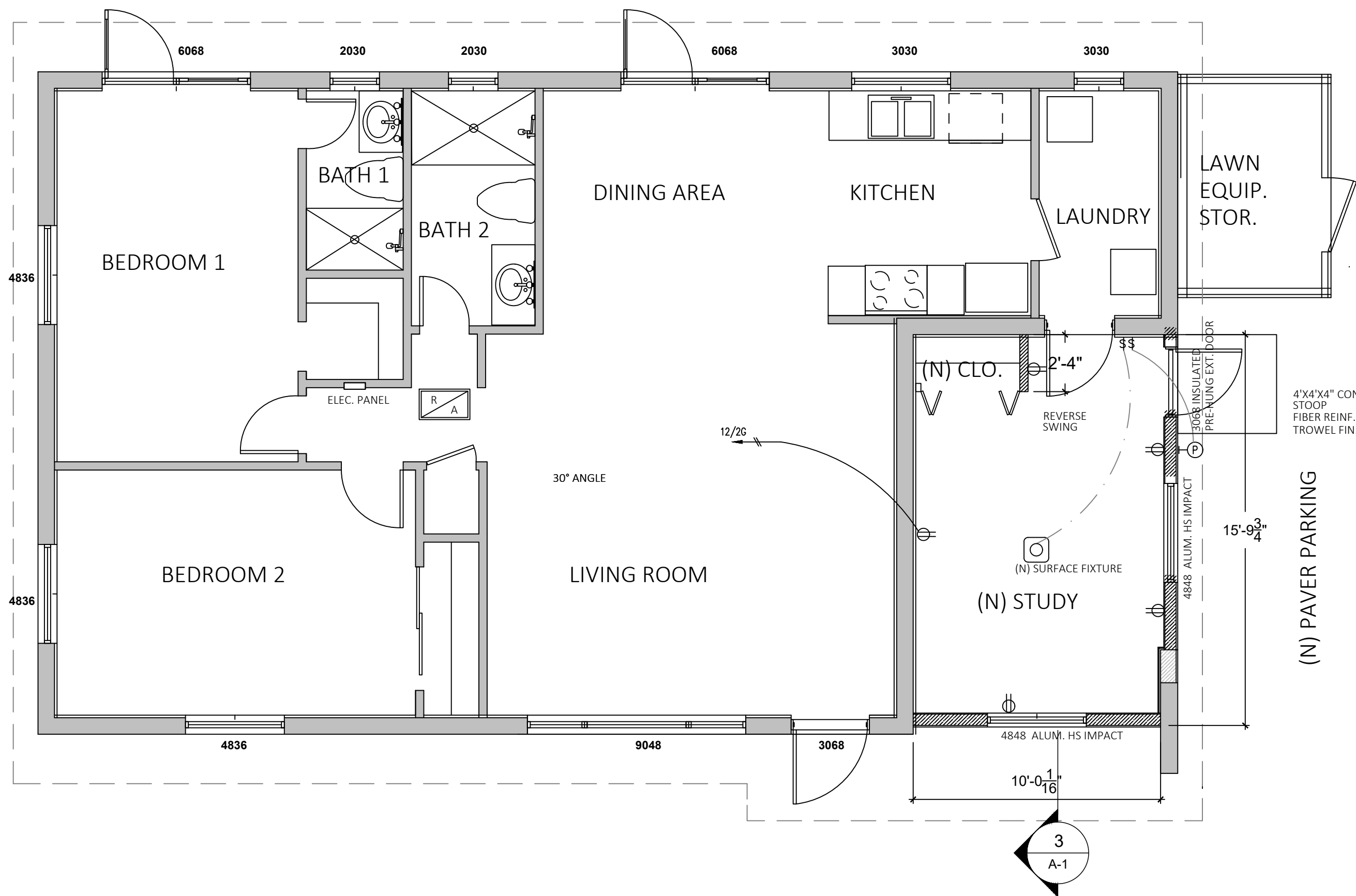
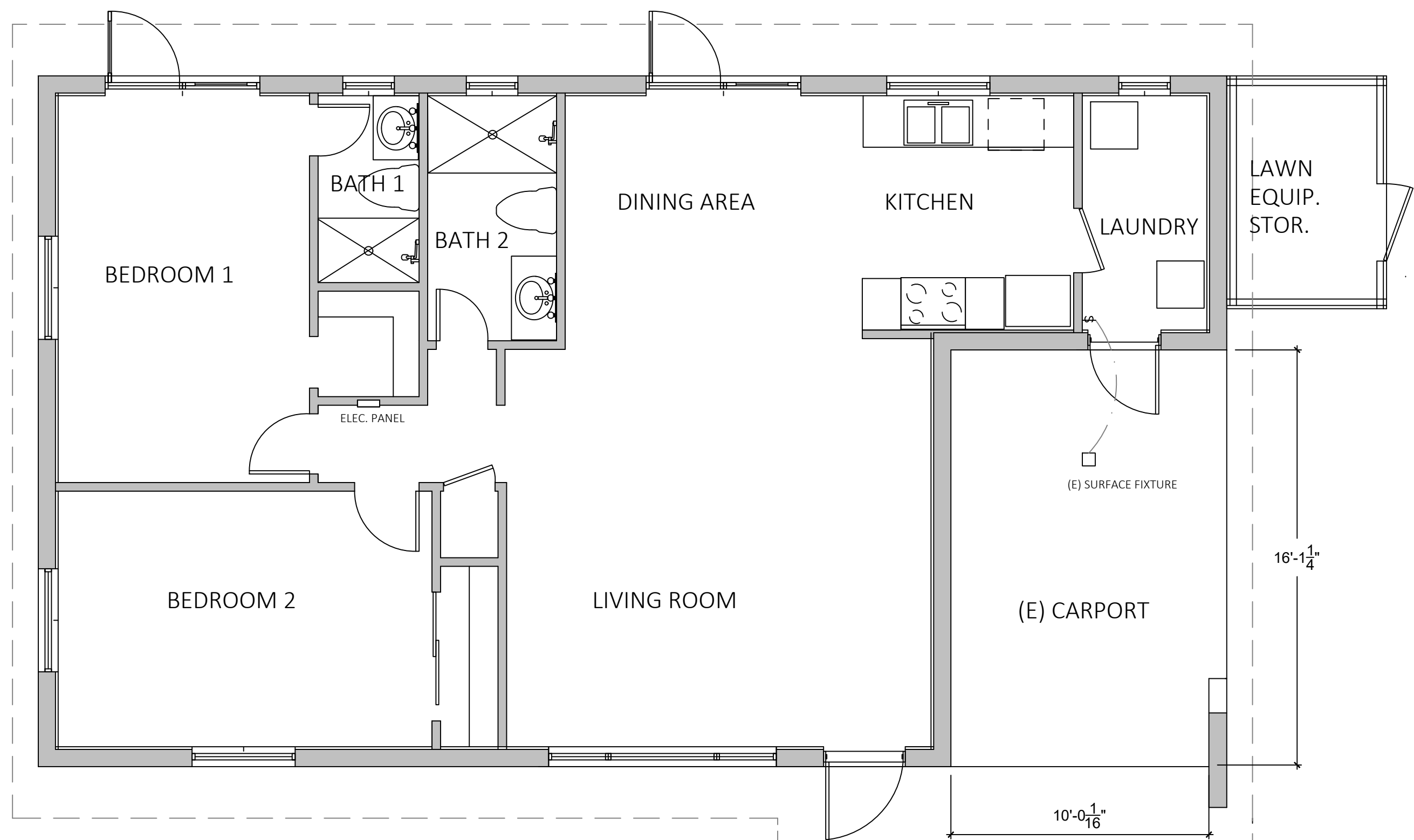
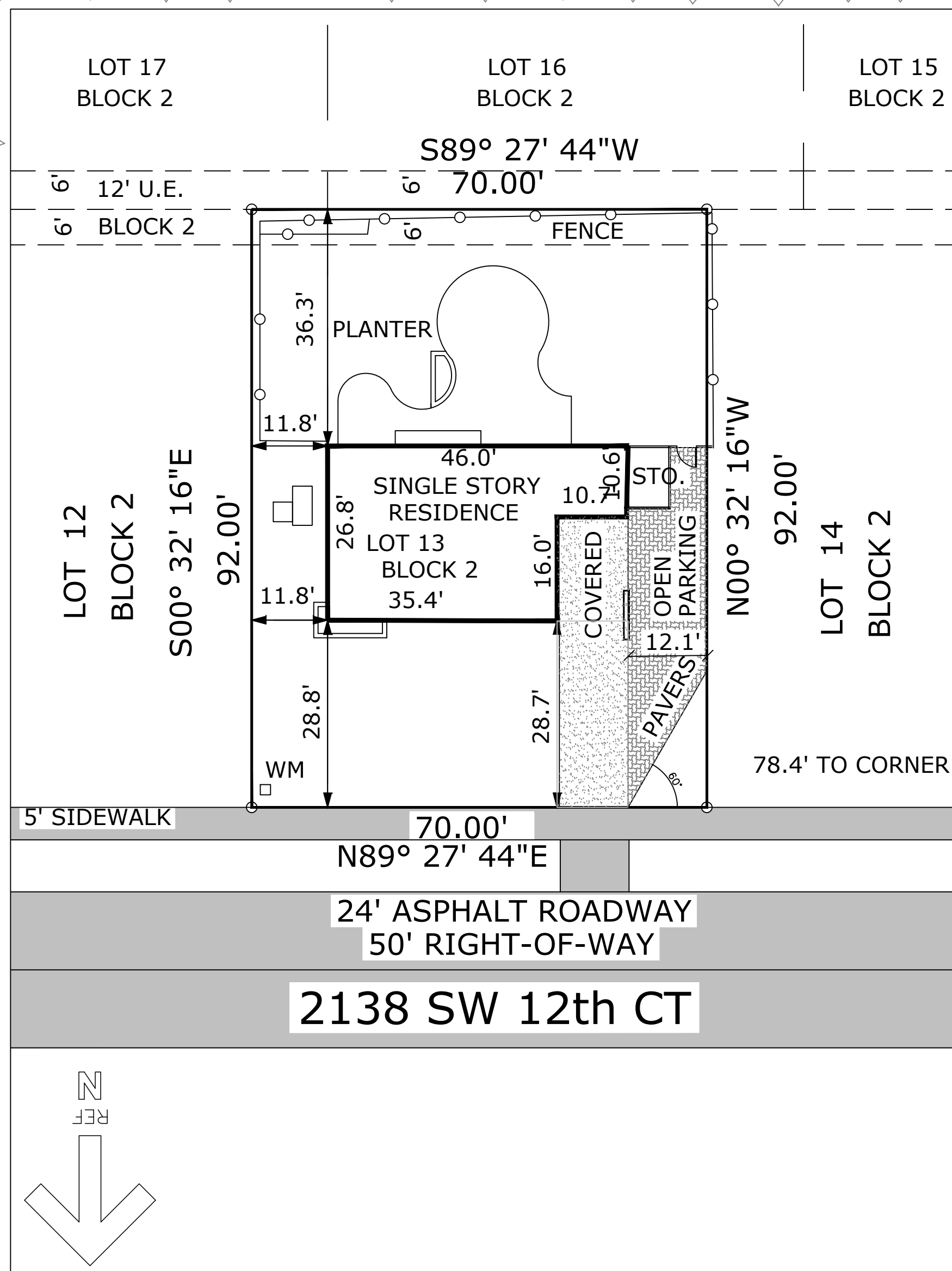


FNAME

REVDATE

USER

PROPOSED PLAN SCALE $\frac{1}{4}" = 1'-0"$ EXISTING PLAN SCALE $\frac{1}{4}" = 1'-0"$ 

SITE PLAN

SCALE $\frac{1}{8}" = 1'-0"$ BASED ON NEXGEN SURVEY 3-5-18

WALL TYPES	
EXTERIOR	DESCRIPTION
	A EXISTING MASONRY WALLS WITH STUCCO AND DRYWALL INTERIOR.
	B NEW NEW 2X6 WOOD STUD FRAMING WITH STUCCO/LATHE/WRAP/INSULATION AND DRYWALL INTERIOR.
INTERIOR	
	P-1 EXISTING WOOD STUD WALLS WITH DRYWALL
	P-2 NEW NEW 3/8" METAL STUD FRAMING WITH DRYWALL

PLAN SYMBOLS

	1' X 4' LED WRAPAROUND SURFACE MOUNT
	RECESSED DOWNLIGHT
	CEILING SUPPLY AIR
	WALL TYPES
	CEILING EXHAUST FAN
	EXIT SIGN - WALL OR CEILING MOUNTED
	1 CEILING TYPE NUMBER
	9'-10" CEILING HEIGHT
	1 BUILDING SECTION NUMBER
	A-2 DRAWING NUMBER SHOWING SECTION
	1 BUILDING DETAIL NUMBER
	A-2 DRAWING NUMBER OF DETAIL
	1 DRAWING NUMBER SHOWING INTERIOR ELEVATIONS
	1 INTERIOR ELEVATION DESIGNATION

PROJECT DATA	
LOCATION ADDRESS	2138 SW 12TH CT. DELRAY BEACH, FL 33445
PC NUMBER	12-43-46-19-02-002-0130
SUBDIVISION	DELRAY BEACH HIGHLANDS SECTION 1
RECORDS BOOK	29776 PAGE 1738
LEGAL DESCRIPTION	DELRAY BEACH HIGHLANDS SEC 1 LOT 13 BLK. 2
OWNERS	PATRICK J. FITZGEARL
MAILING ADDRESS	2138 SW 12TH CT. DELRAY BEACH, FL 33445
TOTAL AREA	1296 S.F. (ORIGINAL PLAN) 1022 S.F. A/C
TOTAL AREA PROPOSED	1167 S.F. 1193 S.F. A/C
LAND AREA	0.1478 ACRES
USE CODE	0100 - SINGLE FAMILY
ZONING	R-1-A SINGLE FAMILY (12-DELRAY BEACH)
GPS	26° 26' 335.80" N 80° 05' 45.33" W
GPS	26.443278 N 80.095925 W

CODES
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.
1. NATIONAL ELECTRICAL CODE (NEC) 2017 (NFPA 70)
2. FLORIDA BUILDING CODE 7TH EDITION 2020
3. APPLICABLE CITY AND COUNTY ORDINANCES

SCOPE OF WORK
1. GARAGE ENCLOSURE:
AN EXISTING CARPORT AREA UNDER THE PRIMARY ROOF SYSTEM IS PROPOSED FOR ENCLOSURE AS AN ADDITION TO THE AIR CONDITIONED SPACE OF THIS RESIDENCE. THIS AREA WILL BE ENCLOSED WITH FRAMING INCLUDING NEW WINDOWS AND A DOOR. NO NEW PLUMBING IS REQUIRED FOR THIS AREA. A NEW A/C SUPPLY DUCT WILL SERVE THE NEW SPACE FROM THE ATTIC PLENUM. RETURN AIR WILL BE PROVIDED WITH A JUMPER DUCT TO THE LIVING AREA.

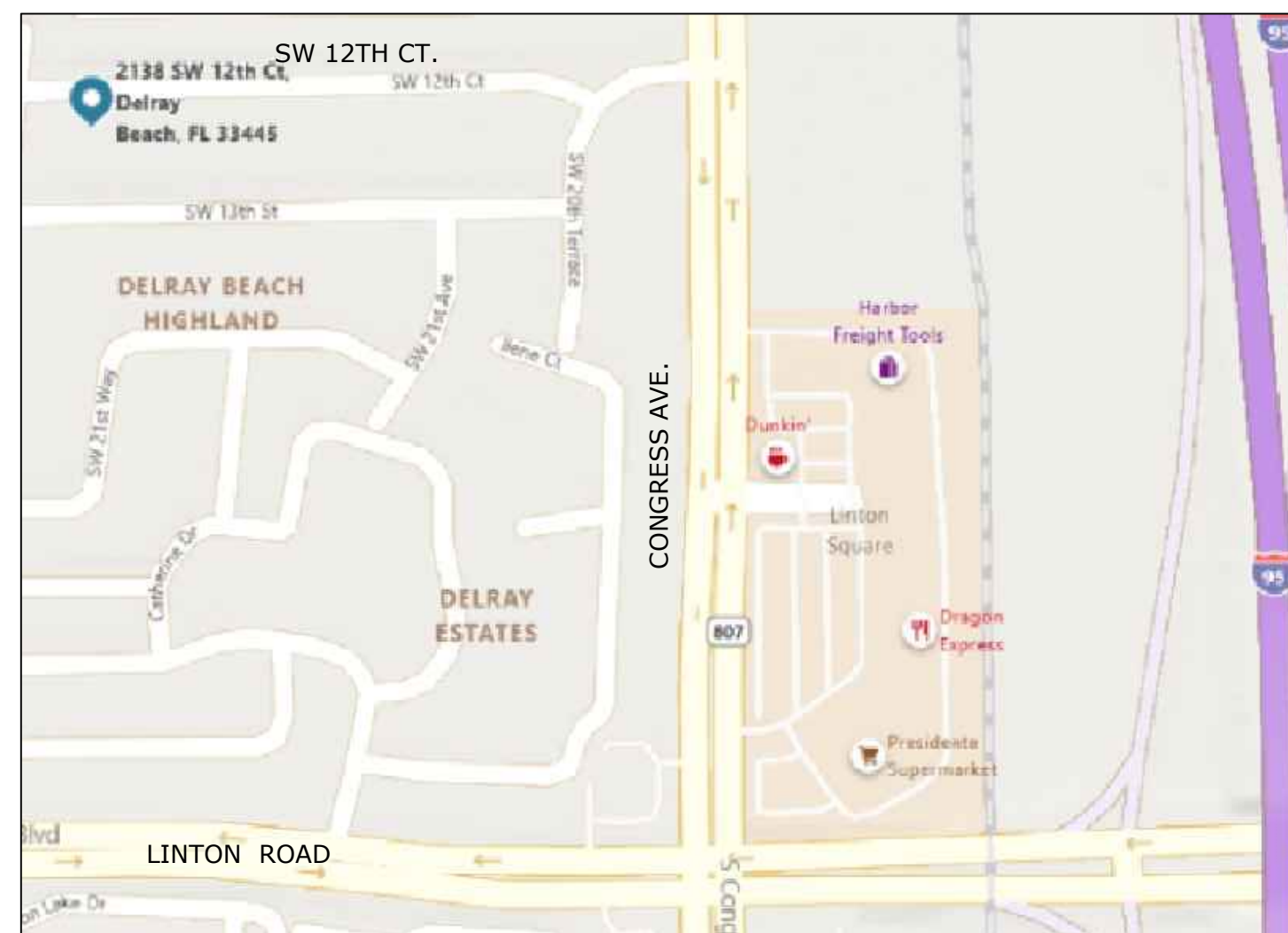
2. STRUCTURE:
THE FLOOR AREA OF THE NEW SPACE IS PROPOSED AS A LEVELING SLAB ON THE EXIST SLAB MATCHING THE EXISTING RESIDENCE. ALL WALL FRAMING IS WITH 2X6 SYP STUDS AND PLATES WITH CONTINUOUS PLYWOOD SHEATHING AT THE EXTERIOR WITH WEATHERPROOFING, LATHE, STUCCO AND GYPSUM BOARD ON THE INTERIOR. FULL THICK FIBERGLASS INSULATION SHALL BE USED IN THE WALLS AND R-30 FIBERGLASS BATTS APPLIED BETWEEN THE TRUSSES IN THE ATTIC ABOVE THE NEW SPACE. THE EXTERIOR WALLS FINISH WILL BE PAINTED TO MATCH THE EXISTING HOUSE. ALL WINDOWS AND DOOR WILL BE CODE COMPLIANT FOR WIND PRESSURES SHOWN.

3. IMPACT WINDOWS:
NEW WINDOWS AT THE PREVIOUS CARPORT SHALL BE EGRESS WINDOWS, IMPACT ALUMINUM WINDOWS, MATCHING THE EXISTING WINDOW FINISHES AND TINTS.

4. IMPACT TWO PANEL FIBERGLASS DOOR:
THE NEW SINGLE DOOR TO THE EXTERIOR SHALL BE A SMOOTH FINISH, FIBERGLASS DOOR BY PLASTPRO OR EQUAL.

INDEX TO DRAWINGS

T-1 TITLE SHEET: SITE DATA, PLAN & DETAILS
A-1 ELEVATIONS, SECTIONS, DETAILS, ELECTRICAL, & HVAC



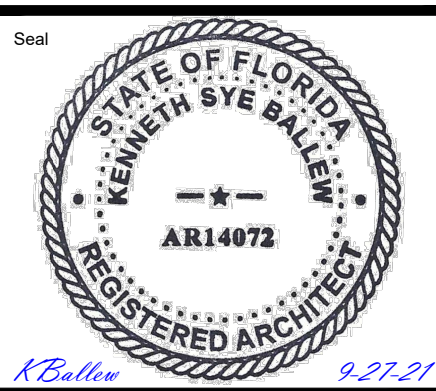
VICINITY MAP

General Notes

Revisions

No.	Date
1	ADD PAVER PARKING@WEST 9-27-21

PATRICK J. FITZGEARL GARAGE ENCLOSURE
2138 SW 12TH CT.
DELRAY BEACH, FL 33445



Firm Name and Address
KENNETH BALLEW, ARCHITECT
2976 NORWAY PINE LANE
LANTANA, FL 33462
FLORIDA LIC. AR 0014072

Project Name and Address
PATRICK J. FITZGEARL
2138 SW 12TH CT.
DELRAY BEACH, FL 33445

Project
PF0421Date
6-1-21Scale
VARIES

T-1