



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

Delray Beach Water Treatment Plant

Meeting	File No.	Application Type
January 26, 2026	2025-118	Level 3 Site Plan
Property Owner		Authorized Agent

City of Delray Beach

CDM Smith

Request

Consideration of a Level 3 Site Plan Application with Architectural Elevations and a Landscape Plan for renovations and an addition to an existing water treatment facility.

Site Data & Information

Location: 200 SW 6th Street

PCN: 12-43-46-20-01-009-0010

Property Size: 8.22 acres / 358,063 sq. ft.

Land Use: Community Facility (CF)

Zoning: Community Facility (CF)

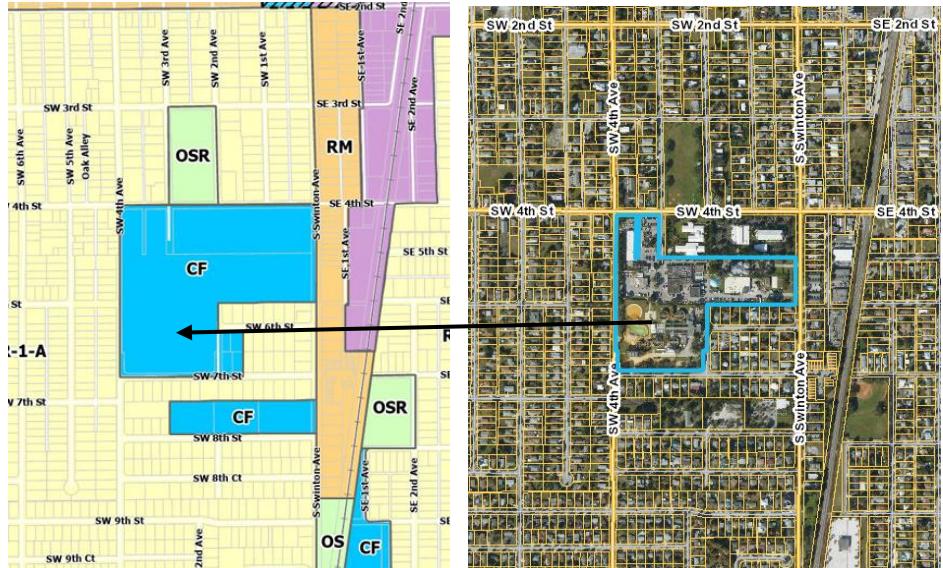
Adjacent Zoning:

- **North, South, West:** Single Family Residential (R-1-A)
- **East:** Multi-Family residential (RM)

Existing Use: Water Treatment Facility / Swinton Operations Complex

Proposed Land Use: Water Treatment Facility (Renovation and Expansion of Existing Facility)

This application only pertains to the portion of the existing municipal property that contains the water treatment facility.

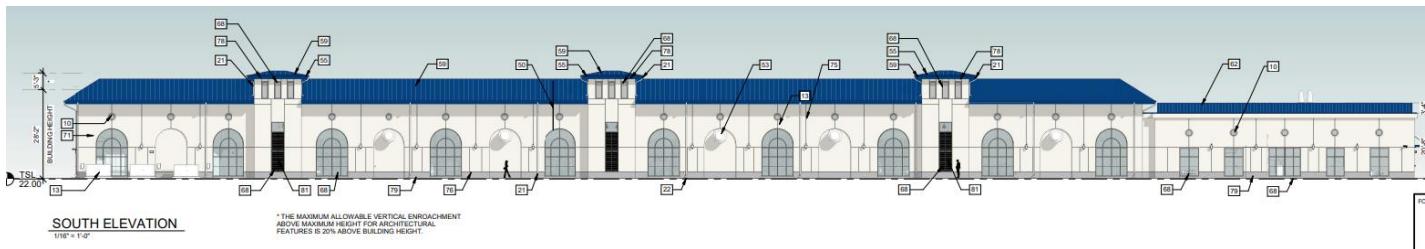


Background Information

The existing Delray Beach municipal water treatment plant is located on the subject property, in addition to other municipal uses including the Swinton Operations Complex public works facility and public works fleet parking. This scope applies specifically to the portions of the site that contain the water treatment plant. The original facility is a multi-decades-old complex originally constructed in the mid-twentieth century that requires significant upgrades and improvements to bring the facility into compliance with State and Federal regulations and to ensure the long-term production of high-quality treated water for City residents and businesses. The proposed improvements form part of the City's broader Capital Improvement Plan for critical water infrastructure.

In addition to the scope of work covered under this application, utility infrastructure improvements that are not subject to site plan review – deep injections wells, etc. – are being completed through separate permitting processes, including requisite environmental and department of health compliance. The Applicant has provided a written narrative that provides more background information on the technical reasons for the proposed scope which has been included as an attachment.

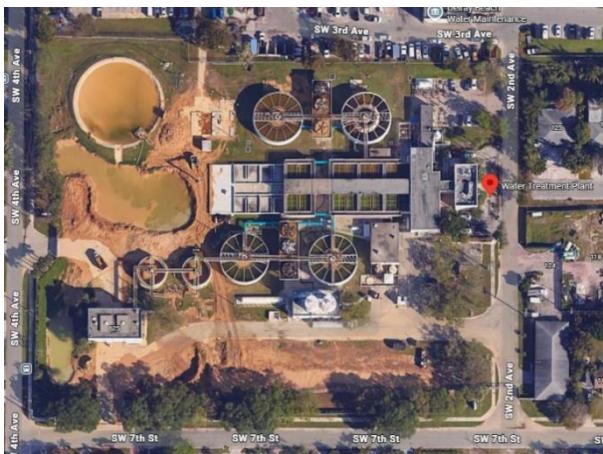
Project Description



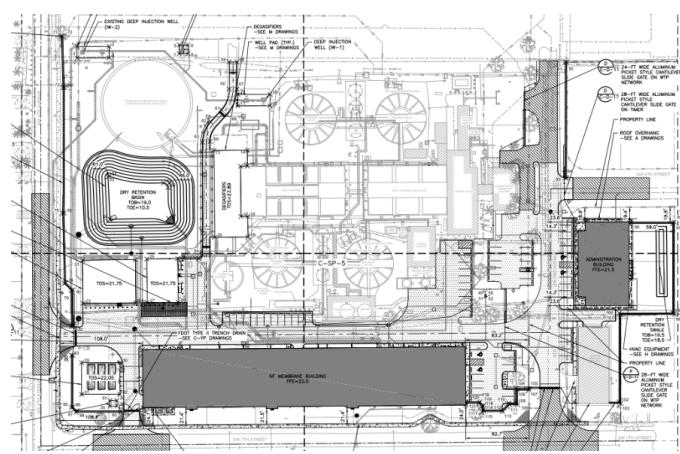
The proposed scope includes construction of a new approximately 32,000 square foot membrane process building and an approximately 7,100 square foot administration building in addition to site infrastructure improvements, new parking areas, modified drive-aisles for improved vehicle circulation, and upgraded site landscaping including a perimeter landscape buffer. The process building includes 6,600 square feet of office and lab area, with the majority of the building comprised of mechanical and utility infrastructure equipment necessary for the operations of the plant. The process building is located at the southern border of the property adjacent to SW 7th Street. The exterior façade incorporates architectural detailing intended to minimize the visual prominence of industrial function of the building by portraying a civic design that is compatible with scale and intensity of the adjacent residential neighborhoods.

The administration building – sharing similar architectural detail - is oriented on the eastward portion of the site adjacent to SW 6th Street. The proposed addition and improvements, while functionally necessary for the long-term viability of the treatment facility – simultaneously improve the aesthetic of the site by integrating contextually appropriate buildings that visually mitigate the functional aspects of the site, and are further enhanced by significantly improved perimeter landscaping and the construction of a new screening wall that will provide visual relief while dampening noise created by the construction of the facility as well intermittent exterior noise created during regular operations.

Existing Site Aerial



Proposed Site Plan



Review and Analysis: Site Plan

LDR Section 2.4.10(A)(3), Findings. All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(b) Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

The Site Plan was reviewed according to the performance standards for site plan actions listed in **LDR Section 3.2.3** and these standards have been factored into the technical review of the application. The intent of the standards is to ensure that certain essential criteria and a level of quality are adhered to with regard to new development. The project complies with the performance standards.

LDR Section 3.1.1, Required Findings. Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

These findings relate to the following four areas:

(A) Land Use Map. The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.

CF is a zoning district deemed compatible with the CF land use designation per the comprehensive plan. The intent for this property to remain as a municipal water treatment plant is clearly consistent with the Land Use Map

(B) Concurrency. Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.

Water and Sewer. The development will connect to existing water and sewer networks as approved by the City Utilities Department.

Drainage. Drainage will be accommodated on site. All stormwater runoffs will be collected and contained within the subject property through a drainage system approved by the City Engineer.

Transportation. The provided Palm Beach County TPS approval letter indicates the proposed project will not have a significant impact on the existing road network as the anticipated number of peak hour trips is less than 21. Therefore, the project meets transportation concurrency.

Solid Waste. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools. Not Applicable.

(C) Consistency. A finding of overall consistency may be made even though the action will be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

LDR Section 3.2.1, Basis for determining consistency.

The performance standards set forth in this Article either reflect a policy from the adopted Comprehensive Plan or a principle of good planning practice. The performance standards set forth in the following sections as well as compliance with items specifically listed as required findings in appropriate portions of Section 2.4.5 shall be the basis upon which a finding of overall consistency [Section 3.1.1(C)] is to be made. However, exclusion from this Article shall not be a basis for not allowing consideration of other objectives and policies found in the adopted Comprehensive Plan in the making of a finding of overall consistency.

The following Comprehensive Plan objectives and policies are relevant to the request:

Capital Improvements

GOAL CIE 1 Capital improvement planning, programming and implementation plan, Program, fund, and install public facilities and infrastructure and related capital improvements that serve the existing community and are necessary to accommodate future demand, in an effective and timely manner.

Neighborhoods, Districts, and Corridors Element

Policy NDC 1.1.2 Provide a complementary mix of land uses, including residential, office, commercial, industrial, recreational, and community facilities, with design characteristics that provide: Similar uses, intensity, height, and development patterns facing each other, especially in residential neighborhoods. Uses that meet the daily needs of residents. Public open spaces that are safe and attractive.

Public Facilities and Services

Policy PFE 2.2.2 Continue to provide the following levels of service at the water treatment facility: Average finished water design flow of the water system @ 234.8 gpcd. Storage capacity for the water system @ 15% of maximum flow plus fire reserve at 1.5 mg, plus 25% of that total. Minimum pressure for the water system @ 20 psi. Capacity of 26 MGD

Policy PFE 3.5.1 Maintain a minimum Level of Service for the wastewater treatment plant of 115 gpcd up to the plant capacity of 12 mgd

The proposed development maintains consistency and compatibility with the comprehensive plan being that it is located on a parcel specifically intended to accommodate necessary community facilities and infrastructure uses and the proposed improvements are essential to ensure adequate Level of Service is maintained for the future.

LDR Section 3.2.3, Standards for Site Plan Action

The standards for site plan action include adequate traffic circulation and accessibility for vehicles and pedestrians, compatibility with adjacent land uses, intensity thresholds, and energy efficiency and sustainability requirements, such that the proposed project will not result in the degradation of the surrounding area. The development proposes a use that is contextually appropriate for the area and aligns with the intent and permitted uses of the Community Facility zoning district and the comprehensive plan; the proposed site plan meets the standards for site plan action.

(D) Compliance with the LDR

The proposed project has been reviewed by the Technical Advisory Committee and has been deemed technically compliant with all applicable regulations of the Land Development Regulations. No relief is needed to accommodate the proposed site configuration or building design. **LDR Section 4.3.4.(K)** establishes that the **CF** zoning district is not subject to any minimum setback regulation other than a 10' perimeter buffer, which – according to **LDR Section 4.4.21(H)(2)** - shall be increased to 15 feet or a decorative wall or fence shall be used when **CF** properties are adjacent to residential zoning districts. As such, a perimeter buffer of at least 10 feet has been provided, exceeding the minimum in most areas where a 21' building setback is proposed along the south property line adjacent to SW 7th Street and a 19' setback has been proposed adjacent to SW 6th Street. In addition, a decorative wall and landscape buffer has been provided along the perimeter where adjacent to residential zoning districts.

Parking has been assessed using the required parking for administrative office uses per **LDR Section 4.6.9** and has been assessed only for the portion of the new structures that contain office and lab square footage. Building area used for the housing of mechanical and utility infrastructure equipment has not been assessed parking. In total, the project generates 55 required spaces and 61 are provided, therefore exceeding the amount of required parking.

The maximum allowable height in the **CF** district is 48 feet, and both buildings are single story structures well below the minimum threshold. The maximum Floor Area Ratio in **CF** is 1.0, and with the proposed additional square footage the site still remains well below this threshold given the significant size of the total lot area. The proposed additional square footage minimally increases the existing FAR by only 0.11.

Review & Analysis: Landscape Plan

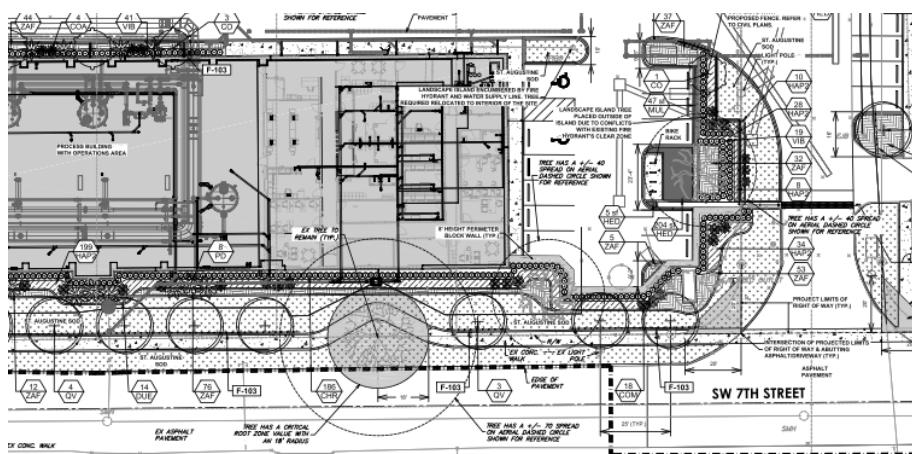
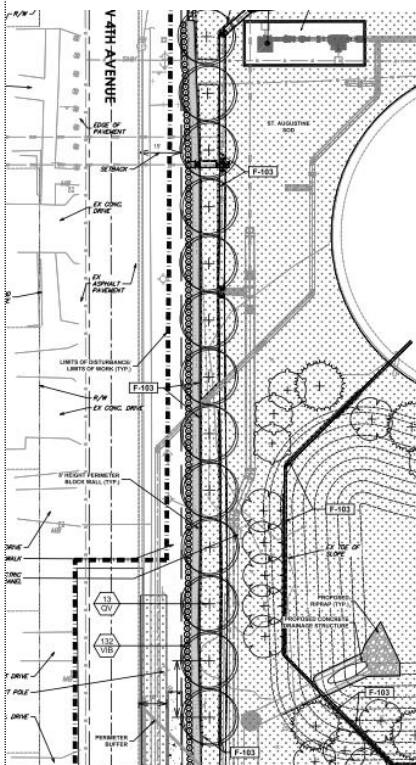
LDR Section 2.4.10(A)(3)(c), Findings

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

A technical review of this site plan has been performed, and a determination has been made that the project complies with all applicable landscape regulations. Landscaping is interspersed throughout the site such that the visual appearance of the treatment facility will be greatly improved. Foundation landscaping is provided along the base of the new buildings and within parking islands in areas where parking lots are being added or modified. Crucially, a substantial tree canopy is proposed along the property line adjacent to perimeter streets to provide beautification and screening of the facility, specifically, a continuous tree canopy of live oaks is proposed along each property line adjacent to a street (as shown in below images).

In total, 757 DBH of tree trunk is proposed to be planted, whereas 489 DBH of existing trunk diameter will be removed. The number of new trees proposed far exceeds the minimum amount necessary for mitigation; some existing mature trees will remain where feasible.

A full landscape plan including the tree disposition plan is available as an attachment.



Review & Analysis: Architectural Elevations

LDR Section 2.4.10(A)(3)(d), Findings

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(E), Criteria for board action

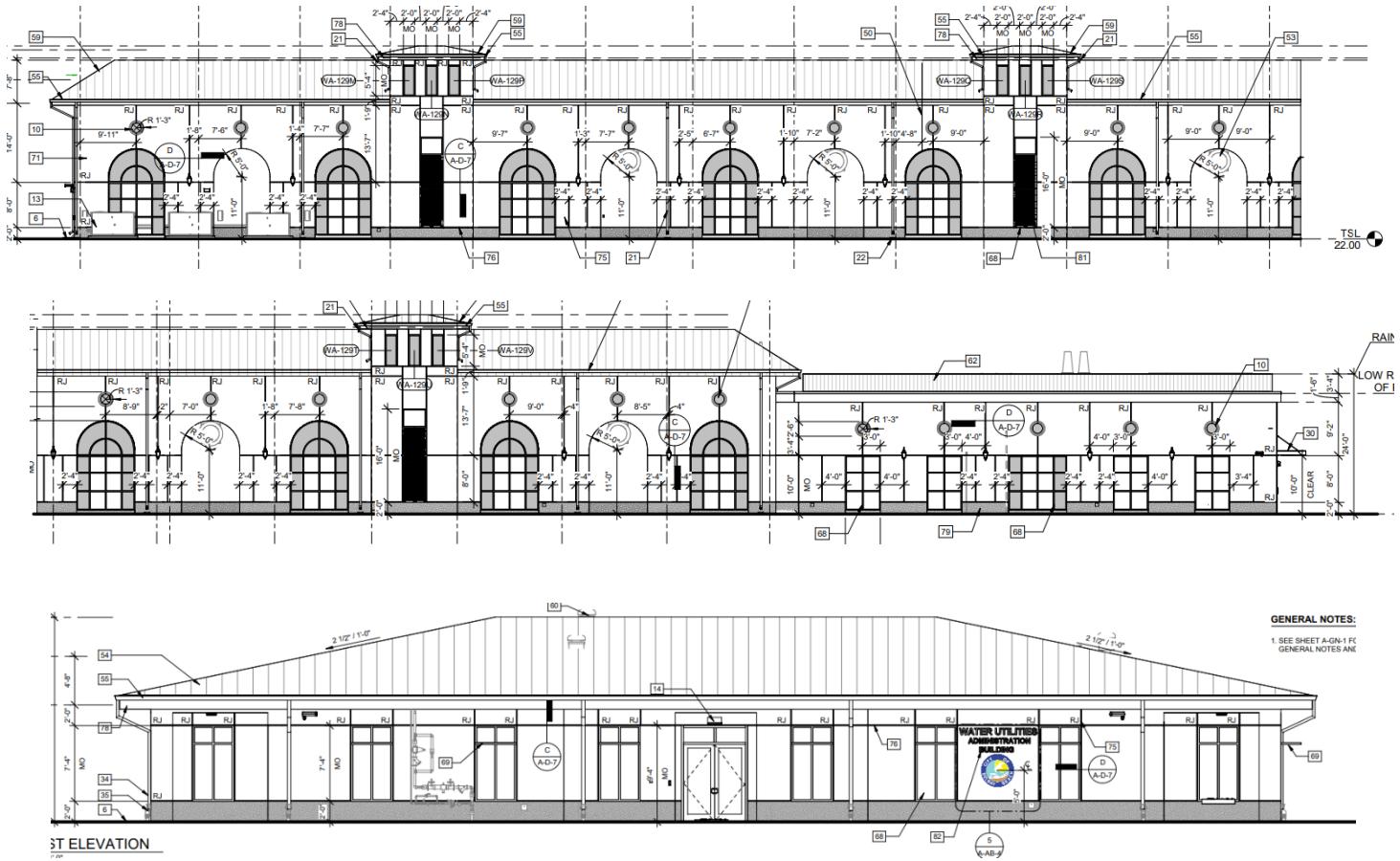
The following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

Staff finds that the design criteria are met. The design of the new buildings is stylistically appropriate for civic facilities, shares similar architectural reference to existing municipal structures throughout the city, is compatible with the coastal Florida architectural climate, successfully screens and mitigates the industrial and functional nature of the use through thoughtful architectural screening, and is presented at a scale that is fully consistent with adjacent residential neighborhoods. It is important to note that each building is less than 35 feet in height, which is the maximum height for single family residential zoning districts.

In addition, the design of the process building specifically – which extends for the largest portion of the street frontage – has been enhanced through the integration of vertical articulation, prominent window openings, tower elements, and other design details that introduce movement across the lengthy façade.

Importantly, consideration has been given in the design to ensure that the operations that occur within the process building on a 24-hour basis will not negatively affect the surrounding area (i.e. noise pollution, light spillover, etc.).



Options for Board Action

- A. Move **approval** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan, **subject to conditions**.
- C. Move **denial** of a Level 3 Site Plan Application request for the **Delray Beach Water Treatment Plant**, including Architectural Elevations and Landscape Plan, for renovations and an addition to an existing facility, by finding that the request is inconsistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**

Public and Courtesy Notices

No Public Notice was required by the LDR for this application.



Memorandum

To: Planning and Zoning Board

From: CDM Smith

Date: June 13, 2026

Subject: City of Delray Beach Water Treatment Plant Upgrades Project Narrative

Project Introduction

The City of Delray Beach (City) is in the process of upgrading and replacing the existing conventional lime softening Water Treatment Plant (WTP) with a new membrane treatment system. The WTP is located at 200 SW 6th Street Delray Beach, FL 33444. The existing lime softening plant has a 26 million gallons per day (MGD) capacity and is subject to State and Federal drinking water quality regulations.

Due to the increasing age of the existing facility and a changing regulatory landscape, the City selected CDM Smith to replace their existing 26 MGD conventional lime softening treatment plant with a new 22 MGD membrane-based water treatment plant with the ability to expand to 25 MGD. This project will upgrade the existing treatment plant including replacing aging infrastructure and improvement to meet new per- and polyfluoroalkyl substances (PFAS) regulations promulgated in April 2024. The project will also include a proposed administration building on the parcels owned by the City east of SW 2nd Avenue and south of SW 6th Street.

Design Elements

CDM Smith refined the site plan including architectural elevations to ensure full compliance with Land Development Regulations (LDR) and enhance site compatibility. Building setbacks for all structures were clearly documented, building heights and architectural features comply with maximum height and measurement requirements, and architectural enhancements were incorporated to improve the overall visual composition.

The landscape plans fully comply with the requirements of LDR Sections 4.6.16 and 4.6.16(H), including detailed area calculations, diagrams, and updated planting standards. Landscape areas were clearly delineated by special landscape setbacks, landscape barriers, interior landscaping, streetscape, and foundation planting and documented through coordinated plan sheets and tabular summaries.

The planting design was refined to meet City standards and Florida-friendly landscaping principles, with plant schedules identifying botanical and common names, quantities, sizes, and symbols. Tree and palm sizes meet minimum height, trunk clearance, and canopy requirements, and plant species were adjusted to address right-of-way constraints and City preferences. Utility coordination was incorporated by removing or relocating trees that conflicted with underground utilities, and additional trees were provided within the perimeter buffer to enhance screening and visual continuity. Overall, the landscaping plan improves site aesthetics, ensures regulatory compliance, and provides appropriate buffering consistent with the surrounding context.

The design includes adjustments to finished floor elevations to meet flood protection and roadway crown requirements, updates to grading and drainage systems, and clarification of stormwater conveyance elements to ensure proper function, constructability, and regulatory compliance. A signed and sealed drainage report demonstrating compliance with pre- and post-development stormwater criteria was provided, along with calculations for multiple storm events.

Roadway, access, and utility coordination were enhanced through added pavement milling and resurfacing at utility tie-ins, confirmation of gate operations and stacking relief, and sight-distance requirements.

The water and sanitary sewer utility plans were refined through detailed coordination with City's Water Utilities staff to ensure consistency across all civil, site, landscape, and architectural drawings and full compliance with City standards. Existing and proposed utilities were clearly identified, coordinated with demolition and construction phasing, and revised where necessary to eliminate conflicts and improve constructability. Utility infrastructure meets City material, sizing, and configuration standards, including service line materials, meter locations, backflow prevention, fire protection connections, sanitary sewer laterals, manholes, cleanouts, and pipe crossings. Irrigation and fire water systems are clearly defined.

The project has been coordinated with the Fire Safety Division to ensure that all life safety and fire protection requirements are met. Fire and hazardous materials safety were addressed through the submission of Safety Data Sheets and detailed documentation of the types, locations, and quantities of chemicals and fuel stored on site. Chemical storage tank materials, sizes, and capacities were clearly identified, and fuel storage tank capacities and dimensions were provided. These measures ensure that fire protection systems, chemical storage, and fuel facilities are designed to protect public safety, support emergency response, and comply with applicable fire codes for the safe operation of this essential water treatment facility.

Community Engagement

The City held a community engagement meeting on June 26, 2025, to inform residents about planned upgrades to the WTP and to explain why the improvements are necessary. City leadership, Water Utilities staff, and CDM Smith outlined the purpose of the project, existing conditions, and the long-term benefits to water quality, system reliability, and regulatory compliance.

The presentation explained the City's current water system, including source water wells, the existing lime softening water treatment plant, and the proposed project. The project's intent is to replace aging infrastructure and introduce advanced treatment technologies to improve water quality specifically addressing color, taste, odor, and emerging regulatory requirements such as PFAS. Visual renderings were shared to illustrate the "before and after" condition of the site, highlighting architectural features, perimeter walls, and landscaped buffers designed to minimize visual impacts on the surrounding community.

ABBREVIATIONS

&	AND	GB	GLASS BLOCK	REF	ROOF EXHAUST FAN
<	ANGLE	GRT	GRATING	REINF	REINFORCE (D, ING)
@	AT	GYP	GYPSUM	REQ'D	REQUIRED
AB	ANCHOR BOLT	GWB	GYPSUM WALL BOARD	REV	REVISED
ABV	ABOVE	HARD	HARDENER	RF	ROOF FAN
ACMU	ACOUSTICAL CONCRETE MASONRY UNIT	HD	HEAVY DUTY	RFG	ROOFING
AFF	ABOVE FINISHED FLOOR	HDWD	HARDWOOD	RGH	ROUGH
AFG	ABOVE FINISHED GRADE	HDWR	HARDWARE	RJ	REVEAL/USTICATION JOINT
AL ALUM	ALUMINUM	HGR	HANGER	RL	RAIN LEADER
AMP	ACOUSTICAL METAL PANELS	HGT	HEIGHT	RLG	RAILING
ANOD	ANODIZED(D)	HM	HOLLOW METAL	RM	ROOM
ASSY	ASSEMBLY	HP	HIGH POINT	RO	ROUGH OPENING
BBT	BIOBASED TILE	JT	JOINT	RT	RUBBER TILE
BD	BOARD	JT FLR	JOINT FILLER	RWL	RAIN WATER LEADER
BEV	BEVEL(ED)	IN	INCH	S	STEEL S-SHAPED DESIGNATION
BLDG	BUILDING	INST	INSTRUMENTATION	SAT	SUSPENDED ACOUSTICAL TILE
BLK	BLOCK	INSUL	ISULATION	SB	SEAMLESS BASE
BLKG	BLOCKING	JC	JANITOR'S CLOSET	SCHD	SCHEDULE
BRG	BEARING	JT	JOINT	SCRN	SCREENED(ING)
BRK	BRICK	LAB	LINE OF STRUCTURAL ANGLE DESIGNATION	SECT	SECTION
BRS	BRASS	LAD	LABORATORY	SF	SEAMLESS FLOORING
BRZ	BRONZE	LAM	LADDER	SGFT	STRUCTURAL GLAZED FACING TILE
BTM	BOTTOM	LAM	LAMINATED	SHT	SHEET
C TO C	CENTER TO CENTER	LAV	LAVATORY	SIM	SIMILAR
CAB	CABINET	LG	LAMINATED GLASS	SK	SINK
CEM	CEMENT	LINO	LINOLEUM	SL	SLOPE
CF	COMPRESSIBLE FILLER	LKR	LOCKER	SLNT	SEALANT
CGFB	CEMENTITIOUS GLASS FIBER BOARD	LNTL	LINTEL	SPEC	SPECIFICATION, SPECIFIED
CH	CONCRETE HARDENER	LP	LOW POINT	SST	STAINLESS STEEL
CHAM	CHAMFER	LT	LIGHT(S)	STD	STANDARD
CHAN	CHANNEL	MAS	MASONRY	STL	STEEL
CIP	CAST IN PLACE	MATL	MATERIAL	STOR	STORAGE
CJ	CONTROL JOINT	MAX	MAXIMUM	STRU	STRUCTURE(S, URAL)
CL OR	CENTERLINE	MEMB	MEMBRANE	STWY	STAIRWAY
CLG	CAULKING	MFR	MANUFACTURER	SUPT	SUPERINTENDENT
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM	SUSP	SUSPENDED
COL	COLUMN	MISC	MISCELLANEOUS	T	TREAD(S)
COMP	COMPRESSIBLE	MO	MASONRY OPENING	TBM	TRAFFIC BEARING MEMBRANE
CONC	CONCRETE	MR	MOISTURE RESISTANT	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	MRAT	MOISTURE RESISTANT ACOUSTICAL TILE	TEMP	TEMPERATURE
CRPT	CARPET, CARPET TILE	MTD	MOUNDED	TEMP	TEMPERED
CRS	COURSE(S)	MTG	MOUNTING	TEMP	TEMPORARY
CT	CERAMIC TILE	MTL	METAL	TER	TERRAZZO
CET	DETAIL	NIC	NOT IN CONTRACT	TERB	TERRAZZO BASE
DF	DRINKING FOUNTAIN	NOM	MONINAL	THK	THICKNESS
DIA	DIAMETER	NTS	NOT TO SCALE	THR	THRESHOLD
DIAG	DIAGONAL	OC	ON CENTER	TKBD	TACKBOARD
DIM	DIMENSION	OH	OVERHANG	TOB	TOP OF BRICK
DISP	DISPENSER	OPNG	OPENING	TOC	TOP OF CONCRETE
DN	DOWN	OPP HD	OPPOSITE HAND	TOIL	TOP OF MASONRY
DP	DAMPROOFING	ORD	OVERFLOW ROOF DRAIN	TOPG	TOPPING
DR	DRAIN	OSB	ORIENTED STRAND BOARD	TOS	TOP OF STEEL
ELEC	ELECTRICAL	OV	OVER	TS	TOP OF SLAB
ELEV	ELEVATION	OVD	OVERHEAD	TWF	THROUGH WALL FLASHING
EQ	EQUAL(LY)	PERIM	PERIMETER	TYP	TYPICAL
EQPT	EQUIPMENT	PL	PLATE	UC	UNDERCUT
EWC	ELECTRICAL WATER COOLER	PLAS	PROPERTY LINE	UON	UNLESS OTHERWISE NOTED
EXP	EXPOSED	PLK	PLASTER	UR	URINAL
EJ	EXPANSION JOINT	PLYWD	PLYWOOD	VB	VAPOR BARRIER
EXIST, (E)	EXISTING	PM	PRESSED METAL	VCT	VINYL COMPOSITE TILE
FD	FLOOR DRAIN	PR	PAIR	VERT	VERTICAL
FE	FIRE EXTINGUISHER	PRD	PROMENADE ROOF DRAIN	VEST	VESTIBULE
FF	FACTORY FINISH	PRCST	PRECAST	VTR	VENT THRU ROOF
FGL	GLASS	PREFAB	PRE-FABRICATED	W	WITH
FIN	FINISHED	PREST	PREPRESSURE TREATED	W/	WITH
FLG	FLASHING	PRMLD	PREMOLDED	W/A	WHERE APPLICABLE
FL	FLOOR(ING)	PSF	POUNDS PER SQUARE FOOT	W/O	WITHOUT
FLR	FILLER	PTD	PANTED	WC	WATER CLOSET
FR	FRAME	QT	QUARRY TILE	WD	WOOD
FRP	FIBERGLASS REINFORCED PLASTIC	QTB	QUARRY TILE BASE	WDW	WINDOW
FO	FRAME OPENING	RIB	RIBBED	WF	WIDE FLANGE
FO	FIXED	R+S	BACKER ROD & SEALANT	WPG	WATERPROOFING
FXD	FIXED/VERIFY	RB	RUBBER BASE	WT	STEEL TEE-SHAPE DESIGNATION
GA	GAGE GAUGE	RD	ROOF DRAIN	WWF	WELDED WIRE FABRIC
GALV	GALVANIZED	RECT	RECEPTACLE		

GENERAL NOTES

HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).

NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS.

SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.

SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC

SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT

ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 042000)

PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.

ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESAFING/FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).

DO NOT SCALE FROM THE DRAWINGS

NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION

THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

LINE TYPES (UNLESS OTHERWISE NOTED)

— CONTINUOUS - NEW CONSTRUCTION

- - - DASHED ON CONSTRUCTION PLAN/SHEETS - HIDDEN ELEMENTS BEYOND, ABOVE OR BELOW

MATERIAL SYMBOLS

	EARTH
	GRAVEL
	GYPSUM
	GYPSUM WALL BOARD
	HARDENER
	HEAVY DUTY
	HARDWARE
	HANGER
	HEIGHT
	HOLLOW METAL
	HORIZONTAL
	HIGH POINT
	HANDRAIL
	INCH
	INSTRUMENTATION
	ISULATION
	JANITOR'S CLOSET
	JOINT FILLER
	JOINT
	LEADER
	RAILING
	ROOM
	ROOF FAN
	ROOFING
	ROUGH
	REVEAL/USTICATION JOINT
	RAIN LEADER
	ROUGH OPENING
	RUBBER TILE
	RAIN WATER LEADER
	STEEL
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
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	REVEAL
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	RAIN LEADER
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	RAIN LEADER
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
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	REVEAL/USTICATION
	RAIN LEADER
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
	ROUGH
	REVEAL
	USTICATION
	REVEAL/USTICATION
	RAIN LEADER
	ROUGH

CHEMICAL CANOPY CODE KEY DETERMINATIONS

CODE REVIEWED - 2023 FBC, 8TH EDITION WITH AMENDMENTS
FLORIDA FIRE PREVENTION CODE (FFPC), 8TH EDITION WITH APPLICABLE AMENDMENTS, NFPA 1 (2021) AND NFPA 101 (2021)
NFPA 400 HAZARDOUS MATERIALS CODE (2019)

CHEMICAL CANOPY - WEATHER PROTECTION

BUILDING CLASSIFICATION
FBC SECTION 414
FFPC SECTION 60.4.4.2 EXTERIOR BULK CHEMICAL STORAGE
OUTDOOR STORAGE AND USE, EXCEEDING MAXIMUM ALLOWABLE QUANTITY (SINGLE CONTROL AREA)

CONSTRUCTION TYPE TYPE IIB, NON-COMBUSTIBLE CONSTRUCTION

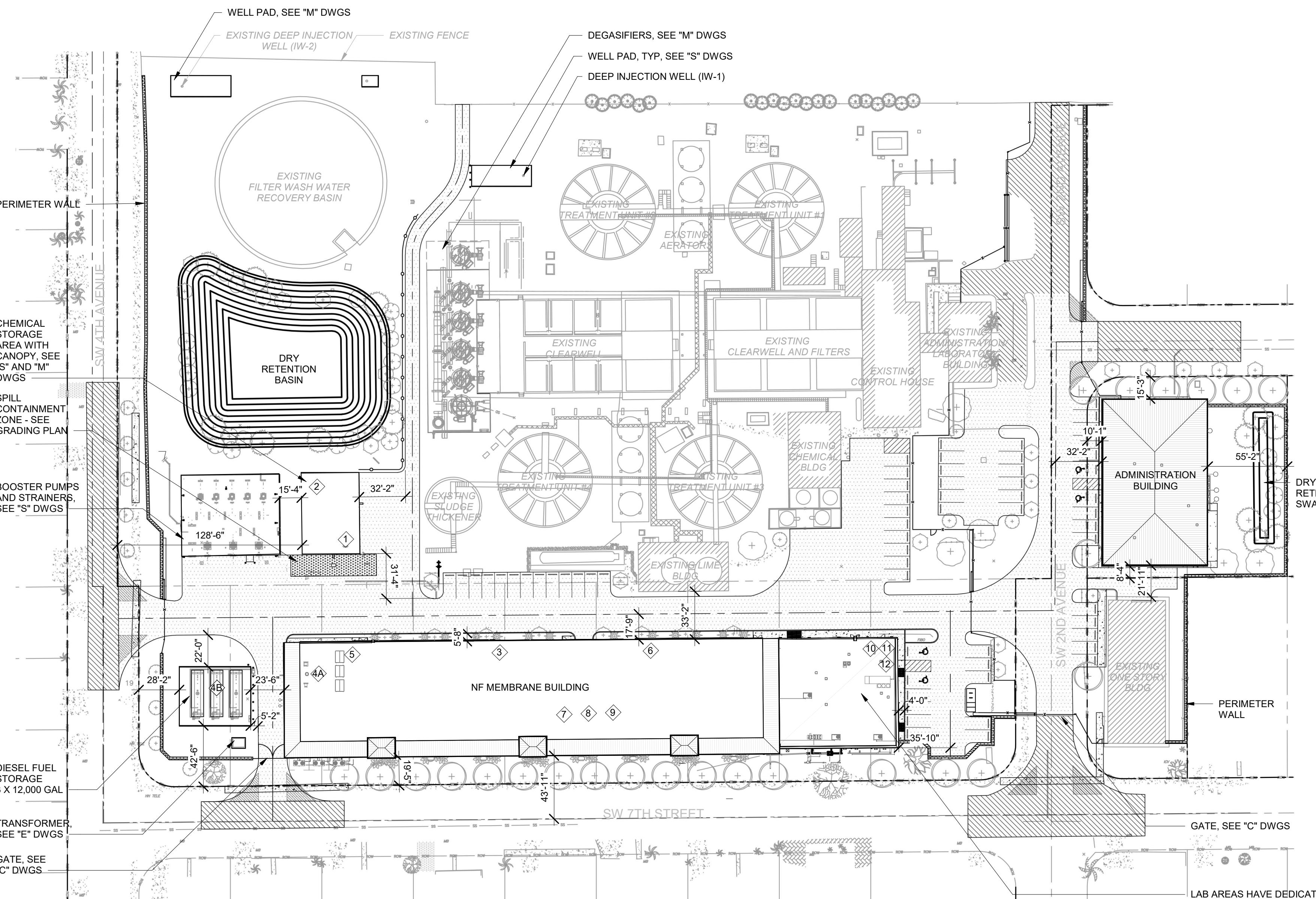
CANOPY AREA
FBC SECTION 414.6.1 ALLOWABLE 1500 SF ACTUAL 2236 SF*

*ACTUAL SQUARE FOOTAGE IS ALLOWABLE BASED ON FRONTAGE INCREASE CALCULATION IN ACCORDANCE WITH FBC SECTION 506.3.

CHEMICALS STORED SODIUM HYDROXIDE - IN COMPLIANCE WITH NFPA 400 SECTION 12.4
SULFURIC ACID - IN COMPLIANCE WITH NFPA 400 SECTION 12.4, 15.4, 18.4 AND 20.4

FIRE SEPARATION DISTANCE REFER TO SITE PLAN. ALL NFPA 400 REQUIREMENTS FOR INDIVIDUAL CHEMICAL TYPES REQUIRE A MIN OF 20 FOOT
SEPARATION FROM PROPERTY LINES, PUBLIC WAY, MEANS OF EGRESS TO PUBLIC WAY OR BUILDINGS NOT EXCLUSIVELY
USED FOR CHEMICAL STORAGE, USE OR APPLICATION.

SEPARATION BETWEEN SODIUM HYDROXIDE AND SULFURIC ACID UNDER CANOPY IS PROVIDED BY AN UNPIERCED 2-HOUR
FIRE RESISTANCE WALL MEETING ALL REQUIREMENTS OF NFPA 400 SECTION 18.4.1.3.



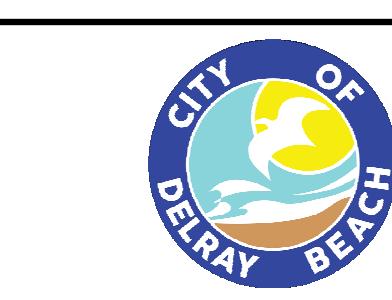
SITE KEY PLAN

1" = 50'-0"

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM
Smith

621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

GENERAL NOTES:

- SEE SHEET A-1 FOR ADDITIONAL GENERAL NOTES
- THIS SITE PLAN IDENTIFIES STRUCTURES AND BUILDINGS IN THE ARCHITECTURAL SCOPE AND DEFINES BUILDING AND FIRE PROTECTION CODE RELATED SEPARATION OF DISTANCES
- REFER TO CIVIL, LANDSCAPE AND MECHANICAL DRAWINGS FOR ADDITIONAL STRUCTURES AND PROCESS FACILITIES
- SEE CIVIL DWGS FOR ADDITIONAL SITE INFORMATION
- SEE S-CSN-1, S-CSN-3 AND M-CSN-1 FOR CHEMICAL CANOPY DESIGN INCLUDING SECONDARY CONTAINMENT, CHEMICAL SEPARATION AND CANOPY CONSTRUCTION.

FOR BUILDING DEPARTMENT USE

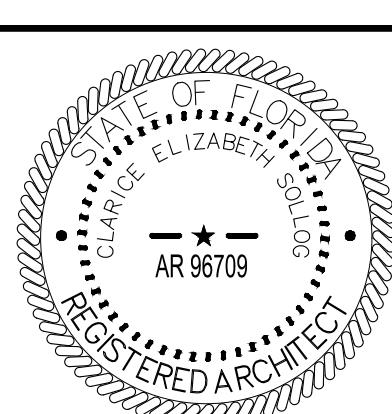
DESCRIPTION	USE GROUP WHEN MAX ALLOWABLE QTY. EXCEEDED	STATE (S, L, G)	CONCENTRATION (%)	TOTAL-MAX (GAL U.O.N)	STORAGE/USE	MAX EXEMPT AMOUNT 307.1(1) AND 307.1(2)	NFPA RATING			PHYSICAL HAZARDS			HEALTH HAZARDS									
							HEALTH	FLAMMABILITY	REACTIVITY	SPECIAL	COMBUSTIBLE	CRYOGENIC	EXPLOSIVE	FLAMMABLE	OXIDIZER	UNSTABLE REACTIVE	WATER REACTIVE	CORROSIVE	IRRITANT	TOXIC/HIGHLY TOXIC		
1 SULFURIC ACID CAS: 7664-93-9	H-4	L	93	10,545	EXT-STORAGE	N/A	3	0	0	OX/W2	-	-	-	-	C-1	-	C-2	COR	IR	TOX		
2 SODIUM HYDROXIDE CAS: 1310-73-2	H-4	L	25	49,000	EXT-STORAGE	N/A	3	0	0	--	--	-	-	-	-	-	-	C-1	COR	IR	-	
3 ANTISCALANT CAS: N/A	--	L	--	1,100	INT-STORAGE	N/A	0	0	0	--	--	-	-	-	-	-	-	-	IR	-	-	
4A DIESEL FUEL CAS: 00169-00-0	--	L	MIX	550?	INT-STORAGE	660	2	2	0	--	C-2	--	--	--	-	-	-	-	-	-	-	
4B DIESEL CAS: 00169-00-00	--	L	MIX	36,000	EXT-STORAGE	48,000	2	2	0	--	C-2	--	--	--	-	-	-	-	-	-	-	
5 DIESEL EXHAUST FUEL (UREA) CAS: 57-16-6*	--	L	--	2,000	INT-STORAGE	--	1	0	0	--	--	-	-	-	-	-	-	-	IR	-	-	
6 CITRIC ACID CAS: 77-92-9	--	L	50	330	INT-STORAGE	N/A	2	0	0	--	--	-	-	-	-	-	-	-	IR	-	-	
7 SODIUM HYDROXIDE CAS: 1310-73-2	H-4	L	50	110	INT-STORAGE	500	3	0	0	--	--	-	-	-	-	-	-	-	C-1	COR	IR	-
8 SULFURIC ACID CAS: 7664-93-9	H-4	L	93	22.3 LBS	USE-CLOSED	500 LBS	3	0	0	OX/W2	--	-	-	-	C-1	-	C-2	COR	IR	TOX		
9 ANTISCALANT CAS: N/A	--	L	--	1.5 LBS	USE-CLOSED	660	0	0	0	--	C-2	--	--	-	-	-	-	-	IR	-	-	
10 ACETYLENE CAS: 74-86-2	--	G	100	36,000	STORAGE/USE	48,000	0	4	2	--	--	-	-	C-1A	--	C-2	--	-	-	-	-	
11 ARGON CAS: 7440-37-1	--	G	100	2,000	STORAGE/USE	--	0	0	0	--	--	-	-	-	-	-	-	-	-	-	-	
12 HELIUM CAS: 7440-59-7	--	G	100	2,000	STORAGE/USE	--	0	0	0	--	--	-	-	-	-	-	-	-	-	-	-	

*NOTE: VENDOR SUPPLIED SDS SHEET DOES NOT INDICATE A CAS NUMBER FOR SPECIFIED COMPOSITION, CAS NUMBER AND CHARACTERISTICS LISTED ARE THOSE OF LARGEST % BY WEIGHT CHEMICAL.

SITE PLAN LEGEND

EXISTING CONSTRUCTION
NEW CONSTRUCTION
PROPERTY LINE
LOT LINE
CENTER OF ACCESS TO PUBLIC WAY

0 25' 50' 100'
SCALE: 1" = 50'-0"



THIS ITEM HAS BEEN DIGITALLY SIGNED BY CLARICE E. SOLLOG ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRIC COPIES.

PROJECT NO. 159676-291242
FILE NAME: AWZ000GN.RVT
SHEET NO. A-GN-2
CLARICE E. SOLLOG, AIA
NO AR96709
FL. CORP. ARCHITECTURE AA-002781
101 SOUTHLAND LANE, SUITE 200
MAITLAND, FL 32751

ISSUED FOR PERMITTING

Building Code Key Determinations						Means of Egress									
Owner:	City of Delray Beach	Date:	July 2025	FBC, 8TH EDITION (2023)						FFPC, 8TH EDITION (NFPA 1, NFPA 101)					
Project Name:	Delray Beach Membrane Treatment Plant	Location:	Delray Beach, Florida	NFPA 101 Table 7.3.1.2						Provided					
Project No:	159676-291242	Architect of Record:	Clarice E. Sollog, AIA	Occupant Load											
Building Name:	NF Membrane Building	Maximum Floor Area Allowances per Occupant						Business Areas = 150 SF gross per occupant Ground Level (B) - 6,526 SF / 150 SF = 43.5 Industrial areas = 100 SF gross per occupant Ground Level (F-1) - 25,655 SF / 100 SF = 256.5							
Abbreviations	ICC - International Code Council; IBC - International Building Code; IPC - International Plumbing Code; IMC - International Mechanical Code; IECC - International Energy Conservation Code; IFC - International Fire Code; NEC - National Electrical Code; FBC - Florida Building Code	Section 1004.5						Business Areas = 150 SF per person (B) - 6,660 SF / 150 SF = 44.4 Industrial area - 100 SF or MP Ground Level (F-1) - 25,617 SF / 100 SF = 256.5							
Building Code	2023 FBC, 8th Edition, with applicable Amendments	Means of Egress Sizing						257 occupants Total Calculated Occupant Load: 301							
Plumbing Code	2023 FBC Plumbing, 8th Edition, with applicable Amendments	Section 1005													
Mechanical Code	2023 FBC Mechanical, 8th Edition, with applicable Amendments	Section 1005.1						0.3 inches x occupant load = 0.3 x 302 = 90.6 in. 0.2 inches x occupant load = 0.2 x 302 = 60.4 in.							
Electrical Code	2023 FBC Chapter 27, NFPA 70-2020 NEC, with applicable Amendments	Section 1005.2						F-(S): 2 exits with occupant load = 49, max common path B(S): 1 exit with max occupant load of 49, max common path of travel 100 ft							
Energy Code	2023 FBC Energy Conservation, 8th Edition	Section 1006.2						NFPA 101 7.4, 38.2.4.1, 40.2.4.1.1 Not less than 2 means of egress F-1: 5 exits, B: 3 exits (8 total)							
Fire / Life Safety Code	Florida Fire Prevention Code (FFPC), 8th Edition, with applicable Amendments, NFPA 1 (2021) and NFPA 101 (2021)	Means of Egress Illumination						N/A 374 inches total							
Accessibility Code	2023 FBC Accessibility, 8th Edition	Section 1008						In compliance							
Use and Occupancy Classification	FBC, 8TH EDITION (2023)	Section 1009						See Accessibility section below							
		FBC, 8TH EDITION (2023)						NFPA 101 7.5.4							
		FFPC, 8TH EDITION (NFPA 1, NFPA 101)						In compliance							
		Provided													
Mixed Use (Y/N)	Yes														
Occupancy	Section 306.1 Section 304.1	F-1, Moderate Hazard Factory Industrial B, Business	Section 6.1.12 Section 6.1.11	Industrial, Special Purpose (40.1.2.1) Business (38.1.2)	F-1 - Process Area B - Operations and Lab Areas										
General Building Heights and Areas															
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)											
Special Industrial Occupancies	Section 503.1.1	N/A		-											
Buildings on Same Lot	Section 503.1.2	N/A		-											
		Allowable no. of stories/Allowable height		Allowable no. of stories/Allowable height											
Use Group F-1: Type II B (S)	Table 504.3 Table 504.4	S-3 stories/75 feet		-											
Use Group B : Type II B (S)		S-4 stories/75 feet		-											
Mezzanines and Equipment Platforms	Section 505	N/A	NFPA 101 Section 8.6.10	N/A											
Use Group F-1: Type II B (S1)	Table 506.2	Allowable Square Footage		Allowable Square Footage											
Use Group B : Type II B (S1)		62,000 SF		-											
Unlimited Area Buildings	Section 507	N/A													
Mixed Use and Occupancy	Section 508.4	Non-Separated Mixed Use, F-1 and B	NFPA 101 Section 6.1.14.3.1	Mixed Occupancy	No separation required										
Incidental Use	Section 509	N/A		N/A											
Special Provision	Section 510	N/A		N/A											
Types of Construction															
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)											
Construction Classification	Section 602	Type II B	8.2.1.2	Type II B											
Fire-Resistance Rating Requirements (hours) for Building Elements															
Building Element		Req'd Rating for Construction Type		Req'd Rating for Construction Type	Provided										
Primary Structural Frame		0 hours		0 hours											
Bearing Walls (Exterior)		0 hours		0 hours											
Bearing Walls (Interior)		0 hours		0 hours											
Non Bearing Walls and Partitions (Exterior)	Table 601	0 hours		0 hours	0 hours*										
Non Bearing Walls and Partitions (Interior)		0 hours		0 hours	0 hours*										
Floor Construction including supporting structure		0 hours		0 hours											
Roof Construction including supporting structure		0 hours		0 hours											
Corridors	Table 1020.2	0 hours with Sprinkler	NFPA 101 Section 7.1.3.1	Not Required	0 hours										
*2-Hr Fire-rated walls provided at dedicated Electrical Rooms. Per NFPA 1, paragraph 13.3.2.29 sprinklers are provided in accordance with NFPA 13. NFPA 13, paragraph 9.2.6 allows sprinklers to be omitted from electrical equipment rooms where all four listed conditions are met. Proposed design of Main Electrical Room A-130 satisfies all necessary conditions.															
Fire and Smoke Protection Features															
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)											
Minimum Distance of Projection															
Exterior Walls	Table 705.2	5 feet or greater FSD - 40 inches from line that determines FSD			Separation exceeds 40 inches from FSD, refer to A-GN-2										
Fire-Resistance Rating Requirements (hours) for Exterior Walls based on Fire Separation Distance (feet)															
Fire Separation Distance in feet	Table 705.5	Req'd Rating for Occupancy		Req'd Rating for Construction Type	Provided										
10 ≤ X < 30		0 hours		0 hours											
X ≥ 30		0 hours		-	0 hours										
Maximum percentage Area of Exterior Wall Openings based on Fire Separation Distance in feet															
Unprotected openings in walls of sprinklered buildings with fire separation distance 10 ≤ X < 30 and X ≥ 30	Table 705.8	10 - 15 feet: 45% 15 - 20 feet: 75% 20 - 30 feet or greater: No Limit		-	In compliance										
Fire Barriers	Section 707.3	Fire Barrier separating incidental use	NFPA 101 Section 8.3, Table 8.3.3.2	-	2 hour Fire Barrier separating incidental use of dedicated Electrical Rooms per NFPA 13, 9.2.6										
Penetrations	Section 714	Not less than required wall resistance rating	NFPA 101 Section 8.3.4	Not less than required wall resistance rating											
Fire-Resistant Joint System	Section 715	Not less than required wall resistance rating	NFPA 101 Section 8.3.5	Not less than required wall resistance rating	In compliance with required ratings										
Interior Finishes															
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)											
Interior Wall and Ceiling Finish Requirements by Occupancy															
Interior exit stairways and ramps and exit passageways (Sprinklered)	Table 803.11	Group F-1: Class C required Group B: Class B required	NFPA 1, 12.5.4, 20.13.3, 20.14.3 NFPA 101.10.2, 38.3.3	Class A or B	In compliance										
Corridors and enclosure for exit access stairways and ramps (Sprinklered)		Group F-1 & B: Class C required	NFPA 101.10.2, 38.3.3	Class A or B	In compliance										
Rooms and enclosed spaces (Sprinklered)		Group F-1 & B: Class C required	NFPA 1, 13.6.3.3	Class A, B or C	In compliance										
Fire Protection Systems															
		FBC, 8TH EDITION (2023)		FFPC, 8TH EDITION (NFPA 1, NFPA 101)											
Automatic Sprinkler Systems	Section 903.2	Group B - Not Required	NFPA 1, 13.3.2 NFPA 101 Section 9.7	Industrial - Required Business - Not Required	Provided - F-1 Fire area exceeds 12,000 SF, Provided - B occupancy										
*2-Hr Fire-rated walls provided at dedicated Electrical Rooms. Per NFPA 1, paragraph 13.3.2.29 sprinklers are provided in accordance with NFPA 13. NFPA 13, paragraph 9.2.6 allows sprinklers to be omitted from electrical equipment rooms where all four listed conditions are met. Proposed design of Main Electrical Room A-130 satisfies all necessary conditions.															
Portable Fire Extinguishers	Section 906.1	(F-1) and (B) - Required	NFPA 1 Table 13.6.1.2	Required for Industrial and Business Occupancies	30 provided										
		(F-1) Process, Light Hazard, Class A		(F-1) Process, Light Hazard, Class A	7										
		(F-1) Main Electrical Room and Generator Room, Light Hazard Light Hazard, Class C	NFPA 1, 13.6.3.2, 13.6.3.4 NFPA 101, 9.9	(F-1) Main Electrical Room and Generator Room, Light Hazard, Class C	5										
Size and distribution	Section 906.3	(B) Operations Area, Ordinary Hazard, Class A		(B) Operations Area, Ordinary Hazard, Class A	16										
		(B) Electrical Room, Light Hazard, Class C		(B) Electrical Room, Light Hazard, Class C	1										
		(B) Server Room, Light Hazard, Class C		(B) Server Room, Light Hazard, Class C	1										
Fire Alarm and Detection Systems	Section 903.4 and 907	Required with automatic sprinkler system	NFPA 1, 13.7, NFPA 101 9.6	Required with automatic sprinkler system	In compliance										

FOR BUILDING DEPARTMENT USE

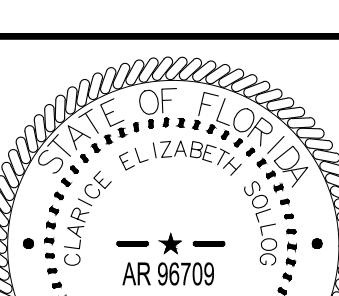
GENERAL NOTES:

- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES
- SEE SHEET A-NF-1 FOR LIFE SAFETY PLAN

FOR DEVELOPMENT SERVICES USE

THIS ITEM HAS BEEN DIGITALLY SIGNED BY CLARICE E. SOLLOG ON THE DATE ADJACENT TO THE SEAL.

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CLARICE E. SOLLOG, AIA
NO AR96709
FL. CORP. ARCHITECTURE AA-002781
101 SOUTHLAND LANE, SUITE 200
MAITLAND, FL 32751

PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT
SHEET NO. A-GN-3
REV. NO. DATE DRWN CHKD
REMARKS



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

Building Code Key Determinations			
Owner:	City of Delray Beach	Date:	July 2025
Project Name:	Delray Beach Membrane Water Treatment Plant	Location:	Delray Beach, Florida
Project No:	159676-291242	Architect of Record:	Clarice E. Sollog, AIA
Building Name:			
Applicable Ordinances, Codes, and Standards			
Abbreviations	ICC - International Code Council; IBC - International Building Code; IPC - International Plumbing Code; IMC - International Mechanical Code; IECC - International Energy Conservation Code; IFC - International Fire Code; NEC - National Electrical Code; FBC - Florida Building Code		
Building Code	2023 FBC, 8th Edition, with applicable Amendments		
Plumbing Code	2023 FBC Plumbing, 8th Edition, with applicable Amendments		
Mechanical Code	2023 FBC Mechanical, 8th Edition, with applicable Amendments		
Electrical Code	2023 FBC Chapter 27; NFPA 70-2020 NEC, with applicable Amendments		
Energy Code	2023 FBC Energy Conservation, 8th Edition		
Fire / Life Safety Code	Florida Fire Prevention Code (FFPC), 8th Edition, with applicable Amendments, NFPA 1 (2021) and NFPA 101 (2021)		
Accessibility Code	2023 FBC Accessibility, 8th Edition		
Use and Occupancy Classification			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Mixed Use (Y/N)	NO		Provided
Occupancy	Section 304.1	B - Business	NFPA 101 Section 6.1.11
General Building Heights and Areas			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Special Industrial Occupancies	Section 503.1	N/A	
Buildings on Same Lot	Section 503.2		Refer to Sheet A-GN-2 for site layout
		Allowable no. of stories/Allowable height	Allowable no. of stories/Allowable height
Use Group B : Type IIB (NS)	Table 504.3	3 stories/55 feet	NS: 1 story/ 19'-10" Calculated Height NS: 1 story/ 16'-1"
Mezzanines and Equipment Platforms	Section 505	N/A	NFPA 101 Section 8.6.10
Use Group B : Type IIB (NS)	Table 506.2	Allowable Square Footage	Allowable Square Footage
		23,000 SF	Provided
Unlimited Area Buildings	Section 507	N/A	
Mixed Use and Occupancy	Section 508.4	N/A	NFPA 101 Section 6.1.14.3.1
Incidental Use	Section 509	N/A	N/A
Special Provision	Section 510	N/A	N/A
Types of Construction			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Construction Classification	Section 602	Type IIB	8.2.1.2
Fire-Resistance Rating Requirements (hours) for Building Elements			Type IIB
Building Element		Req'd Rating for Construction Type	Provided
Primary Structural Frame		0 hours	0 hours
Bearing Walls (Exterior)		0 hours	0 hours
Bearing Walls (Interior)	Table 601	0 hours	0 hours
Non Bearing Walls and Partitions (Exterior)		0 hours	0 hours
Non Bearing Walls and Partitions (Interior)		0 hours	0 hours
Floor Construction including supporting structure		0 hours	0 hours
Roof Construction including supporting structure		0 hours	0 hours
Corridors	Section 1020.2	1 hour (NS)	NFPA 101 Section 7.1.3.1
Fire and Smoke Protection Features			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Minimum Distance of Projection			
Exterior Walls	Table 705.2	5 feet or greater FSD - min 40 inches from line that determines FSD	Separation far exceeds 40 inches from FSD, refer to A-GN-2
Fire-Resistance Rating Requirements (hours) for Exterior Walls based on Fire Separation Distance (feet)			
Fire Separation Distance in feet	Table 705.5	Req'd Rating for Occupancy	Req'd Rating for Construction Type
10 ≤ X < 30		0 hours	Provided
X ≥ 30		0 hours	0 hours
Maximum percentage Area of Exterior Wall Openings based on Fire Separation Distance in feet			
Unprotected openings in walls of nonsprinklered buildings with fire separation distance 10 ≤ X < 30 and X ≥ 30	Table 705.8	20 - 25 feet: 45% 30 or greater: No Limit	In compliance
Fire Partitions	Section 708	not less than 1 hour	NFPA 101 Section 8.3.2, Table 8.3.3.2
Penetrations	Section 714	Not less than required wall resistance rating	NFPA 101 Section 8.3.4
Fire-Resistant Joint System	Section 715	Not less than required wall resistance rating	NFPA 101 Section 8.3.5
Interior Finishes			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Interior Wall and Ceiling Finish Requirements by Occupancy			
Interior exit stairways and ramps and exit passageways (Not Sprinklered)	Table 803.11	Group B: Class A required	Class A or B
Corridors and enclosure for exit access stairways and ramps (Not Sprinklered)		Group B: Class B required	Class A or B
Rooms and enclosed spaces (Not Sprinklered)		Group B: Class C required	Class A, B or C
Fire Protection Systems			
		FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Automatic Sprinkler Systems	Section 903.2	Not required per occupancy classification	NFPA 1 13.3.2, NFPA 101 Section 9.7
Portable Fire Extinguishers	Section 906.1	(B) - Required	NFPA 1 Table 13.6.1.2
Size and distribution	Section 906.3	(B) Administration Area: Ordinary Hazard, Class A (B) Electrical Room: Light Hazard, Class C	NFPA 1, 13.6.3.2, 13.6.3.4, NFPA 101, 9.9 NFPA 1, 10.2, 38.3.3
Fire Alarm and Detection Systems	Section 907	Not required per occupancy classification	NFPA 1, 13.7, NFPA 101 9.6

Means of Egress	
FBC, 8TH EDITION (2023)	FFPC, 8TH EDITION (NFPA 1, NFPA 101)
Provided	
Occupant Load	
Maximum Floor Area Allowances per Occupant	Business Areas = 150 SF gross per occupant Assembly, Unconcentrated = 15 net Ground Level (B) = 6,384 SF / 150 SF = 42.6 (B) = 6,385 SF / 150 SF = 42.6 Training Room (B) = 733 SF / 15 SF = 48.9 Total Calculated Occupant Load: 92
Means of Egress Sizing	Section 1005
Stairway width	Paragraph 1005.3.1 0.3 inches x occupant load = 0.3 x 87 = 26.1 in.
Other egress components = Doors width	Paragraph 1005.3.2 0.2 inches x occupant load = 0.2 x 87 = 17.4 in.
Number of Exits	Section 1006.2 2 exits with occupant load of 30, common path of travel exceeds 75 FT
Means of Egress Illumination	Section 1008
Accessible Means of Egress	Section 1009
Doors, Gates and Turnstiles	See Chapter 11 below
Size of Doors	Section 1010.1.1 Minimum Width = 32 inches
Door Swing	Section 1010.1.2 Pivoted or side-hinged swinging type
Stairways	Section 1011
Ramps	Section 1012 slope not to exceed 1:12
Exit Signs	Section 1013 Required throughout
Handrails	Section 1014
Guards	Section 1015 Required at all locations 30' or more above grade
Exit Access	Section 1016
Exit Access Travel Distance	Table 1017.2 Group B, 200 feet maximum
Minimum Corridor Width	Table 1020.3 Any Facilities - 44 inches minimum
Exterior Exit Ramps and Stairways	Section 1027
Exit Discharge	Section 1028 Required to be directly to exterior and at grade
Accessibility	
FBC Accessibility, 8TH EDITION (2023)	
Designed in accordance with FBC Accessibility	Chapter 2 Business Occupancy No exemptions.
Interior Environment	
FBC, 8TH EDITION (2023)	
Ventilation	Section 1203 Paragraph 1203.1 General
Temperature Control	Section 1204 Paragraph 1204.1 Equipment and systems
Lighting	Section 1205 Paragraph 1205.3 Artificial light
Interior Space Dimensions	Section 1208 Paragraph 1208.2 Minimum Ceiling Heights
Access to Unoccupied Spaces	Section 1209 Paragraph 1209.3 Mechanical Appliances
Plumbing Systems	
FBC, 8TH EDITION (2023)	
B Occupancy - 87 occupants	Male Female Required
Water Closets (Urinals)	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50
Lavatories	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80
Bathtub/Showers	N/A
Drinking Fountains	1 per 100; 1
Other - Service Sink	1 service sink
Minimum Plumbing Facilities	
Table 2902.1	

ADMINISTRATION BUILDING APPROVED PRODUCT LIST

PRODUCT NAME	MANUFACTURER	MODEL	FL PRODUCT APPROVAL	APPROVAL NUMBER	DESIGN PRESSURE	IMPACT RATED
DOUBLE WIDTH ALUMINUM STOREFRONT DOOR	YKK	35H MEDIUM STILE	YES	16554.1	+90/-90	YES
SINGLE WIDTH ALUMINUM STOREFRONT DOOR	YKK	35D MEDIUM STILE	YES	12892.3	+55/-55	N/A
STANDING SEAM METAL ROOFING	PAC-CLAD	TITE-LOC PLUS (.032")	YES	24423.12	+N/A-204.25	N/A
THERMALLY BROKEN ALUMINUM FIXED WINDOW SYSTEM	YKK	YFW 400 TUH	YES	13269.1	+90/-120	YES
WIND DRIVEN RAIN LOUVERS	RUSKIN COMPANY	EME3625MD	YES	21829.9	+120/-120	YES

NOTE: APPROVED PRODUCTS LIST IS A LISTING OF THE DESIGN BASIS PRODUCTS AND THE APPLICABLE APPROVED FLORIDA STATE PRODUCT DATA/TESTING. CONTRACTOR CAN SUBMIT "OR EQUAL" PRODUCTS BUT IS RESPONSIBLE FOR PRODUCT APPROVAL AND COORDINATION OF THAT INFORMATION WITH BUILDINGDEPARTMENT.

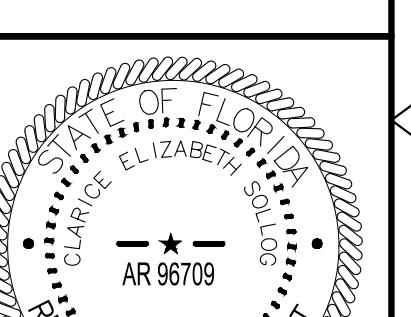
FOR BUILDING DEPARTMENT USE

GENERAL NOTES:

- SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES
- SEE SHEET A-AB-1 FOR LIFE SAFETY PLAN

FOR DEVELOPMENT SERVICES USE

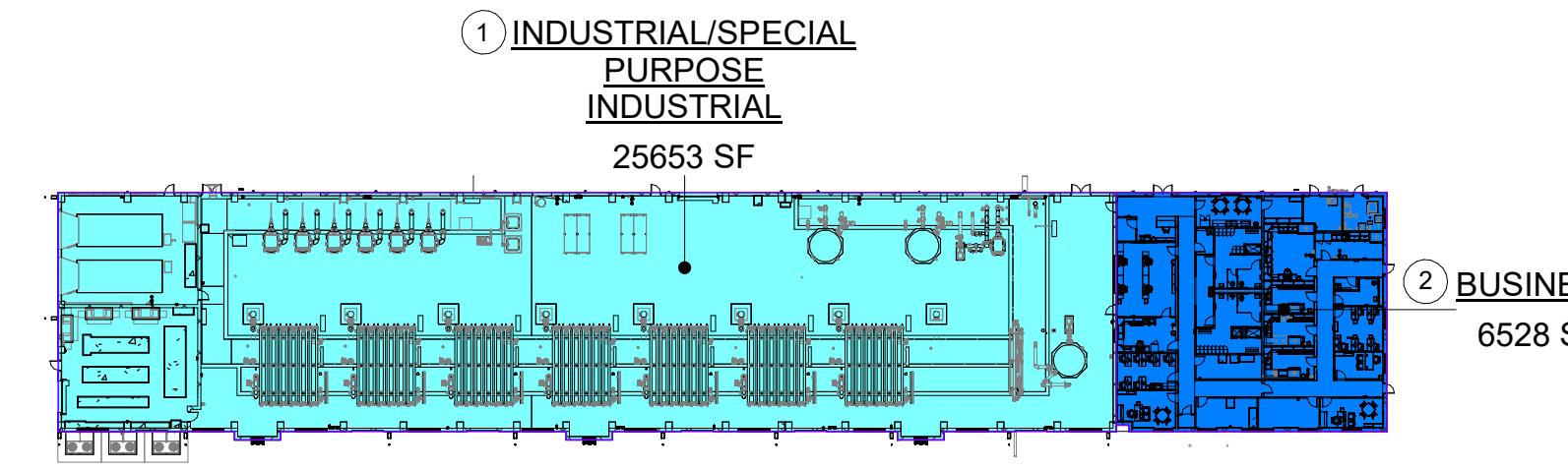
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FILE NAME: AWZ000OB.RVT

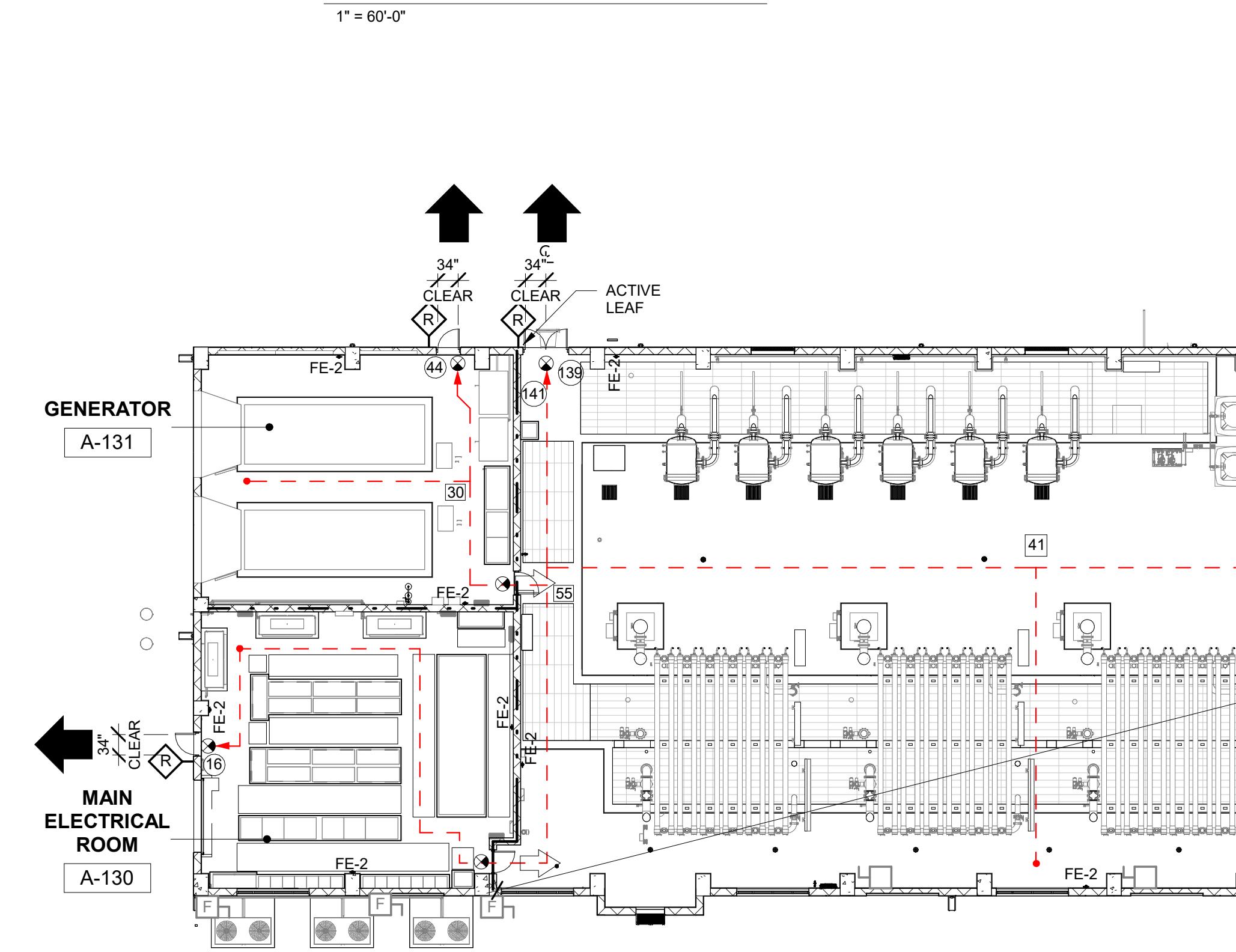
SHEET NO.

A-GN-4



OCCUPANT LOAD KEY PLAN

1' = 60'-0"



CALCULATED OCCUPANT LOAD						
NUMBER	SPACES	AREA	SF PER OCCUPANT (FBC)	OCCUPANT LOAD (FBC)*	SF PER OCCUPANT (FFPC)	OCCUPANT LOAD (FFPC)*
1	INDUSTRIAL/SPECIAL PURPOSE INDUSTRIAL	25653 SF	100	257	100	257
2	BUSINESS	6528 SF	150	44	150	44

*MORE STINGENT REQUIREMENTS TO BE USED FOR EGRESS TOTAL OCCUPANTS (FBC) 301 TOTAL OCCUPANTS (FFPC) 301

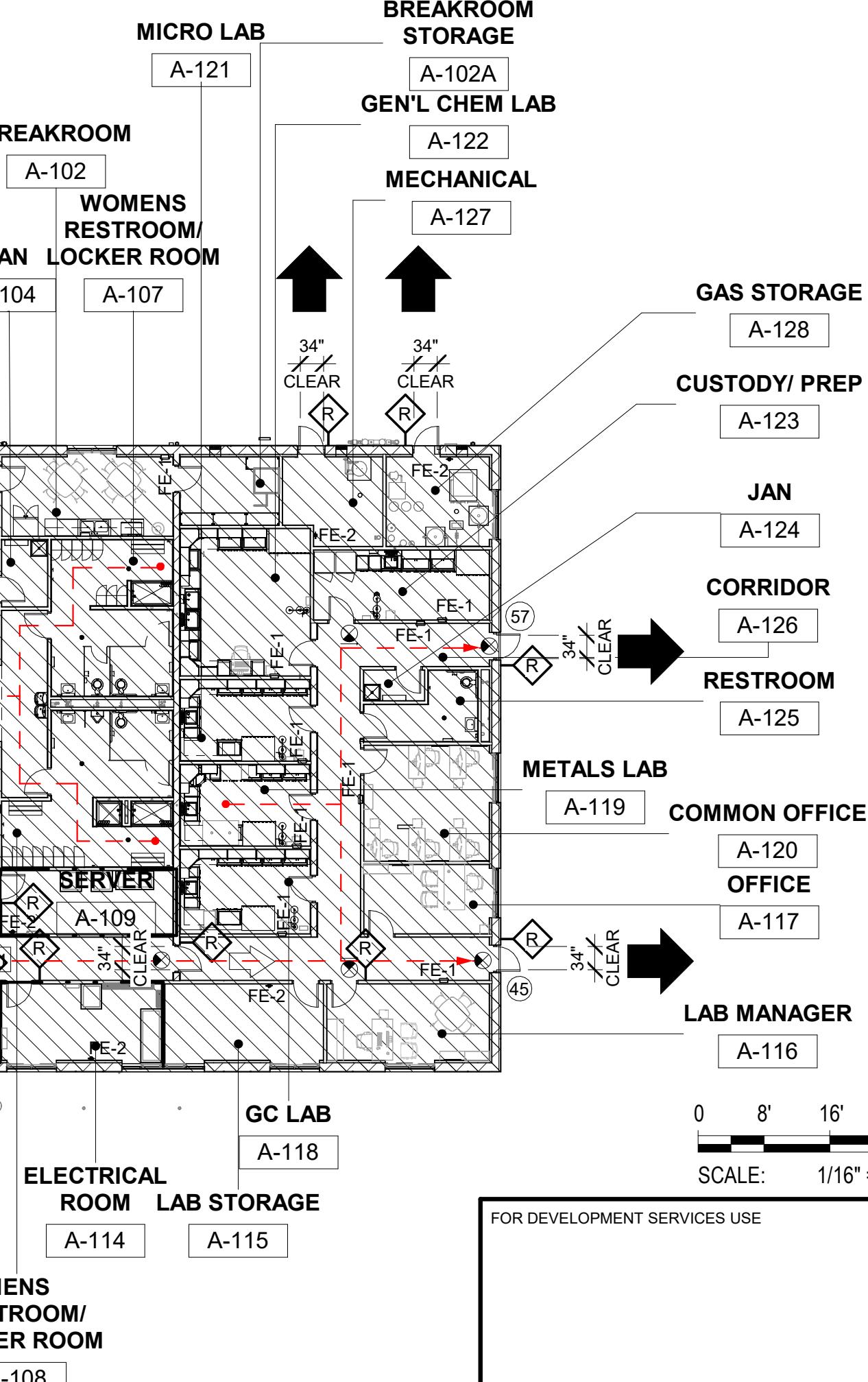
OCCUPANT LOAD FACTOR PER TABLE 1004.5

- INDUSTRIAL/ SPECIAL PURPOSE INDUSTRIAL
- BUSINESS

GENERAL NOTES:

1. SEE SHEET A-GN-1 FOR ADDITIONAL GENERAL NOTES AND ABBREVIATIONS AND SYMBOLS
2. SEE SHEET A-GN-3 FOR BUILDING CODE KEY DETERMINATIONS
3. SEE SHEET A-GN-2 FOR ARCHITECTURAL SITE PLAN AND BUILDING SITING INFORMATION INCLUDING SEPARATION FROM ADJACENT STRUCTURES, ETC.
4. SEE SHEET A-NF-20 REFLECTED CEILING PLAN AND "E" DRAWINGS FOR FULL EXTENTS OF EMERGENCY LIGHTING IN SPACES.

5. LAB AREAS HAVE DEDICATED GAS CONNECTIONS SERVED BY GAS STORAGE ROOM. NO OTHER BULK CHEMICALS ARE STORED IN LABS IN EXCESS OF ALLOWABLE QUANTITIES AND ALL LAB DESIGN IS IN COMPLIANCE WITH THE FLORIDA FIRE PREVENTION CODE AND REFERENCED NFPA SECTIONS.



FOR DEVELOPMENT SERVICES USE



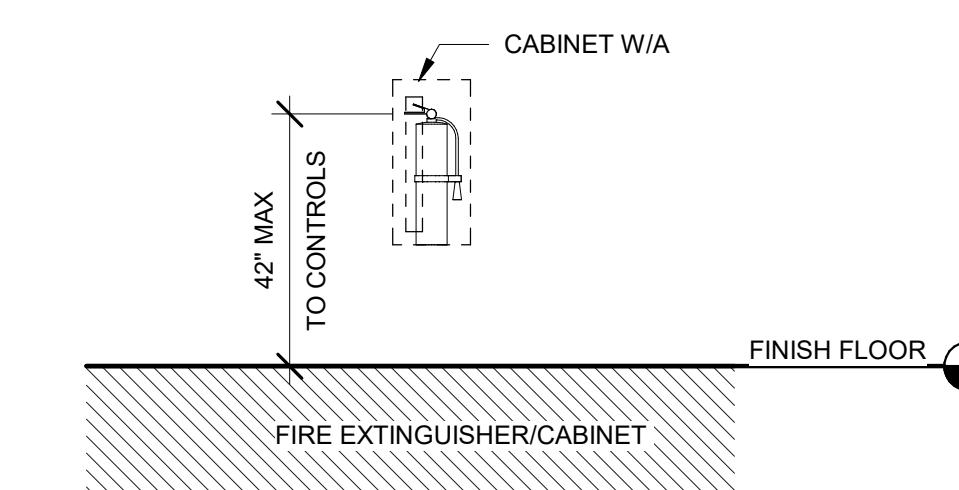
LIFE SAFETY PLAN

1/16" = 1'-0"

LIFE SAFETY LEGEND

- 2 HOUR FIRE RATING
- EXIT DISCHARGE
- AREA OR SPACE EXIT
- ⊗ EXIT SIGN
- FE FIRE EXTINGUISHER
- FE FIRE EXTINGUISHER W/ CABINET
- EGRESS PATH
- (X) TRAVEL DISTANCE (FEET)
- (X) COMMON PATH OF TRAVEL (FEET)
- B: BUSINESS
- F-1: MODERATE HAZARD FACTORY INDUSTRIAL
- (R) CARD READER, SEE "E" DWGS

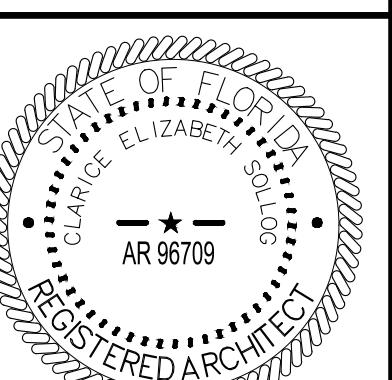
FIRE EXTINGUISHER MOUNTING HEIGHT



TAG	QTY	MODEL	MANUFACTURER	DESCRIPTION
FE-1	13	ACADEMY 1027 (COSMIC 10E)	JL INDUSTRIES (ACTIVAR INC)	NON-RATED WALL, 3" ROLLED, ADA COMPLIANT CABINET W/ 10LB DRY CHEMICAL
FE-2	17	COSMIC 10E UL RATED 4A-80BC	JL INDUSTRIES (ACTIVAR INC)	10 LB DRY CHEMICAL, BRACKET MOUNTED

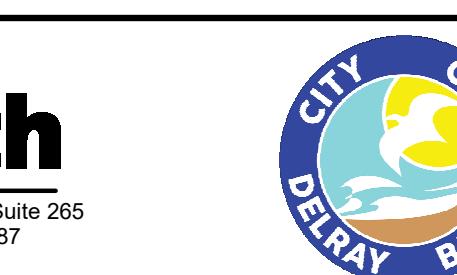
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REVIEWED BY: C. WYNN	APPROVED BY: A. SHELDON		
CROSS CHECKED BY: A. SHELDON	APPROVED BY: C. SOLLOG		
DATE: AUGUST 2025	DATE: AUGUST 2025		
REV. NO.	DATE	DRWN	CHKD
REMARKS			

CDM
Smith



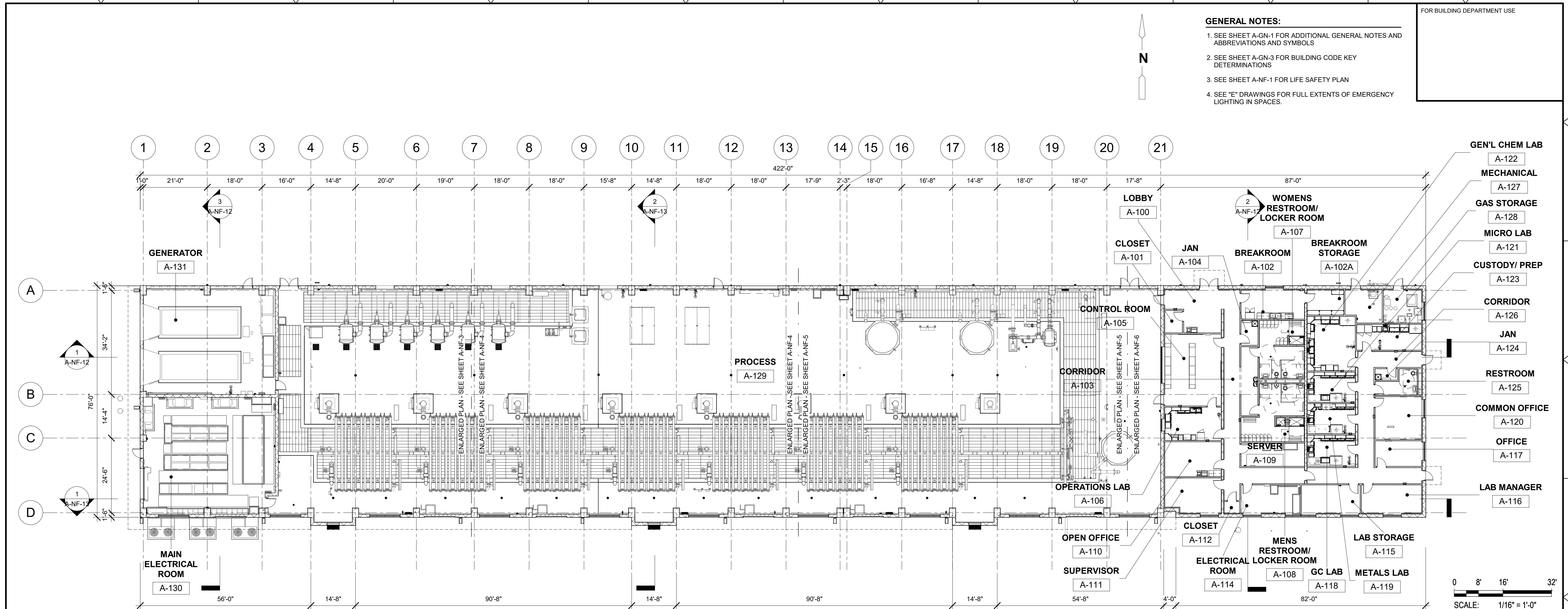
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Tel: (561) 571-3800

DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
LIFE SAFETY PLAN

PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT
SHEET NO. A-NF-1

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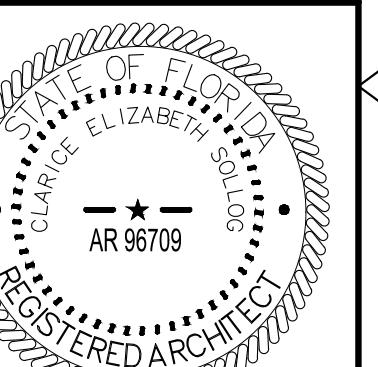


OVERALL FLOOR PLAN

1/16" = 1'-0"

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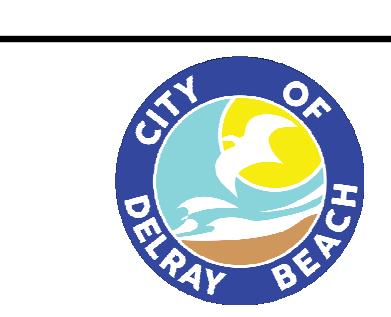
A-NF-2

REV. NO.	DATE	DRWN	CHKD
REMARKS			

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DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

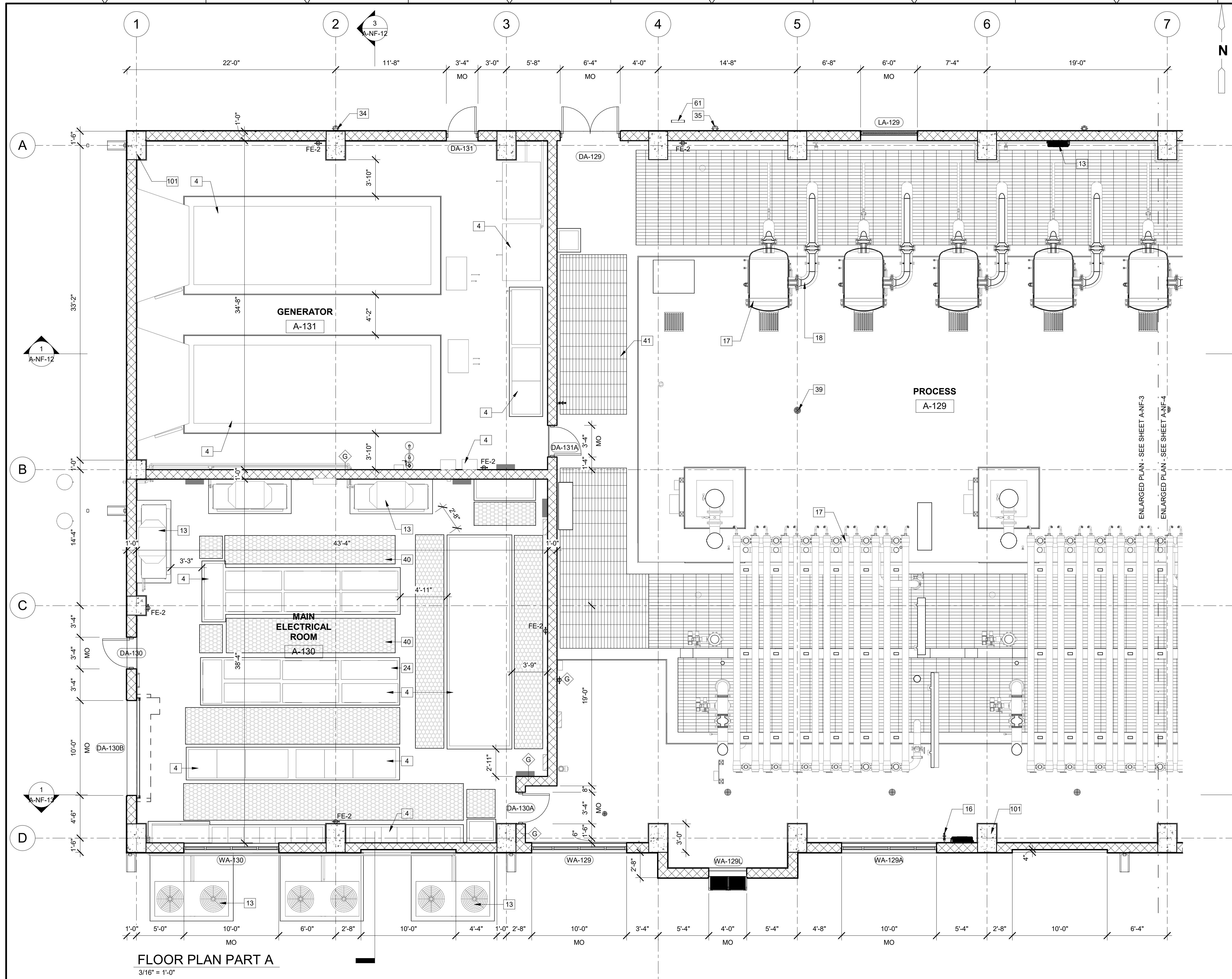
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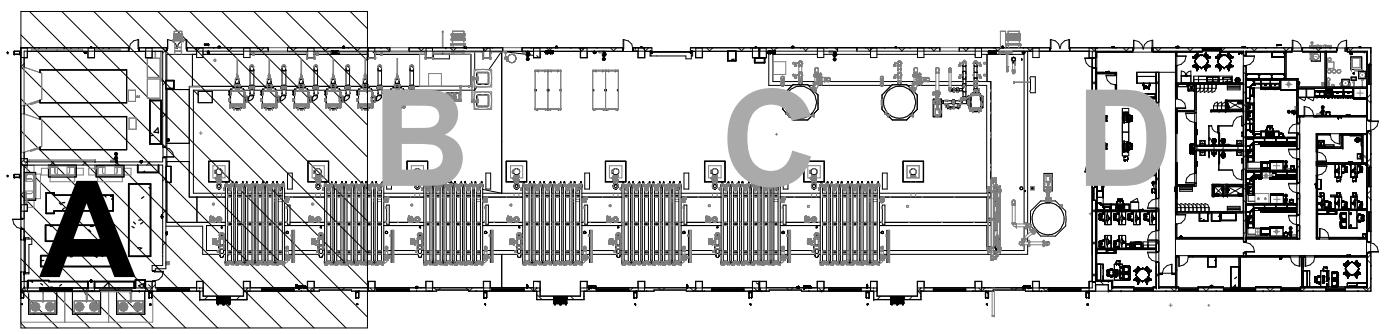


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

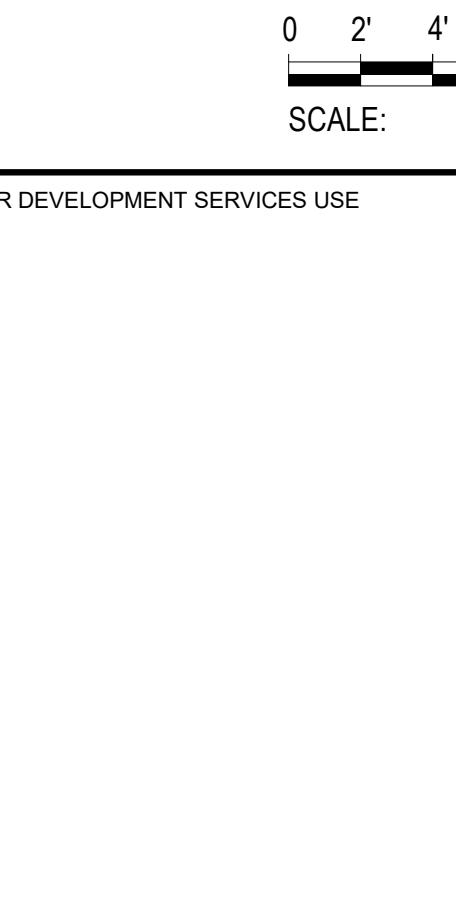
NF MEMBRANE BUILDING
OVERALL FLOOR PLAN



KEY PLAN



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
18	PROCESS PIPING, SEE "M" DWGS
24	EQUIPMENT PAD, SEE "S" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP. SEE "P" DWGS
40	FLOOR MATS, TYP.
41	REMOVABLE ALUMINUM FLOOR GRATING, SEE "S" DWGS
61	ROOF ACCESS LADDER, TYP
101	CONCRETE COLUMN, SEE "S" DWGS



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FILE NAME: AWZ000MB4.RVT
SHEET NO.

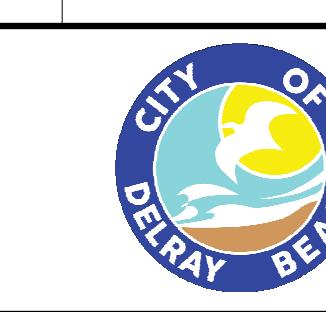
A-NF-3

REV. NO.	DATE	DRWN	CHKD
REMARKS			

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DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

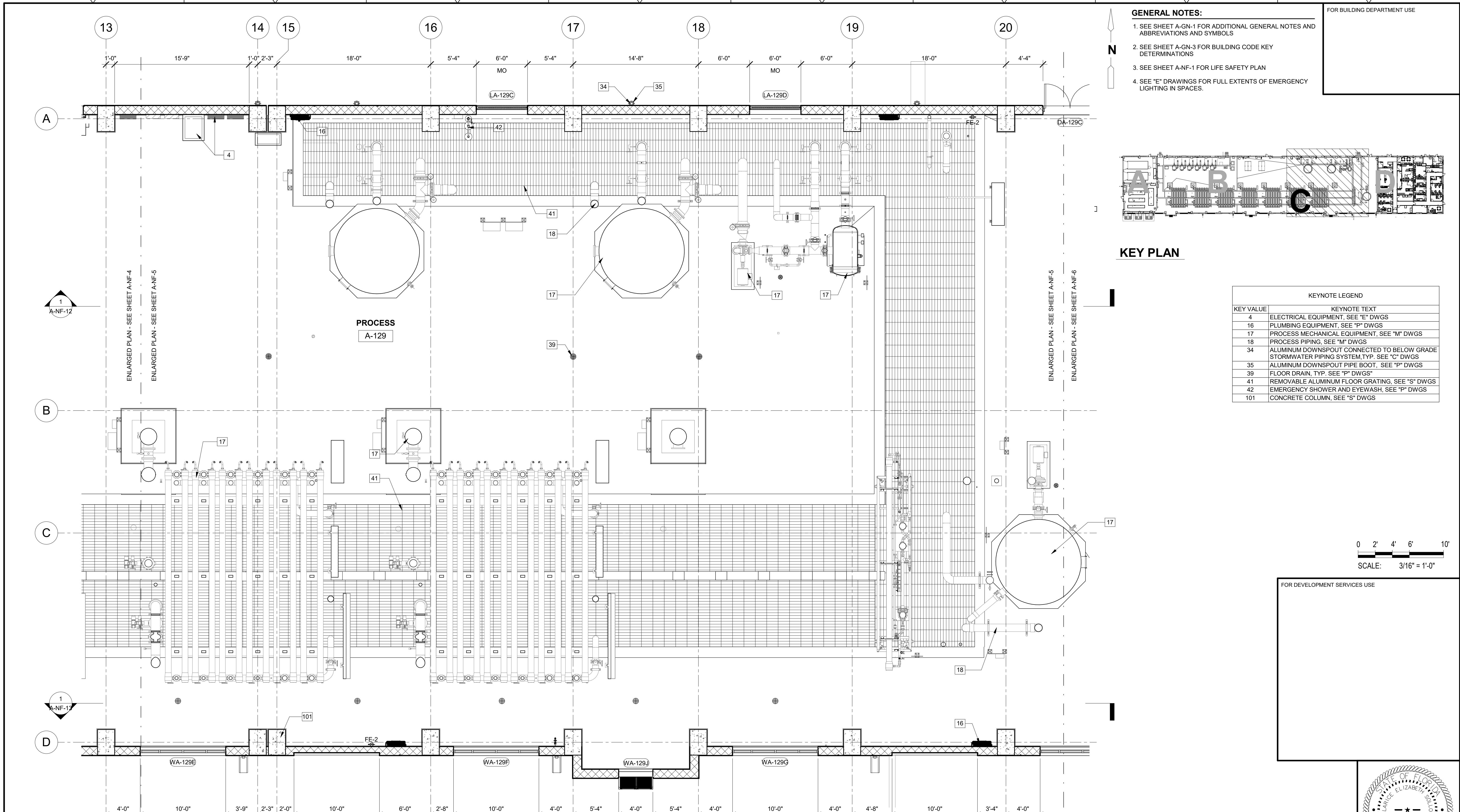
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
FLOOR PLAN PART A



FLOOR PLAN C

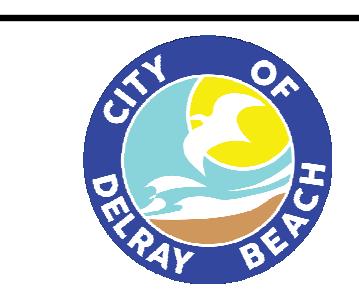
3/16" = 1'-0"

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DRAWN BY:	G. HOBDY
sheet chkd by:	C. WYNN
CROSS CHKD BY:	A. SHELDON
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DATE:	AUGUST 2025

REMARKS



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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
FLOOR PLAN PART C

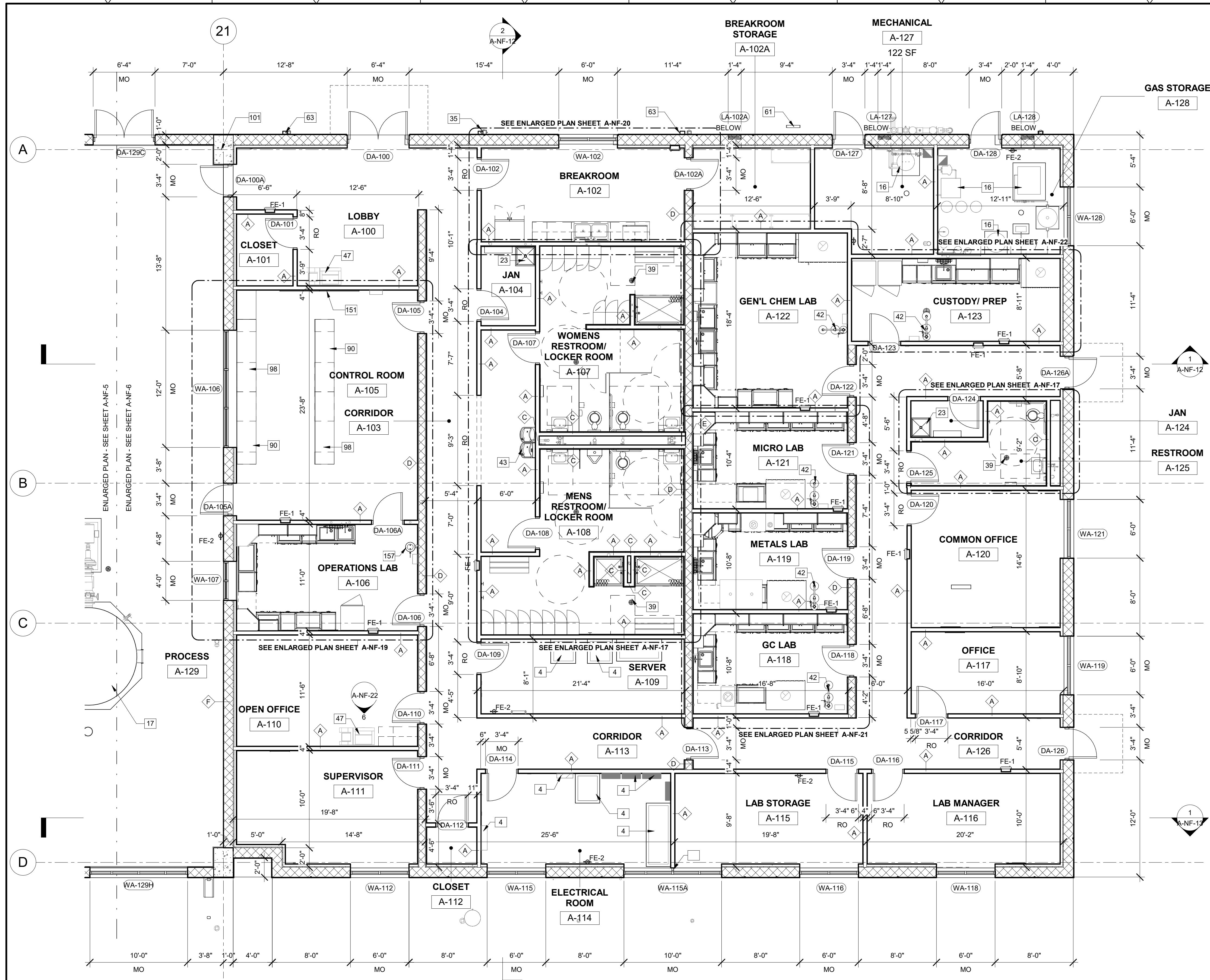
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PROJECT NO. 159678-21242
FILE NAME: AWZ000MB4.RVT

SHEET NO.
A-NF-5

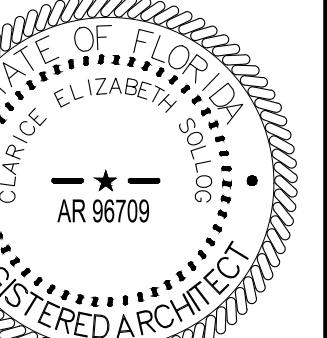


KEY PLAN

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
16	PLUMBING EQUIPMENT, SEE "P" DWGS
17	PROCESS MECHANICAL EQUIPMENT, SEE "M" DWGS
23	MOP SINK, SEE "P" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
39	FLOOR DRAIN, TYP. SEE "P" DWGS
42	EMERGENCY SHOWER AND EYEWASH, SEE "P" DWGS
43	HIGH-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER, SEE "P" DWGS
47	COPIER MACHINE (NIC)
61	ROOF ACCESS LADDER, TYP
63	ALUMINUM CONDUCTOR HEAD, DOWNSPOUT AND SCUPPER, TYP
90	SOLID SURFACE COUNTERTOP AND BACKSPLASH
98	PLASTIC LAMINATE CASEWORK
101	CONCRETE COLUMN, SEE "S" DWGS
151	50" WALL MOUNTED TELEVISION, TYP (PROVIDE BACKING FOR MOUNTING)
157	EMERGENCY EYEWASH STATION, SEE "P" DWGS

0 2' 4' 6' 10'
SCALE: 3/16" = 1'-0"

FOR DEVELOPMENT SERVICES USE



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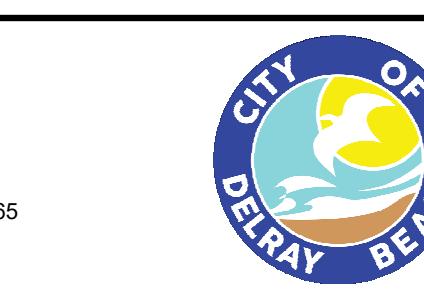
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FILE NAME: AWZ000NF.RVT

SHEET NO.

A-NF-6

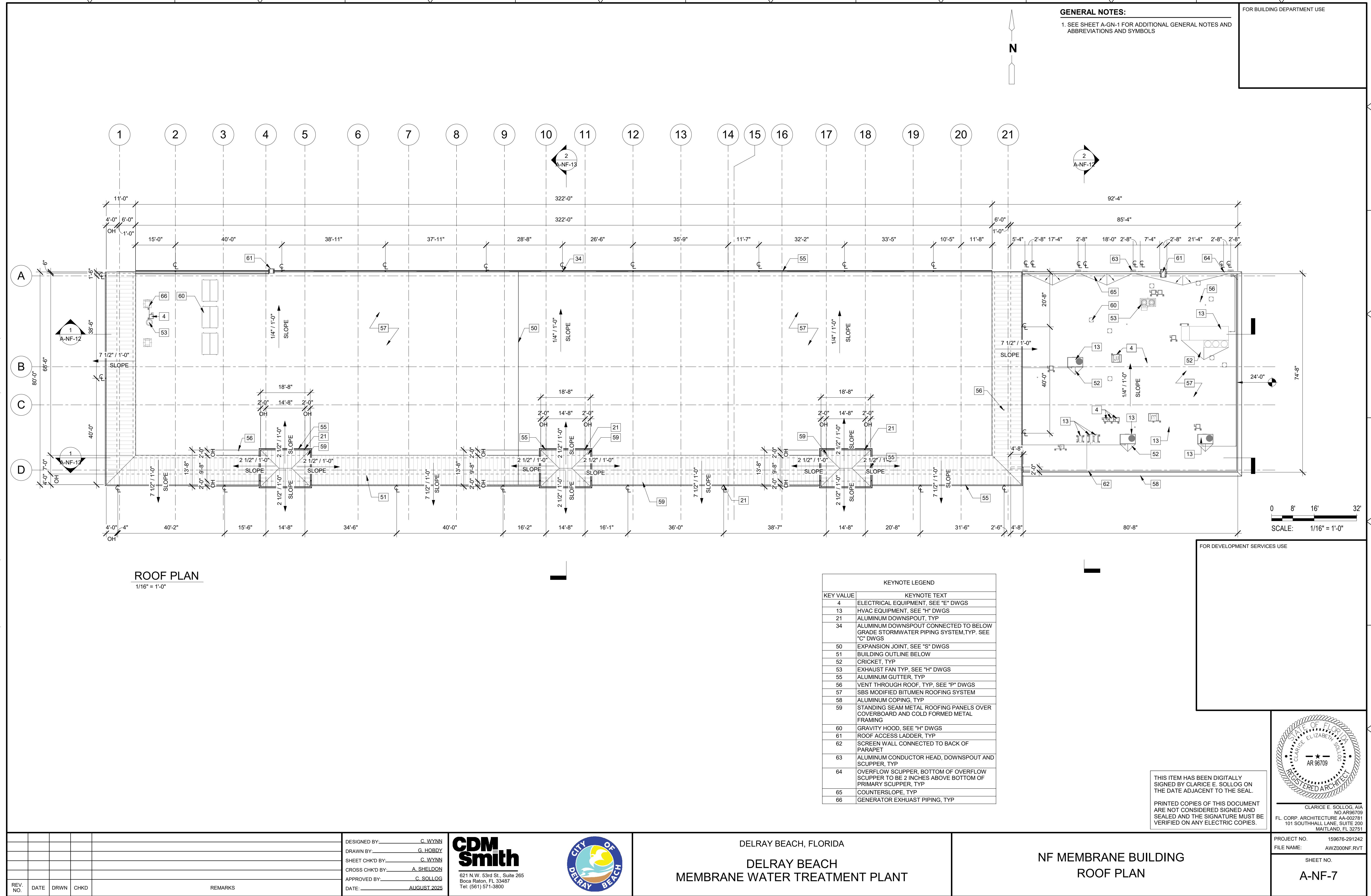


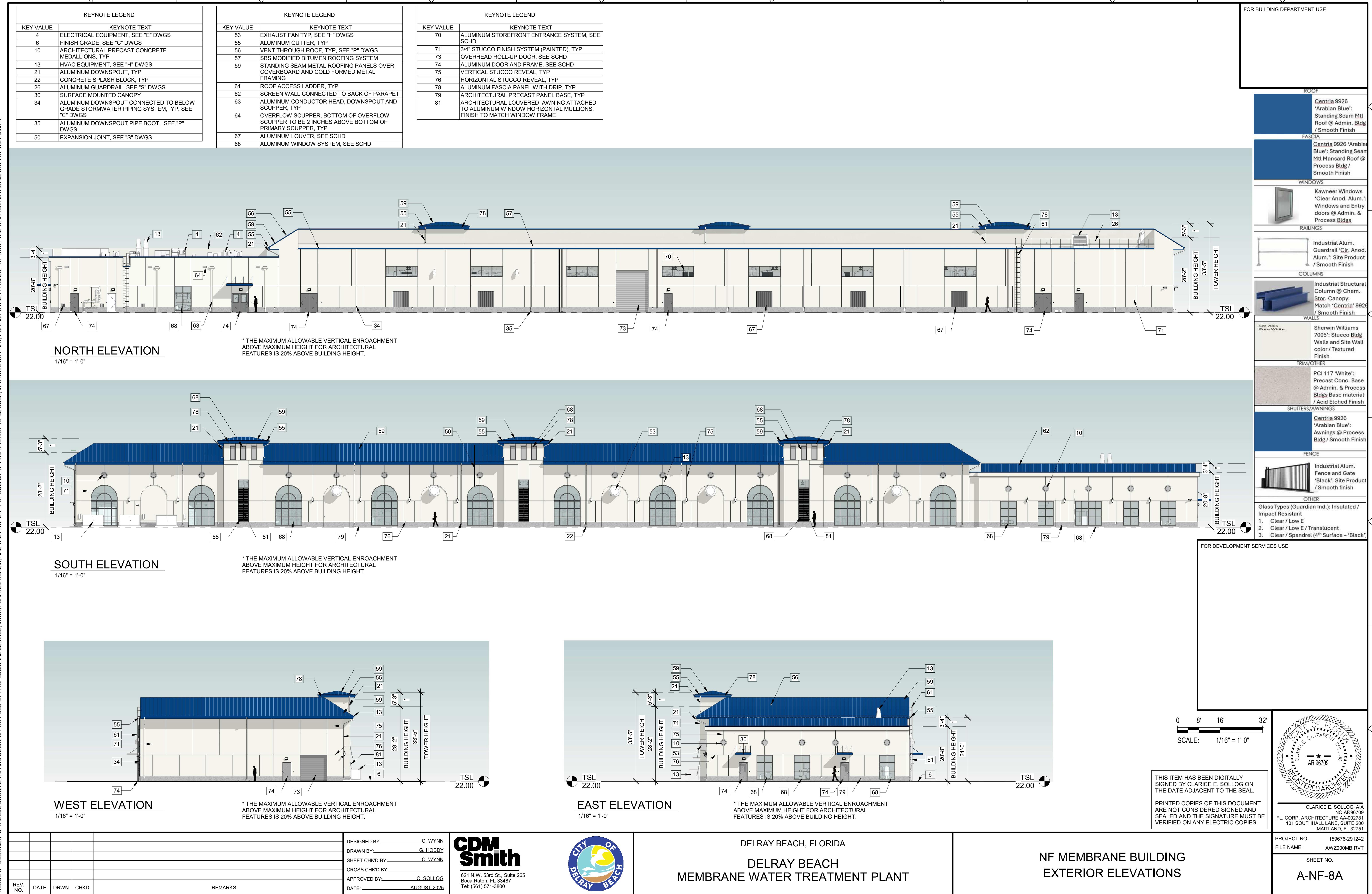
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

REV. NO.	DATE	DRWN	CHKD
REMARKS			

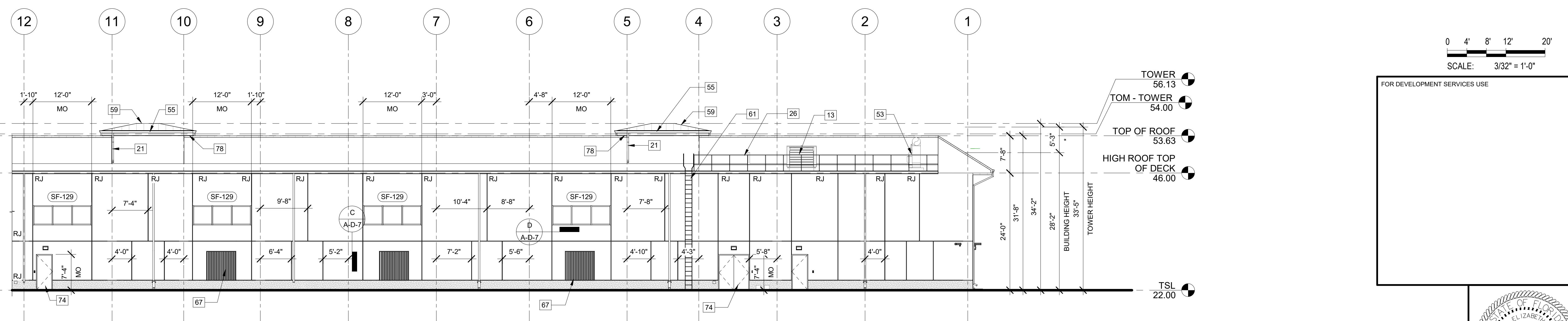
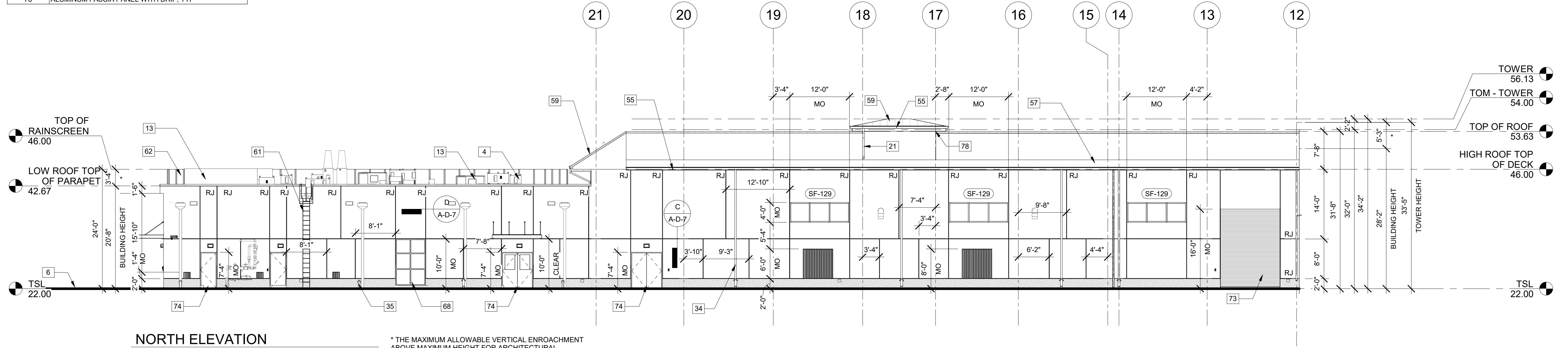
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DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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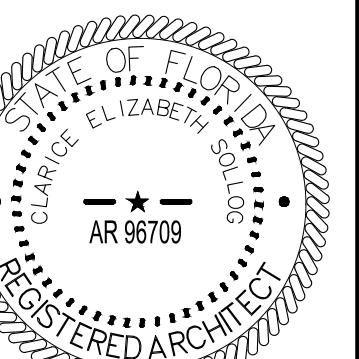


KEYNOTE LEGEND	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
26	ALUMINUM GUARDRAIL, SEE "S" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
57	SBS MODIFIED BITUMEN ROOFING SYSTEM
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
73	OVERHEAD ROLL-UP DOOR, SEE SCHD
74	ALUMINUM DOOR AND FRAME, SEE SCHD
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP



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PROJECT NO. 159671242
FILE NAME: AWZ000NF.ARVT
SHEET NO.

A-NF-9

REV. NO.	DATE	DRWN	CHKD
REMARKS			

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SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

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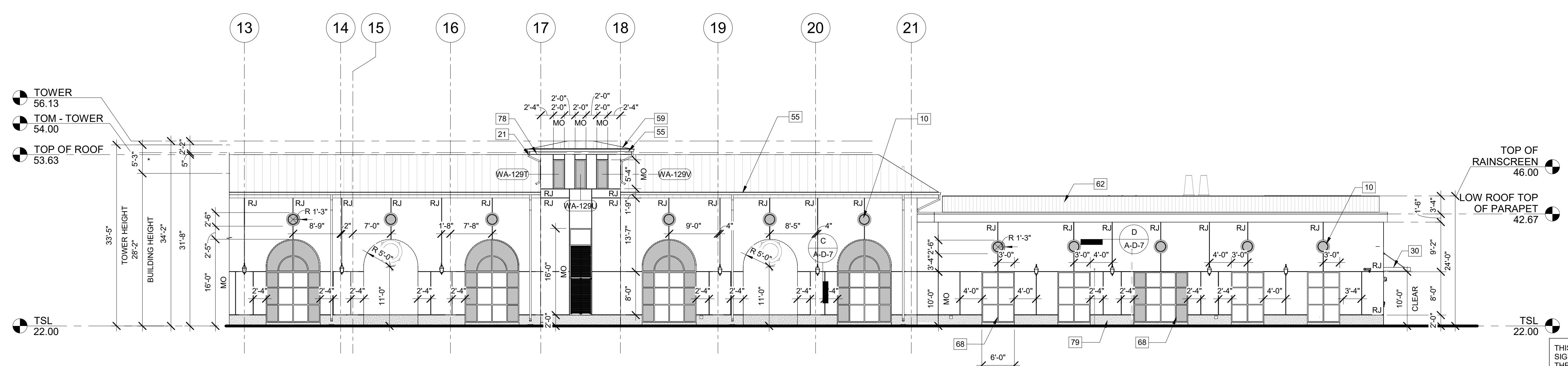
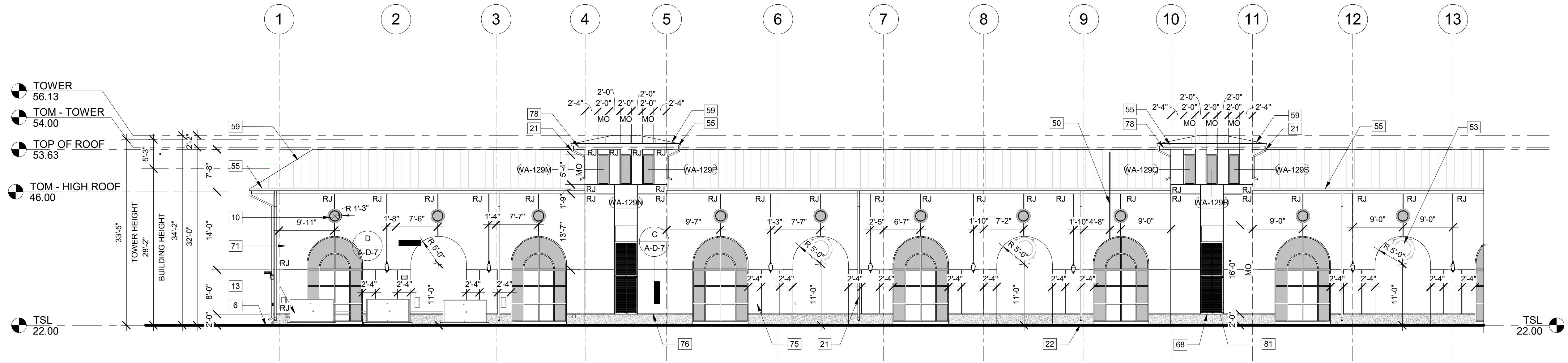


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS I

KEY VALUE	KEYNOTE LEGEND	KEYNOTE TEXT
6		FINISH GRADE, SEE "C" DWGS
10		ARCHITECTURAL PRECAST CONCRETE MEDALLIONS, TYP
13		HVAC EQUIPMENT, SEE "H" DWGS
21		ALUMINUM DOWNSPOUT, TYP
22		CONCRETE SPLASH BLOCK, TYP
30		SURFACE MOUNTED CANOPY
50		EXPANSION JOINT, SEE "S" DWGS
53		EXHAUST FAN TYP, SEE "H" DWGS
55		ALUMINUM GUTTER, TYP
59		STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
62		SCREEN WALL CONNECTED TO BACK OF PARAPET
68		ALUMINUM WINDOW SYSTEM, SEE SCHD
71		3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
75		VERTICAL STUCCO REVEAL, TYP
76		HORIZONTAL STUCCO REVEAL, TYP
78		ALUMINUM FASCIA PANEL WITH DRIP, TYP
79		ARCHITECTURAL PRECAST PANEL BASE, TYP
81		ARCHITECTURAL LOUVERED AWNING ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLIONS. FINISH TO MATCH WINDOW FRAME

FOR BUILDING DEPARTMENT USE



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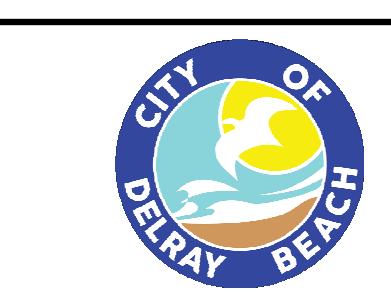
PROJECT NO. 159676-291242
FILE NAME: AWZ000NF.RVT
SHEET NO. A-NF-10

REV. NO.	DATE	DRWN	CHKD
REMARKS			

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DRAWN BY: G. HOBODY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

**CDM
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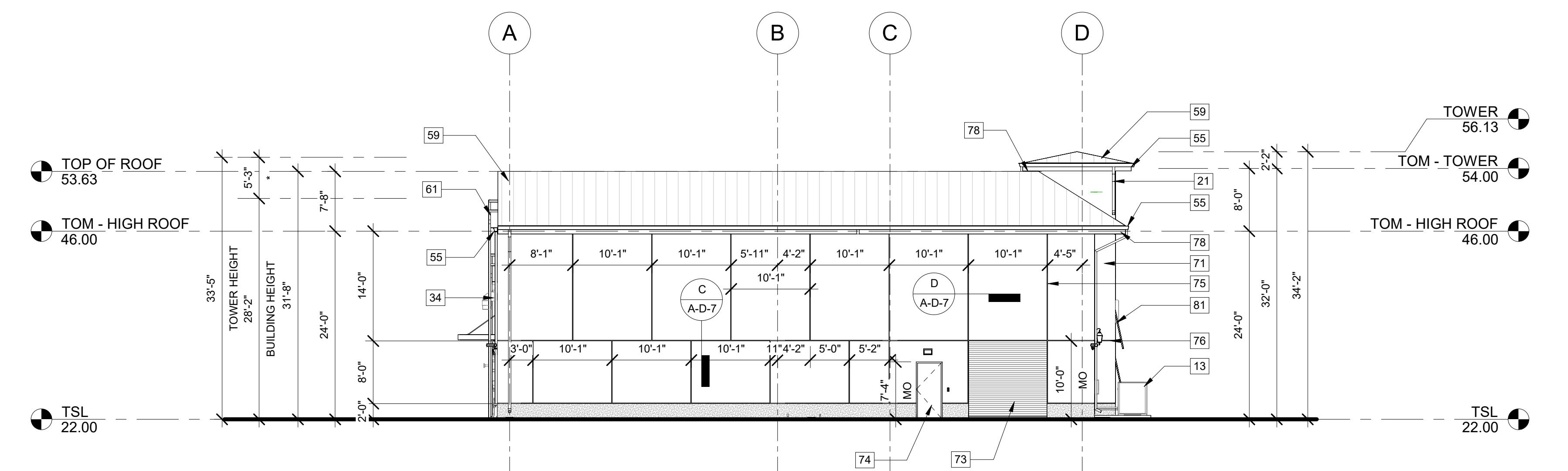
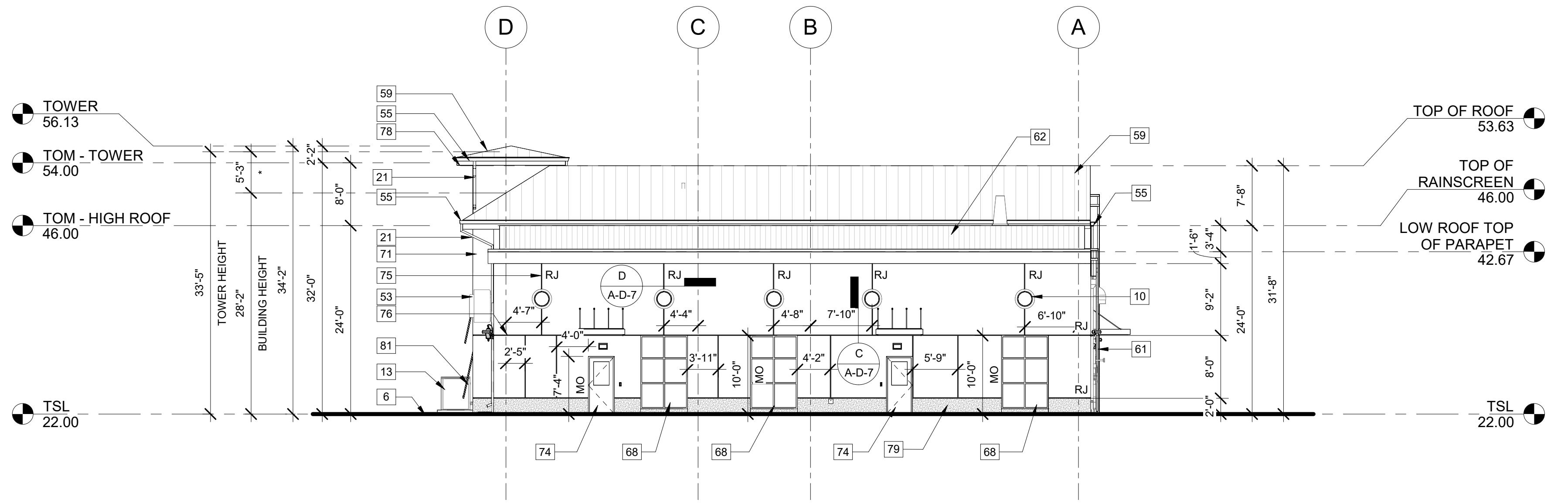
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS II

ISSUED FOR PERMITTING

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
6	FINISH GRADE, SEE "C" DWGS
10	ARCHITECTURAL PRECAST CONCRETE MEDALLIONS, TYP
13	HVAC EQUIPMENT, SEE "H" DWGS
21	ALUMINUM DOWNSPOUT, TYP
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
53	EXHAUST FAN TYP, SEE "H" DWGS
55	ALUMINUM GUTTER, TYP
59	STANDING SEAM METAL ROOFING PANELS OVER COVERBOARD AND COLD FORMED METAL FRAMING
61	ROOF ACCESS LADDER, TYP
62	SCREEN WALL CONNECTED TO BACK OF PARAPET
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
73	OVERHEAD ROLL-UP DOOR, SEE SCHD
74	ALUMINUM DOOR AND FRAME, SEE SCHD
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
81	ARCHITECTURAL LOUVERED AWNING ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLIONS. FINISH TO MATCH WINDOW FRAME

FOR BUILDING DEPARTMENT USE

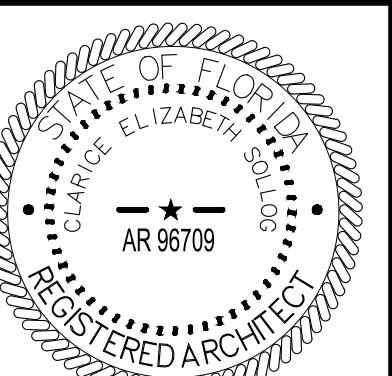


0 4' 8' 12' 20'
SCALE: 3/32" = 1'-0"

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CLARICE E. SOLLOG, AIA
NO AR96709
FL. CORP. ARCHITECTURE AA-022781
101 SOUTHALL LANE, SUITE 200
MAITLAND, FL 32701

PROJECT NO. 15967242
FILE NAME: AW2000NF.RVT

SHEET NO.

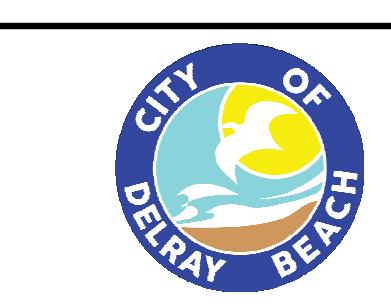
A-NF-11

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: C. WYNN
DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

CDM
Smith

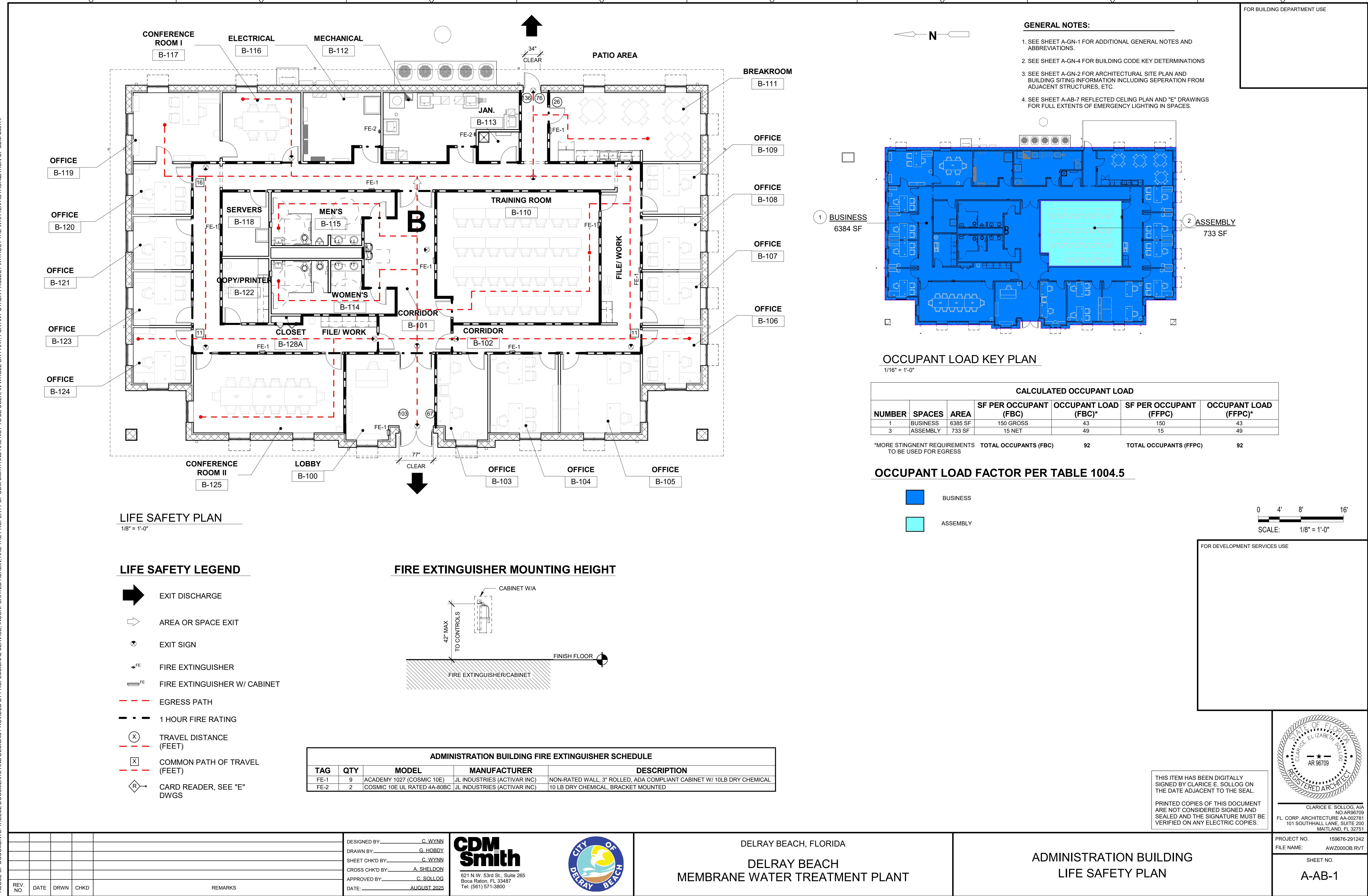
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Boca Raton, FL 33487
Tel: (561) 571-3800

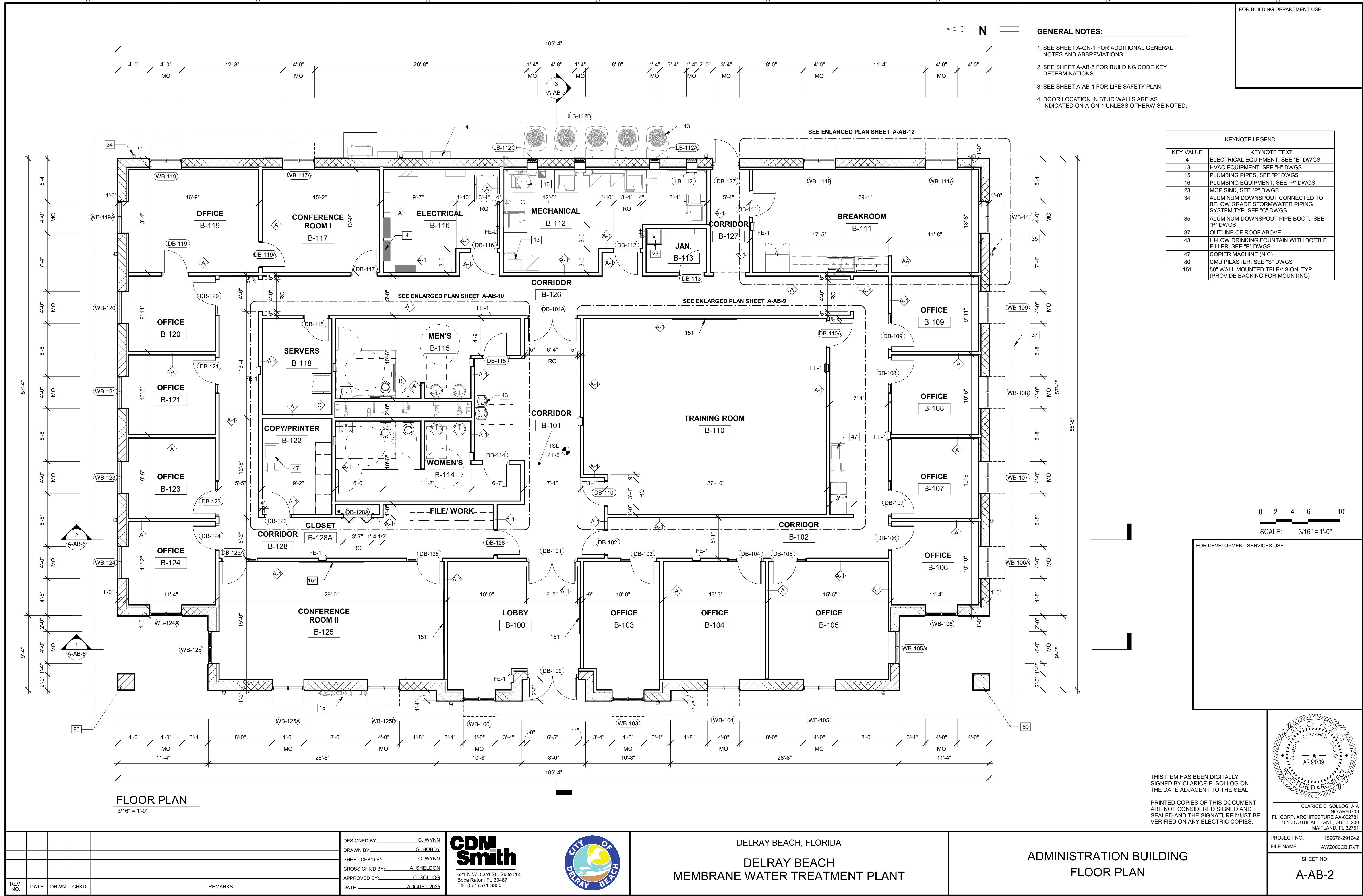


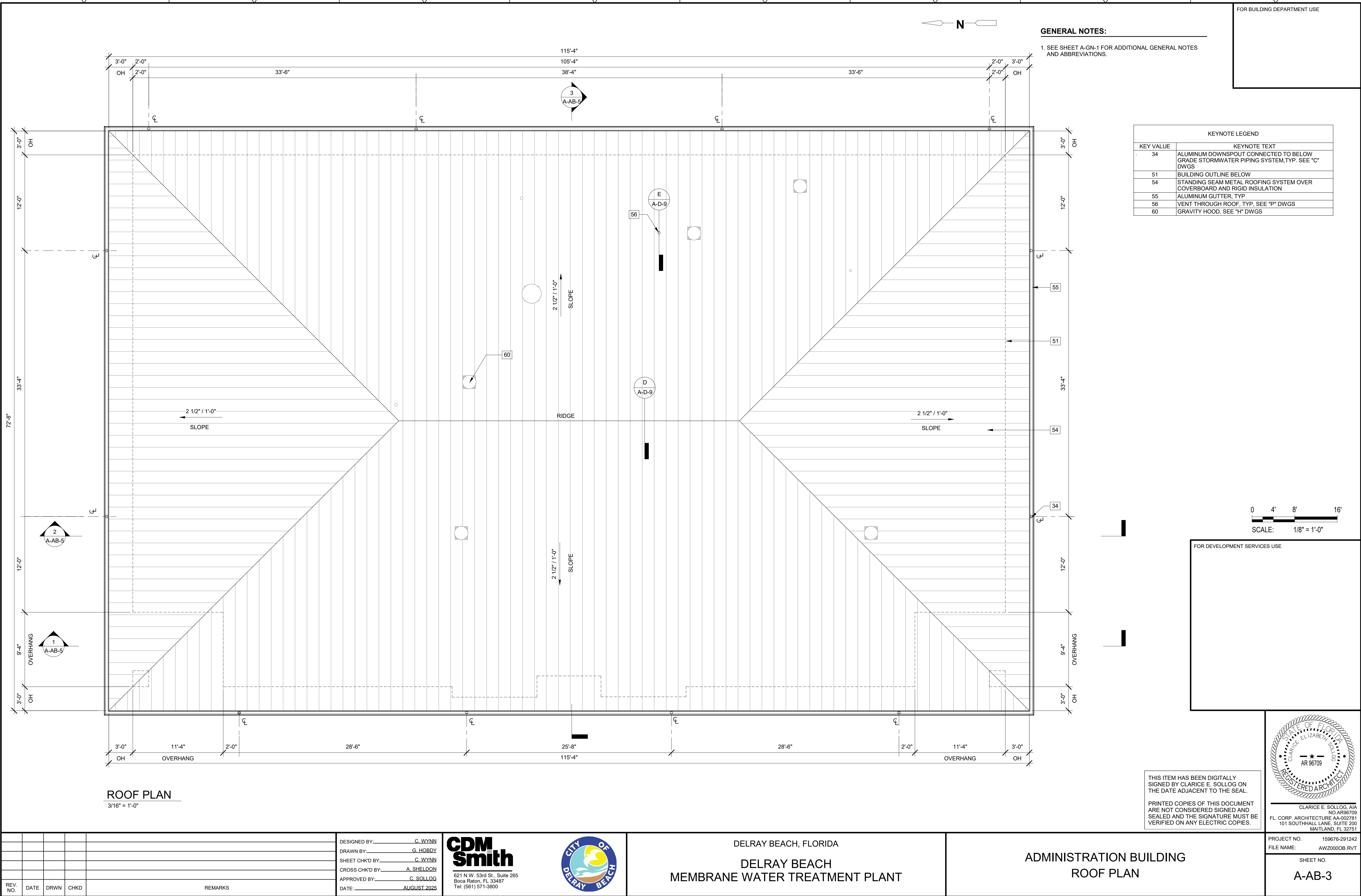
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
ENLARGED EXTERIOR ELEVATIONS III

ISSUED FOR PERMITTING







Architectural elevation diagram showing building height and ridge height. The diagram illustrates a building's height relative to the ground level (TSL) and the ridge height (RIDGE). The building's height is 37.54, and the ridge height is 41.32. The diagram also shows the building's footprint and its height above the ground level (TOM).

RIDGE
41.32

BUILDING HEIGHT
37.54

TOM
32.84

TSL
21.50

16'-1"

4

19'-10"

2'-0"

7'-4"

2'-0"

4'-8"

2'-0"

MO

WEST ELEVATION

This architectural elevation drawing illustrates the height of a building structure relative to a baseline. The vertical axis is marked with horizontal lines and height dimensions in feet and inches. The top dimension is labeled RIDGE at 41.32. The middle dimension is labeled BUILDING HEIGHT at 37.54. The bottom dimension is labeled TSL at 31.50. The structure itself has a height of 16'-1". To the right, a detailed view shows a section of the building with various components labeled with callout numbers: 54, 55, 78, 56, MO, and RJ. Arrows point from these callout numbers to specific parts of the building's exterior and interior features.

35

3/16" = 1'-0"

RIDGE 41.32

BUILDING HEIGHT 37.54

TOM 32.84

16'-1"

19'-10"

8'-6"

2'-0"

7'-4"

MO

2'-0"

13

14

4

34

54

55

RJ

RJ

TSI

4

NORTH

3/16" = 1'-0"

RIDGE
41.32

BUILDING HEIGHT
37.54

TOM
32.84

16'-1"

19'-10"

8'-6"

2'-0"

7'-4"

MO 34

1"

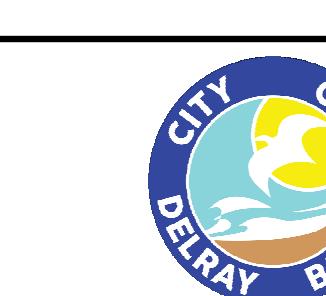
Detailed description: This is an architectural elevation drawing of a building. The drawing shows a vertical line with various dimensions marked along it. At the top, a north arrow points upwards. Below the north arrow, the text 'NORTH' is written in large capital letters, and '3/16" = 1'-0"' is written below it. To the left of the vertical line, there are three circular callouts with labels: 'RIDGE' with a value of '41.32', 'BUILDING HEIGHT' with a value of '37.54', and 'TOM' with a value of '32.84'. The vertical line itself has several dimension lines: '16'-1"' on the left, '19'-10"' in the middle, '8'-6"' on the right, '2'-0"' further down on the right, '7'-4"' on the far right, and '1"' at the bottom. A small box labeled 'MO 34' is located near the bottom right. An arrow points from the '34' part of the box to a specific point on the building's facade. The building's facade is shown with a gabled roof and several windows.

SOUTH ELEVATION

3/16" = 1'-0"

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	C. WYNN
DRAWN BY:	G. HOBDY
SHEET CHK'D BY:	C. WYNN
CROSS CHK'D BY:	A. SHELDON
APPROVED BY:	C. SOLLOG
DATE:	AUGUST 2025



DELRAY BEACH, FLORIDA

GENERAL NOTES:

1. SEE SHEET A-GN-1 FOR ADDITIONAL
GENERAL NOTES AND ABBREVIATIONS.

FOR BUILDING DEPARTMENT USE

ENLARGED SIGNAGE DETAIL

3/8" = 1'-0"

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
14	LIGHT FIXTURE, SEE "E" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
54	STANDING SEAM METAL ROOFING SYSTEM OVER COVERBOARD AND RIGID INSULATION
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP, SEE "P" DWGS
60	GRAVITY HOOD, SEE "H" DWGS
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
69	SUNSHADE ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLION. FINISH TO MATCH WINDOW FRAME
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
72	STOREFRONT DOOR AND FRAME, TYP
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
82	WALL MOUNTED ALUMINUM BUILDING SIGNAGE

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NO.AR96709
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101 SOUTHLAND LANE, SUITE 200

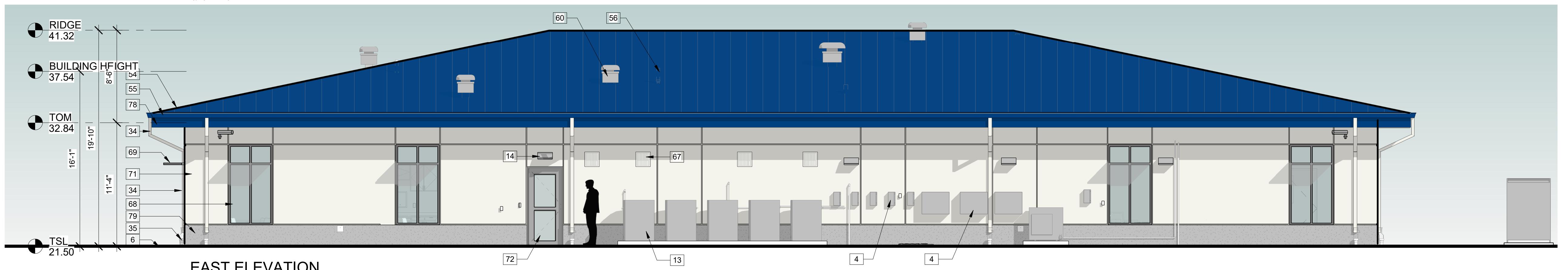
101 SOUTH PINE LANE, SUITE 200 MAITLAND, FL 32751	
PROJECT NO.	159676-291242
FILE NAME:	AWZ000OB.RVT
SHEET NO.	
A-AB-4	

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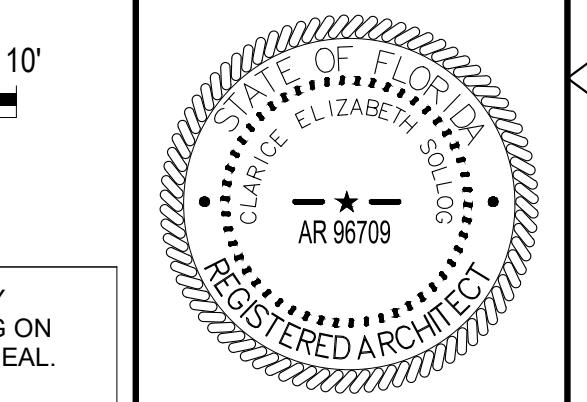


FOR BUILDING DEPARTMENT USE

ROOF	Centria 9926 'Arabian Blue': Standing Seam Mtl. Roof @ Admin. Bldg / Smooth Finish
FASCIA	Centria 9926 'Arabian Blue': Standing Seam Mtl. Mansard Roof @ Process Bldg / Smooth Finish
WINDOWS	Kawneer Windows 'Clear Anod.' Windows and Entry doors @ Admin. & Process Bldgs
RAILINGS	Industrial Alum. Guardrail 'Clr. Anod. Alum.': Site Product / Smooth Finish
COLUMNS	Industrial Structural Column @ Chem. Stor. Canopy: Match 'Centria' 9926 / Smooth Finish
WALLS	Sherwin Williams 7005 'Pure White': 7005: Stucco Bldg Walls and Site Wall color / Textured Finish
TRIM/OTHER	PCI 117 'White': Precast Conc. Base @ Admin. & Process Bldgs Base material / Acid Etched Finish
SHUTTERS/AWINGS	Centria 9926 'Arabian Blue': Awnings @ Process Bldg / Smooth Finish
FENCE	Industrial Alum. Fence and Gate 'Black': Site Product / Smooth finish
OTHER	Glass Types (Guardian Ind.): Insulated / Impact Resistant 1. Clear / Low E 2. Clear / Low E / Translucent 3. Clear / Spandrel ("Surface - Black")



FOR DEVELOPMENT SERVICES USE



PROJECT NO. 159676-291242
FILE NAME: AW2000OB.RVT
SHEET NO. A-AB-4A

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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
4	ELECTRICAL EQUIPMENT, SEE "E" DWGS
6	FINISH GRADE, SEE "C" DWGS
13	HVAC EQUIPMENT, SEE "H" DWGS
14	LIGHT FIXTURE, SEE "E" DWGS
15	PLUMBING PIPES, SEE "P" DWGS
34	ALUMINUM DOWNSPOUT CONNECTED TO BELOW GRADE STORMWATER PIPING SYSTEM, TYP. SEE "C" DWGS
35	ALUMINUM DOWNSPOUT PIPE BOOT, SEE "P" DWGS
54	STANDING SEAM METAL ROOFING SYSTEM OVER COVERBOARD AND RIGID INSULATION
55	ALUMINUM GUTTER, TYP
56	VENT THROUGH ROOF, TYP. SEE "P" DWGS
60	GRAVITY HOOD, SEE "H" DWGS
67	ALUMINUM LOUVER, SEE SCHD
68	ALUMINUM WINDOW SYSTEM, SEE SCHD
69	SUNSHADE ATTACHED TO ALUMINUM WINDOW HORIZONTAL MULLION, FINISH TO MATCH WINDOW FRAME
70	ALUMINUM STOREFRONT ENTRANCE SYSTEM, SEE SCHD
71	3/4" STUCCO FINISH SYSTEM (PAINTED), TYP
72	STOREFRONT DOOR AND FRAME, TYP
75	VERTICAL STUCCO REVEAL, TYP
76	HORIZONTAL STUCCO REVEAL, TYP
78	ALUMINUM FASCIA PANEL WITH DRIP, TYP
79	ARCHITECTURAL PRECAST PANEL BASE, TYP
82	WALL MOUNTED ALUMINUM BUILDING SIGNAGE
83	CITY OF DELRAY BEACH WALL MOUNTED SEAL

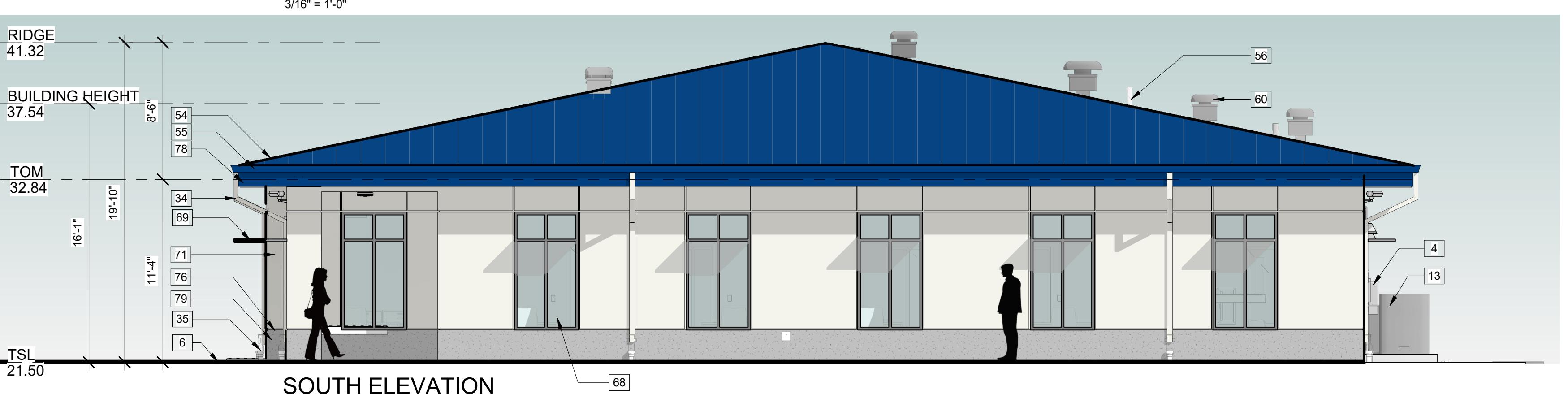


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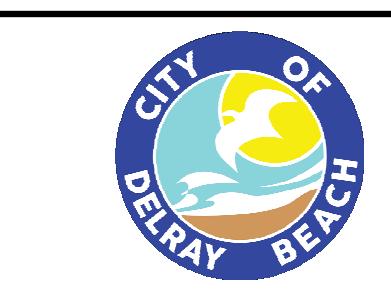
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FILE NAME: AW2000OB.RVT
SHEET NO.

A-AB-4A



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DRAWN BY: G. HOBDY
SHEET CHKD BY: C. WYNN
CROSS CHKD BY: A. SHELDON
APPROVED BY: C. SOLLOG
DATE: AUGUST 2025

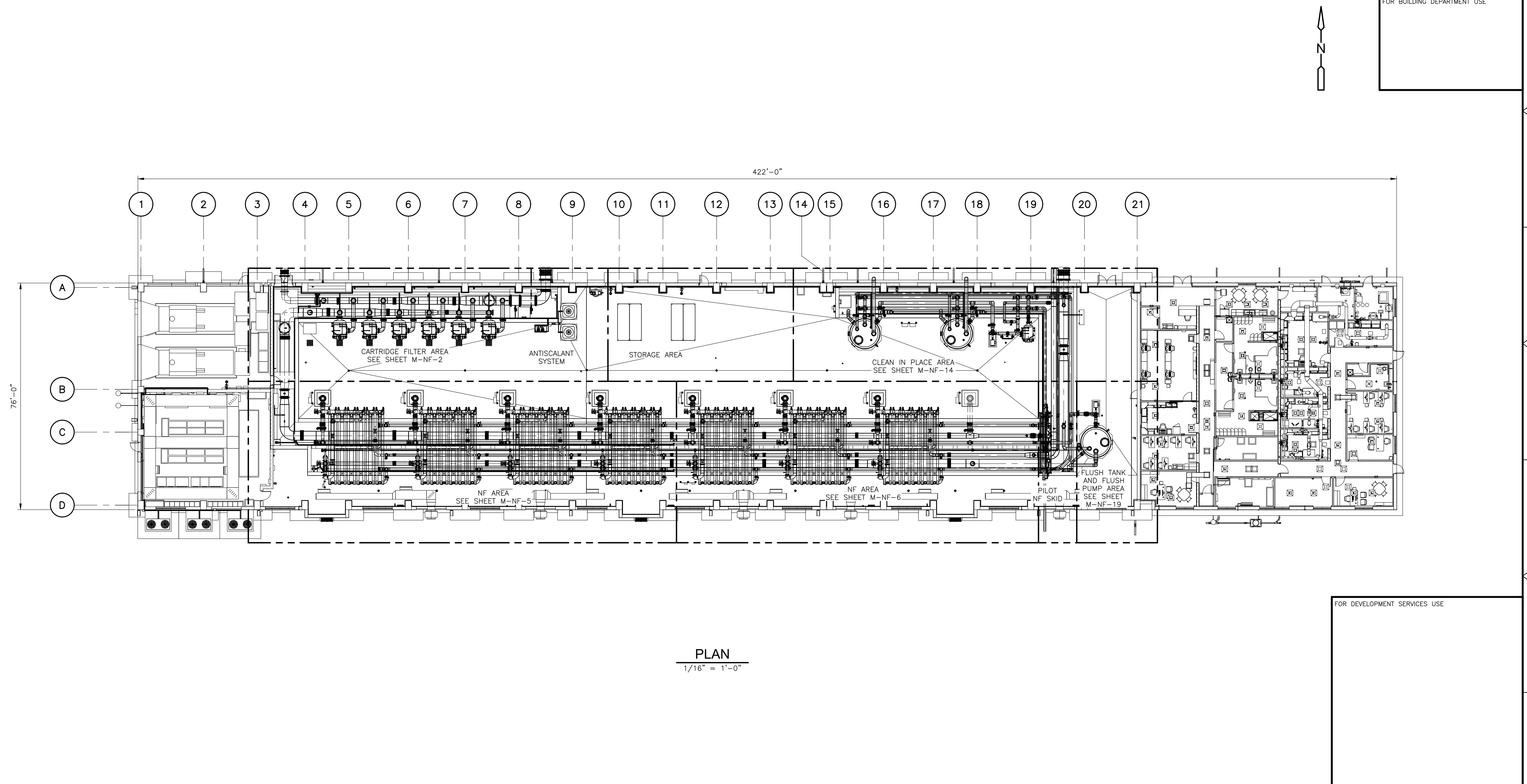
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Boca Raton, FL 33487
Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

REV. NO. DATE DRWN CHKD
REMARKS

ADMINISTRATION BUILDING
EXTERIOR ELEVATIONS



PLAN
 1/16" = 1'-0"

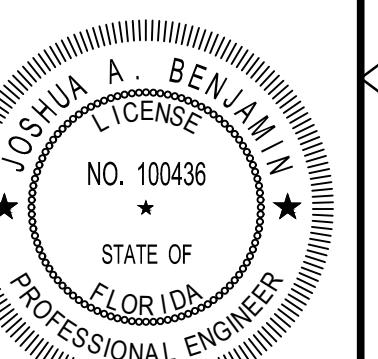
FOR BUILDING DEPARTMENT USE

FOR DEVELOPMENT SERVICES USE

1/16" = 1'- 0"
 8 4 0 8 16

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 PE NO. 100436

PROJECT NO. 159676-291242
 FILE NAME: M-NF-01.dwg
 SHEET NO.
 M-NF-1

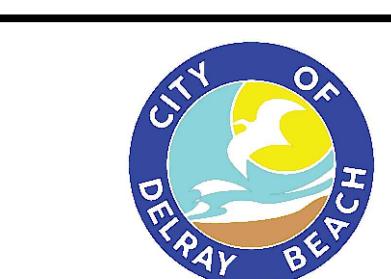


McCafferty Brinson
 consulting
 633 S. Andrews Ave., Suite 402
 Fort Lauderdale, FL 33301
 Tel: (954) 797-7100
 Florida Registry No. 26952

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. BENJAMIN
 DRAWN BY: D. RAMALES
 SHEET CHK'D BY: J. BENJAMIN
 CROSS CHK'D BY: F. BRINSON
 APPROVED BY: J. BENJAMIN
 DATE: AUGUST 2025

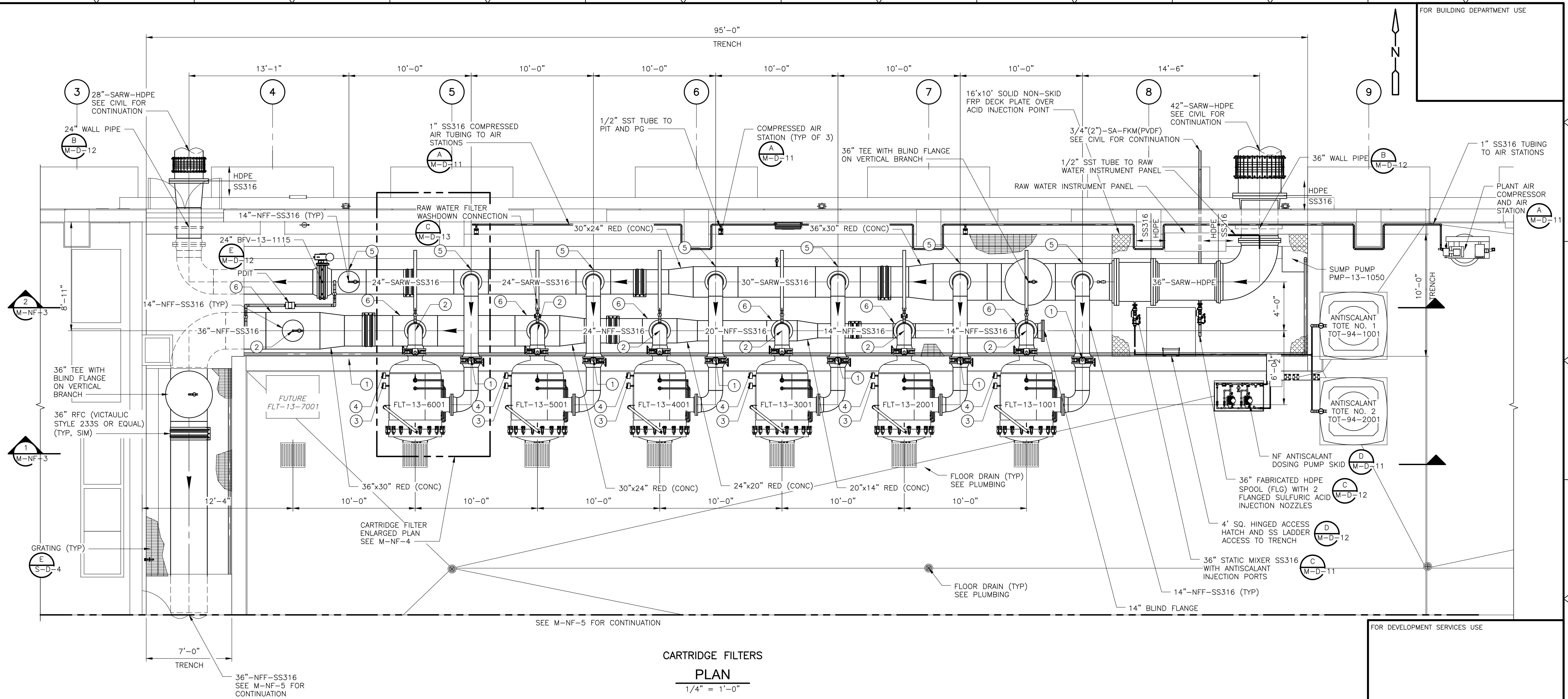
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DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
 OVERALL PLAN

ISSUED FOR PERMITTING



CARTRIDGE FILTER NO.	(1)	(2)	(3)	(4)	(5)	(6)
FLT-13-1001	14" BFV-13-1001	14" BFV-13-1002	PG-13-1001A	PG-13-1001B	36"x14" TEE	14" TEE
FLT-13-2001	14" BFV-13-2001	14" BFV-13-2002	PG-13-2001A	PG-13-2001B	36"x14" TEE	14" TEE
FLT-13-3001	14" BFV-13-3001	14" BFV-13-3002	PG-13-3001A	PG-13-3001B	30"x14" TEE	20"x14" TEE
FLT-13-4001	14" BFV-13-4001	14" BFV-13-4002	PG-13-4001A	PG-13-4001B	30"x14" TEE	24"x14" TEE
FLT-13-5001	14" BFV-13-5001	14" BFV-13-5002	PG-13-5001A	PG-13-5001B	24"x14" TEE	30"x14" TEE
FLT-13-6001	14" BFV-13-6001	14" BFV-13-6002	PG-13-6001A	PG-13-6001B	24"x14" TEE	30"x14" TEE
FLT-13-7001	14" BFV-13-7001	36"x14" TEE WITH BLIND FLANGE	PG-13-7001A	PG-13-7001B	24"x14" TEE WITH BLIND FLANGE	36"x14" TEE

NOTE:

- JOINTS FOR FIELD ASSEMBLY OF LARGE DIAMETER FABRICATED TRENCH HEADER SUBASSEMBLIES SHALL BE PROVIDED AT LOCATIONS TO FACILITATE INSTALLATION AND ALLOW FOR EXPANSION AND DISASSEMBLY FOR REPAIRS AND SERVICING. CONTRACTOR SHALL SUBMIT DETAILED PIPE LAYOUT AND FABRICATION DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL.

McCAFFERTY BRINSON
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 633 S. Andrews Ave., Suite 402
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DESIGNED BY: J. BENJAMIN
 DRAWN BY: D. RAMALES
 SHEET CHK'D BY: J. BENJAMIN
 CROSS CHK'D BY: F. BRINSON
 APPROVED BY: J. BENJAMIN
 DATE: AUGUST 2025

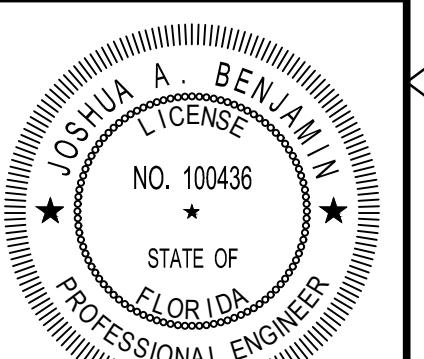
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DELRAY BEACH, FLORIDA
DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
CARTRIDGE FILTERS AREA
ENLARGED PLAN

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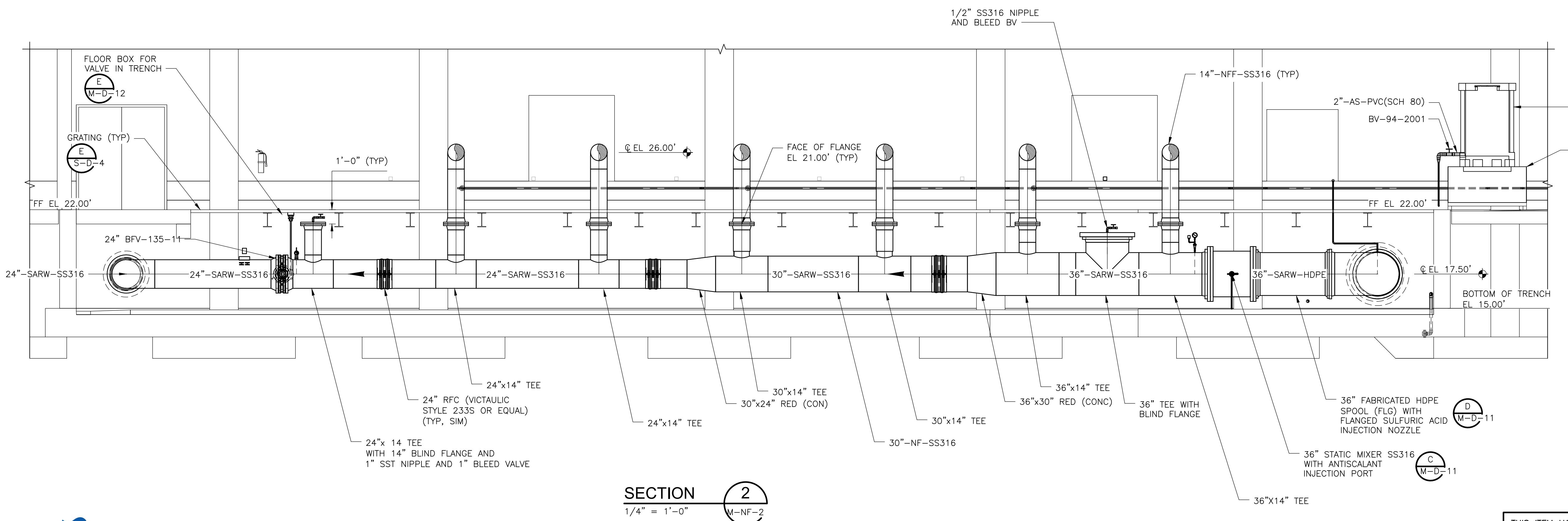
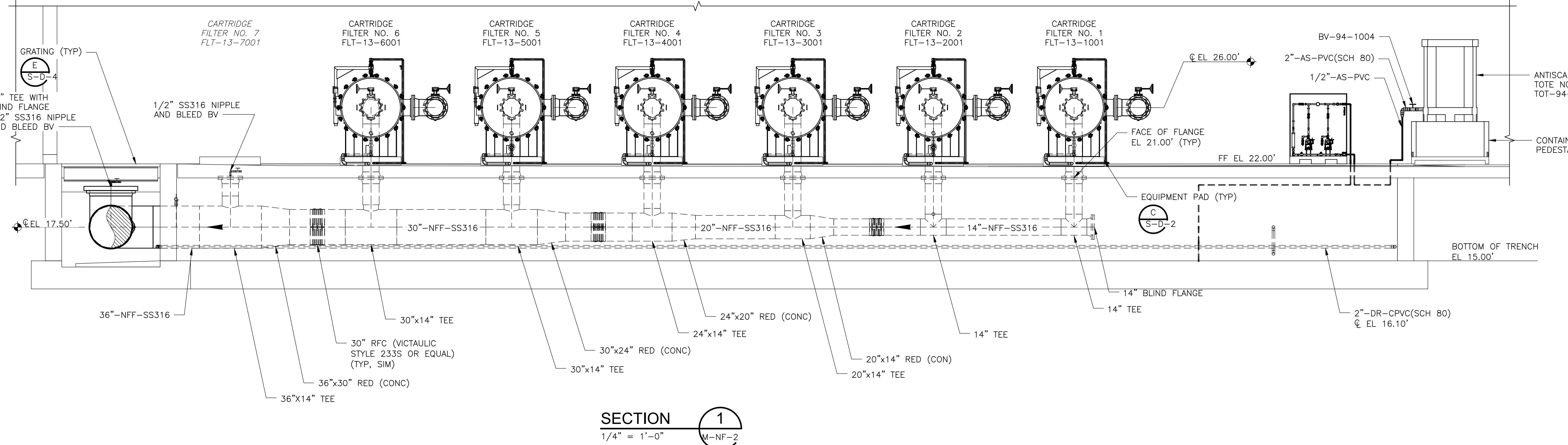


DATE:
 JOSHUA A. BENJAMIN
 PE NO. 100436

PROJECT NO. 159676-291242
 FILE NAME: M-NF-02.dwg
 SHEET NO.
 M-NF-2

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last saved by: RAMALESSDV time: 7/23/2025 11:10:45 AM
\\Users\\RamalesDV\\AppData\\Local\\Autodesk\\AutoCAD\\Plant 3D\\CollaborationCache\\291242\\Orthos\\DWGs\\M-NF-03.dwg



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NO. 100436

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Fort Lauderdale, FL 33301
Tel: (954) 797-7100
Florida Registry No. 26952

DESIGNED BY: _____ J. B.
DRAWN BY: _____ D. F.
SHEET CHK'D BY: _____ J. B.
CROSS CHK'D BY: _____ F. E.
APPROVED BY: _____ J. B.
DATE: _____ AUGUST



DELRAY BEACH, FLORIDA

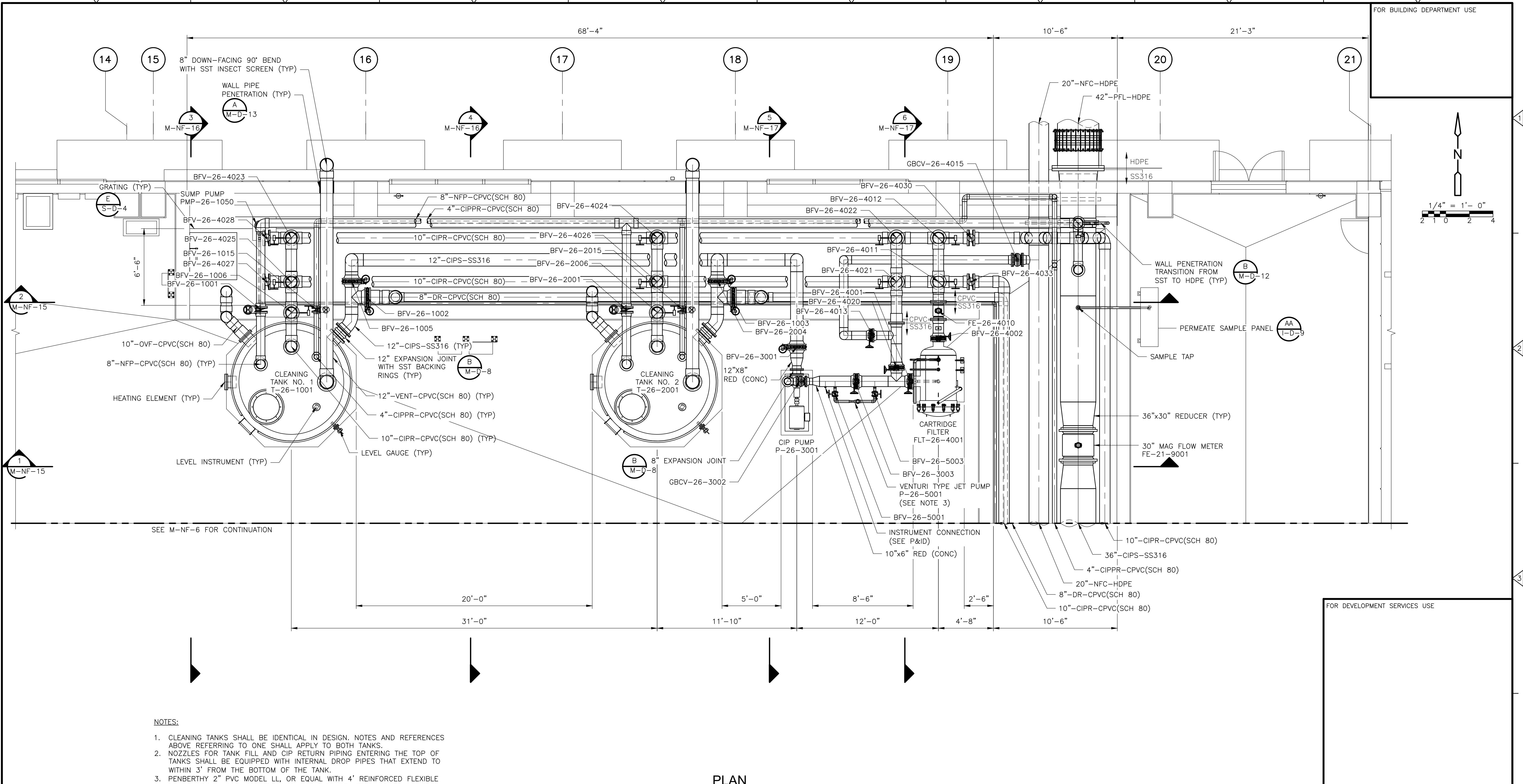
DELRAY BEACH

MEMBRANE WATER TREATMENT PLANT

MF MEMBRANE BUILDING CARTRIDGE FILTERS AREA SECTIONS

PROJECT NO. 159676-291242
FILE NAME: M-NF-03.dwg
SHEET NO.
M-NF-3

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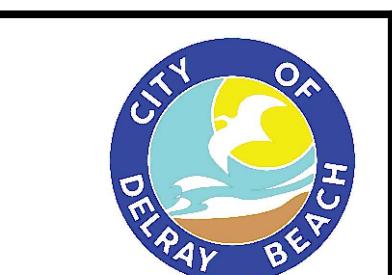


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REV. NO.	DATE	DRWN	CHKD
REMARKS			

DESIGNED BY: J. BENJAMIN
 DRAWN BY: D. RAMALES
 SHEET CHK'D BY: J. BENJAMIN
 CROSS CHK'D BY: F. BRINSON
 APPROVED BY: J. BENJAMIN
 DATE: AUGUST 2025

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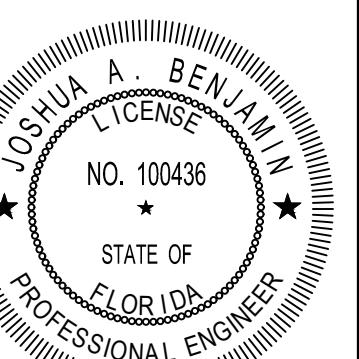


DELRAY BEACH, FLORIDA
DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
 CLEAN IN PLACE AREA
 PLAN

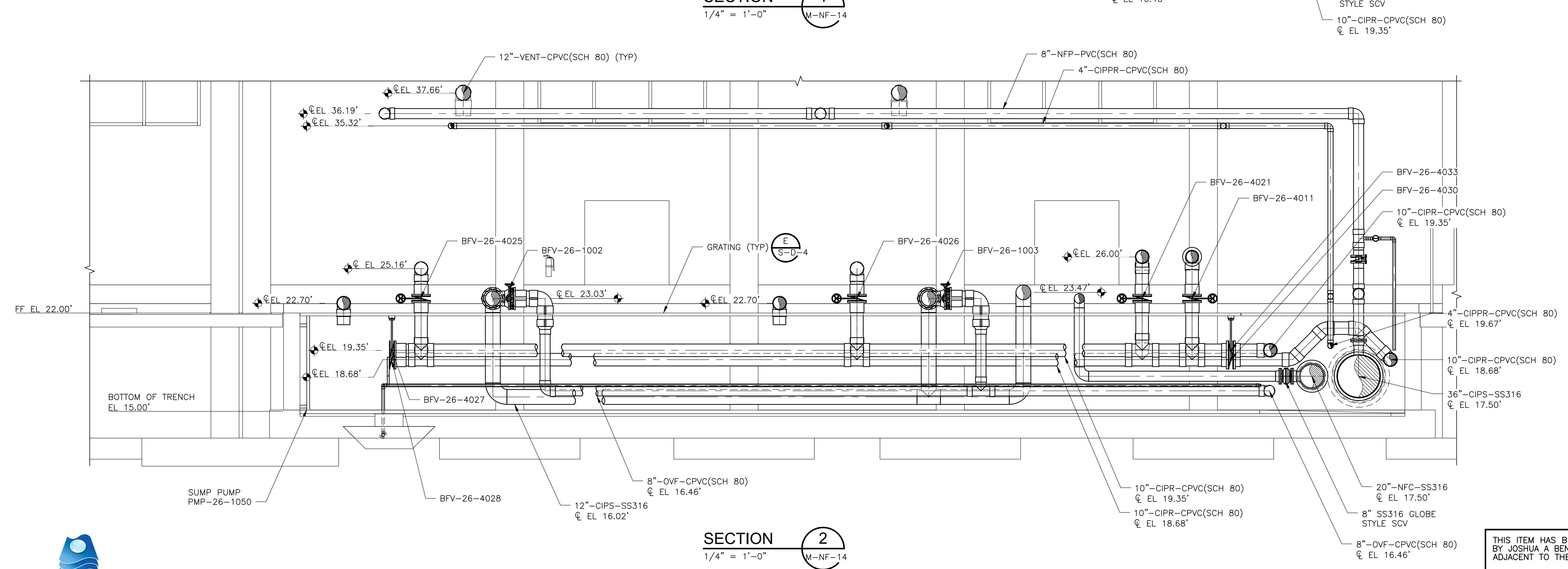
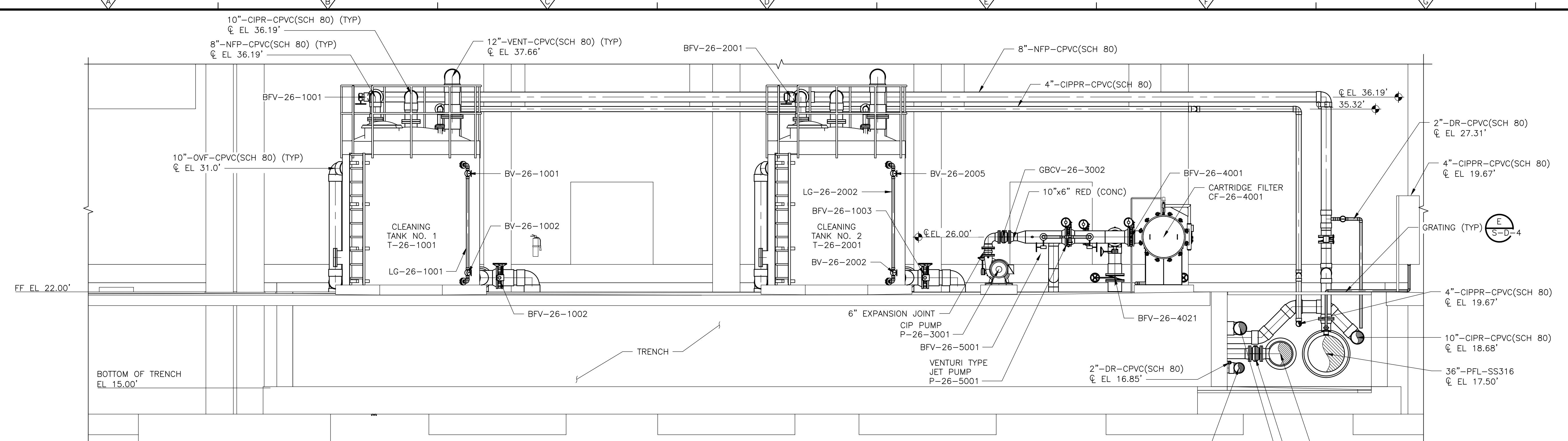
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M-NF-14



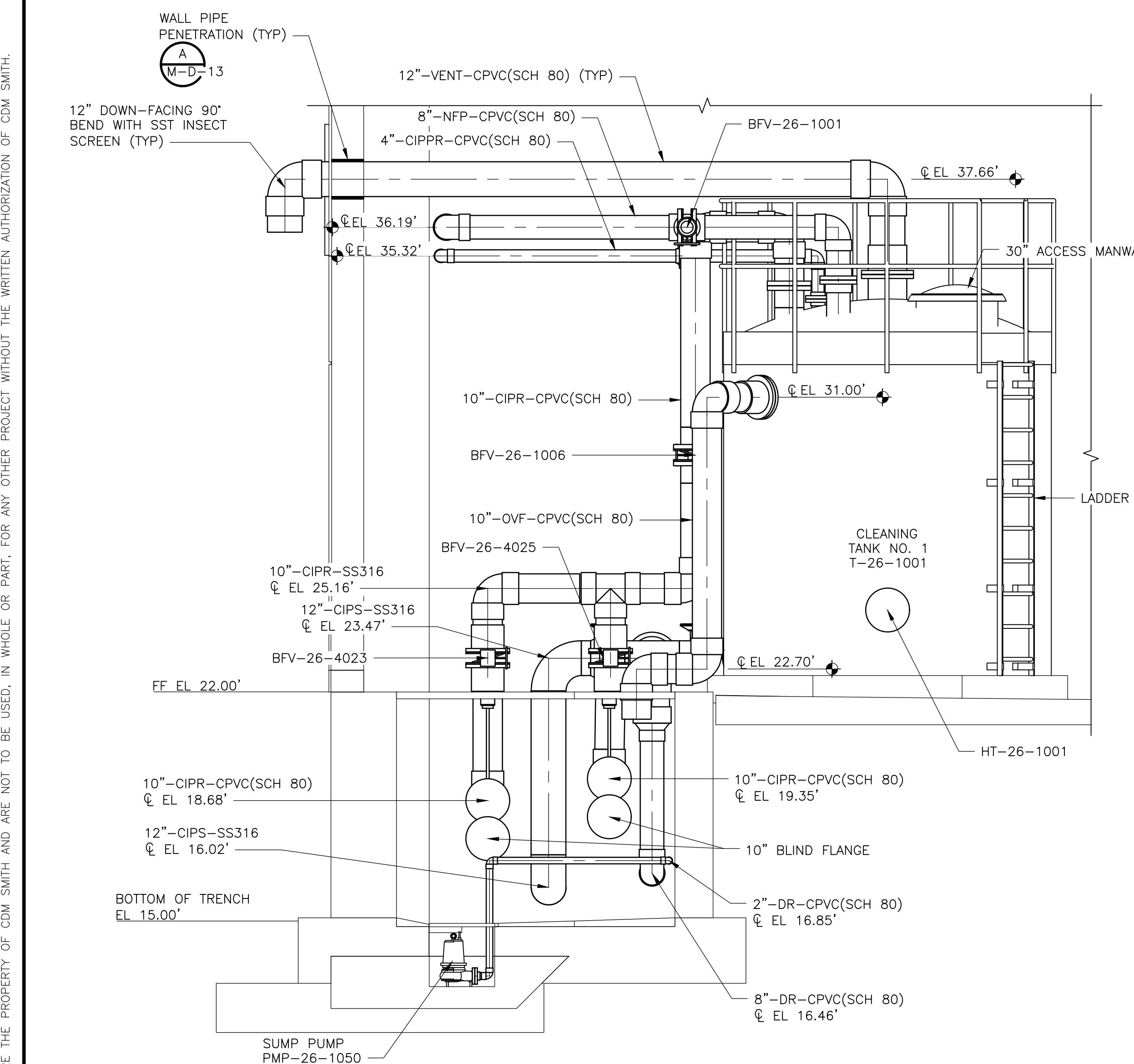
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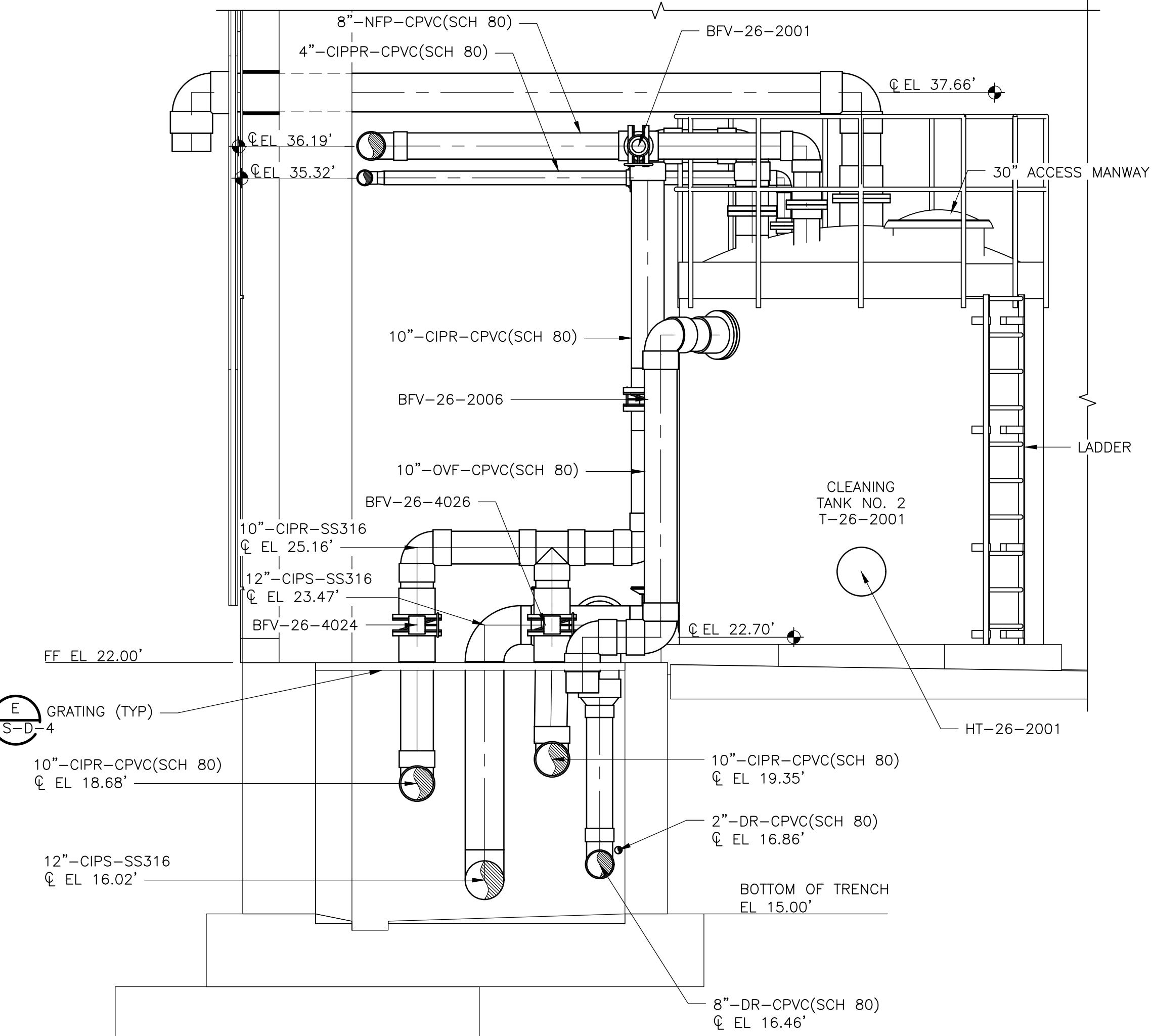
BUILDING E AREA S 	PROJECT NO. 159676-291242 FILE NAME: M-NF-15.dwg
SHEET NO. M-NF-15	

PROJECT NO. 159676-291242
FILE NAME: M-NF-15.dwg
SHEET NO.
M-NF-15

ISSUED FOR PERMITTING



SECTION
3
3/8" = 1'-0"
M-NF-14

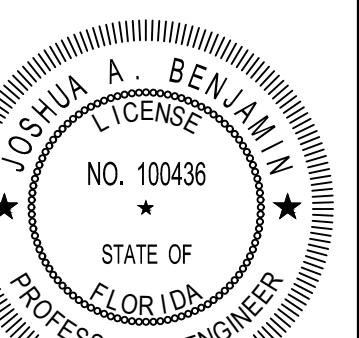


SECTION
4
3/8" = 1'-0"
M-NF-14

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PROJECT NO. 15967-291242
 FILE NAME: M-NF-16.dwg
 SHEET NO.
 M-NF-16



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 Fort Lauderdale, FL 33301
 Tel: (954) 797-7100
 Florida Registry No. 26952

REV. NO.	DATE	DRWN	CHKD
REMARKS			

DESIGNED BY: J. BENJAMIN
 DRAWN BY: D. RAMALES
 SHEET CHK'D BY: J. BENJAMIN
 CROSS CHK'D BY: F. BRINSON
 APPROVED BY: J. BENJAMIN
 DATE: AUGUST 2025

**CDM
Smith**

621 N.W. 53rd St., Suite 265
 Boca Raton, FL 33487
 Tel: (561) 571-3800

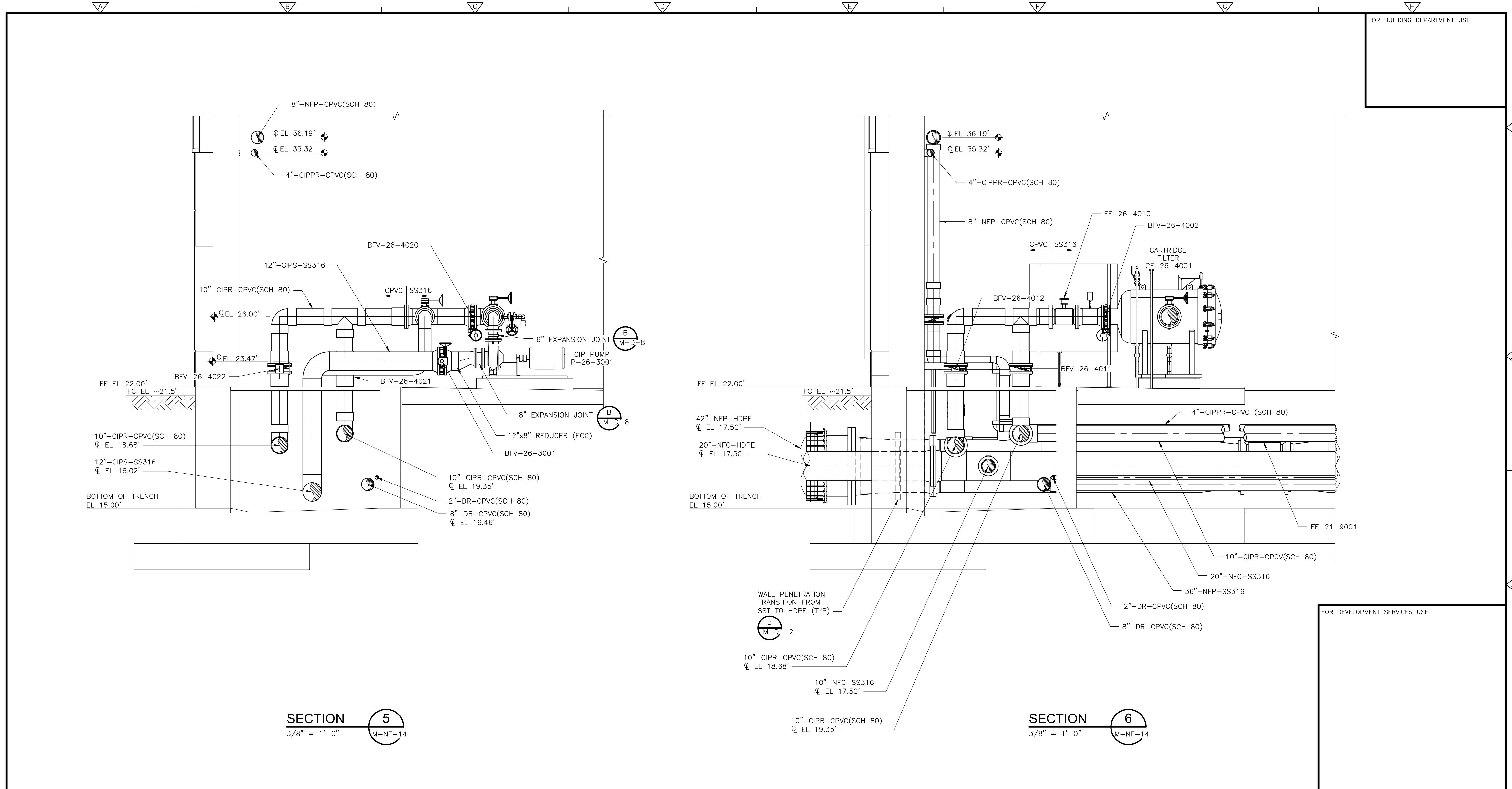


DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING
 CLEAN IN PLACE AREA
 SECTIONS II

FOR BUILDING DEPARTMENT USE

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 DRAWN BY: D. RAMALES
 SHEET CHK'D BY: J. BENJAMIN
 CROSS CHK'D BY: F. BRINSON
 APPROVED BY: J. BENJAMIN
 DATE: AUGUST 2025

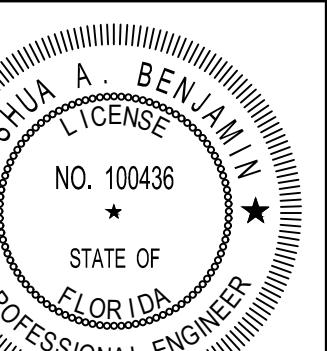
CDM Smith
 621 N.W. 53rd St., Suite 265
 Boca Raton, FL 33487
 Tel: (561) 571-3800



DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

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DATE:
 JOSHUA A BENJAMIN
 PE NO. 100436

PROJECT NO. 159676-291242
 FILE NAME: M-NF-17.dwg
 SHEET NO.
 M-NF-17

ISSUED FOR PERMITTING



McCAFFERTY BRINSON
consulting 633 S. Andrews Ave., Suite 400
Fort Lauderdale, FL 33301
Tel: (954) 797-7100
Florida Registry No. 26952

McCAFFERTY BRINSON
consulting 633 S. Andrews Ave., Suite 400
Fort Lauderdale, FL 33301
Tel: (954) 797-7100
Florida Registry No. 26952

| | | | |

Table 1. Summary of the main characteristics of the four groups of patients.

REV. 10/2018

REV. NO.	DATE	DRWN	CHKD
-------------	------	------	------

REV. 10/2018

DESIGNED BY _____
DRAWN BY: _____
SHEET CHK'D _____
CROSS CHK'D _____
APPROVED BY _____
DATE: _____



ISOMETRIC VIEW

3/8" = 1'-0"

DELRAY BEACH, FLORIDA

DELRAY BEACH

MEMBRANE WATER TREATMENT PLANT

NF MEMBRANE BUILDING CLEAN IN PLACE AREA PARTIAL ISOMETRIC VIEW

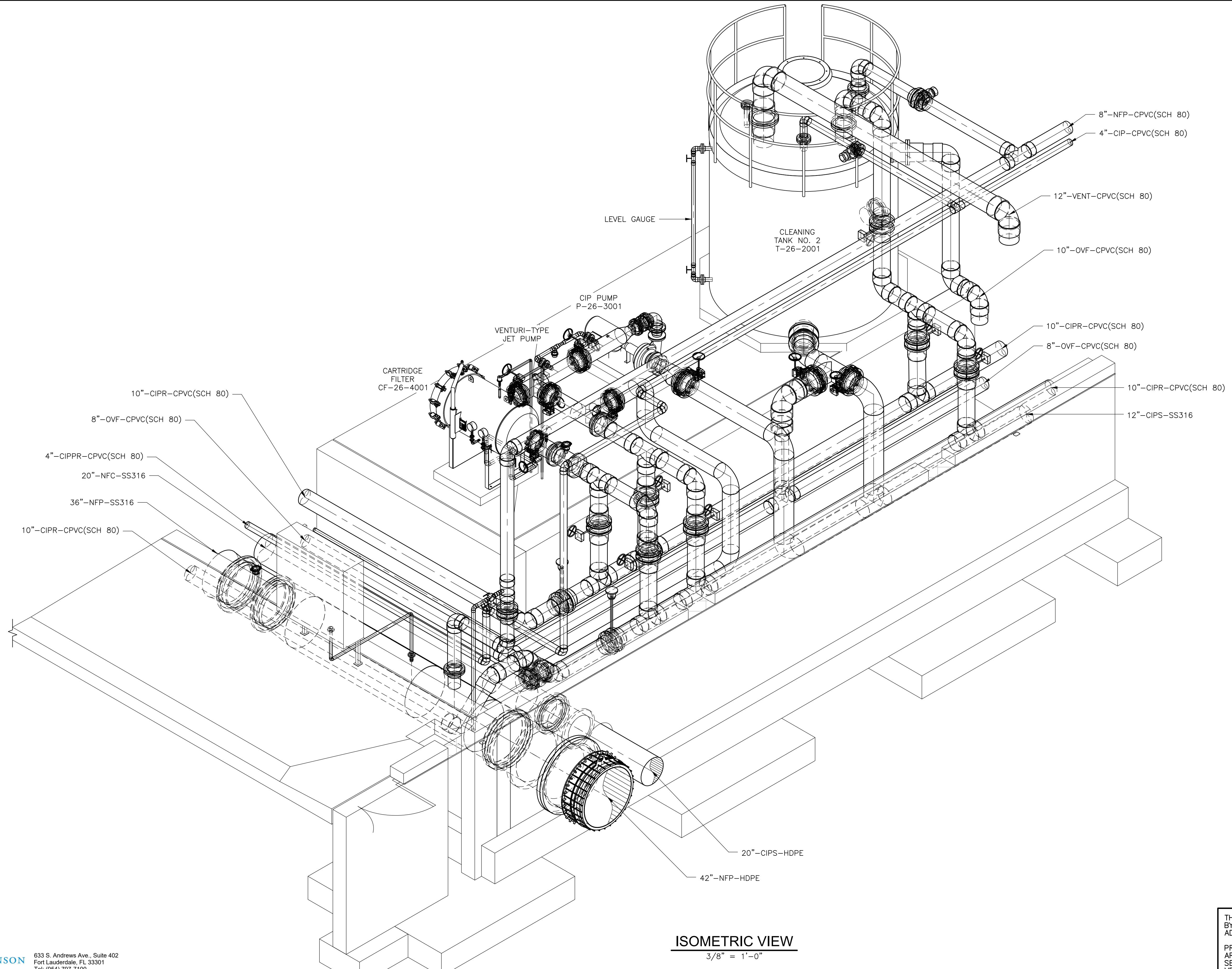
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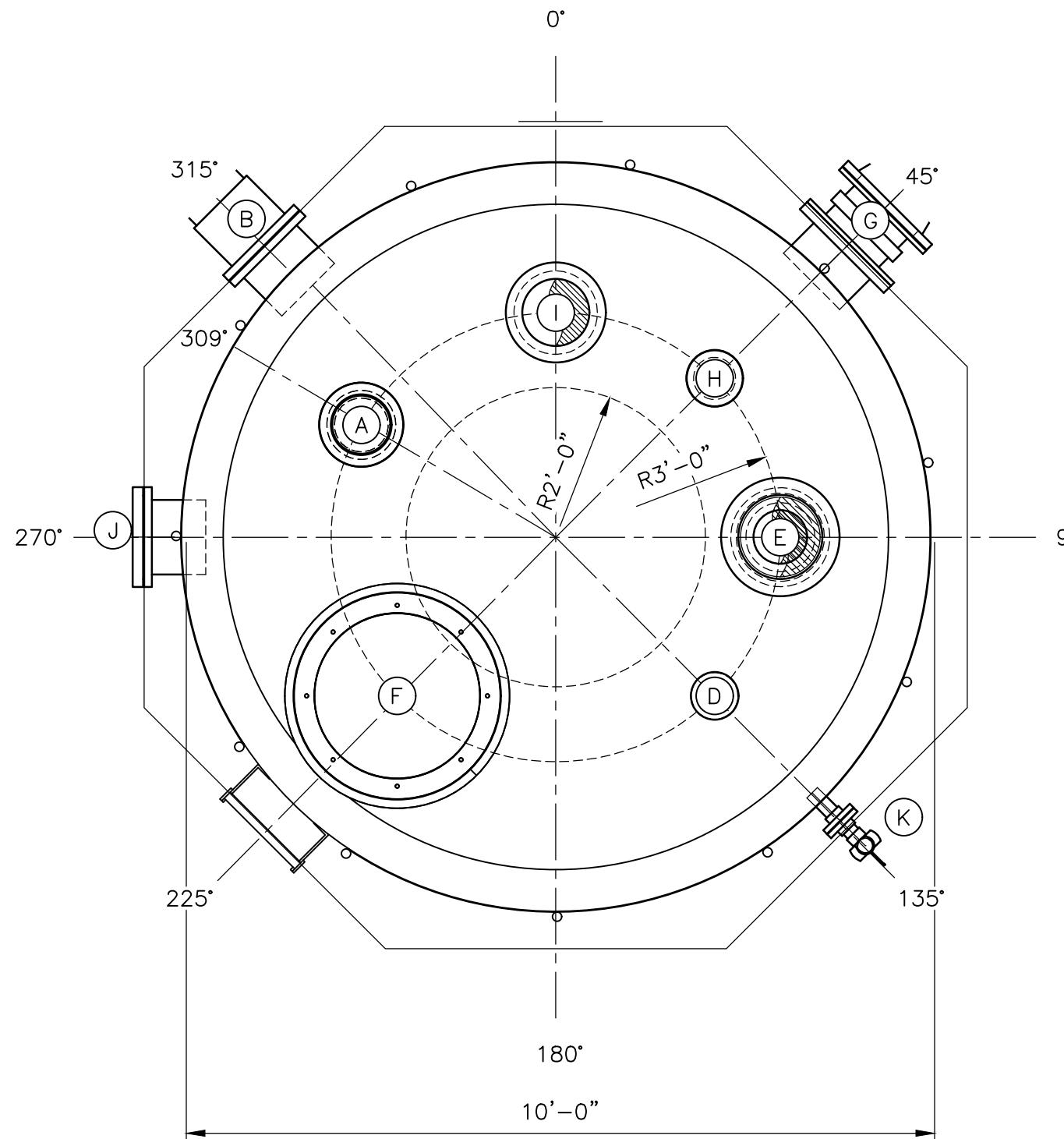
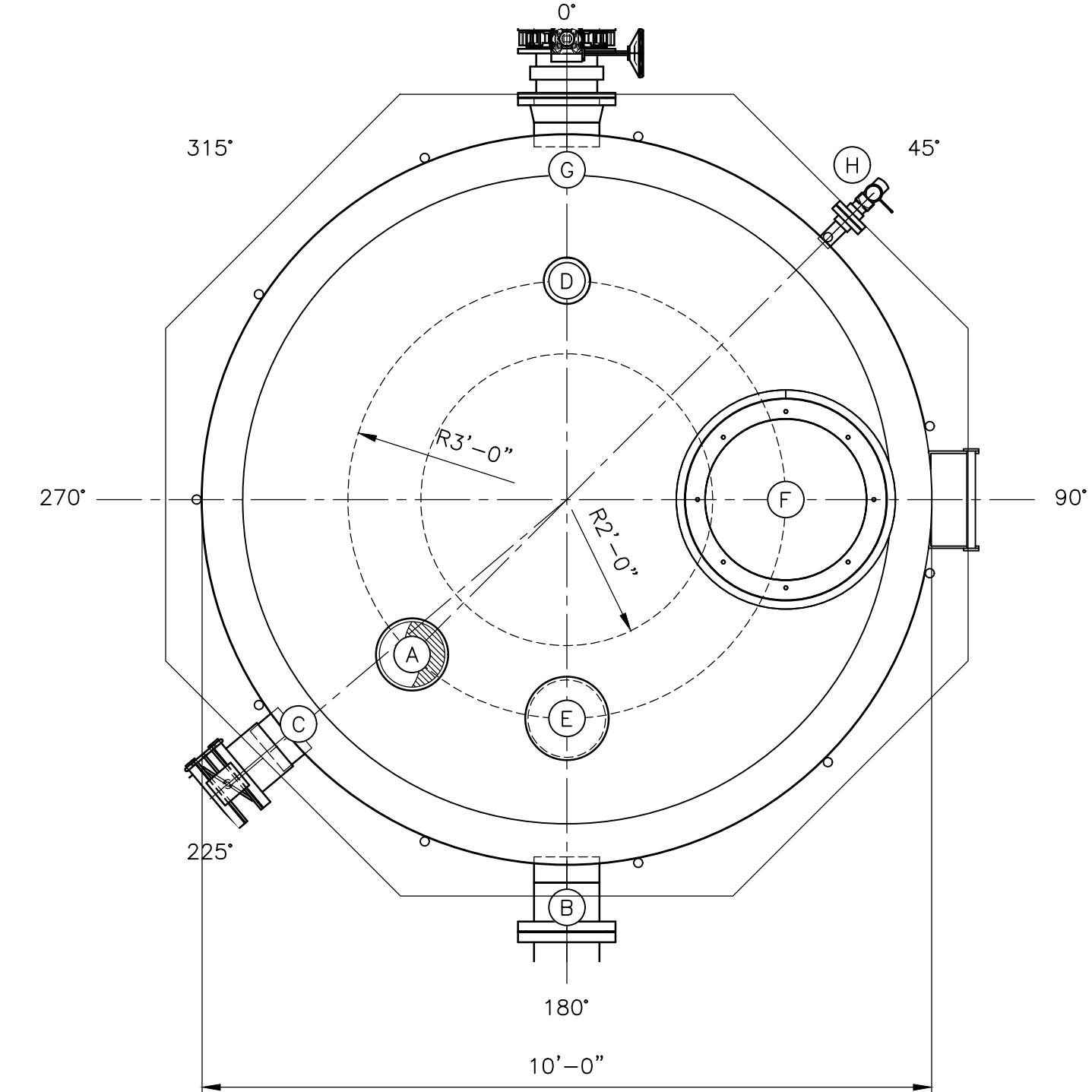
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PROJECT NO. 159676-291242
FILE NAME: M-NF-18.dwg

SHEET NO.
MNE 18

R BUILDING DEPARTMENT USE



CLEAN IN PLACE TANK
T-26-1001 & T-26-2001FLUSHING TANK
T-28-1001

CLEANING TANKS					
LOCATION	SERVICE	SIZE (INCHES)	DESCRIPTION	HEIGHT FROM BASE OF TANK TO CENTERLINE	ORIENTATION (DEGREES)
A	TANK FILL**	8	150# FLANGE	N/A	309
B	OVERFLOW	10	150# FLANGE	8'-6"	315
C	DRAIN	8	150# FLANGE	-	-
D	LEVEL SENSOR	3*	150# FLANGE	N/A	135
E	TANK VENT	12	150# FLANGE	N/A	90
F	MANWAY	30	150# FLANGE	N/A	225
G	FULL-DRAIN OUTLET TO CIP PUMP WITH EXPANSION JOINT	12	150# FLANGE	FLUSH WITH BASE	180
H	PERMEATE RETURN**	4	150# FLANGE	N/A	45
I	CIP RETURN**	10	150# FLANGE	N/A	120
J	IMMERSION HEATER	10	150# FLANGE	2'-0"	270
K	TANK LEVEL SITE TUBE	1	150# FLANGE	0'-3"; 8'-9"	135

* COORDINATE WITH SENSOR MFR REQUIREMENTS.

** NOZZLES FOR FILL/RETURN CONNECTIONS ENTERING THE TOP OF THE TANKS SHALL BE FURNISHED WITH INTERNAL DROP PIPES EXTENDING TO 4' FROM FLOOR OF TANK.

FLUSHING TANK					
LOCATION	SERVICE	SIZE (INCHES)	DESCRIPTION	HEIGHT FROM BASE OF TANK TO CENTERLINE	ORIENTATION (DEGREES)
A	TANK FILL**	10	150# FLANGE	N/A	225
B	OVERFLOW	10	150# FLANGE	8'-6"	180
C	DRAIN	8	150# FLANGE	FLUSH WITH BASE	230
D	LEVEL SENSOR	3*	150# FLANGE	N/A	0
E	TANK VENT	12	150# FLANGE	N/A	180
F	MANWAY	30	150# FLANGE	N/A	90
G	FULL-DRAIN OUTLET TO CIP PUMP WITH EXPANSION JOINT	10	150# FLANGE	FLUSH WITH BASE	0
H	TANK LEVEL SITE TUBE	1	150# FLANGE	0'-3"; 8'-9"	45

* COORDINATE WITH SENSOR MFR REQUIREMENTS.

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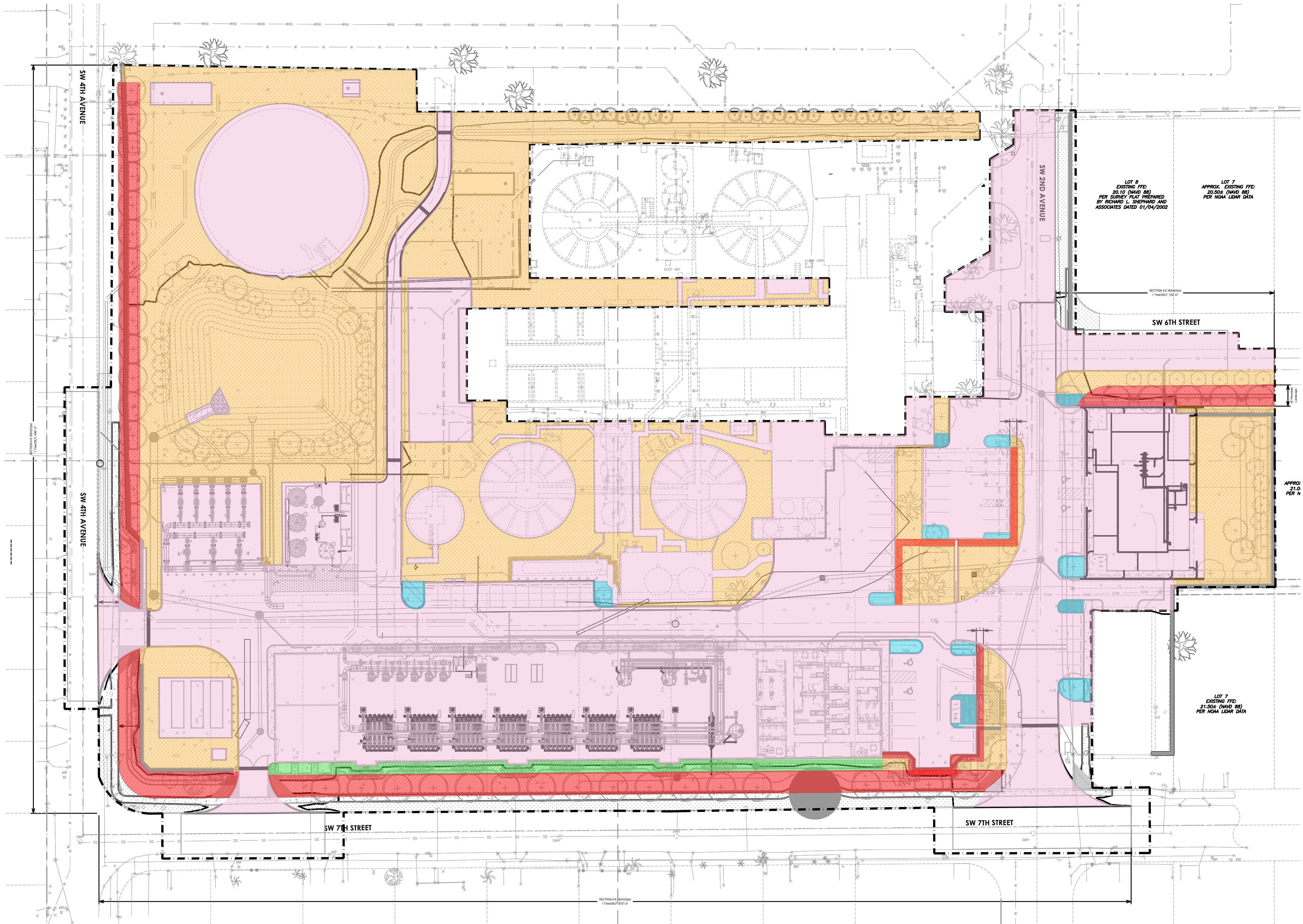
DATE:
JOSHUA A BENJAMIN
PE NO. 100436PROJECT NO. 159676-291242
FILE NAME: M-NF-22.dwg
SHEET NO.
M-NF-22

DESIGNED BY:	J. BENJAMIN
DRAWN BY:	D. RAMALES
HEET CHK'D BY:	J. BENJAMIN
CROSS CHK'D BY:	F. BRINSON
APPROVED BY:	J. BENJAMIN
DATE:	AUGUST 2025

REMARKS

CDM
Smith621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANTNF MEMBRANE BUILDING
CLEANING & FLUSHING TANK
NOZZLE SCHEDULES

NOTE: EXISTING SITE FEATURES AND APPURTENANCES SUCH AS, BUT NOT LIMITED TO EXISTING CONTOUR LINES, VAULTS, PIPING, WELL LOCATIONS, ETC. ARE SHOWN AND LABELED ON THE LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO DEMOLITION AND CIVIL PLANS FOR DISPOSITION OF SITE FEATURES OTHER THAN LANDSCAPE MATERIALS.



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PLAN
 1"=40'-0"

cma
 chen moore and associates

CDM
Smith
 621 N.W. 53rd St., Suite 265
 Boca Raton, FL 33487
 Tel: (561) 571-3800



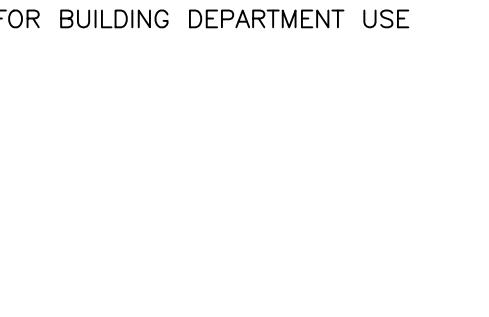
DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

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REV. NO. DATE DRWN CHKD

REMARKS

DESIGNED BY: AF/BB
 DRAWN BY: AF/BB
 SHEET CHK'D BY: EH
 CROSS CHK'D BY: JG
 APPROVED BY: EH
 DATE: AUGUST 2025



LEGEND

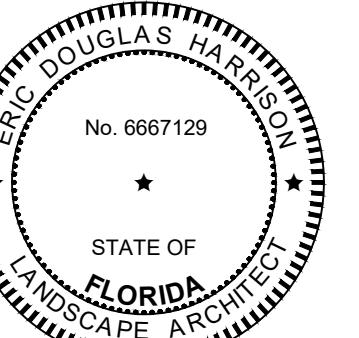
- Section 4.6.16 (H)(3)(a) - 5' Minimum landscape strip between the off-street parking area or other vehicular use area and the right-of-way.
- Section 4.6.16 (H)(3)(i) - One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers.
- Section 4.6.16 (H)(4)(a) - Foundation landscaping shall be required. This shall incorporate trees, shrubs and groundcovers with the minimum required specifications as set forth in 4.6.16(E). Multiple tiers of plant material should be utilized and thoughtfully designed to accomplish the goal of softening the building mass while adding vibrant color and textures.
- Impervious area
- Pervious area

*NOTE:
 Refer to sheet L-10 for landscape calculations.

FOR DEVELOPMENT SERVICES USE

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THE NAMED LICENSED LANDSCAPE
 ARCHITECT SHALL BE RESPONSIBLE FOR THIS
 SHEET IN ACCORDANCE WITH RULE
 61G10-11.011, F.A.C.



DATE:
 ERIC HARRISON
 LA NO. 6667129

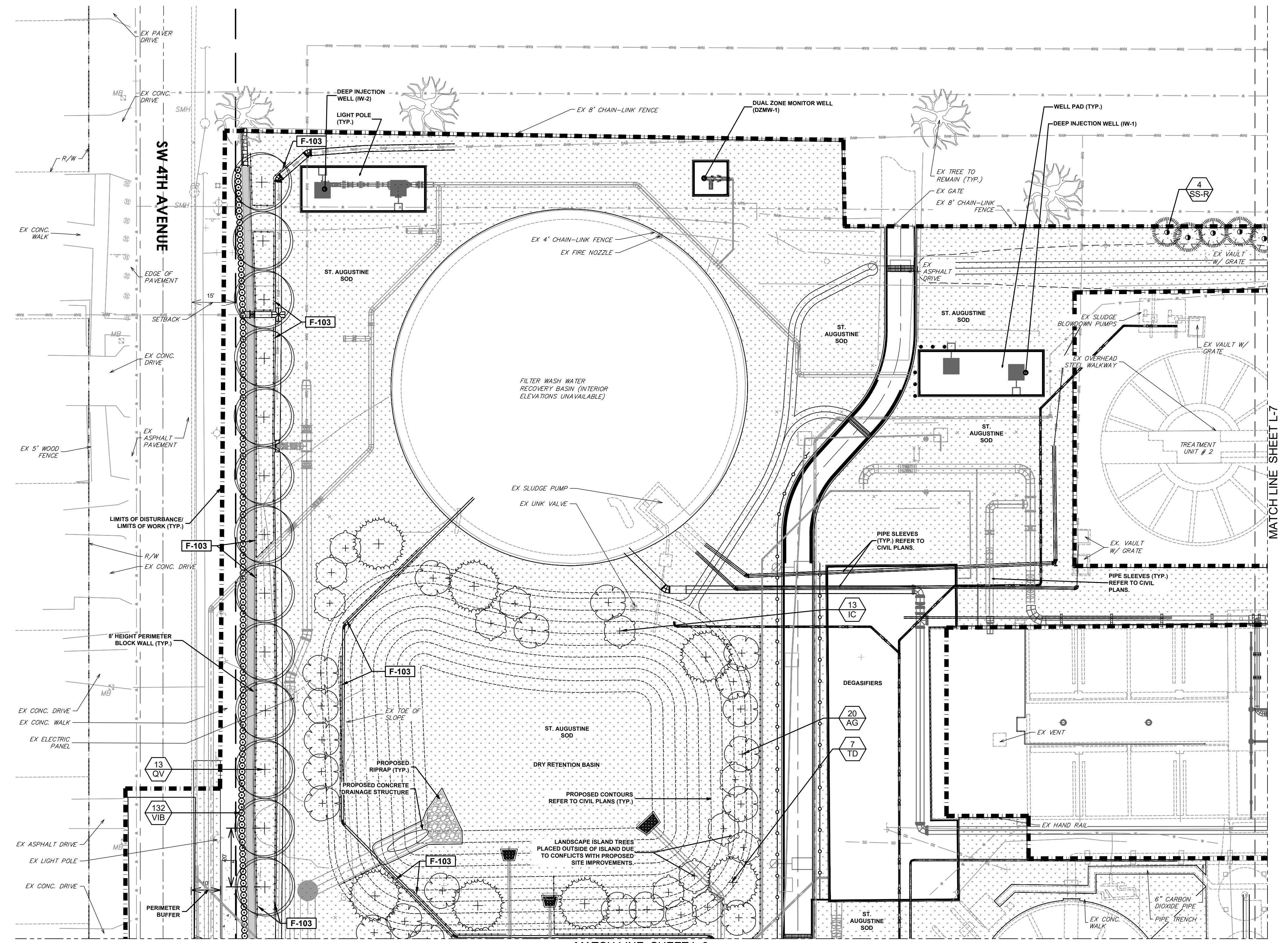
PROJECT NO. 159676-291242
 FILE NAME: L-4.DWG

SHEET NO.

L-4

LANDSCAPE AREA CALCULATIONS

NOTE: EXISTING SITE FEATURES AND APPURTENANCES SUCH AS, BUT NOT LIMITED EXISTING CONTOUR LINES, VENTS, PIPING, WELL LOCATIONS, ETC. ARE SHOWN AND LABELED ON THE LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO DEMOLITION AND CIVIL PLANS FOR DISPOSITION OF SITE FEATURES OTHER THAN LANDSCAPE MATERIALS.



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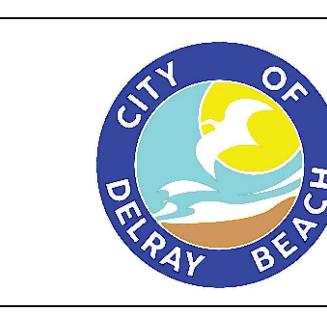
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PLAN
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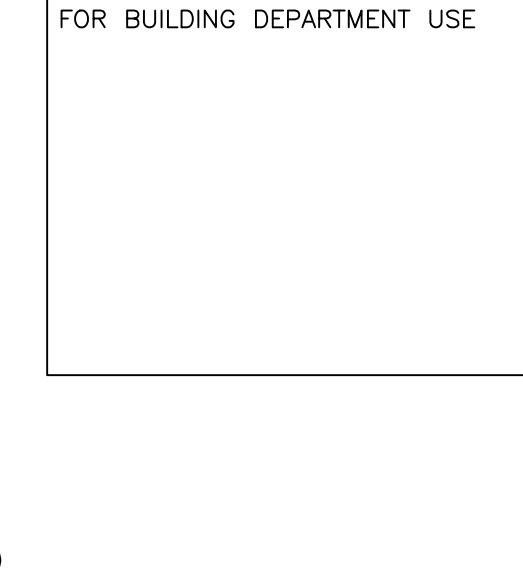
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Smith
DESIGNED BY: AF/BB
DRAWN BY: AF/BB
SHEET CHK'D BY: EH
CROSS CHK'D BY: JG
APPROVED BY: EH
DATE: AUGUST 2025
REV. NO. DATE DRWN CHKD
REMARKS



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West Palm Beach, FL 33401
561.746.6900
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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT



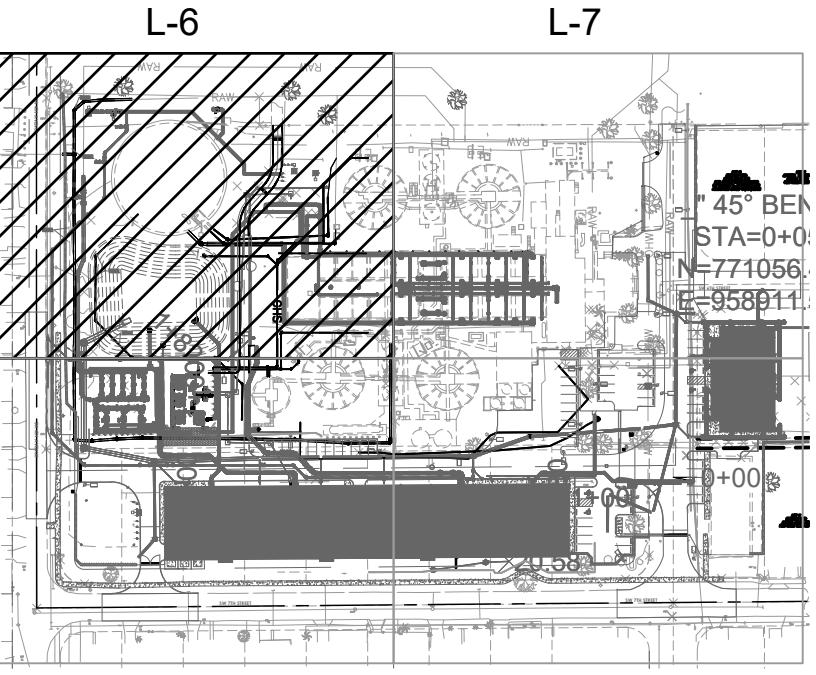
FOR BUILDING DEPARTMENT USE

PLANT LEGEND

SYMBOL	CODE	COMMON NAME
+	TD	Bald Cypress
+	IC	Dahoon Holly
+	CD	Green Buttonwood
+	BS	Gumbo Limbo
+	QV	Live Oak 'Cathedral'
+	AG	Pond Apple
+	MR	Simpson's Stopper
PALMS	PE	Alexander Palm
PALMS	PD	Date Palm
RELOCATED PALMS	SS-R	Cabbage Palmetto
SHRUBS	COA	Aunlie Lou Ti Plant
SHRUBS	VIB	Evergreen Sweet Viburnum
SHRUBS	COM	Mammy Croton
SHRUBS	CHR	Red Tip Coco Plum
SHRUB AREAS	HAP2	Firebush
SHRUB AREAS	DUE	Gold Mound Duranta
SHRUB AREAS	FIG	Green Island Ficus
GROUND COVERS	HED	Dune Sunflower
GROUND COVERS	ZAF	Florida Coontie
MULCH	MUL	MULCH
SOD	SOD	St. Augustine Grass

ROOT BARRIER SCHEDULE

CODE	DESCRIPTION	QTY
F-103	ROOT BARRIER	885 LF



KEY PLAN

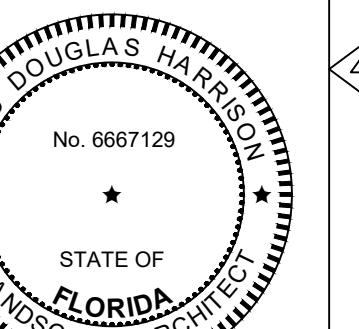
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 SHEET IN ACCORDANCE WITH RULE
 61G10-11.011, F.A.C.



DATE:
 ERIC HARRISON
 LA NO. 6667129

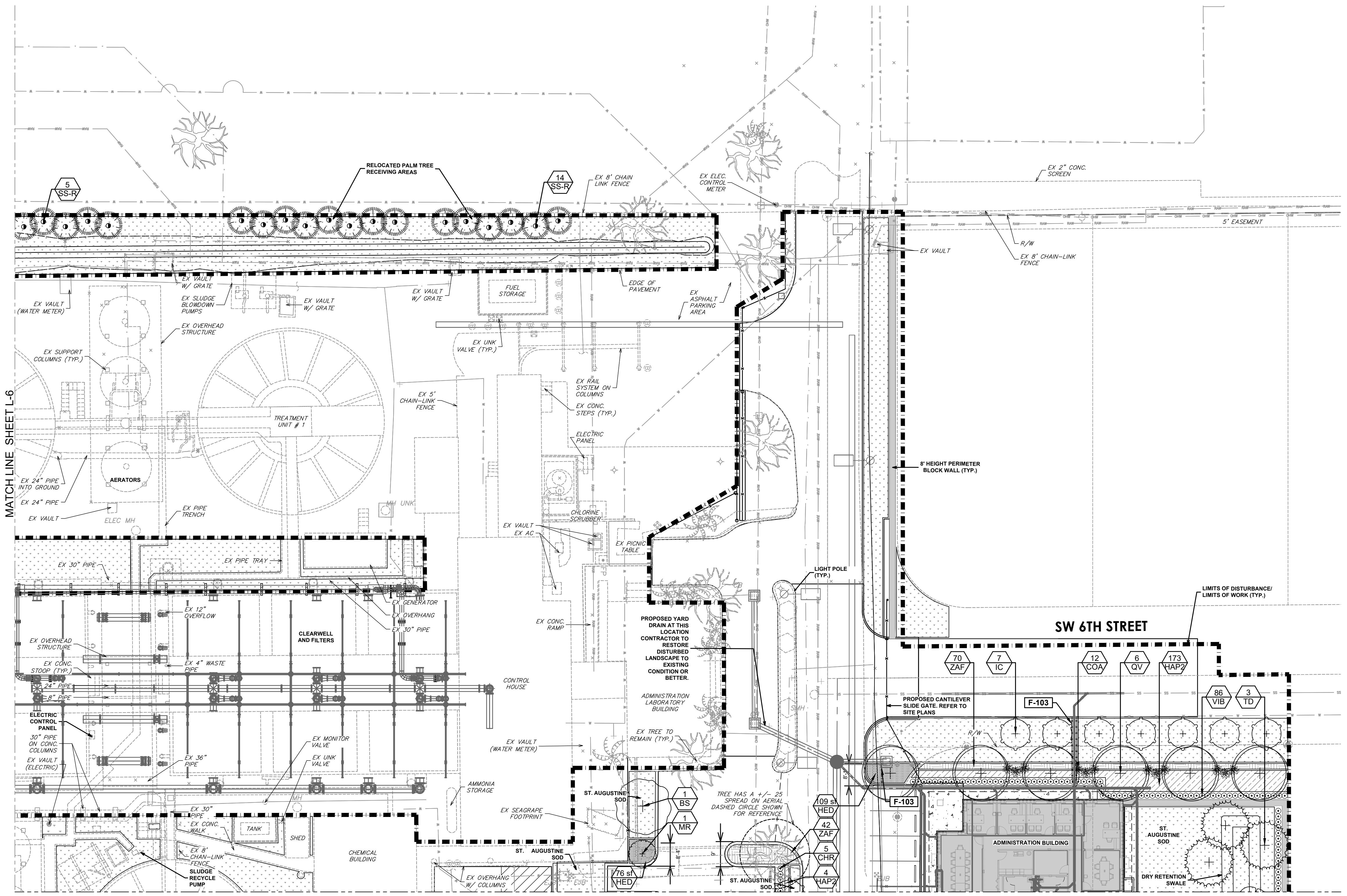
PROJECT NO. 159676-291242
 FILE NAME: L-6.DWG
 SHEET NO.
 L-6

ISSUED FOR PERMITTING

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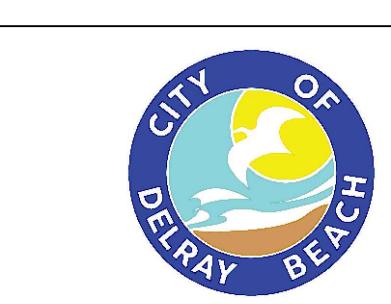
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DESIGNED BY:	AF/BB
DRAWN BY:	AF/BB
sheet CHK'D BY:	EH
CROSS CHK'D BY:	JG
APPROVED BY:	EH
DATE:	AUGUST 2025
REV. NO.	
DATE:	
DRWN:	
CHKD:	
REMARKS:	

CDM
Smith

621 N.W. 53rd St., Suite 265
Boca Raton, FL 33487
Tel: (561) 571-3800



PLAN
1"=40'-0"

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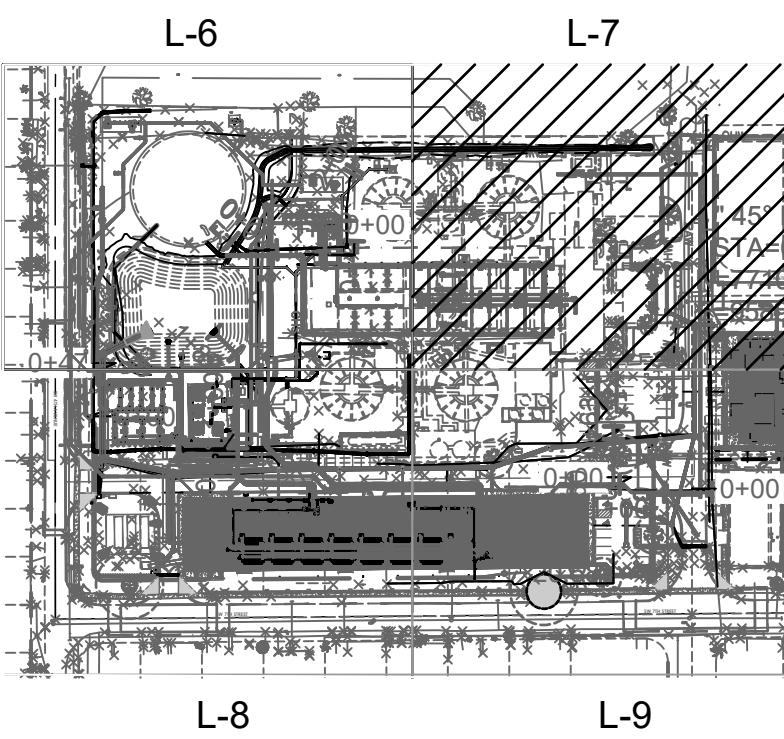
DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

PLANT LEGEND

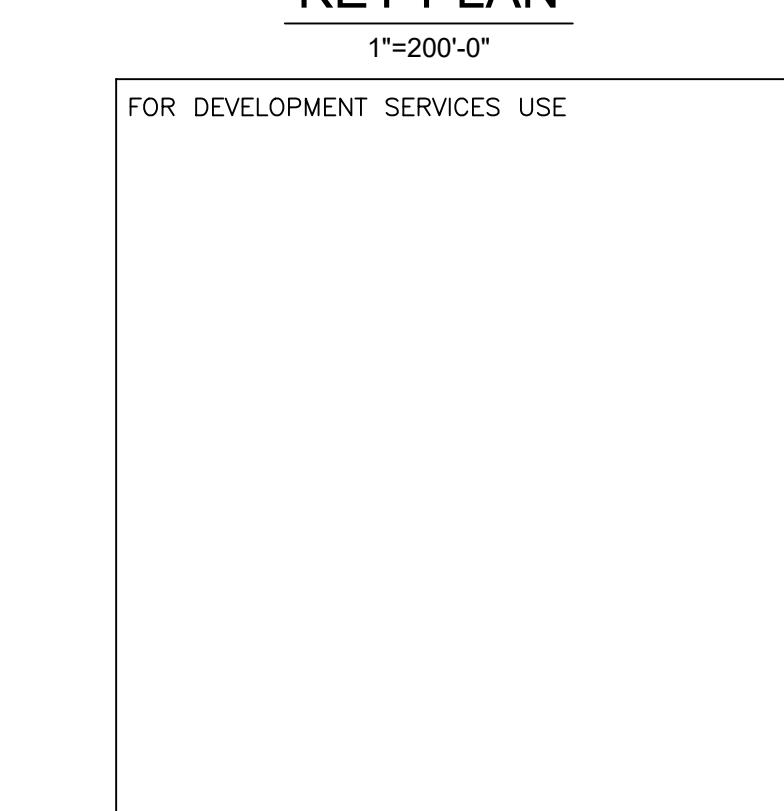
SYMBOL	CODE	COMMON NAME
TREES	TD	Bald Cypress
	IC	Dahoon Holly
	CD	Green Buttonwood
	BS	Gumbo Limbo
	QV	Live Oak 'Cathedral'
	AG	Pond Apple
	MR	Simpson's Stopper
PALMS	PE	Alexander Palm
	PD	Date Palm
RELOCATED PALMS	SS-R	Cabbage Palmetto
SHRUBS	COA	Auntie Lou Ti Plant
	VIB	Evergreen Sweet Viburnum
	COM	Mammy Croton
	CHR	Red Tip Coco Plum
SHRUB AREAS	HAP2	Firebush
	DUE	Gold Mound Duranta
	FIG	Green Island Ficus
GROUND COVERS	HED	Dune Sunflower
	ZAF	Florida Coontie
MULCH	MUL	MULCH
SOD	SOD	St. Augustine Grass

ROOT BARRIER SCHEDULE

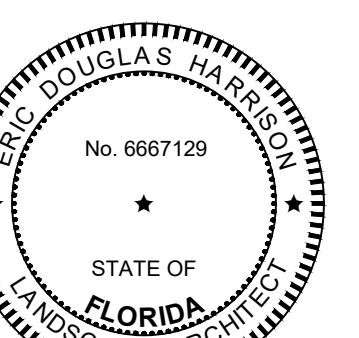
CODE	DESCRIPTION	QTY
F-103	ROOT BARRIER	54 LF



KEY PLAN



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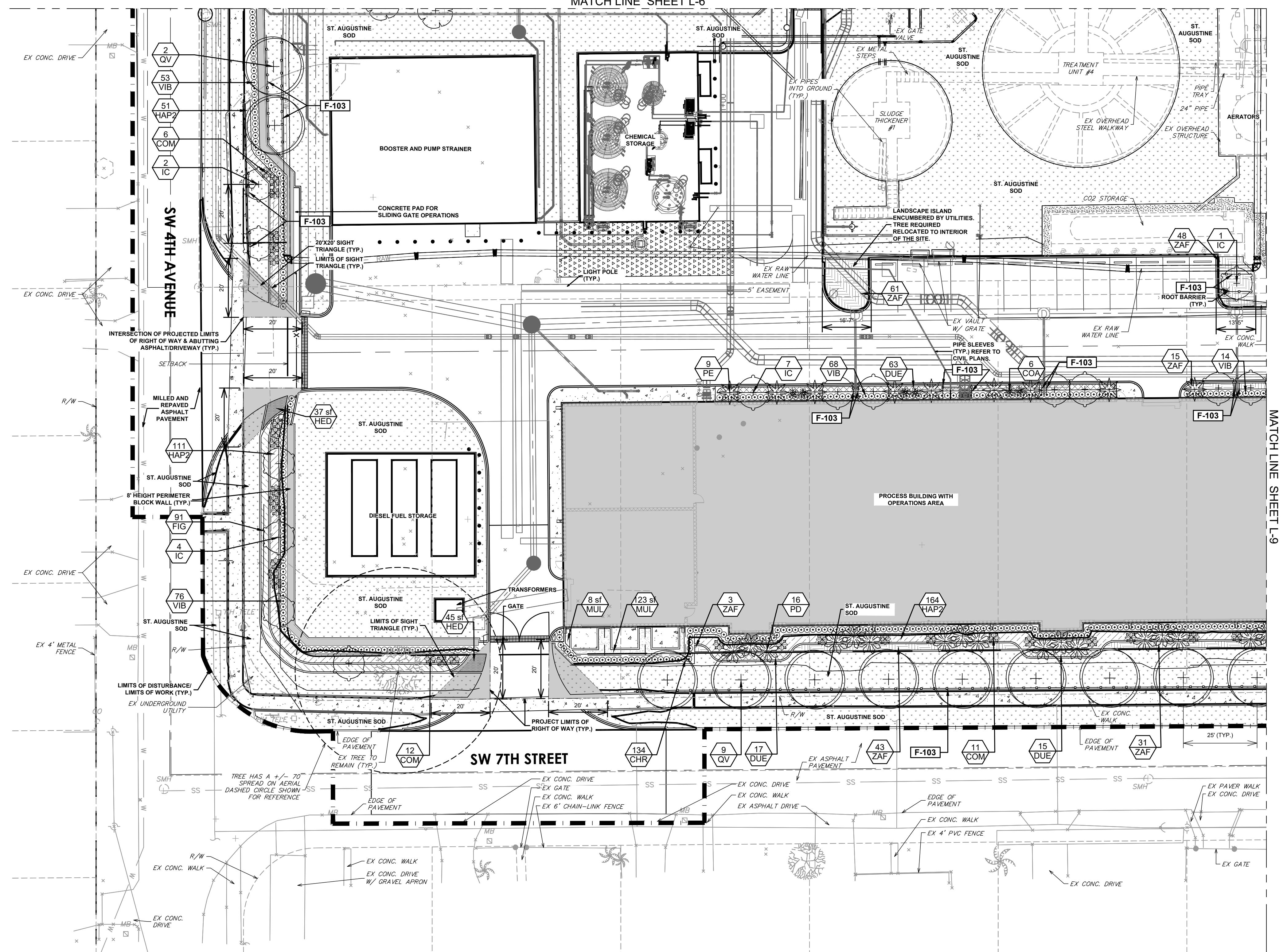
THE NAMED LICENSED LANDSCAPE
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61G10-11.011, F.A.C.

DATE:
ERIC HARRISON
LA NO. 6667129

PROJECT NO. 159676-291242
FILE NAME: L-7.DWG
SHEET NO.
L-7

ISSUED FOR PERMITTING

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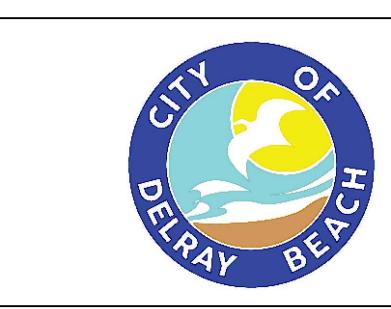
MATCH LINE SHEET L-6

PLAN
1"=40'-0"

CDM Smith
 621 N.W. 53rd St., Suite 265
 Boca Raton, FL 33487
 Tel: (561) 571-3800
 APPROVED BY: EH
 DATE: AUGUST 2025

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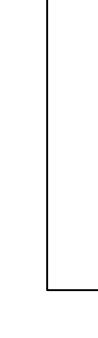
REMARKS



DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

500 Australian Avenue South
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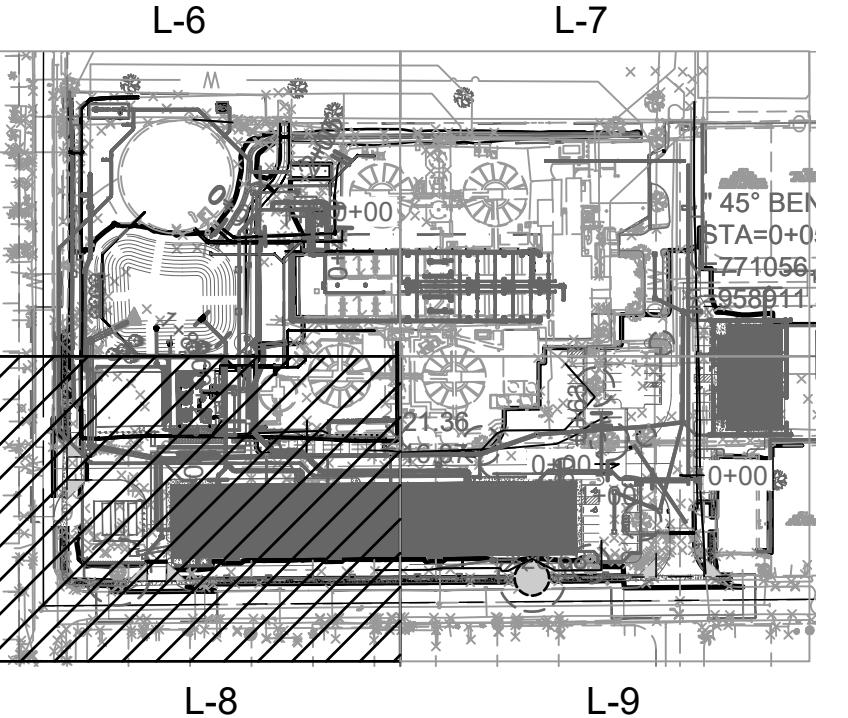
1" = 20'
 10 0 20

PLANT LEGEND

SYMBOL	CODE	COMMON NAME
+	TD	Bald Cypress
+	IC	Dahoon Holly
+	CD	Green Buttonwood
+	BS	Gumbo Limbo
+	QV	Live Oak 'Cathedral'
+	AG	Pond Apple
+	MR	Simpson's Stopper
+	PE	Alexander Palm
+	PD	Date Palm
SS-R		RELOCATED PALMS
COA		Aunlie Lou Ti Plant
VIB		Evergreen Sweet Viburnum
COM		Mommy Croton
CHR		Red Tip Coco Plum
HED		SHRUB AREAS
DUE		Firebush
FIG		Gold Mound Duranta
		Green Island Ficus
ZAF		GROUND COVERS
MUL		Dune Sunflower
SOD		Florida Coontie
		MULCH
		SOD

ROOT BARRIER SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	F-103	ROOT BARRIER	480 LF
	K-101	57 GRAVEL WITH WEED FABRIC	2.12 CY



KEY PLAN

1"=200'-0"

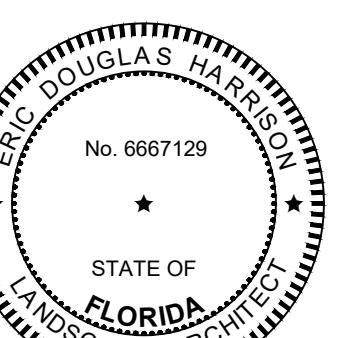
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DATE:
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 LA NO. 6667129



PROJECT NO. 159676-291242	FILE NAME: L-8.DWG
SHEET NO.	L-8

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NOTE: EXISTING SITE FEATURES AND APPURTENANCES SUCH AS, BUT NOT LIMITED EXISTING CONTOUR LINES, VAULTS PIPING, WELL LOCATIONS, ETC. ARE SHOWN AND LABELED ON THE LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO DEMOLITION AND CIVIL PLANS FOR DISPOSITION OF SITE FEATURES OTHER THAT LANDSCAPE MATERIALS.

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MATCH LINE SHEET L-7

MATCH LINE SHEET L-8

TREE HAS A +/- 40
SPREAD ON AERIAL

*
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REV
NO.

*NOTE: LANDSCAPE IMPROVEMENTS ARE PREDICATED ON THE AREA ASSOCIATED WITH THE LIMITS OF WORK. LANDSCAPE REQUIREMENTS OUTSIDE OF THESE LIMITS ARE CONSIDERED CODE COMPLIANT AND IS NOT REQUIRED PER COORDINATION WITH CITY STAFF ON 12/10/2024.

SECTION 4.6.16(D)(2)(D): ALL TREE(S) WHICH ARE TO BE PRESERVED UNDER THIS SECTION AND DO NOT SURVIVE SHALL BE REPLACED BY A TREE A MINIMUM OF 18 FEET IN HEIGHT WITH A TEN-FOOT SPREAD OF CANOPY.

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE ELEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.

INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING PER LANDSCAPE NOTE 7.2.
SECTION 4.6.16(E): PLANT SCHEDULE HAS BEEN CREATED FOLLOWING FLORIDA-FRIENDLY LANDSCAPE PRINCIPLES THROUGH THE SELECTION

OF A MAJORITY OF FLORIDA NATIVE PLANTS.

DESIGNED BY: _____
DRAWN BY: _____

SHEET CHK'D BY: _____

CROSS CHK'D BY: _____
APPROVED BY: _____

11 12 13

cma
chen moore and associates

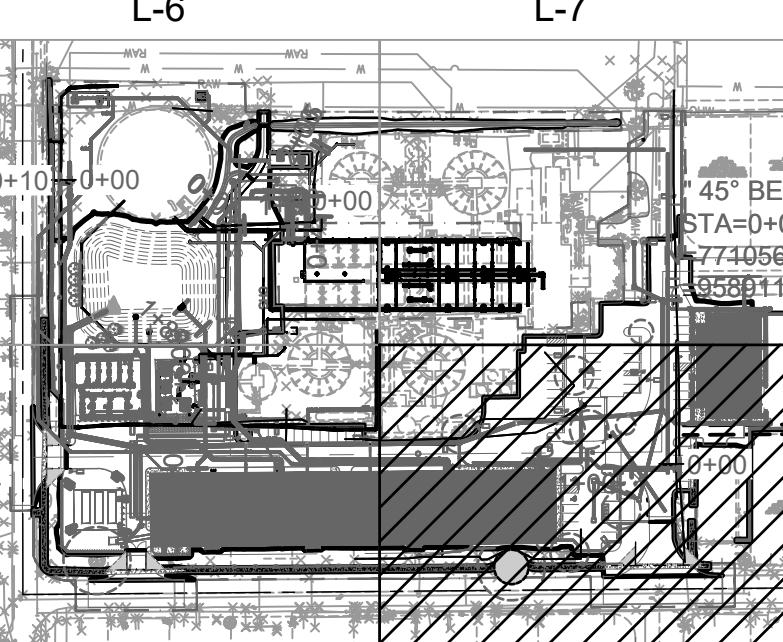


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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

PLANT LEGEND

ROOT BARRIER SCHEDULE



KEY PLAN

1"=200'-0"

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DATE:
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LA NO. 6667129

PROJECT NO. 188670 201212
FILE NAME: L-9.DWG
SHEET NO.
IV
L-9

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PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE
TREES							
	AG	24	POND APPLE	ANNONA GLABRA	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	BS	5	GUMBO LIMBO	BURSERA SIMARUBA	SEE SIZE	16' OAH, 8' CT, 7' SPRD	YES
	CD	2	GREEN BUTTONWOOD	CONOCARPUS ERECTUS	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	IC	41	DAHOON HOLLY	ILEX CASSINE	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	MR	4	SIMPSON'S STOPPER	MYRICANTHES FRAGRANS	SEE SIZE	8' OAH, 3" DBH, 4' SPRD	YES
	QV	39	LIVE OAK 'CATHEDRAL'	QUERCUS VIRGINIANA	SEE SIZE	20' OAH, 8' CT, 7' SPRD	YES
	TD	13	BALD CYPRESS	TAXODIUM DISTICHUM	SEE SIZE	16' OAH, 8' CT, 7' SPRD	YES
PALMS							
	PD	24	DATE PALM	PHOENIX DACTYLIFERA	SEE SIZE	16' OAH, 8' CT	NO
	PE	13	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	SEE SIZE	16' OAH, 8' CT	NO
RELOCATED PALMS							
	SS-R	23	CABBAGE PALMETTO	SABAL PALMETTO	RELOCATED		

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
SHRUBS								
	CHR	382	RED TIP COCO PLUM	CHRYSOBALANUS ICACO 'RED TIP'	SEE SIZE	5'-6" HT, FULL	YES	24" O.C.
	COM	52	MAMMY CROTON	CODIAEUM VARIEGATUM 'MAMMY'	SEE SIZE	3' HT, FULL	NO	48" O.C.
	COA	22	AUNTIE LOU TI PLANT	CORDYLINE FRUTICOSA 'AUNTIE LOU'	SEE SIZE	3' HT, FULL	NO	48" O.C.
	VIB	564	EVERGREEN SWEET VIBURNUM	VIBURNUM AWABUKI	SEE SIZE	5'-6" HT, FULL	NO	24" O.C.
SHRUB AREAS								
	DUE	109	GOLD MOUND DURANTA	DURANTA ERECTA 'GOLD MOUND'	SEE SIZE	24" HT, 12" SPR	NO	24" O.C.
	FIG	91	GREEN ISLAND FICUS	FICUS MICROCARPA 'GREEN ISLAND'	SEE SIZE	24" HT, 24" SPRD	NO	24" O.C.
	HAP2	835	FIREBUSH	HAMELIA PATENS	SEE SIZE	24" HT, 24" SPRD	YES	24" O.C.
GROUND COVERS								
	HED	594 SF	DUNE SUNFLOWER	HELIANTHUS DEBILIS	SEE SIZE	6" HT, 6" SPRD	YES	
	ZAF	788	FLORIDA COONTIE	ZAMIA FLORIDANA	SEE SIZE	18" HT, 18" SPRD	YES	
MULCH								
	MUL	178 SF	MULCH	MULCH	MULCH			
SOD								
	SOD	104,955 SF	ST. AUGUSTINE GRASS	STENOTAPHRUM SECUNDATUM	SOD			

TREE MITIGATION

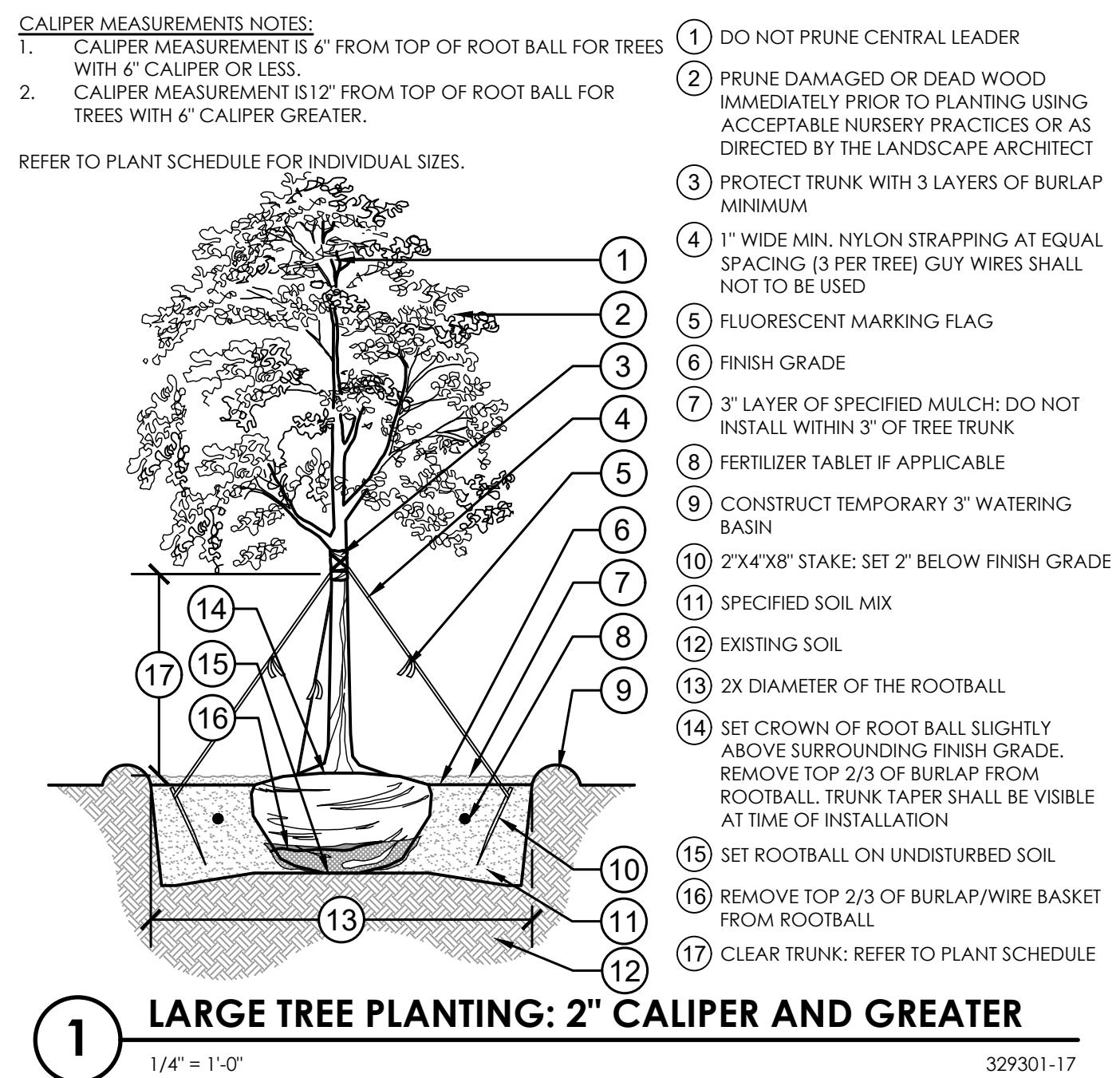
	CODE	QUANTITY	COMMON NAME	BOTANICAL NAME	DBH SIZE AT INSTALLATION	TOTAL DBH REPLACEMENT (IN)
TREES	TD	13	Bald Cypress	TAXODIUM DISTICHUM	5	65
	IC	41	Dahoon Holly	ILEX CASSINE	3	123
	CD	2	Green Buttonwood	CONOCARPUS ERECTUS	3	6
	BS	5	Gumbo Limbo	BURSERA SIMARUBA	5	25
	QV	39	Live Oak 'Cathedral'	QUERCUS VIRGINIANA	8	312
	AG	24	Pond Apple	ANNONA GLABRA	3	72
PALMS	MR	4	Simpson's Stopper	MYRICANTHES FRAGRANS	3	12
	PE	13	Alexander Palm	PTYCHOSPERMA ELEGANS		
	PD	24	Date Palm	PHOENIX DACTYLIFERA		
						TOTAL DBH PROPOSED
						615
						TOTAL DBH REMOVED
						489
						NET DIFFERENCE
						126
						TOTAL PALMS PROPOSED
						60
						TOTAL PALMS REMOVED
						7
						NET DIFFERENCE
						53
TOTAL PALM GROUPINGS OF THREE						8
NOTES						
Sec. 4.6.16.(E)(6) - Palm species that do not have a mature spread of crown of at least 15 feet shall be grouped in threes, and three palms shall equal one shade tree.						

LANDSCAPE CALCULATIONS

CODE SECTION	CODE APPLICATION	REQUIRED	PROPOSED	EXISTING	TOTAL	COMMENTS
Section 4.6.16 (H)(4)(a)	Foundation landscaping shall be required. This shall incorporate trees, shrubs and groundcovers with the minimum required specifications as set forth in 4.6.16(E). Multiple tiers of plant material should be utilized and thoughtfully designed to accomplish the goal of softening the building mass while adding vibrant color and textures.	12' to 25' Height, Spaced Per Table 2 Typical Foundation Trees and Spacing Requirements (LF of Foundation)	8 Palm Groupings (3 16' Palms per Grouping)		8 Palm Groupings (3 16' Palms per Grouping)	
SECTION 4.6.16(H)(3)(a)	A strip of land at least five feet in depth located between the off-street parking area or other vehicular use area and the right-of-way. A hedge, wall or other durable landscape area shall be placed along the interior perimeter of the landscape strip.	1 Tree/30LF + Continuous Hedge or Wall (LF of Screening)	47 Trees + Continuous Hedge	4 Trees	51 Trees + Continuous Hedge	
SECTION 4.6.16(H)(3)(e)	Where any commercial or industrial areas abut a residential zoning district or properties in residential use, in addition to requirements established for district boundary line separators in the zoning code, one tree shall be planted every 25 feet to form a solid tree line.	SW 7TH ST : 27 Trees SW 6TH ST : 6 Trees SW 4TH AVE : 20 Trees	17 Trees 5 Trees 20 Trees	3 Trees	20 Trees	Site constraints

NATIVE PLANT MATERIAL CALCULATIONS

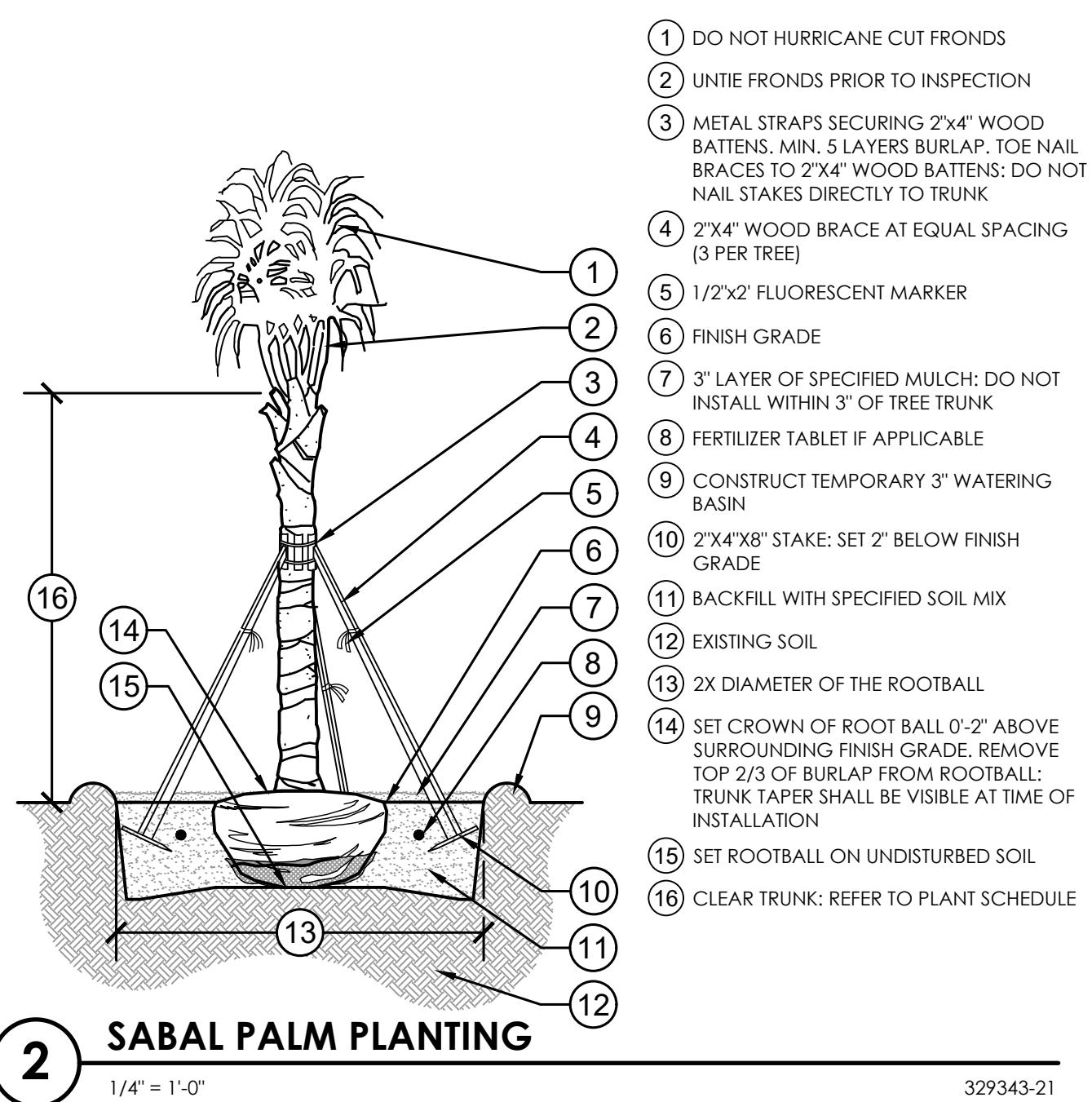
	CODE	QUANTITY	COMMON NAME	NATIVE TOTAL	NON-NATIVE TOTAL	DROUGHT TOLERANCE
TREES						
	TD	13	Bald Cypress	13		High
	IC	41	Dahoon Holly	41		Moderate
	CD	2	Green Buttonwood	2		High
	BS	5	Gumbo Limbo	5		High
	QV	39	Live Oak 'Cathedral'	39		High
	AG	24	Pond Apple	24		Low
	MR	4	Simpson's Stopper	4		High
	PE	13	Alexander Palm		13	High
	PD	24	Date Palm		24	High
	SS-R	23	Cabbage Palm	23		High
						PERCENT NATIVE (50% REQUIRED)
						80%
SHRUBS & GROUND COVERS						
	COA	22	Auntie Lou Ti Plant	22		Low
	VIB	564	Evergreen Sweet Viburnum	564		Moderate
	COM	52	Mammy Croton	52		Low
	CHR	382	Red Tip Coco Plum	382		Moderate
	HAP2	835	Firebush	835		Moderate
	DUE	109	Gold Mound Duranta	109		High
	FIG	91	Green Island Ficus	91		High
	HED	594	Dune Sunflower	594		High
	ZAF	788	Florida Coontie	788		High
						PERCENT NATIVE (25% REQUIRED)
						76%
TOTAL NATIVE TREES						



1 LARGE TREE PLANTING: 2" CALIPER AND GREATER

1/4" = 1'-0"

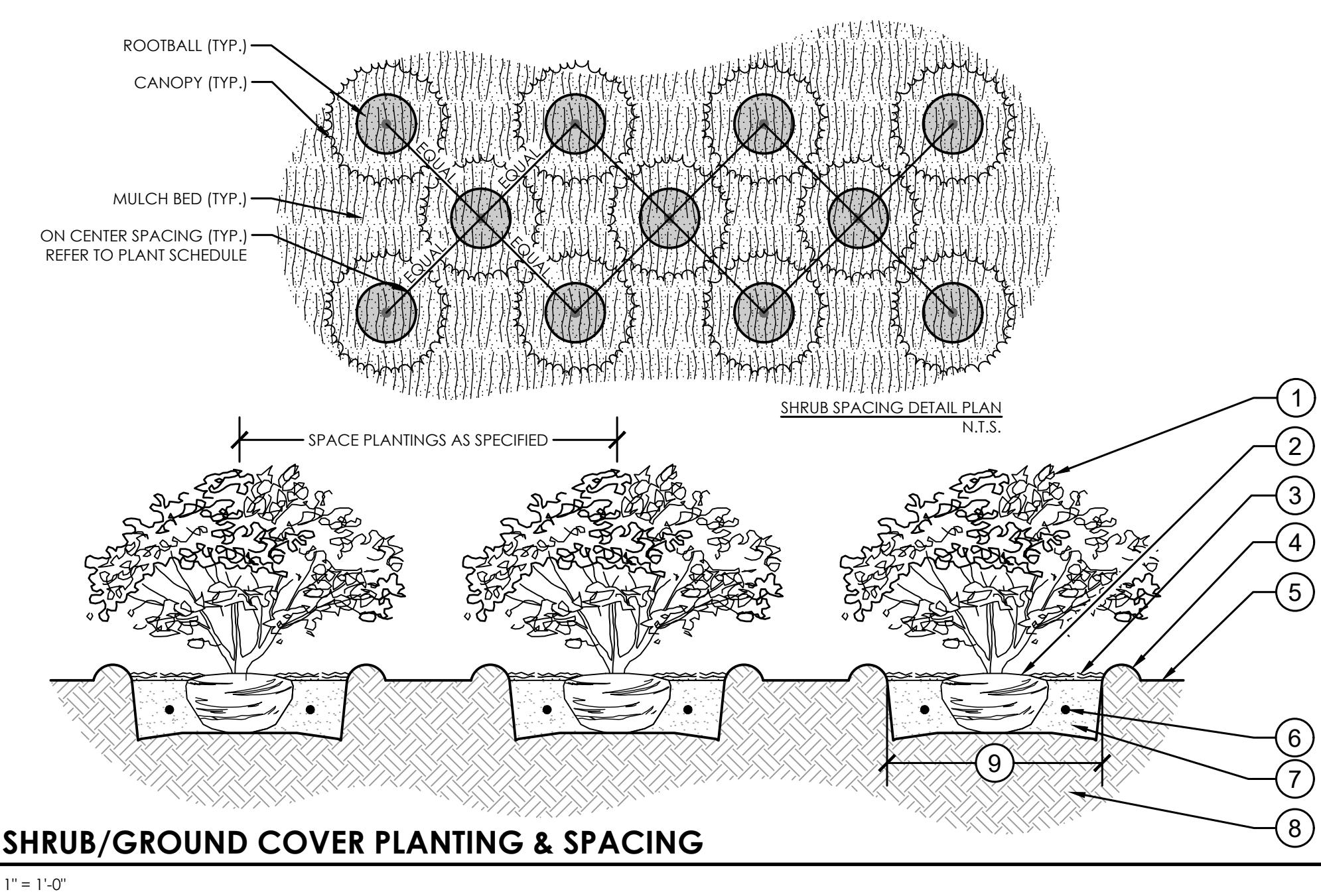
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2 SABAL PALM PLANTING

1/4" = 1'-0"

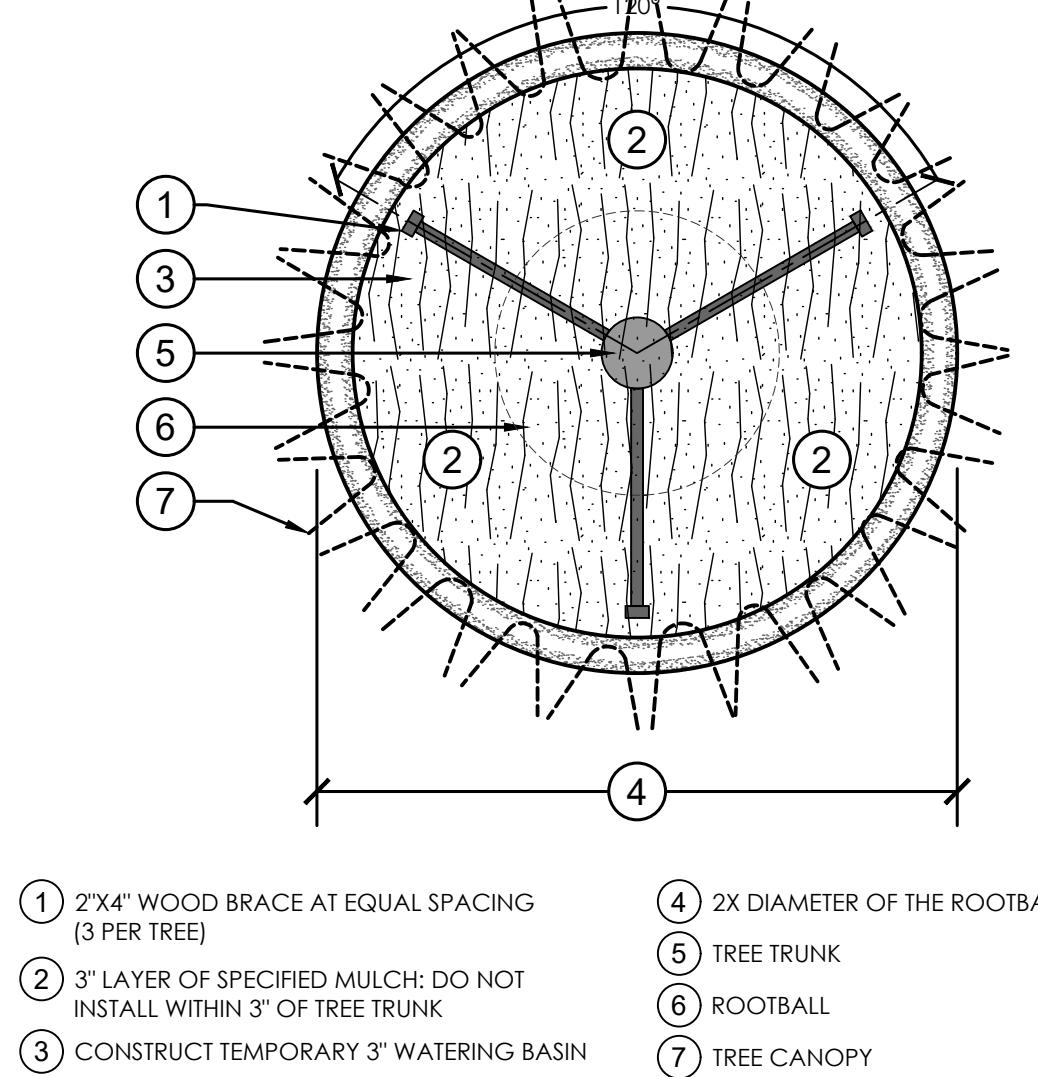
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3 SHRUB/GROUND COVER PLANTING & SPACING

1" = 1'-0"

329301-08



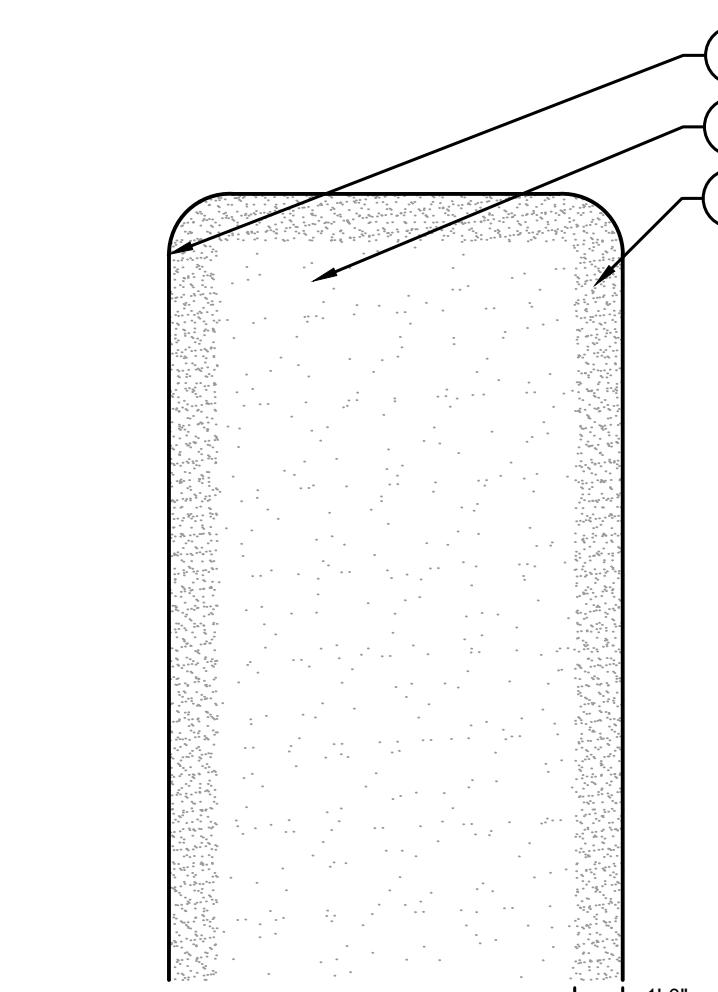
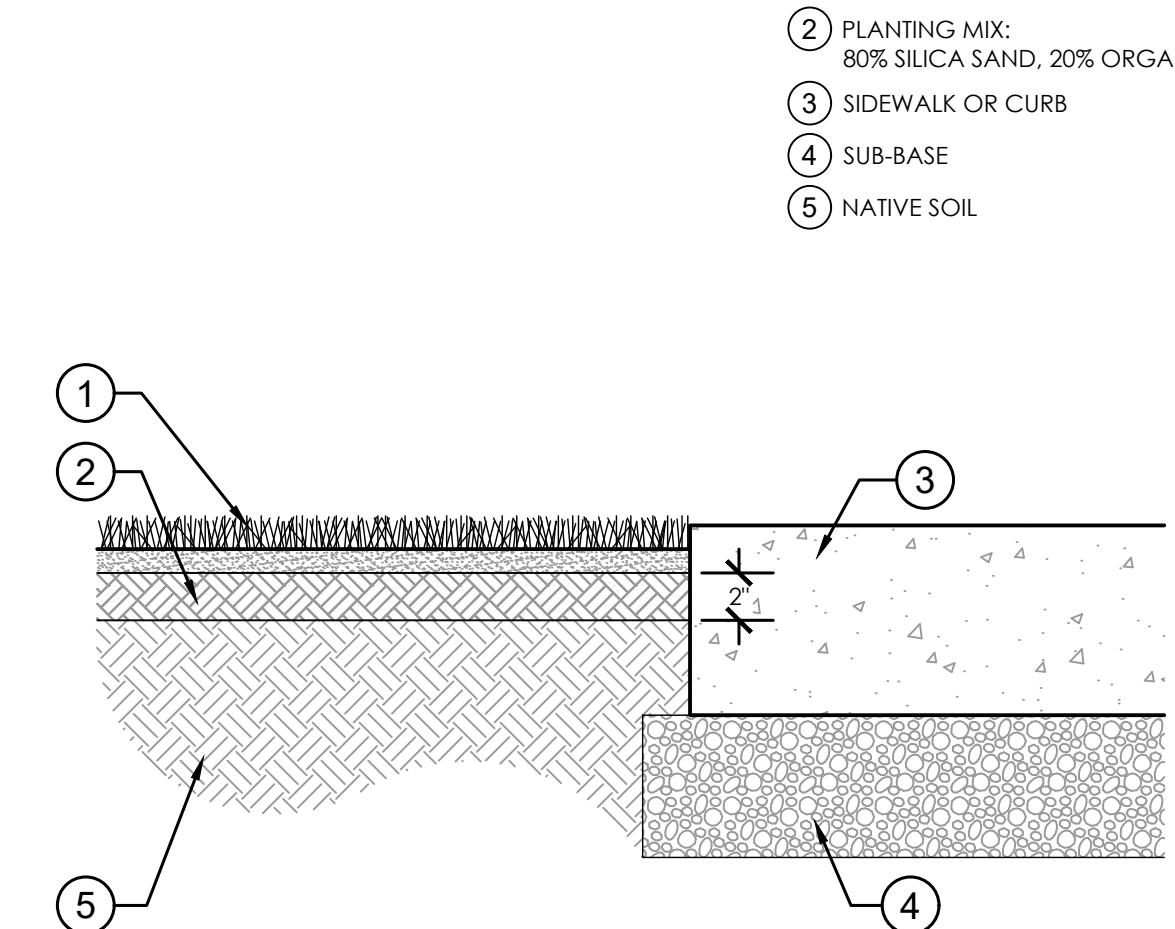
4 LARGE TREE STAKING DETAIL

3/8" = 1'-0"

5 SOD PLANTING

1 1/2" = 1'-0"

329301-22



6 TYPICAL PARKING ISLAND EXCAVATION DETAIL

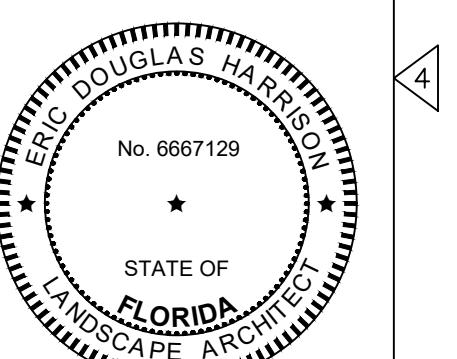
1/4" = 1'-0"

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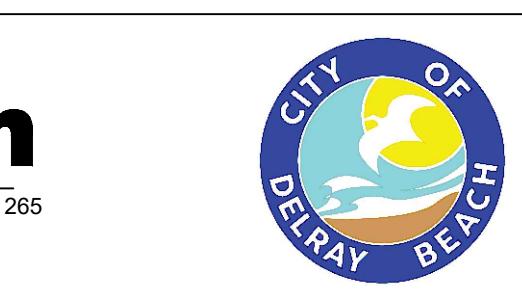


DATE:
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LA NO. 6667129

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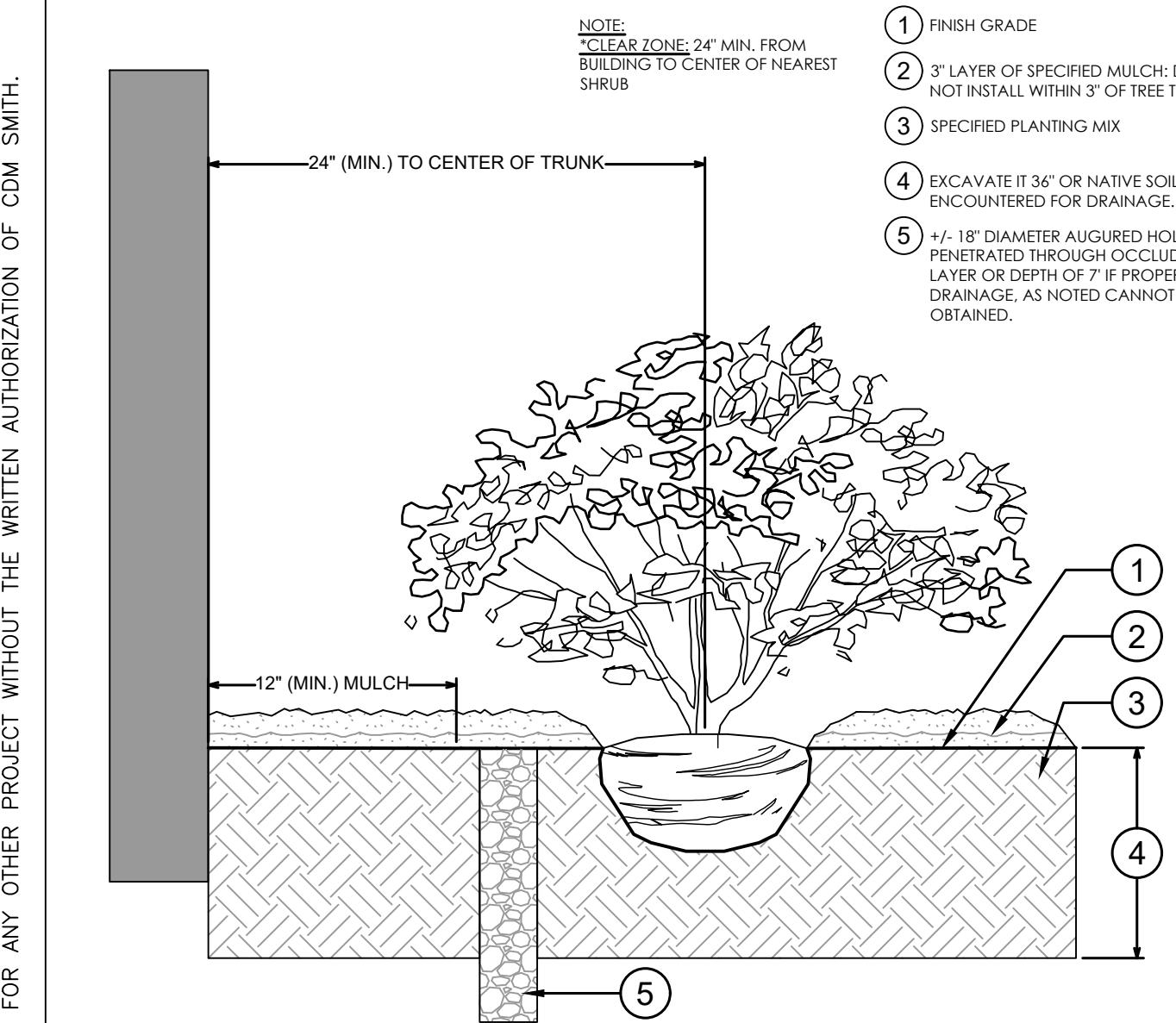


DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

DESIGNED BY:	AF/BB
DRAWN BY:	AF/BB
HEET CHKD BY:	EH
CROSS CHKD BY:	JG
APPROVED BY:	EH
DATE:	AUGUST 2025
REV. NO.	
DATE	DRWN
CHKD	
REMARKS	

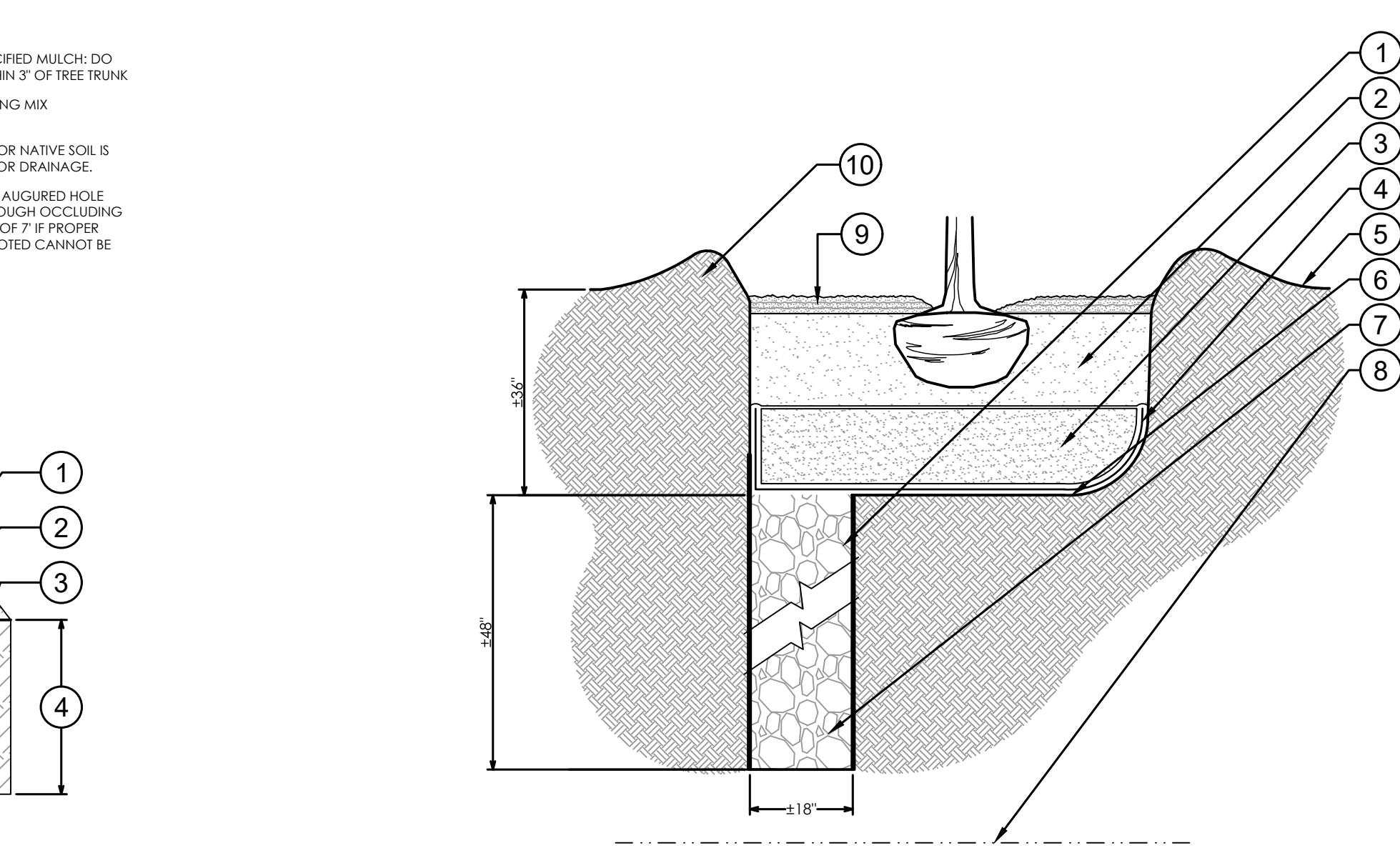
PROJECT NO. 159676-291242
FILE NAME: L-11.DWG
SHEET NO.
L-11

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1 PLANTINGS ADJACENT TO BUILDINGS

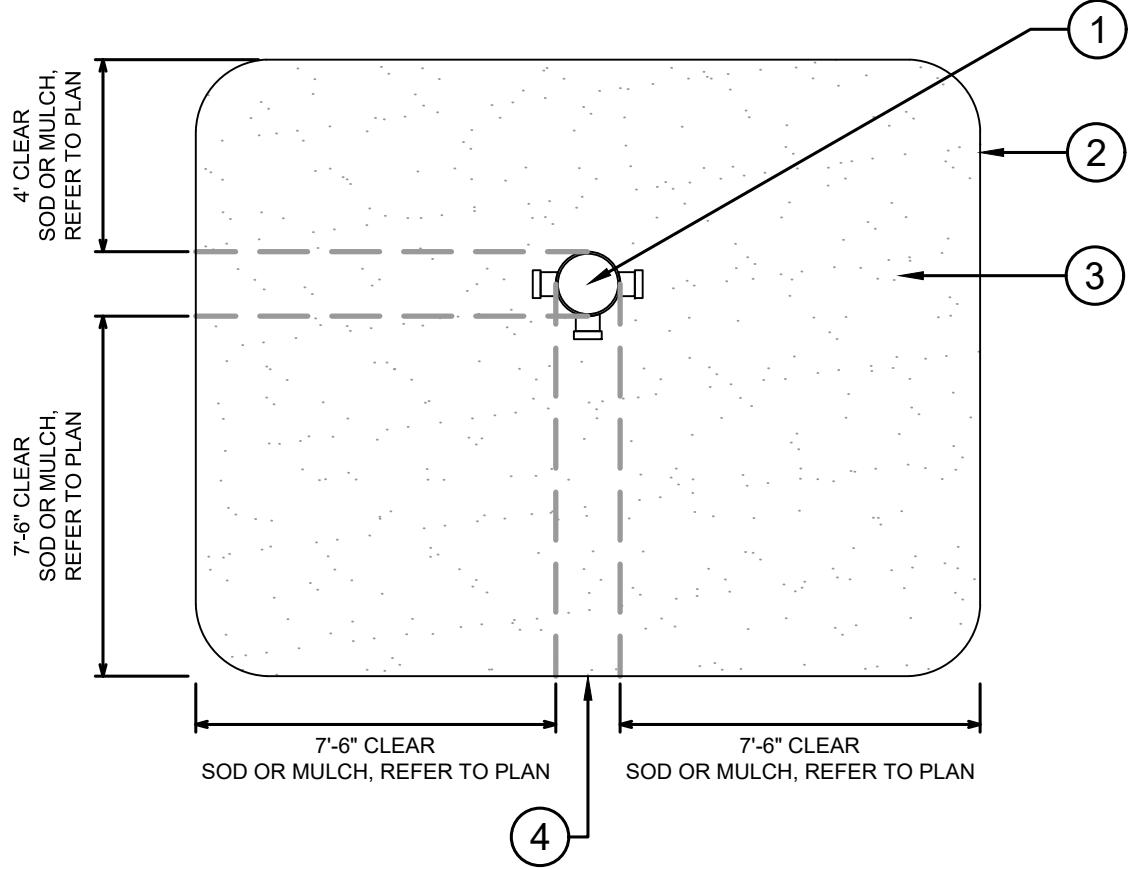
1 1/2" = 1'-0"



2 POOR DRAINAGE CONDITION

1 1/2" = 1'-0"

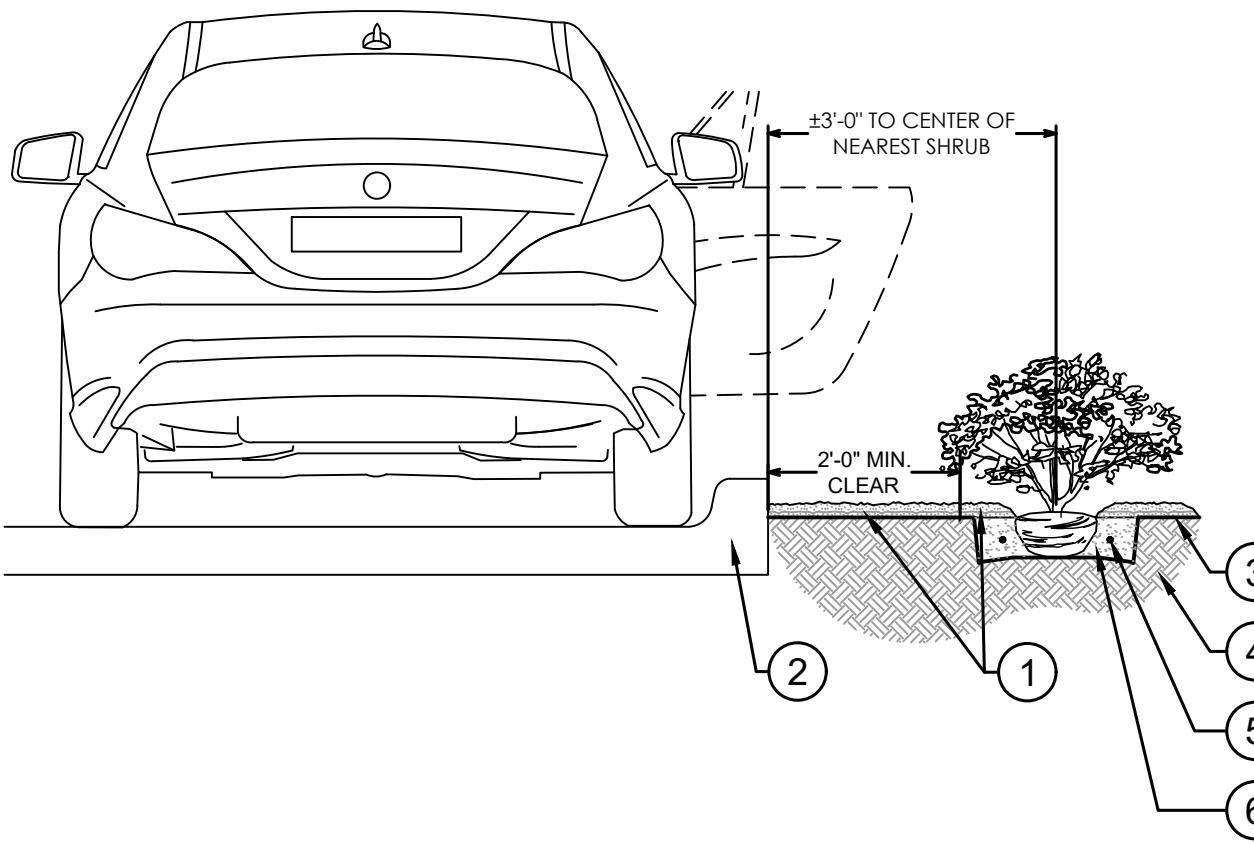
- 1 '+/- 18" DIA. AUGURED HOLE PENETRATED THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION
- 2 BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED
- 3 12" CLEAN SAND, COMPAKTED
- 4 FILTER CLOTH #4, MIRAFI 500X OR BETTER
- 5 FINISH GRADE
- 6 SLOPE BOTTOM TO DRAIN
- 7 BACKFILL WITH #57 STONE WRAPPED WITH FILTER FABRIC
- 8 WATER TABLE
- 9 3" LAYER OF SPECIFIED MULCH; DO NOT INSTALL WITHIN 3' OF TREE TRUNK
- 10 EXISTING SOIL



3 FIRE HYDRANT CLEAR ZONE

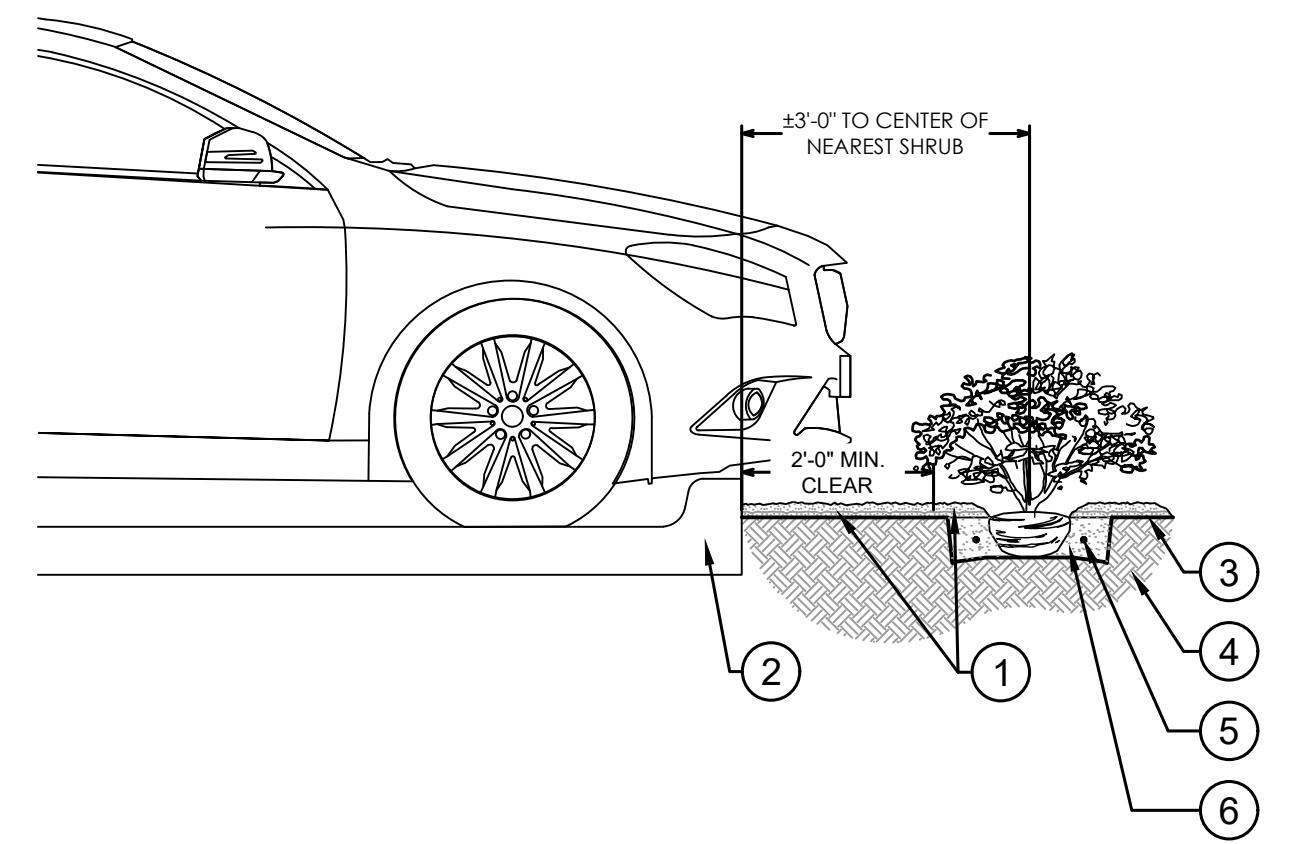
1 1/4" = 1'-0"

FOR BUILDING DEPARTMENT USE



4 PARKING SPACE/ CURB PLANTING

1/2" = 1'-0"

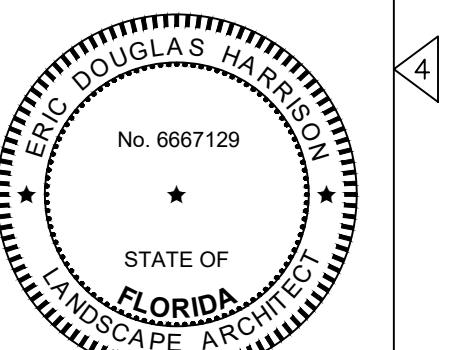


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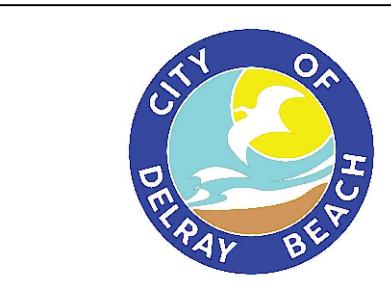
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DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

LANDSCAPE DETAILS II

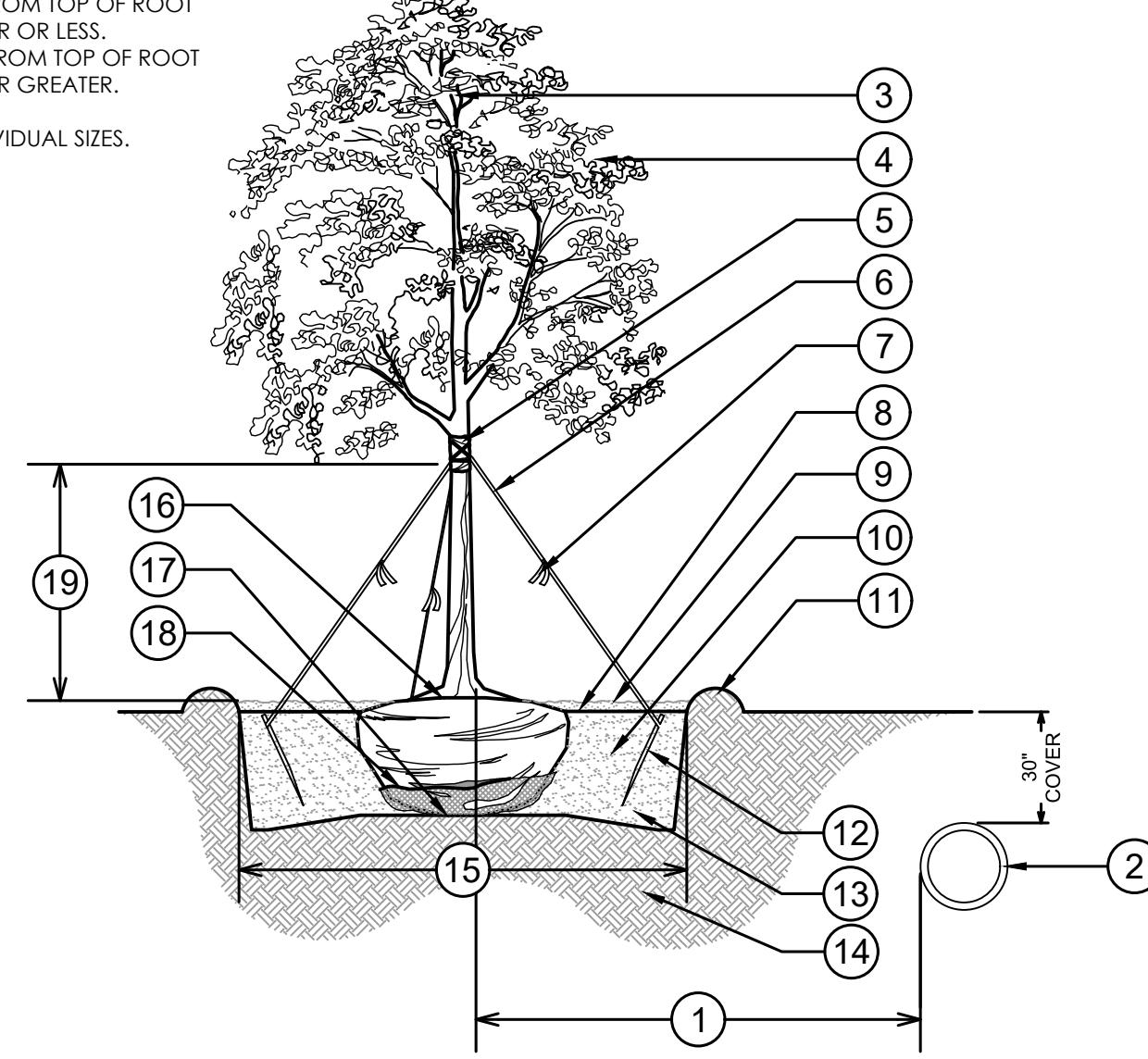
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CROSS CHK'D BY:	JG
APPROVED BY:	EH
DATE:	AUGUST 2025
REV. NO.	
DATE	DRWN
CHKD	

REMARKS

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CALIPER MEASUREMENTS NOTES:
 1. CALIPER MEASUREMENT IS 6' FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 2. CALIPER MEASUREMENT IS 12' FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.

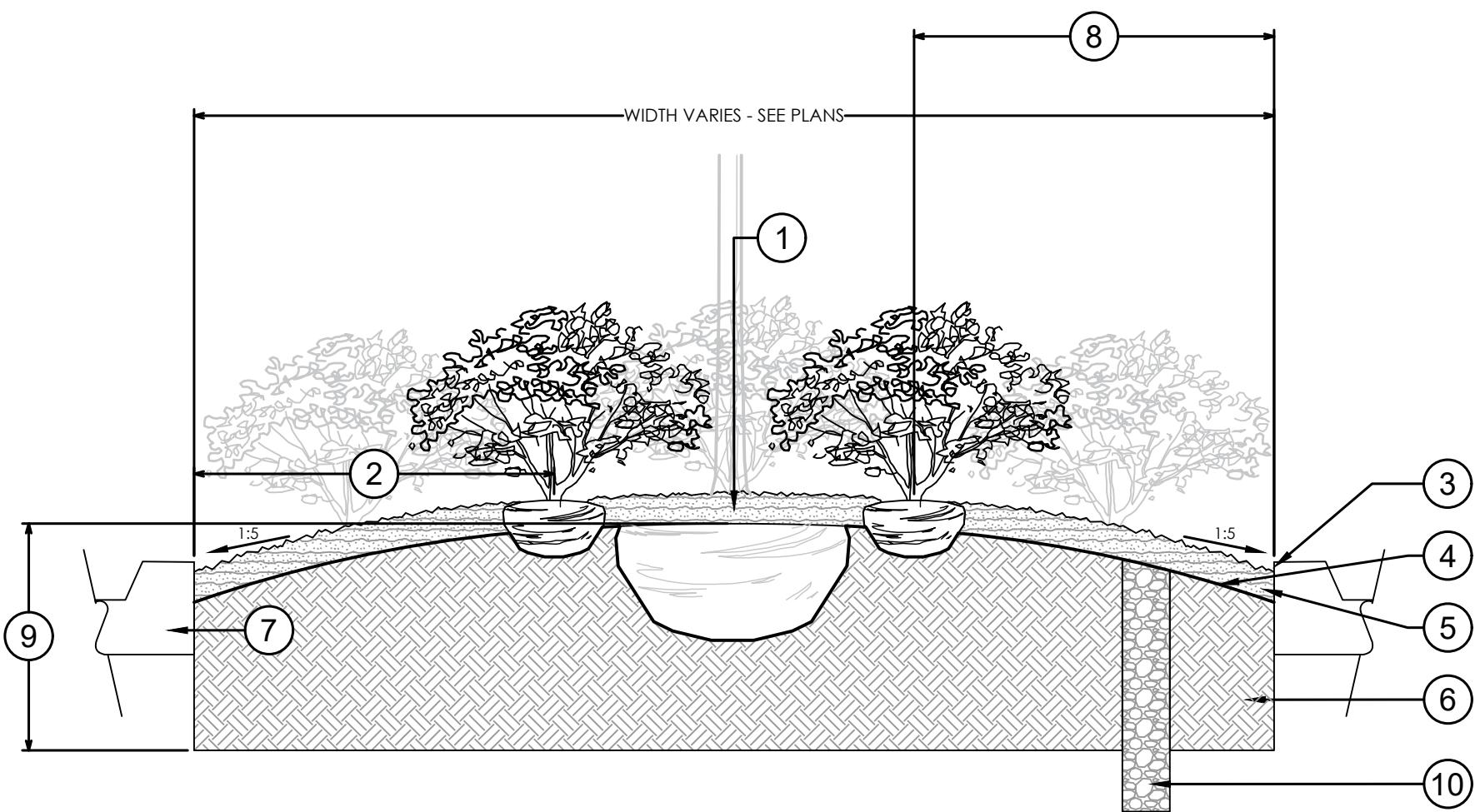
REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



1 TYPICAL TREE WITHOUT ROOT BARRIER

1/4" = 1'-0"

- 1 THE DISTANCE SHALL BE 10' MIN. FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED
- 2 CITY FACILITIES (MAINS, SERVICES, ETC.)
- 3 DO NOT PRUNE CENTRAL LEADER
- 4 PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING USING ACCEPTABLE NURSERY PRACTICES OR AS DIRECTED BY THE LANDSCAPE ARCHITECT
- 5 PROTECT TRUNK WITH 3 LAYERS OF BURLAP MINIMUM
- 6 1" WIDE MIN. NYLON STRAPPING AT EQUAL SPACING (3 PER TREE)
GUY WIRES SHALL NOT BE USED
- 7 FLUORESCENT MARKING FLAG
- 8 FINISH GRADE
- 9 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3' OF TREE TRUNK
- 10 FERTILIZER TABLET IF APPLICABLE
- 11 CONSTRUCT TEMPORARY 3' WATERING BASIN
- 12 2"X4"X8" STAKE: SET 2' BELOW FINISH GRADE
- 13 SPECIFIED SOIL MIX
- 14 EXISTING SOIL
- 15 2X DIAMETER OF THE ROOTBALL
- 16 SET CROWN OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- 17 SET ROOTBALL ON UNDISTURBED SOIL
- 18 REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM ROOTBALL
- 19 CLEAR TRUNK: REFER TO PLANT SCHEDULE



2 MOUNDED PARKING LOT ISLANDS/ MEDIAN

3/4" = 1'-0"

FOR BUILDING DEPARTMENT USE

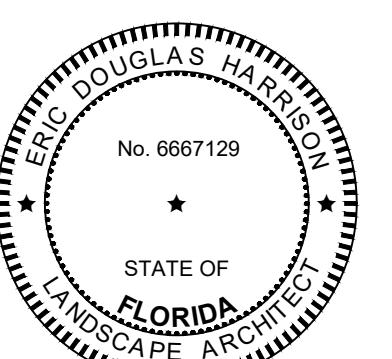
- 1 CROWN ISLANDS AT 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS).
- 2 CLEAR ZONE SHALL CONTAIN 3' CONTINUOUS MULCH OR TURF. SEE PLANS. SEE DETAIL 'PARKING SPACE/ CURB PLANTING FOR PLANTER MEDIAN ADJACENT TO PARKING SPACES.'
- 3 1" MIN. VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH, EXCAVATE CONTINUOUS 36" DEEP (FROM TOP OF CURB) FOR ENTIRE WIDTH OF ISLAND AND BACKFILL WITH APPROVED PLANTING MIX.
 - PROTECT AND RETAIN ALL CURBS AND BASE, COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2' PER HOUR OR LESS.
- 4 FINISH GRADE
- 5 3" LAYER OF SPECIFIED MULCH: DO NOT INSTALL WITHIN 3' OF TREE TRUNK
- 6 SPECIFIED PLANTING MIX
- 7 CURB REFER TO PLANS
- 8 INSTALL HALF THE DISTANCE OF SPECIFIED SIZE. REFER TO PLANT SCHEDULE UNLESS OTHERWISE NOTED.
- 9 EXCAVATE IT 36" OR NATIVE SOIL IS ENCOUNTERED FOR DRAINAGE.
- 10 1/4" DIAMETER AUGERED HOLE PENETRATED THROUGH OBLIQUE LAYER OR DEPTH OF 7' IF PROPER DRAINAGE AS NOTED CANNOT BE OBTAINED.

P-DE-03

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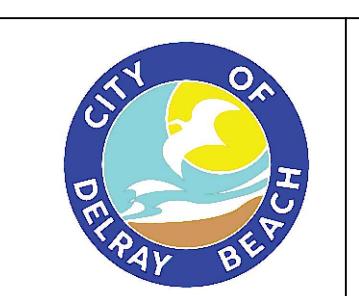
PROJECT NO. 159676-291242
 FILE NAME: L-13.DWG
 SHEET NO.
 L-13

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DELRAY BEACH, FLORIDA
 DELRAY BEACH
 MEMBRANE WATER TREATMENT PLANT

LANDSCAPE DETAILS III

DESIGNED BY:	AF/BB
DRAWN BY:	AF/BB
HEET CHK'D BY:	EH
CROSS CHK'D BY:	JG
APPROVED BY:	EH
DATE:	AUGUST 2025
REV. NO.	DATE DRWN CHKD
REMARKS	

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LANDSCAPE SPECIFICATIONS

1. GENERAL

1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.

1.2. SOURCE OF BASE INFORMATION IS PROVIDED BY CDM SMITH AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.

1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.

1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.

1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.

1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.

1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT, THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.

1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.

1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.

1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.

1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.

1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.

2. PRE-CONSTRUCTION RESPONSIBILITY

2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.

2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.

2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.

2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.

3. SITE DEMOLITION

3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

3.2. ALL Hardscape designated for removal shall be saw cut, leaving uniform edges to the greatest extent possible. Material edges to remain shall be shored up and protected during construction to preserve edge intact. Repairs to damaged edges shall be repaired by contractor at no additional cost to the owner.

3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.

3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.

3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.

3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.

3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT Affected.

4. PLANTING SOIL

4.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BEHIND THE ROOTBALL.

4.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BEHIND THE ROOTBALL.

4.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.

4.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:

4.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT

4.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK

4.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK

5. LANDSCAPE PLANTING

5.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.

5.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.

5.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

5.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.

5.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.

5.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.

5.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.

5.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.

5.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.

5.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.

5.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.

5.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEous MATERIAL.

5.13. ALL PLANTING BEDS IN MEDIANs, Hardscape AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEous MATERIAL.

5.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.

5.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.

5.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

5.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.

5.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.

5.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.

5.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.

5.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.

5.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.

5.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.

5.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.

5.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.

5.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.

5.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.

6. TURF GRASSES

6.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.

7. MULCH & FERTILIZER

7.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLORI-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.

7.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING.

7.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TRUNKS.

7.4. FERTILIZER MIX AS FOLLOWS:

7.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS

7.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS

7.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS

8. WATERING

8.1. NO NEW IRRIGATION IS PROPOSED WITHIN THE PUBLIC RIGHT OF WAY OR ASSOCIATED WITH THIS PROJECT. REFER TO IRRIGATION RESTORATION NOTES ON SHEET LA-22.

8.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.

9. PROJECT CLOSEOUT

9.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

9.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

9.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.

9.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.

9.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.

10. GUARANTEE

10.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.

10.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.

10.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

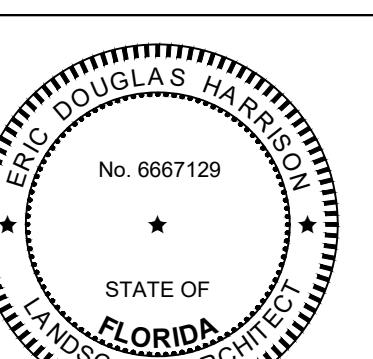
FOR BUILDING DEPARTMENT USE

FOR DEVELOPMENT SERVICES USE

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ERIC D. HARRISON,
RLA ON THE DATE ADJACENT TO THE SEAL.
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THE NAMED LICENSE LANDSCAPE
ARCHITECT SHALL BE RESPONSIBLE FOR THIS
SHEET IN ACCORDANCE WITH RULE
61G10-11.011, F.A.C.

DATE:
ERIC HARRISON
LA NO. 6667129



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DELRAY BEACH, FLORIDA
DELRAY BEACH
MEMBRANE WATER TREATMENT PLANT

LANDSCAPE NOTES

PROJECT NO. 15967-291242
FILE NAME: L-14.DWG
SHEET NO.
L-14

ISSUED FOR PERMITTING