

GENERAL NOTE:

Refer to signed and sealed survey completed by a Professional Surveyor or Mapper in the State of Florida for more information. Architect assumes no responsibility for any discrepancy regarding any real property or lot boundary. Do not scale drawings. Drawings are for illustrative purposes only.

POOL BARRIER REQUIREMENTS:

CONTRACTOR IS TO PROVIDE COMPLIANCE WITH CODE REQUIREMENTS BELOW IF EXISTING FENCE INSTALLATION IS NOT IN COMPLIANCE.

Access gates [within existing fence], when provided, shall be self-closing and shall comply with the requirements of Sections R4501.17.1.1 through R4501.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or any opening or gap from the outside.

The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches measured on the side of the barrier which faces away from the swimming pool - FBC R4501.17.1.1.

Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1-3/4 inches in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1-3/4 inches in width - FBC R4501.17.1.4.

Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2 inch within 18 inches of the release mechanism.

All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm complying with UL-2020 that has a minimum sound pressure rating of 85 dB at 10 feet. Any deactivation switch shall be located at least 54" above threshold for access - FBC R4501.17.19.1.

ZONING LEGEND

ZONING DISTRICT:
R-1-AA: SINGLE FAMILY RESIDENTIAL DISTRICT
(CITY OF DELRAY BEACH)

PROPERTY REGULATIONS:
*Per City of Delray Beach Land Development - Regulations,
DEVELOPMENT STANDARDS MATRIX - RESIDENTIAL ZONING DISTRICTS:

MINIMUM LOT DIMENSIONS:
LOT SIZE: 9500 SQ. FT.
LOT WIDTH: 75/95 FT
LOT DEPTH: 100 FT
LOT FRONTAGE: 75/95 FT
MINIMUM FLOOR AREA: 1500 SQ. FT.
MINIMUM OPEN SPACE:

A minimum of 25 percent non-vehicular open space shall be provided. Interior and perimeter landscaping may be applied toward meeting this requirement.

MINIMUM SETBACKS FOR PRINCIPAL BUILDING:
FRONT: 30 FT
SIDE STREET: 15 FT
SIDE INTERIOR: 10 FT
REAR: 10 FT

DENSITY: N/A
HEIGHT: 35 FT
MINIMUM DEVELOPMENT AREA N/A

MAXIMUM LOT COVERAGE:
1. FORTY PERCENT (40%) FOR ONE STORY HOUSES
2. THIRTY PERCENT (30%) FOR MULTI-STORY HOUSES

*THE AREA OF THE UPPER FLOORS SHALL NOT BE GREATER THAN 75 PERCENT (75%) OF THE AREA OF THE FIRST FLOOR.

DRY DETENTION/RETENTION NOTE:

Dry detention/retention facilities designed for storage in open impoundments shall have side slopes not steeper than 4(H):(1)V, and shall be fully grassed or otherwise protected from erosion.

Contractor to field verify accordance of existing drainage conditions with applicable codes and ordinances.

SITE INFORMATION

SITE DATA:
LOT SIZE: +/- 0.2 acres (8712 S.F.)

AREA CALCULATIONS:

FIRST FLOOR:
LIVING FLOOR AREA: +/- 1851.62 S.F.
2-CAR GARAGE (ATTACHED): +/- 595.06 S.F.
COVERED ENTRY: +/- 89.67 S.F.

SECOND FLOOR:
LIVING FLOOR AREA: +/- 1866.51 S.F.

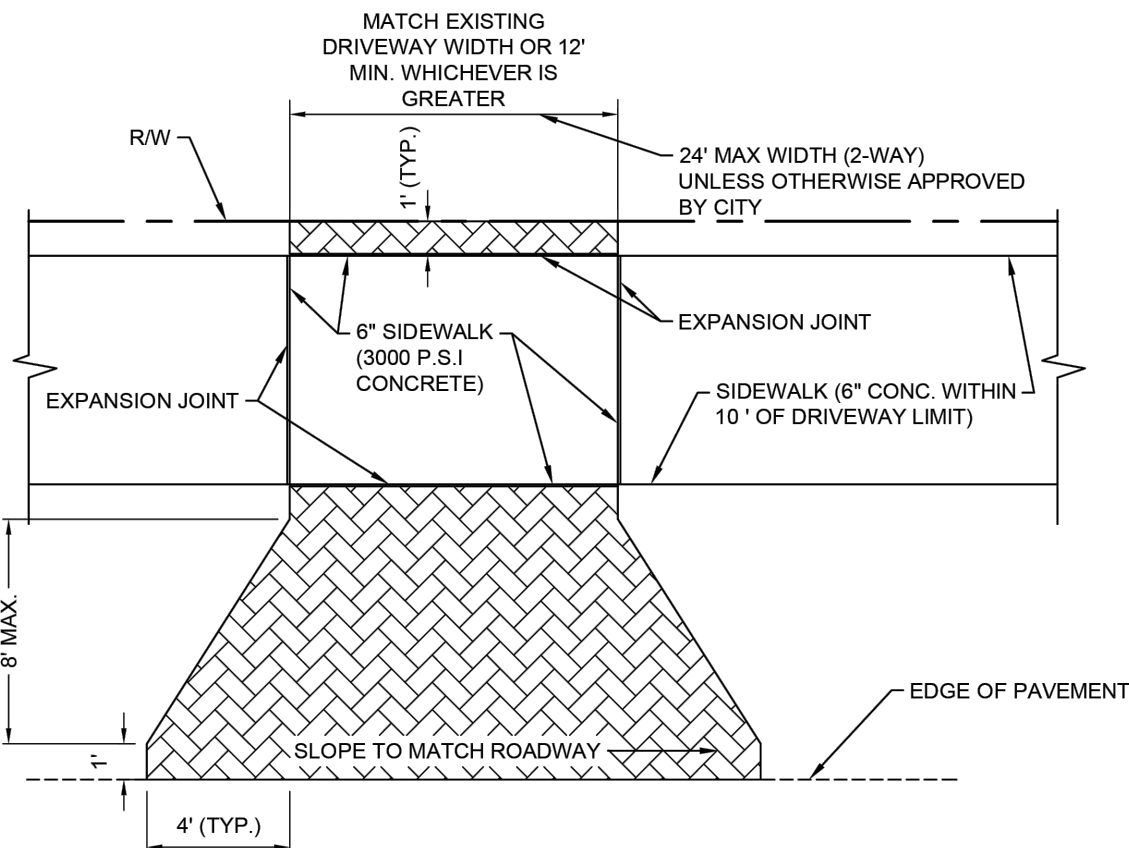
TOTAL AREA UNDER AIR: +/- 3733.02 S.F.
TOTAL AIR NOT UNDER AIR: +/- 669.84 S.F.
TOTAL AREA: +/- 4402.86 S.F.

BUILDING FOOTPRINTS:
TOTAL FIRST FLOOR: +/- 2536.35 S.F.
TOTAL SECOND FLOOR: +/- 1866.51 S.F.

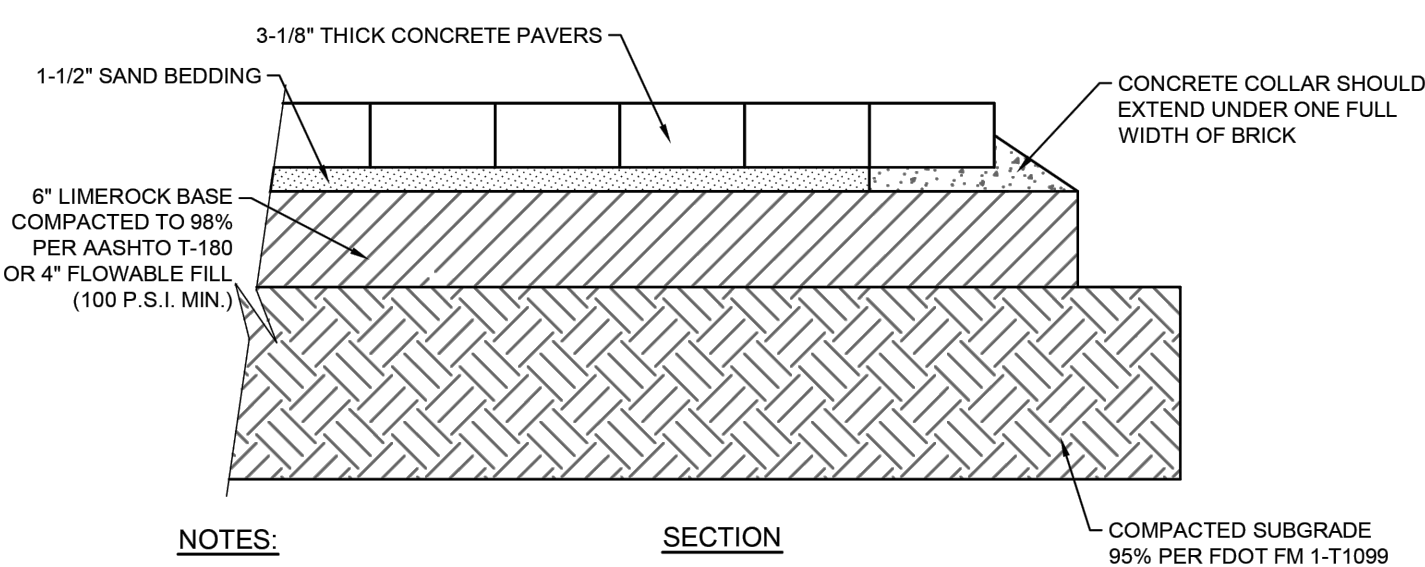
*The areas of the upper floors shall not be greater than 75 percent of the area of the first floor.

[BLDG AREA UNDER ROOF @ GROUND LEVEL / TOTAL LOT AREA]

IMPERVIOUS AREA:
BUILDING FOOTPRINT (+/-2536.35 S.F.) 29.11%
TOTAL 29.11%

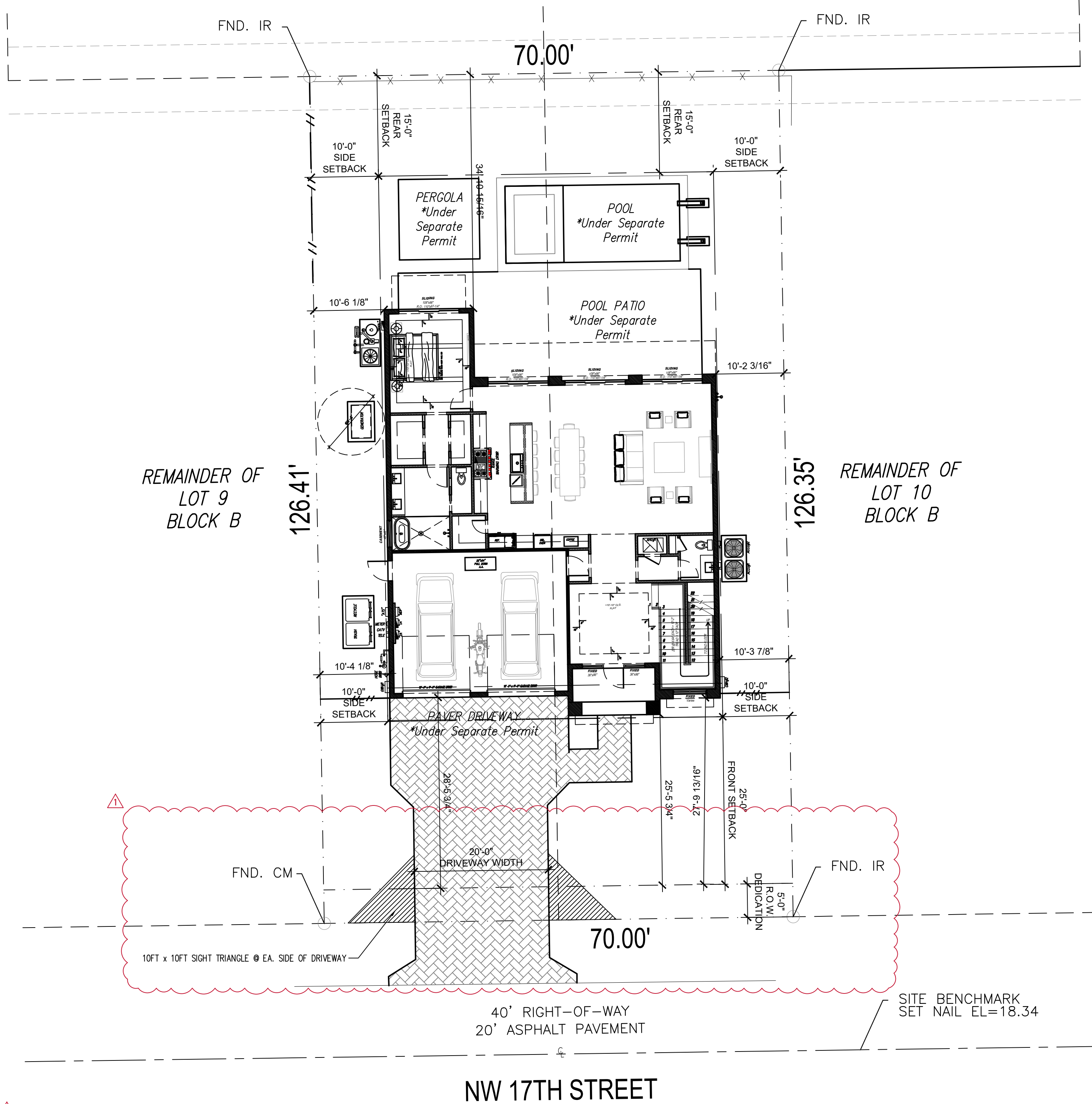
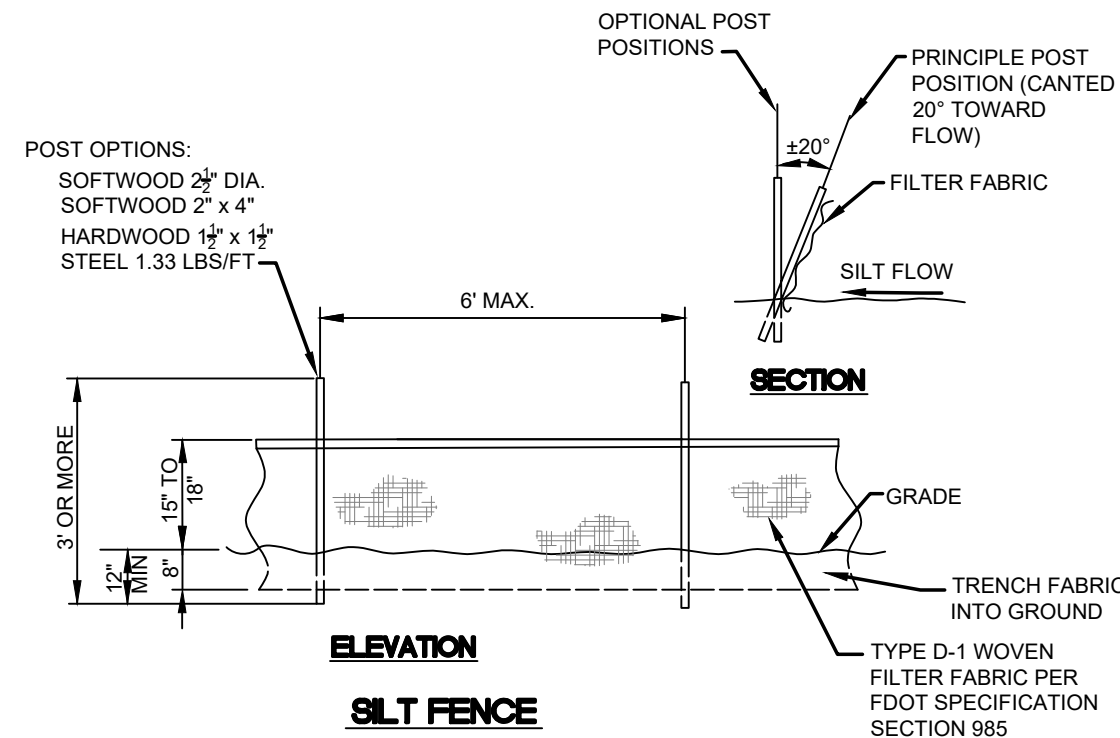


PLAN



SECTION

- NOTES:
- THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
 - IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
 - IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.



GENERAL SITE NOTE:

Any damage to the City's Right-of-Way, not limited to and including Alleys, Sidewalks, and Streets will be the sole responsibility of the permittee to repair or replace at the discretion of the city.

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

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BOYNTON BEACH, FL 33435

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NEW RESIDENCE

PCNF#: 12-43-46-08-12-002-0091
101 NW 17th St, Delray Beach, FL 33444
Palm Beach County

REVISIONS

BLDG REVS	02/04/2025

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PROJECT NUMBER 24053

SP101

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