1 1/2" = 1'-0"

NOTE: EIFS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS, TYP.

NOTE: AFTER REMOVAL OF EXISTING E.I.F.S. AND SHEATHING HAS BEEN COMPLETED G.C. SHALL VERIFY EXISTING FRAMING MEMBERS, SIZES, AND MATERIALS OF ALL EXISTING SIGNBOARD STRUCTURAL ELEMENTS AND SHALL NOTIFY ARCHITECT OF ANY/ALL DISCREPANCIES IMMEDIATELY.

TYPICAL ROOFING NOTES:
(1) G.C. TO CONTRACT WITH LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOF RELATED WORK TO MAINTAIN ROOFING WARRANTIES.
(2) REMOVE ROOFING AS REQUIRED AT EXISTING CANOPY FOR NEW SIGNBOARD EXTENSION WORK.
(3) ALL ROOFING PENETRATIONS TO BE SEALED WATER TIGHT.

NOTE: EIFS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS, TYP.

NOTE: EIFS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS, TYP.

DOOR SCHEDULE NOTES

- RATED DOORS SHALL BE A TIGHT-FITTING SMOKE AND DRAFT CONTROL ASSEMBLY.
- ALL EXISTING NEW DOORS AND HARDWARE SHALL COMPLY WITH CURRENT ADA REGULATIONS.
- ALL INTERIOR/EXTERIOR METAL DOORS SHALL BE 20 GA. MINIMUM.
- ALL DOOR HARDWARE SHALL BE LEVER TYPE OR PANIC HARDWARE.
- EXTERIOR DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- OPENINGS SHALL BE A MINIMUM OF 32" WIDE WHEN DOOR IS AT RIGHT ANGLE TO CLOSED POSITION.
- BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE FOR OPENING BY WHEELCHAIR FOOT REST.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS, AND 3 LBS. FOR INTERIOR DOORS WITH A PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOOR AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATIONS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS, WHEN FIRE DOORS ARE REQUIRED. THE MAXIMUM EFFORT TO OPERATE THE DOORWAY MAY BE INCREASED NOT TO EXCEED 14 LBS. WITH CLOSURE.
- SUBMIT HARDWARE CUT SHEETS FOR ANY ALTERNATES TO HFT REPRESENTATIVE PRIOR TO ORDERING HARDWARE FOR APPROVAL.
- REPLACE ALL EXISTING HARDWARE, TO COMPLY WITH HARDWARE SCHEDULE.
- MANAGERS OFFICE AND CASH ROOM TO BE KEVED ALIKE.
- PROVIDE A SIGN ABOVE ALL EXITS STATING THAT THIS DOOR IS TO REMAIN UNLOCKED DURING BUSINESS HOURS". LETTERS SHALL BE AT LEAST 1" IN HEIGHT AND SHALL BE WHITE ON A CONTRASTING BACKGROUND.
- CONTRACTOR SHALL COORDINATE KEYING OF LOCKS WITH OWNER PRIOR TO INSTALLATION.
- ALL HARDWARE LISTED TO BE SUPPLIED BY LISTED MANUFACTURER OR EQUAL.
- ALL DOOR HARDWARE TO BE BRUSHED CHROME FINISH.
- NOT USED.
- EXTERIOR DOORS AND FRAMES, EXCLUDING OVERHEAD DOOR, TO BE PAINTED TO MATCH THE ADJACENT FINISH ON THE EXTERIOR AND PAINTED P-8 ON THE INTERIOR. SEE FINISH SCHEDULE ON SHEET A1.3.
- INTERIOR DOORS AND FRAMES TO BE PAINTED P-8. SEE FINISH SCHEDULE ON SHEET A1.3.
- BI-PARTING DOOR THRESHOLDS TO BE PROVIDED AND INSTALLED BY DOOR VENDOR.
- PROVIDE 8" HIGH WHITE VINYL NUMBERS STATING STREET ADDRESS IN HELVETICA FONT STYLE ON TRANSMOM AT MAIN ENTRY DOOR.
- INTERIOR DOOR FRAMES SHALL BE MIN. 20GA WELDED FRAMES; EXTERIOR DOOR FRAMES SHALL BE MIN 16GA WELDED FRAMES.

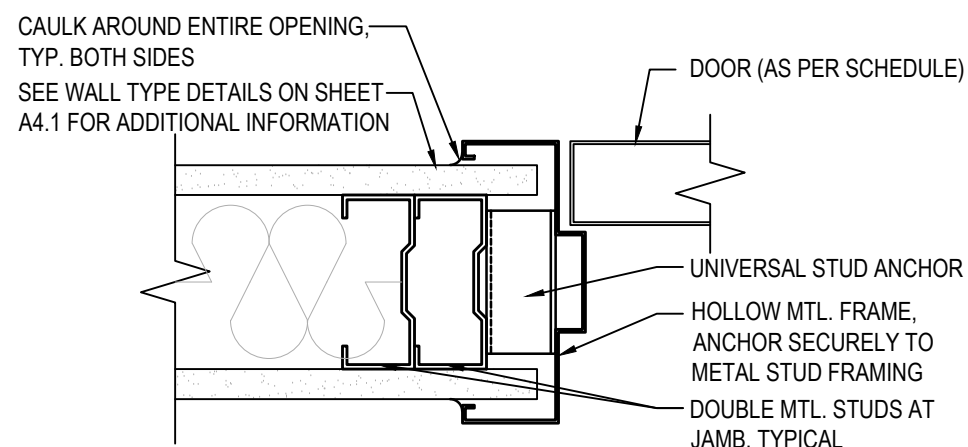
DOOR AND FRAME SCHEDULE

DOOR NO.	SIZE	DOOR			FRAME			FIRE LABEL	HARDWARE GROUP	HEAD/JAMB DETAIL	REMARKS
		TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH				
01A	12'-0" x 7'-8" DOOR PACKAGED UNIT	A	91/16" TEMP. GLAZ'G/ALUM.	DARK BRONZE	2A/A5.1	ALUM.	DARK BRONZE	-	SUPPLIED BY DORMA	688/A5.1	G.C. TO COORDINATE FINAL DOOR AND FRAME DIMENSIONS WITH DORMA. G.C. TO VERIFY OPENING DIMENSIONS PRIOR TO ORDERING DOOR. SEE VENDOR INFORMATION ON SHEET A0.0 FOR CONTACT INFORMATION.
01B	12'-0" x 7'-8" DOOR PACKAGED UNIT	A	11/4" TEMP. GLAZ'G/ALUM.	DARK BRONZE	2B/A5.1	ALUM.	DARK BRONZE	-	SUPPLIED BY DORMA	387/A5.1	G.C. TO COORDINATE FINAL DOOR AND FRAME DIMENSIONS WITH DORMA. G.C. TO VERIFY OPENING DIMENSIONS PRIOR TO ORDERING DOOR. SEE VENDOR INFORMATION ON SHEET A0.0 FOR CONTACT INFORMATION.
02	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	1	A&B/A5.0	SEE NOTE 11
03	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	2	A&B/A5.0	SEE NOTE 11
04	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	2	A&B/A5.0	SEE NOTE 11
05	3'-0" x 7'-0" x 1 3/4"	C	H.M.	PAINT - SEE NOTE 17	3	H.M.	PAINT - SEE NOTE 17	-	6	C&D/A5.0	NEW MAN DOOR IN EX. OP'G. CONTRACTOR TO VERIFY OP'G. SIZE PRIOR TO ORDERING DOOR. DO NOT INSTALL ADDRESS OR DOOR VIEWER ON THIS DOOR.
06	3'-0" x 7'-0" x 1 3/4"	B2	H.M.	PAINT P-8	1	H.M.	PAINT P-8	-	1	A&B/A5.0	SEE NOTE 11
07	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	4	A&B/A5.0	UNDERCUT DOOR FOR 1" CLEARANCE. LATCH SET SHALL BE "PRIVACY" TYPE.
08	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	4	A&B/A5.0	UNDERCUT DOOR FOR 1" CLEARANCE. LATCH SET SHALL BE "PRIVACY" TYPE.
09	3'-0" x 7'-0" x 1 3/4"	B1	S.C. WOOD	PAINT P-8	1	H.M.	PAINT P-8	-	3	A&B/A5.0	SEE DOOR SCHEDULE NOTES.
10	3'-0" x 7'-0" x 1 3/4"	C	H.M.	PAINT - SEE NOTE 17	3	H.M.	PAINT - SEE NOTE 17	-	6	C&D/A5.0	NEW MAN DOOR IN EX. OPENING. CONTRACTOR TO VERIFY OPENING SIZE PRIOR TO ORDERING DOOR. INSTALL ADDRESS AND DOOR VIEWER ON THIS DOOR.
11	8'-0" x 10'-0" x 1 1/2"	D	MTL.	GALV.	BY MANF.	MTL.	-	-	5	485/A4.1	MODEL "S24 W8" INSUL. SECTIONAL DOOR, MANUFACTURED BY CLOPAY BUILDING PRODUCTS AND INSTALLED BY CORNELL. MANUAL OPERATION. G.C. TO VERIFY DOOR OPENING DIMENSIONS BEFORE ORDERING.

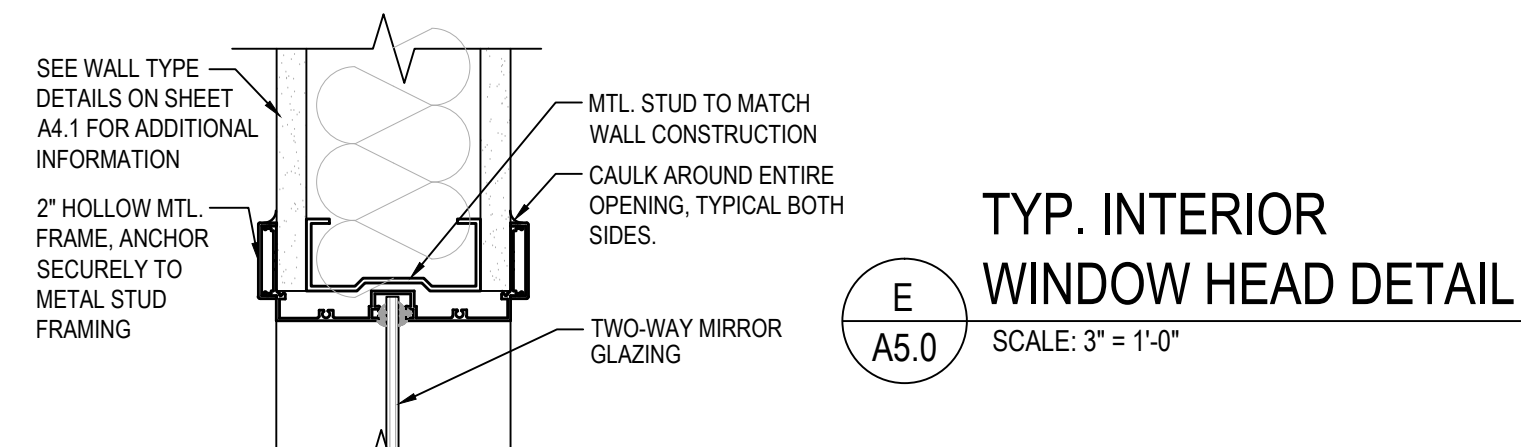
HARDWARE GROUP

NOTE: ALL HARDWARE LISTED TO BE SUPPLIED BY LISTED MANUFACTURER OR EQUAL

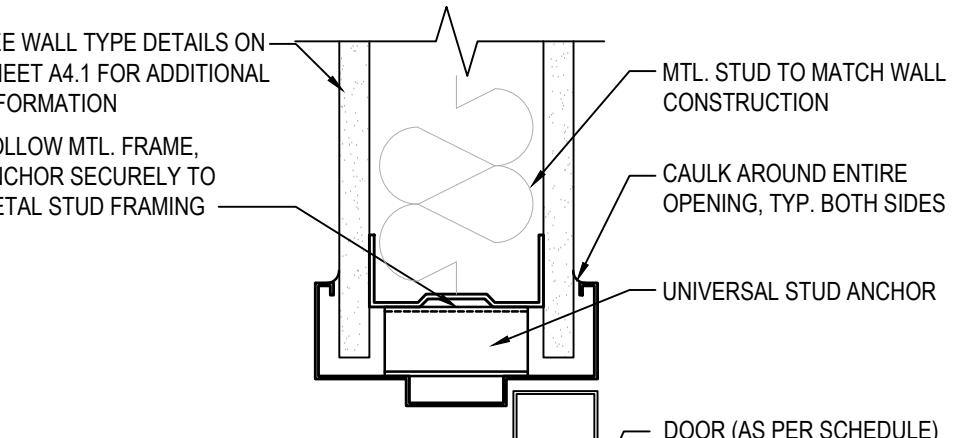
GROUP #1 (MANAGER, UTILITY)	GROUP #2 (CASH ROOM DOORS)	GROUP #3 (BREAK ROOM)
BUTTS: 1- 1/2 PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.	BUTTS: 1- 1/2 PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.	BUTTS: 1- 1/2 PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.
LATCH SET: FALCON 'ENTRANCE' LEVER W581HD-D-626	LATCH SET: FALCON 'STOREROOM' LEVER W581HD-D-626	LATCH SET: FALCON 'PASSAGE' LEVER W101S-D-626
LATCH GUARD: DON-JO ILP-212-SL	LATCH GUARD: DON-JO ILP-212-SL	CLOSER: FALCON SC81 HW / PA-689 (MTD. ON INSIDE)
CYLINDER CORE: FALCON C649 (CKWY-7 PIN)-626	DEAD BOLT: FALCON D241H-50-231F-7 PIN-626	KICKPLATE: ROCKWOOD K1050 - 10x34 US32D
CLOSER: FALCON SC81 HW / PA-689 (MTD. ON INSIDE)	CYLINDER CORE: (2) FALCON C649 (CKWY-7 PIN)-626	SILENCER: (3) ROCKWOOD 608-26D
KICKPLATE: ROCKWOOD K1050 - 10x34 US32D	CLOSER: FALCON SC81 HW / PA-689 (MTD. ON INSIDE)	FLOOR STOP: ROCKWOOD 441-US26D DOME STOP
SILENCER: (3) ROCKWOOD 608-26D	KICKPLATE: ROCKWOOD K1050 - 10x34 US32D	SILENCER: (3) ROCKWOOD 608-26D
FLOOR STOP: ROCKWOOD 441-US26D DOME STOP	DOOR VIEWER: ROCKWOOD 622-26D	FLOOR STOP: ROCKWOOD 441-US26D DOME STOP
DOOR VIEWER: ROCKWOOD 622-26D (DOOR VIEWERS FOR MANAGER OFFICE SIDE OF DOORS ONLY - NO DOOR VIEWERS INSTALLED ON UTILITY DOORS)	DOOR VIEWER: ROCKWOOD 622-26D	
GROUP #4 (RESTROOMS)	GROUP #5 (OVERHEAD DOORS)	GROUP #6 (SINGLE EXIT DOORS)
BUTTS: 1- 1/2 PAIR HAGER ECBB1100, 4 1/2" x 4 1/2" x US26D.	DOOR PANELS: 2-3/4" INSULATED STEEL INTERLOCKING FLAT SLAT CURTAIN W/ ENDOLOCKS @ BOTH ENDS BY VENDOR SCHLAGE KS41F1200	BUTTS: 1- 1/2 PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.
LATCH SET: FALCON 'PRIVACY' LEVER W301S-D-626 (SINGLE USE RESTROOMS)		EXIT DEVICE: VON DUPRIN GUARD-X 2670-US28
CLOSER: FALCON SC81 HW / PA-689 (MTD. ON INSIDE)	CYLINDER CORE: FALCON C649 (HOK, IHK)-626 SCHLAGE 90-03S-GRN 24 GA. MIN. GALVANIZED STEEL BY VENDOR HAND CHAIN BY VENDOR BY VENDOR	CYLINDER CORE: FALCON C953 (CKWY-7 PIN)-626
KICKPLATE: ROCKWOOD K1050 - 10x34 US32D	LOCKING: CHAIN KEEPER (BY VENDOR) WITH PADLOCK (SUPPLIED BY HFT GC.)	CONST. CORE: FALCON C607CCA-GRN
SILENCER: (3) ROCKWOOD 608-26D	BOTTOM BAR: EXTRUDED ALUM. BAR BY VENDOR	CLOSER: FALCON SC71 RW / PA-689 (MTD. INSIDE)
FLOOR STOP: ROCKWOOD 441-US26D DOME STOP	WEATHER SEALS: BY VENDOR	KICKPLATE: ROCKWOOD K1050 - 10x34 US32D
		SILENCER: (3) ROCKWOOD 608-26D
		DOOR STOP: ROCKWOOD 472-26D STOP W/ KEEPER
		DOOR VIEWER: DOORSOPE DS2000 ALS
		DOOR BOTTOM: PEMKO 217-APK MILL 36"
		GASKETING: PEMKO 303 AV (1) 36", (2) 84"
		THRESHOLD: PEMKO 171-A MILL 36"
		DOOR PULL: ROCKWOOD 131-26D (MTD. INSIDE)



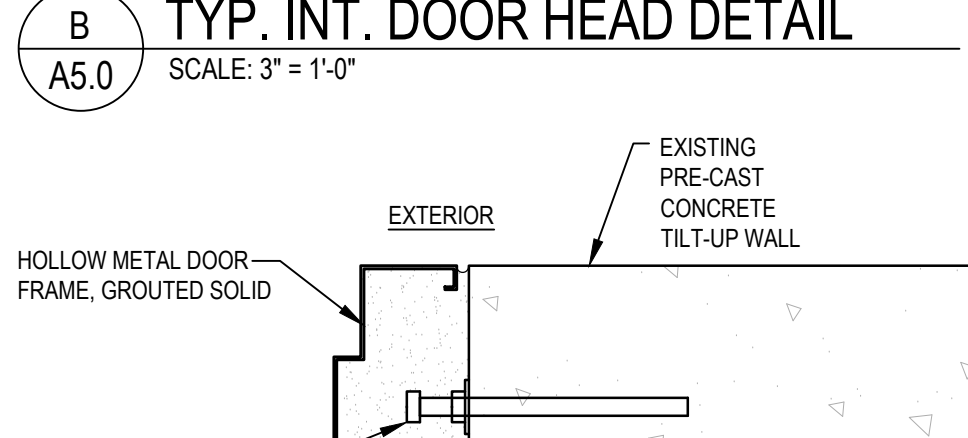
A TYP. INT. DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



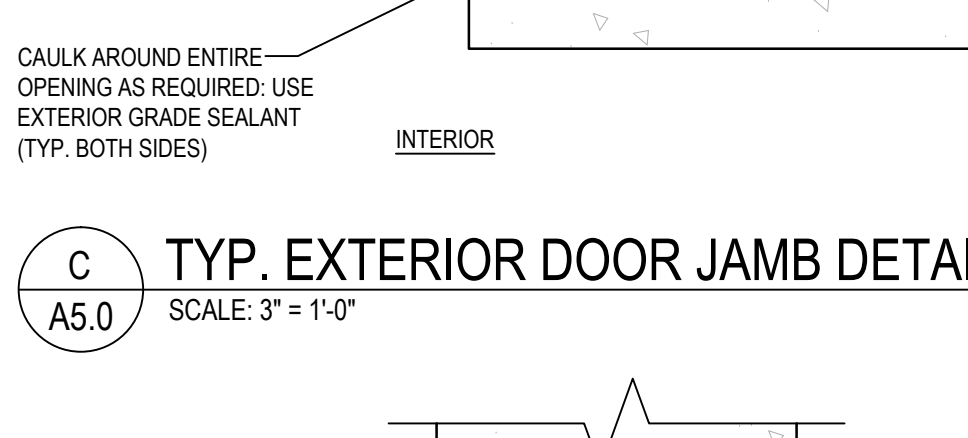
E TYP. INTERIOR WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



B TYP. INT. DOOR HEAD DETAIL
SCALE: 3" = 1'-0"

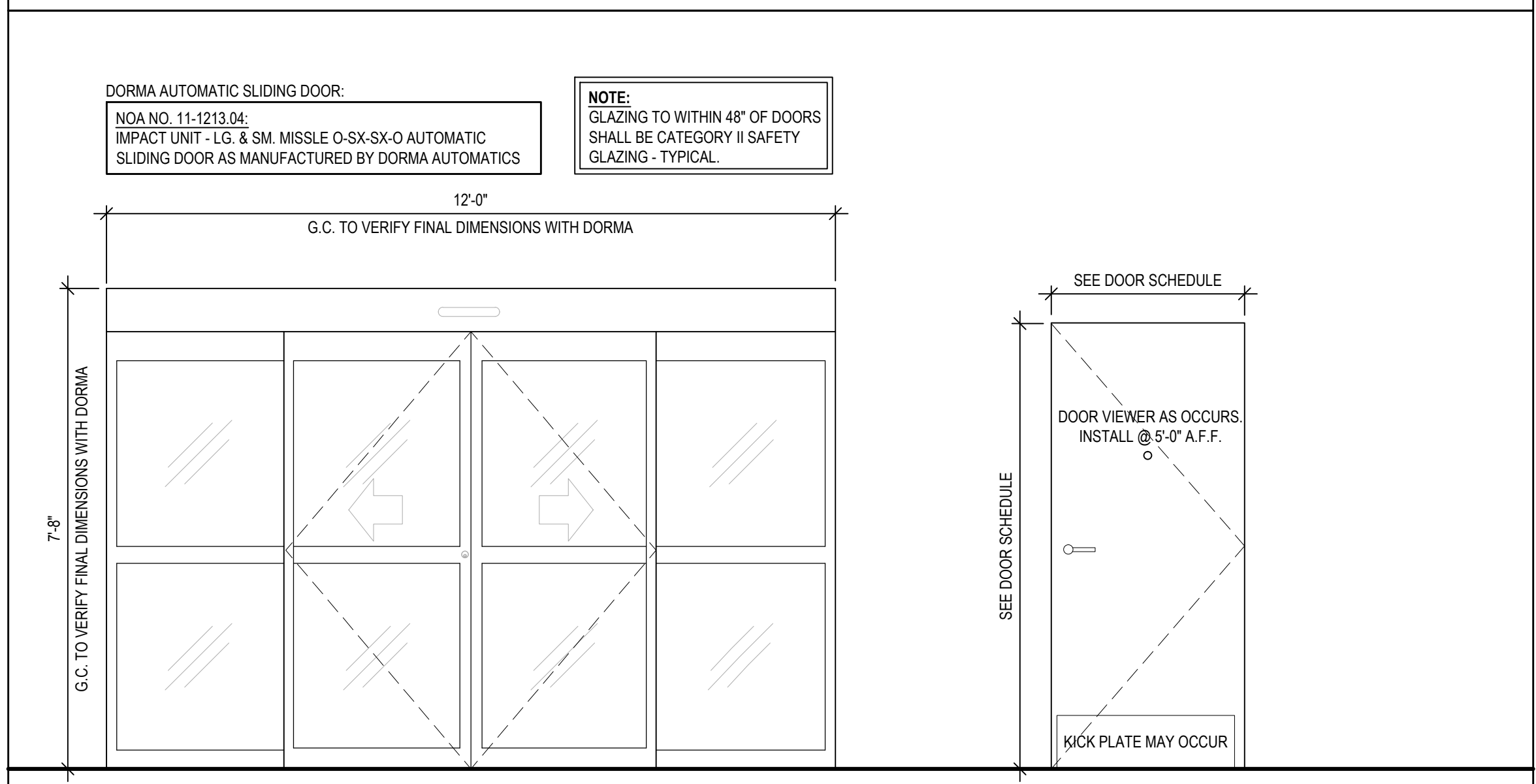


C TYP. EXTERIOR DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



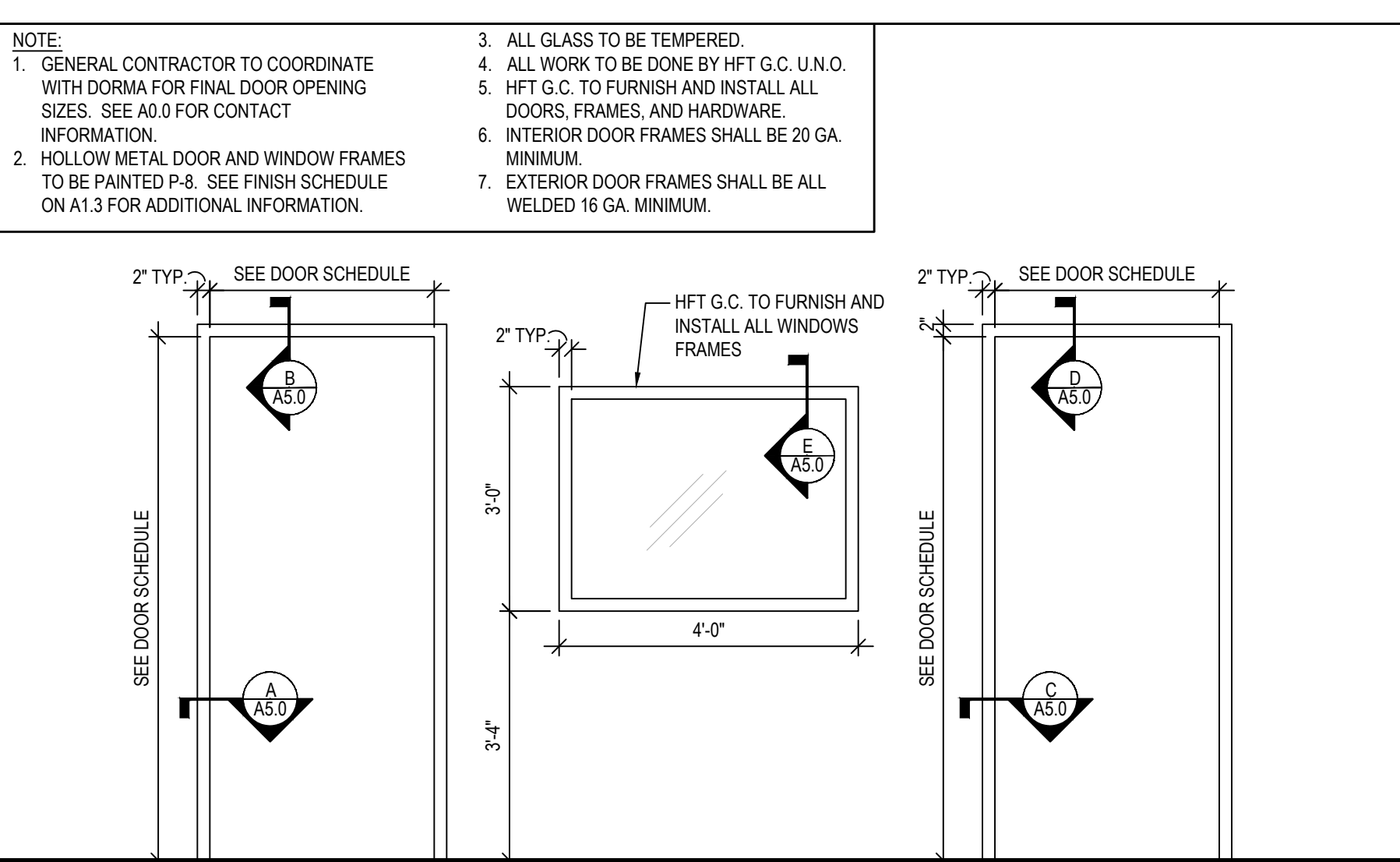
D TYP. EXTERIOR DOOR HEAD DETAIL
SCALE: 3" = 1'-0"

DOOR TYPES



A NEW BI-PART PARTIAL BREAKOUT ALUM ENTRY DOORS (ESA200 SERIES BY DORMA) **B1** SOLID CORE WOOD DOOR **B2** HOLLOW METAL DOOR

FRAME TYPES



1 INTERIOR HOLLOW METAL DOOR FRAME **2** INTERIOR HOLLOW METAL WINDOW FRAME **3** EXTERIOR HOLLOW METAL DOOR FRAME

KLS ARCHITECT

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HARBOR FREIGHT TOOLS

1475 SOUTH CONGRESS AVENUE
DELRAY BEACH, FL 33445

REVISIONS	
#	DATE
1	
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DOOR SCHEDULE & DETAILS

DATE: 9/06/16
JOB NO.: 16243

A5.0

SHEET NO.