

PLANNING AND ZONING BOARD STAFF REPORT

Delray Beach Water Treatment Plant

Meeting	File No.	Application Type
January 26, 2026	2025-118	Level 3 Site Plan
Property Owner		Authorized Agent
City of Delray Beach		CDM Smith

Request

Consideration of a Level 3 Site Plan Application with Architectural Elevations and a Landscape Plan for renovations and an addition to an existing water treatment facility.

Site Data & Information

Location: 200 SW 6th Street

PCN: 12-43-46-20-01-009-0010

Property Size: 8.22 acres / 358,063 sq. ft.

Land Use: Community Facility (CF)

Zoning: Community Facility (CF)

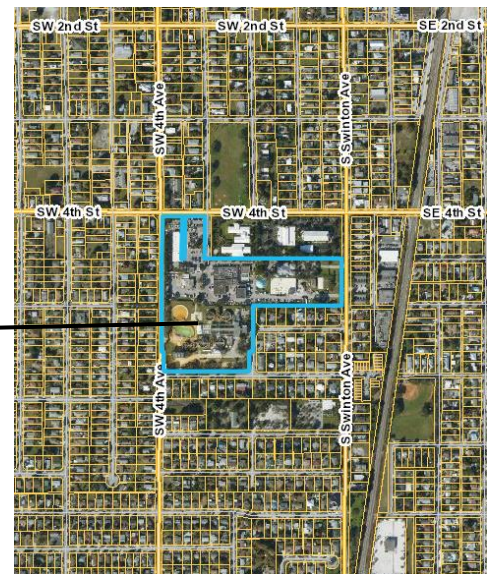
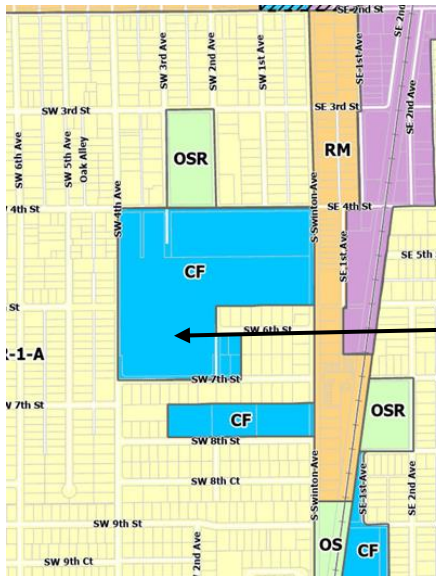
Adjacent Zoning:

- **North, South, West:** Single Family Residential (R-1-A)
- **East:** Multi-Family residential (RM)

Existing Use: Water Treatment Facility / Swinton Operations Complex

Proposed Land Use: Water Treatment Facility
(Renovation and Expansion of Existing Facility)

This application only pertains to the portion of the existing municipal property that contains the water treatment facility.

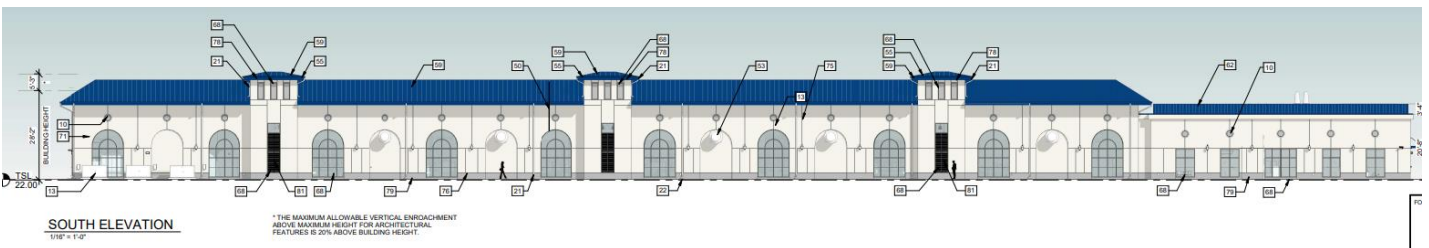


Background Information

The existing Delray Beach municipal water treatment plant is located on the subject property, in addition to other municipal uses including the Swinton Operations Complex public works facility and public works fleet parking. This scope applies specifically to the portions of the site that contain the water treatment plant. The original facility is a multi-decades-old complex originally constructed in the mid-twentieth century that requires significant upgrades and improvements to bring the facility into compliance with State and Federal regulations and to ensure the long-term production of high-quality treated water for City residents and businesses. The proposed improvements form part of the City's broader Capital Improvement Plan for critical water infrastructure.

In addition to the scope of work covered under this application, utility infrastructure improvements that are not subject to site plan review – deep injections wells, etc. – are being completed through separate permitting processes, including requisite environmental and department of health compliance. The Applicant has provided a written narrative that provides more background information on the technical reasons for the proposed scope which has been included as an attachment.

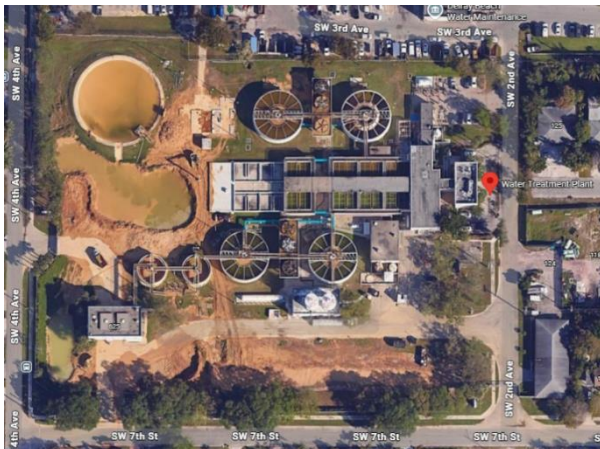
Project Description



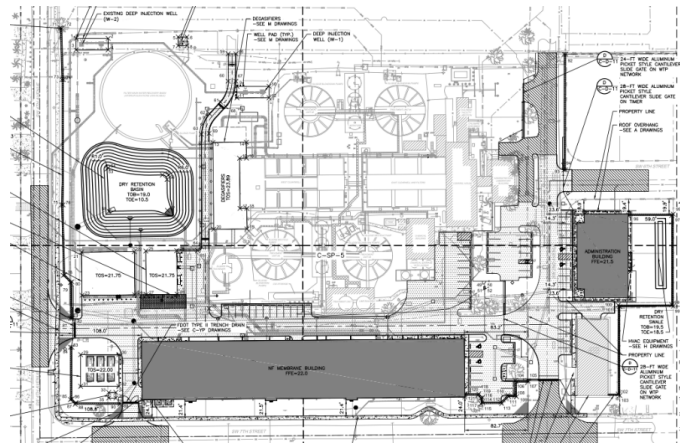
The proposed scope includes construction of a new approximately 32,000 square foot membrane process building and an approximately 7,100 square foot administration building in addition to site infrastructure improvements, new parking areas, modified drive-aisles for improved vehicle circulation, and upgraded site landscaping including a perimeter landscape buffer. The process building includes 6,600 square feet of office and lab area, with the majority of the building comprised of mechanical and utility infrastructure equipment necessary for the operations of the plant. The process building is located at the southern border of the property adjacent to SW 7th Street. The exterior façade incorporates architectural detailing intended to minimize the visual prominence of industrial function of the building by portraying a civic design that is compatible with scale and intensity of the adjacent residential neighborhoods.

The administration building – sharing similar architectural detail - is oriented on the eastward portion of the site adjacent to SW 6th Street. The proposed addition and improvements, while functionally necessary for the long-term viability of the treatment facility – simultaneously improve the aesthetic of the site by integrating contextually appropriate buildings that visually mitigate the functional aspects of the site, and are further enhanced by significantly improved perimeter landscaping and the construction of a new screening wall that will provide visual relief while dampening noise created by the construction of the facility as well intermittent exterior noise created during regular operations.

Existing Site Aerial



Proposed Site Plan



Review and Analysis: Site Plan

LDR Section 2.4.10(A)(3), Findings. *All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.*

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

The Site Plan was reviewed according to the performance standards for site plan actions listed in **LDR Section 3.2.3** and these standards have been factored into the technical review of the application. The intent of the standards is to ensure that certain essential criteria and a level of quality are adhered to with regard to new development. The project complies with the performance standards.

LDR Section 3.1.1, Required Findings. *Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.*

These findings relate to the following four areas:

(A) Land Use Map. *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

CF is a zoning district deemed compatible with the CF land use designation per the comprehensive plan. The intent for this property to remain as a municipal water treatment plant is clearly consistent with the Land Use Map

(B) Concurrency. *Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Water and Sewer. The development will connect to existing water and sewer networks as approved by the City Utilities Department.

Drainage. Drainage will be accommodated on site. All stormwater runoffs will be collected and contained within the subject property through a drainage system approved by the City Engineer.

Transportation. The provided Palm Beach County TPS approval letter indicates the proposed project will not have a significant impact on the existing road network as the anticipated number of peak hour trips is less than 21. Therefore, the project meets transportation concurrency.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools. Not Applicable.

(C) Consistency. *A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

LDR Section 3.2.1, Basis for determining consistency.

The performance standards set forth in this Article either reflect a policy from the adopted Comprehensive Plan or a principle of good planning practice. The performance standards set forth in the following sections as well as compliance with items specifically listed as required findings in appropriate portions of Section 2.4.5 shall be the basis upon which a finding of overall consistency [Section 3.1.1(C)] is to be made. However, exclusion from this Article shall not be a basis for not allowing consideration of other objectives and policies found in the adopted Comprehensive Plan in the making of a finding of overall consistency.

The following Comprehensive Plan objectives and policies are relevant to the request:

Capital Improvements

GOAL CIE 1 Capital improvement planning, programming and implementation plan, *Program, fund, and install public facilities and infrastructure and related capital improvements that serve the existing community and are necessary to accommodate future demand, in an effective and timely manner.*

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.2 *Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.*

Public Facilities and Services

Policy PFE 2.2.2 *Continue to provide the following levels of service at the water treatment facility: Average finished water design flow of the water system @ 234.8 gpcd. Storage capacity for the water system @ 15% of maximum flow plus fire reserve at 1.5 mg, plus 25% of that total. Minimum pressure for the water system @ 20 psi. Capacity of 26 MGD*

Policy PFE 3.5.1 *Maintain a minimum Level of Service for the wastewater treatment plant of 115 gpcd up to the plant capacity of 12 mgd*

The proposed development maintains consistency and compatibility with the comprehensive plan being that it is located on a parcel specifically intended to accommodate necessary community facilities and infrastructure uses and the proposed improvements are essential to ensure adequate Level of Service is maintained for the future.

LDR Section 3.2.3, Standards for Site Plan Action

The standards for site plan action include adequate traffic circulation and accessibility for vehicles and pedestrians, compatibility with adjacent land uses, intensity thresholds, and energy efficiency and sustainability requirements, such that the proposed project will not result in the degradation of the surrounding area. The development proposes a use that is contextually appropriate for the area and aligns with the intent and permitted uses of the Community Facility zoning district and the comprehensive plan; the proposed site plan meets the standards for site plan action.

(D) Compliance with the LDR

The proposed project has been reviewed by the Technical Advisory Committee and has been deemed technically compliant with all applicable regulations of the Land Development Regulations. No relief is needed to accommodate the proposed site configuration or building design. **LDR Section 4.3.4.(K)** establishes that the **CF** zoning district is not subject to any minimum setback regulation other than a 10' perimeter buffer, which – according to **LDR Section 4.4.21(H)(2)** - shall be increased to 15 feet or a decorative wall or fence shall be used when **CF** properties are adjacent to residential zoning districts. As such, a perimeter buffer of at least 10 feet has been provided, exceeding the minimum in most areas where a 21' building setback is proposed along the south property line adjacent to SW 7th Street and a 19' setback has been proposed adjacent to SW 6th Street. In addition, a decorative wall and landscape buffer has been provided along the perimeter where adjacent to residential zoning districts.

Parking has been assessed using the required parking for administrative office uses per **LDR Section 4.6.9** and has been assessed only for the portion of the new structures that contain office and lab square footage. Building area used for the housing of mechanical and utility infrastructure equipment has not been assessed parking. In total, the project generates 55 required spaces and 61 are provided, therefore exceeding the amount of required parking.

The maximum allowable height in the **CF** district is 48 feet, and both buildings are single story structures well below the minimum threshold. The maximum Floor Area Ratio in **CF** is 1.0, and with the proposed additional square footage the site still remains well below this threshold given the significant size of the total lot area. The proposed additional square footage minimally increases the existing FAR by only 0.11.

Review & Analysis: Landscape Plan

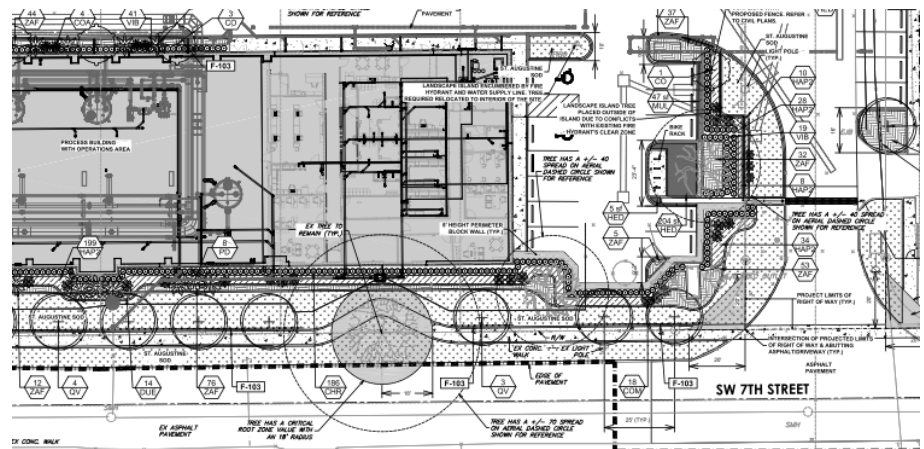
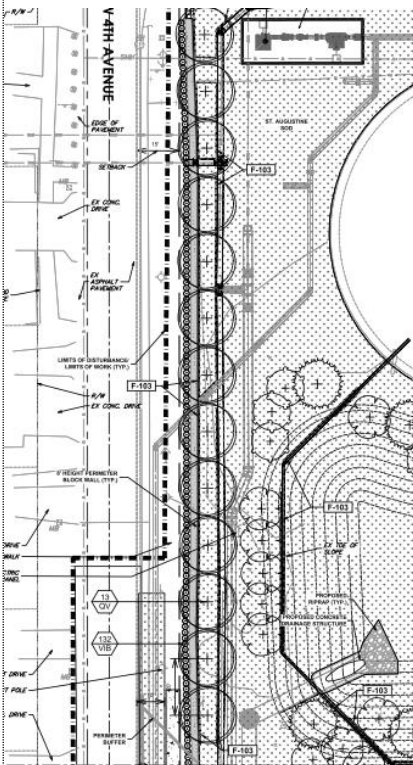
LDR Section 2.4.10(A)(3)(c), Findings

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

A technical review of this site plan has been performed, and a determination has been made that the project complies with all applicable landscape regulations. Landscaping is interspersed throughout the site such that the visual appearance of the treatment facility will be greatly improved. Foundation landscaping is provided along the base of the new buildings and within parking islands in areas where parking lots are being added or modified. Crucially, a substantial tree canopy is proposed along the property line adjacent to perimeter streets to provide beautification and screening of the facility, specifically, a continuous tree canopy of live oaks is proposed along each property line adjacent to a street (as shown in below images).

In total, 757 DBH of tree trunk is proposed to be planted, whereas 489 DBH of existing trunk diameter will be removed. The number of new trees proposed far exceeds the minimum amount necessary for mitigation; some existing mature trees will remain where feasible.

A full landscape plan including the tree disposition plan is available as an attachment.



Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(E), Criteria for board action

The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

Options for Board Action

- A. Move **approval** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- C. Move **denial** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**

Public and Courtesy Notices

No Public Notice was required by the LDR for this application.



Memorandum



To: Planning and Zoning Board

From: CDM Smith

Date: June 13, 2026

Subject: City of Delray Beach Water Treatment Plant Upgrades Project Narrative

Project Introduction

The City of Delray Beach (City) is in the process of upgrading and replacing the existing conventional lime softening Water Treatment Plant (WTP) with a new membrane treatment system. The WTP is located at 200 SW 6th Street Delray Beach, FL 33444. The existing lime softening plant has a 26 million gallons per day (MGD) capacity and is subject to State and Federal drinking water quality regulations.

Due to the increasing age of the existing facility and a changing regulatory landscape, the City selected CDM Smith to replace their existing 26 MGD conventional lime softening treatment plant with a new 22 MGD membrane-based water treatment plant with the ability to expand to 25 MGD. This project will upgrade the existing treatment plant including replacing aging infrastructure and improvement to meet new per- and polyfluoroalkyl substances (PFAS) regulations promulgated in April 2024. The project will also include a proposed administration building on the parcels owned by the City east of SW 2nd Avenue and south of SW 6th Street.

Design Elements

CDM Smith refined the site plan including architectural elevations to ensure full compliance with Land Development Regulations (LDR) and enhance site compatibility. Building setbacks for all structures were clearly documented, building heights and architectural features comply with maximum height and measurement requirements, and architectural enhancements were incorporated to improve the overall visual composition.

The landscape plans fully comply with the requirements of LDR Sections 4.6.16 and 4.6.16(H), including detailed area calculations, diagrams, and updated planting standards. Landscape areas were clearly delineated by special landscape setbacks, landscape barriers, interior landscaping, streetscape, and foundation planting and documented through coordinated plan sheets and tabular summaries.

The planting design was refined to meet City standards and Florida-friendly landscaping principles, with plant schedules identifying botanical and common names, quantities, sizes, and symbols. Tree and palm sizes meet minimum height, trunk clearance, and canopy requirements, and plant species were adjusted to address right-of-way constraints and City preferences. Utility coordination was incorporated by removing or relocating trees that conflicted with underground utilities, and additional trees were provided within the perimeter buffer to enhance screening and visual continuity. Overall, the landscaping plan improves site aesthetics, ensures regulatory compliance, and provides appropriate buffering consistent with the surrounding context.

The design includes adjustments to finished floor elevations to meet flood protection and roadway crown requirements, updates to grading and drainage systems, and clarification of stormwater conveyance elements to ensure proper function, constructability, and regulatory compliance. A signed and sealed drainage report demonstrating compliance with pre- and post-development stormwater criteria was provided, along with calculations for multiple storm events.

Roadway, access, and utility coordination were enhanced through added pavement milling and resurfacing at utility tie-ins, confirmation of gate operations and stacking relief, and sight-distance requirements.

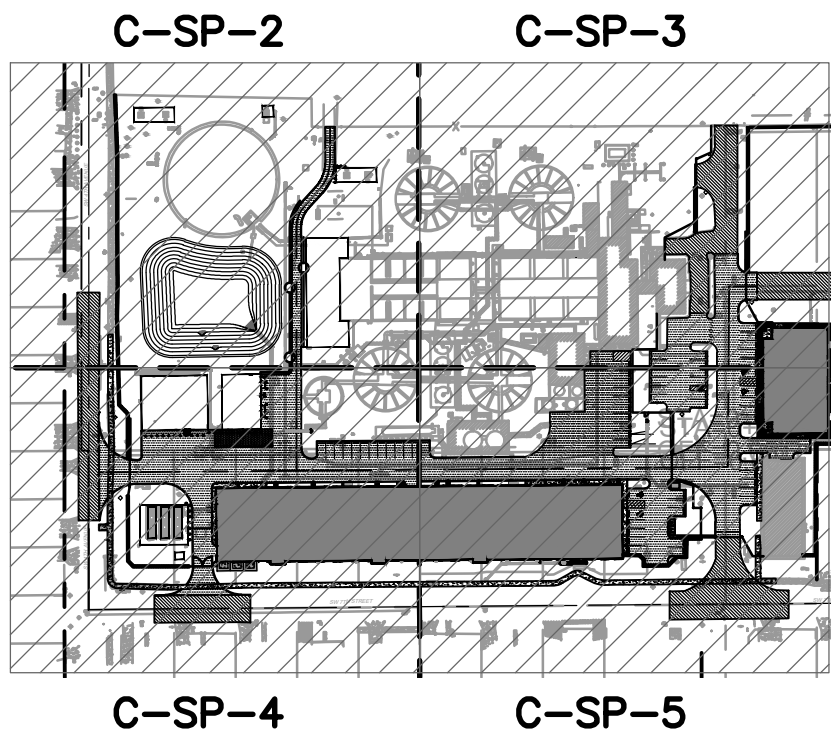
The water and sanitary sewer utility plans were refined through detailed coordination with City's Water Utilities staff to ensure consistency across all civil, site, landscape, and architectural drawings and full compliance with City standards. Existing and proposed utilities were clearly identified, coordinated with demolition and construction phasing, and revised where necessary to eliminate conflicts and improve constructability. Utility infrastructure meets City material, sizing, and configuration standards, including service line materials, meter locations, backflow prevention, fire protection connections, sanitary sewer laterals, manholes, cleanouts, and pipe crossings. Irrigation and fire water systems are clearly defined.

The project has been coordinated with the Fire Safety Division to ensure that all life safety and fire protection requirements are met. Fire and hazardous materials safety were addressed through the submission of Safety Data Sheets and detailed documentation of the types, locations, and quantities of chemicals and fuel stored on site. Chemical storage tank materials, sizes, and capacities were clearly identified, and fuel storage tank capacities and dimensions were provided. These measures ensure that fire protection systems, chemical storage, and fuel facilities are designed to protect public safety, support emergency response, and comply with applicable fire codes for the safe operation of this essential water treatment facility.

Community Engagement

The City held a community engagement meeting on June 26, 2025, to inform residents about planned upgrades to the WTP and to explain why the improvements are necessary. City leadership, Water Utilities staff, and CDM Smith outlined the purpose of the project, existing conditions, and the long-term benefits to water quality, system reliability, and regulatory compliance.

The presentation explained the City's current water system, including source water wells, the existing lime softening water treatment plant, and the proposed project. The project's intent is to replace aging infrastructure and introduce advanced treatment technologies to improve water quality specifically addressing color, taste, odor, and emerging regulatory requirements such as PFAS. Visual renderings were shared to illustrate the "before and after" condition of the site, highlighting architectural features, perimeter walls, and landscaped buffers designed to minimize visual impacts on the surrounding community.




FOR DEVELOPMENT SERVICES USE

DESIGNED BY: _____ J. HEIL
DRAWN BY: _____ Z. MILLER
SHEET CHK'D BY: _____ W. MASON
CROSS CHK'D BY: _____ M. DODSON
APPROVED BY: _____ D. RAUCH
DATE: _____ SEPTEMBER 2025



OVERALL SITE LAYOUT & PAVING PLAN



DAVID A. RAUCH
LICENSE
NO. 100785
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

DATE:
DAVID A RAUCH
PE NO. 100785

A circular professional engineer seal for David A. Rauch. The outer ring contains the text "DAVID A. RAUCH" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "LICENSE" at the top, "NO. 100785" in the center, and "STATE OF FLORIDA" at the bottom.

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PROJECT NO. 159676-291242
FILE NAME: C-SP-6.DWG

C-SP-6

SITE ZONING, PROJECT DATA & CONTROL POINT TABLE

DELRAY BEACH MEMBRANE WATER TREATMENT PLANT

NON-CONFORMITIES CHART			
NO.	LDR REFERENCE CHAPTER/ SECTION	REQUIRED	PROVIDED
1	LDR SECTION 4.6.9(D)	PROVISIONS MUST BE MADE FOR STACKING AND TRANSITION OF INCOMING VEHICULAR TRAFFIC FROM A PUBLIC STREET INTO A PRIVATE PROPERTY TO MAINTAIN A CLEAR AND SAFE PATH FOR VEHICLES, BICYCLISTS, AND PEDESTRIANS. VEHICLES SHALL NOT QUEUE INTO OR OBSTRUCT THE PUBLIC RIGHT-OF-WAY, NOR PLANNED OR EXISTING PUBLIC INFRASTRUCTURE IN THE ULTIMATE RIGHT-OF-WAY, PER ALWAYS DELRAY TABLE MBL-1, STREET NETWORK CLASSIFICATION AND IMPROVEMENTS. (ORD. NO. 11-20, 3, 12-8-20)	N/A

POINT TABLE

POINT NO.	NORTHING	EASTING
21	770994.65	958214.43
22	770995.36	958283.38
23	770938.16	958215.01
24	770938.87	958284.00

POINT TABLE		
POINT NO.	NORTHING	EASTING
37	770877.75	958292.88
38	770881.18	958714.99
39	770801.62	958293.51
40	770805.08	958715.62

FLOOD HAZARD DOCUMENTATION		
LOCATION NAME:	DELRAY BEACH WTP	
LOCATION COORDINATES:	NORTHING:	771035
	EASTING:	958438
PARAMETER	VALUE	NOTES
FEMA FLOOD MAP	12099C0979G	
FEMA BASE (100-YEAR) FLOOD ELEVATION	NOT APPLICABLE	SITE IS NOT WITHIN 100-YEAR FLOOD ZONE
FLOOD ZONE	ZONE X (UNSHADED)	AREA OF MINIMAL FLOOD HAZARD
IS PROJECT SITE HIGHER THAN THE 100-YEAR FLOOD ELEVATION	YES	
IS PROEJCT SITE HIGHER THAN THE 500-YEAR FLOODPLAIN	YES	
BASE FLOOD ELEVATION, BFE (FT, NAVD1988):	8	NEAREST 100-YR FLOOD ELEVATION TO THE PROEJCT SITE ON FIRM MAP (NAVD1988) IS FROM THE INTERCOASTAL WATERWAY EAST OF SE 4TH AVENUE
FLOOD DESIGN CLASS	4	ASCE 24-14 TABLE 1-1
CROWN OF ROAD ADJACENT TO STRUCTURE (FT, NAVD1988)	19.6	
PROPOSED STRUCTURE FINISHED FLOOR EL. (FT, NAVD88)	VARIES (21.25-22.0)	FFE ELEVATION IS APPROX. 1.65-FT ABOVE ROAD CROWN.
MINIMUM FINISHED FLOOR EL.		ASCE 24-14 TABLE 2-1
CRITERION	BFE + 2 FT	
REQUIRED VALUE (FT, NAVD1988)	10	
DESIGN VALUE (FT, NAVD1988)	21.5	
COMPLIES	YES	
MINIMUM EQUIPMENT EL.		ASCE 24-14 TABLE 7-1
CRITERION	BFE + 2 FT	
REQUIRED VALUE (FT, NAVD1988)	10	
DESIGN VALUE (FT, NAVD1988)	21.25	
COMPLIES	YES	
ASCE 24-14: AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD TITLED "FLOOD RESISTANT DESIGN AND CONSTRUCTION".		
NAVD: NORTH AMERICAN VERTICAL DATUM.		
BFE: BASE FLOOD ELEVATION		
WTP: WATER TREATMENT PLANT		

					DESIGNED BY: J. HEIL
					DRAWN BY: Z. MILLER
					SHEET CHK'D BY: W. MASON
					CROSS CHK'D BY: M. DODSON
					APPROVED BY: D. RAUCH
					DATE: SEPTEMBER 2025
REV. NO.	DATE	DRWN	CHKD	REMARKS	

DESIGNED BY: J. HEIL
DRAWN BY: Z. MILLER
SHEET CHK'D BY: W. MASON
CROSS CHK'D BY: M. DODSON
APPROVED BY: D. RAUCH
DATE: SEPTEMBER 2025

**CDM
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ABBREVIATIONS

&	AND	GB	GLASS BLOCK	REF	ROOF EXHAUST FAN
<	ANGLE	GRT	GRATING	REINF	REINFORCE (D, ING)
@	AT	GYP	GYP SUM	REQUIRED	REQUIRED
AB	ANCHOR BOLT	GWB	GYP SUM WALL BOARD	REV	REVISED
ABV	ABOVE	HARD	HARDENER	RF	ROOF FAN
ACMU	ACOUSTICAL CONCRETE MASONRY UNIT	HD	HEAVY DUTY	RFG	ROOFING
AF	ABOVE FINISHED FLOOR	HDWD	HARDWOOD	RJH	REVEAL/RUSTICATION JOINT
AFG	ABOVE FINISHED GRADE	HDWR	HARDWARE	RL	RAIN LEADER
AL, ALUM	ALUMINUM	HGR	HANGER	RLG	RAILING
AMP	ACOUSTICAL METAL PANELS	HGT	HEIGHT	RM	ROOM
ANOD	ANODIZE(D)	HM	HOLLOW METAL	RO	ROUGH OPENING
ASSY	ASSEMBLY	HOR	HORIZONTAL	RT	RUBBER TILE
BBT	BIOBASED TILE	HP	HIGH POINT	RWL	RAIN WATER LEADER
BD	BOARD	HR	HANDRAIL	S	STEEL S-SHAPED DESIGNATION
BEV	BEVEL(ED)	IN	INCH	SB	SUSPENDED ACOUSTICAL TILE
BLDG	BUILDING	INST	INSTRUMENTATION	SCHD	SEAMLESS BASE
BLK	BLOCK	INSUL	INSULATION	SCRN	SCHEDULE
BLKG	BLOCKING	JC	JANITOR'S CLOSET	SECT	SECTION
BRG	BEARING	JT	JOINT	SF	SEAMLESS FLOORING
BRK	BRICK	JT FLR	JOINT FILLER	SFT	STRUCTURAL GLAZED FACING TILE
BRZ	BRASS	L	LINE OF STRUCTURAL ANGLE DESIGNATION	SH	SHEET
BTM	BOTTOM	LAB	LABORATORY	SK	SIMILAR
C TO C	CENTER TO CENTER	LAD	LADDER	SL	SINK
CAB	CABINET	LAM	LAMINATED	SLNT	SLOPE
CEM	CEMENT	LAV	LAVATORY	SPEC	SPECIFICATION, SPECIFIED
CF	COMPRESSIBLE FILLER	LG	LAMINATED GLASS	SST	STANDARD
CGFB	CEMENTITIOUS GLASS FIBER BOARD	LINO	LINOLEUM	STL	STEEL
CH	CONCRETE HARDENER	LKR	LOCKER	STRU	STRUCTURE(S, URAL)
CHAM	CHAMFER	LNTL	LINTEL	STWY	STAIRWAY
CHAN	CHANNEL	LP	LOW POINT	SUPT	SUPERINTENDENT
CIP	CAST IN PLACE	LT	LIGHT(S)	SUSP	SUSPENDED
CJ	CONTROL JOINT	MAS	MASONRY	T	TREAD(S)
CL OR	CENTERLINE	MATL	MATERIAL	TBM	TRAFFIC BEARING MEMBRANE
CLG	CEILING	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
CLKG	CAULKING	MEMB	MEMBRANE	TEMP	TEMPERATURE
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	TEMP	TEMPERED
COL	COLUMN	MIN	MINIMUM	TEMP	TEMPORARY
COMP	COMPRESSIBLE	MISC	MISCELLANEOUS	TER	TERRAZZO
CONC	CONCRETE	MO	MASONRY OPENING	TERB	TERRAZZO BASE
CONT	CONTINUOUS	MR	MOISTURE RESISTANT	THK	THICKNESS
CRPT	CARPET, CARPET TILE	MRAT	MOISTURE RESISTANT ACOUSTICAL TILE	THR	THRESHOLD
CRS	COURSE(S)	MTD	MOUNTED	TKBD	TACKBOARD
CT	CERAMIC TILE	MTG	MOUNTING	TOB	TOP OF BRICK
CET	DETAIL	MTL	METAL	TOC	TOP OF CONCRETE
DF	DRINKING FOUNTAIN	NIC	NOT IN CONTRACT	TOIL	TOILET
DIA	DIAMETER	NOM	MONINAL	TOM	TOP OF MASONRY
DIAG	DIAGONAL	NTS	NOT TO SCALE	TOPG	TOPPING
DIM	DIMENSION	OC	ON CENTER	TOS	TOP OF STEEL
DISP	DISPENSER	OH	OVERHANG	TS	STRUCTURAL TUBING (STEEL UNLESS NOTED)
DN	DOWN	OPNG	OPENING	TSL	TOP OF SLAB
DP	DAMP/PROOFING	OPH HD	OPPOSITE HAND	TWF	THROUGH WALL FLASHING
DR	DRAIN	ORD	OVERFLOW ROOF DRAIN	TYP	TYPICAL
ELEC	ELECTRICAL	OSB	ORIENTED STRAND BOARD	UC	UNDERCUT
ELEV	ELEVATION	OV	OVER	UNLESS OTHERWISE NOTED	
EQ	EQUAL(LY)	OVHD	OVERHEAD	UR	URINAL
EQPT	EQUIPMENT	PERIM	PERIMETER	VB	VAPOR BARRIER
EWG	ELECTRICAL WATER COOLER	PL	PLATE	VCT	VINYL COMPOSITE TILE
EXP	EXPOSED	PLAS	PROPERTY LINE	VERT	VERTICAL
EJ	EXPANSION JOINT	PLK	PLANK	VEST	VESTIBULE
EXIST, (E)	EXISTING	PLYWD	PLYWOOD	VTR	VENT THRU ROOF
FD	FLOOR DRAIN	PM	PRESSED METAL	W	WITH
FE	FIRE EXTINGUISHER	PR	PAIR	W/A	WHERE APPLICABLE
FF	FACTORY FINISH	PRD	PROMENADE ROOF DRAIN	W/O	WITHOUT
FGL	FIBERGLASS	PRCST	PRECAST	WC	WATER CLOSET
FIN	FINISHED	PRFAB	PRE-FABRICATED	WD	WOOD
FLG	FLASHING	PT	PREASSURE TREATED	WDW	WINDOW
FL	FLOOR(ING)	PRMLD	PREMOLDED	WF	WIDE FLANGE
FLR	FILLER	PSF	POUNDS PER SQUARE FOOT	WPG	WATERPROOFING
FR	FRAME	PTD	PAINTED	WT	STEEL TEE-SHAPE DESIGNATION
FRP	FIBERGLASS REINFORCED PLASTIC	QT	QUARRY TILE	WWF	WELDED WIRE FABRIC
FO	FRAME OPENING	QTB	QUARRY TILE BASE		
FV	FIELD VERIFY	R	RISER(S)		
FXD	FIXED	R+S	BACKER ROD & SEALANT		
GA	GAGE, GAUGE	RB	RUBBER BASE		
GALV	GALVANIZED	RD	ROOF DRAIN		
GL	GLASS	RECT	RECEPTACLE		

GENERAL NOTES

HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).

NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS

SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.

SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC

SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT

ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 042000)

PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.

ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESAFING/FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).

DO NOT SCALE FROM THE DRAWINGS

NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION

THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

LINE TYPES (UNLESS OTHERWISE NOTED)

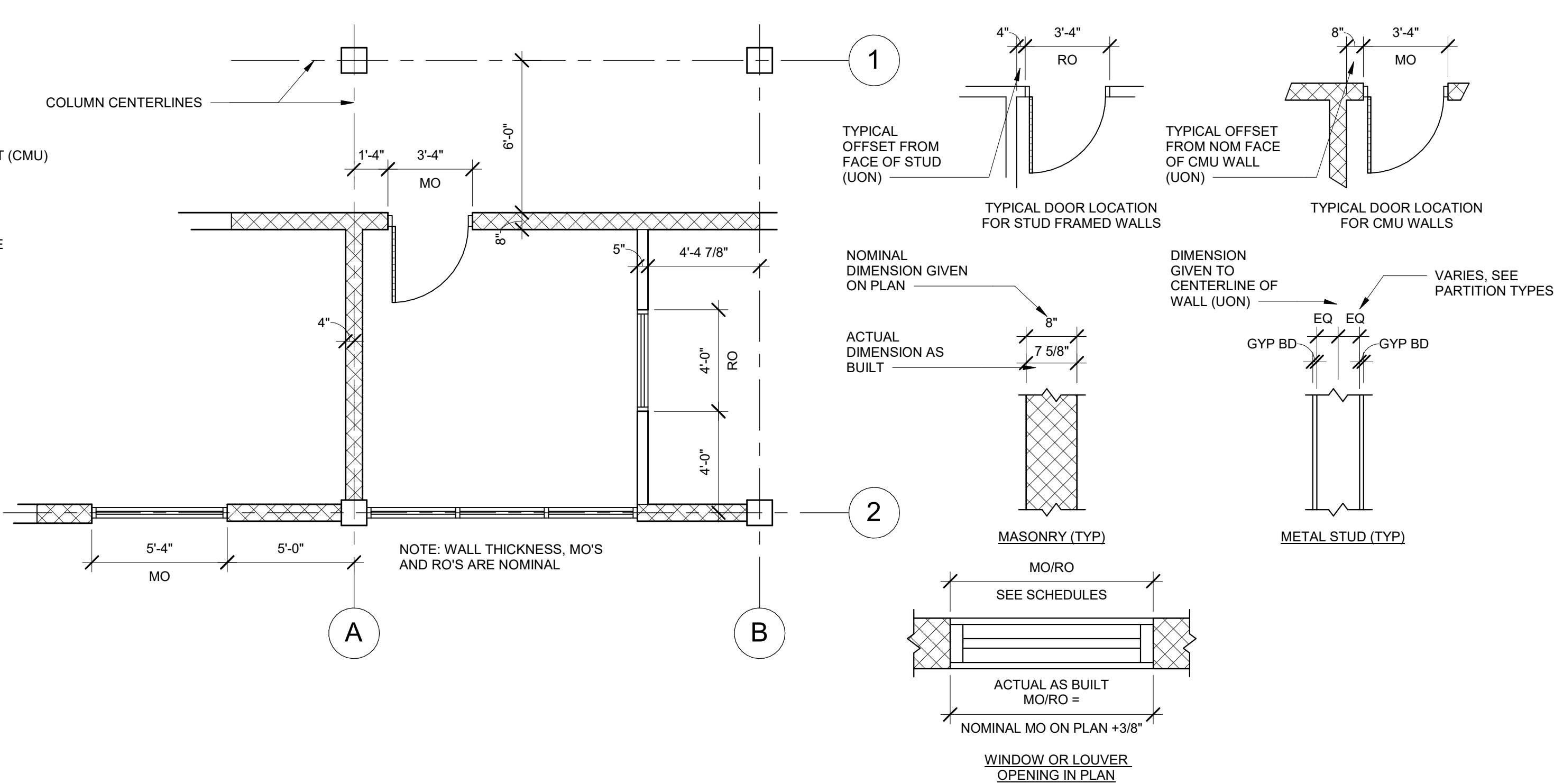
———— CONTINUOUS - NEW CONSTRUCTION

----- DASHED ON CONSTRUCTION PLAN/SHEETS - HIDDEN ELEMENTS BEYOND, ABOVE OR BELOW

MATERIAL SYMBOLS

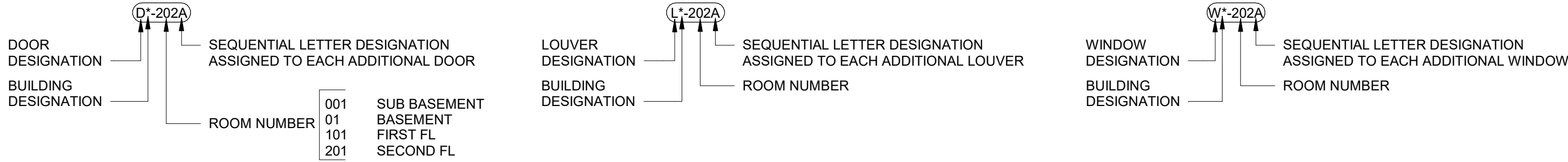
	EARTH
	GRAVEL
	BRICK
	CONCRETE MASONRY UNIT (CMU)
	PRECAST CONCRETE
	CAST-IN-PLACE CONCRETE
	WOOD BLOCKING
	WOOD FINISH
	PLYWOOD
	RIGID INSULATION
	BLANKET INSULATION
	STEEL
	ALUMINUM
	STUCCO / GROUT
	CAULK

DIMENSIONING SYSTEM

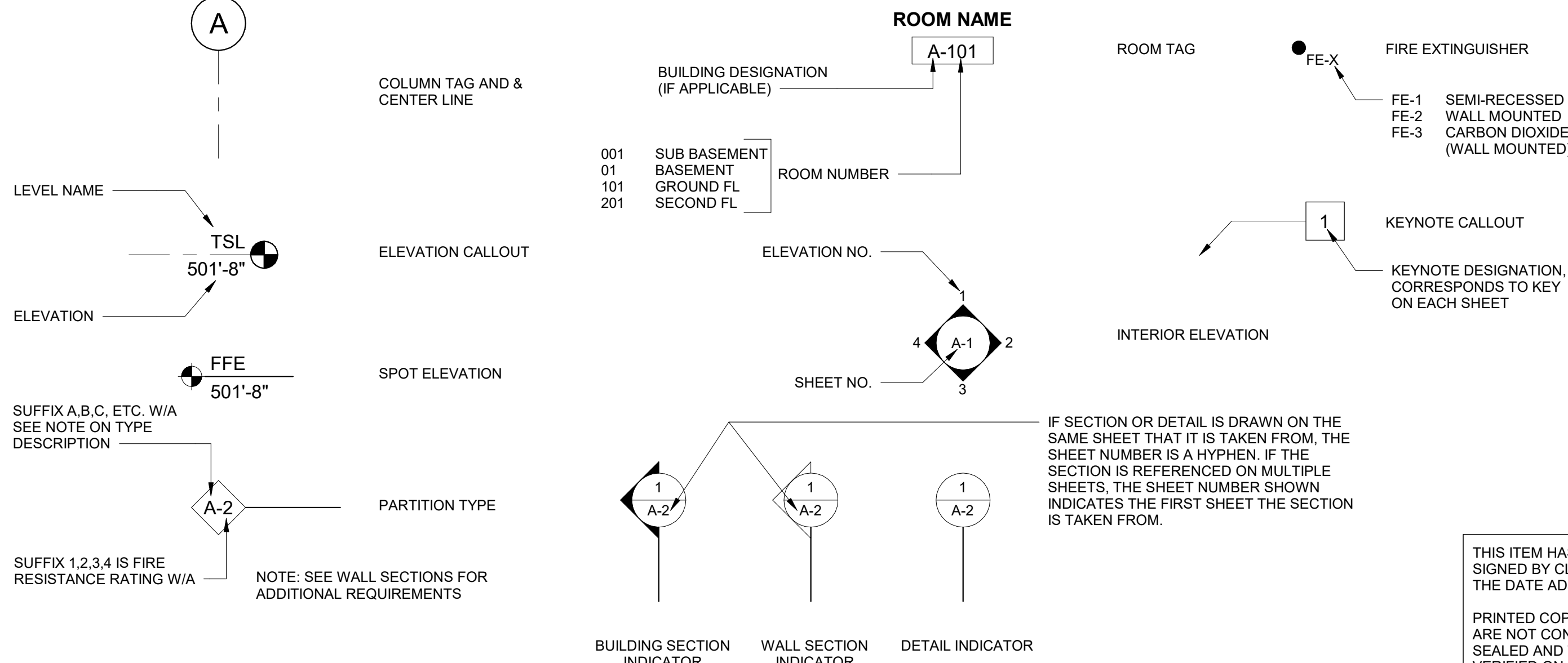


OPENINGS

USUALLY LABELED IN PLAN VIEW; HOWEVER, OPENINGS NOT SHOWN IN PLAN ARE LABELED ON ELEVATIONS

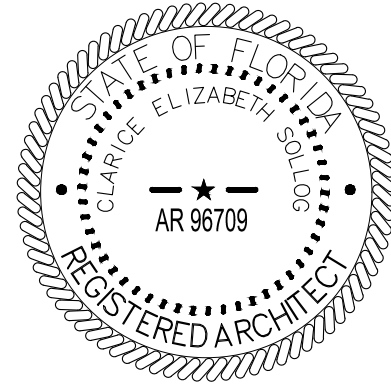


SYMBOLS



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FL. CORP. ARCHITECTURE AA-002781
101 SOUTH HALL LANE, SUITE 200
MAITLAND, FL 32751

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELTON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ARCHITECTURAL ABBREVIATIONS, SYMBOLS, LEGENDS & NOTES

PROJECT NO. 159676-291242
FILE NAME: AWZ000GN.RVT
SHEET NO.
A-GN-1

ISSUED FOR PERMITTING

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CHEMICAL CANOPY CODE KEY DETERMINATIONS

CODE REVIEWED - 2023 FBC, 8TH EDITION WITH AMENDMENTS
FLORIDA FIRE PREVENTION CODE (FFPC), 8TH EDITION WITH APPLICABLE AMMENDMENTS, NFPA 1 (2021) AND NFPA 101 (2021)
NFPA 400 HAZARDOUS MATERIALS CODE (2019)

CHEMICAL CANOPY - WEATHER PROTECTION

BUILDING CLASSIFICATION
FBC SECTION 414
FFPC SECTION 60.4.4.2
EXTERIOR BULK CHEMICAL STORAGE
OUTDOOR STORAGE AND USE, EXCEEDING MAXIMUM ALLOWABLE QUANTITY (SINGLE CONTROL AREA)

CONSTRUCTION TYPE
TYPE IIB, NON-COMBUSTIBLE CONSTRUCTION

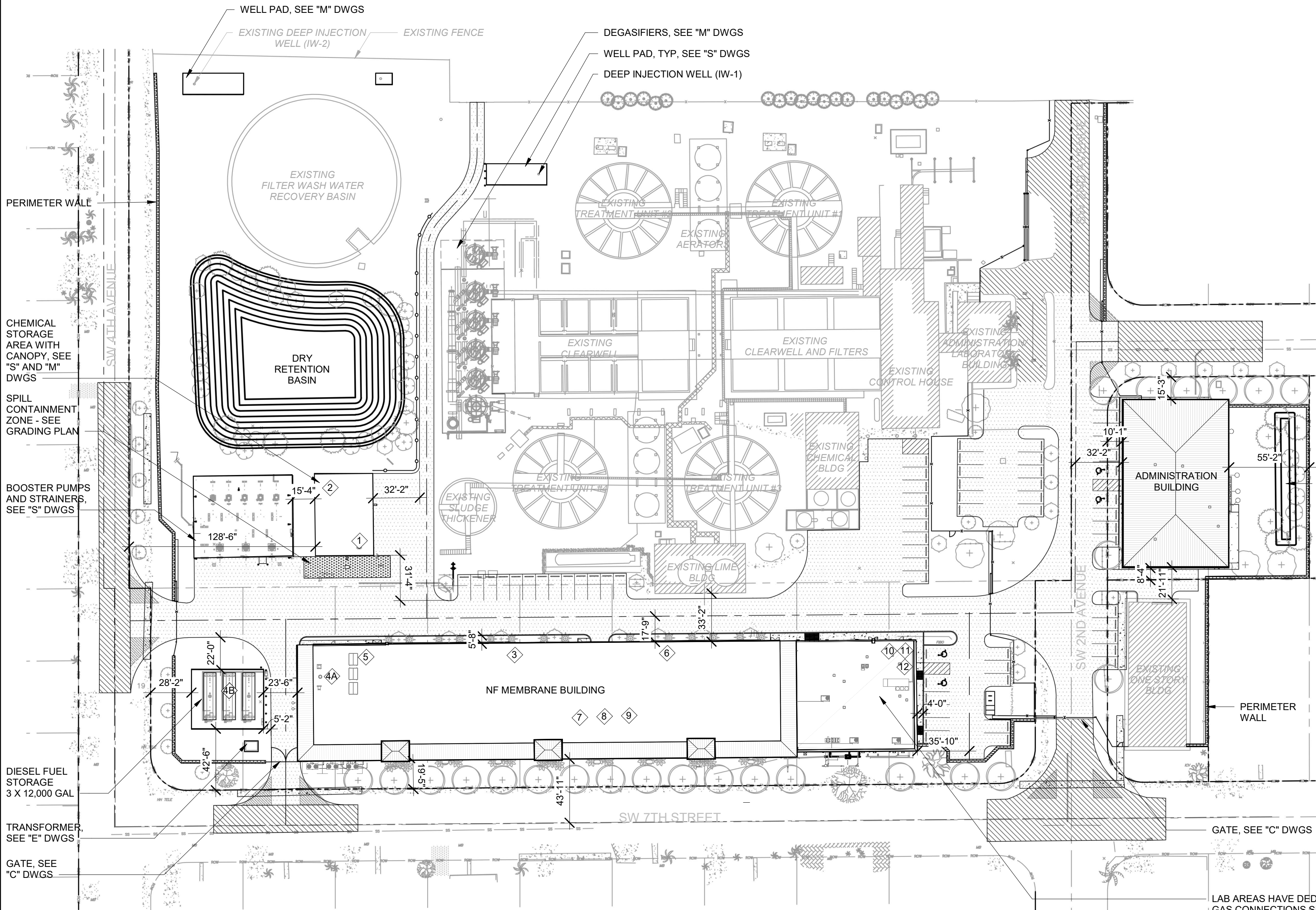
CANOPY AREA
FBC SECTION 414.6.1
ALLOWABLE 1500 SF
ACTUAL 2236 SF*

*ACTUAL SQUARE FOOTAGE IS ALLOWABLE BASED ON FRONTAGE INCREASE CALCULATION IN ACCORDANCE WITH FBC SECTION 506.3.

CHEMICALS STORED
SODIUM HYDROXIDE - IN COMPLIANCE WITH NFPA 400 SECTION 12.4
SULFURIC ACID - IN COMPLIANCE WITH NFPA 400 SECTION 12.4, 15.4, 18.4 AND 20.4

FIRE SEPARATION DISTANCE
REFER TO SITE PLAN; ALL NFPA 400 REQUIREMENTS FOR INDIVIDUAL CHEMICAL TYPES REQUIRE A MIN OF 20' FOOT SEPARATION FROM PROPERTY LINES, PUBLIC WAY, MEANS OF EGRESS TO PUBLIC WAY OR BUILDINGS NOT EXCLUSIVELY USED FOR CHEMICAL STORAGE, USE OR APPLICATION.

SEPARATION BETWEEN SODIUM HYDROXIDE AND SULFURIC ACID UNDER CANOPY IS PROVIDED BY AN UNPIERCED 2-HOUR FIRE RESISTENCE WALL MEETING ALL REQUIREMENTS OF NFPA 400 SECTION 18.4.1.3



SITE KEY PLAN
1" = 50'-0"

GENERAL NOTES:

- SEE SHEET A-1 FOR ADDITIONAL GENERAL NOTES
- THIS SITE PLAN IDENTIFIES STRUCTURES AND BUILDINGS IN THE ARCHITECTURAL SCOPE AND DEFINES BUILDING AND FIRE PROTECTION CODE RELATED SEPERATION OF DISTANCES
- REFER TO CIVIL, LANDSCAPE AND MECHANICAL DRAWINGS FOR ADDITIONAL STRUCTURES AND PROCESS FACILITIES
- SEE CIVIL DWGS FOR ADDITIONAL SITE INFORMATION
- SEE S-CSN-1, S-CSN-3 AND M-CSN-1 FOR CHEMICAL CANOPY DESIGN INCLUDING SECONDARY CONTAINMENT, CHEMICAL SEPARATION AND CANOPY CONSTRUCTION.

FOR BUILDING DEPARTMENT USE

CHEMICAL SUMMARY								NFPA RATING				PHYSICAL HAZARDS							HEALTH HAZARDS		
DESCRIPTION		USE GROUP WHEN MAX ALLOWABLE QTY. EXCEEDED	STATE (S, L, G)	CONCENTRATION (%)	TOTAL - MAX (GAL U.O.N)	STORAGE/USE?	MAX EXEMPT AMOUNT 307.1(1) AND 307.1(2)	HEALTH	FLAMMABILITY	REACTIVITY	SPECIAL	COMBUSTIBLE	CRYGENIC	EXPLOSIVE	FLAMMABLE	OXIDIZER	UNSTABLE REACTIVE	WATER REACTIVE	CORROSIVE	IRRITANT	TOXIC/HIGHLY TOXIC
1	SULFURIC ACID CAS: 7664-93-9	H-4	L	93	10,545	EXT - STORAGE	N/A	3	0	0	OX/ W2	-	-	-	-	C-1	-	C-2	COR	IR	TOX
2	SODIUM HYDROXIDE CAS: 1310-73-2	H-4	L	25	49,000	EXT - STORAGE	N/A	3	0	0	-	-	-	-	-	-	-	C-1	COR	IR	-
3	ANTISCALANT CAS: N/A	-	L	-	1,100	INT - STORAGE	N/A	0	0	0	-	-	-	-	-	-	-	-	-	IR	-
4A	DIESEL FUEL CAS: 00169-00-0	-	L	MIX	550?	INT - STORAGE	660	2	2	0	-	C-2	-	-	-	-	-	-	-	-	-
4B	DIESEL CAS: 00169-00-00	-	L	MIX	36,000	EXT - STORAGE	48,000	2	2	0	-	C-2	-	-	-	-	-	-	-	-	-
5	DIESEL EXHAUST FUEL (UREA) CAS: 57-16-6*	-	L	-	2,000	INT - STORAGE	-	1	0	0	-	-	-	-	-	-	-	-	-	IR	-
6	CITRIC ACID CAS: 77-92-9	-	L	50	330	INT - STORAGE	N/A	2	0	0	-	-	-	-	-	-	-	-	-	IR	-
7	SODIUM HYDROXIDE CAS: 1310-73-2	H-4	L	50	110	INT - STORAGE	500	3	0	0	-	-	-	-	-	-	-	C-1	COR	IR	-
8	SULFURIC ACID CAS: 7664-93-9	H-4	L	93	22.3 LBS	USE - CLOSED	500 LBS	3	0	0	OX/ W2	-	-	-	-	C-1	-	C-2	COR	IR	TOX
9	ANTISCALANT CAS: N/A	-	L	-	1.5 LBS	USE - CLOSED	660	0	0	0	-	C-2	-	-	-	-	-	-	-	IR	-
10	ACETYLENE CAS: 74-86-2	-	G	100	36,000	STORAGE/ USE	48,000	0	4	2	-	-	-	-	C-1A	-	C-2	-	-	-	-
11	ARGON CAS: 7440-37-1	-	G	100	2,000	STORAGE/ USE	-	0	0	0	-	-	-	-	-	-	-	-	-	-	-
12	HELIUM CAS: 7440-59-7	-	G	100	2,000	STORAGE/ USE	-	0	0	0	-	-	-	-	-	-	-	-	-	-	-

*NOTE: VENDOR SUPPLIED SDS SHEET DOES NOT INDICATE A CAS NUMBER FOR SPECIFIED COMPOSITION, CAS NUMBER AND CHARACTERISTICS LISTED ARE THOSE OF LARGEST % BY WEIGHT CHEMICAL.

SITE PLAN LEGEND

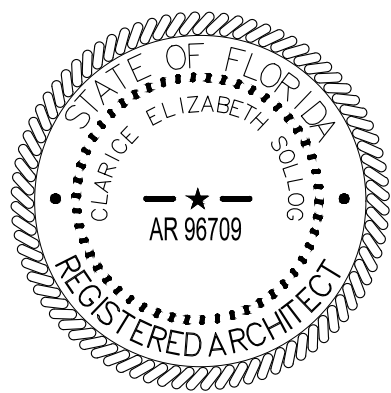
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- PROPERTY LINE
- LOT LINE
- CENTER OF ACCESS TO PUBLIC WAY

FOR DEVELOPMENT SERVICES USE

0 25' 50' 100'
SCALE: 1" = 50'-0"

THIS ITEM HAS BEEN DIGITALLY SIGNED BY CLARICE E. SOLLOG ON THE DATE ADJACENT TO THE SEAL.

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MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWZ000GN.RVT

SHEET NO.

A-GN-2

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOB DY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHEL DON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ARCHITECTURAL SITE PLAN

REV. NO.	DATE	DRWN	CHKD	REMARKS

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Building Code Key Determinations										
Owner:	City of Delray Beach			Date:	July 2025					
Project Name:	Delray Beach Membrane Treatment Plant			Location:	Delray Beach, Florida					
Project No:	159676-291242			Architect of Record:	Clarice E. Sollog, AIA					
Building Name:	NF Membrane Building									
Applicable Ordinances, Codes, and Standards										
Abbreviations	ICC - International Code Council; IBC - International Building Code; IPC - International Plumbing Code; IMC - International Mechanical Code; IECC - International Energy Conservation Code; IFC - International Fire Code; NEC - National Electrical Code; FBC - Florida Building Code									
Building Code	2023 FBC, 8th Edition, with applicable Amendments									
Plumbing Code	2023 FBC Plumbing, 8th Edition, with applicable Amendments									
Mechanical Code	2023 FBC Mechanical, 8th Edition, with applicable Amendments									
Electrical Code	2023 FBC Chapter 27; NFPA 70-2020 NEC, with applicable Amendments									
Energy Code	2023 FBC Energy Conservation, 8th Edition									
Fire / Life Safety Code	Florida Fire Prevention Code (FFPC), 8th Edition, with applicable Amendments, NFPA 1 (2021) and NFPA 101 (2021)									
Accessibility Code	2023 FBC Accessibility, 8th Edition									
Use and Occupancy Classification										
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Mixed Use (Y/N)		Yes		Yes	Provided				
	Occupancy	Section 306.1 Section 304.1	F-1, Moderate Hazard Factory Industrial B, Business	Section 6.1.12 6.1.11	Industrial, Special Purpose (40.1.2.1.2) Business (38.1.2)	F-1 - Process Area B - Operations and Lab Areas				
General Building Heights and Areas										
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Special Industrial Occupancies	Section 503.1.1	N/A		--	Refer to Sheet A-GN-2 for site layout				
	Buildings on Same Lot	Section 503.1.2	N/A		--					
			Allowable no. of stories/Allowable height		Allowable no. of stories/Allowable height					
	Use Group F-1: Type IIB (S)	Table 504.3 Table 504.4	S.3 stories/75 feet		--	S.1 story/ 34'-2"				
	Use Group B : Type IIB (S)		S.4 stories/75 feet		--	Calculated Height S.1 story* 28'-2"				
	Mezzanines and Equipment Platforms	Section 505	N/A	NFPA 101 Section 6.6.10	N/A					
			Allowable Square Footage		Allowable Square Footage					
	Use Group F-1: Type IIB (S1)	Table 506.2	92,000 SF			S1: 25,617 SF				
	Use Group B : Type IIB (S1)		92,000 SF			S1: 6,660 SF				
						Total Footprint: 32,277 SF				
	Unlimited Area Buildings	Section 507	N/A							
	Mixed Use and Occupancy	Section 508.4	Non-Separated Mixed Use, F-1 and B	NFPA 101 Section 6.1.14.3.1	Mixed Occupancy	No separation required				
Incidental Use	Section 509	N/A		N/A	N/A					
Special Provision	Section 510	N/A		N/A	N/A					
Types of Construction										
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Construction Classification	Section 602	Type IIB	8.2.1.2	Type IIB					
	Fire-Resistance Rating Requirements (hours) for Building Elements									
	Building Element		Req'd Rating for Construction Type		Req'd Rating for Construction Type	Provided				
	Primary Structural Frame		0 hours		0 hours	0 hours				
	Bearing Walls (Exterior)		0 hours		0 hours	0 hours				
	Bearing Walls (Interior)	Table 601	0 hours	8.2.1.2	0 hours	0 hours*				
	Non Bearing Walls and Partitions (Exterior)		0 hours		0 hours	0 hours*				
	Non Bearing Walls and Partitions (Interior)		0 hours		0 hours	0 hours*				
	Floor Construction including supporting structure		0 hours		0 hours	0 hours				
	Roof Construction including supporting structure		0 hours		0 hours	0 hours				
	Corridors	Table 1020.2	0 hours with Sprinkler	NFPA 101 Section 7.1.3.1	Not Required	0 hours				
	*2-Hr Fire-rated walls provided at dedicated Electrical Rooms. Per NFPA 1, paragraph 13.3.2.29 sprinklers are provided in accordance with NFPA 13. NFPA 13, paragraph 9.2.6 allows sprinklers to be omitted from electrical equipment rooms where all four listed conditions are met. Proposed design of Main Electrical Room A-130 satisfies all necessary conditions.									
	Fire and Smoke Protection Features									
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Minimum Distance of Projection									
	Exterior Walls	Table 705.2	5 feet or greater FSD - 40 inches from line that determines FSD			Separation exceeds 40 inches from FSD, refer to A-GN-2				
	Fire-Resistance Rating Requirements (hours) for Exterior Walls based on Fire Separation Distance (feet)									
	Fire Separation Distance in feet		Req'd Rating for Occupancy		Req'd Rating for Construction Type	Provided				
	10 ≤ X < 30	Table 705.5	0 hours		--	0 hours				
	X ≥ 30		0 hours		--	0 hours				
	Maximum percentage Area of Exterior Wall Openings based on Fire Separation Distance in feet									
	Unprotected openings in walls of sprinklered buildings with fire separation distance: 10 < X < 30 and X ≥ 30	Table 705.8	10 - 15 feet: 45% 15 - 20 feet: 75% 20 - 30 feet or greater: No Limit		--	In compliance				
	Fire Barriers	Section 707.3	Fire Barrier separating incidental use	NFPA 101 Section 8.3, Table 8.3.3.2.2	--	2 hour Fire Barrier separating incidental use of dedicated Electrical Rooms per NFPA 13, 9.2.6				
	Penetrations	Section 714	Not less than required wall resistance rating	NFPA 101 Section 8.3.4	Not less than required wall resistance rating					
Fire-Resistant Joint System	Section 715	Not less than required wall resistance rating	NFPA 101 Section 8.3.5	Not less than required wall resistance rating	In compliance with required ratings					
Interior Finishes										
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Interior Wall and Ceiling Finish Requirements by Occupancy									
	Interior exit stairways and ramps and exit passageways (Sprinklered)	Table 803.11	Group F-1: Class C required Group B: Class B required	NFPA 1, 12.5.4, 20.13.3, 20.14.3	Class A or B	In compliance				
	Corridors and enclosure for exit access stairways and ramps (Sprinklered)		Group F-1 & B: Class C required	NFPA 101 10.2, 38.3.3, 40.3.3	Class A or B	In compliance				
	Rooms and enclosed spaces (Sprinklered)		Group F-1 & B: Class C required		Class A, B or C	In compliance				
Fire Protection Systems										
		FBC, 8TH EDITION (2023)			FPCC, 8TH EDITION (NFPA 1, NFPA 101)					
	Automatic Sprinkler Systems	Section 903.2	Group F-1 - Required Group B - Not Required	NFPA 1, 13.3.2 NFPA 101 Section 9.7	Industrial - Required Business - Not Required	Provided - F-1 Fire area exceeds 12,000 SF. Provided - B occupancy				
	Portable Fire Extinguishers	Section 906.1	(F-1) and (B) - Required	NFPA 1 Table 13.6.1.2	Required for Industrial and Business Occupancies	30 provided				
	Size and distribution	Section 906.3	(F-1) Process, Light Hazard, Class A		(F-1) Process Floor, Light Hazard, Class A	7				
			(F-1) Main Electrical Room and Generator Room, Light Hazard Light Hazard, Class C	NFPA 1, 13.6.3.2, 13.6.3.4	(F-1) Main Electrical Room and Generator Room, Light Hazard, Class C	5				
			(B) Operations Area: Ordinary Hazard, Class A	NFPA 101, 9.9	(B) Operations Area, Ordinary Hazard, Class A	16				
			(B) Electrical Room, Light Hazard, Class C		(B) Electrical Room, Light Hazard, Class C	1				
Fire Alarm and Detection Systems	Section 903.4 and 907	(B) Server Room, Light Hazard, Class C Required with automatic sprinkler system	NFPA 1, 13.7, NFPA 101 9.6	(B) Server Room, Light Hazard, Class C Required with automatic sprinkler system	1 In compliance					

Means of Egress			FBC, 8TH EDITION (2023)			FFPC, 8TH EDITION (NFPA 1, NFPA 101)			Provided			
Occupant Load	Maximum Floor Area Allowances per Occupant	Table 1004.5	Business Areas = 150 SF gross per occupant			NFPA 101 Table 7.3.1.2	Business Areas = 150 SF per person			44 occupants		
			Ground Level (B) - 6,526 SF / 150 SF = 43.5				(B) - 6,660 SF / 150 SF = 44.4			257 occupants		
			Industrial areas = 100 SF gross per occupant				Industrial area - 100 SF or MP			Total Calculated Occupant Load: 301		
			Ground Level (F-1) - 25,655 SF / 100 SF = 256.5				Ground Level (F-1) - 25,617 SF / 100 SF = 256.5					
	Means of Egress Sizing	Section 1005							N/A			
	Stairway width	Section 1005.3.1	0.3 inches x occupant load = 0.3 x 302 = 90.6 in.						374 inches total			
	Other egress components = Doors width	Section 1005.3.2	F-1(S): 2 exits with occupant load = 49, max common path of travel 100 ft			Not less than 2 means of egress			F-1: 5 exits, B: 3 exits (8 total)			
	Number of Exits	Section 1006.2	B(S): 1 exit with max occupant load of 49, max common path of travel 100 ft									
	Means of Egress Illumination	Section 1008				NFPA 101 7.8			In compliance			
	Accessible Means of Egress	Section 1009	See Accessibility section below			NFPA 101 7.5.4			--			
Doors, Gates and Turnstiles								Accessible areas in compliance				
Size of Doors	Section 1010.1.1	Minimum Width = 32 inches			NFPA 101 7.2.1			Minimum Width = 32 inches				
Door Swing	Section 1010.1.2	Pivoted or side-hinged swinging type						--				
Stairways	Section 1011				NFPA 101 7.2.2			34 inches				
Ramps	Section 1012	Slope not to exceed 1:12						In compliance				
Exit Signs	Section 1013	Required throughout			NFPA 101 7.10			Required throughout				
Handrails	Section 1014				NFPA 101 7.2.2.4.1			In compliance				
Guards	Section 1015	Required at all locations 30" or more above grade						N/A				
Exit Access	Section 1016							Required at all locations 30" or more above grade				
Exit Access Travel Distance	Table 1017.2	Group F-1 (S), 250 feet maximum Group B (S), 300 feet maximum			NFPA 101 7.6, 38.2.6, Table 40.2.6.1			In compliance (roof edge protection)				
Minimum Corridor Width	Table 1020.3	Any Facilities - 44 inches minimum			NFPA 101 38.2.3.2 Table 40.2.5.3.1			In compliance				
Exterior Exit Ramps and Stairways	Section 1027							In compliance				
Exit Discharge	Section 1028	Required to be directly to exterior and at grade			NFPA 101 7.7			Required to be directly to exterior and at grade				
Accessibility			FBC Accessibility, 8TH EDITION (2023)									
	Designed in accordance with FBC Accessibility	Chapter 2	Factory Industrial Occupancy		Section 203.5 - Spaces frequented only by service personnel for maintenance, repair or occasional monitoring of equipment are not required to comply.				Process Area, Generator Room and Main Electrical Room, are not required to comply.			
			Business Occupancy		No exemptions.				In compliance			
Interior Environment			FBC, 8TH EDITION (2023)									
	Ventilation	Section 1203	Paragraph 1203.1 General				In compliance, see "H" drawings					
	Temperature Control	Section 1204	Paragraph 1204.1 Equipment and systems				In compliance, see "H" drawings					
	Lighting	Section 1205	Paragraph 1205.3 Artificial light				In compliance, see "E" drawings					
	Interior Space Dimensions	Section 1208	Paragraph 1208.2 Minimum Ceiling Heights				In compliance, see "A" drawings					
	Access to Unoccupied Spaces	Section 1209	Paragraph 1209.3 Mechanical Appliances				N/A					
Plumbing Systems			FBC, 8TH EDITION (2023)									
	Minimum Plumbing Facilities	Table 2902.1	Factory and Industrial Occupancy - 257 occupants			Male		Required Female		Total Provided		
			Water Closets (Urinals)			1 per 100; 1/29		1 per 100; 1/29		2 male, 2 female and 1 unisex provided		
			Lavatories			1 per 100; 1/29		1 per 100; 1/29		2 male, 2 female and 1 unisex provided		
			Bathhub/Showers					N/A		1 shower - Womens 2 showers- Mens		
			Drinking Fountains					1 per 400, 0.64		2 total		
			Other - Service Sink					1 service sink		1 total		
			B Occupancy - 45 occupants			Male		Female				
			Water Closets (Urinals)			1 per 25 for the first 50 & 1 per 50 for the remainder exceeding 50; 1.6		1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50; 1.6		2 male, 2 female and 1 unisex provided		
			Lavatories			1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80; 1, 1/25		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80; 1, 1/25		2 male, 2 female and 1 unisex provided		
			Bathhub/Showers					N/A		1 shower - Womens 2 showers- Mens		
			Drinking Fountains					1 per 100; 0.45		2 total		
			Other - Service Sink					1 service sink		1 total		
NF MEMBRANE BUILDING APPROVED PRODUCTS LIST												
PRODUCT NAME			MANUFACTURER		MODEL		FL PRODUCT APPROVAL		APPROVAL NUMBER		DESIGN PRESSURE	
DOUBLE WIDTH ALUMINUM DOOR AND FRAME			CLINE		SERIES 100BE (D)		YES		6336.8		+80/-80	
SINGLE WIDTH ALUMINUM DOOR AND FRAME			CLINE		SERIES 100BE (S)		YES		6336.6		+90/-90	
INSULATED OVERHEAD ROLL-UP DOOR			COOKSON		INSULATED ESD20		YES		17421.2		+120/-120	
WIND DRIVEN RAIN LOUVERS			GREENHECK		EVH-660D		YES		16785.1		+160/-140	
SBS MODIFIED BITUMEN ROOF SYSTEM			JOHNS MANVILLE		SBS-ADHESIVE APPLIED		YES		2948.1		+NA/-247.5	
THERMALLY BROKEN ALUMINUM STOREFRONT/WINDOW SYSTEM			YKK		YHS 50 TU		YES		14218.11		+70/-70	
THERMALLY BROKEN ALUMINUM FIXED WINDOW SYSTEM			YKK		YFW 400 TUH		YES		13269.1		+90/-120	
THERMALLY BROKEN ALUMINUM CASEMENT WINDOW SYSTEM			YKK		YOW 350 TUH		YES		16312.8		+65/-65	
STANDING SEAM METAL ROOF			PAC-CLAD		TITE-LOC PLUS (.032")		YES		24423.12		+NA/-204.25	
NOTE: APPROVED PRODUCTS LIST IS A LISTING OF THE DESIGN BASIS PRODUCTS AND THE APPLICABLE APPROVED FLORIDA STATE PRODUCT DATA/TESTING. CONTRACTOR CAN SUBMIT *OR EQUAL* PRODUCTS BUT IS RESPONSIBLE FOR PRODUCT APPROVAL AND COORDINATION OF THAT INFORMATION WITH BUILDING DEPARTMENT.												

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Building Code Key Determinations						
Owner:	City of Delray Beach			Date:	July 2025	
Project Name:	Delray Beach Membrane Water Treatment Plant			Location:	Delray Beach, Florida	
Project No:	159676-291242			Architect of Record:	Clarice E. Sollog, AIA	
Building Name:	Administration Building					
Applicable Ordinances, Codes, and Standards						
Abbreviations	ICC - International Code Council; IBC - International Building Code; IPC - International Plumbing Code; IMC - International Mechanical Code; IECC - International Energy Conservation Code; IFC - International Fire Code; NEC - National Electrical Code; FBC - Florida Building Code					
Building Code	2023 FBC, 8th Edition, with applicable Amendments					
Plumbing Code	2023 FBC Plumbing, 8th Edition, with applicable Amendments					
Mechanical Code	2023 FBC Mechanical, 8th Edition, with applicable Amendments					
Electrical Code	2023 FBC Chapter 27; NFPA 70-2020 NEC, with applicable Amendments					
Energy Code	2023 FBC Energy Conservation, 8th Edition					
Fire / Life Safety Code	Florida Fire Prevention Code (FFPC), 8th Edition, with applicable Amendments, NFPA 1 (2021) and NFPA 101 (2021)					
Accessibility Code	2023 FBC Accessibility, 8th Edition					
Use and Occupancy Classification						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		Provided
	Mixed Use (Y/N)		NO			
	Occupancy	Section 304.1	B, Business	NFPA 101 Section 6.1.11	Business	B - Administration Building
General Building Heights and Areas						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		
	Special Industrial Occupancies	Section 503.1.1	N/A			Refer to Sheet A-GN-2 for site layout Provided
	Buildings on Same Lot	Section 503.1.2				
			Allowable no. of stories/Allowable height		Allowable no. of stories/Allowable height	
	Use Group B : Type IIB (NS)	Table 504.3 Table 504.4	3 stories/55 feet			NS: 1 story/ 19'-10" Calculated Height NS: 1 story/ 16'-1"
	Mezzanines and Equipment Platforms	Section 505	N/A	NFPA 101 Section 8.6.10	N/A	
			Allowable Square Footage		Allowable Square Footage	Provided
	Use Group B : Type IIB (NS)	Table 506.2	23,000 SF			NS: 7,117 SF Total Footprint: 7,118 SF
	Unlimited Area Buildings	Section 507	N/A			
	Mixed Use and Occupancy	Section 508.4	N/A	NFPA 101 Section 6.1.14.3.1	N/A	N/A
	Incidental Use	Section 509	N/A		N/A	N/A
	Special Provision	Section 510	N/A		N/A	N/A
Types of Construction						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		
	Construction Classification	Section 602	Type IIB	8.2.1.2	Type IIB	
	Fire-Resistance Rating Requirements (hours) for Building Elements					
	Building Element		Req'd Rating for Construction Type		Req'd Rating for Construction Type	Provided
	Primary Structural Frame	Table 601	0 hours	Table A.8.2.1.2	0 hours	0 hours
	Bearing Walls (Exterior)		0 hours		0 hours	0 hours
	Bearing Walls (Interior)		0 hours		0 hours	0 hours
	Non Bearing Walls and Partitions (Exterior)		0 hours		0 hours	0 hours
	Non Bearing Walls and Partitions (Interior)		0 hours		0 hours	0 hours
	Floor Construction including supporting structure		0 hours		0 hours	0 hours
	Roof Construction including supporting structure		0 hours		0 hours	0 hours
	Corridors	Section 1020.2	1 hour (NS)	NFPA 101 Section 7.1.3.1	1 hour	1 hour
Fire and Smoke Protection Features						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		
	Minimum Distance of Projection					
	Exterior Walls	Table 705.2	5 feet or greater FSD - min 40 inches from line that determines FSD			Separation far exceeds 40 inches from FSD, refer to A-GN-2
	Fire-Resistance Rating Requirements (hours) for Exterior Walls based on Fire Separation Distance (feet)					
	Fire Separation Distance in feet		Req'd Rating for Occupancy		Req'd Rating for Construction Type	Provided
	10 ≤ X < 30	Table 705.5	0 hours		--	0 hours
	X ≥ 30		0 hours		--	0 hours
	Maximum percentage Area of Exterior Wall Openings based on Fire Separation Distance in feet					
	Unprotected openings in walls of nonsprinklered buildings with fire separation distance 10 ≤ X < 30 and X ≥ 30	Table 705.8	20 - 25 feet: 45% 30 or greater: No Limit			In compliance
	Fire Partitions	Section 708	not less than 1 hour	NFPA 101 Section 8.3.2, Table 8.3.3.2.2	1 hour, 45 min rated door and sidelite	In compliance with required ratings
	Penetrations	Section 714	Not less than required wall resistance rating	NFPA 101 Section 8.3.4	Not less than 1 hour or required wall resistance rating	In compliance with required ratings
	Fire-Resistant Joint System	Section 715	Not less than required wall resistance rating	NFPA 101 Section 8.3.5	Not less than 1 hour or required wall resistance rating	
Interior Finishes						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		
	Interior Wall and Ceiling Finish Requirements by Occupancy					
	Interior exit stairways and ramps and exit passageways (Not Sprinklered)	Table 803.11	Group B: Class A required	NFPA 1, 12.5.4 NFPA 101 10.2, 38.3.3	Class A or B	In compliance
	Corridors and enclosure for exit access stairways and ramps (Not Sprinklered)		Group B: Class B required		Class A or B	In compliance
	Rooms and enclosed spaces (Not Sprinklered)		Group B: Class C required		Class A, B or C	In compliance
Fire Protection Systems						
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		
	Automatic Sprinkler Systems	Section 903.2	Not required per occupancy classification	NFPA 1 13.3.2, NFPA 101 Section 9.7	Not Required	Not Required
	Portable Fire Extinguishers	Section 906.1	(B) - Required	NFPA 1 Table 13.6.1.2	Required	11 provided
	Size and distribution	Section 906.3	(B) Administration Area: Ordinary Hazard, Class A (B) Electrical Room: Light Hazard, Class C	NFPA 1, 13.6.3.2, 13.6.3.4, NFPA 101, 9.9	(B) Administration Area: Ordinary Hazard, Class A (B) Electrical Room: Light Hazard, Class C	9 1
	Fire Alarm and Detection Systems	Section 907	Not required per occupancy classification	NFPA 1, 13.7, NFPA 101 9.6	Not Required	Not Required

Means of Egress					
	FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)		Provided
Occupant Load					
Maximum Floor Area Allowances per Occupant	Table 1004.5	Business Areas = 150 SF gross per occupant Assembly, Unconcentrated = 15 net Ground Level (B) = 6,384 SF / 150 SF = 42.6 Training Room (B) = 733 SF / 15 SF = 48.9 * Below threshold of section 303.1.2 and classified as B occupancy	NFPA 101 Table 7.3.1.2	Business Areas = 150 SF per person Collaboration Rooms > 450 SF = 15 SF per person (B) = 6,385 SF / 150 SF = 42.6 Training Room = 733 SF / 15 SF = 48.9	43 Occupants 49 Occupants Total Calculated Occupant Load: 92
Means of Egress Sizing	Section 1005				
Stairway width	Paragraph 1005.3.1	0.3 inches x occupant load = 0.3 x 87 = 26.1 in.	NFPA 101 Table 7.3.3.1	0.3 inches x occupant load = 0.3 x 87 = 26.1 in.	N/A
Other egress components = Doors width	Paragraph 1005.3.2	0.2 inches x occupant load = 0.2 x 87 = 17.4 in.	NFPA 101 Table 7.3.3.1	0.2 inches x occupant load = 0.2 x 87 = 17.4 in.	111 inches clear
Number of Exits	Section 1006.2	2 exits with occupant load of >30, common path of travel exceeds 75 FT	NFPA 101 7.4, 38.2.4.1, 38.2.5.2.2	Not less than 2 means of egress, common path of travel not to exceed 75 FT	2 exits provided
Means of Egress Illumination	Section 1008		NFPA 101 7.8		In compliance
Accessible Means of Egress	Section 1009	See Chapter 11 below	NFPA 101 7.5.4	--	
Doors, Gates and Turnstiles					
Size of Doors	Section 1010.1.1	Minimum Width = 32 inches	NFPA 101 7.2.1	Minimum Width = 32 inches	34 inches
Door Swing	Section 1010.1.2	Pivoted or side-hinged swinging type		--	In compliance
Stairways	Section 1011		NFPA 101 7.2.2		N/A
Ramps	Section 1012	slope not to exceed 1:12			N/A
Exit Signs	Section 1013	Required throughout	NFPA 101 7.10	Required throughout	In compliance
Handrails	Section 1014		NFPA 101 7.2.2.4.1		N/A
Guards	Section 1015	Required at all locations 30" or more above grade		Required at all locations 30" or more above grade	N/A
Exit Access	Section 1016				In compliance
Exit Access Travel Distance	Table 1017.2	Group B, 200 feet maximum	NFPA 101 7.6, 38.2.6	200 feet max travel distance to exit	136 feet maximum, refer to Life Safety Plan
Minimum Corridor Width	Table 1020.3	Any Facilities - 44 inches minimum	NFPA 101 38.2.3.2	44 inches minimum, serving an occupant load of 50 or more	72 inches provided
Exterior Exit Ramps and Stairways	Section 1027				N/A
Exit Discharge	Section 1028	Required to be directly to exterior and at grade	NFPA 101 7.7	Required to be directly to exterior and at grade	In compliance
Accessibility					
	FBC Accessibility, 8TH EDITION (2023)				
	Designed in accordance with FBC Accessibility	Chapter 2	Business Occupancy	No exemptions.	In compliance
Interior Environment					
	FBC, 8TH EDITION (2023)				
Ventilation	Section 1203	Paragraph 1203.1 General			In compliance, see "H" drawings
Temperature Control	Section 1204	Paragraph 1204.1 Equipment and systems			In compliance, see "H" drawings
Lighting	Section 1205	Paragraph 1205.3 Artificial light			In compliance, see "E" drawings
Interior Space Dimensions	Section 1208	Paragraph 1208.2 Minimum Ceiling Heights			In compliance, see "H" drawings
Access to Unoccupied Spaces	Section 1209	Paragraph 1209.3 Mechanical Appliances			N/A
Plumbing Systems					
	FBC, 8TH EDITION (2023)				
Minimum Plumbing Facilities	Table 2902.1	B Occupancy - 87 occupants	Male	Female	Provided
		Water Closets (Urinals)	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	2 each
		Lavatories	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	3 each
		Bathub/showers	N/A		N/A
		Drinking Fountains	1 per 100; 1		2 total
		Other - Service Sink	1 service sink		1 total

ADMINISTRATION BUILDING APPROVED PRODUCT LIST							
PRODUCT NAME	MANUFACTURER	MODEL	FL PRODUCT APPROVAL	APPROVAL NUMBER	DESIGN PRESSURE	IMPACT RATED	
DOUBLE WIDTH ALUMINUM STOREFRONT DOOR	YKK	35H MEDIUM STILE	YES	16554.1	+90/-90	YES	
SINGLE WIDTH ALUMINUM STOREFRONT DOOR	YKK	35D MEDIUM STILE	YES	12892.3	+55/-55	N/A	
STANDING SEAM METAL ROOFING	PAC-CLAD	TITE-LOC PLUS (.032")	YES	24423.12	+N/A/-204.25	N/A	
THERMALLY BROKEN ALUMINUM FIXED WINDOW SYSTEM	YKK	YFW 400 TUH	YES	13269.1	+90/-120	YES	
WIND DRIVEN RAIN LOUVERS	RUSKIN COMPANY	EME3625MD	YES	21829.9	+120/-120	YES	

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GENERAL NOTES:

- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES
- SEE SHEET A-AB-1 FOR LIFE SAFETY PLAN

REV. NO.	DATE	DRWN	CHKD	REMARKS	

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBODY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

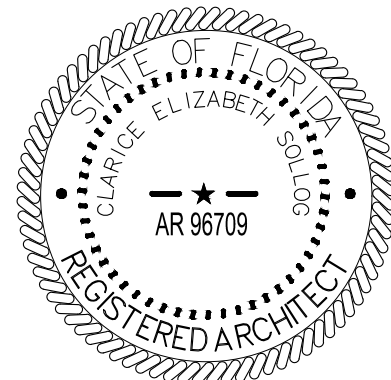
ADMINISTRATION BUILDING
BUILDING CODE KEY DETERMINATIONS

PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT
SHEET NO.
A-GN-4

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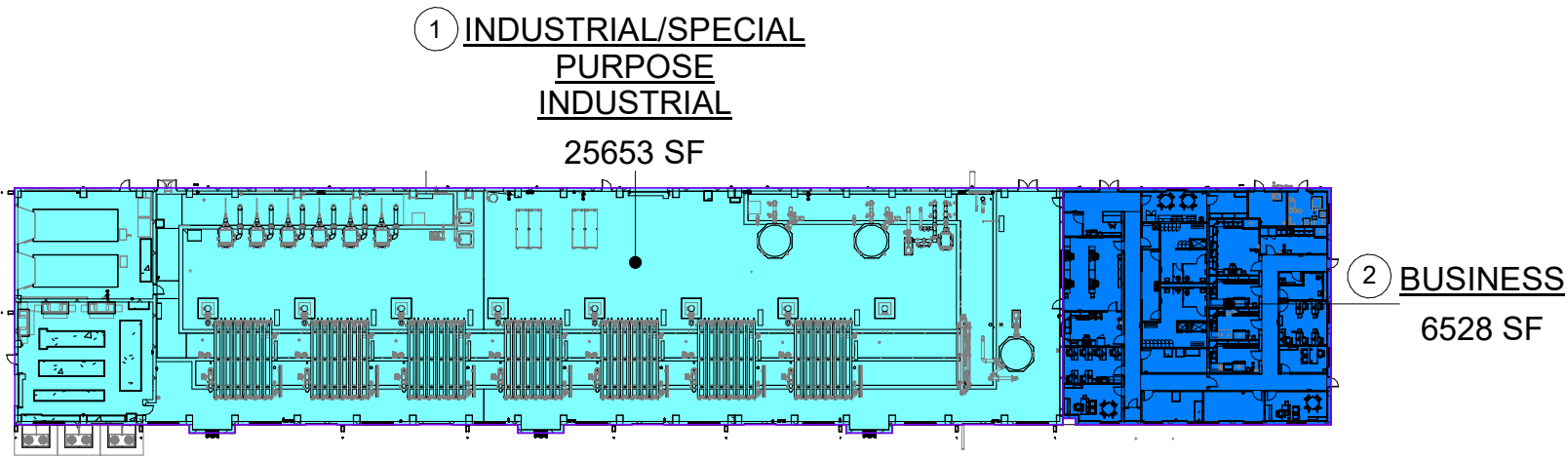
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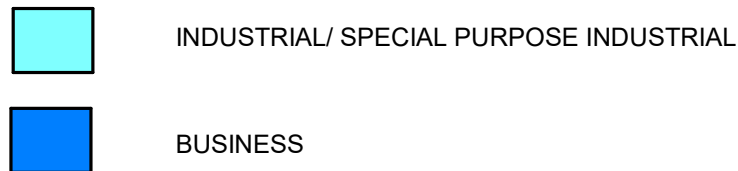
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OCCUPANT LOAD KEY PLAN
1" = 80'-0"

CALCULATED OCCUPANT LOAD						
NUMBER	SPACES	AREA	SF PER OCCUPANT (FBC)	OCCUPANT LOAD (FBC)*	SF PER OCCUPANT (FFPC)	OCCUPANT LOAD (FFPC)*
1	INDUSTRIAL/SPECIAL PURPOSE INDUSTRIAL	25653 SF	100	257	100	257
2	BUSINESS	6528 SF	150	44	150	44
*MORE STRINGENT REQUIREMENTS TO BE USED FOR EGRESS			TOTAL OCCUPANTS (FBC)		301	TOTAL OCCUPANTS (FFPC)
					301	

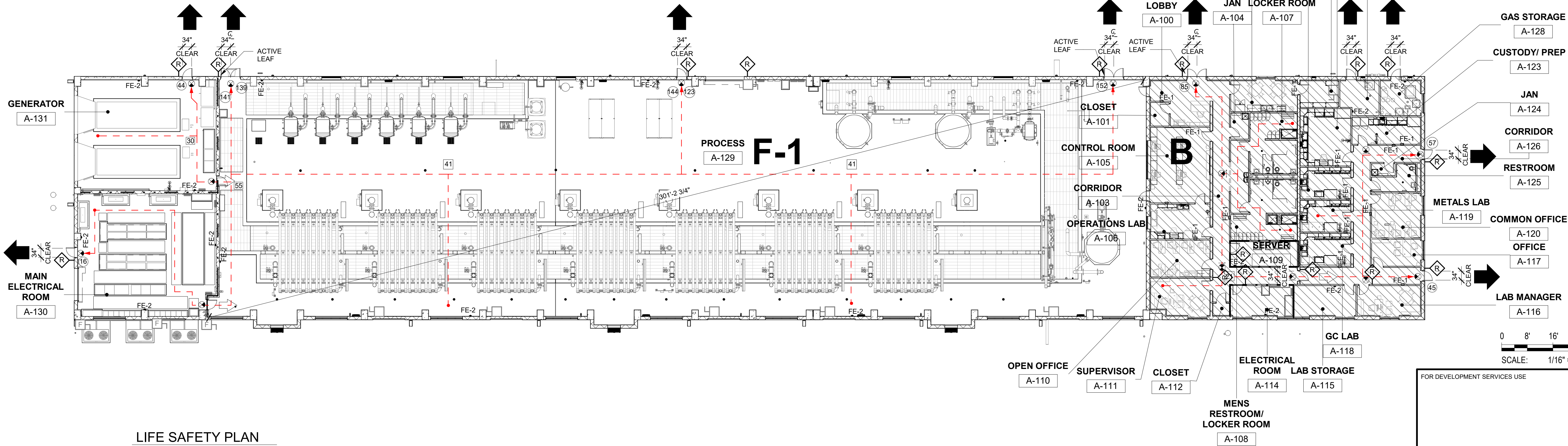
OCCUPANT LOAD FACTOR PER TABLE 1004.5



GENERAL NOTES:

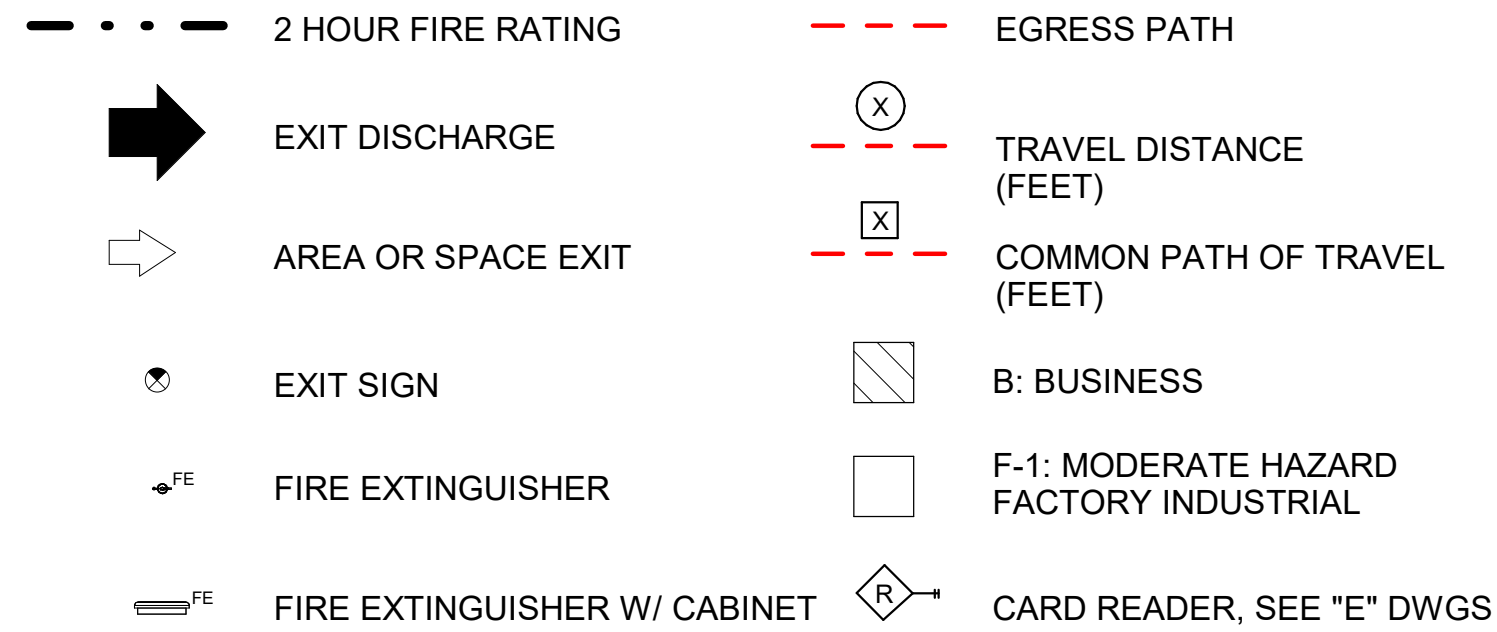
1. SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
2. SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
3. 3. SEE SHEET A-GN-2 FOR ARCHITECTURAL SITE PLAN AND BUILDING SITING INFORMATION INCLUDING SEPERATION FROM ADJACENT STRUCTURES, ETC.
4. SEE SHEET A-NF-20 REFLECTED CEILING PLAN AND "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.
5. LAB AREAS HAVE DEDICATED GAS CONNECTIONS SERVED BY GAS STORAGE ROOM. NO OTHER BULK CHEMICALS ARE STORED IN LABS IN EXCESS OF ALLOWABLE QUANTITIES AND ALL LAB DESIGN IS IN COMPLIANCE WITH THE FLORIDA FIRE PREVENTION CODE AND REFERENCED NFPA SECTIONS.

FOR BUILDING DEPARTMENT USE

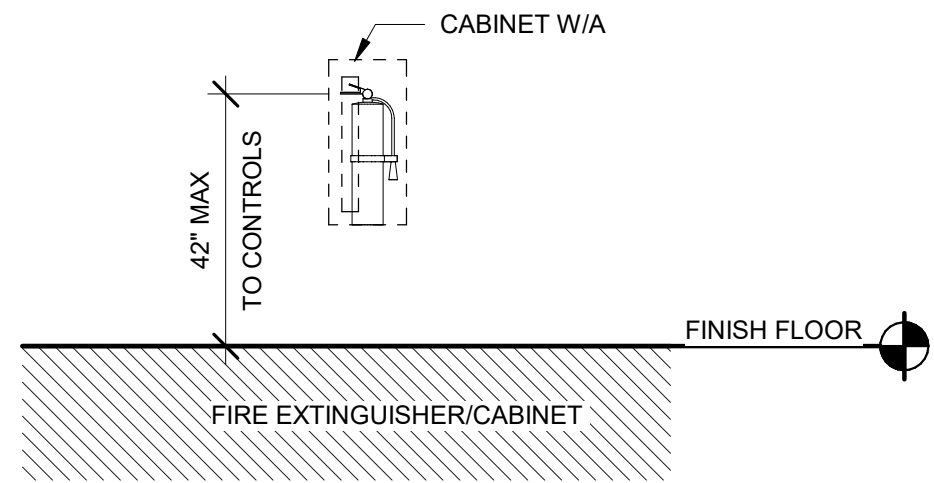


LIFE SAFETY PLAN
1/16" = 1'-0"

LIFE SAFETY LEGEND



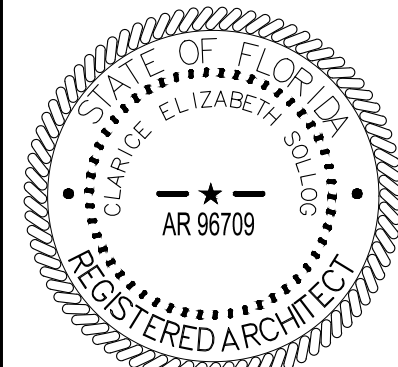
FIRE EXTINGUISHER MOUNTING HEIGHT



NF BUILDING FIRE EXTINGUISHER SCHEDULE					
TAG	QTY	MODEL	MANUFACTURER	DESCRIPTION	
FE-1	13	ACADEMY 1027 (COSMIC 10E)	JL INDUSTRIES (ACTIVAR INC)	NON-RATED WALL, 3" ROLLED, ADA COMPLIANT CABINET W/ 10LB DRY CHEMICAL	
FE-2	17	COSMIC 10E UL RATED 4A-80BC	JL INDUSTRIES (ACTIVAR INC)	10 LB DRY CHEMICAL, BRACKET MOUNTED	

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REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELTON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

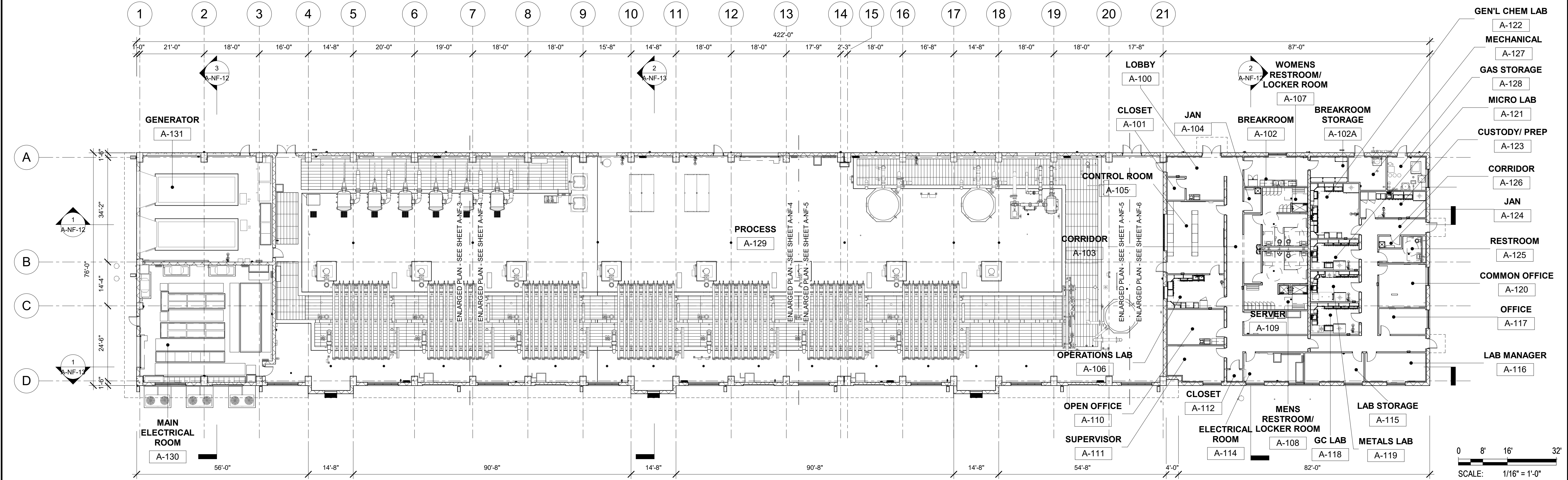
NF MEMBRANE BUILDING
LIFE SAFETY PLAN

PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT

SHEET NO.
A-NF-1

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OVERALL FLOOR PLAN
1/16" = 1'-0"

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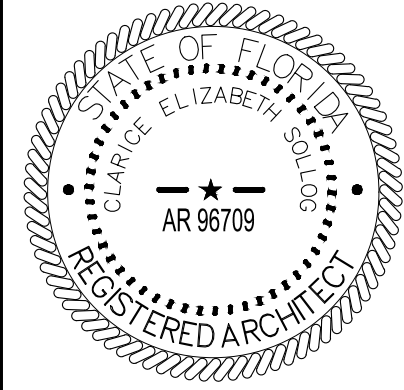
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2. SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
3. SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN
4. SEE "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.

FOR BUILDING DEPARTMENT USE

FOR DEVELOPMENT SERVICES USE

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PROJECT NO. 159676-291242
FILE NAME: AYW200MB4.RVT

SHEET NO.

A-NF-2

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CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

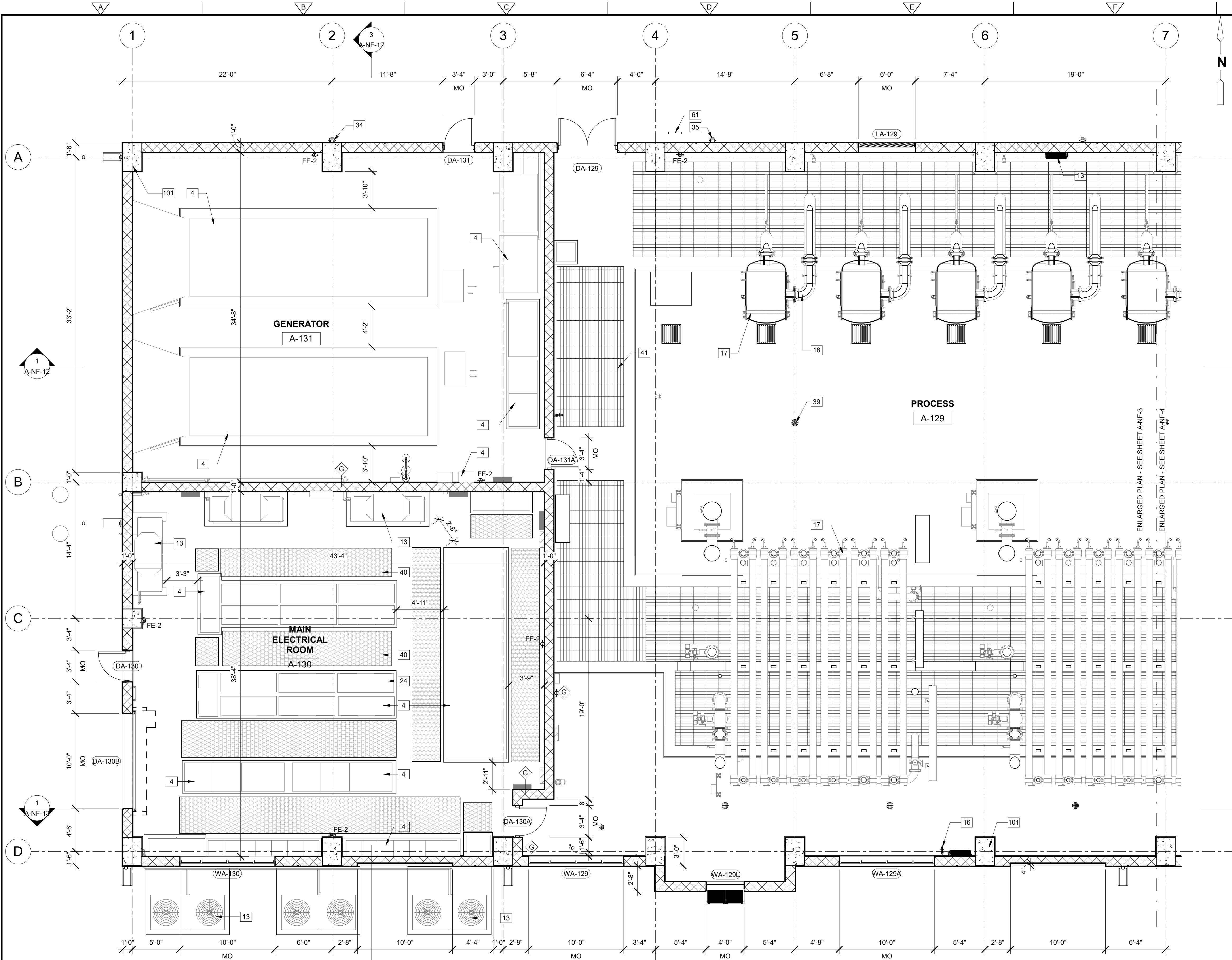
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
OVERALL FLOOR PLAN

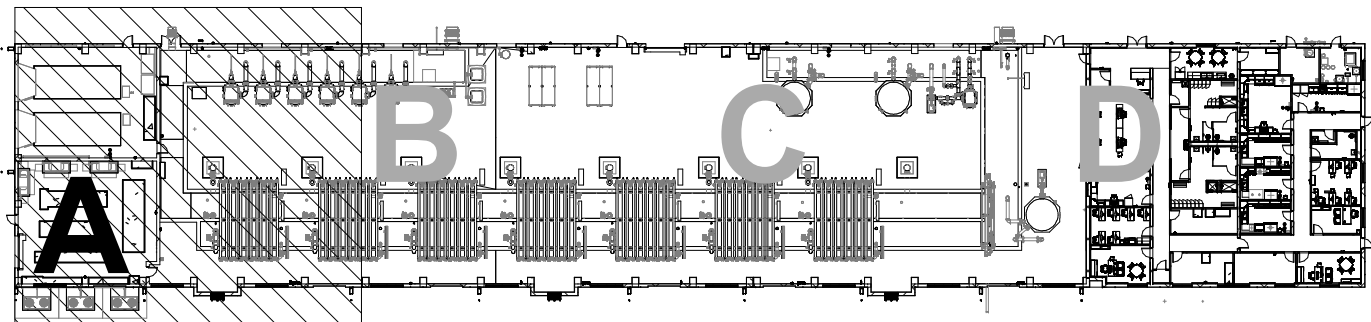
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FLOOR PLAN PART A
3/16" = 1'-0"

- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
 - SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
 - SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN
 - SEE "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.

FOR BUILDING DEPARTMENT USE



KEY PLAN

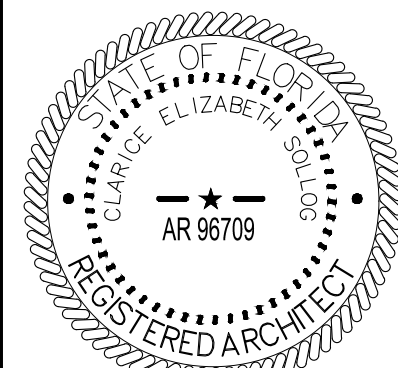
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
18	PROCESS PIPING, SEE "M" DWGS
24	EQUIPMENT PAD, SEE "S" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP. SEE "P" DWGS
40	FLOOR MATS, TYP
41	REMOVABLE ALUMINUM FLOOR GRATING, SEE "S" DWGS
61	ROOF ACCESS LADDER, TYP
101	CONCRETE COLUMN, SEE "S" DWGS

0 2' 4' 6' 10'
SCALE: 3/16" = 1'-0"

FOR DEVELOPMENT SERVICES USE

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CLARICE E. SOLLOG, AIA
NO. AR96709
FL. CORP. ARCHITECTURE AA-002781
101 SOUTH HALL LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWW200MB4.RVT

SHEET NO.

A-NF-3

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBODY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

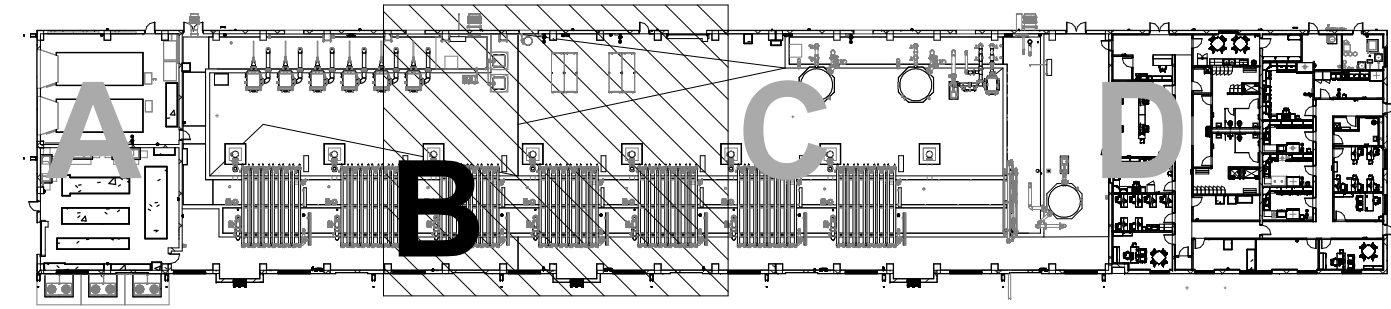
NF MEMBRANE BUILDING
FLOOR PLAN PART A

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FLOOR PLAN B
3/16" = 1'-0"

- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
 - SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
 - SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN
 - SEE "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.



KEY PLAN

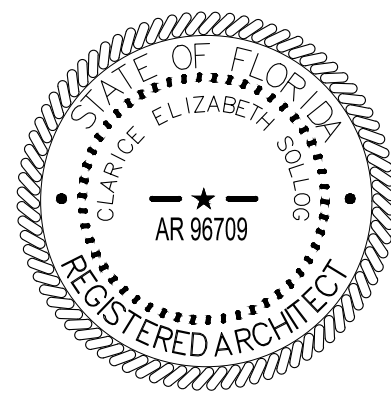
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP. SEE "P" DWGS
41	REMOVABLE ALUMINUM FLOOR GRATING, SEE "S" DWGS
42	EMERGENCY SHOWER AND EYEWASH, SEE "P" DWGS
50	EXPANSION JOINT, SEE "S" DWGS
101	CONCRETE COLUMN, SEE "S" DWGS

0 2' 4' 6' 10'
SCALE: 3/16" = 1'-0"

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101 SOUTH HALL LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AYW200MB4.RVT

SHEET NO.

A-NF-4

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

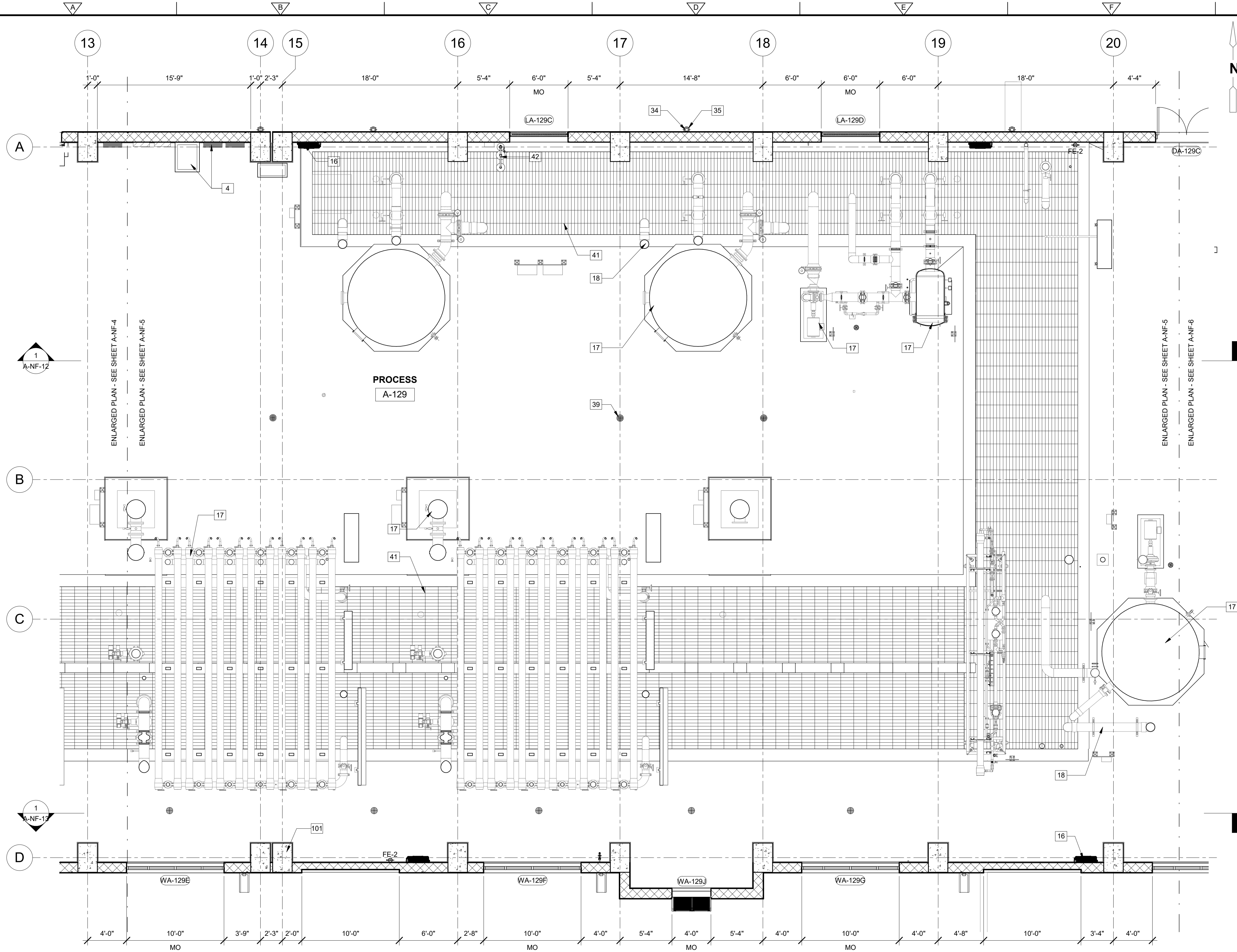
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Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
FLOOR PLAN PART B

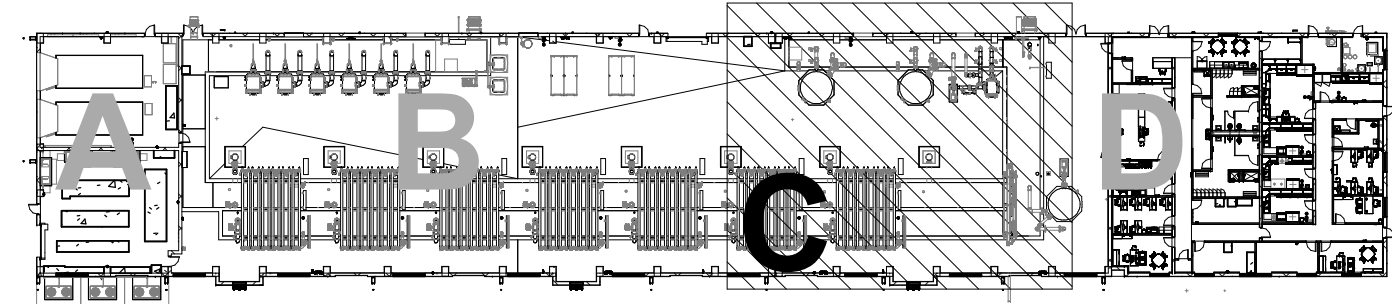
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FLOOR PLAN C
3/16" = 1'-0"

- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
 - SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
 - SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN
 - SEE "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.

FOR BUILDING DEPARTMENT USE



KEY PLAN

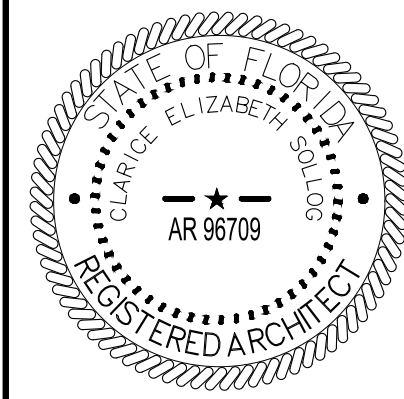
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
18	PROCESS PIPING, SEE "M" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP. SEE "P" DWGS"
41	REMOVABLE ALUMINUM FLOOR GRATING, SEE "S" DWGS
42	EMERGENCY SHOWER AND EYEWASH, SEE "P" DWGS
101	CONCRETE COLUMN, SEE "S" DWGS

0 2' 4' 6' 10'
SCALE: 3/16" = 1'-0"

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MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AW2000MB4.RVT

SHEET NO.

A-NF-5

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELTON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800

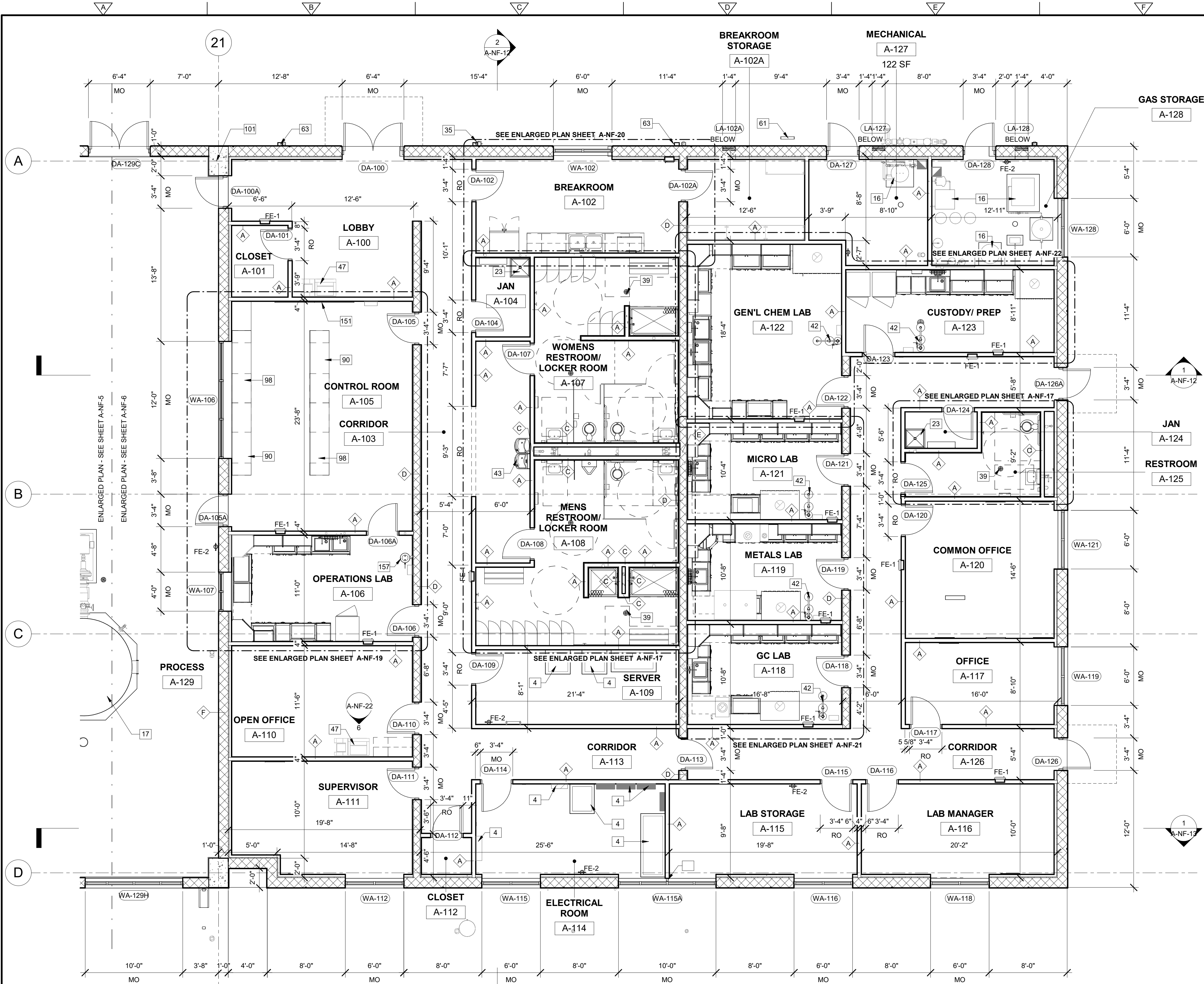


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
FLOOR PLAN PART C

REV. NO.	DATE	DRWN	CHKD	REMARKS

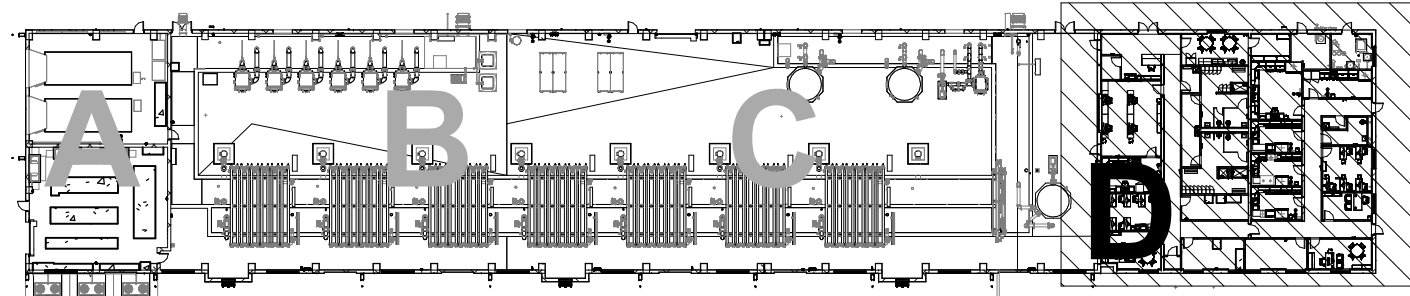
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FLOOR PLAN D
3/16" = 1'-0"

- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
 - SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
 - SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN
 - SEE "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.

FOR BUILDING DEPARTMENT USE



KEY PLAN

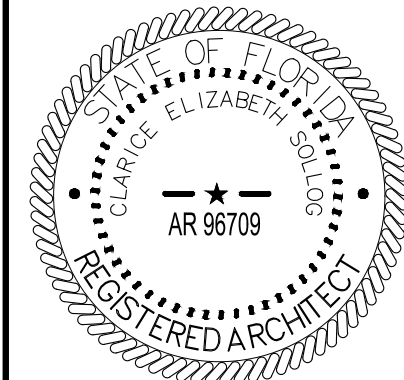
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
23	MOP SINK, SEE "P" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP, SEE "P" DWGS
42	EMERGENCY SHOWER AND EYEWASH, SEE "P" DWGS
43	HI-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER, SEE "P" DWGS
47	COPIER MACHINE (NIC)
61	ROOF ACCESS LADDER, TYP
63	ALUMINUM CONDUCTOR HEAD, DOWNSPOUT AND SCUPPER, TYP
90	SOLID SURFACE COUNTERTOP AND BACKSPLASH
98	PLASTIC LAMINATE CASEWORK
101	CONCRETE COLUMN, SEE "S" DWGS
151	50" WALL MOUNTED TELEVISION, TYP (PROVIDE BACKING FOR MOUNTING)
157	EMERGENCY EYEWASH STATION, SEE "P" DWGS

0 2' 4' 6' 10'
SCALE: 3/16" = 1'-0"

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101 SOUTH HALL LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT

SHEET NO.

A-NF-6

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800

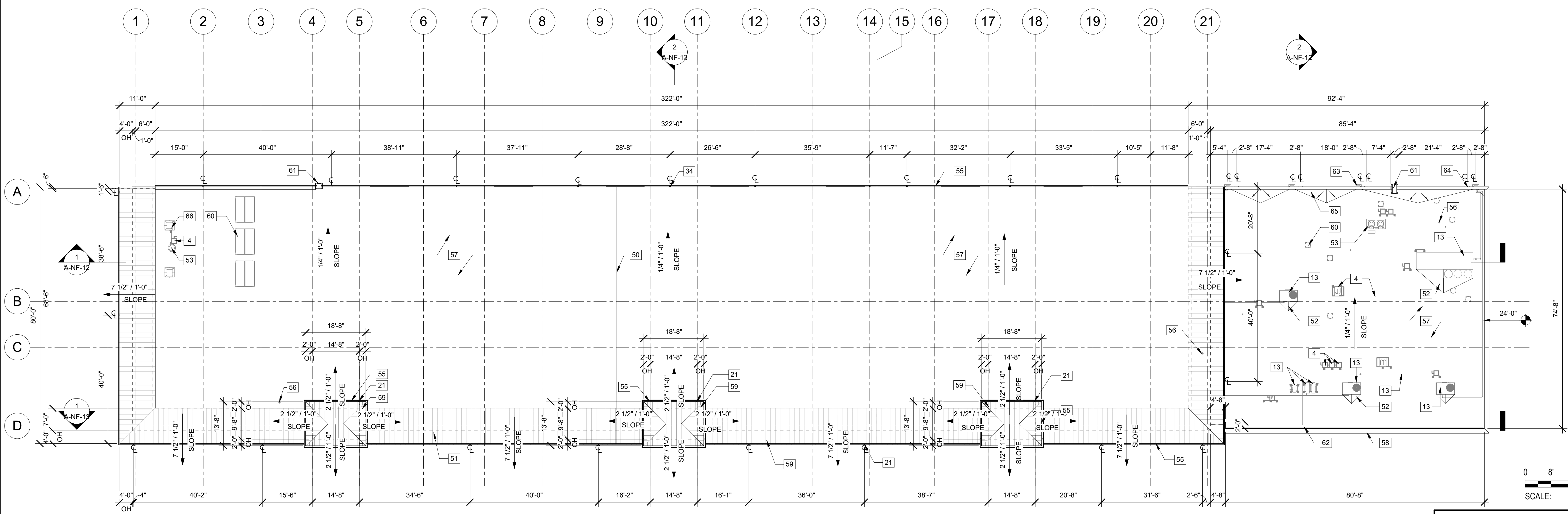


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
FLOOR PLAN PART D

REV. NO.	DATE	DRWN	CHKD	REMARKS

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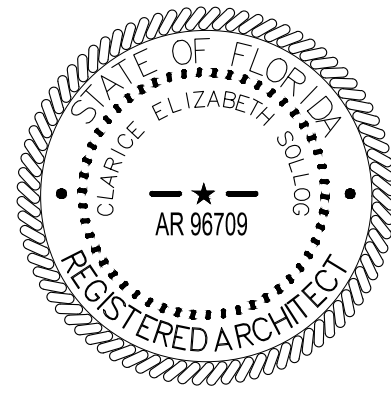


ROOF PLAN
1/16" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
50	EXPANSION JOINT, SEE "S" DWGS
51	BUILDING OUTLINE BELOW
52	CRICKET, TYP
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP, SEE "P" DWGS
57	SBS MODIFIED BITUMEN ROOFING SYSTEM
58	ALUMINUM COPING, TYP
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
60	GRAVITY HOOD, SEE "H" DWGS
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
63	ALUMINUM CONDUCTOR HEAD, DOWNSPOUT AND SCUPPER, TYP
64	OVERFLOW SCUPPER, BOTTOM OF OVERFLOW SCUPPER TO BE 2 INCHES ABOVE BOTTOM OF PRIMARY SCUPPER, TYP
65	COUNTERSLOPE, TYP
66	GENERATOR EXHAUST PIPING, TYP

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PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT

SHEET NO.
A-NF-7

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ROOF PLAN

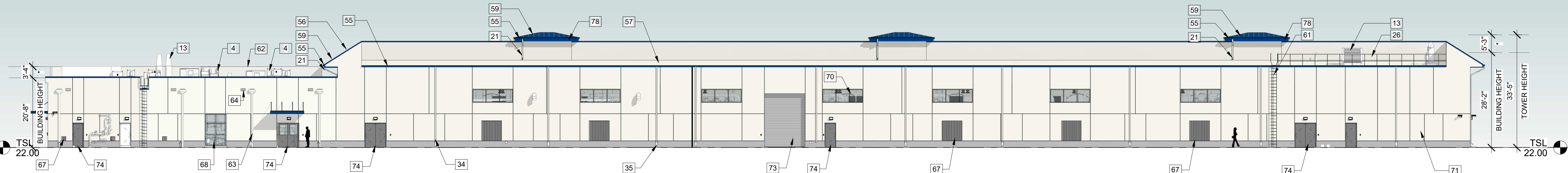
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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
10	ARCHITECTURAL PRECAST CONCRETE MEDALLIONS, TYP
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
22	CONCRETE SPLASH BLOCK, TYP
26	ALUMINUM GUARDRAIL, SEE "S" DWGS
30	SURFACE MOUNTED CANOPY
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
50	EXPANSION JOINT, SEE "S" DWGS

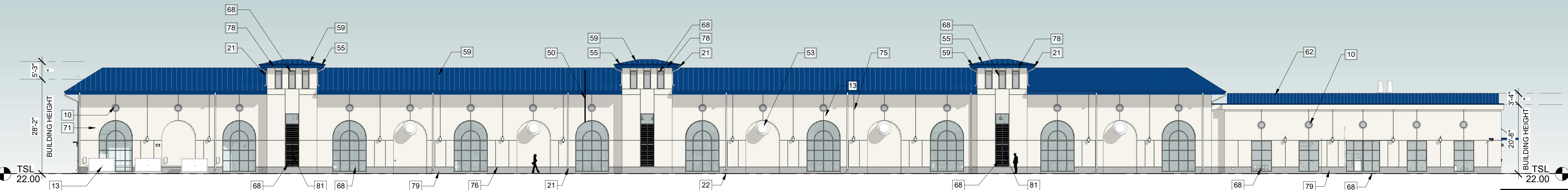
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP, SEE "P" DWGS
57	SBS MODIFIED BITUMEN ROOFING SYSTEM
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
63	ALUMINUM CONDUCTOR HEAD, DOWNSPOUT AND SCUPPER, TYP
64	OVERFLOW SCUPPER, BOTTOM OF OVERFLOW SCUPPER TO BE 2 INCHES ABOVE BOTTOM OF PRIMARY SCUPPER, TYP
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
70	ALUMINUM STOREFRONT ENTRANCE SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
73	OVERHEAD ROLL-UP DOOR, SEE SCHD
74	ALUMINUM DOOR AND FRAME, SEE SCHD
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
81	ARCHITECTURAL LOUVERED AWNING ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLIONS. FINISH TO MATCH WINDOW FRAME



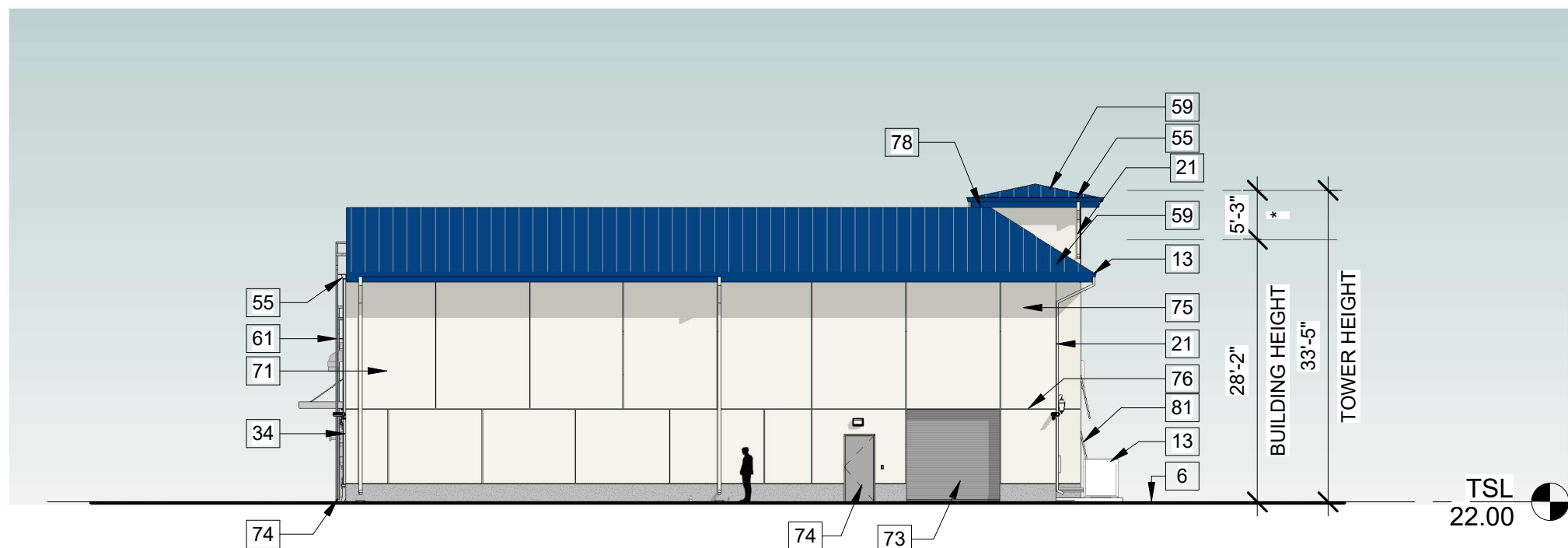
NORTH ELEVATION
1/16" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.



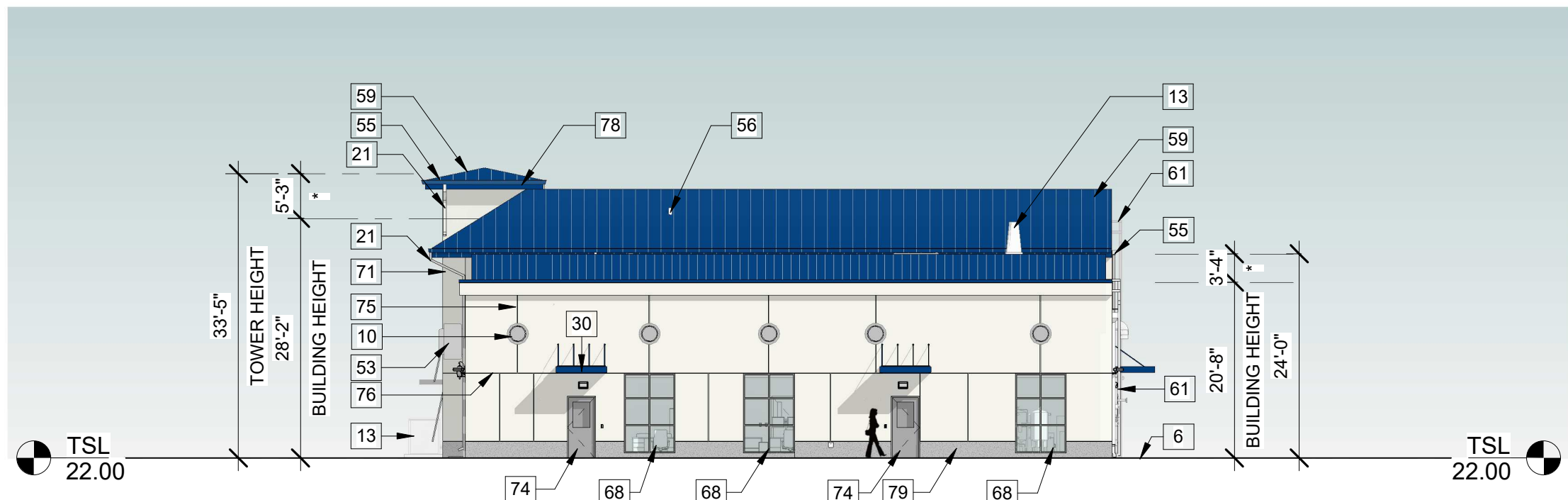
SOUTH ELEVATION
1/16" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.



WEST ELEVATION
1/16" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.



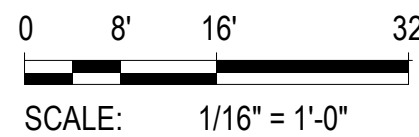
EAST ELEVATION
1/16" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.

FOR BUILDING DEPARTMENT USE

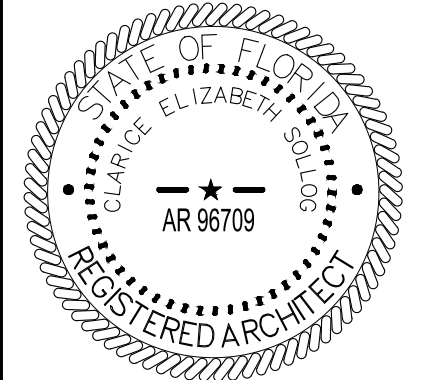
ROOF	
Centria 9926 'Arabian Blue': Standing Seam Mtl Roof @ Admin. Bldg / Smooth Finish	
FASCIA	
Centria 9926 'Arabian Blue': Standing Seam Mtl Mansard Roof @ Process Bldg / Smooth Finish	
WINDOWS	
Kawneer Windows 'Clear Anod. Alum.': Windows and Entry doors @ Admin. & Process Bldgs	
RAILINGS	
Industrial Alum. Guardrail 'Clr. Anod. Alum.': Site Product / Smooth Finish	
COLUMNS	
Industrial Structural Column @ Chem. Stor. Canopy: Match 'Centria' 9926 / Smooth Finish	
WALLS	
SW 7005 'Pure White' Sherwin Williams 7005: Stucco Bldg Walls and Site Wall color / Textured Finish	
TRIM/OTHER	
PCI 117 'White': Precast Conc. Base @ Admin. & Process Bldgs Base material / Acid Etched Finish	
SHUTTERS/AWININGS	
Centria 9926 'Arabian Blue': Awnings @ Process Bldg / Smooth Finish	
FENCE	
Industrial Alum. Fence and Gate 'Black': Site Product / Smooth finish	
OTHER	
Glass Types (Guardian Ind.): Insulated / Impact Resistant 1. Clear / Low E 2. Clear / Low E / Translucent 3. Clear / Spandrel (4th Surface - 'Black')	

FOR DEVELOPMENT SERVICES USE



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FL. CORP. ARCHITECTURE AA-002781
101 SOUTH HALL LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWZ000MB.RVT

SHEET NO.
A-NF-8A

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HORDY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: C. WYNN
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



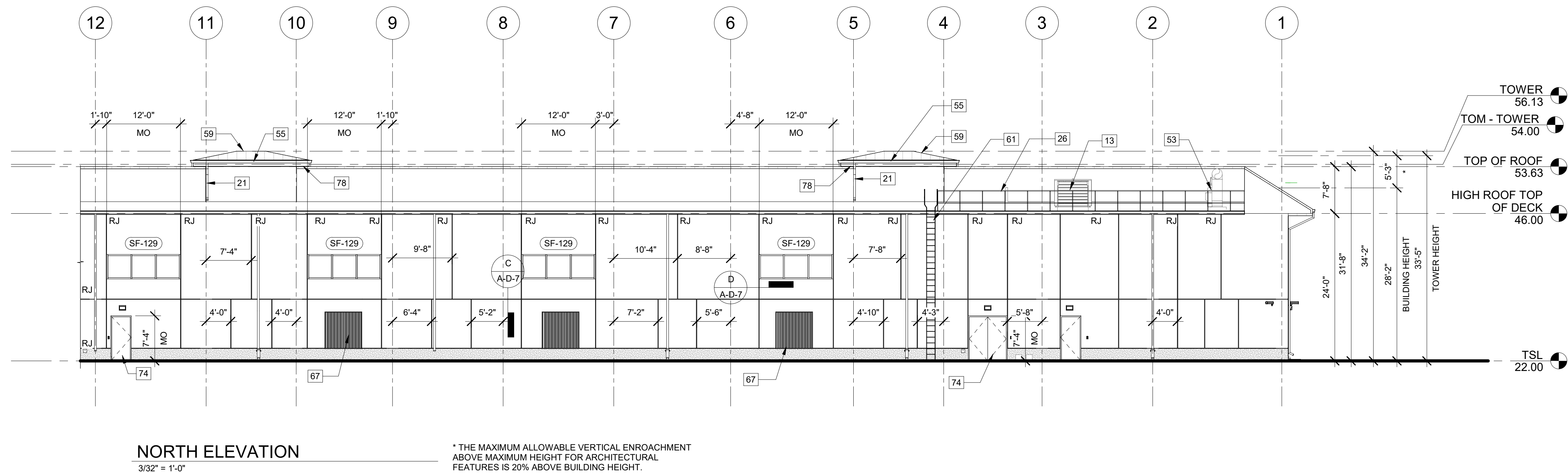
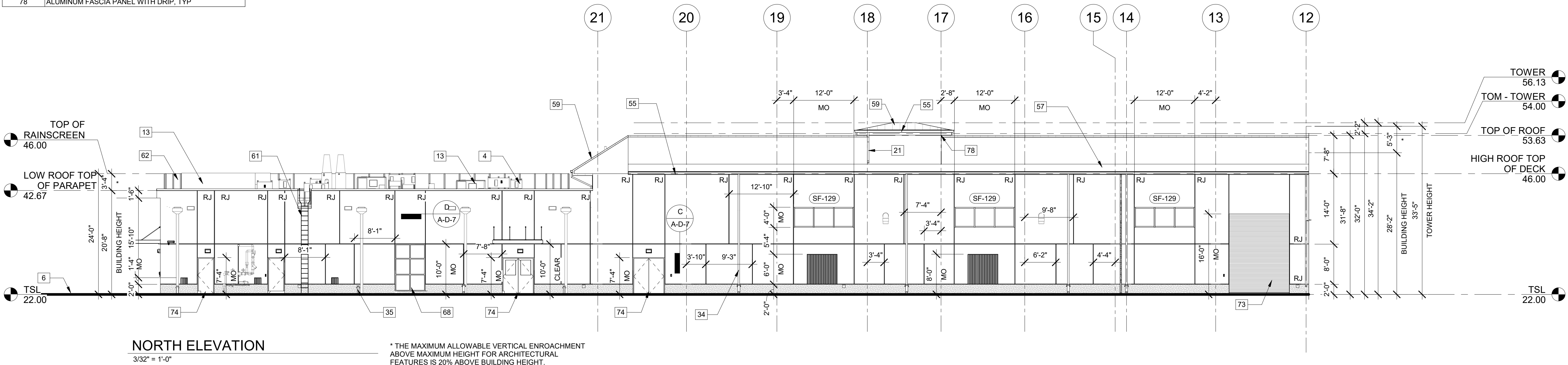
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
EXTERIOR ELEVATIONS

ISSUED FOR PERMITTING

KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
26	ALUMINUM GUARDRAIL, SEE "S" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP, SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
38	EXHAUST FAN, TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
57	SBS MODIFIED BITUMEN ROOFING SYSTEM
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
73	OVERHEAD ROLL-UP DOOR, SEE SCHD
74	ALUMINUM DOOR AND FRAME, SEE SCHD
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP

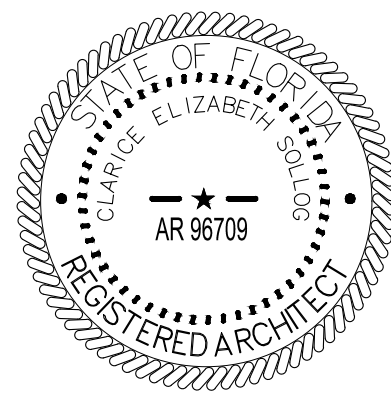
FOR BUILDING DEPARTMENT USE



FOR DEVELOPMENT SERVICES USE

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101 SOUTHWALL LANE, SUITE 200
MAITLAND, FL 32751

SHEET NO.

A-NF-9

ISSUED FOR PERMITTING

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: _____ C. WYNN
DRAWN BY: _____ G. HOBDY
SHEET CHK'D BY: _____ C. WYNN
CROSS CHK'D BY: _____ A. SHELDON
APPROVED BY: _____ C. SOLLOG
DATE: _____ AUGUST 2025



DELRAY BEACH, FLORIDA

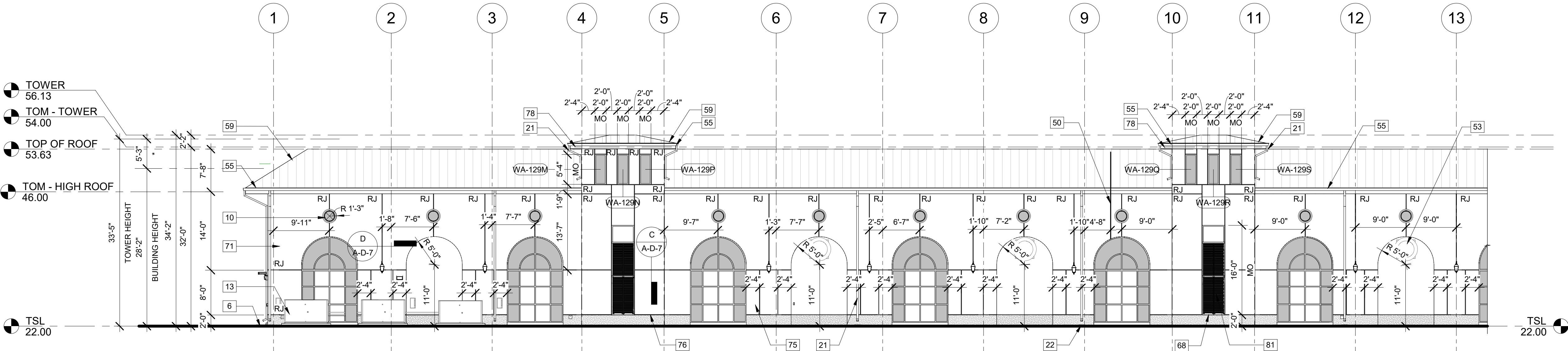
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS I

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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
6	FINISH GRADE, SEE "C" DWGS
10	ARCHITECTURAL PRECAST CONCRETE MEDALLIONS, TYP
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
22	CONCRETE SPLASH BLOCK, TYP
30	SURFACE MOUNTED CANOPY
50	EXPANSION JOINT, SEE "S" DWGS
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
81	ARCHITECTURAL LOUVERED AWNING ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLIONS. FINISH TO MATCH WINDOW FRAME

FOR BUILDING DEPARTMENT USE

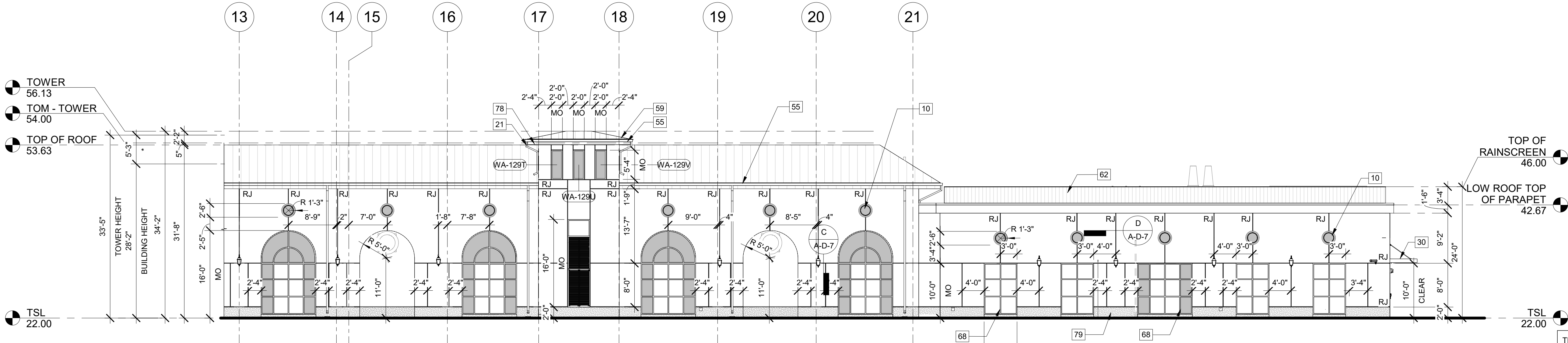


SOUTH ELEVATION

3/32" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.

0 4' 8' 12' 20'
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

3/32" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.

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MAITLAND, FL 32751

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBBS
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS II

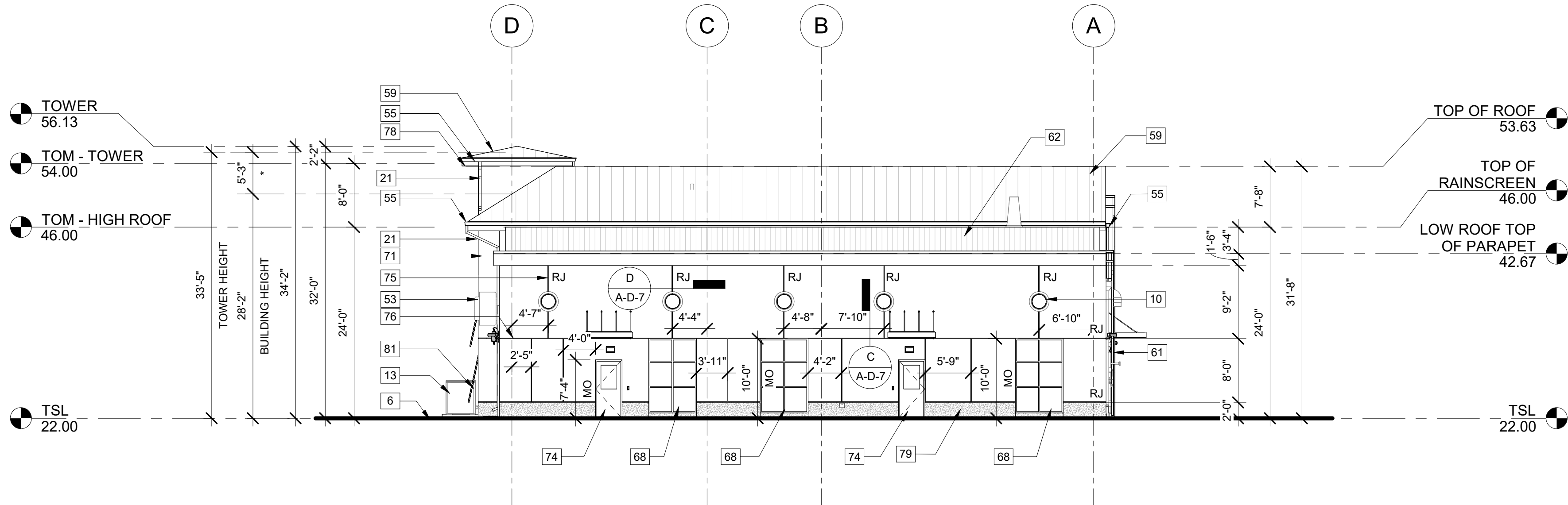
PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT

SHEET NO.
A-NF-10

ISSUED FOR PERMITTING

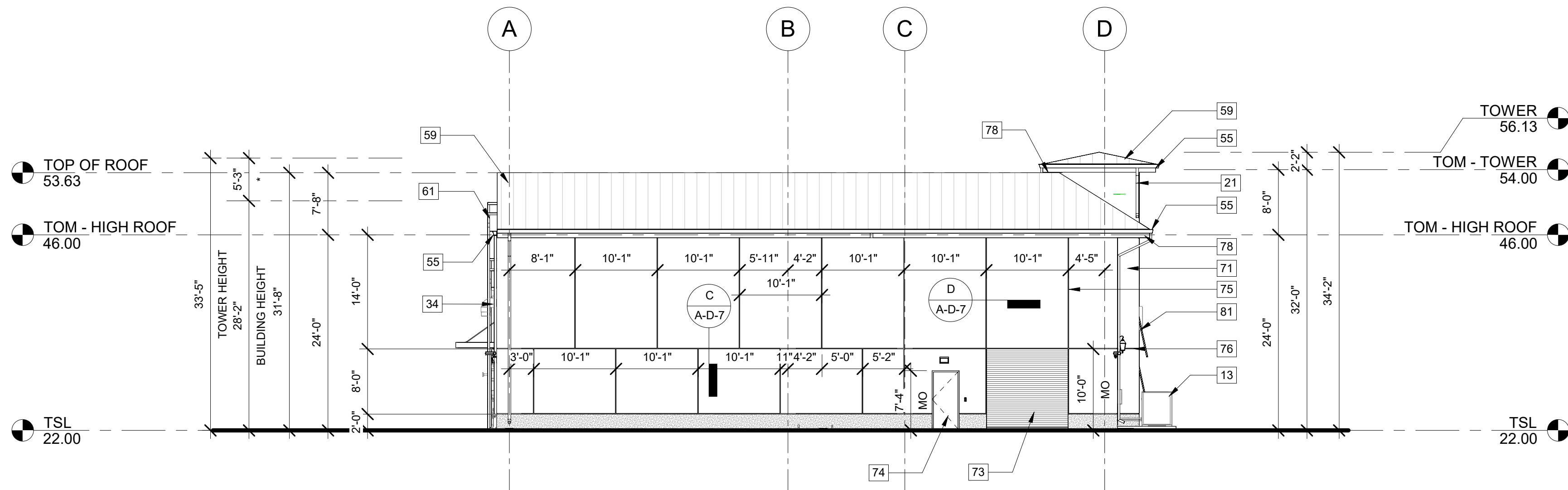
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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
6	FINISH GRADE, SEE "C" DWGS
10	ARCHITECTURAL PRECAST CONCRETE MEDALLIONS, TYP
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP, SEE "C" DWGS
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
73	OVERHEAD ROLL-UP DOOR, SEE SCHD
74	ALUMINUM DOOR AND FRAME, SEE SCHD
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
81	ARCHITECTURAL LOUVERED AWNING ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLIONS, FINISH TO MATCH WINDOW FRAME



EAST ELEVATION
3/32" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.



WEST ELEVATION
3/32" = 1'-0"

* THE MAXIMUM ALLOWABLE VERTICAL ENROACHMENT ABOVE MAXIMUM HEIGHT FOR ARCHITECTURAL FEATURES IS 20% ABOVE BUILDING HEIGHT.

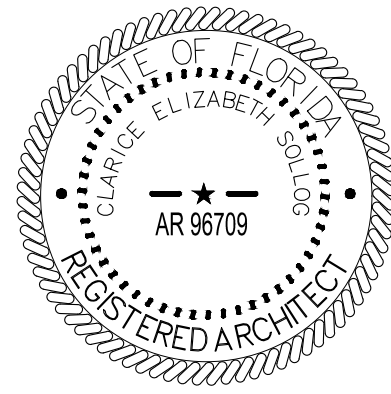
FOR BUILDING DEPARTMENT USE

0 4' 8' 12' 20'
SCALE: 3/32" = 1'-0"

FOR DEVELOPMENT SERVICES USE

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MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT

SHEET NO.

A-NF-11

ISSUED FOR PERMITTING

REV.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HORDY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

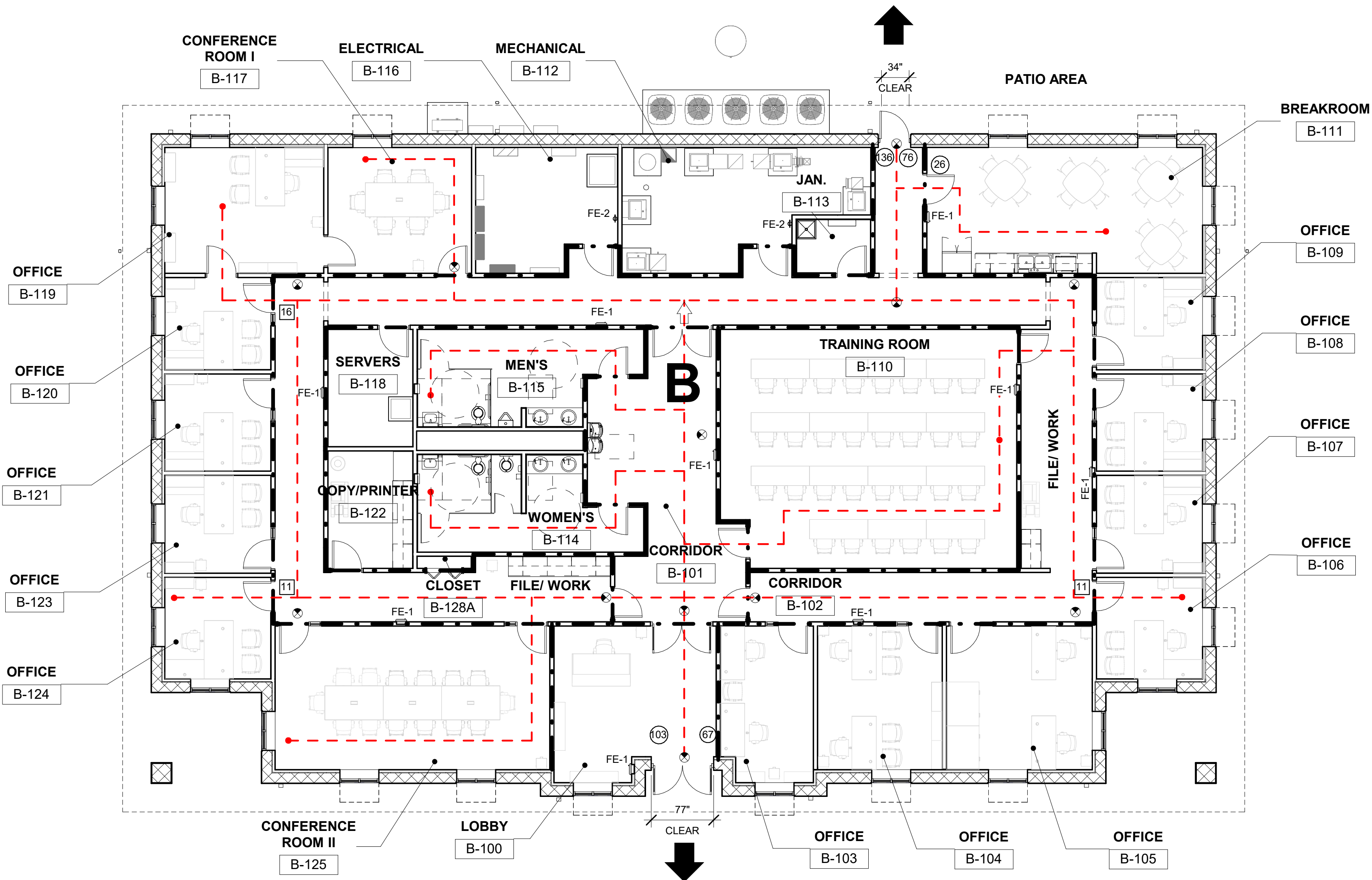
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621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS III

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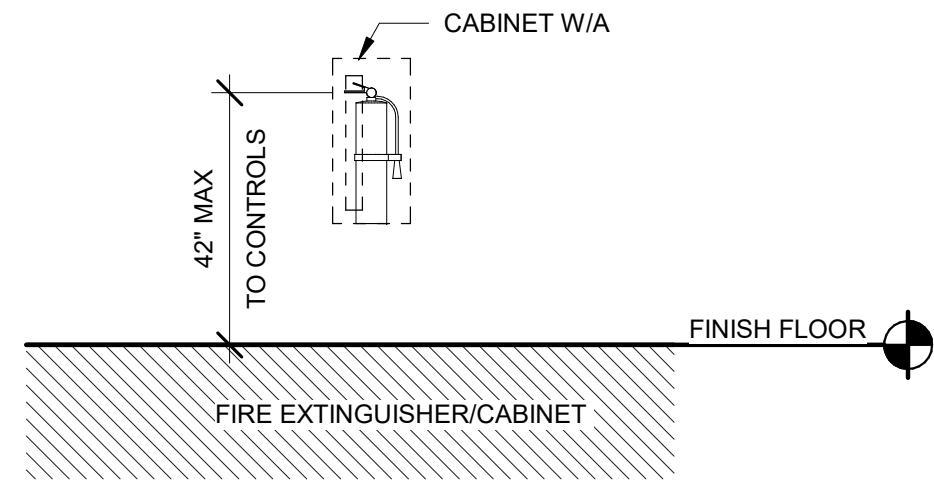
LIFE SAFETY PLAN

1/8" = 1'-0"

LIFE SAFETY LEGEND

- EXIT DISCHARGE
- AREA OR SPACE EXIT
- EXIT SIGN
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER W/ CABINET
- EGRESS PATH
- 1 HOUR FIRE RATING
- TRAVEL DISTANCE (FEET)
- COMMON PATH OF TRAVEL (FEET)
- CARD READER, SEE "E" DWGS

FIRE EXTINGUISHER MOUNTING HEIGHT



ADMINISTRATION BUILDING FIRE EXTINGUISHER SCHEDULE					
TAG	QTY	MODEL	MANUFACTURER	DESCRIPTION	
FE-1	9	ACADEMY 1027 (COSMIC 10E)	JL INDUSTRIES (ACTIVAR INC)	NON-RATED WALL, 3" ROLLED, ADA COMPLIANT CABINET W/ 10LB DRY CHEMICAL	
FE-2	2	COSMIC 10E UL RATED 4A-80BC	JL INDUSTRIES (ACTIVAR INC)	10 LB DRY CHEMICAL, BRACKET MOUNTED	

- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS.
 - SEE SHEET A-GN-4 FOR BUILDING CODE KEY DETERMINATIONS
 - SEE SHEET A-GN-2 FOR ARCHITECTURAL SITE PLAN AND BUILDING SITING INFORMATION INCLUDING SEPERATION FROM ADJACENT STRUCTURES, ETC.
 - SEE SHEET A-AB-7 REFLECTED CELING PLAN AND "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.



OCCUPANT LOAD KEY PLAN

1/16" = 1'-0"

CALCULATED OCCUPANT LOAD						
NUMBER	SPACES	AREA	SF PER OCCUPANT (FBC)	OCCUPANT LOAD (FBC)*	SF PER OCCUPANT (FFPC)	OCCUPANT LOAD (FFPC)*
1	BUSINESS	6385 SF	150 GROSS	43	150	43
3	ASSEMBLY	733 SF	15 NET	49	15	49

*MORE STINGENT REQUIREMENTS TO BE USED FOR EGRESS

TOTAL OCCUPANTS (FBC)	92	TOTAL OCCUPANTS (FFPC)	92
-----------------------	----	------------------------	----

OCCUPANT LOAD FACTOR PER TABLE 1004.5

- BUSINESS
- ASSEMBLY

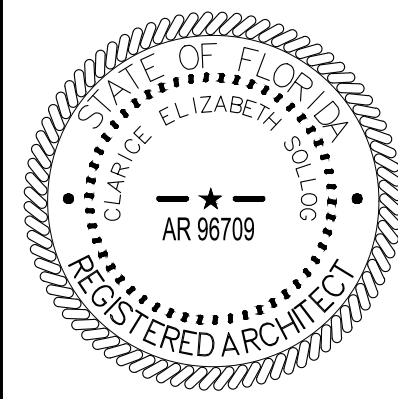
0 4' 8' 16'

SCALE: 1/8" = 1'-0"

FOR DEVELOPMENT SERVICES USE

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PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT

SHEET NO.

A-AB-1

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HORDY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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Tel: (561) 571-3800

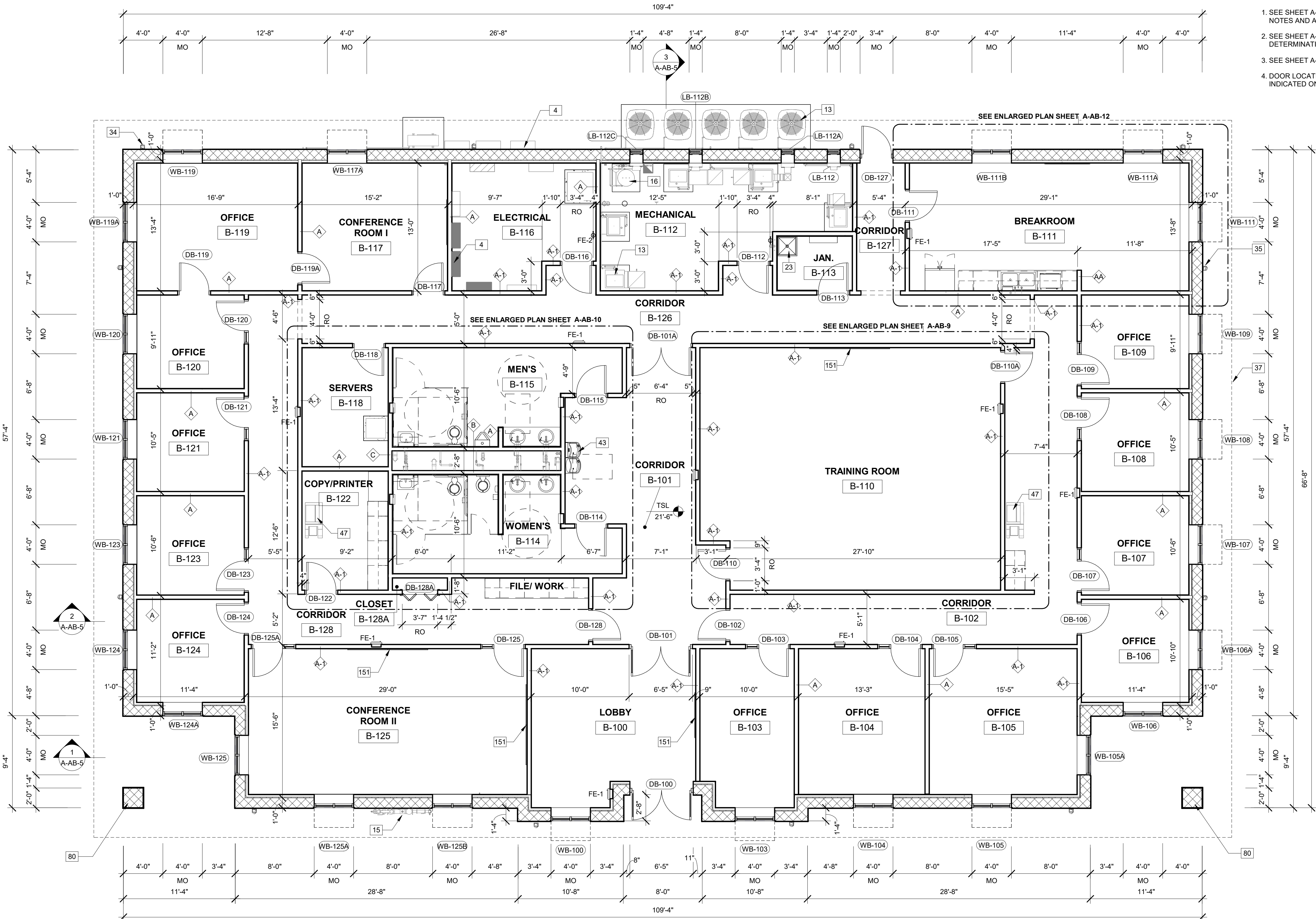


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ADMINISTRATION BUILDING
LIFE SAFETY PLAN

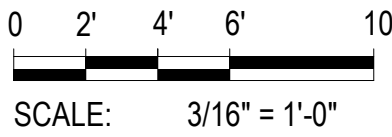
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- GENERAL NOTES:**
- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS.
 - SEE SHEET A-AB-5 FOR BUILDING CODE KEY DETERMINATIONS.
 - SEE SHEET A-AB-1 FOR LIFE SAFETY PLAN.
 - DOOR LOCATION IN STUD WALLS ARE AS INDICATED ON A-GN-1 UNLESS OTHERWISE NOTED.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
15	PLUMBING PIPES, SEE "P" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
23	MOP SINK, SEE "P" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
37	OUTLINE OF ROOF ABOVE
43	H-I-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER, SEE "P" DWGS
47	COPIER MACHINE (NIC)
80	CMU PILASTER, SEE "S" DWGS
151	50" WALL MOUNTED TELEVISION, TYP (PROVIDE BACKING FOR MOUNTING)



FLOOR PLAN
3/16" = 1'-0"

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM Smith
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Boca Raton, FL 33487
Tel: (561) 571-3800



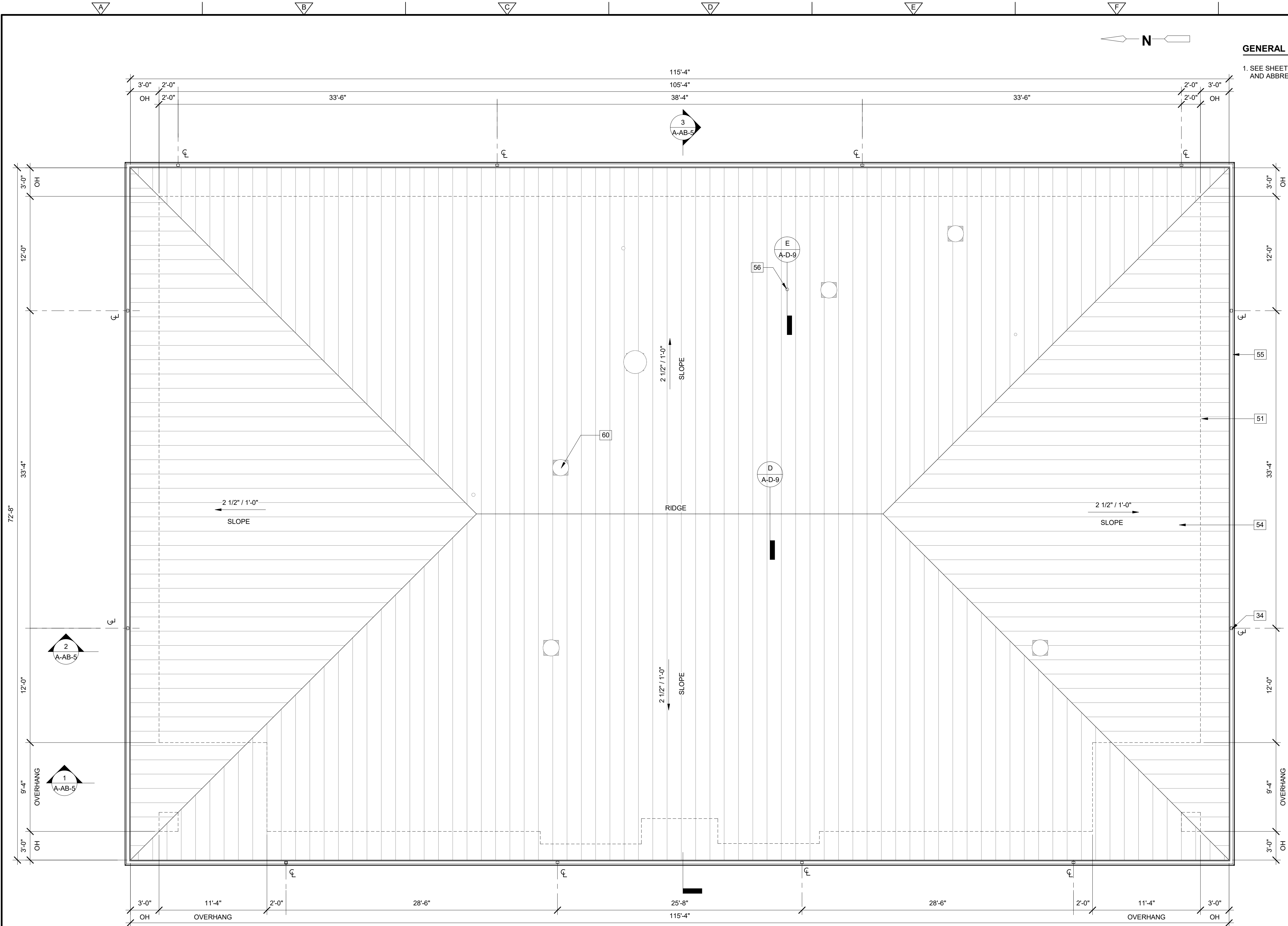
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ADMINISTRATION BUILDING
FLOOR PLAN

PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT
SHEET NO.
A-AB-2

ISSUED FOR PERMITTING

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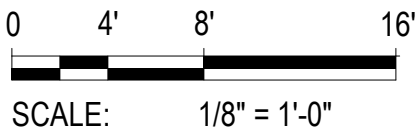
ROOF PLAN

3/16" = 1'-0"

GENERAL NOTES:

1. SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS.

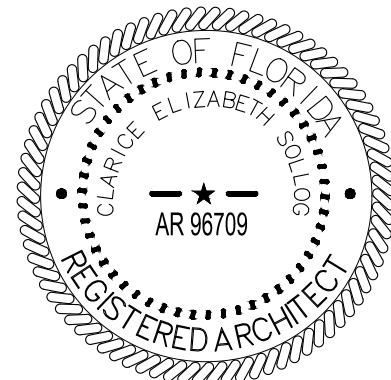
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
51	BUILDING OUTLINE BELOW
54	STANDING SEAM METAL ROOFING SYSTEM OVER COVERBOARD AND RIGID INSULATION
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP. SEE "P" DWGS
60	GRAVITY HOOD, SEE "H" DWGS



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PROJECT NO. 159676-291242
FILE NAME: AWZ000OB.RVT

SHEET NO.

A-AB-3

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HORDY
SHEET CHK'D BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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Boca Raton, FL 33487
Tel: (561) 571-3800

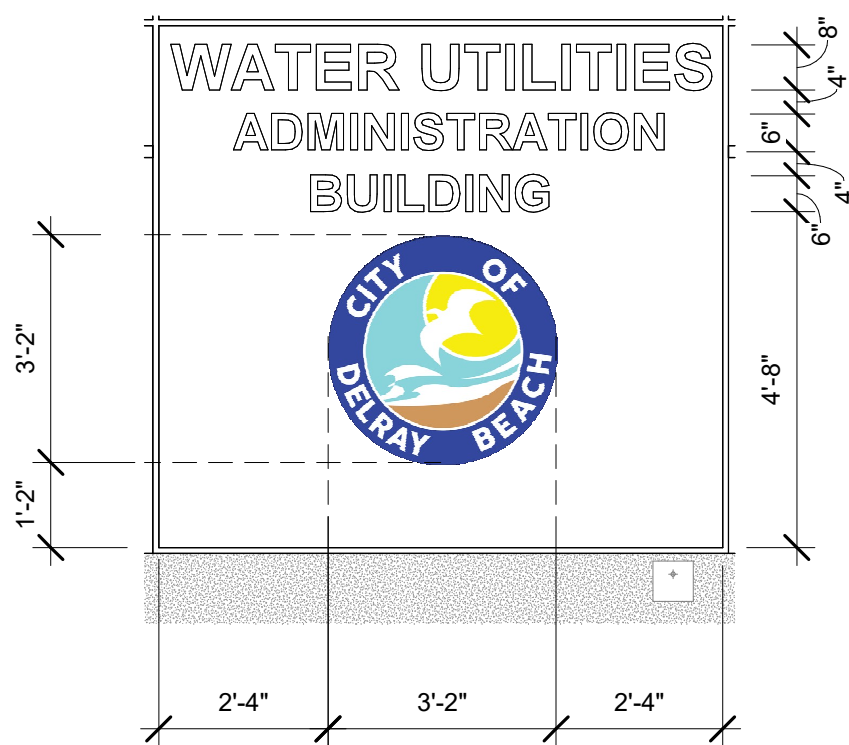
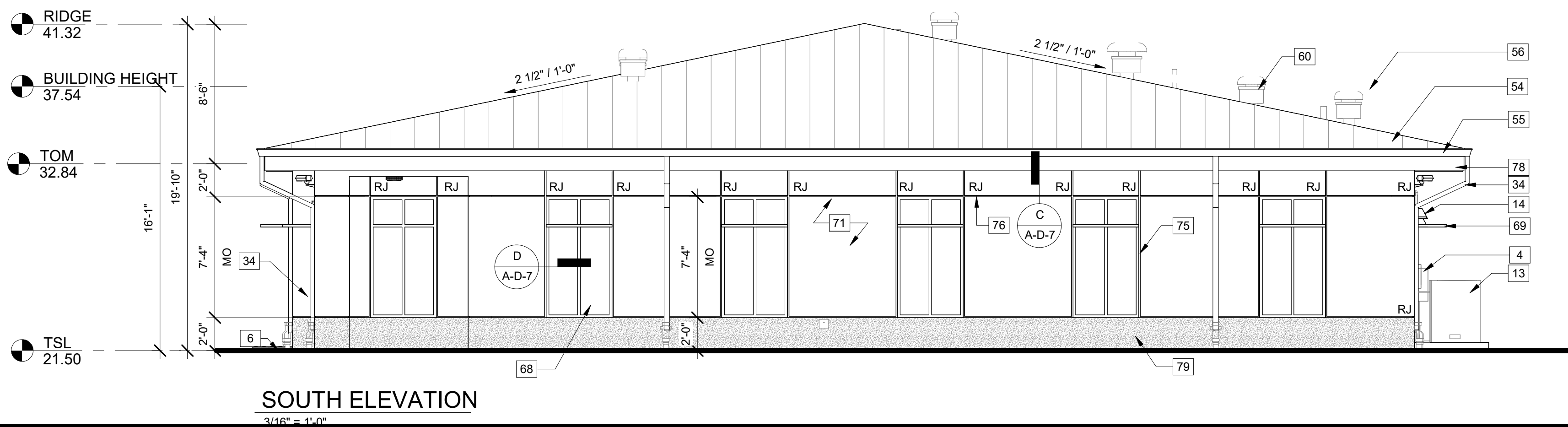
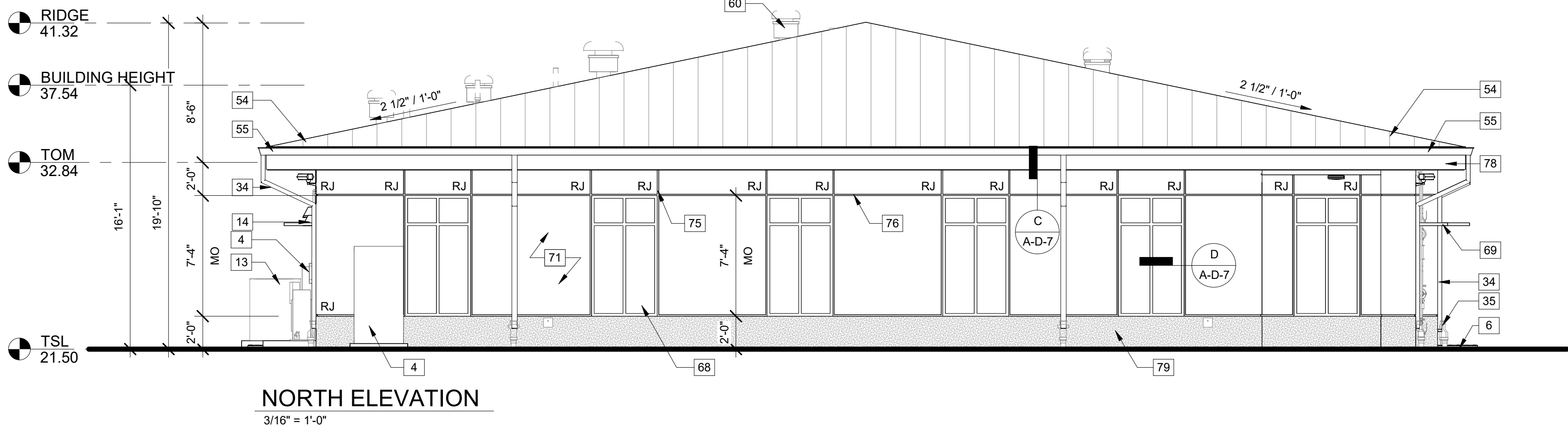
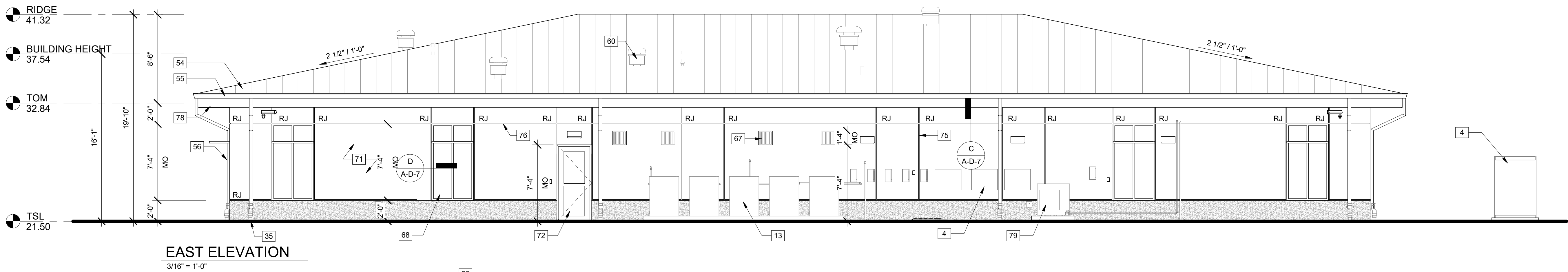
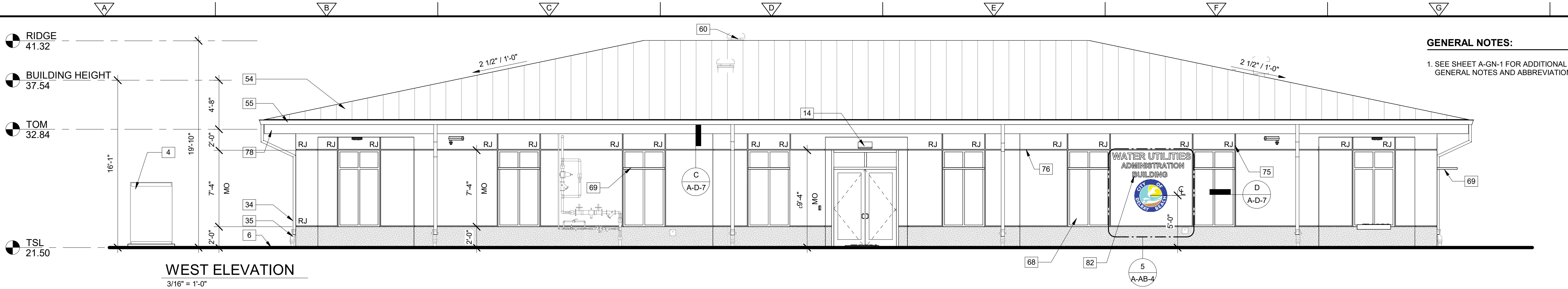


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ADMINISTRATION BUILDING
ROOF PLAN

ISSUED FOR PERMITTING

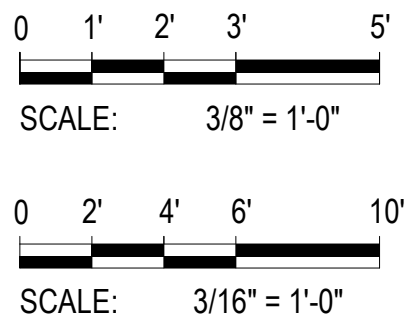
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ENLARGED SIGNAGE DETAIL

3/8" = 1'-0"

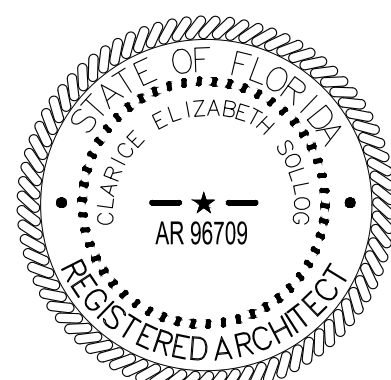
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
14	LIGHT FIXTURE, SEE "E" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
54	STANDING SEAM METAL ROOFING SYSTEM OVER COVERBOARD AND RIGID INSULATION
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP, SEE "P" DWGS
60	GRAVITY HOOD, SEE "H" DWGS
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
69	SUNSHADE ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLION. FINISH TO MATCH WINDOW FRAME
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
72	STOREFRONT DOOR AND FRAME, TYP
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
82	WALL MOUNTED ALUMINUM BUILDING SIGNAGE



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FL. CORP. ARCHITECTURE AA-002781
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MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT

SHEET NO.

A-AB-4

ISSUED FOR PERMITTING

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDEY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

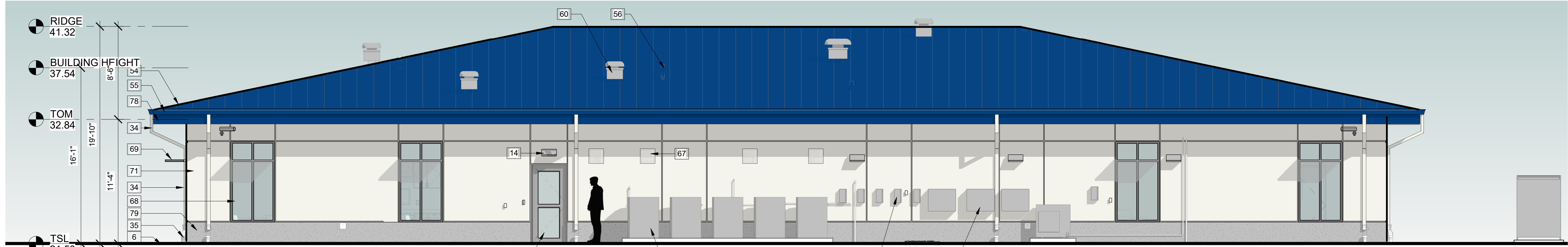
ADMINISTRATION BUILDING
EXTERIOR ELEVATIONS

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WEST ELEVATION

3/16" = 1'-0"



EAST ELEVATION

3/16" = 1'-0"



NORTH ELEVATION

3/16" = 1'-0"



SOUTH ELEVATION

3/16" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
14	LIGHT FIXTURE, SEE "E" DWGS
15	PLUMBING PIPES, SEE "P" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP, SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
54	STANDING SEAM METAL ROOFING SYSTEM OVER COVERBOARD AND RIGID INSULATION
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP, SEE "P" DWGS
60	GRAVITY HOOD, SEE "H" DWGS
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
69	SUNSHADE ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLION, FINISH TO MATCH WINDOW FRAME
70	ALUMINUM STOREFRONT ENTRANCE SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
72	STOREFRONT DOOR AND FRAME, TYP
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
82	WALL MOUNTED ALUMINUM BUILDING SIGNAGE
83	CITY OF DELRAY BEACH WALL MOUNTED SEAL

FOR BUILDING DEPARTMENT USE

ROOF

Centria 9926
'Arabian Blue':
Standing Seam Mtl
Roof @ Admin. Bldg
/ Smooth Finish

FASCIA

Centria 9926 'Arabian
Blue': Standing Seam
Mtl Mansard Roof @
Process Bldg /
Smooth Finish

WINDOWS

Kawneer Windows
'Clear Anod. Alum.':
Windows and Entry
doors @ Admin. &
Process Bldgs

RAILINGS

Industrial Alum.
Guardrail 'Clr. Anod.
Alum.': Site Product
/ Smooth Finish

COLUMNS

Industrial Structural
Column @ Chem.
Stor. Canopy:
Match 'Centria' 9926
/ Smooth Finish

WALLS

Sherwin Williams
7005: Stucco Bldg
Walls and Site Wall
color / Textured
Finish

TRIM/OTHER

PCI 117 'White':
Precast Conc. Base
@ Admin. & Process
Bldgs Base material
/ Acid Etched Finish

SHUTTERS/AWININGS

Centria 9926
'Arabian Blue':
Awnings @ Process
Bldg / Smooth Finish

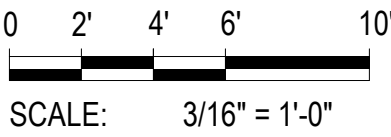
FENCE

Industrial Alum.
Fence and Gate
'Black': Site Product
/ Smooth finish

OTHER

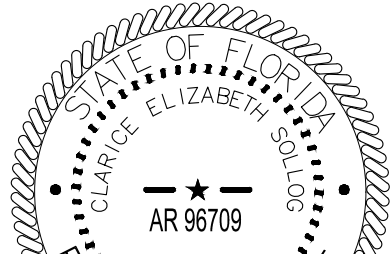
Glass Types (Guardian Ind.): Insulated /
Impact Resistant
1. Clear / Low E
2. Clear / Low E / Translucent
3. Clear / Low E / Translucent (Black)

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NO. AR96709
FL. CORP. ARCHITECTURE AA-002781
101 SOUTHALL LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT

SHEET NO.

A-AB-4A

ISSUED FOR PERMITTING

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HORDY
SHEET CHKD BY: C. WYNN
CROSS CHK'D BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

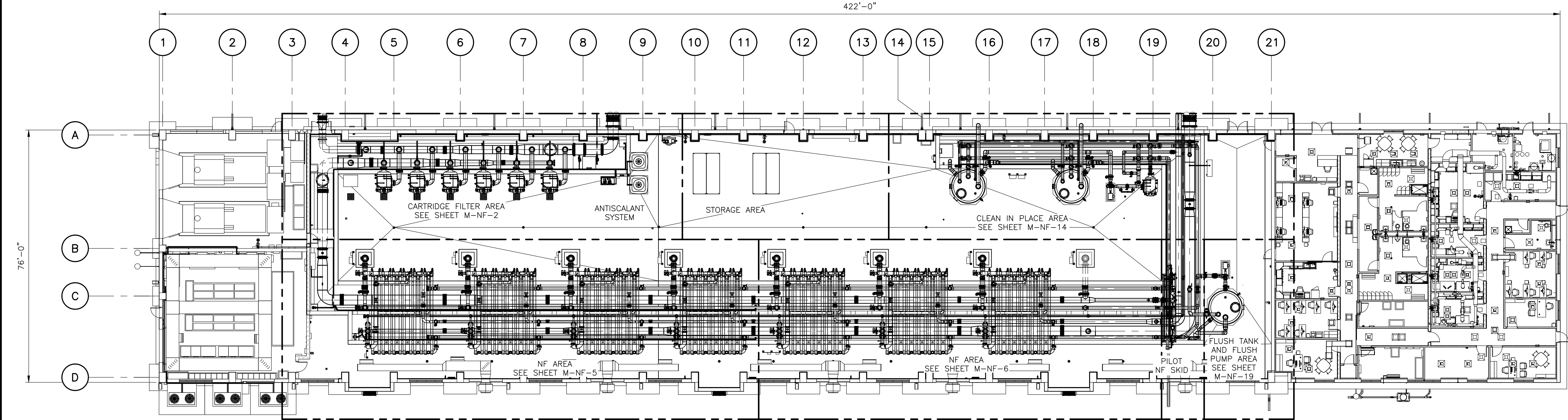
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Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

ADMINISTRATION BUILDING
EXTERIOR ELEVATIONS

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PLAN
1/16" = 1'-0"



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Fort Lauderdale, FL 33301
Tel: (954) 797-7100
Florida Registry No. 28952

DESIGNED BY: J. BENJAMIN
DRAWN BY: D. RAMALES
SHEET CHK'D BY: J. BENJAMIN
CROSS CHK'D BY: F. BRINSON
APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

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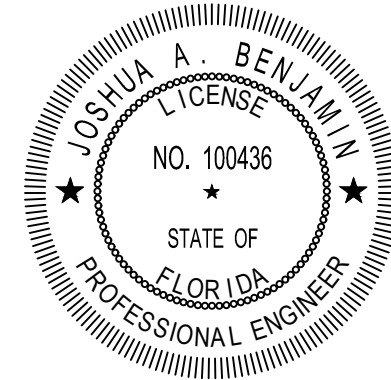
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
OVERALL PLAN

1/16" = 1'-0"
8 4 0 8 16

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PE NO. 100436

PROJECT NO. 159676-291242
FILE NAME: M-NF-01.dwg

SHEET NO.
M-NF-1

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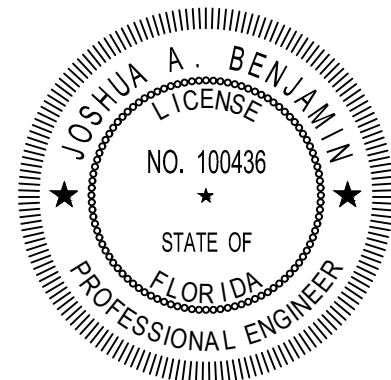
NOTE:

1. JOINTS FOR FIELD ASSEMBLY OF LARGE DIAMETER FABRICATED TRENCH HEADER SUBASSEMBLIES SHALL BR PROVIDED AT LOCATIONS TO FACILITATE INSTALLATION AND ALLOW FOR EXPANSION AND DISASSEMBLY FOR REPAIRS AND SERVICING. CONTRACTOR SHALL SUBMIT DETAILED PIPE LAYOUT AND FABRICATION DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL.



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CARTRIDGE FILTERS AREA
ENLARGED PLAN



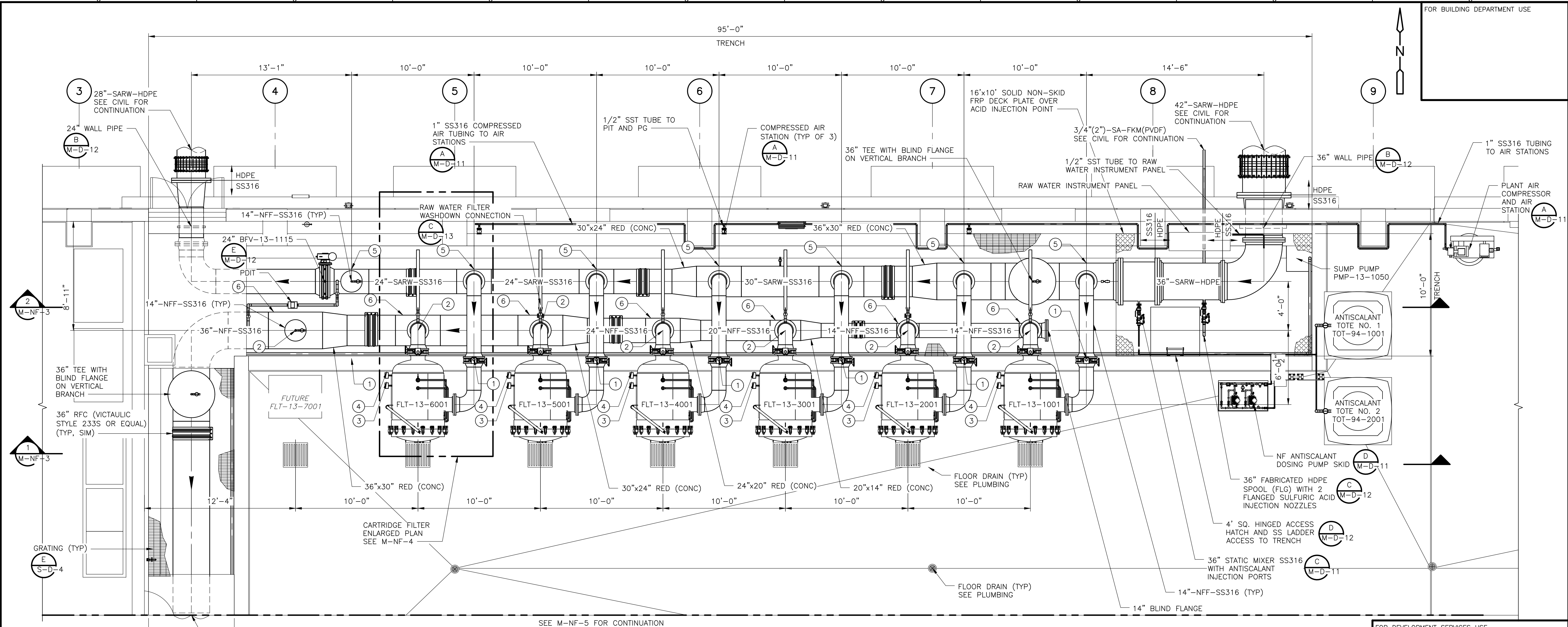
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PE NO. 100436

PROJECT NO. 159676-291242
FILE NAME: M-NF-02.dwg

SHEET NO.

M-NF-2

ISSUED FOR PERMITTING



CARTRIDGE FILTERS
PLAN

1/4" = 1'-0"

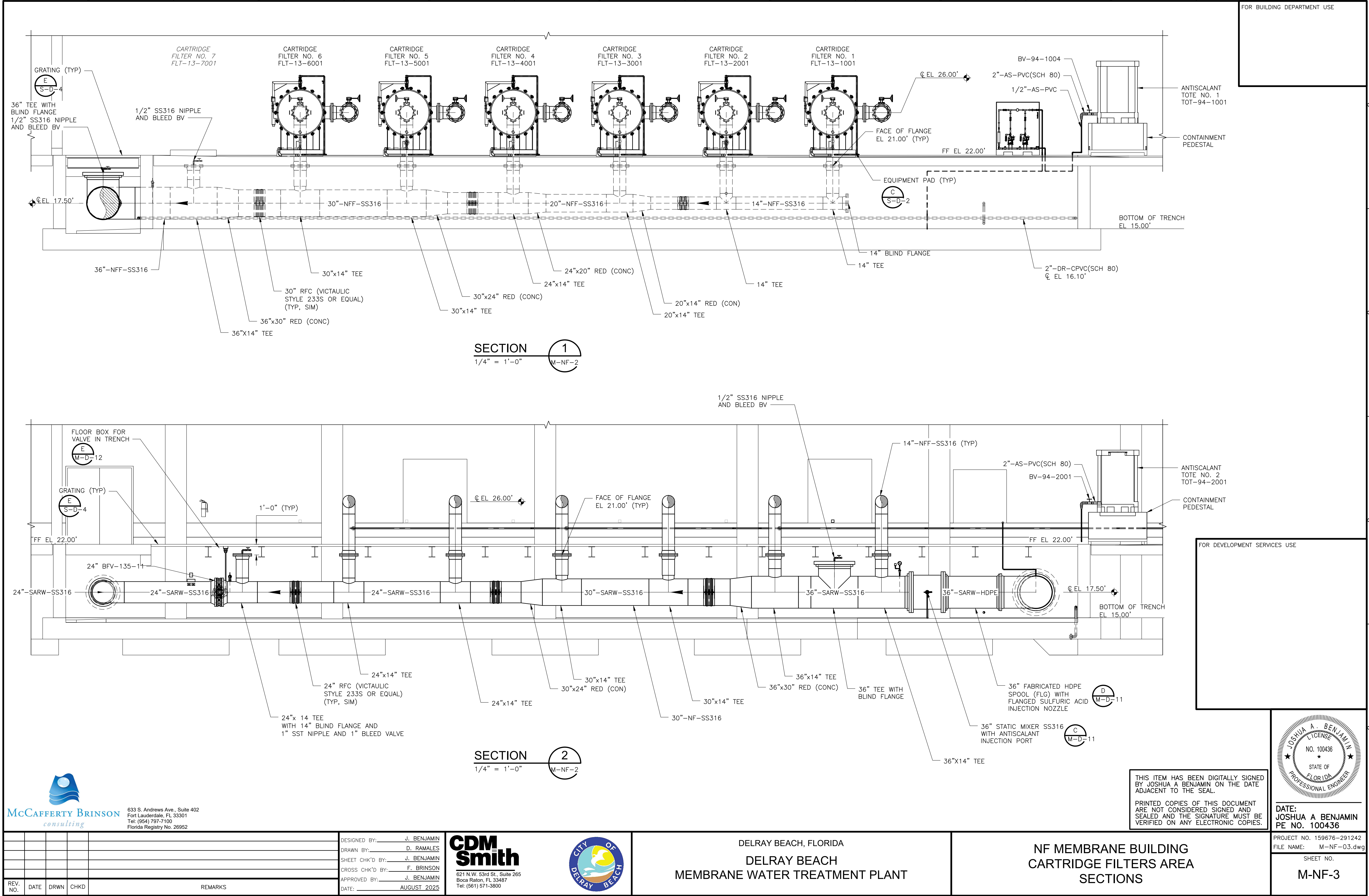
CARTRIDGE FILTER NO.	①	②	③	④	⑤	⑥
FLT-13-1001	14" BFV-13-1001	14" BFV-13-1002	PG-13-1001A	PG-13-1001B	36"x14" TEE	14" TEE
FLT-13-2001	14" BFV-13-2001	14" BFV-13-2002	PG-13-2001A	PG-13-2001B	36"x14" TEE	14" TEE
FLT-13-3001	14" BFV-13-3001	14" BFV-13-3002	PG-13-3001A	PG-13-3001B	30"x14" TEE	20"x14" TEE
FLT-13-4001	14" BFV-13-4001	14" BFV-13-4002	PG-13-4001A	PG-13-4001B	30"x14" TEE	24"x14" TEE
FLT-13-5001	14" BFV-13-5001	14" BFV-13-5002	PG-13-5001A	PG-13-5001B	24"x14" TEE	30"x14" TEE
FLT-13-6001	14" BFV-13-6001	14" BFV-13-6002	PG-13-6001A	PG-13-6001B	24"x14" TEE	30"x14" TEE
FLT-13-7001	14" BFV-13-7001	36"x14" TEE WITH BLIND FLANGE	PG-13-7001A	PG-13-7001B	24"x14" TEE WITH BLIND FLANGE	36"x14" TEE

1/4" = 1'-0"
2 1 0 2 4

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DESIGNED BY: J. BENJAMIN
DRAWN BY: D. RAMALES
SHEET CHK'D BY: J. BENJAMIN
CROSS CHK'D BY: F. BRINSON
APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CARTRIDGE FILTERS AREA
SECTIONS

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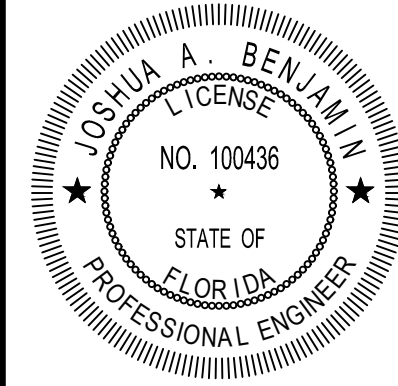
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEAN IN PLACE AREA
PLAN



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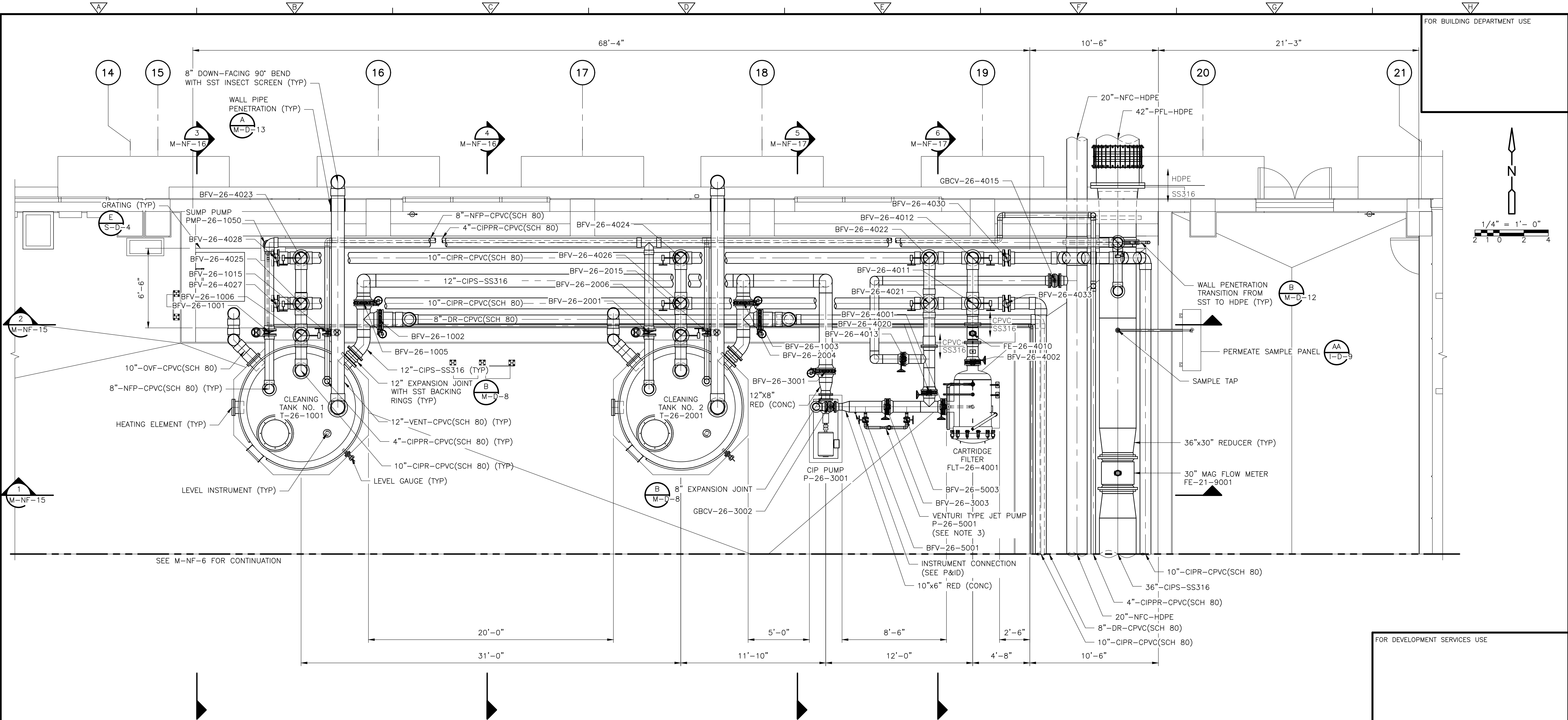
DATE:
JOSHUA A. BENJAMIN
PE NO. 100436

PROJECT NO. 159676-291242
FILE NAME: M-NF-14.dwg

SHEET NO.

M-NF-14

ISSUED FOR PERMITTING



NOTES:

- CLEANING TANKS SHALL BE IDENTICAL IN DESIGN. NOTES AND REFERENCES ABOVE REFERRING TO ONE SHALL APPLY TO BOTH TANKS.
- NOZZLES FOR TANK FILL AND CIP RETURN PIPING ENTERING THE TOP OF TANKS SHALL BE EQUIPPED WITH INTERNAL DROP PIPES THAT EXTEND TO WITHIN 3' FROM THE BOTTOM OF THE TANK.
- PENBERTHY 2" PVC MODEL LL, OR EQUAL WITH 4' REINFORCED FLEXIBLE PVC SUCTION HOSE. PROVIDE ONE SHELF SPARE JET PUMP TO OWNER.

PLAN

1/4" = 1'-0"

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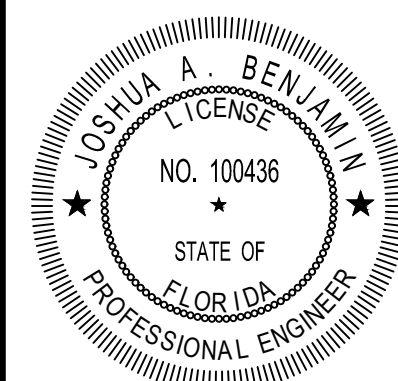
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CROSS CHK'D BY: F. BRINSON
APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

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Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEAN IN PLACE AREA
SECTIONS I



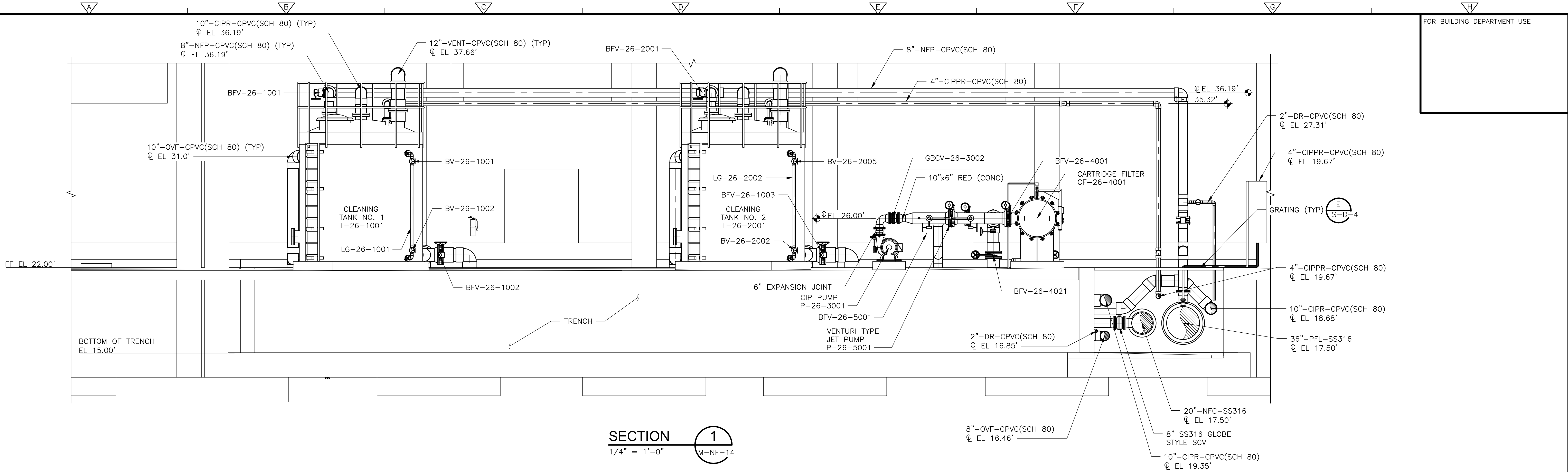
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JOSHUA A BENJAMIN
PE NO. 100436

PROJECT NO. 159676-291242
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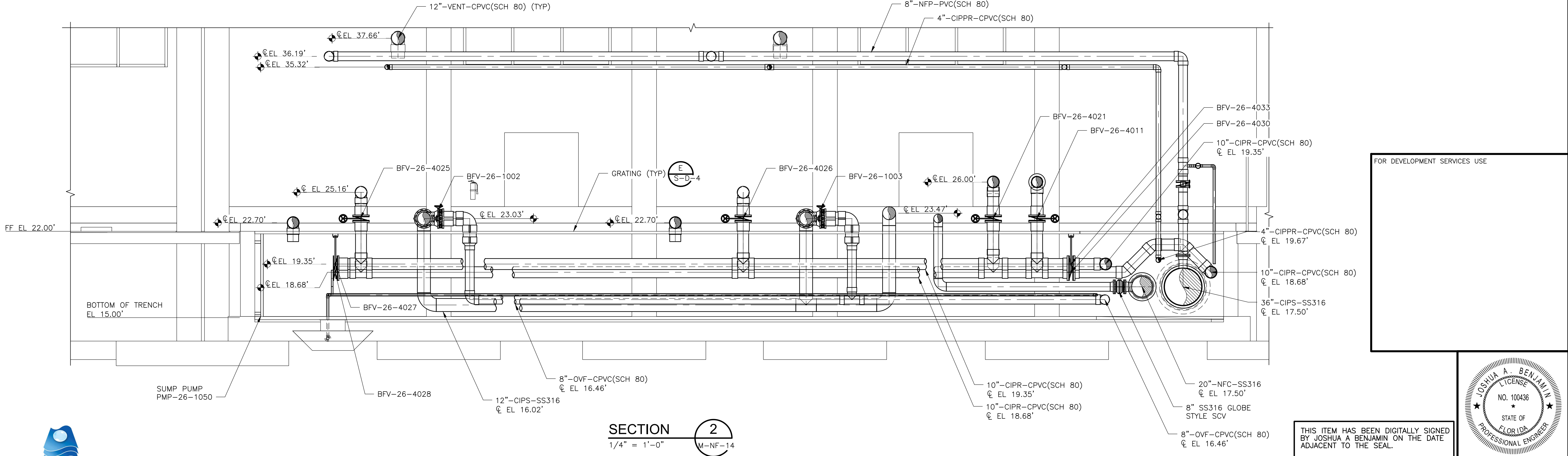
SHEET NO.

M-NF-15

ISSUED FOR PERMITTING



SECTION 1
1/4" = 1'-0"
M-NF-14



SECTION 2
1/4" = 1'-0"
M-NF-14

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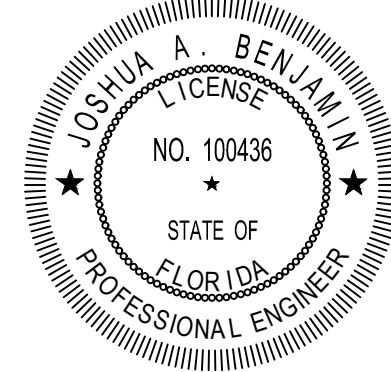
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APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEAN IN PLACE AREA
SECTIONS II



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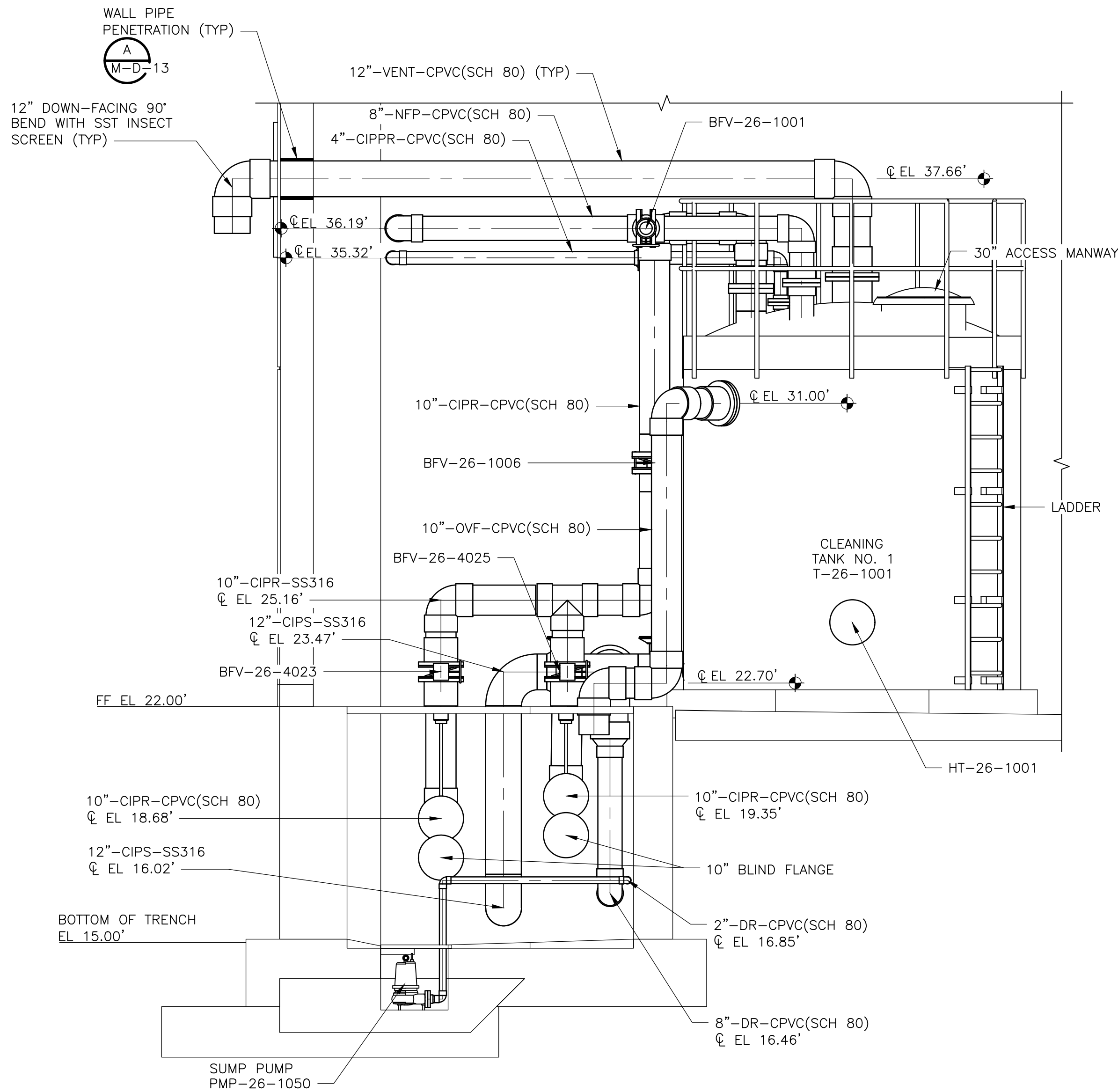
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JOSHUA A BENJAMIN
PE NO. 100436

PROJECT NO. 159676-291242
FILE NAME: M-NF-16.dwg

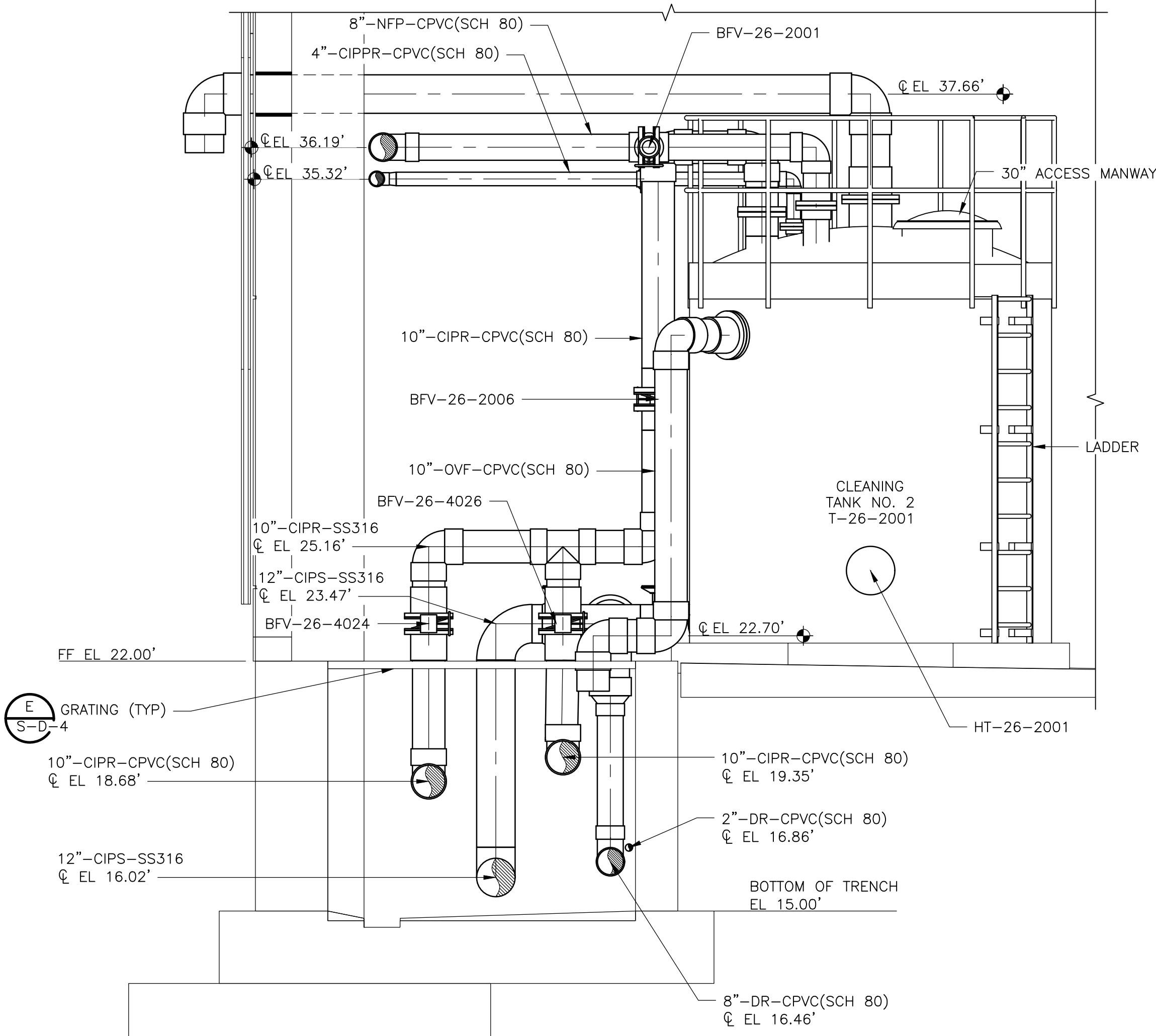
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M-NF-16

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SECTION 3
3/8" = 1'-0"
M-NF-14



SECTION 4
3/8" = 1'-0"
M-NF-14

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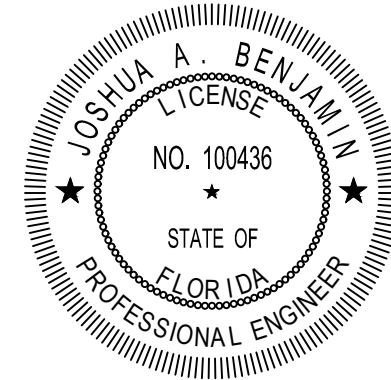
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APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEAN IN PLACE AREA
SECTIONS III



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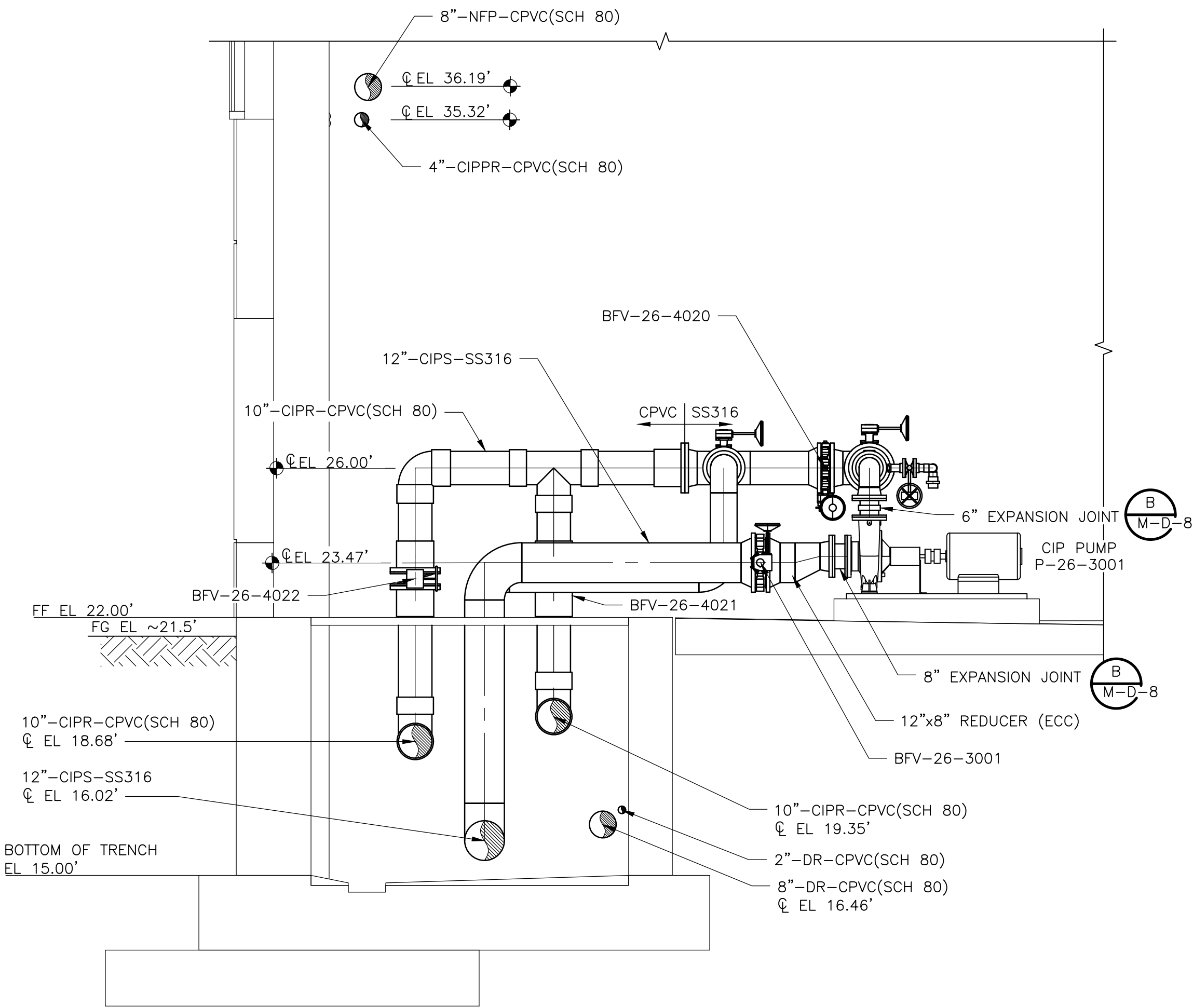
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PROJECT NO. 159676-291242
FILE NAME: M-NF-17.dwg

SHEET NO.

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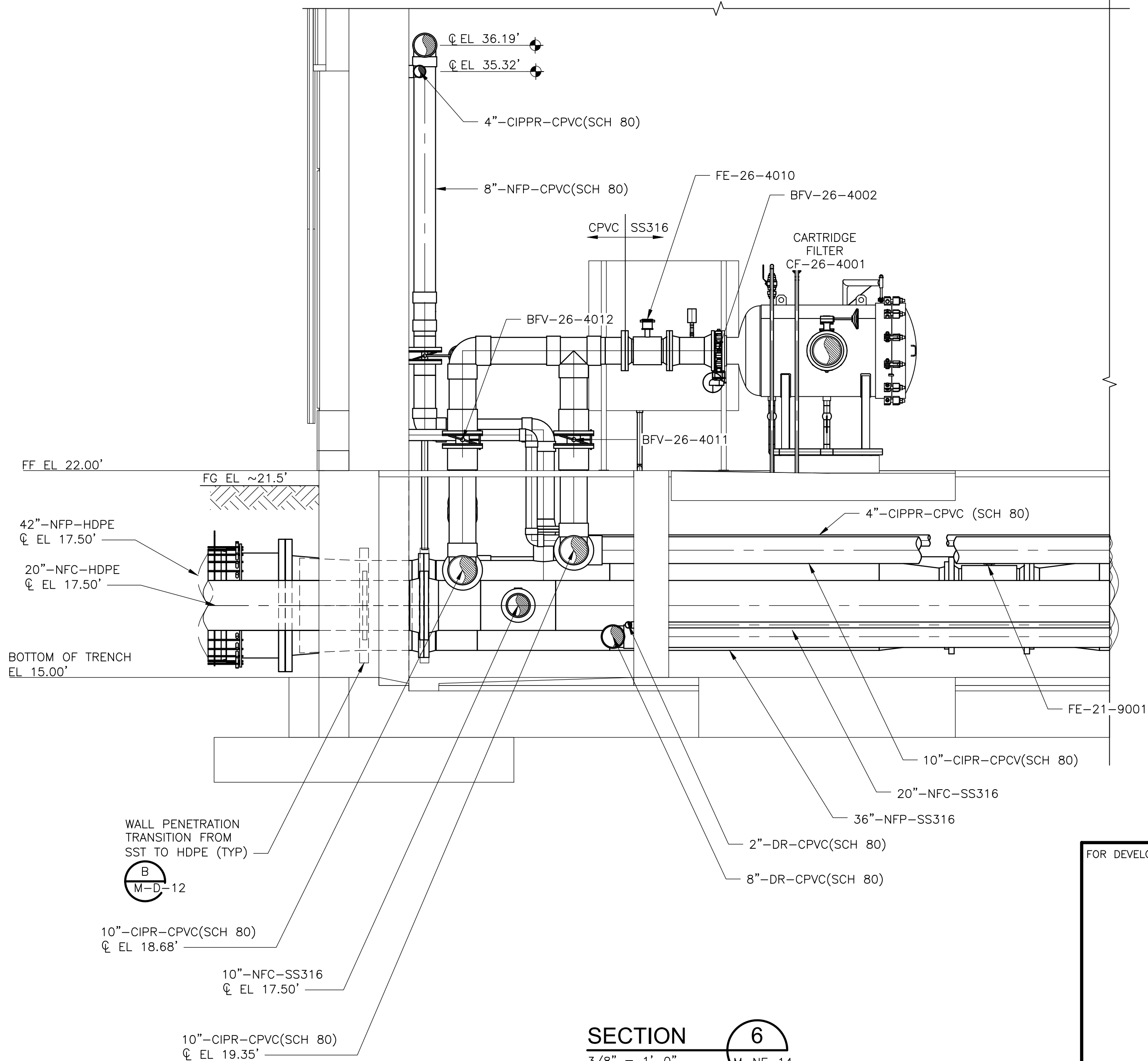


SECTION

5

3/8" = 1'-0"

M-NF-14



SECTION

6

3/8" = 1'-0"

M-NF-14

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CROSS CHK'D BY: F. BRINSON
APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

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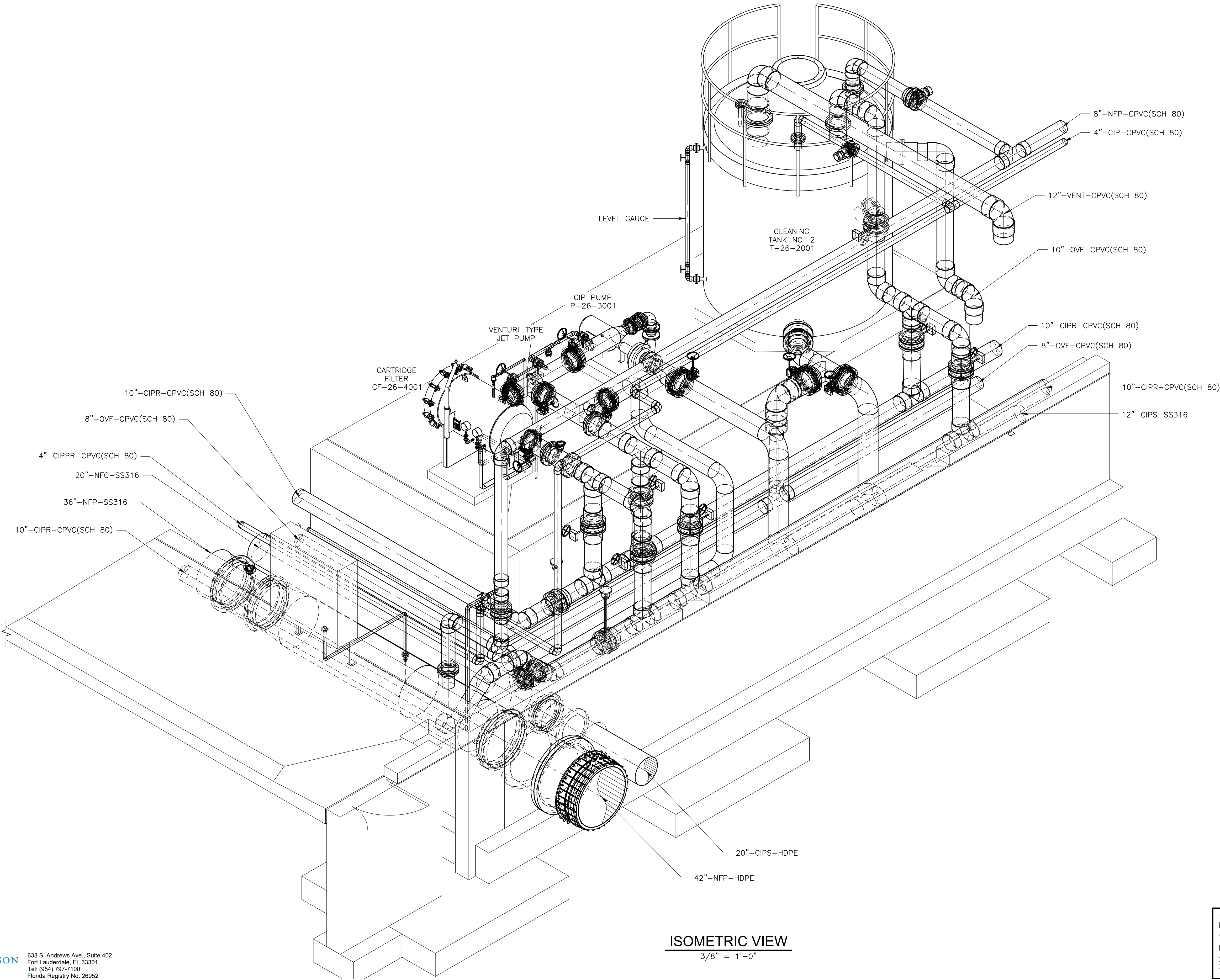
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEAN IN PLACE AREA
PARTIAL ISOMETRIC VIEW

PROJECT NO. 159676-291242
FILE NAME: M-NF-18.dwg

SHEET NO.
M-NF-18

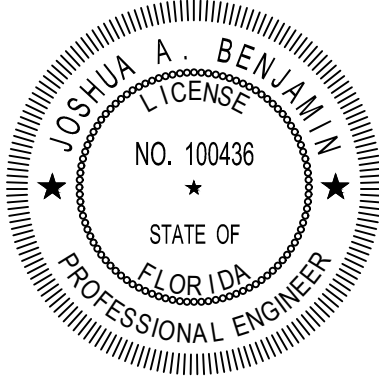
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ISOMETRIC VIEW
3/8" = 1'-0"

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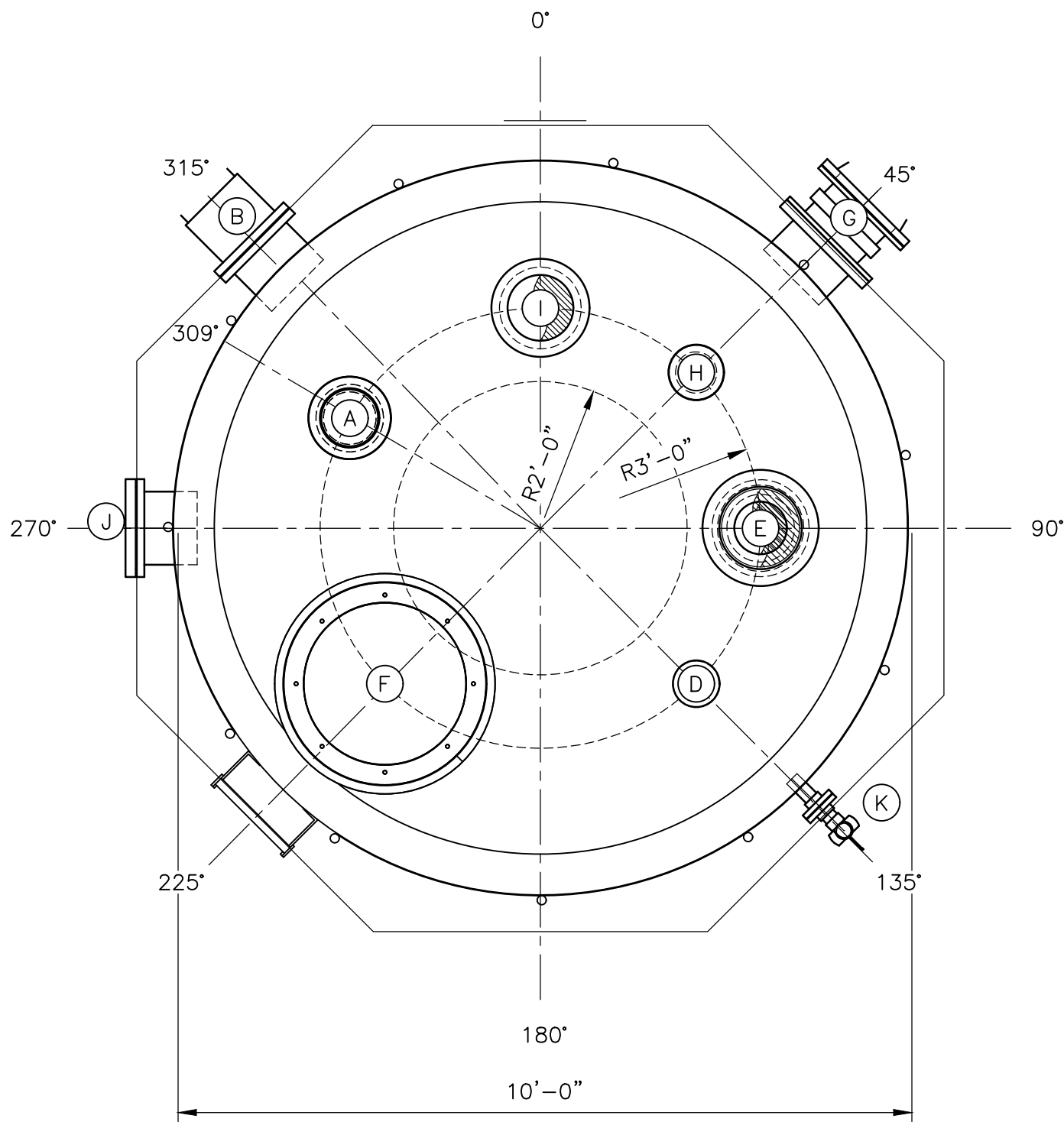
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CLEAN IN PLACE TANK
T-26-1001 & T-26-2001

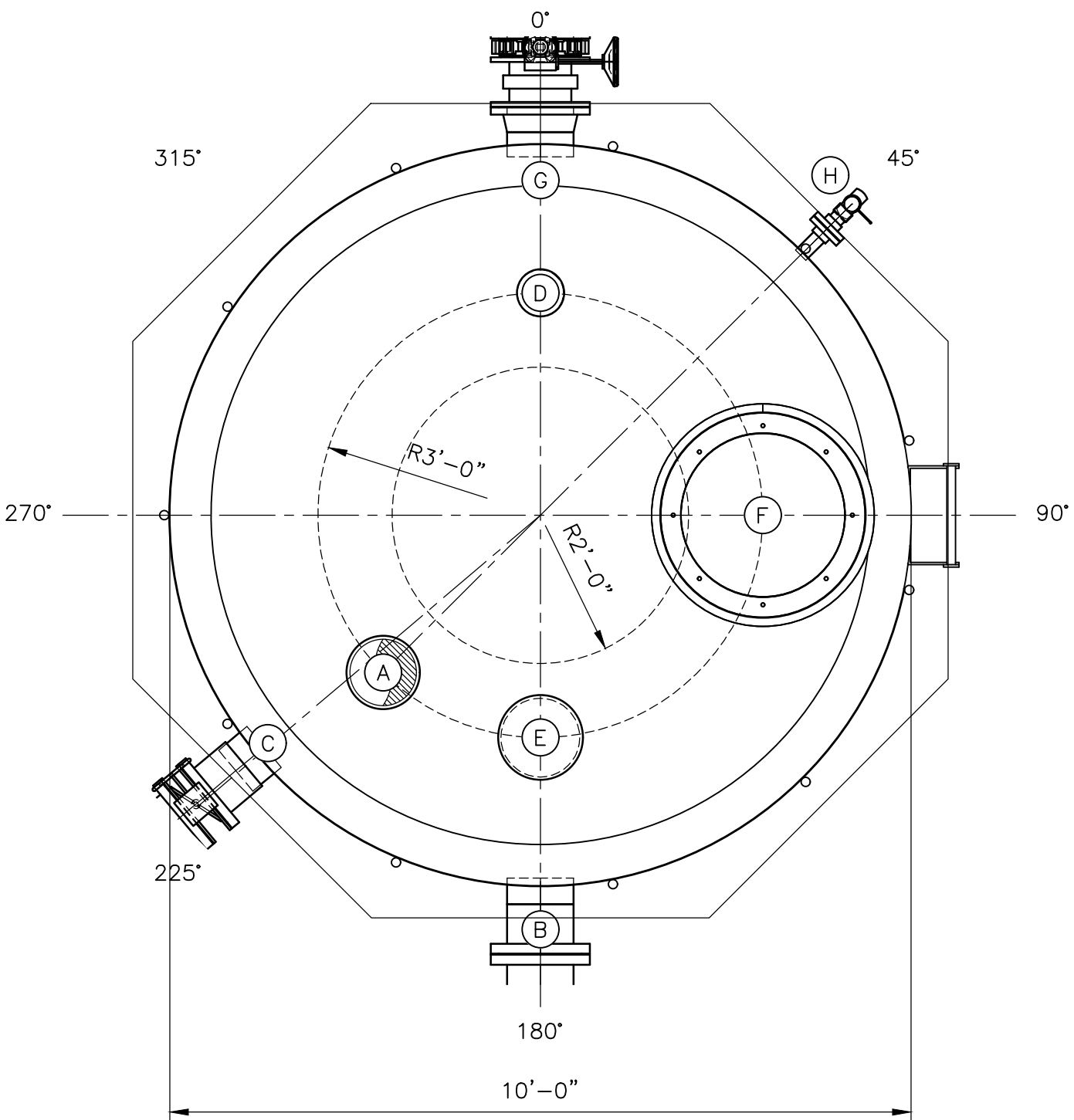


CLEANING TANKS					
LOCATION	SERVICE	SIZE (INCHES)	DESCRIPTION	HEIGHT FROM BASE OF TANK TO CENTERLINE	ORIENTATION (DEGREES)
A	TANK FILL**	8	150# FLANGE	N/A	309
B	OVERFLOW	10	150# FLANGE	8' - 6"	315
C	DRAIN	8	150# FLANGE	-	-
D	LEVEL SENSOR	3*	150# FLANGE	N/A	135
E	TANK VENT	12	150# FLANGE	N/A	90
F	MANWAY	30	150# FLANGE	N/A	225
G	FULL-DRAIN OUTLET TO CIP PUMP WITH EXPANSION JOINT	12	150# FLANGE	FLUSH WITH BASE	180
H	PERMEATE RETURN**	4	150# FLANGE	N/A	45
I	CIP RETURN**	10	150# FLANGE	N/A	120
J	IMMERSION HEATER	10	150# FLANGE	2' - 0"	270
K	TANK LEVEL SITE TUBE	1	150# FLANGE	0' - 3"; 8' - 9"	135

* COORDINATE WITH SENSOR MFR REQUIREMENTS.

** NOZZLES FOR FILL/RETURN CONNECTIONS ENTERING THE TOP OF THE TANKS SHALL BE FURNISHED WITH INTERNAL DROP PIPES EXTENDING TO 4' FROM FLOOR OF TANK.

FLUSHING TANK
T-28-1001



FLUSHING TANK					
LOCATION	SERVICE	SIZE (INCHES)	DESCRIPTION	HEIGHT FROM BASE OF TANK TO CENTERLINE	ORIENTATION (DEGREES)
A	TANK FILL**	10	150# FLANGE	N/A	225
B	OVERFLOW	10	150# FLANGE	8' - 6"	180
C	DRAIN	8	150# FLANGE	FLUSH WITH BASE	230
D	LEVEL SENSOR	3*	150# FLANGE	N/A	0
E	TANK VENT	12	150# FLANGE	N/A	180
F	MANWAY	30	150# FLANGE	N/A	90
G	FULL-DRAIN OUTLET TO CIP PUMP WITH EXPANSION JOINT	10	150# FLANGE	FLUSH WITH BASE	0
H	TANK LEVEL SITE TUBE	1	150# FLANGE	0' - 3"; 8' - 9"	45

* COORDINATE WITH SENSOR MFR REQUIREMENTS.

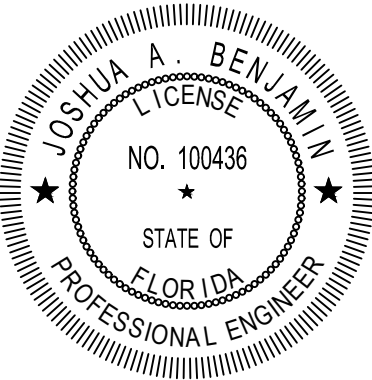
** NOZZLES FOR FILL/RETURN CONNECTIONS ENTERING THE TOP OF THE TANKS SHALL BE FURNISHED WITH INTERNAL DROP PIPES EXTENDING TO 2' FROM FLOOR OF TANK.

FOR BUILDING DEPARTMENT USE

FOR DEVELOPMENT SERVICES USE

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DATE:
JOSHUA A BENJAMIN
PE NO. 100436

PROJECT NO. 159676-291242
FILE NAME: M-NF-22.dwg

SHEET NO.

M-NF-22

ISSUED FOR PERMITTING

DESIGNED BY: J. BENJAMIN
DRAWN BY: D. RAMALES
SHEET CHK'D BY: J. BENJAMIN
CROSS CHK'D BY: F. BRINSON
APPROVED BY: J. BENJAMIN
DATE: AUGUST 2025

CDM Smith
621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CLEANING & FLUSHING TANK
NOZZLE SCHEDULES

PLAN
1"=40'-0"

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: _____ AF/BB
DRAWN BY: _____ AF/BB
SHEET CHK'D BY: _____ EH
CROSS CHK'D BY: _____ JG
APPROVED BY: _____ EH
DATE: _____ AUGUST 2025






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Smith**
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MEMBRANE WATER TREATMENT PLANT

LEGEND

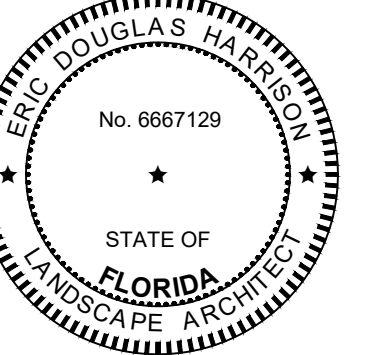
- | | |
|-------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | Section 4.6.16 (H)(3)(a) - 5' Minimum landscape strip between the off-street parking area or other vehicular use area and the right-of-way. |
|  | Section 4.6.16 (H)(3)(i) - One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. |
|  | Section 4.6.16 (H)(4)(a) - Foundation landscaping shall be required. This shall incorporate trees, shrubs and groundcovers with the minimum required specifications as set forth in 4.6.16(E). Multiple tiers of plant material should be utilized and thoughtfully designed to accomplish the goal of softening the building mass while adding vibrant color and textures. |
|  | Impervious area |
|  | Pervious area |

*NOTE:
Refer to sheet L-10 for landscape calculations.

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ATE:
RIC HARRISON
A NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-4.DWG

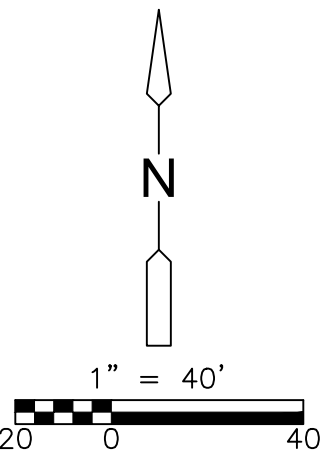
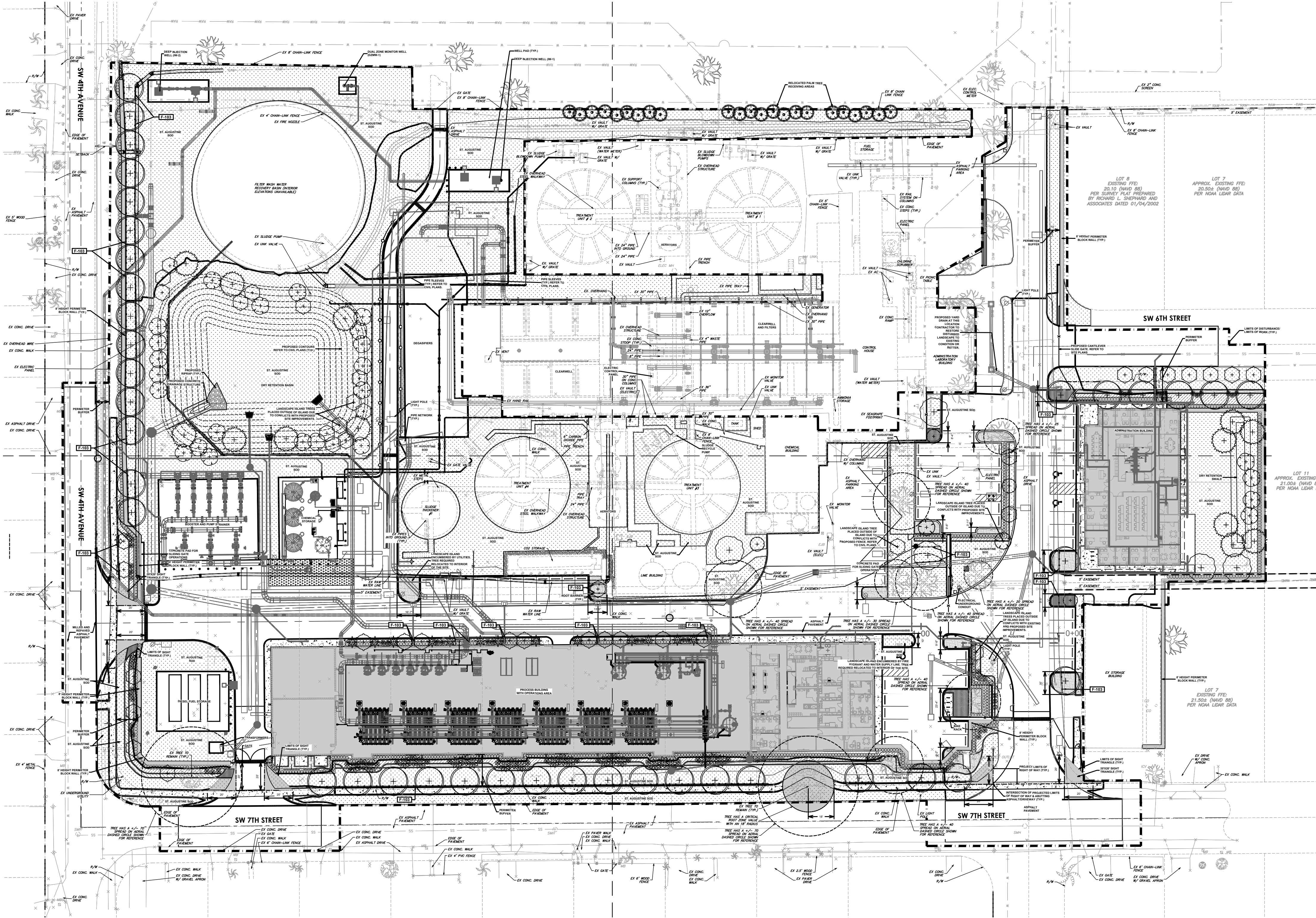
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FOR BUILDING DEPARTMENT USE

PLANT LEGEND

SYMBOL	CODE	COMMON NAME	RELOCATED PALMS
	TD	Bald Cypress	SS-R Cobbage Palmetto
	IC	Dahoon Holly	COA Auntie Lou Ti Plant
	CD	Green Buttonwood	VIB Evergreen Sweet Viburnum
	BS	Gumbo Limbo	COM Mammy Croton
	QV	Live Oak 'Cathedral'	CHR Red Tip Coco Plum
	AG	Pond Apple	
	MR	Simpson's Stopper	
	PE	Alexander Palm	
	PD	Date Palm	
			SHRUBS
			COA Auntie Lou Ti Plant
			VIB Evergreen Sweet Viburnum
			COM Mammy Croton
			CHR Red Tip Coco Plum
			SHRUB AREAS
			HAP2 Firebush
			DUE Gold Mound Duranta
			FIG Green Island Ficus
			GROUND COVERS
			HED Dune Sunflower
			ZAF Florida Coonleaf
			MULCH
			MUL MULCH

PLANTING NOTES:

- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
- ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GRADE ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO CITY OF DELRAY BEACH STANDARD DETAILS.
- A FULL IRRIGATION DESIGN WILL BE PROVIDED AT THE TIME OF THE BUILDING DEPARTMENT SUBMITTAL PER COORDINATION WITH STAFF HELD ON 12/10/2024.
- REFER TO SHEET L-9 FOR FULL PLANT SCHEDULE AND LANDSCAPE CALCULATIONS.

FOR DEVELOPMENT SERVICES USE

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PLAN
1"=40'-0"

cma
chen moore and associates

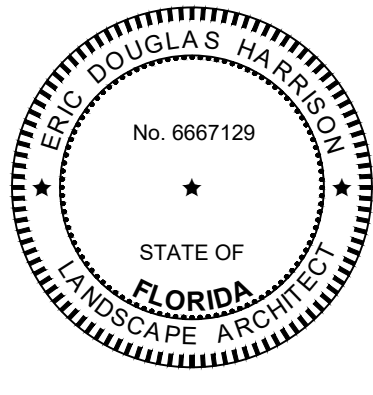
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Suite 850
West Palm Beach, FL 33401
561.746.6900
www.chenmoore.com

ROOT BARRIER AND WEED FABRIC SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	F-103	ROOT BARRIER	1,573 LF
	K-101	57 GRAVEL WITH WEED FABRIC	2,12 CY

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LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-5.DWG

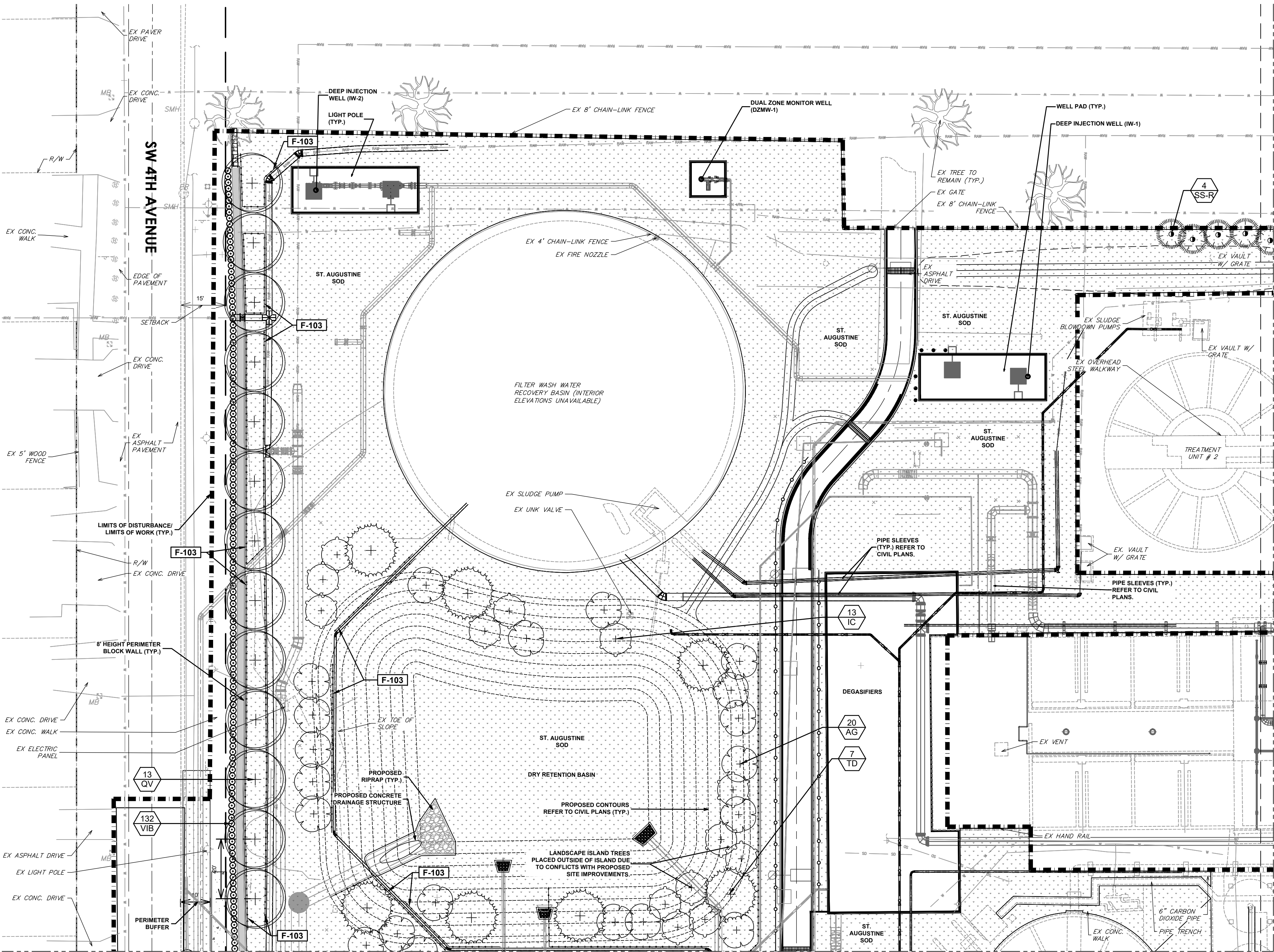
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MATCH LINE SHEET L-8

SECTION 4.6.16(H)(3)(A): ONE TREE SHALL BE PLANTED EVERY 25' TO FORM A SOLID TREE LINE. ANY TREE(S) THAT CONFLICT WITH THE EXISTING OR PROPOSED UTILITY DESIGN, PROPOSED SIDEWALK OR PROPOSED SCREENING WALL ALONG SW 4TH AVENUE WILL BE INSTALLED BEHIND THE PERIMETER WALL WITHIN THE INTERIOR OF THE SITE.

PLAN
1"=40'-0"



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Suite 850
West Palm Beach, FL 33401
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

PLANT LEGEND

SYMBOL CODE COMMON NAME

TREES

+	TD	Bald Cypress
+	IC	Dahoon Holly
+	CD	Green Buttonwood
+	BS	Gumbo Limbo
+	QV	Live Oak 'Cathedral'
+	AG	Pond Apple
+	MR	Simpson's Stopper

PALMS

+	PE	Alexander Palm
+	PD	Date Palm

RELOCATED PALMS

+	SS-R	Cabbage Palmetto
---	------	------------------

SHRUBS

+	COA	Auntie Lou Ti Plant
+	VIB	Evergreen Sweet Viburnum
+	COM	Mommy Croton
+	CHR	Red Tip Coco Plum

SHRUB AREAS

+	HAP2	Firebush
+	DUE	Gold Mound Duranta
+	FIG	Green Island Ficus

GROUND COVERS

+	HED	Dune Sunflower
+	ZAF	Florida Coontie

MULCH

+	MUL	MULCH
---	-----	-------

SOD

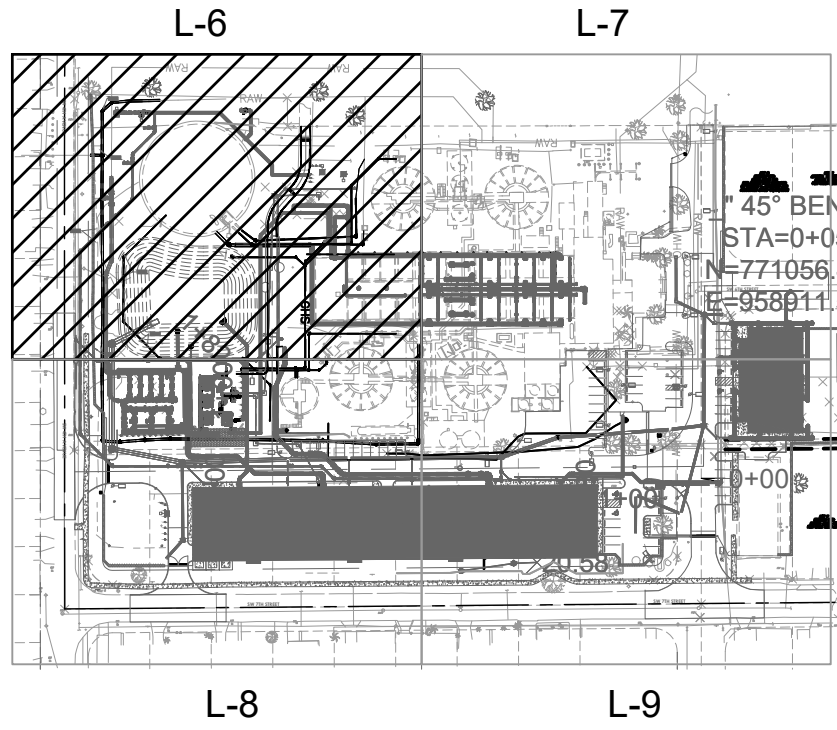
+	SOD	St. Augustine Grass
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ROOT BARRIER SCHEDULE

CODE DESCRIPTION QTY

FENCE

+	F-103	ROOT BARRIER	885 LF
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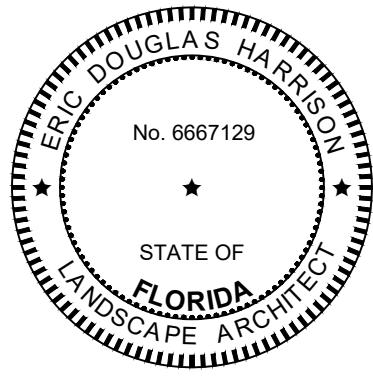
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LA NO. 6667129

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FILE NAME: L-6.DWG

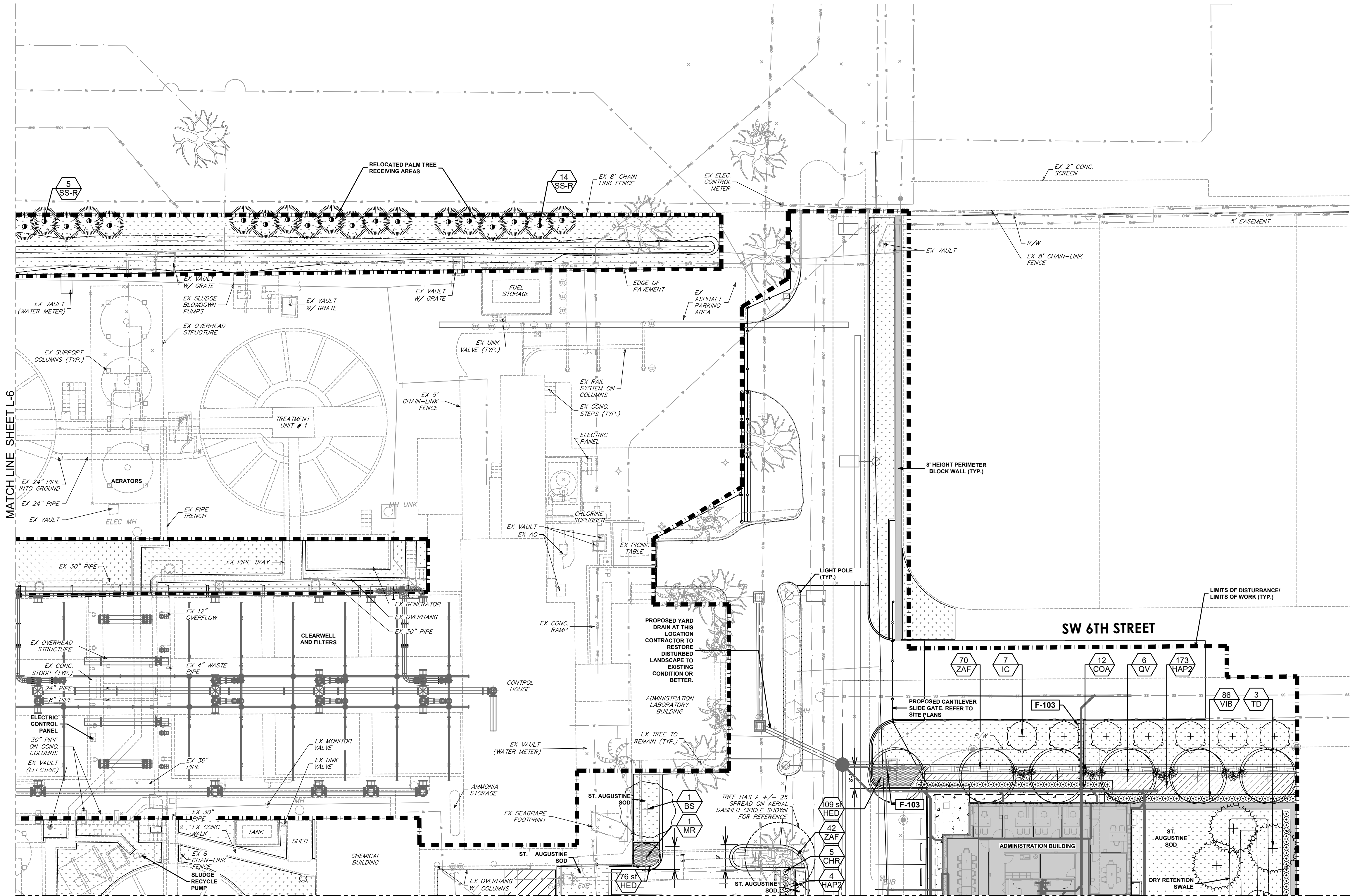
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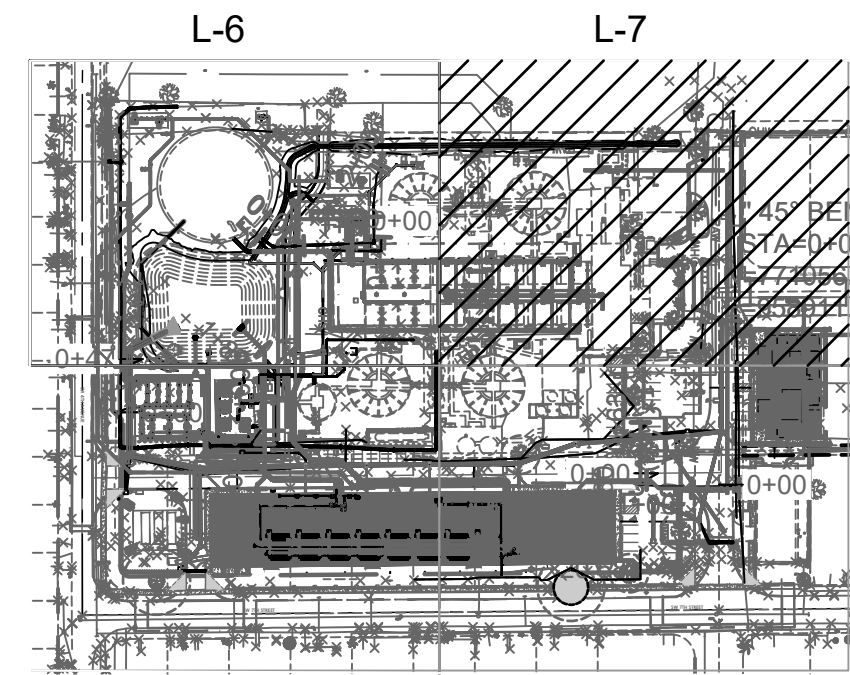
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

PLANT LEGEND

SYMBOL	CODE	COMMON NAME
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	BS	Gumbo Limbo
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	FIG	Green Island Ficus
GROUND COVERS		
	HED	Dune Sunflower
	ZAF	Florida Coontie
MULCH		
	MUL	MULCH
SOD		
	SOD	St. Augustine Grass

ROOT BARRIER SCHEDULE

CODE	DESCRIPTION	QTY
FENCE		
F-103	ROOT BARRIER	54 LF



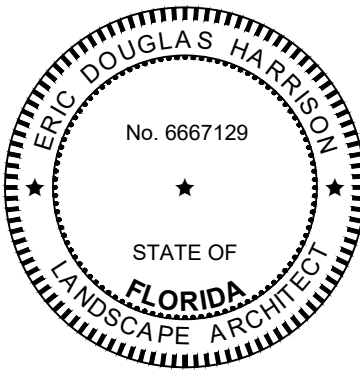
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PROJECT NO. 159676-291242
FILE NAME: L-7.DWG

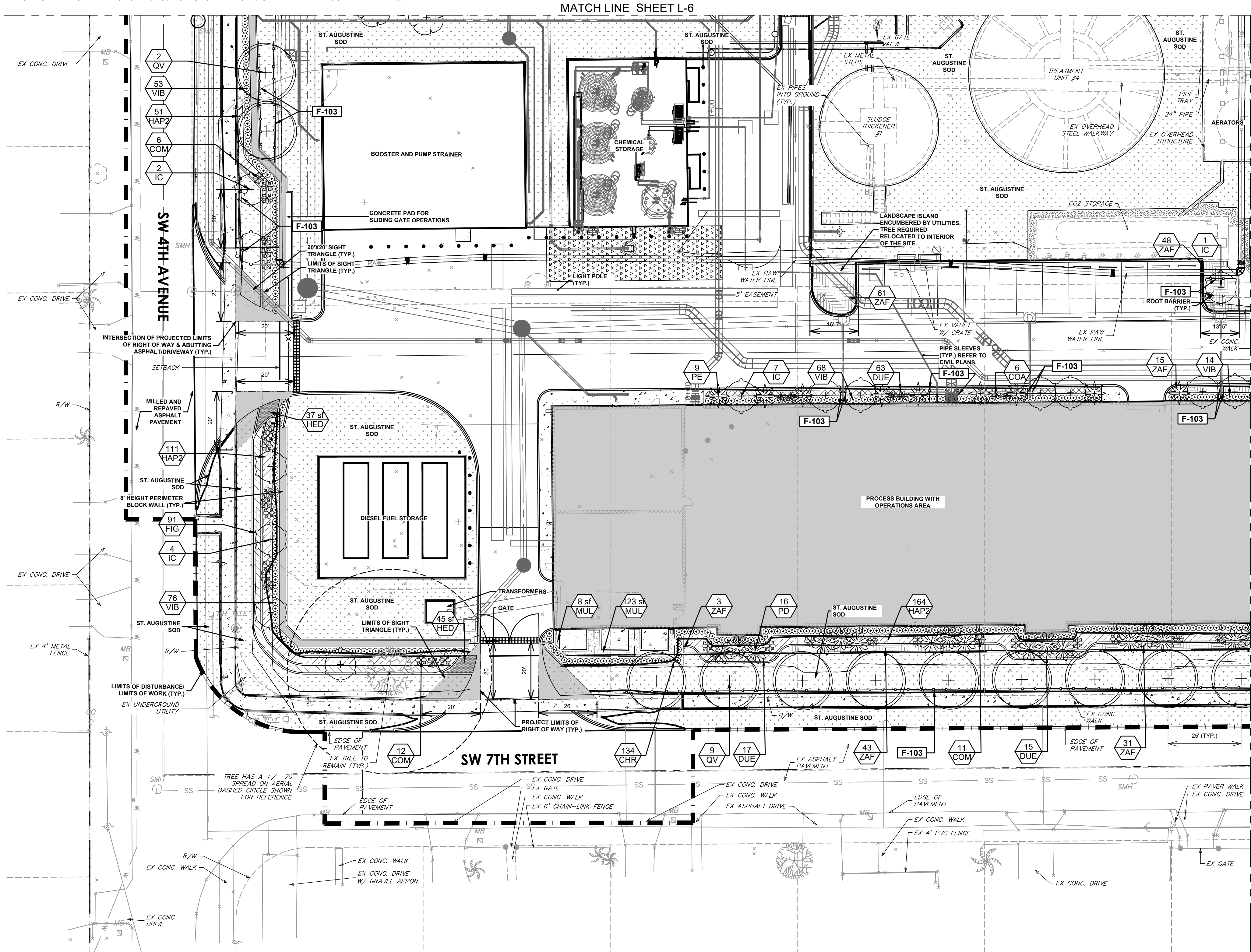
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PLANT LEGEND

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PALMS

PE	Alexander Palm
PD	Date Palm

RELOCATED PALMS

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DUE	Gold Mound Duranta
FIG	Green Island Ficus

GROUND COVERS

HED	Dune Sunflower
ZAF	Florida Coontie

MULCH

MUL	MULCH
-----	-------

SOD

SOD	St. Augustine Grass
-----	---------------------

ROOT BARRIER SCHEDULE

SYMBOL CODE DESCRIPTION

FENCE

F-103	ROOT BARRIER
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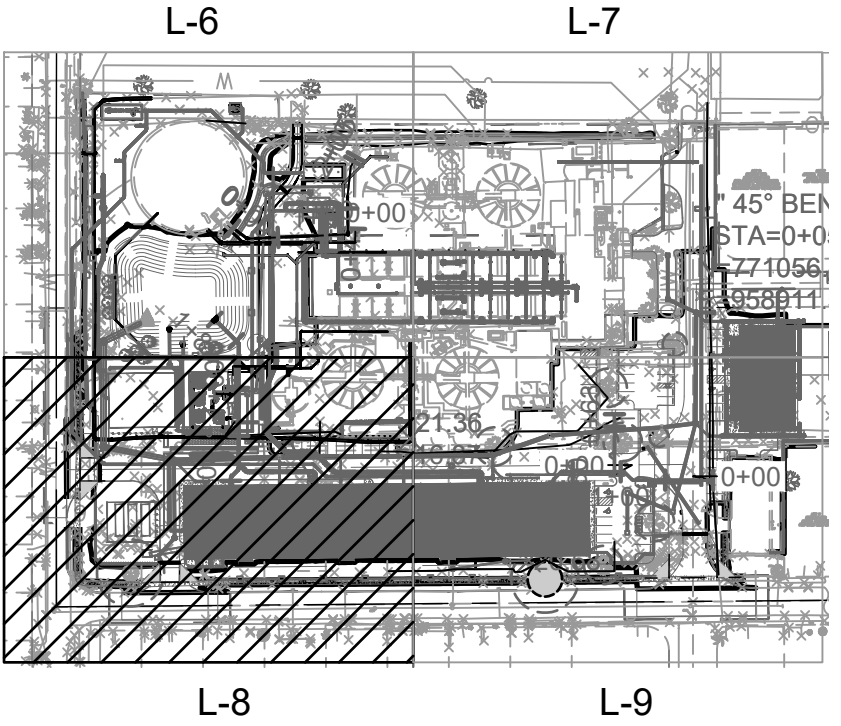
ROCK

K-101	57 GRAVEL WITH WEED FABRIC
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QTY

480 LF

2.12 CY



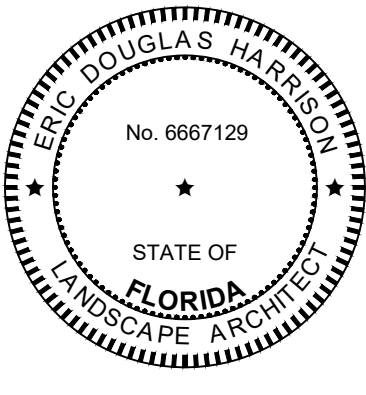
KEY PLAN

1"=200'-0"

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61G10-11.011, F.A.C.



DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-8.DWG

SHEET NO.

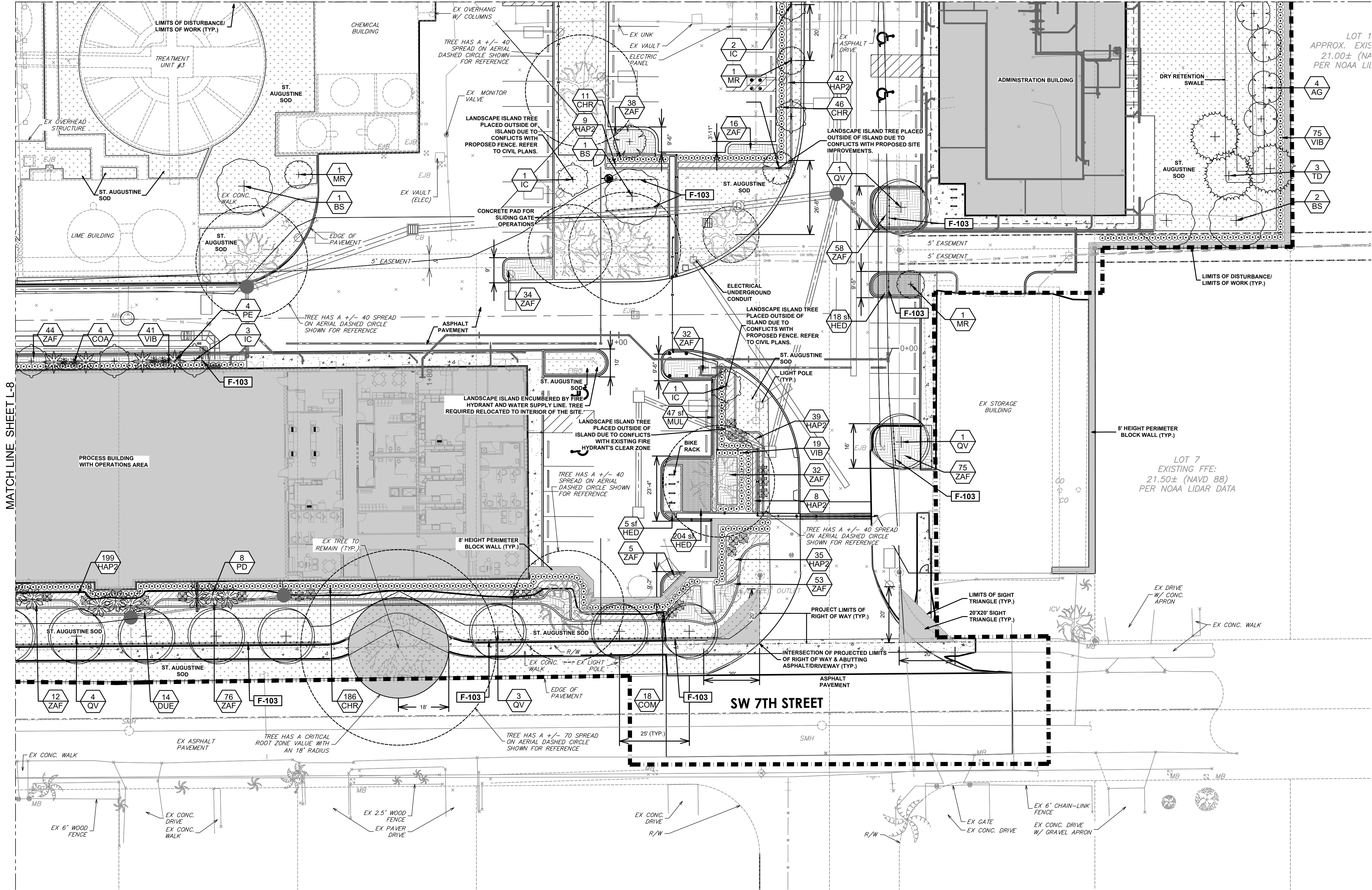
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NOTE: EXISTING SITE FEATURES AND APPURTENANCES SUCH AS, BUT NOT LIMITED EXISTING CONTOUR LINES, VAULTS PIPING, WELL LOCATIONS, ETC. ARE SHOWN AND LABELED ON THE LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO DEMOLITION AND CIVIL PLANS FOR DISPOSITION OF SITE FEATURES OTHER THAT LANDSCAPE MATERIALS.

MATCH LINE SHEET L-7

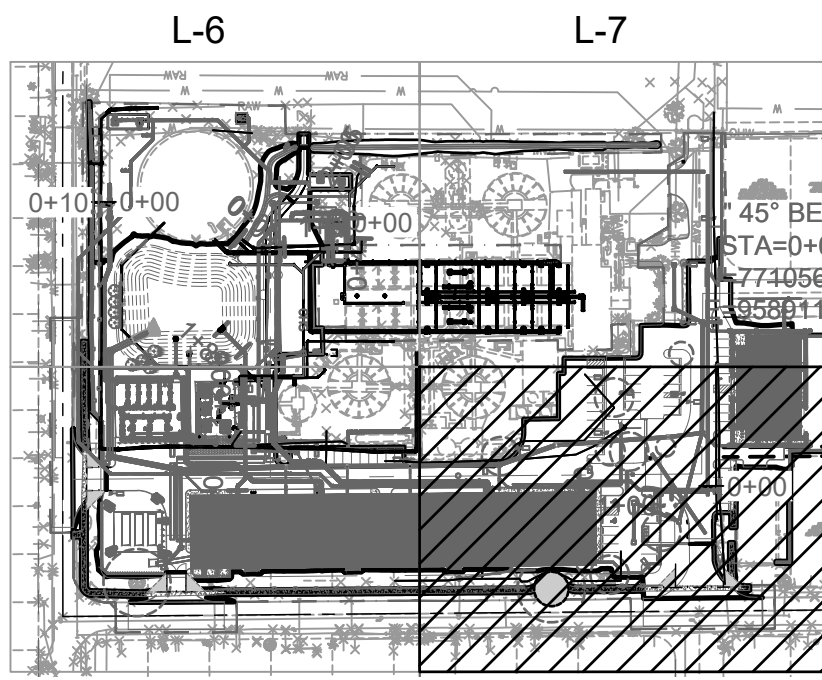


PLANT LEGEND

SYMBOL	CODE	COMMON NAME
TREES		
	TD	Bald Cypress
	IC	Dahoon Holly
	CD	Green Buttonwood
	BS	Gumbo Limbo
	QV	Live Oak 'Cathedral'
	AG	Pond Apple
	MR	Simpson's Stopper
PALMS		
	PE	Alexander Palm
	PD	Date Palm
RELOCATED PALMS		
	SS-R	Cabbage Palmetto
SHRUBS		
	COA	Auntie Lou Ti Plant
	VIB	Evergreen Sweet Viburnum
	COM	Mammy Croton
	CHR	Red Tip Coco Plum
SHRUB AREAS		
	HAP2	Firebush
	DUE	Gold Mound Duranta
	FIG	Green Island Ficus
GROUND COVERS		
	HED	Dune Sunflower
	ZAF	Florida Coontie
MULCH		
	MUL	MULCH
SOD		
	SOD	St. Augustine Grass

ROOT BARRIER SCHEDULE

CODE	DESCRIPTION	QTY
F-103	ROOT BARRIER	154 LF



KEY PLAN

1"=200'-0"

FOR DEVELOPMENT SERVICES USE

*NOTE: LANDSCAPE IMPROVEMENTS ARE PREDICATED ON THE AREA ASSOCIATED WITH THE LIMITS OF WORK. LANDSCAPE REQUIREMENTS OUTSIDE OF THESE LIMITS ARE CONSIDERED CODE COMPLIANT AND IS NOT REQUIRED PER COORDINATION WITH CITY STAFF ON 12/10/2024.

SECTION 4.6.16(D)(2)(D): ALL TREE(S) WHICH ARE TO BE PRESERVED UNDER THIS SECTION AND DO NOT SURVIVE SHALL BE REPLACED BY A TREE A MINIMUM OF 18 FEET IN HEIGHT WITH A TEN-FOOT SPREAD OF CANOPY.

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE ELEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.

INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING PER LANDSCAPE NOTE 7.2.

SECTION 4.6.16(E): PLANT SCHEDULE HAS BEEN CREATED FOLLOWING FLORIDA-FRIENDLY LANDSCAPE PRINCIPLES THROUGH THE SELECTION OF A MAJORITY OF FLORIDA NATIVE PLANTS.

PLAN

1"=40'-0"

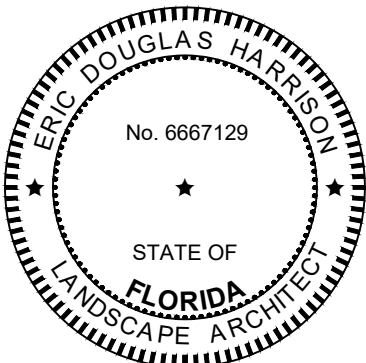


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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

LANDSCAPE PLAN IV



DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-9.DWG

SHEET NO.

L-9

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PLANT SCHEDULE

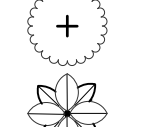
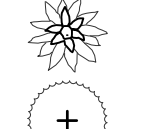

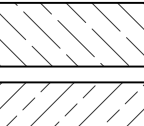
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE
TREES							
	AG	24	POND APPLE	ANNONA GLABRA	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	BS	5	GUMBO LIMBO	BURSERA SIMARUBA	SEE SIZE	16' OAH, 8' CT, 7' SPRD	YES
	CD	2	GREEN BUTTONWOOD	CONOCARPUS ERECTUS	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	IC	41	DAHOON HOLLY	ILEX CASSINE	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	MR	4	SIMPSON'S STOPPER	MYRICANTHES FRAGRANS	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	QV	39	LIVE OAK 'CATHEDRAL'	QUERCUS VIRGINIANA	SEE SIZE	20' OAH, 8' CT, 7' SPRD	YES
	TD	13	BALD CYPRESS	TAXODIUM DISTICHUM	SEE SIZE	16' OAH, 8' CT, 7' SPRD	YES
PALMS							
	PD	24	DATE PALM	PHOENIX DACTYLIFERA	SEE SIZE	16' OAH, 8' CT	NO
	PE	13	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	SEE SIZE	16' OAH, 8' CT	NO

RELOCATED PALMS

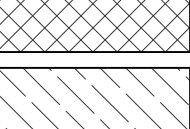


	SS-R	23	CABBAGE PALMETTO	SABAL PALMETTO	RELOCATED		
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SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
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SHRUBS

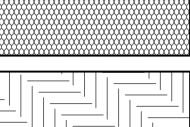

	CHR	382	RED TIP COCO PLUM	CHRYSOBALANUS ICACO 'RED TIP'	SEE SIZE	5'-6` HT, FULL	YES	24" o.c.
	COM	52	MAMMY CROTON	CODIAEUM VARIEGATUM 'MAMMY'	SEE SIZE	3` HT, FULL	NO	48" o.c.
	COA	22	AUNTIE LOU TI PLANT	CORDYLINE FRUTICOSA 'AUNTIE LOU'	SEE SIZE	3` HT, FULL	NO	48" o.c.
	VIB	564	EVERGREEN SWEET VIBURNUM	VIBURNUM AWABUKI	SEE SIZE	5'-6` HT, FULL	NO	24" o.c.

SHRUB AREAS

	DUE	109	GOLD MOUND DURANTA	DURANTA ERECTA 'GOLD MOUND'	SEE SIZE	24" HT, 12" SPR	NO	24" o.c.
	FIG	91	GREEN ISLAND FICUS	FICUS MICROCARPA 'GREEN ISLAND'	SEE SIZE	24" HT, 24" SPRD	NO	24" o.c.
	HAP2	835	FIREBUSH	HAMELIA PATENS	SEE SIZE	24" HT, 24" SPRD	YES	24" o.c.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE
--------	------	-----	-------------	----------------	------	------	--------

GROUND COVERS

	HED	594 SF	DUNE SUNFLOWER	HELIANTHUS DEBILIS	SEE SIZE	6" HT, 6" SPRD	YES
	ZAF	788	FLORIDA COONTIE	ZAMIA FLORIDANA	SEE SIZE	18" HT, 18" SPRD	YES

MULCH

	MUL	178 SF	MULCH	MULCH		MULCH	
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SOD

	SOD	104,955 SF	ST. AUGUSTINE GRASS	STENOTAPHRUM SECUNDATUM	SOD		
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TREE MITIGATION

	CODE	QUANTITY	COMMON NAME	BOTANICAL NAME	DBH SIZE AT INSTALLATION	TOTAL DBH REPLACEMENT (IN)
TREES	TD	13	Bald Cypress	Taxodium distichum	5	65
	IC	41	Dahoon Holly	Ilex cassine	3	123
	CD	2	Green Buttonwood	Conocarpus erectus	3	6
	BS	5	Gumbo Limbo	Bursera simaruba	5	25
	QV	39	Live Oak 'Cathedral'	Quercus virginiana	8	312
	AG	24	Pond Apple	Annona glabra	3	72
PALMS	MR	4	Simpson's Stopper	Myricanthes fragrans	3	12
	PE	13	Alexander Palm	Ptychosperma elegans		
	PD	24	Date Palm	Phoenix dactylifera		
	SS-R	23	Cabbage Palm	Sabal palmetto		
TOTAL DBH PROPOSED						615
TOTAL DBH REMOVED						489
NET DIFFERENCE						126
TOTAL PALMS PROPOSED						60
TOTAL PALMS REMOVED						7
NET DIFFERENCE						53
TOTAL PALM GROUPINGS OF THREE						8
NOTES						
Sec. 4.6.16.(E)(6) - Palm species that do not have a mature spread of crown of at least 15 feet shall be grouped in threes, and three palms shall equal one shade tree.						

LANDSCAPE CALCULATIONS

CODE SECTION	CODE APPLICATION	REQUIRED	PROPOSED	EXISTING	TOTAL	COMMENTS
Section 4.6.16 (H)(4)(a)	Foundation landscaping shall be required. This shall incorporate trees, shrubs and groundcovers with the minimum required specifications as set forth in 4.6.16(E). Multiple tiers of plant material should be utilized and thoughtfully designed to accomplish the goal of softening the building mass while adding vibrant color and textures.	12' to 25' Height, Spaced Per Table 2 Typical Foundation Trees and Spacing Requirements (LF of Foundation)	8 Palm Groupings (3 16' Palms per Grouping)		8 Palm Groupings (3 16' Palms per Grouping)	
SECTION 4.6.16(H)(3)(a)	A strip of land at least five feet in depth located between the off-street parking area or other vehicular use area and the right-of-way. A hedge, wall or other durable landscape area shall be placed along the interior perimeter of the landscape strip.	1 Tree/30LF + Continuous Hedge or Wall (LF of Screening)	47 Trees + Continuous Hedge	4 Trees	51 Trees + Continuous Hedge	
SECTION 4.6.16(H)(3)(e)	Where any commercial or industrial areas about a residential zoning district or properties in residential use, in addition to requirements established for district boundary line separators in the zoning code, one tree shall be planted every 25 feet to form a solid tree line.	SW 7TH ST : 27 Trees	17 Trees	3 Trees	20 Trees	Site constraints
		SW 6TH ST : 6 Trees	5 Trees		5 Trees	Site constraints
		SW 4TH AVE : 20 Trees	20 Trees		20 Trees	

NATIVE PLANT MATERIAL CALCULATIONS

	CODE	QUANTITY	COMMON NAME	NATIVE TOTAL	NON-NATIVE TOTAL	DROUGHT TOLERANCE
TREES						
	TD	13	Bald Cypress	13		High
	IC	41	Dahoon Holly	41		Moderate
	CD	2	Green Buttonwood	2		High
	BS	5	Gumbo Limbo	5		High
	QV	39	Live Oak 'Cathedral'	39		High
	AG	24	Pond Apple	24		Low
	MR	4	Simpson's Stopper	4		High
	PE	13	Alexander Palm		13	High
	PD	24	Date Palm		24	High
	SS-R	23	Cabbage Palm	23		High
PERCENT NATIVE (50% REQUIRED)				80%		
SHRUBS & GROUND COVERS						
	COA	22	Auntie Lou Ti Plant		22	Low
	VIB	564	Evergreen Sweet Viburnum		564	Moderate
	COM	52	Mammy Croton		52	Low
	CHR	382	Red Tip Coco Plum	382		Moderate
	HAP2	835	Firebush	835		Moderate
	DUE	109	Gold Mound Duranta		109	High
	FIG	91	Green Island Ficus		91	High
	HED	594	Dune Sunflower	594		High
	ZAF	788	Florida Coontie	788		High
PERCENT NATIVE (25% REQUIRED)				76%		
TOTAL NATIVE TREES				151		
TOTAL NON-NATIVE TREES				37		
TOTAL NATIVE SHRUBS				2,599		
TOTAL NON-NATIVE SHRUBS				838		

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: _____	AF / BB
DRAWN BY: _____	AF / BB
SHEET CHK'D BY: _____	EH
CROSS CHK'D BY: _____	JG
APPROVED BY: _____	EH
DATE: _____	AUGUST 2025



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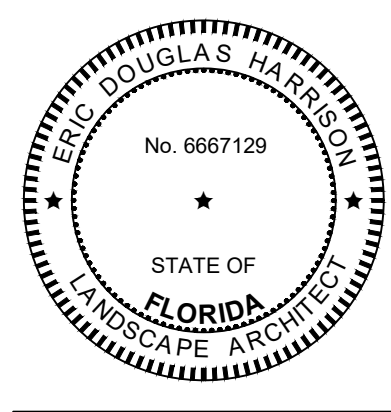


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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

LANDSCAPE CALCULATIONS



DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-10.DWG

SHEET NO.

L-10

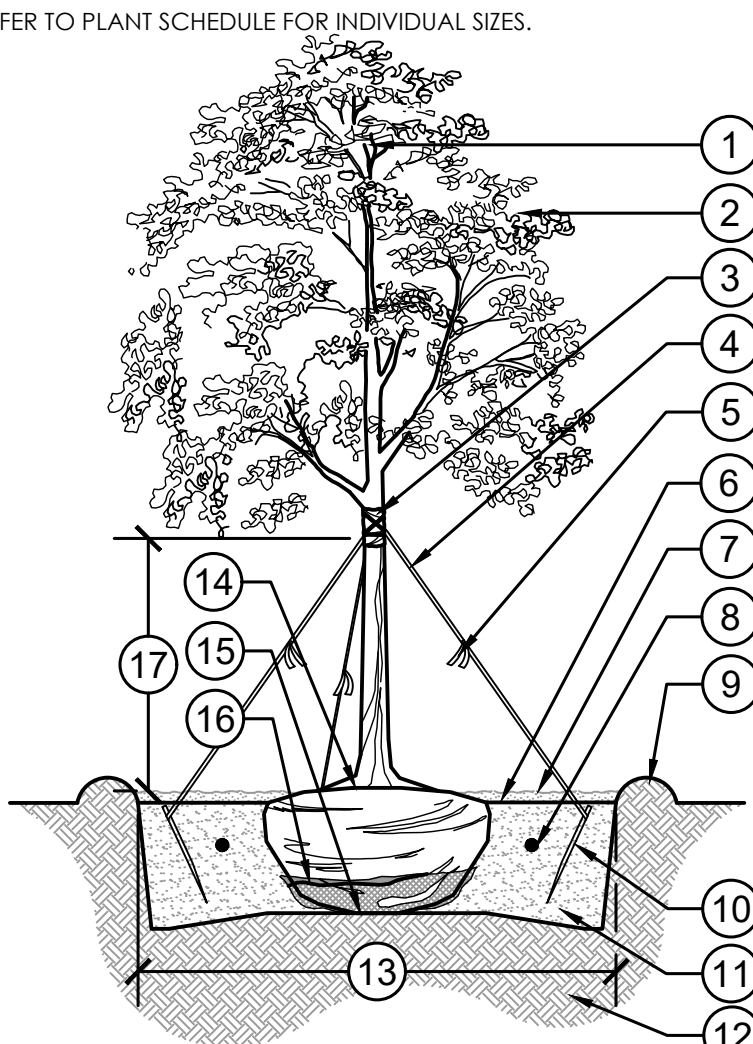
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A

CALIPER MEASUREMENTS NOTES:
1. CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
2. CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.

REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.

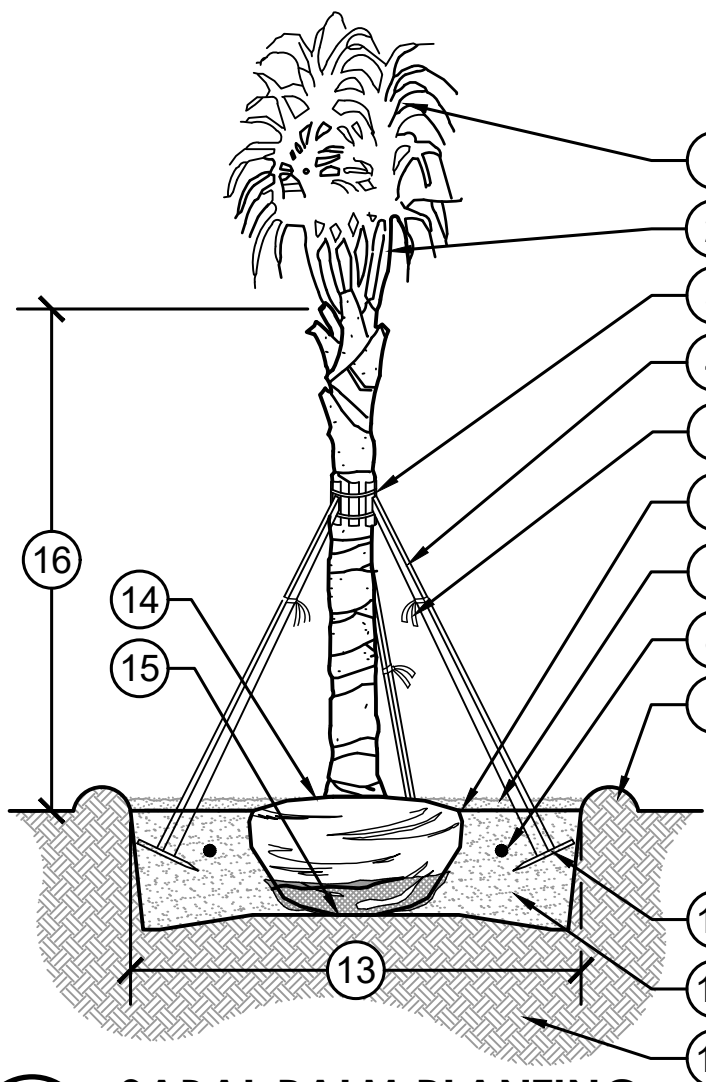


1 LARGE TREE PLANTING: 2" CALIPER AND GREATER
1/4" = 1'-0" 329301-17

B

- DO NOT PRUNE CENTRAL LEADER
- PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING USING ACCEPTABLE NURSERY PRACTICES OR AS DIRECTED BY THE LANDSCAPE ARCHITECT
- PROTECT TRUNK WITH 3 LAYERS OF BURLAP MINIMUM
- 1" WIDE MIN. NYLON STRAPPING AT EQUAL SPACING (3 PER TREE) GUY WIRES SHALL NOT TO BE USED
- FLUORESCENT MARKING FLAG
- FINISH GRADE
- 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- FERTILIZER TABLET IF APPLICABLE
- CONSTRUCT TEMPORARY 3" WATERING BASIN
- 2"x4"x8" STAKE: SET 2" BELOW FINISH GRADE
- SPECIFIED SOIL MIX
- EXISTING SOIL
- 2X DIAMETER OF THE ROOTBALL
- SET CROWN OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- SET ROOTBALL ON UNDISTURBED SOIL
- REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM ROOTBALL
- CLEAR TRUNK: REFER TO PLANT SCHEDULE

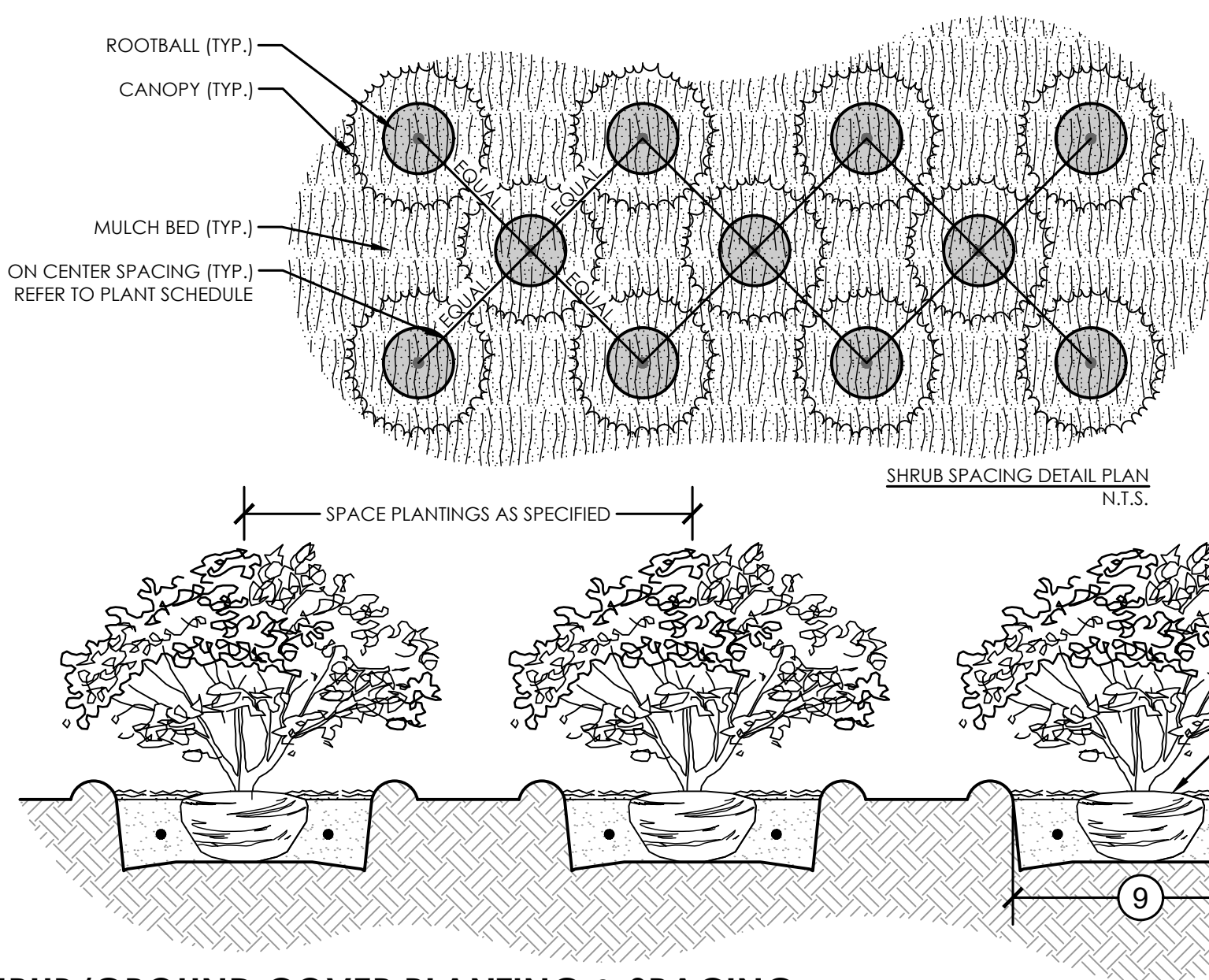
2 SABAL PALM PLANTING
1/4" = 1'-0" 329343-21



- DO NOT HURRICANE CUT FRONDS
- UNTIE FRONDS PRIOR TO INSPECTION
- METAL STRAPS SECURING 2"x4" WOOD BATTENS, MIN. 5 LAYERS BURLAP, TOE NAIL BRACES TO 2"x4" WOOD BATTENS: DO NOT NAIL STAKES DIRECTLY TO TRUNK
- 2"x4" WOOD BRACE AT EQUAL SPACING (3 PER TREE)
- 1/2"x2' FLUORESCENT MARKER
- FINISH GRADE
- 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- FERTILIZER TABLET IF APPLICABLE
- CONSTRUCT TEMPORARY 3" WATERING BASIN
- 2"x4"x8" STAKE: SET 2" BELOW FINISH GRADE
- BACKFILL WITH SPECIFIED SOIL MIX
- EXISTING SOIL
- 2X DIAMETER OF THE ROOTBALL
- SET CROWN OF ROOT BALL 0'-2" ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL: TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- SET ROOTBALL ON UNDISTURBED SOIL
- CLEAR TRUNK: REFER TO PLANT SCHEDULE

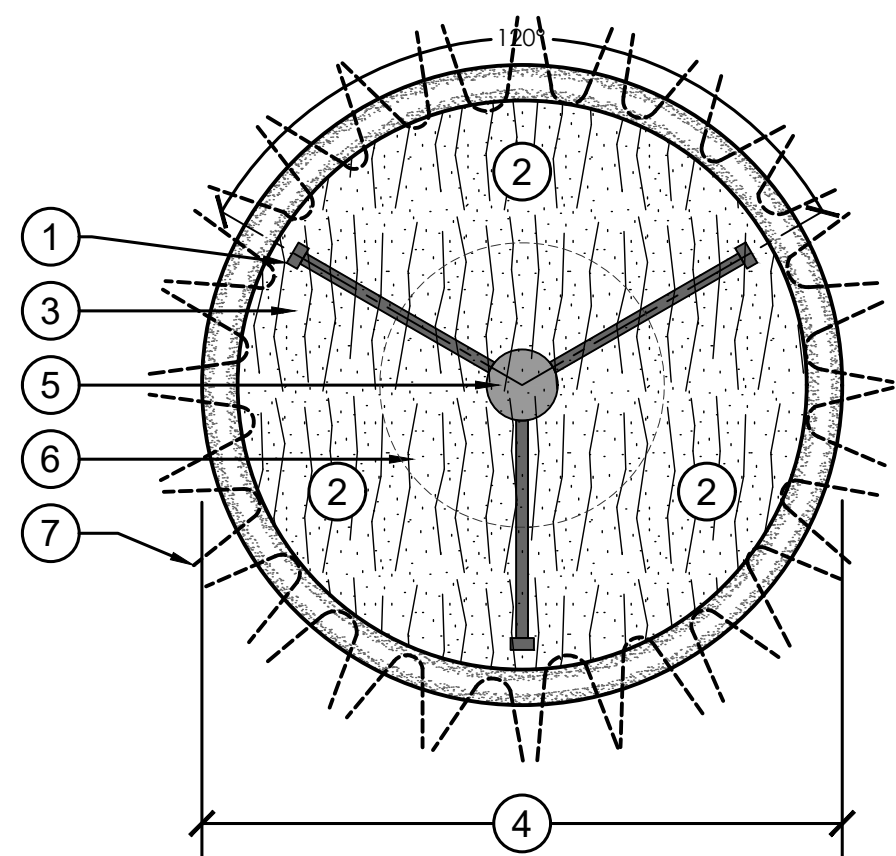
D

3 SHRUB/GROUND COVER PLANTING & SPACING
1" = 1'-0" 329301-08



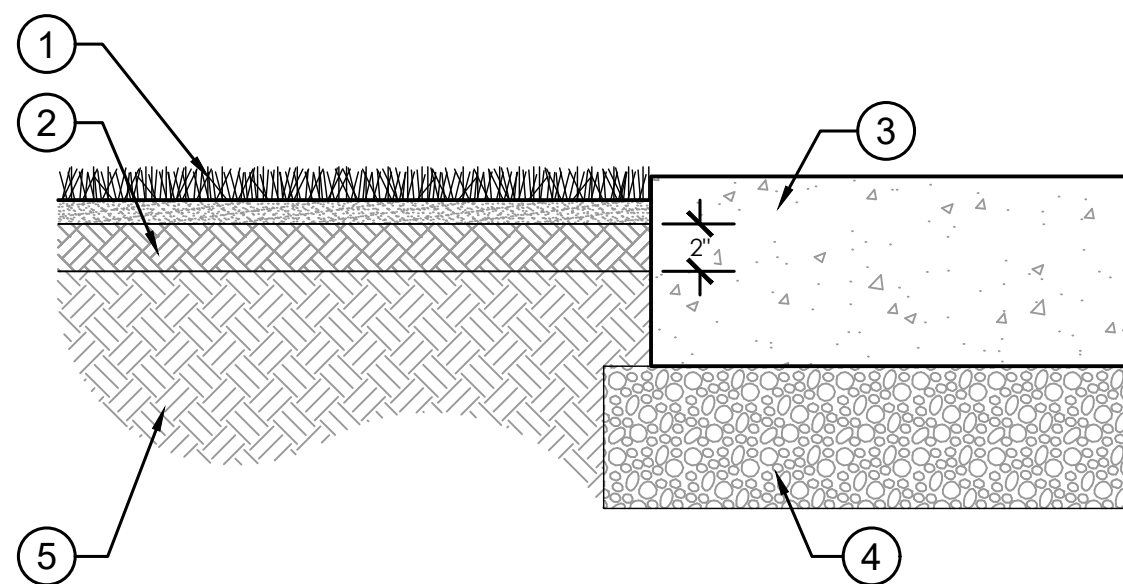
- PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION: AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY
- SET CROWN OF ROOT SLIGHTLY ABOVE SURROUNDING FINISH GRADE: TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- CONSTRUCT TEMPORARY 3" WATERING BASIN
- FINISH GRADE
- FERTILIZER TABLET IF APPLICABLE.
- BACKFILL WITH SPECIFIED SOIL MIX
- EXISTING SOIL
- 2X DIAMETER OF THE ROOTBALL

FOR BUILDING DEPARTMENT USE



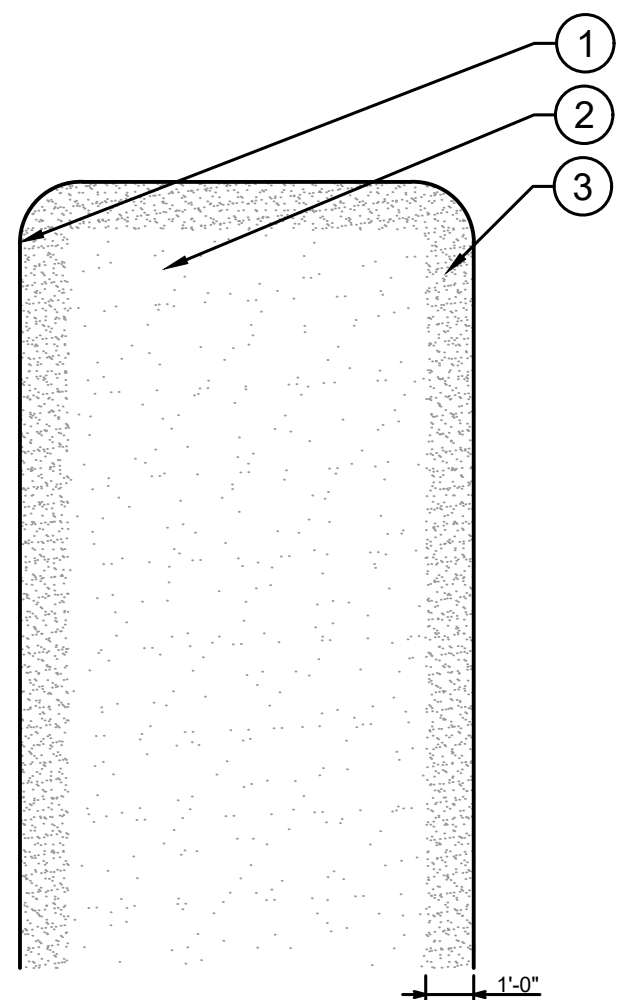
- 2"x4" WOOD BRACE AT EQUAL SPACING (3 PER TREE)
- 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- CONSTRUCT TEMPORARY 3" WATERING BASIN
- 2X DIAMETER OF THE ROOTBALL
- TREE TRUNK
- ROOTBALL
- TREE CANOPY

4 LARGE TREE STAKING DETAIL
3/8" = 1'-0" 329301-22



- SOD (AS SPECIFIED)
- PLANTING MIX: 80% SILICA SAND, 20% ORGANIC
- SIDEWALK OR CURB
- SUB-BASE
- NATIVE SOIL

5 SOD PLANTING
1 1/2" = 1'-0" 329301-03



- BACK OF CURB (TYP)
- EXCAVATION AREA (30" DEPTH)
- COMPACTED SOIL (12" WIDTH)

NOTES:
ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (TO 30" BELOW GRADE), INSPECTED TO ENSURE PROPER EXCAVATION DEPTH IS MET, AND THEN REPLACED WITH A TOPSOIL MIX AS NEEDED IN SPECIFICATIONS. TOPSOIL MIX SHALL BE SCREENED OF ROCK.

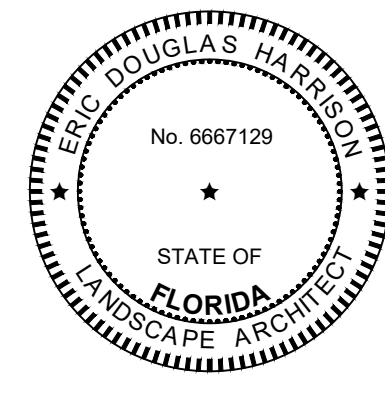
ALL PROPERTIES ARE REQUIRED TO HAVE AN OPEN BED INSPECTION PRIOR TO BACKFILLING TO INSURE THE 30" DEPTH HAS BEEN MET.

6 TYPICAL PARKING ISLAND EXCAVATION DETAIL
1/4" = 1'-0" P-DE-07

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LA NO. 6667129

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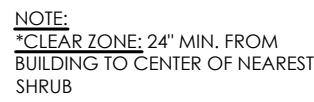
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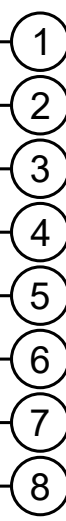
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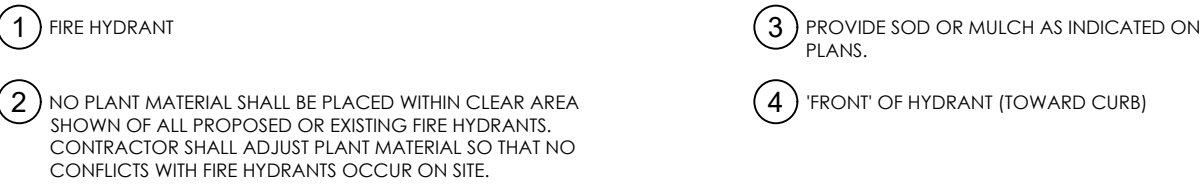
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CROSS CHK'D BY:	JG
APPROVED BY:	EH
DATE:	AUGUST 2025



- 1 FINISH GRADE
- 2 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3' OF TREE TRUNK
- 3 SPECIFIED PLANTING MIX
- 4 EXCAVATE IT 36" OR NATIVE SOIL IS ENCOUNTERED FOR DRAINAGE.
- 5 +/- 18" DIAMETER AUGURED HOLE PENETRATED THROUGH OCCULDING LAYER OR DEPTH OF 7' IF PROPER DRAINAGE, AS NOTED CANNOT BE OBTAINED.



- 1 1/2" DIRT DUG AROUND HOLE PENETRATED THROUGH OCCULUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7" TO ASSURE PROPER PERCOLATION
- 2 BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED
- 3 12" CLEAN SAND, COMPACTED,
- 4 FILTER CLOTH #4, MIRAFI 500X OR BETTER
- 5 FINISH GRADE
- 6 SLOPE BOTTOM TO DRAIN
- 7 BACKFILL WITH #57 STONE WRAPPED WITH FILTER FABRIC
- 8 WATER TABLE
- 9 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- 10 EXISTING SOIL



1

$$1\frac{1}{2}'' = 1'-0''$$

P-DE-08

②

$$1/2'' = 1'-0'$$

P-DE-04

③

$$1/4'' = 1'-0''$$

P-DE-02

- 1 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACE AS SHOWN, MULCH SHALL BE MIN. 3" DEEP.
- 2 CURB OR PARKING LOT EDGE, REFER TO PLANS
- 3 FINISH GRADE
- 4 SOIL MIX PER PLAN
- 5 FERTILIZER TABLET IF APPLICABLE
- 6 BACKFILL WITH SPECIFIED SOIL MIX



4

$$1/2'' = 1'-0''$$

P-DE-09

3

DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242

FILE NAME: L-12.DWC

SHEET NO.

L-12

ISSUED FOR PERMITTING

REV. NO.	DATE	DRWN	CHKD	REMARKS
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APPROVED BY: _____
DATE: _____ AUGUST 2025

Boca Raton, FL 33487
Tel: (561) 571-3800



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1 TYPICAL TREE WITHOUT ROOT BARRIER

1/4" = 1'-0"

P-DE-05

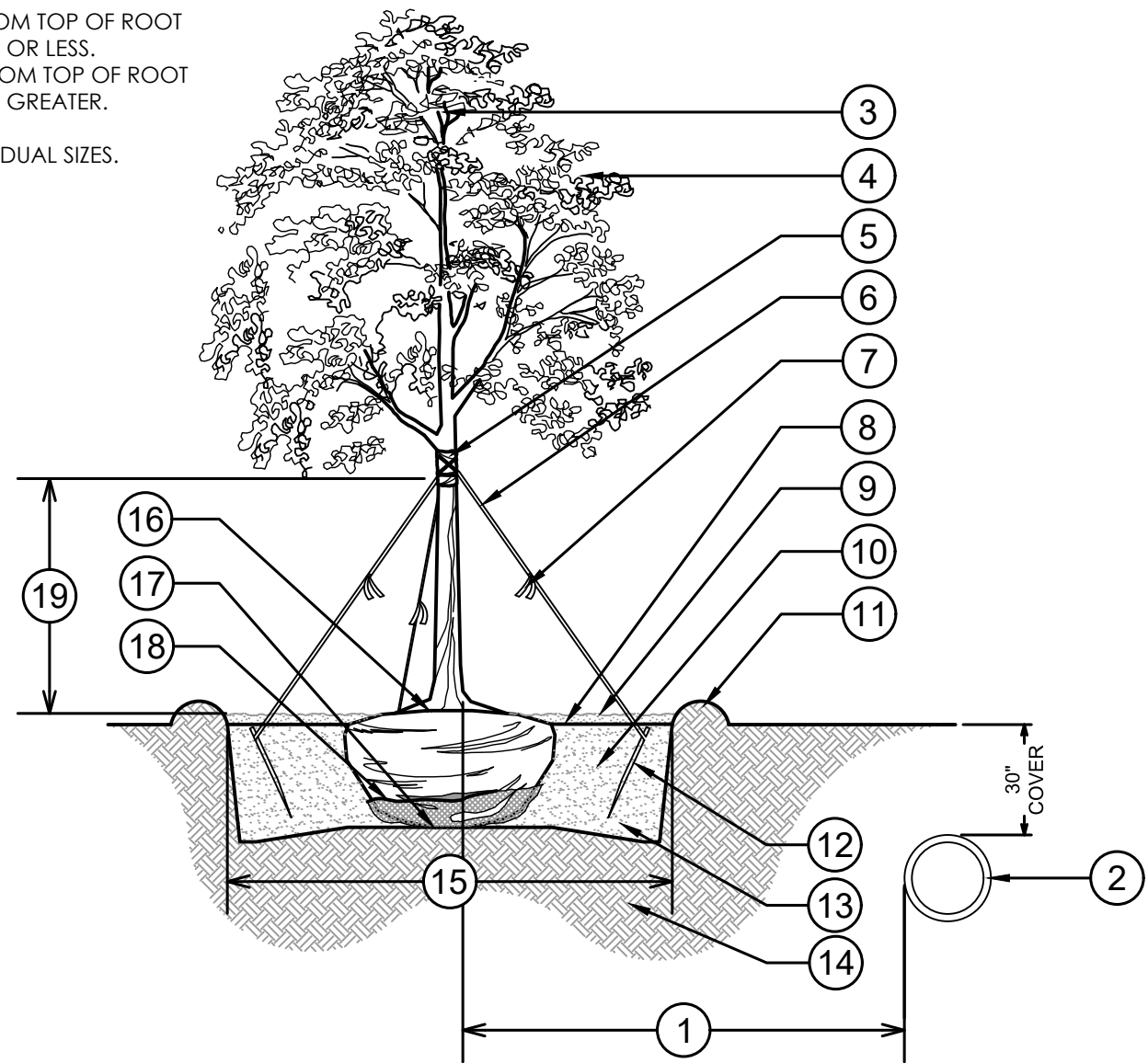
2 MOUNDED PARKING LOT ISLANDS/ MEDIANS

3/4" = 1'-0"

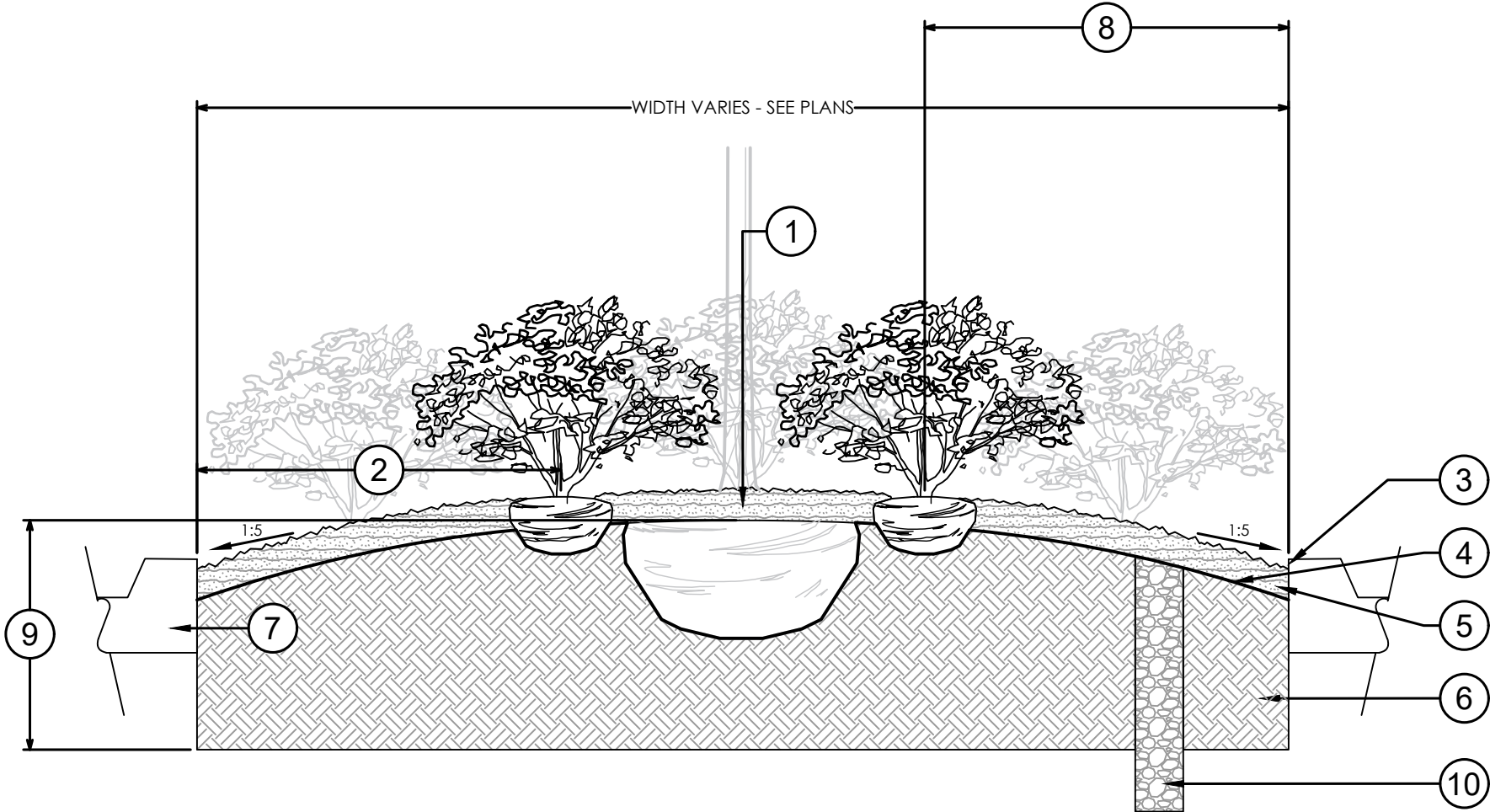
P-DE-03

CALIPER MEASUREMENTS NOTES:
1. CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
2. CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.

REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



- 1 THE DISTANCE SHALL BE 10' MIN. FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED
- 2 CITY FACILITIES (MAINS, SERVICES, ETC.)
- 3 DO NOT PRUNE CENTRAL LEADER
- 4 PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING USING ACCEPTABLE NURSERY PRACTICES OR AS DIRECTED BY THE LANDSCAPE ARCHITECT
- 5 PROTECT TRUNK WITH 3 LAYERS OF BURLAP MINIMUM
- 6 1" WIDE MIN. NYLON STRAPPING AT EQUAL SPACING (3 PER TREE) GUY WIRES SHALL NOT TO BE USED
- 7 FLUORESCENT MARKING FLAG
- 8 FINISH GRADE
- 9 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- 10 FERTILIZER TABLET IF APPLICABLE
- 11 CONSTRUCT TEMPORARY 3" WATERING BASIN
- 12 2"x4"x8" STAKE: SET 2" BELOW FINISH GRADE
- 13 SPECIFIED SOIL MIX
- 14 EXISTING SOIL
- 15 2X DIAMETER OF THE ROOTBALL
- 16 SET CROWN OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- 17 SET ROOTBALL ON UNDISTURBED SOIL
- 18 REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM ROOTBALL
- 19 CLEAR TRUNK: REFER TO PLANT SCHEDULE



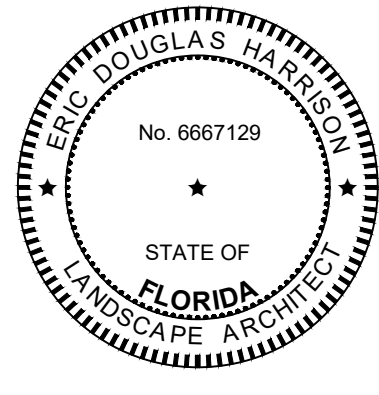
- 1 CROWN ISLANDS AT 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
- 2 CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF. SEE PLANS. SEE DETAIL "PARKING SPACE/ CURB PLANTING" FOR PLANTER MEDIANS ADJACENT TO PARKING SPACES.
- 3 1" MIN. VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH. EXCAVATE CONTINUOUS 36" DEEP (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND AND BACKFILL WITH APPROVED PLANTING MIX.
 - PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.
- 4 FINISH GRADE
- 5 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- 6 SPECIFIED PLANTING MIX
- 7 CURB. REFER TO PLANS
- 8 INSTALL HALF THE DISTANCE OF SPECIFIED SIZE. REFER TO PLANT SCHEDULE UNLESS OTHERWISE NOTED.
- 9 EXCAVATE IF 36" OR NATIVE SOIL IS ENCOUNTERED FOR DRAINAGE.
- 10 +/- 18" DIAMETER AUGURED HOLE PENETRATED THROUGH OCCLUDING LAYER OR DEPTH OF 7" IF PROPER DRAINAGE, AS NOTED CANNOT BE OBTAINED.

FOR BUILDING DEPARTMENT USE

FOR DEVELOPMENT SERVICES USE

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ARCHITECT SHALL BE RESPONSIBLE FOR THIS
SHEET IN ACCORDANCE WITH RULE
61G10-11.011, F.A.C.



DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-13.DWG

SHEET NO.

L-13

ISSUED FOR PERMITTING



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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

LANDSCAPE DETAILS III

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: AF/BB
DRAWN BY: AF/BB
SHEET CHK'D BY: EH
CROSS CHK'D BY: JG
APPROVED BY: EH
DATE: AUGUST 2025

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LANDSCAPE SPECIFICATIONS

1. GENERAL
- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.

1.2. SOURCE OF BASE INFORMATION IS PROVIDED BY CDM SMITH AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.

1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.

1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.

1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.

1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.

1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.

1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.

1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.

1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.

1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.

1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
2. PRE-CONSTRUCTION RESPONSIBILITY
- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.

2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.

2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.

2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
3. SITE DEMOLITION
- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.

3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S

- REPRESENTATIVE.
- 3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.

3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.

3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
4. PLANTING SOIL
- 4.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

4.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

4.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.

4.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:

4.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT

4.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK

4.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK
5. LANDSCAPE PLANTING
- 5.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.

5.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.

5.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

5.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.

5.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.

5.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.

5.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.

5.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.

5.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.

5.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.

5.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.

5.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

5.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

5.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.

5.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM HE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.

5.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

5.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.

5.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.

5.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.

5.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.

5.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.

5.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY
- UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.

5.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.

5.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.

5.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.

5.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.

5.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.

6. TURF GRASSES

6.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.

7. MULCH & FERTILIZER

7.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLORI-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.

7.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING.

7.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TRUNKS.

7.4. FERTILIZER MIX AS FOLLOWS:

7.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS

7.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS

7.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS

8. WATERING

8.1. NO NEW IRRIGATION IS PROPOSED WITHIN THE PUBLIC RIGHT OF WAY OR ASSOCIATED WITH THIS PROJECT. REFER TO IRRIGATION RESTORATION NOTES ON SHEET LA-22.

8.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.

9. PROJECT CLOSEOUT

9.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

9.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR. HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

9.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.

9.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.

9.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.

10. GUARANTEE

10.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.

10.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.

10.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
-
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- DELRAY BEACH, FLORIDA
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MEMBRANE WATER TREATMENT PLANT
- LANDSCAPE NOTES
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-
- DATE:
ERIC HARRISON
LA NO. 6667129
- PROJECT NO. 159676-291242
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- SHEET NO.
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