



Planning & Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Resource Point of Sale (RPOS)
Project Location: 1044 SW 10th Avenue
Request: Class III Site Plan Modification
Board: Site Plan Review and Appearance Board (SPRAB)
Meeting Date: March 9, 2016

Board Action:

Approved 5-0 = 40' Sight Visibility Triangle Waiver Request
Approved 5-0 = Special Action Parking Reduction
Approved 5-0 = Special Action Overhead Doors Facing R.O.W.
Approved 5-0 = Site Plan
Approved 5-0 = Landscape Plan
Approved 5-0 = Architectural Elevations

Project Description-noting staff concerns:

The subject property consists of portion of Lot 16, Esquire Subdivision, according to the Plat thereof as recorded in Plat Book 23 at Page 43 of the Public Records of Palm Beach County, Florida. The property is zoned LI (light Industrial), measures 0.42 acres, and is currently vacant. The site is located within the Wallace Drive Overlay District, which allows for the applicability of MIC (Mixed Industrial and Commercial) development standards. It is subject to the provision of the Wallace Drive Industrial Area Redevelopment Plan, which encourages the development of light industrial, limited commercial and office uses in an urban setting.

The Class III Site Plan Modification is associated with redevelopment of a previously approved Class V Site Plan to accommodate a new proposal consisting of construction of a two-story building containing 7,290 sq. ft. of office and warehouse uses on the 1st floor and 2,024 sq. ft. of offices with a mezzanine on upper levels with associated parking, loading, and landscaping.

The staff raised the following concerns:

The criteria to allow overhead doors to face the right-of-way specifically states that “except when it clearly demonstrated that no opportunity exists to do otherwise”. Staff offered that the overhead doors could face the side interior to the north and still have sufficient depth to construct a drive aisle and building meeting code requirements for setbacks and maneuvering area. As such, staff left the approval of this request at the Board’s discretion.

The Board supported the request and allowed the doors to face the unimproved SW 9th Avenue right-of-way as presented.

Board comments:

- Had concerns as to whether or not sufficient parking was provided and asked how many employees were anticipated. The owner (Austin Chaves) indicated that up to 20 employees were anticipated (whereas only 15 spaces are provided and 17 are required). The Board also questioned whether or not the net floor area for all office uses was allowed City-wide. Staff confirmed that typically it is only applied to professional and business offices, not attendant offices associated with industrial uses. After further discussion, the Board ultimately approved the special action parking reduction.

Board supported staff's recommended conditions of approval, as follows:

- Site Plan - Staff's recommended 8 conditions, as listed in the attached staff report.
- Landscape Plan – No conditions by staff or Board.
- Architectural Elevations – No conditions by staff or Board.

Public input – noting comments and concerns:

No members of the public spoke in opposition to or in support of the development proposal.

Associated Actions: None.

Next Action: City Commission approval of the 40' Sight Visibility Triangle Waiver Request.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

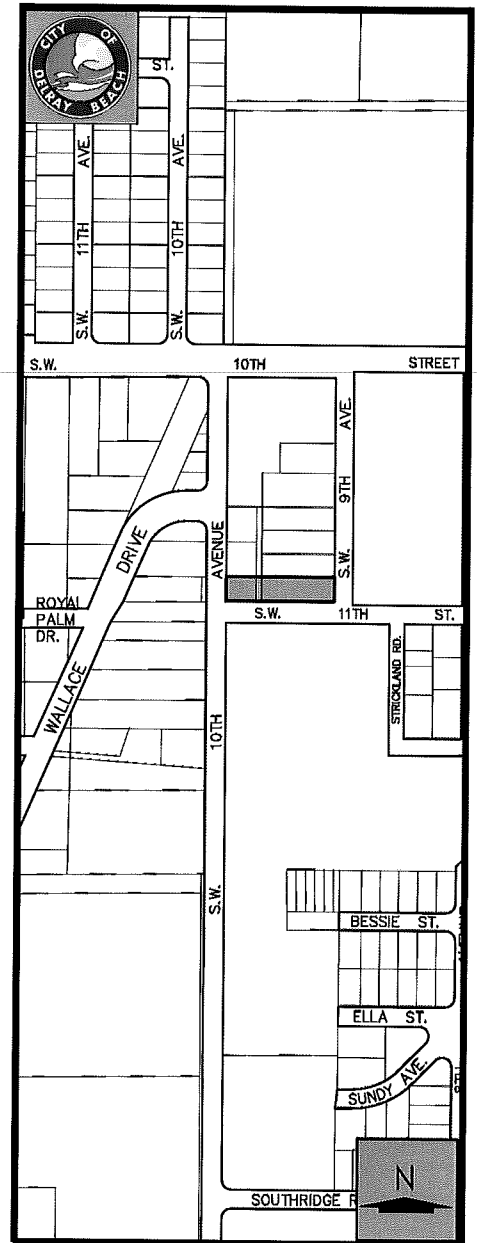
MEETING DATE: March 9, 2016

ITEM: **Resource Point of Sale** – Class III Site Plan Modification, Landscape Plan, and Architectural Elevations associated with construction of a one two-story building containing 7,290 sq. ft. of office and warehouse uses on the 1st floor and 2,024 sq. ft. of offices with a mezzanine on upper levels with associated parking, loading, and landscaping.

RECOMMENDATION: Approve the Class III Site Plan Modification, Landscape Plan, Architectural Elevations, Waiver Request and Parking Reduction Request. Board's Discretion on the Special Action Request.

GENERAL DATA:

Applicant.....	Austin Chavez
Agent.....	Stephen P. Edwards
Owner.....	RPOS DELRAY LLC
Location.....	At the northeast corner of SW 11 th Street and SW 10 th Avenue
Address.....	1044 SW 10 th Avenue
Property Size.....	0.42 Acres (18,361 sq. ft.)
Future Land Use Map.....	CMR (Commerce)
Current Zoning.....	LI (Light Industrial)
Adjacent Zoning.....	North: LI (Light Industrial) West: LI (Light Industrial) South: RM (Multi-Family Residential) East: CF (Community Facility)
Existing Land Use.....	Vacant/Undeveloped Land
Proposed Land Use.....	Offices, Warehouse and Storage
Water Service.....	Available via an existing 10" water main within SW 11 th Street r-o-w. A fire hydrant is located on the west side of SW 9 th Avenue
Sewer Service.....	Available via an existing 8" sewer main, along SW 9 th Avenue r.o.w.



ITEM BEFORE THE BOARD

The action before the Board is approval of the following aspects of a Class III Site Plan Modification request for the **Resource Point of Sale (RPOS)**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(c):

- ☐ Site Plan;
- ☐ Landscape Plan;
- ☐ Architectural Elevations;
- ☐ Waiver Request; and,
- ☐ Special Action Requests

The subject property is located on the northeast corner of SW 10th Avenue and SW 11th Street (1044 SW 10th Avenue).

BACKGROUND

The subject property consists of portion of Lot 16, Esquire Subdivision, according to the Plat thereof as recorded in Plat Book 23 at Page 43 of the Public Records of Palm Beach County, Florida. The property is zoned LI (light Industrial), measures 0.42 acres, and is currently vacant.

The subject property is located within the Wallace Drive Overlay District. The Wallace Drive Industrial Area Redevelopment Plan was adopted by the City Commission on January 6, 2004. The Plan encourages the development of light industrial, limited commercial and office uses in an urban setting. At its meeting of February 3, 2004, the City Commission approved a text amendment to LDR Section 4.4.26 (Light Industrial zoning district) in accordance with the creation of the Wallace Drive Overlay District associated with the Wallace Drive Industrial Area Redevelopment Plan.

At its meeting of February 27, 2013, the Site Plan Review and Appearance Board (SPRAB) approved a Class V Site Plan, Landscape Plan, and Architectural Elevations associated with the construction of a one-story 3,000 square foot office and warehouse building with two tenant bays, and construction of a nine (9) space parking lot, for a project known as SW 11th Street Holding LLC Building. The project was certified but was never built.

On September 10, 2014, the SPRAB approved a Class V site plan for construction of a 6,741 sq. ft. two-story administration and warehouse building located to the west portion of the site (4,673 sq. ft. on the first floor and 1,236 sq. ft. on the second floor); and a 2,277 sq. ft. two-story executive office and employee spa building located on the east portion of the site (1,041 sq. ft. on the first floor and 1,236 sq. ft. on the second floor).

Now before the Board for consideration is approval of a Class III Site Plan Modification associated with redevelopment of a previously approved Class V Site Plan to accommodate a new proposal consisting of construction of a two-story building containing 7,290 sq. ft. of office and warehouse uses on the 1st floor and 2,024 sq. ft. of offices with a mezzanine on upper levels with associated parking, loading, and landscaping.

PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Construction of a two-story 9,314 sq. ft. office, warehouse and storage building

- ☐ Construction of a 9-space parking lot fronting on SW 10th Avenue
- ☐ Construction of 6 on-street parallel parking spaces along SW 11th Street
- ☐ Construction of a security-gated loading area with overhead doors facing SW 9th Avenue, and vehicle accessibility from SW 11th Street
- ☐ Construction of a 6' wall around the proposed loading area and 6' security gate entry
- ☐ Construction of a new 5' concrete sidewalk along SW 9th Avenue
- ☐ Construction of a new 5' concrete sidewalk along SW 11th Street
- ☐ Provision of a 10' perimeter landscape buffer along the south, west and east sides
- ☐ Installation of 5 bicycle racks along the main entry pathway; and,
- ☐ Installation of associated on-site landscaping.

The Class III Site Plan Modification request also includes special action request as follows:

- ☐ A special action request to allow overhead doors to face the adjacent right-of-way along SW 9th Avenue, when it is clearly demonstrated that no opportunity exists to do otherwise, pursuant to LDR Section 4.4.26(H)(1).

The Class III Site Plan Modification request also includes waiver request as follows:

- ☐ A waiver to allow a 25' sight visibility triangle, where a 40' sight visibility triangle is required at the intersection of two rights-of-way, pursuant to LDR Section 4.6.14(B)(6).

WALLACE DRIVE OVERLAY DISTRICT

LDR Section 4.5.8(A): The Wallace Drive Overlay District is defined as the area bounded by SW 10th Street on the north, Georgia Street on the south, SW 9th Avenue on the east and Wallace Drive on the west. The regulations established in Section 4.4.26(F)(3) shall apply to all LI zoned parcels within the overlay district.

LDR Section 4.4.26(F)(3): The Wallace Drive Overlay District Development Standards depicted in the Section 4.3.4(K) Development Standards Matrix, shall be the same as those of the MIC (Mixed Industrial and Commercial) Zoning District.

Accordingly, as indicated in the following "Site Plan Analysis" section of this staff report, the Resource Point of Sale (RPOS) development proposal is consistent with the (MIC) Mixed Industrial and Commercial Zoning District standards.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall be specifically addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4 – Base District Development Standards:

Development Standards Matrix:

According to LDR Section 4.3.4 - Development Standards Matrix for Non-residential Zoning Districts, the following apply to LI (Light Industrial) & MIC (Mixed Industrial and Commercial) zoning districts:

Wallace Drive Overlay District	Max. Lot Coverage (%)	Min. Open Space (%)	Min. Front Setback (ft.)	Min. Side Interior Setback (ft.)	Min. Side Street Setback (ft.)	Min. Rear Setback (ft.)	Max. Bldg. Height (ft.)
MIC**	50	25	25	10¹	25²	10	48
LI	50	25	10	5	10	10	48*
Provided	39.5	30.2	70'8"	5	10	48'7"	29'5"

**Pursuant to LDR Section 4.4.26(F)(1), for each foot in height above 25', the front and side street setbacks shall be increased by one foot (1'). For the subject site, this is not applicable [See LDR Section 4.4.26(F)(2)].*

***In the MIC (Mixed Industrial and Commercial) Zoning District, there is no minimum requirement (i.e. "0") for the minimum lot size, minimum lot width, minimum lot depth, or minimum lot frontage. Thus, compliance is demonstrated with existing conditions.*

¹ A variance has been previously approved to allow a minimum 5' side interior setback.

²A variance has been approved to allow a minimum 10' side street setback.

Special District Regulations:

Pursuant to LDR Section 4.4.26(H)(2), all required setback areas shall be landscaped with no paving except for driveways and walkways leading to structures on the premises. As such, driveways and walkways shall be generally perpendicular to the property line. The development proposal has provided the required landscape areas around the perimeter of the parcel. Thus this LDR requirement has been met.

Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three (3) sides and have vision obscuring gates on the fourth side, unless such areas are not visible from a public right-of-way. The proposed refuse facility is located at the northeast corner of the site. The trash and recycling enclosure area will not be visible from the adjacent rights-of-way because it will be screened by a 6' high wall. A detail of the trash enclosure is provided which demonstrates compliance with the code. Thus, this LDR requirement is met.

Loading Area:

Pursuant to LDR Section 4.6.10(A) and (B), space for accommodating the unloading of merchandise, inventory, materials, supplies, and products shall be provided on the site where a use which requires such items is located. Provisions for a minimum 12' x 30' loading area is shown on the site plan. It is accommodated at the northeast corner of the site and requires security gate access. To eliminate stacking concerns, as a condition of approval, the security gates shall only be utilized after hours, when the business is closed. Pending compliance, this LDR requirement will be met.

Bicycle Facility:

Pursuant to LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan, bicycle parking facilities shall be provided for all new developments and redevelopment of sites. Bicycle parking facilities have been provided. A bicycle rack detail consistent with the architectural rendering is shown. Thus, this LDR requirement has been met.

Lighting:

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. A detail shall be provided which indicates that all pole mounted light fixtures do not exceed the 25' maximum height requirement. Cut sheets shall also be provided for any proposed wall-mounted light fixtures. These items have been provided and appear to meet the LDR requirements.

For buildings and structures, point calculations must be provided which meet the minimum and maximum requirements for accent pathways, building entrances, landscape lighting, canopies and overhangs. A photometric plan (Sheet E1.1) has been provided, which appears to meet these minimum and maximum standards. Thus, this LDR requirement is met.

Off-Street Parking:

Pursuant to LDR Section 4.6.9(C)(5)(a), general industrial uses (manufacturing, assembly, and attendant offices) shall provide parking at the rate of 3 spaces per 1,000 square feet of floor area devoted to such uses. In addition, 1 space shall be provided for each 1,000 square feet of floor area devoted to storage and warehouse use.

On the first floor, 2,343 sq. ft. of offices are proposed, which requires 7 spaces and 4,937 sq. ft. or warehouse are proposed which requires 5 spaces, for a total of 7,290 sq. ft. and 12 spaces.

On the second floor, 1,316 sq. ft. of offices are proposed, which require 4 spaces and 708 sq. ft. mezzanine is proposed for storage, which requires 1 space, for a total of 2,024 sq. ft. and 5 spaces.

For the overall development consisting of 9,314 sq. ft., a total of 17 parking spaces is required and 15 parking spaces have been provided. Based on the above, this parking requirement is not met. Accordingly, plans will have to be revised to accommodate an additional 2 parking spaces unless the special action parking reduction request is approved, which is discussed later in the "Special Action Parking Reduction" section of this report.

Visibility at Intersections:

10' Sight Visibility Triangles

Pursuant to LDR Section 4.6.14(B)(1), when an access way intersects a street or alley, 10' sight visibility triangles areas shall provided as measured from the area on both sides of a driveway formed by the intersection of a driveway and the parcel boundary with a length of ten (10) feet along the driveway and a length of ten (10) feet along the property line and the third side being a line connecting the ends of the other two lines. 10' sight visibility triangles for access to the proposed 9-space parking lot have been depicted. Thus, this LDR requirement is met.

40' Sight Visibility Triangles

Pursuant to LDR Section 4.6.14(B)(6), the area formed by the intersection of two rights-of-way must allow for forty feet (40') of sight visibility formed by a triangle as measured from the parcel boundaries at the intersection of both rights-of-way and a length of 40' feet along the parcel boundary from the intersection point in both directions with the third side being a line connecting the ends of the other two lines. The 40' sight visibility triangle has not been drawn on the proposed plans. Upon doing so, it will be clearly demonstrated that the proposed 6' wall will encroach in the southeast corner of the sight at the intersection of SW 11th Street and SW 9th Avenue. It appears that only a 25' sight visibility triangle can be accommodated with the current design. As such, a waiver is required, or the plans will have to be revised to demonstrate compliance. Staff analysis of the potential waiver is provided in the "Waiver Analysis" section of this report.

Sidewalks:

Pursuant to 6.1.3, the primary purpose of sidewalks is to provide a safe place for pedestrian travel. Generally, sidewalks are required along both sides of all streets. The development proposal includes the construction of a new 5' wide concrete sidewalk along SW 11th Street and SW 9th Avenue. A sidewalk meeting the aforementioned requirements currently exists along SW 10th Avenue. Upon construction of the proposed two sidewalks, this standard will be met.

Undergrounding of Utilities:

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. All existing and proposed utilities associated with the development must be located underground and a note to this effect is included site plan. Thus, the intent to meet this standard is documented accordingly.

Site Plan Technical Items: while the revised engineering plans have been submitted to accommodate staff concerns, the following items remain outstanding:

1. To eliminate stacking concerns, the security gates shall only be utilized after hours, when the business is closed.
2. On the site plan (Sheet A-1.0), pursuant to LDR Section 4.6.9(D)(3)(c), dimension and label all stacking distances provided (i.e. security gates and driveway entrances). They are misrepresented.
3. Per LDR Section 2.4.3(B)(1), all plans (i.e. tree removal plan (1"=40'), pollution prevention plan (1"=30'), demolition plan (1"=20'), civil plans (1"=20'), etc.) shall be at the same engineering scale as the site plan (1"=10'). Redraw applicable plan sheets for consistency.

4. Per LDR Section 4.6.14(B)(6), graphically depict 40' sight visibility triangles at the intersections of two rights-of-way along SW 11th Street at SW 10th Avenue and SW 9th Avenue. Assure a clear line of sight above 3' per LDR Section 4.6.14(C) Intersections. If the waiver is approved, a 25' sight visibility may be shown instead of the required 40' sight visibility triangle.
5. Per LDR Section 4.4.26(H)(1), overhead doors shall not face adjacent rights-of-way except when it is clearly demonstrated that no opportunity exists to do otherwise. Should the Site Plan Review and Appearance Board (SPRAB) reject the justification as to why these overhead doors cannot relocated to be oriented facing the north (interior side), then the layout of the site shall be revisited to reorient the doors away from the adjacent rights-of-way along SW 9th Avenue.
6. For the overall development consisting of 9,314 sq. ft., a total of 17 parking spaces is required and 15 parking spaces have been provided. Based on the above, this parking requirement is not met. Accordingly, plans will have to be revised to accommodate an additional 2 parking spaces.

Traffic Engineer Technical Items: while the revised traffic study has accommodated most of staff concerns, the following items remain outstanding:

1. Total daily trip generation of 114 was calculated based on the ITE Trip Generation Hand Book. Although the methodology utilized was correct, this will require staff verification.
2. Because the previous traffic study was conducted over a year ago, the latest traffic study must assure that the traffic patterns have not changed. The developer shall utilize the SYNCHRO analysis tool which provides capacity analysis of the intersection SW 10th Avenue and SW 11th Street with and without the proposed project. Palm Beach County has only concluded that the development meets TPS more than a year ago. They did not provide any comments on the site plan which was not provided.
3. Utilize the latest existing and build-out (2018) roadway capacity level of service in the peak hours at the intersection as well as the SW 11th Street roadway link. The analysis will assist staff in determining whether existing driveways are adequate without the provision of turning lanes. Simply providing us the revised Traffic Generation Statement will not suffice.
4. Turning movements do not consider driveway access on SW10th Avenue. This option must be addressed in the traffic study for comparison to the proposed SW 11th Street access.
5. The existing traffic patterns may differ from what existed a year ago when the previous study was provided. It is outdated and observation analysis of new traffic patterns is necessary the site plan approval.

WAIVER ANALYSIS

Pursuant to LDR Section 2.4.7(B)(5), prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;

- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; or,
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

40' Sight Visibility Triangles:

Pursuant to LDR Section 4.6.14(B)(6), forty foot (40') sight visibility triangles are required and are not met. The forty foot (40') sight visibility triangle is obstructed by the 6' wall at the intersection of SW 9th Avenue and SW 11th Street. The applicant is requesting a waiver to this requirement to account for a twenty-five foot (25') sight visibility triangle.

The applicant has provided the following verbatim justification:

"We are requesting a waiver or relief from the requirement of 40' sight visibility triangle. With the site being only 66' wide, it is very restrictive to develop and meet the client's needs and city requirements. The 6 foot wall serves many purposes, namely, it shields the view of the overhead doors from the ROW/SW 9th Avenue, offers a more secure area around vulnerable building entries/delivery area and keeps the trash/recycling area out of public view. As is, the 6' wall is placed on the site, so that a 25' sight visibility triangle is present at the SW 9th Avenue and SW 11th Street intersection. Although this is allowable only in a single family residential zoning district per LDR Section 4.6.14(B)(4), it is in keeping with the neighborhood, where the continuation of SW 9th Avenue on the south side of SW 11th Street uses a 25' sight visibility triangle, as well. We also do not believe that the relief/waiver will significantly diminish the provision of public facilities. Due to the fact that SW 11th Street dead ends into an R-1 neighborhood, SW 9th Avenue is undeveloped and the intersection across the street utilizes the 25' triangle, it is unlikely to create an unsafe situation. And due to the restrictive nature of the property width, and the multiple reasons for needing the 6' wall, it will not result in the granting of a special privilege."

The reduction of the forty foot (40') sight visibility triangles to twenty-five feet (25') at the intersection of the two (2) rights-of-ways at the property line for SW 9th Avenue at SW 11th Street is deemed necessary, given that the existing site measures only 66.28 feet deep. Provision of a 40' sight visibility triangle along adjacent rights-of-way substantially reduces the development potential of the property. This is a hardship at no fault of the applicant. Thus, the waiver would be deemed supportable under similar circumstances and is not considered a special privilege. A reduced twenty-five foot (25') sight visibility triangle will not present a danger to vehicular traffic or pedestrians, and supports the current site design layout.

Granting a reduced twenty-five foot (25') sight visibility triangle waiver will not have an adverse effect on the neighboring area and will not create an unsafe situation. A twenty-five foot (25') sight visibility triangle (i.e. 15' reduction) would be supported under similar circumstances and therefore will not result in the granting of a special privilege. Consequently, a positive finding with respect to LDR Section 2.4.7(B)(5) can be made for the proposed twenty-five foot (25') sight visibility triangle reductions at the intersection of SW 9th Avenue and SW 11th Street.

SPECIAL ACTION PARKING REDUCTION

LDR Section 4.6.9(F)(1) - Reduction Allowed:

Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant has provided the following justification statement regarding this special action:

"The parking was calculated, not including restrooms, stairs, breakroom, etc., which represent non-concurrent use spaces (512 s. f.), thus the 15 vs. 17 spaces. The office area is physically separated from the warehouse and functions are delegated to individuals, namely, 3 support staff, receptionist and office manager. The 2nd level anticipates company growth with future offices, which are in the parking calculations. This will be the SE headquarters for Resource POS and will need to function as a satellite to support the company's business functions and professional image."

In such case, staff agrees that the parking reduction does not offer any detrimental impact to the community. Granting of the parking reduction would not be considered a special privilege, as it would be supported under similar circumstances. It should be noted that if the Site Plan Review and Appearance Board (SPRAB) rejects the special documentation as to why the additional two parking spaces are not deemed necessary, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval.

LANDSCAPE ANALYSIS

The landscape plan submitted has been evaluated by the City Landscape Senior Planner. The landscape plan provides perimeter and building foundation landscape material and calls for various native plants as well as plants that are suitable for the local climate.

The landscape plan generally complies with LDR Section 4.6.16. Based upon the above, the proposed landscape plan is in compliance with the provisions of LDR Section 4.6.16.

ARCHITECTURAL ELEVATIONS

LDR Section 4.6.18(E) - Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- (a) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

- (b) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (c) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevations are of a contemporary industrial style consisting of concrete masonry walls with a smooth stucco finish. As the majority of the building is intended for office and warehouse, functional aluminum frame impact resistant windows are being provided on the architectural elevations of the building.

The building features several design elements that help create a very attractive streetscape along SW 10th Avenue and SW 11th Street. These design elements include, aluminum solar shades, corrugated metal siding, stainless steel cable railing along the balconies, decorative coquina shell over stucco finish, and cantilever overhangs.

The color palette consists of four colors: Jocular green (which is a light green color) for the roof fascia, pure white for the stucco wall, a slight aqua tint green color for the window and door glass, and the coquina shell will be a beige. The combination of these colors will provide visual interest and be an aesthetic improvement to an existing vacant lot. The proposed architectural elevations will positively contribute to the surrounding area, increase adjacent property values and benefit the City as a whole. Based upon the above, positive findings can be made with respect to LDR Section 4.6.18(E).

SPECIAL ACTION BY THE BOARD

LDR Section 4.4.26(H)(1) Overhead Doors:

Pursuant to LDR Section 4.4.26(H)(1), overhead doors shall not face adjacent rights-of-way except when it is clearly demonstrated that no opportunity exists to do otherwise.

The applicant has provided the following justification statement regarding this special action:

"There is no other option for the door access to the warehouse space due to the narrow lot depth of 66'. The doors will be behind a solid 6' wall and significant landscaping/trees block the view of the doors. These doors are also facing SW 9th Avenue, which is not paved (paper street). Please see Sheet A-4 for a perspective drawing representing the wall and landscaping that hide the doors."

Due to the fact that service doors are substantially set back from the public rights-of-way (i.e. 38'2" from SW 9th Avenue) and visually screened by a proposed 6' wall, there will not be substantial impact to the neighboring community.

However, given that the proposed building does not exist on this vacant lot and the plans could be redesigned to provide a narrower (i.e. 40'-54') building in order to accommodate up to a minimum 12' one-way or maximum 26' two-way drive aisle along the north interior side, it does not meet the criteria "except when it is clearly demonstrated that no opportunity exists to do otherwise".

In such case, while staff agrees that the proposed location does not offer any detrimental impact to the community and will be primarily visually concealed along the unimproved SW 9th Avenue, it cannot clearly be demonstrated that an alternate design is not feasible. As such, staff leaves approval of the proposed design layout at the Board's discretion.

It should be noted that if the Site Plan Review and Appearance Board (SPRAB) rejects the justification as to why the overhead doors cannot be relocated to be oriented facing the north (interior side), then the site design layout shall be revisited to reorient the doors away from the adjacent rights-of-way, and this is a condition of site plan approval.

REQUIRED FINDINGS

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map (FLUM) designation of Commerce (CMR) and a zoning designation of Light industrial (LI). Pursuant to LDR Section 4.4.26(B) the wholesaling, storage, distribution and office uses are permitted in the LI (Light Industrial) district under "Principal Uses and Structures Permitted". Based upon the above, a positive finding with respect to consistency with the FLUM designation can be made.

LDR Section 3.1.1(B) - Concurrency:

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water, sewer, streets, drainage, parks and recreation, solid waste, and schools. However, traffic concurrency has not yet been confirmed, and this is a condition of approval.

LDR Section 3.1.1(C) - Consistency (Standards for Site Plan Actions):

As described in Appendix "B", a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDR can be made, when all outstanding items attached as conditions of approval are addressed.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives and/or policies are noted:

Transportation Element Policy D-2.2: Bicycle parking and facilities shall be required on all new development and redevelopment. The development proposal has accommodated a bicycle racks and provided bike rack details. Thus, compliance with this standard is confirmed.

Future Land Use Element Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations; is complimentary to adjacent land uses; and fulfills remaining land use needs.

The subject property consists of one vacant lot. The proposed development includes new construction of a 9,314 sq. ft. two-story office and warehouse building with a 708 sq. ft. mezzanine for storage on the second floor.

A vacant lot owned by the City of Delray Beach zoned Light Industrial (LI), abuts the subject property on the north. A residential retirement community known as the Groves of Delray built in 1995 and zoned RM (Multiple Family Residential), is located across SW 11th Street to the south. The property to the east is Calvary Bible Baptist Church which was built in 1962 and is zoned CF (community Facility). The property to the west is zoned Light Industrial (LI) and consist of a non-conforming structure built in 1962 (a single family residence).

The proposed development is not considered a pollution generating structure in terms of smoke, noise or industrial effluents. It is indeed an office and warehouse building, with storage facilities. Resource Point of Sale LLC. (RPS) is a Chicago based company specializing in point of sale equipment for the restaurant and retail industries. The City of Delray Beach will be the Southeast USA RPS distribution center. The project consists of on building. The building will host visitors in the main visitors lobby, offer product demonstration, include an administration staff area and product display exhibits. The residential development to the south, single family residence to the east and the community facility (Calvary Baptist Church) to the east will not be negatively impacted by the proposed development of this vacant lot as Resource Point of Sale. There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development. The proposed industrial land use might be considered incompatible with adjacent residential land uses. However, given the product, no adverse impacts are anticipated. Therefore, based upon the above, no compatibility issues will exist between the proposed development and the surrounding land uses and positive findings can be made with regard to Future Land Use Element Objective A-1.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Industrial Zoning Adjacent to Residential Zoning:

Pursuant to LDR Section 4.6.4(B)(1), where the rear or side of industrially zoned property does not directly abut residentially zoned property, but is separated from it by a street, alley, railroad, waterway, park, or other public open space, the industrially zoned property shall provide a 60-foot building setback from the property line located adjacent to the separator. The purpose of this LDR requirement is to create a physical barrier between the proposed industrial building and the residential area to the south.

This can be achieved by providing a 60-foot building setback from the property line located on the opposite side of SW 11th Street. In addition, either a solid finished masonry wall six feet in height, or a continuous hedge at least 4½' feet in height is required along the property line of the industrial property. While 60' existing from the property line on the opposite site of SW 11th Street (50' right-of-way) to the proposed building which is setback 10' from its own south property line is provided, a continuous hedge of at least 4½' or a 6' wall has not been provided

along the property frontage on SW 11th Avenue, interior to the property. It is noted that the property is heavily vegetated along SW 11th Avenue with a variety of tree and groundcover species, so no concern is anticipated. However, if a continuous hedge of at least 4½' was proposed, compliance with this requirement could be clearly demonstrated.

To the west, it is noted that single family residential is not an allowed use in the LI (Light Industrial District), and thus, no buffer is required.

The following table identifies the zoning designations and uses adjacent to the subject property:

	<i>Zoning District:</i>	<i>Land Use:</i>
<i>North</i>	Light Industrial (LI)	Vacant City-owned Lot
<i>South</i>	Multiple Family Residential (RM)	Groves of Delray (Retirement Community)
<i>West</i>	Light Industrial (LI)	Nonconforming house built in 1962 (single family residence)
<i>East</i>	Community Facility (CF)	Calvary Bible Baptist Church

Given the above, compatibility between the proposed development and the surrounding properties is not a concern. Further, there are no potential conflicts between the proposed industrial development and the adjacent developments relative to the Comprehensive Plan. Thus, positive findings can be made with respect to LDR Section 2.4.5(F)(5)(Compatibility).

WALLACE DRIVE REDEVELOPMENT AREA

Future Land Use Element Policy C-1.8: The Wallace Drive Redevelopment Plan includes the area that is bordered by SW 10th Street on the north; Milfred Street on the south; SW 9th Avenue on the east; and Tangelo Terrace on the west. The area had developed under County jurisdiction into a mix of incompatible land uses with limited public infrastructure and little or no code enforcement. The Wallace Drive Industrial Area Redevelopment Plan was adopted by City Commission on January 6, 2004. The Plan establishes proposed land use designations for the Redevelopment Area. Future development must be in accordance with the provisions of the Redevelopment Plan. The Redevelopment Plan encourages the development of light industrial, limited commercial and office uses in an urban setting. Aggregation of parcels is encouraged throughout the Redevelopment Area to accommodate unified development.

The Redevelopment Plan states that due to its close proximity to Interstate-95 and the Linton Boulevard interchange, the area is a prime location for uses which need good access for the distribution of goods and services. The MIC (Mixed Industrial and Commercial) and the LI (Light Industrial) zoning districts are compatible with a variety of industrial uses, including manufacturing, assembly, storage and distribution facilities. The Redevelopment Plan further identifies the subject property specifically for development as industrial use.

In areas zoned MIC (Mixed Industrial and Commercial) the goal of the Wallace Drive Redevelopment Plan is to replace all of the existing nonconforming residential uses with light

industrial, commercial and office uses. The proposed Resource Point of Sale will replace an existing vacant lot with a light industrial, warehouse and office use.

The development proposal warehouse, office and storage building is consistent with the guidelines for redevelopment of the Wallace Drive Industrial Area. Therefore, positive findings can be made with regard to Future Land Use Element Policy C-1.8. Thus, this consistency with this policy is confirmed.

REVIEW BY OTHERS

The development proposal is not located in an area requiring review by the Community Redevelopment Agency (CRA), Downtown Development Authority (DDA), or other advisory Board.

Courtesy Notices:

Courtesy notices have been sent to the following homeowner's and/or civic associations:

- ☐ Southridge HOA
- ☐ The Groves of Delray
- ☐ Delray Citizen's Coalition

Public Notices:

No public notification is required for site plan modifications. No letters of objection or support have been received to date. Any letters of objection or support received after preparation of this staff report, will be disclosed at the Site Plan Review and Appearance Board (SPRAB) meeting.

ASSESSMENT AND CONCLUSION

Resource Point of Sale LLC (RPS) is a Chicago based company specializing in point of sale equipment for the restaurant and retail industries. The City of Delray Beach will be the Southeast USA RPS distribution center. The project consists of one 9,314 sq. ft. two-story building, with associated parking, loading and landscape areas.

The proposal also includes the construction of a 9-space parking lot with the provision of 6 on-street parallel parking spaces for a total of 15 spaces, whereas 17 spaces is required. Accordingly, plans will have to be revised to accommodate an additional 2 parking spaces unless the special action parking reduction request is approved, and this is a condition of approval.

The special action request to allow the overhead doors to face unimproved SW 9th Avenue is reasonable given that a 6' wall is provided. However, the criteria to allow it, except when it is clearly demonstrated that no opportunity exists to do otherwise, has not been met. Thus, approval of this site design layout is at the Board's discretion.

The waiver to reduce the 40' sight visibility triangle to 25' is supportable, given that the 6' wall assists in shielding the overhead doors from the adjacent rights-of-way.

Whereas, 100' of stacking is typically required for security gates, the subject property is only 66.28' feet deep and it merely cannot be accommodated with the current design. Accordingly, staff requests that as a condition of approval the security gates remain open during all regular operation hours, and are only closed after hours to alleviate a stacking concern. It is also noted

that on the site plan, the stacking distances are measured incorrectly and this must be remedied prior to site plan certification and is a condition of site plan approval.

Last, but certainly not least, a traffic concurrency determination must be provide that either satisfies the requirements of the City of Delray Beach Traffic Engineer or the Palm Beach County Traffic Division. This is also a condition of site plan approval.

In conclusion, the development will be consistent with the objectives and policies of the Comprehensive Plan and Chapter 3 of the Land Development Regulations as well as the Wallace Drive Industrial Area Redevelopment Plan, provided that the attached conditions of approval are addressed. Positive findings can also be made with respect to LDR Section 2.4.5(F)(5) regarding compatibility of the proposed use with surrounding properties.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Request for **Resource Point of Sale (RPOS)**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 2.4.5(G)(1)(c), 4.6.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations, subject to the attached conditions of approval.
- C. Move denial of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Request for the **Resource Point of Sale (RPOS)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and do not meet criteria set forth in Sections 2.4.5(F)(5), 2.4.5(G)(1)(c), 4.6.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Waiver Request:

Recommend **approval** to the City Commission for a waiver to LDR Section 4.6.14(B)(6), which requires that forty foot (40') sight visibility triangles are provided at the intersection of two (2) rights-of-way, whereas the proposed plans for Resource Point of Sale request a twenty-five foot (25') sight visibility triangle at the intersection of SW 9th Avenue and SW 11th Street.

Special Action Parking Reduction:

Move **approval** of the special action parking reduction request for Resource Point of Sale (RPOS) to provide 15 spaces whereas 17 is required, pursuant to LDR Section 4.6.9(F)(1), which allows for reduced parking when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) rejects the special documentation as to why the additional two parking spaces are not deemed necessary, then the site design layout shall be revised to accommodate the required parking, and this is a condition of site plan approval. See *Site Plan condition #4 below*.

Special Action By The Board:

Board's Discretion in acceptance of the proposed location of the overhead doors which face the public right-of-way along SW 9th Avenue for Resource Point of Sale (RPOS), pursuant to LDR Section 4.4.26(H)(1) which indicates that overhead doors shall not face adjacent public rights-of-way except when it is clearly demonstrated that no opportunity exists to do otherwise.

NOTE: It is noted that should the Site Plan Review and Appearance Board (SPRAB) reject the justification as to why these service doors cannot be relocated to be oriented facing the north (interior side), then the layout of the site shall be revisited to reorient the doors away from the adjacent rights-of-way. See *Site Plan condition #5 below*.

Site Plan:

Move **approval** of the request for a Class III Site Plan Modification for Resource Point of Sale, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5), 2.4.5(G)(1)(c) and Chapter 3 of the Land Development Regulations, subject to the following conditions:

1. Provide four (4) signed and sealed copies of the revised plans that address the remaining technical comments as indicated in the staff report and all conditions.
2. To eliminate stacking concerns, the security gates shall only be utilized after hours, when the business is closed.
3. On the site plan (Sheet A-1.0), pursuant to LDR Section 4.6.9(D)(3)(c), dimension and label all stacking distances provided (i.e. security gates and driveway entrances). They are misrepresented.
4. Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when upon receipt and acceptance of special documentation it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly. Should the Site Plan Review and Appearance Board (SPRAB) reject the special documentation as to why the additional two parking spaces are not deemed necessary, then the site design layout shall be revised to accommodate the required parking.
5. Per LDR Section 4.4.26(H)(1), overhead doors shall not face adjacent rights-of-way except when it is clearly demonstrated that no opportunity exists to do otherwise. Should the Site Plan Review and Appearance Board (SPRAB) reject the justification as to why these overhead doors cannot be relocated to be oriented facing the north (interior side), then the layout of the site shall be revisited to reorient the doors away from the adjacent rights-of-way along SW 9th Avenue.
6. Per LDR Section 4.6.14(B)(6), graphically depict 40' sight visibility triangles at the intersections of two rights-of-way along SW 11th Street at SW 10th Avenue and SW 9th Avenue. Assure a clear line of sight above 3' per LDR Section 4.6.14(C) Intersections. If the waiver is approved, a 25' sight visibility may be shown instead of the required 40' sight visibility triangle.

7. Per LDR Section 2.4.3(B)(1), all plans (i.e. tree removal plan (1"=40'), pollution prevention plan (1"=30'), demolition plan (1"=20'), civil plans (1"=20'), etc.) shall be at the same engineering scale as the site plan (1"=10'). Redraw applicable plan sheets for consistency.
8. Obtain a traffic concurrency determination that either satisfies the requirements of the City of Delray Beach Traffic Engineer or the Palm Beach County Traffic Division.

Landscape Plan:

Move **approval** of the request for a landscape plan for **Resource Point of Sale**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 4.6.16 and Chapter 3 of the Land Development Regulations.

Architectural Elevations:

Move **approval** of the request for architectural elevations for the **Resource Point of Sale**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 4.6.18(E) and Chapter 3 of the Land Development Regulations.

Staff Report Prepared by: Candi Jefferson, Senior Planner

Attachments: Appendices "A" & "B", Location Map, Site Plan, Landscape Plans and Architectural Elevations

APPENDIX "A" CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water service will be provided via service lateral connection to a proposed 10" water main located within SW 11th Street right-of-way. Sewer service will be provided via service lateral connection to an existing 8" sanitary sewer main located within the SW 9th Avenue right-of-way. Fire protection will be provided via an existing fire hydrant located on the west side of SW 9th Avenue r-o-w. The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population based on the current FLUM. The development proposal will have an insignificant impact on these services. Thus, a positive finding with respect to this level of service standard can be made.

Streets and Traffic: The applicant has submitted a traffic study indicating that the proposed project will generate 114 Average Daily Trips (ADT), with 13 AM peak hour trips and 6 PM peak hour trips. Even though the impact on the surrounding road network may be considered insignificant, the City Traffic Engineer has items pending resolution as identified earlier in the staff report. In such case, provisions need to be made to address the Traffic Engineer concerns or the applicant can obtain a letter from the Palm Beach County Traffic Division indicating that the development proposal meets concurrency. Thus, this is attached as a condition of approval.

Parks and Recreation Facilities: Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

Solid Waste: The proposed 9,314 square foot industrial, warehouse and storage facility will generate 23.302 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2047. Thus, a positive finding with respect to this level of service standard can be made.

Drainage: Drainage will be accommodated on site via sheet flow into a 55' linear foot exfiltration trench and two in-let catch basins located within the parking area. There should be no impact on drainage as it relates to this level of service standard.

Schools: School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

APPENDIX "B"
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/> X
Does not meet intent	<input type="checkbox"/>

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/> X
Does not meet intent	<input type="checkbox"/>

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable	<input checked="" type="checkbox"/> X
Meets intent of standard	<input type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/> X
Does not meet intent	<input type="checkbox"/>

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable	<input checked="" type="checkbox"/> X
Meets intent of standard	<input type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/> X
Does not meet intent	<input type="checkbox"/>

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

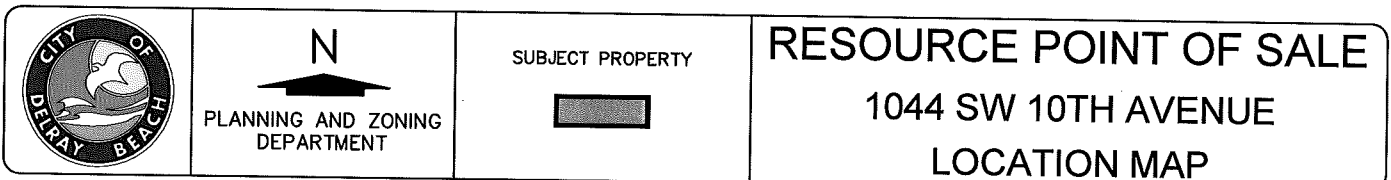
Not applicable		
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent		

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable		
Meets intent of standard		X – Pending a finding of traffic concurrency
Does not meet intent		

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		





MEMORANDUM

Date: 15 February 2016
Project Name: ReSource POS - New Offices and Warehouse Facility
Project Number: 1312.03
Project Phase: CLIII Site Plan Modification
Subject: Waiver Request or Relief from Sight Visibility Triangle Requirements
To: City of Delray Beach
Planning & Zoning Department
Attn: All Divisions

Planning and Zoning - Candi Jefferson, Senior Planner

Mandatory

1. Per LDR Section 4.6.14(B)(6), graphically depict 40' (forty foot) sight visibility triangles at the intersections of two (2) rights-of-way along SW 11th Street at SW 10th Avenue and SW 9th Avenue. Assure a clear line of sight above 3' (three feet) per LDR Section 4.6.14(C) Intersections. Since this cannot be accommodated via plan revisions, a waiver to the min. 40' sight visibility triangle must be requested to allow the 6' wall proposed to be constructed around the loading area. Accordingly, provide a written justification statement, processing fee (i.e. \$1000 payable to the City of Delray Beach) and assure the following itemized waiver criteria are evaluated and demonstrated as supportable.

Response: We are requesting a waiver or relief from the requirement of 40' sight visibility triangle. With the site being only 66' wide, it is very restrictive to develop and meet the client's needs and city requirements. The 6 foot wall serves many purposes, namely, it shields the view of the overhead doors from the ROW/SW 9th Avenue, offers a more secure area around vulnerable building entries/delivery area and keeps the trash/recycling area out of public view. As is, the 6' wall is placed on the site, so that a 25' sight visibility triangle is present at the SW 9th Avenue and SW 11th Street intersection (see attached diagram). Although this is allowable only in a single family residential zoning district per LDR Section 4.6.14(B)(4), it is in keeping with the neighborhood, where the continuation of SW 9th Avenue on the south side of SW 11th Street uses a 25' sight visibility triangle, as

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941 se 14th terrace

deerfield beach, fl 33062

954.675.0950

AR 94857

ID 5628



well. (Please see photo) (a). We also do not believe that the relief/waiver will significantly diminish the provision of public facilities (b). Do to the fact that SW 11th Street dead ends into an R-1 neighborhood, SW 9th Avenue is undeveloped and the intersection across the street utilizes the 25' triangle, it is unlikely to create an unsafe situation (c). And due to the restrictive nature of the property width, and the multiple reasons for needing the 6' wall, it will not result in the granting of a special privilege.

Thanks you very much for your consideration of this matter.

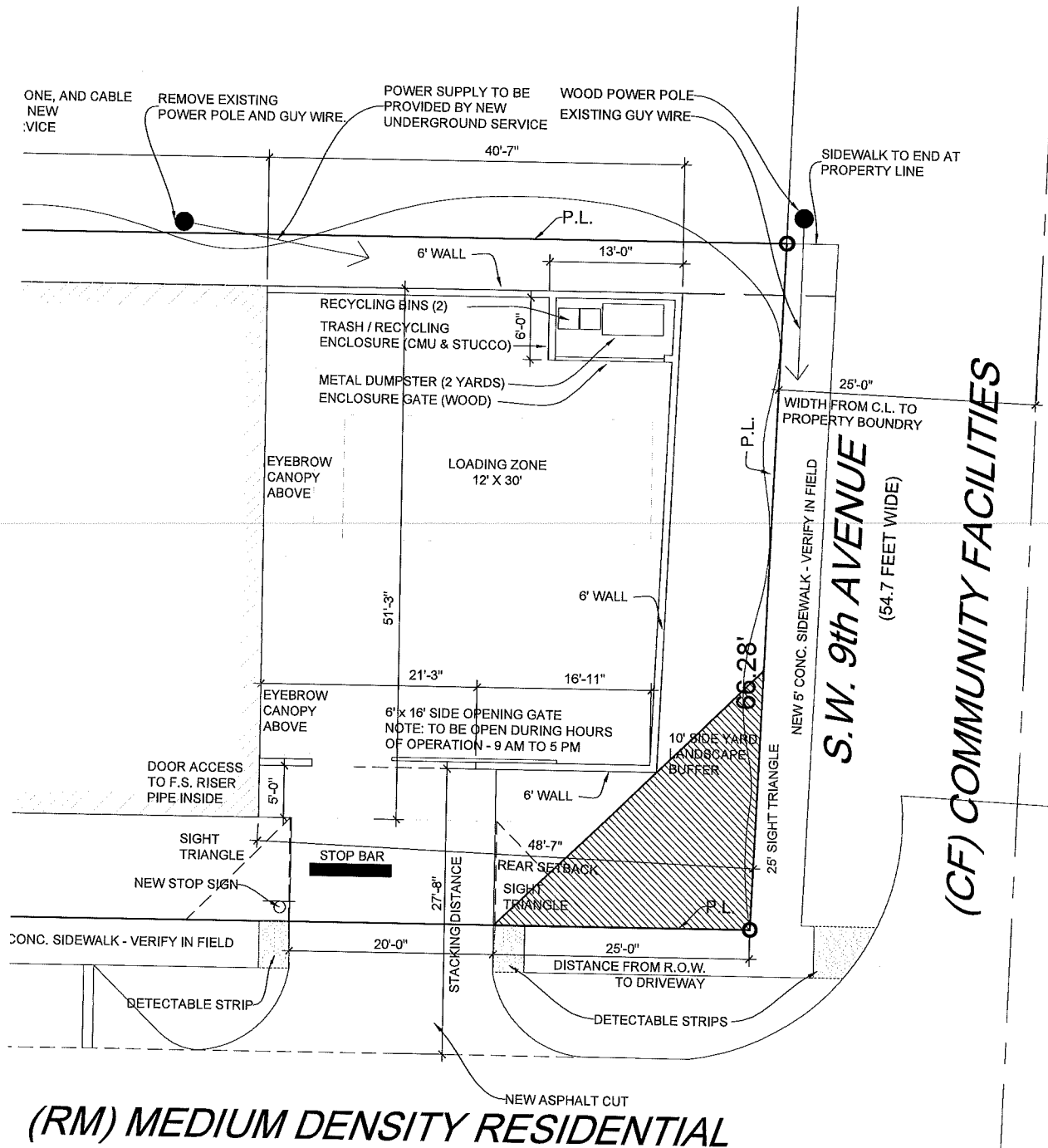
Respectfully Submitted,

Stephen P. Edwards, AIA, NCARB, LEEDap

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ID 5628





MEMORANDUM

Date: 22 February 2016
Project Name: ReSource POS - New Offices and Warehouse Facility
Project Number: 1312.03
Project Phase: CLIII Site Plan Modification
Subject: Request for Special Action for Parking Reduction
To: City of Delray Beach
Planning & Zoning Department
Attn: All Divisions

Planning and Zoning - Candi Jefferson, Senior Planner

It would be helpful if you can provide floor plan exhibits which indicates via shading or pattern the areas that have been excluded from the parking calculations, and note the associated deducted sq. ft.

Typically, the gross floor area is utilized for industrial uses (i.e. attendant offices). However, given the total area dedicated to office uses, the Director has indicated he will accept the net floor area typically associated with business and professional offices uses allowed in commercial zoned areas.

Also, the special action parking reduction in LDR Section 4.6.9.F.1 is stated as follows:

"Reduction Allowed: When, upon receipt and acceptance of special documentation, it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly."

Thus, a more detailed description of the anticipated office uses proposed on-site, might further support the request. Especially, if it can be ascertained that it is closer to business/professional office use as opposed to just attendant offices typically associated with industrial uses.

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ID 5628



Response: I greatly appreciate the director's consideration to use the net area, typical of commercially zoned areas for the parking calculations. The parking was calculated, not including restrooms, stairs, breakroom, etc., which represent non-concurrent use spaces (512 s.f.), thus the 15 vs. 17 spaces. Please see plan diagram for breakdown. The office area is physically separated from the warehouse and functions are delegated to individuals, namely, 3 support staff, receptionist and office manager. The 2nd level anticipates company growth with future offices, which are in the parking calculations. This will be the SE headquarters for ReSource POS and will need to function as a satellite to support the company's business functions and professional image.

We would be greatly appreciative of staffs' support for a reduction in parking.

Thanks you very much for your consideration of this matter.

Respectfully Submitted,

Stephen P. Edwards, AIA, NCARB, LEEDap

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AR 94857

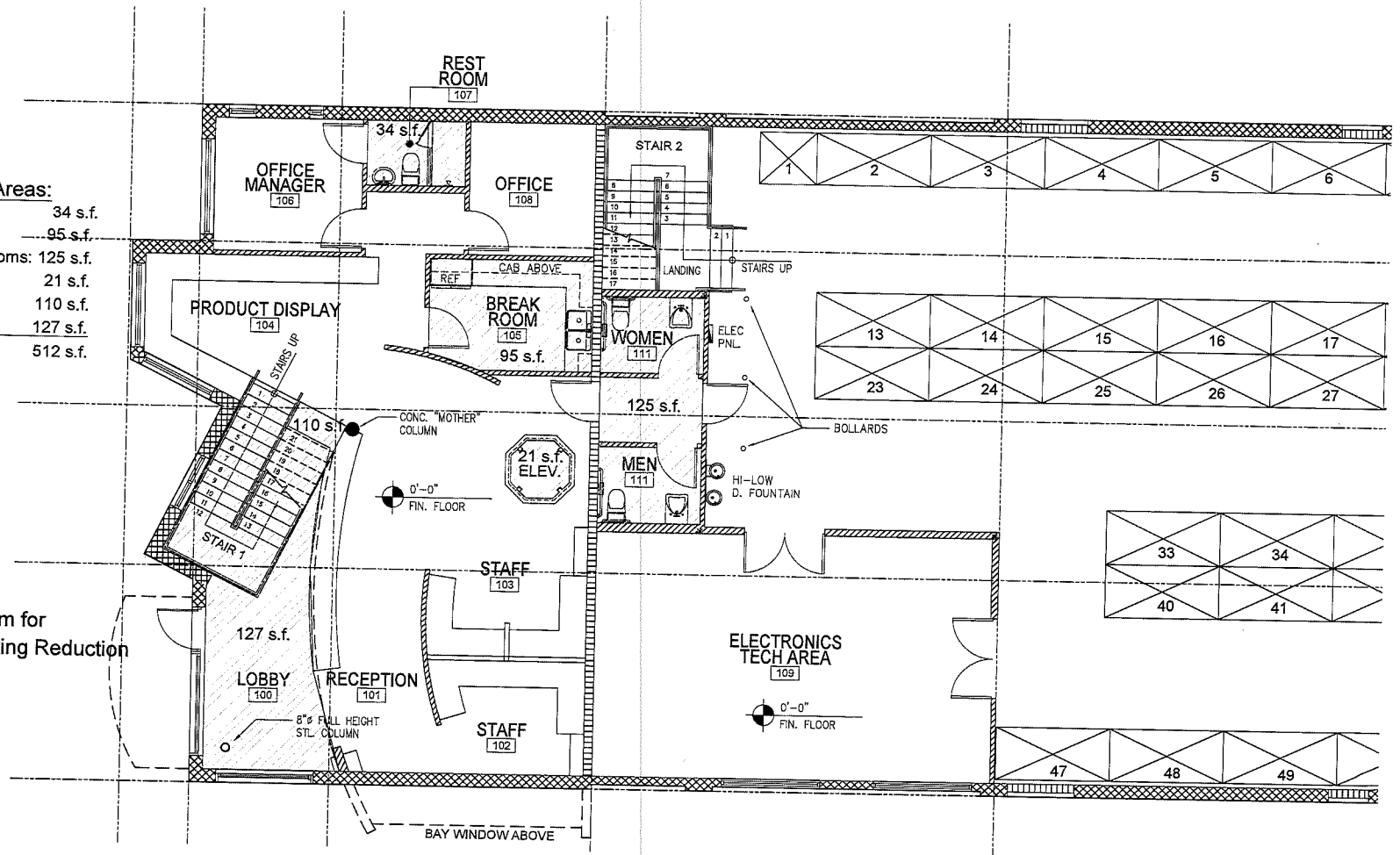
ID 5628

Non-Concurrent/Net Areas:

Manager's Rest Room:	34 s.f.
Breakroom:	95 s.f.
Men's & Women's Rest Rooms:	125 s.f.
Elevator:	21 s.f.
Stairs:	110 s.f.
Lobby:	127 s.f.
Total:	512 s.f.

ReSource POS
 Net Areas Plan Diagram for
 Special Action for Parking Reduction
 22 February 2016



SEA - 954-675-0950



FLOOR PLAN

SOUTH ELEVATION

EAST ELEVATION

 NORTH
 RECYCLING & TRASH ENCLOSURE 1/4"=1'-0"

LEGAL DESCRIPTION

PARCEL 1

THE EAST 200 FEET OF LOT 16, "ESQUIRE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, PAGE 43, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LANDS BEING A REPLAT OF THE EAST 1/2 OF THE WEST 1/2 OF LOT 29, AND THE WEST 1/2 OF THE EAST 1/2 OF LOT 29 OF THE MAP FILED IN PLAT BOOK 1, PAGE 4, PALM BEACH COUNTY PUBLIC RECORDS IN THE SW 1/4 OF SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA.

PARCEL 2

THE WEST 100 FEET OF THE EAST 315 FEET OF LOT 16, "ESQUIRE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, PAGE 43, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS AND EXCEPT THE RIGHT OF WAY FOR SW 10TH AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 8373, PAGE 1018 OF SAID PUBLIC RECORDS.

PARCEL 3

THE WEST 15 FEET OF THE EAST 215 FEET OF LOT 16, "ESQUIRE SUBDIVISION", A REPLAT OF THE EAST 1/2 OF THE WEST 1/2 OF LOT 29, AND THE WEST 1/2 OF THE EAST 1/2 OF LOT 29 OF THE MAP FILED IN PLAT BOOK 1, PAGE 4, PALM BEACH COUNTY PUBLIC RECORDS IN THE SW 1/4 OF SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, PAGE 43, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ALL BEING DESCRIBED AS FOLLOWS:

A PORTION OF LOT 16, 'ESQUIRE SUBDIVISION', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23 AT PAGE 43 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 16; THENCE SOUTH 88°09'29" WEST, ALONG THE SOUTH LINE OF SAID LOT 16, A DISTANCE OF 276.84 FEET; THENCE NORTH 00°14'00" WEST, ALONG THE EAST RIGHT-OF-WAY LINE OF SOUTHWEST 10TH AVENUE, A DISTANCE OF 66.28 FEET; THENCE NORTH 88°09'29" EAST, ALONG THE NORTH LINE OF SAID LOT 16, A DISTANCE OF 277.50 FEET; THENCE SOUTH 00°20'29" WEST, ALONG THE EAST LINE OF SAID LOT 16, A DISTANCE OF 66.30 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, FLORIDA, AND CONTAIN 0.422 ACRES, MORE OR LESS.

SITE DATA

ZONING:

LI (LIGHT INDUSTRIAL) / WALLACE DRIVE OVERLAY

PARKING:

1st & 2nd FLOOR ATTENDANT OFFICES - 3,659 S.F. less RESTROOMS, BREAK ROOM, STAIRS
(512 S.F.) 3,147 S.F. @ 3 SPACES PER 1000 S.F. = 9.44 (9 SPACES)
1st & 2nd FLOOR WAREHOUSE/MEZZANINE - 5,655 S.F. @ 1 SPACE PER 1000 S.F. =
5.65 (6 SPACES)

- 15 SPACES PROVIDED (9 OFF-STREET SPACES + 6 ON-STREET SPACES)
- 15 SPACES REQUIRED

SURVEY:

ALL SITE PLAN INFORMATION SHOWN FROM BOUNDARY SURVEY BY PERIMETER
SURVEYING AND MAPPING, BOCCA RATON, FLORIDA DATED: 15 APRIL 2014
JOB #: 12180 (SEE SURVEY FOR LEGAL DESCRIPTION)

SITE AREA:

17,682 s.f. (0.406 Acres)
OPEN SPACE (PERVIOUS) = 4,980 S.F. (28.2% OF SITE)
OPEN AREA (IMPERVIOUS) = 5,456 S.F. (31.0 % OF SITE)
BUILDING FOOTPRINT = 7,246 S.F. (40.8% OF SITE)

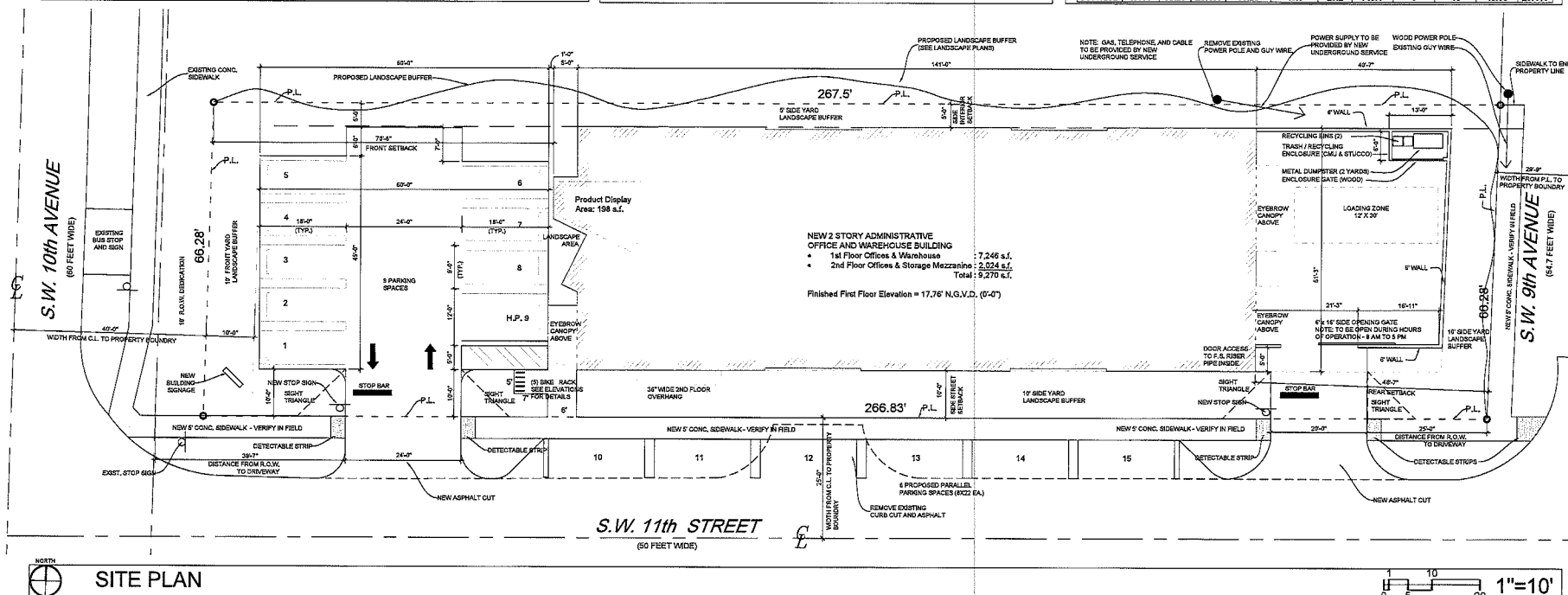
BUILDING AREA:

ADMINISTRATION / WAREHOUSE		
1ST FLOOR:	2,343 S.F. (OFFICES) + 4,947 S.F. (WAREHOUSE)	= 7,246 S.F.
2ND FLOOR:	1,316 S.F. (OFFICES) + 708 S.F. (MEZZANINE)	= 2,024 S.F.
TOTAL:		9,270 S.F.

TOTAL:

SET BACKS:	STANDARD	PROVIDED
FRONT:	25'	70'-8"
REAR:	10'	48'-7"
SIDE STREET:	25'	10' (VARIANCE IN PLACE) 2
SIDE INTERIOR:	10'	5' (VARIANCE IN PLACE) 1

BUILDING HT.:		45' (MAX.)			25'-5"						
Wallace Drive Corridor District	Min. Lot (acres)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Min. Lot Frontage (ft.)	Max. Lot Coverage (%)	Min. Open Space (%)	Min. Front Setback (ft.)	Min. Side Interior Setback (ft.)	Min. Side Street Setback (ft.)	Min. Rear Setback (ft.)	Max. Bldg. Height (ft.)
MIC	0.000	0	0	0	60	25	25	10'	25'	10	48'
IJ	0.469	0	0	100	60	25	10	5	10	10	48'
Provided	0.406	66.28	267.50	86.28	60.8	28.2	70.67	5	10	48.58	28.416



SITE PLAN

Class III Site Plan Modification - 12 November 2015

Site Plan

Site Plan
Resource POS - New Offices and Warehouse Facility

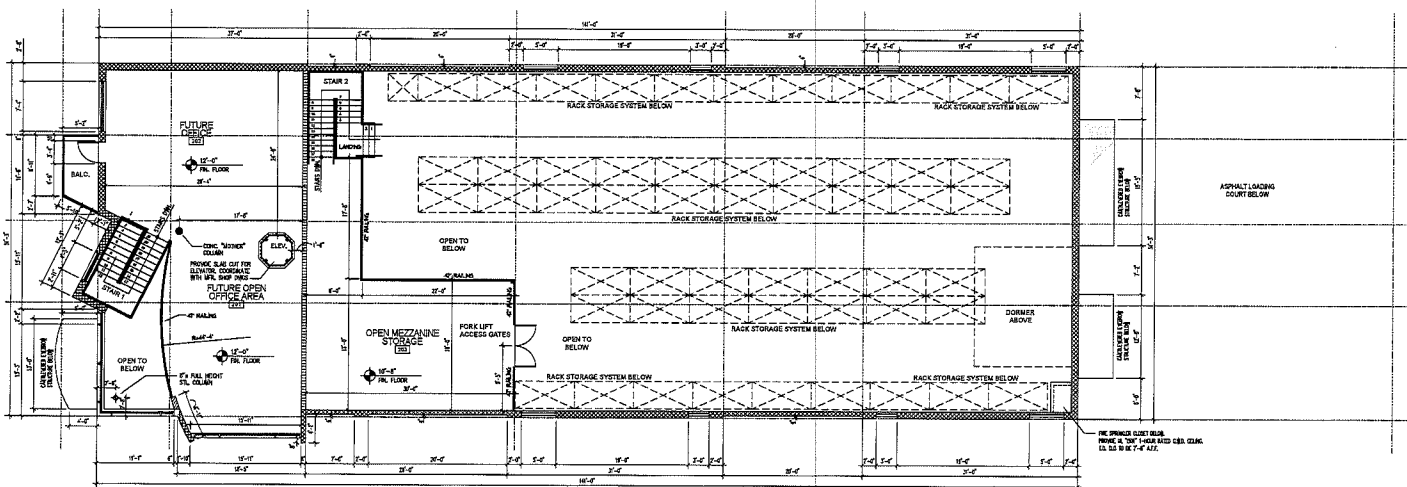
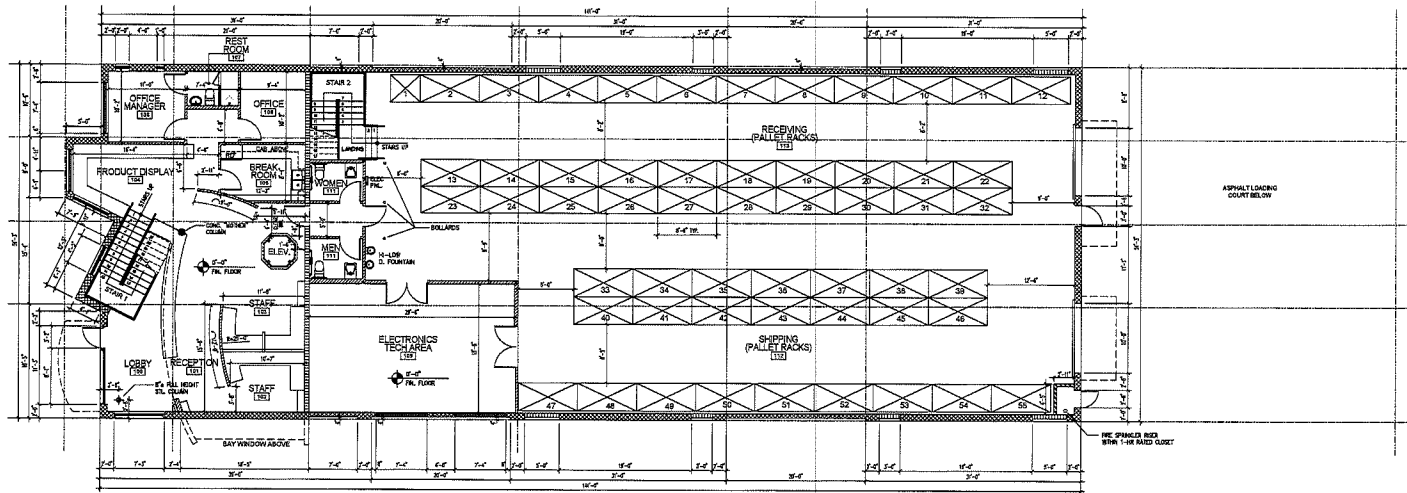
Austin M. Chavez, CEO
ReSource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAINAGE	CHECKED-BE
SCALE: AS SHOWN	
DATE: 1-7-16	

A-1.0



Stephen Patrick Edwards



Steve Edwards Architectural LLC
954.975.0990
401 S. W. 10th Avenue
Delray Beach, FL 33444

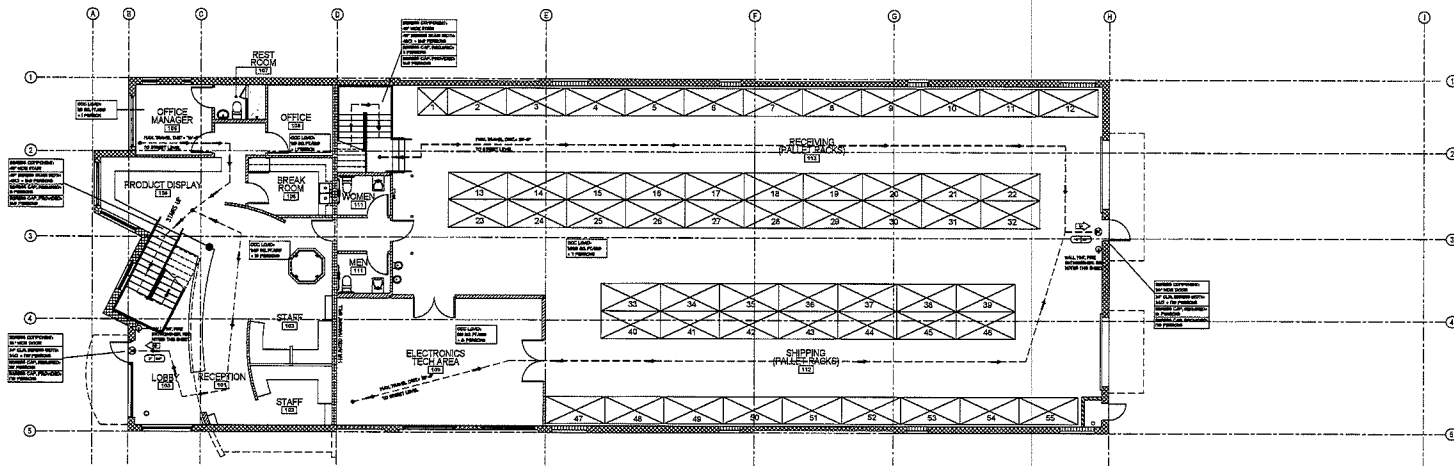
Stephen Patrick Edwards
AS, EIT
ID 1618

THIS SET OF PLANS IS PREPARED BY THE ARCHITECT FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Austin M. Chavez, CEO
ReSource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN BY	CHECKED BY
SCALE: AS SHOWN	
DATE: 1-7-16	

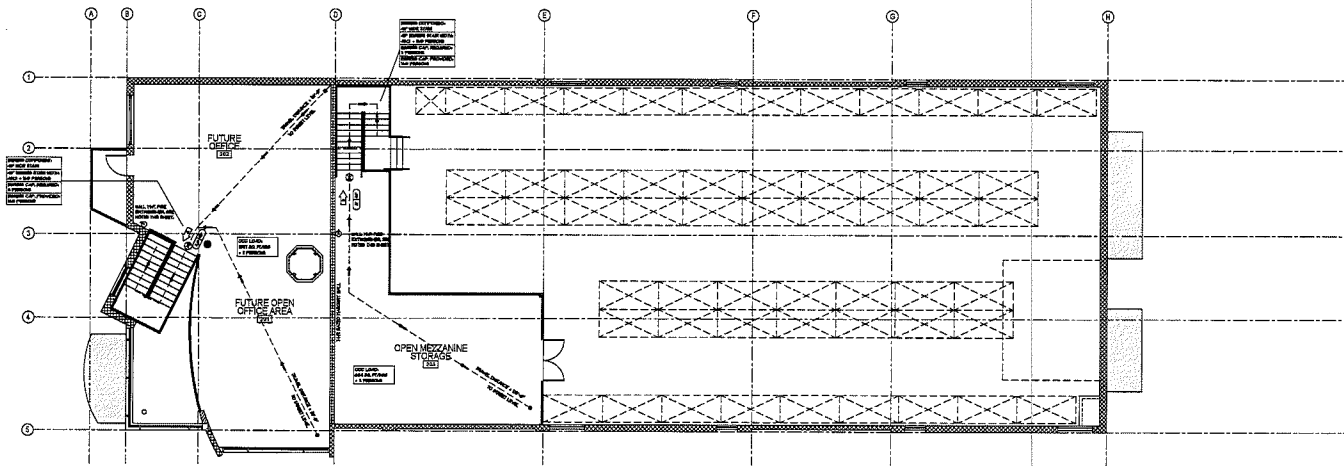
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GROUND FLOOR LIFE SAFETY PLAN

NOTE: THIS IS A FULLY FIRE
SPRINKLERED BUILDING

SCALE: 1/8" = 1'-0"



SECOND FLOOR LIFE SAFETY PLAN

NOTE: THIS IS A FULLY FIRE
SPRINKLERED BUILDING

SCALE: 1/8" = 1'-0"

EMERGENCY LEGEND	
	FIRE EXTINGUISHER W/WALL MOUNT. CLASS 2-4" EXTINGUISHER SHALL REQUIREMENTS OF NFPA 2010 AND BE MOUNTED SUCH THAT THE TOP OF THE HANDLE WHEN MOUNTED IS 48" AFF. - EXTINGUISHERS SHALL BE LOCATED NOT TO EXCEED 50 FT. TRAVEL DISTANCE AND MUST BE CURRENTLY TAGGED BY A LICENSED FIRE EQUIPMENT COMPANY.
	WALL/CELLING MNT. EXIT LIGHT TO BE EQUIPPED WITH 90 MINUTE BATTERY BACK-UP AND WIRING TO LIGHTING CIRCUIT AREA OF ANY DETECTOR. SEE LIGHTING PLAN FOR EMERGENCY LIGHTING LAYOUT AND SPECIFICATIONS.
	WALL/CELLING MNT. EMERGENCY LIGHT TO BE EQUIPPED WITH 90 MINUTE BATTERY BACK-UP AND WIRING TO LIGHTING CIRCUIT AREA OF ANY DETECTOR. SEE LIGHTING PLAN FOR EMERGENCY LIGHTING LAYOUT AND SPECIFICATIONS.
	COVERED WALL/CELLING MNT. EXIT/EMERGENCY LIGHT TO BE EQUIPPED WITH 90 MINUTE BATTERY BACK-UP AND WIRING TO LIGHTING CIRCUIT AREA OF ANY DETECTOR. SEE LIGHTING PLAN FOR EMERGENCY LIGHTING LAYOUT AND SPECIFICATIONS.

FIRE CODE REFERENCE:
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
FLORIDA SPECIFIC NFPA 1 FIRE CODE, 2012 EDITION
FLORIDA SPECIFIC NFPA 101 LIFE SAFETY CODE, 2012 EDITION

LIFE SAFETY PLANS

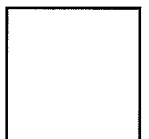
1/8" = 1'



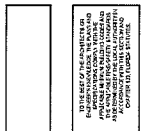
Steve Edwards Architectural LLC
1000 S.W. 11th Avenue
9th Floor, Suite 1400
Fort Lauderdale, FL 33315
Stephan Patrick Edwards
AIA 1437



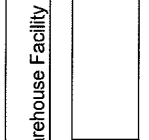
Stephan Patrick Edwards
AIA 1437



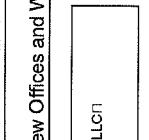
Austin M. Chavez, CEO
Resources Point of Sale, LLC
1044 SW 10th Avenue
Fort Lauderdale, FL 33315



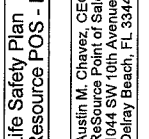
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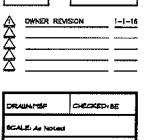
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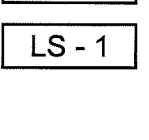
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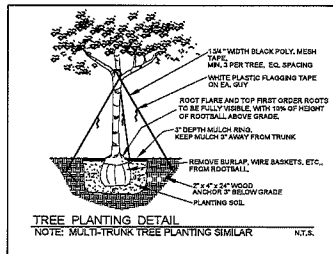
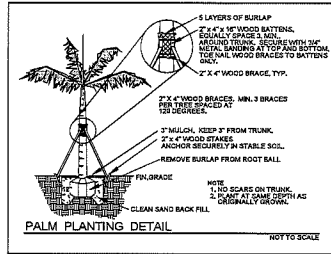
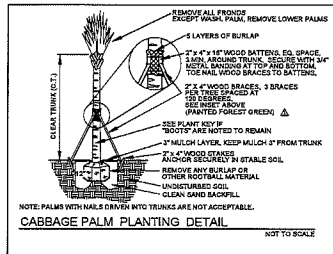
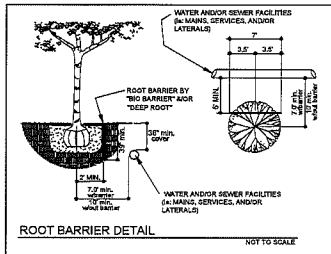
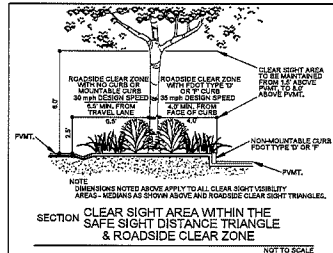
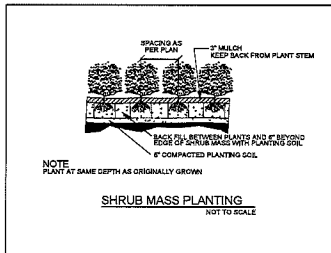
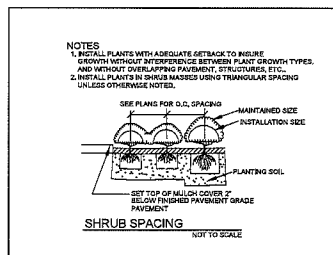
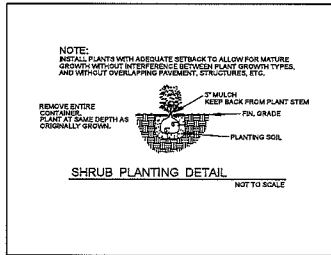
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LANDSCAPE NOTES

- ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED BY PALM BEACH COUNTY LAND DEVELOPMENT REGULATIONS.
- ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION.
- ALL SPECIES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED AS MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR ACCEPTANCE.
- LANDSCAPE SHALL BE PLACED TO EDGE OF ADJUTING STREETS, CANALS, LAKES OR OTHER LANDS.
- ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION, PUMP STATIONS AND EQUIPMENT, PULP TRANSFORMERS, POOL PUMPS, ETC. MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS.
NOTE: THE QUANTITY OF SCREENING SHRUBS MAY BE IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY.
- GRUBBING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC. TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANTED MATERIAL. TREES, PALMS AND PLANT MATERIAL WILL BE REJECTED DUE TO THIS PRACTICE.
- BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC. MUST BE CUT AND REMOVED FOR THE TOP ONE-HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED PRIOR TO PLANTING THE TREE OR SHRUB.
- ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
- ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTHS, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
- ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
- UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THE PERMIT.

Streetscape Notes

- All landscaping and above ground structures shown on the landscape plans are designed and shall be installed in accordance with Palm Beach County "Streetscape Standards Manual", dated August 1999, including all revisions.
- Utility lines shown on the plans are not field verified. Contractor shall verify these locations in the field.
- At least 48 hours prior to digging call "Sunshine State One Call" at 1-800-432-4770 for utility locations.

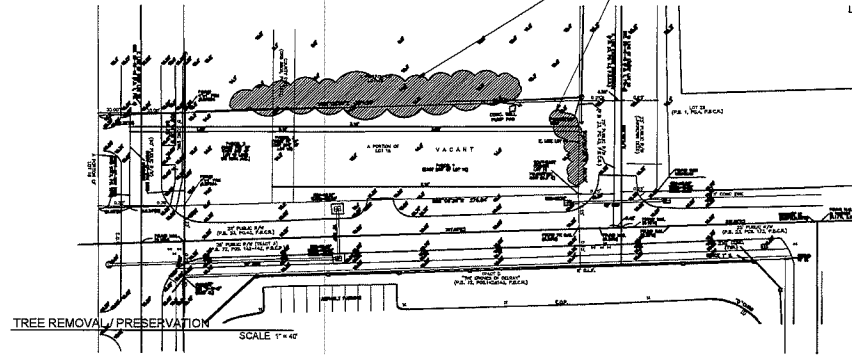
Maintenance Note

Any portion of a tree or palm that overhangs a travel lane shall be maintained with a min. 13'6" vertical clearance.

Landscape & Root Barrier Note

- Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown herein.
- Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier Detail" for installation requirements. However, in no case shall a tree encroach into a FIDUCIAL without prior FIDUCIAL approval and only soil can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.

Contractor to remove all Dead Trees, Australian Pines and other Pest Plant Material from this Area.



Call 48 hours before you dig
It's the law!
1-800-432-4770

retrieval date are call of field, inc.

Class III Site Plan Mod. 11/12/15

Concept LANDSCAPE DETAILS
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
ReSource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

Class III Site Plan Mod. 11/12/15

DRAWN: CAH CHECKED: DE
SCALE: As Noted
DATE: 08-22-14

LP-2

Steve Edwards Architecture LLC
946.690.9990
946 S.E. 14th Terrace
Fort Lauderdale, FL 33316

CALAN LUKASIK
LANDSCAPE ARCHITECT
STATE OF FLORIDA
FOOTPRINT NUMBER
DATE

CALFIELD & WHEELER, INC.
LANDSCAPE ARCHITECT
1000 N. W. 10th Avenue, Suite 100
Fort Lauderdale, FL 33311

NOTES

1. SEE SHEET 000-2 FOR DETAILS AND ADDITIONAL NOTES.
2. VALVE LOCATIONS ARE FOR DRIVING PURPOSES ONLY.
3. IRRIGATION WATER IS RECLAIMED WATER. ALL MAINLINE PIPING SHALL BE PURPLE.
4. THE IRRIGATION PLAN IS GEOMETRIC. IRRIGATION CONTRACTOR SHALL PROVIDE SOD COVERAGE WITH A MIN. 100% OVERLAP. HEADS SHALL BE PLACED TO AVERAGE OVERSPRAY ON BUILDINGS AND PARKING.
5. SOME ADJUSTMENT TO THE SPRAY HEADS NOTED ON THE PLAN MAY BE REQUIRED.
6. SPRAY HEADS IN DRIVE AREAS THAT ARE ADJACENT TO WALKS SHALL BE RANDED 1800 SERIES 12" POP-UPS.
7. SPRAY HEADS IN UNDER DRIVE AREAS SHALL BE ON A RIGID WITH SPRAY ADAPTER AS NOTED IN THE DETAIL SHEET.
8. SPRAY HEADS IN GRASS AREAS SHALL BE RANDED 1800 SERIES 2" POP-UPS.
9. PULL A SPRAY WIRE FROM THE FURTHEST VALVE IN EACH ROW TO THE CONTROLLER THROUGH EACH VALVE BOX AND CLEARLY LABEL "SPRAY" IN EACH VALVE BOX AND AT CONTROLLER.
































































































































































NOTE:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, TREE TERMINI, ETC. NOTIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

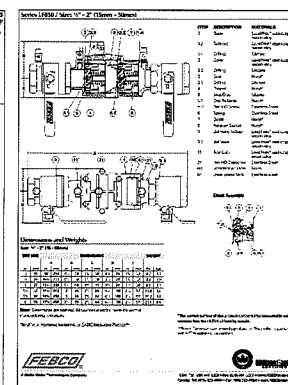
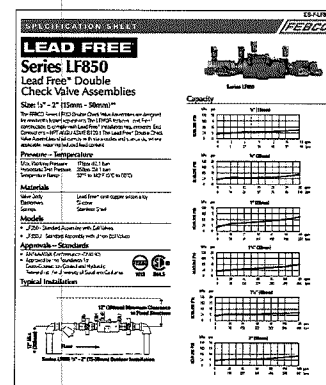
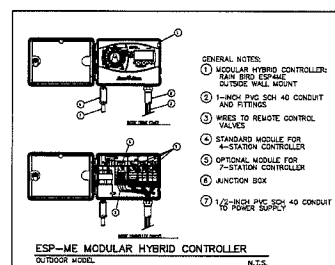
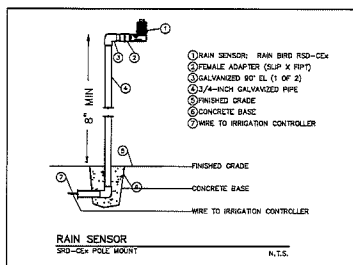
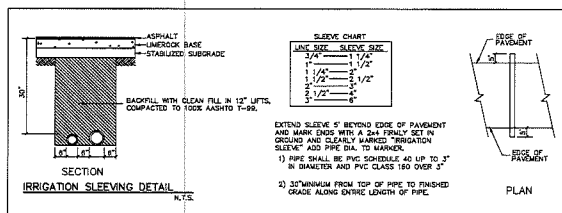
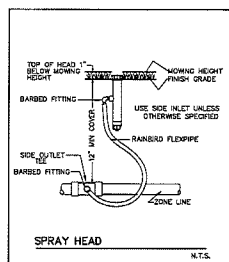
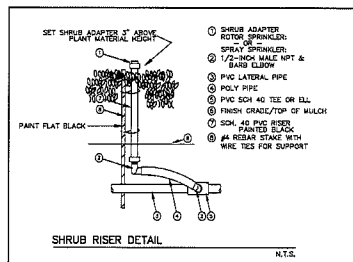
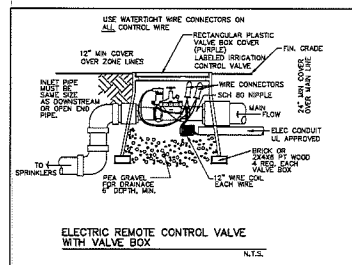
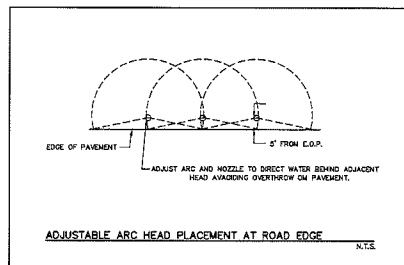
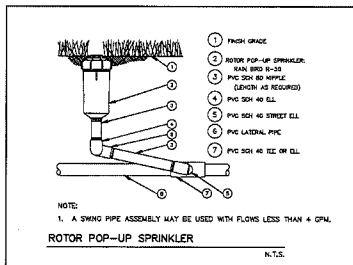
ZONE LINE / SLEEVE SIZING CHART	CALLOUT/ANALYSIS	PIPE SIZE	SLEEVE SIZE
10-15	3/4"	1 1/4"	
17-25	1"	1 1/2"	
27-35	1 1/4"	2"	
38-45	1 1/2"	2 1/2"	
48-55	2"	3"	
58-65	2 1/2"	4"	
68-75	3"	6"	

- NOTE:
1. ALL IRRIGATION LINES INSTALLED UNDER PAVEMENT SHALL BE IN SLEEVES IN A SLEEVE AS FOR THE ABOVE CHART AND TOTAL SLOPE 1%.
 2. ALL ZONE LINES SHALL BE INSTALLED WITH CPM FLANGES AS FOR THE ABOVE CHART.
 3. ALL MAIN LINE SLEEVING SHALL HAVE A 2" SLEEVE PLACED ADJACENT FOR CONTROL WIRE.

VALVE / ZONE SCHEDULE	VALVE	ZONE TYPE	APPROX. GPM
1	SPRAY	62	
2	SPRAY	52	
3	SPRAY	50	
4	SPRAY	48	
5	SPRAY	20	
6	SPRAY	62	
7	SPRAY	52	
8	SPRAY	55	

IRRIGATION KEY

SYMBOL	AND	SPRAY HEAD / STANDARD TRAJECTORY	PSI	GPM
	FULL OR PART	RANDED 1800 SERIES 24"	24	1,000
	FULL OR PART	RANDED 1800 SERIES 18"	18	1,000
	H	RANDED 1800 SERIES 18"	18	1,000
	H	RANDED 1800 SERIES 18"	18	1,000
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	H	RANDED 1800 SERIES 18"		



IRRIGATION PLAN DETAILS
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

Company
Class III Site Plan Mod. 1/17/2015

DRAWN: GAN
CHECKED: SE
SCALE: As Noted
DATE: 09-22-14

IR-2

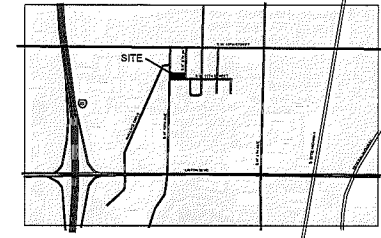
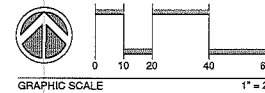
Save Edwards Architects LLC
954.576.0950
941 S.E. 14 Terrace
Deerfield Beach, Florida 33441

GALANTRIDGES
LANDSCAPE ARCHITECT
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33311
DATE

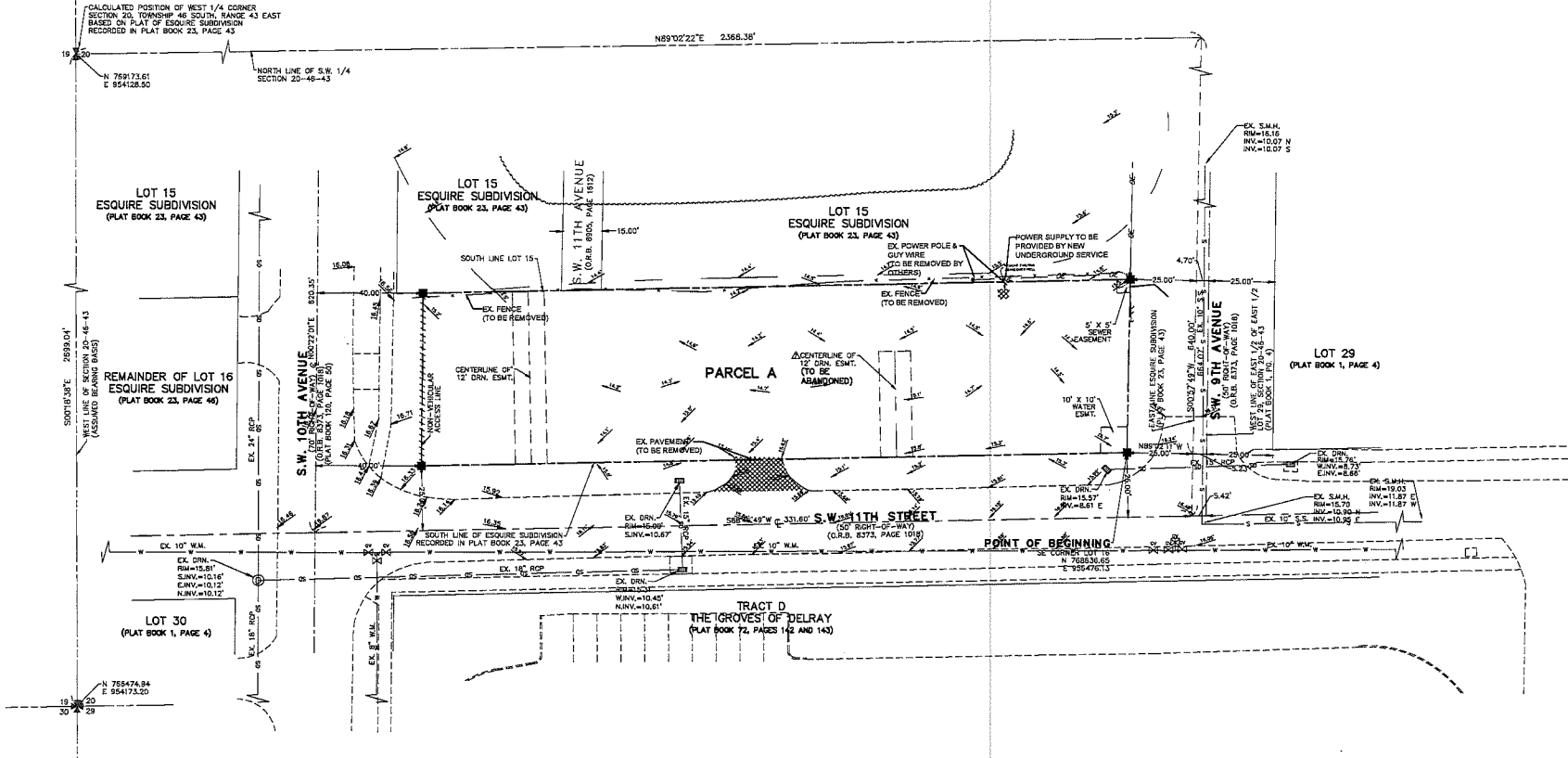
CAULFIELD & WHEELER, INC.
LANDSCAPE ARCHITECT
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33311
DATE

THE CITY OF DELRAY BEACH
PLANNING DEPARTMENT
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33311
DATE

- LEGEND**
- PROPOSED WATER LINE (SIZE NOTED)
 - PROPOSED GATE VALVE AND BOX
 - PROPOSED REDUCER
 - FIRE HYDRANT
 - SAMPLE POINT
 - EXISTING WATER LINE
 - EXISTING GATE VALVE
 - PROPOSED PIPE AND CATCH BASIN
 - PROPOSED GRADE
 - DIRECTION OF FLOW
 - EXISTING PIPE AND INLET
 - EXISTING GRADE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SAN. SEW. SERVICE
 - CLEANOUT (C.O.)
 - EXISTING SANITARY SEWER LINE
 - EXISTING PAVEMENT TO BE REMOVED



SITE LOCATION



Class II Site Plan Mod. - 12 NOV 15

Demolition Plan
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

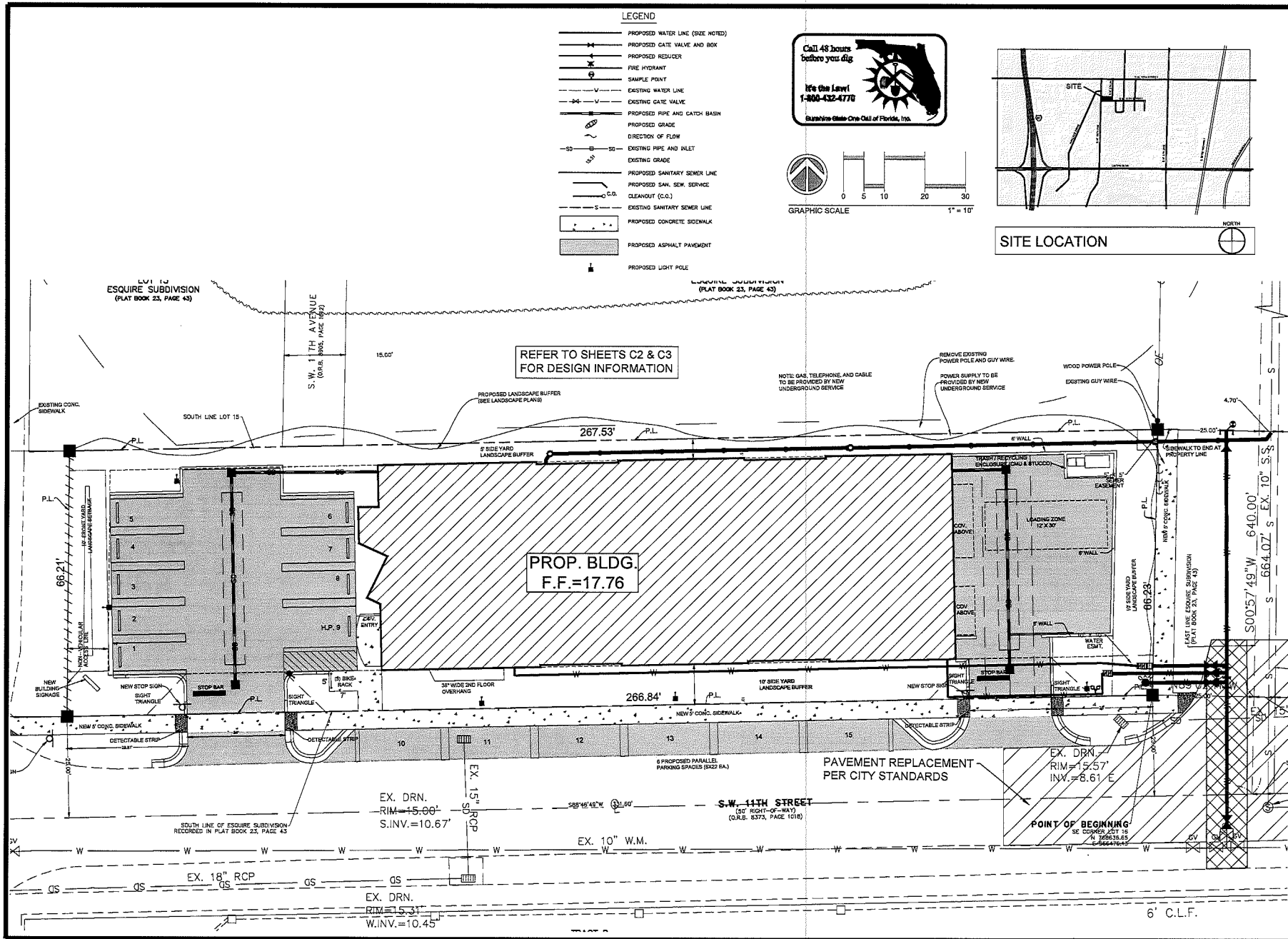
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SCALE: As Noted
DATE: 08-20-14

C-1

Save Edwards Architecture LLC
954.675.0950
941 S.E. 14 Terrace
Suite 100
Fort Lauderdale, FL 33304

DESIGNED BY:
R. W. WHEELER, P.E.
PROFESSIONAL ENGINEER
S.W. 10th Avenue
Suite 100
Fort Lauderdale, FL 33304

CAUFIELD & WHEELER, INC.
1044 SW 10th Avenue
Suite 100
Fort Lauderdale, FL 33304



SAVED ESTATE ARCHITECTURE LLC
564 E. 15th Avenue
941 S.E. 14th Avenue
Delray Beach, FL 33444

SAVED ESTATE ARCHITECTURE LLC
PROFESSIONAL ENGINEER
FOR THE STATE OF FLORIDA
DATE

CAULFIELD & WHEELER, INC.
1000 S.W. 10th Avenue
Delray Beach, FL 33444
NOT A PROFESSIONAL ENGINEER
FOR THE STATE OF FLORIDA

CAULFIELD & WHEELER, INC.
1000 S.W. 10th Avenue
Delray Beach, FL 33444
NOT A PROFESSIONAL ENGINEER
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CAULFIELD & WHEELER, INC.
1000 S.W. 10th Avenue
Delray Beach, FL 33444
NOT A PROFESSIONAL ENGINEER
FOR THE STATE OF FLORIDA

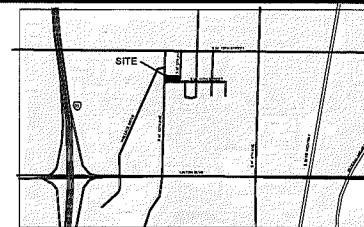
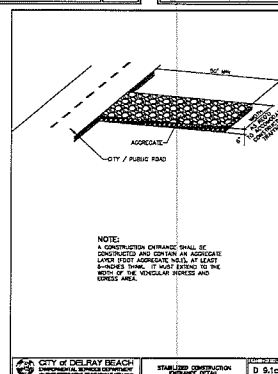
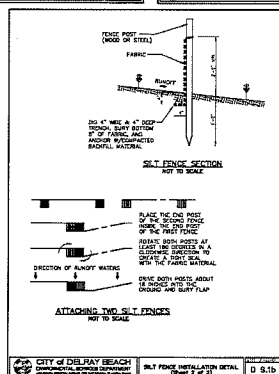
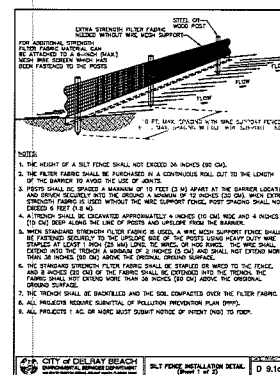
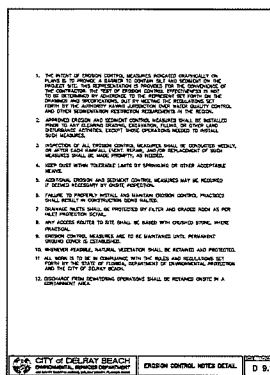
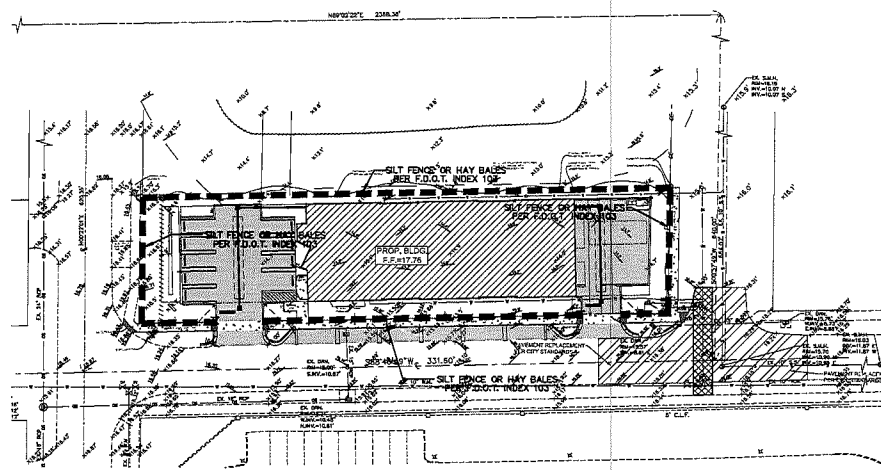
CAULFIELD & WHEELER, INC.
1000 S.W. 10th Avenue
Delray Beach, FL 33444
NOT A PROFESSIONAL ENGINEER
FOR THE STATE OF FLORIDA

C-1A

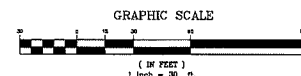
1. CITY - CITY OF DELRAY BEACH
2. CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
3. ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INSTALLATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.

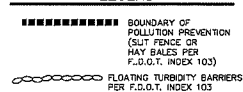
1. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
3. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY. REQUESTS FOR MATERIALS AND REQUESTS FOR WATER SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
4. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THE CITY BE NOTIFIED OF ANY SUCH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND PROPERTY OF THOSE PERSONS WHOSE PROPERTIES ARE AFFECTED BY THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
7. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
8. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY. ALL CITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
9. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
10. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
11. PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES (MUTED) AND BROWARD COUNTY TYPICAL (LATEST REVISION) UNLESS SHOWN OTHERWISE.
12. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY.
13. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 365-015 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
14. CONSTRUCTION SHALL NOT EXCEED SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
15. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
16. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REQUIRED BARRIERS, LIGHTING, SLOWAGE AND FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
17. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMBROOK BASE.
18. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSALEABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.
19. CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TRENCH SHIELDS, SHIELDING, PROTECTIVE BARRIERS AND/OR DISPOSED BY THE CITY, TO PROTECT EXISTING UTILITIES AND TO PREVENT DAMAGE TO EXISTING UTILITIES OR TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
20. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS II, UNLESS OTHERWISE NOTED.
21. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PREEXISTING TRAFFIC MARKING SHALL BE LAID OUT USING MARKING COLOR. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.
22. EMPAVEMENT (FLL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION SHALL BE INSTALLED PRIOR TO ROADWAY RECONSTRUCTION AND/OR DISPOSED BY THE CITY. THE CONTRACTOR, ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
23. CONTINUED WATER SERVICE TO ALL EXISTING UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE REQUIRED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.
24. SITE INFORMATION BASED ON A SURVEY PREPARED BY: CAULFIELD & WHEELER, INC.
25. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES. RELOCATION OF EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.



SITE LOCATION



LEGEND



NOTE:
TEMP. CONSTRUCTION ENTRANCE TO HAVE A 24' DOUBLE
GATE OPENING. ONCE CONSTRUCTION IS COMPLETED,
GATES, FENCING, & GRAVEL ENTRY WILL BE REMOVED

Class III Site Plan Mod. - 12 NOV 15

Pollution Prevention Plan
Resource POS - New Offices and Warehouse Facility


Austin M. Chavez, CEO
Resource Point of Sale,
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN BY: JFW	CHECKED: JFW
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DATE: 10/11/14	

C-1B

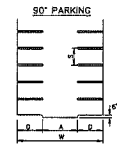
Steve Edwards Architecture LLC
954.675.0950
9941 S.E. 14 Terrace
Deerfield Beach, Florida 33441

SUBMITTED BY-	RYAN D. WHEELER PROSECUTOR GENERAL LICENSE NO. 31477 STATE OF FLORIDA -FOR THE TERM-
	DATE



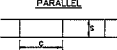
CALFIELD & WHEELER, INC.
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 LIFTING - 10000 LBS. CAPACITY
 10000 LBS. CAPACITY
 10000 LBS. CAPACITY
 10000 LBS. CAPACITY

WILLIAMS, J. B. 1940. *Revised Catalog of Fishes*. U.S. Department of the Interior, U.S. Geological Survey, Washington, D.C.



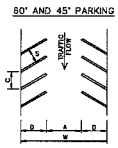
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S	STALL WIDTH	6.0'
D	STALL DEPTH	16.0'
W	MODULE WIDTH	60.0'

* COMPACT CAR SPACES - 8.0'
HANDICAP SPACES - 15.0'
SEE RT 4.2



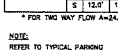
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S	STALL WIDTH	8.0'

PARKING LOTS DETAIL RT 4.1



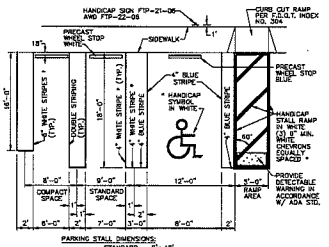
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C	STALL LENGTH	17.0'	18.0'
S	STALL WIDTH	10.0'	12.0'
D	STALL DEPTH	9.0'	9.0'
W	MODULE WIDTH	50.0'	18.0'

* FOR TWO WAY FLOW A=24.0'



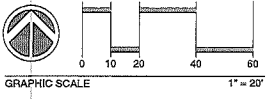
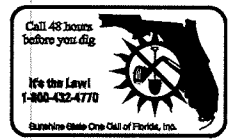
C	STALL LENGTH	23.0'
S	STALL WIDTH	8.0'

PARKING LOTS DETAIL RT 4.1

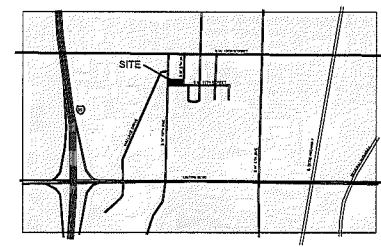


- NOTES:**
- ON LIGHT COLORED SURFACE (E. CONCRETE) ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPES SHALL BE 3" WHITE WITH "BLACK BORDER".
 - ALL STRIPING WHEN PUBLIC RIGHT-OF-WAY SHALL BE 6" INCHES.
 - ALL MEASUREMENTS ARE FROM CENTER LINE.
 - ALL COMPACT SPACES MUST HAVE "COMPACT" STENOGRAPHED WITH BLACK PAINT ON WHEEL STOP.
 - BLUE STRIPES & H/C SYMBOL AND WALKWAY ON CONCRETE.
 - YELLOW STRIPES ON CONCRETE.
 - 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND FOR POST SPECIFICATIONS AND STOP SIGN RT-1.
- TYPICAL PARKING SPACES**
(1 OF 3)
DETAIL RT 4.2a

- LEGEND**
- PROPOSED WATER LINE (SIZE NOTED)
 - PROPOSED GATE VALVE AND BOX
 - PROPOSED REDUCER
 - FIRE HYDRANT
 - SAMPLE POINT
 - EXISTING WATER LINE
 - EXISTING GATE VALVE
 - PROPOSED PIPE AND CATCH BASIN
 - PROPOSED GRADE
 - DIRECTION OF FLOW
 - EXISTING PIPE AND INLET
 - EXISTING GRADE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SAN. SEW. SERVICE
 - CLEANOUT (C.O.)
 - EXISTING SANITARY SEWER LINE
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED PAVEMENT REPLACEMENT
 - PROPOSED TRENCH REPAIR
 - PROPOSED LIGHT POLE

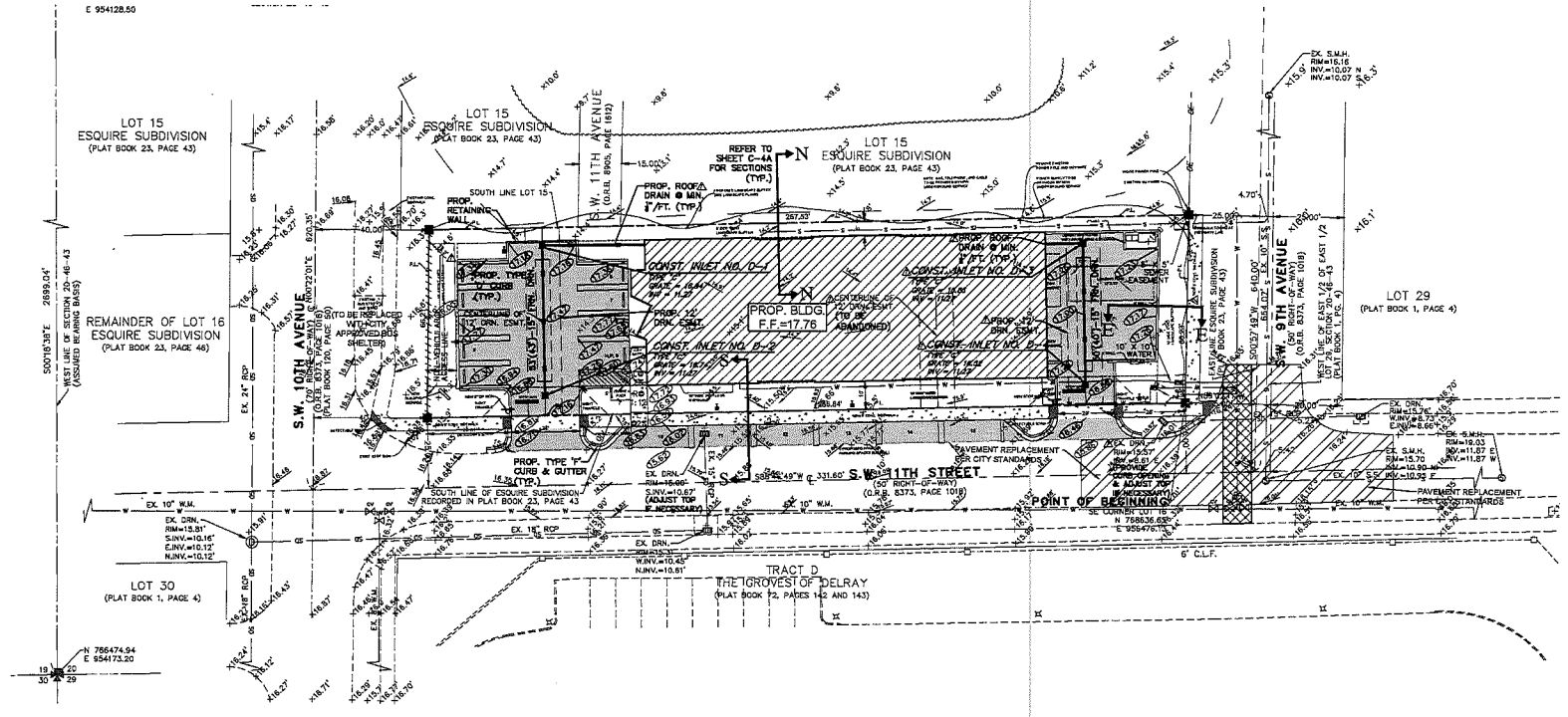


- NOTES:**
- HANDICAP SPACES ARE TO BE PROVIDED IN ACCORDANCE WITH LDR SECTION 4.6.9(1)(10), CITY OF DELRAY BEACH CONSTRUCTION STANDARD DETAIL RT 4.2, AND THE FLORIDA BUILDING CODE, CHAPTER 11, ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION. HANDICAPPED PARKING SPACES NEED TO BE PAVED, PROPERLY MARKED, AND RAMP AND CURB CUTS PROVIDED IF REQUIRED.
 - PARKING LAYOUT AND STRIPING NEEDS TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS.
 - SIDEWALK WILL BE INSTALLED ALONG SW 9TH AVE. IN ACCORDANCE WITH LDR SECTION 6.1.3 (C)



SITE LOCATION

NOTE: ALL ELEVATIONS ARE IN "NATIONAL GEODETIC VERTICAL DATUM 1928" (NGVD 29).



Class III Site Plan Mod. - 12 NOV '15

Paving, Grading, & Drainage Plan
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
DeLray Beach, FL 33444

DRAWN BY	CHECKED BY
SCALE: AS SHOWN	DATE: 09-23-14

C-2

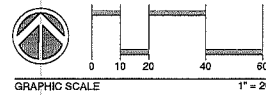
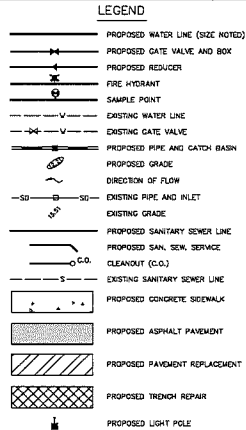
Shore Edwards Architecture LLC
954.675.0950
941 S.E. 14th Terrace
Fort Lauderdale, FL 33316

PAUL WHEELER, P.E.
PROFESSIONAL ENGINEER
PAUL WHEELER & ASSOCIATES, INC.
DATE:

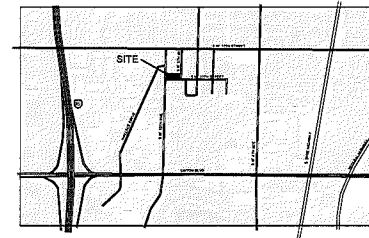
CAULFIELD & WHEELER, INC.
1000 N. W. 10th Ave., Suite 200
Fort Lauderdale, FL 33311
TEL: 954.574.1111
FAX: 954.574.1112

NOTES:

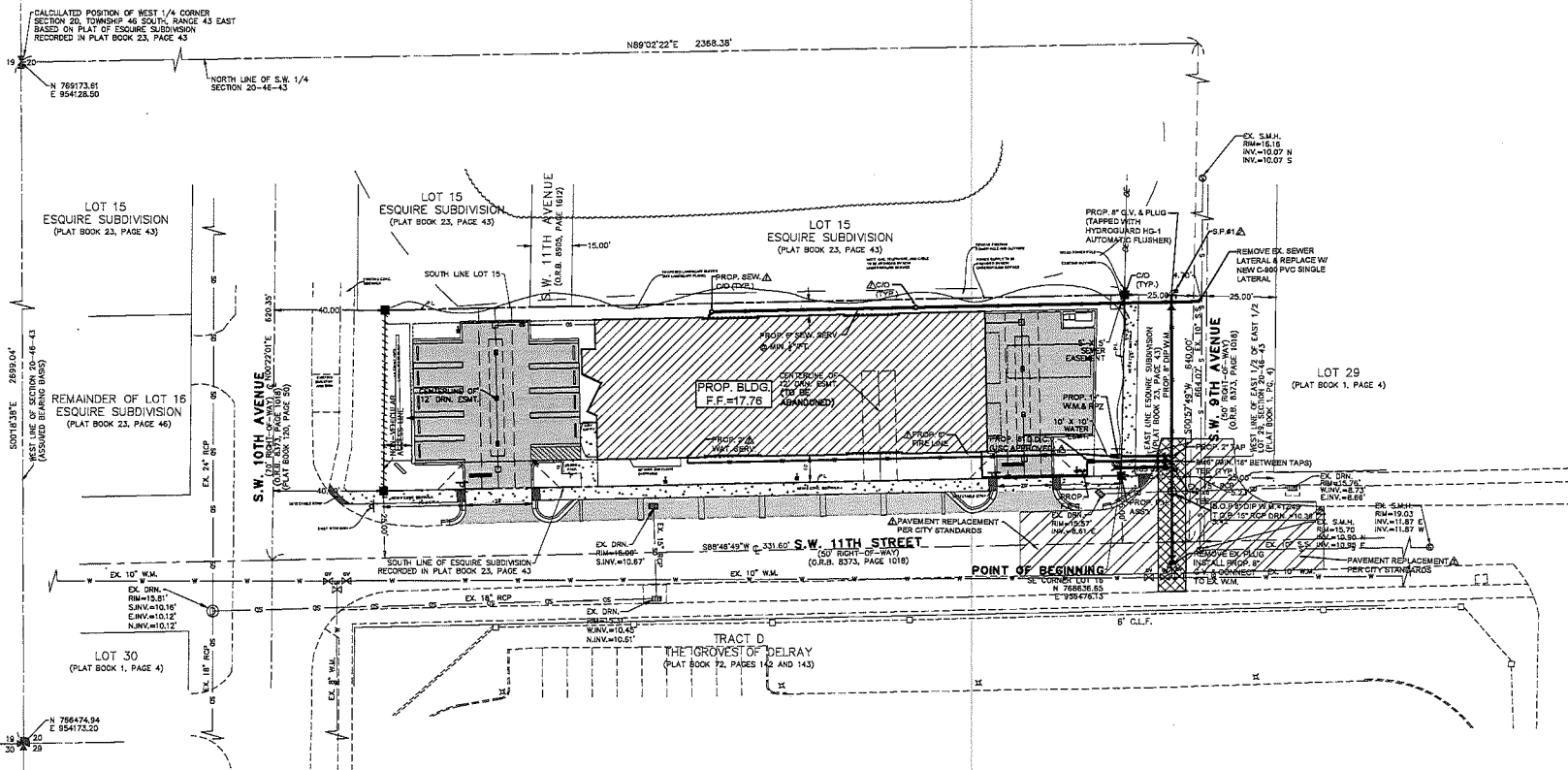
- 1.) THE CITY OF DELRAY BEACH UTILITIES DIVISION AT (95)1243-7312 MUST BE GIVEN AT LEAST 48 HOURS NOTIFICATION PRIOR TO ANY SHUT-DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES.
- 2.) PRIOR TO ANY SANITARY SEWER SERVICES CONNECTION, REMOVAL AND/OR ABANDONMENT, THE EXISTING SEWER LINE WILL BE TELEVIEWED AND CD SUBMITTED TO CITY OF DELRAY BEACH UTILITIES DIVISION. ENSURE THE CITY'S HUNGERING SYSTEM IS USED TO IDENTIFY MANHOLES.
- 3.) WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
- 4.) ALL CONNECTIONS TO EXISTING WATER MAINS NEED TO BE MADE WHILE THE WATER MAIN IS UNDER NORMAL WORKING PRESSURE. IF THIS CANNOT BE ACCOMMODATED, THE DESIGN WILL NEED TO INCORPORATE VALVE INSERTIONS TO MINIMIZE THE IMPACT ON EXISTING CUSTOMERS AND THIS NEEDS TO BE SHOWN ON PLANS.
- 5.) ENGINEER IS TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING CITY OF DELRAY BEACH UTILITIES PRIOR TO SUBMITTING FINAL ENGINEERING PLANS. RELIANCE ON AS-BUILTS DOES NOT SUBSTITUTE FOR FIELD VERIFICATION.
- 6.) CONTRACTOR IS TO FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- 7.) NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER, OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.



ESTIMATED SEWER FLOWS:
621 GPD (OFFICE SPACE) + 100 GPD (WAREHOUSE) = 721 GPD



SITE LOCATION



Class III Site Plan Mod. - 12 NOV 15

Water Distribution & Sanitary Sewer Plan
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
DeLray Beach, FL 33444

DRAWING NO. _____ CHECKED: JML
SCALE: As Shown
DATE: 08-10-14

C-3

Steve Eberhart Architecture LLC
554975-0950
9415 E. 14th Terrace
DeLray Beach, FL 33444

DESIGNED BY: JAMES W. WHEELER, P.E.
PROJECT ENGINEER: JAMES W. WHEELER, P.E.
DATE: 08-10-14

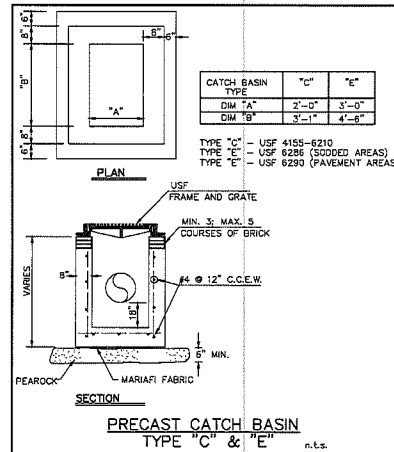
CAULFIELD & WHEELER, INC.
1000 S.W. 10th Avenue
DeLray Beach, FL 33444
PH: 561-291-7333 FAX: 561-291-7334

GENERAL NOTES PAVING, GRADING & DRAINAGE

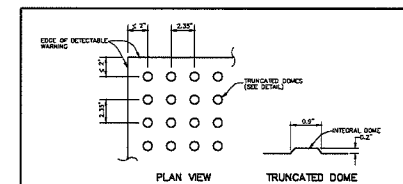
- ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE SCALED DISTANCES. THE CONTRACTOR SHALL CONFIRM ALL MEASUREMENTS IN THE FIELD AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY PRIOR TO PERFORMING THE WORK. ALL QUANTITIES SHALL BE PAID ON THE BASIS OF FIELD MEASUREMENTS OF COMPLETED WORK.
- REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE IN ACCORDANCE WITH F.O.D.T. STANDARDS SPECIFICATIONS SEC. 941, CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE IN ACCORDANCE WITH F.O.D.T. STANDARDS SPECIFICATIONS SEC. 945.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SUCH EXAMINATION OF THE SITE OF THE WORK AND OF ANY MATERIAL SOURCES INDICATED IN THE PLANS, AS MAY BE NECESSARY TO INFORM HIMSELF OF THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED.
- PROPOSED GRADES SHOWN IN PAVED AREAS REFER TO FINISH PAVEMENT GRADES.
- PAVEMENT MARKING AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND PALM BEACH COUNTY TYPICAL NO. T-P-06-001.
- ALL LOTS, ROADWAYS AND BORROW AREAS SHALL BE STRIPPED OF ALL DELETERIOUS (UNSATURABLE) MATERIALS AND MATERIALS SHALL BE DISPOSED WITHIN THE SITE.
- ALL GRADING OF STREETS, INCLUDING THE REMOVAL OF ALL MATERIALS AND THE FINISHING OF ALL SHOULDERS, SUBGRADE PREPARATION, SWIRLS AND SANDSLOPES, IN ACCORDANCE WITH THE TYPICAL SECTIONS SHOWN HEREON SHALL BE INCLUDED IN THE BID PRICE FOR PAVING.
- ANY EXISTING ROADWAY AND/OR UTILITY THAT IS DAMAGED BY THE CONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER AND UTILITY.
- THE FULL DEPTH OF THE EXISTING ORGANIC AND DELETERIOUS MATERIALS WITHIN THE RIGHT-OF-WAY AND UTILITIES AND DRAINAGE EASEMENT SHALL BE COMPLETELY REMOVED. NO MATERIALS OF F.O.D.T. CLASS A-5, A-7, OR A-8 SHALL BE ALLOWED.
- ANY MUCK POCKETS OR GUMBO ENCOUNTERED SHALL BE REMOVED WITHIN THE ROADWAY TO 1.0' BELOW SUBGRADE AND TO OUTSIDE EDGE OF BOTH SHOULDERS.
- ALL PAVING AND DRAINAGE WORK TO BE CONSTRUCTED IN FULL ACCORDANCE WITH PALM BEACH COUNTY STANDARDS AND SPECIFICATIONS.
- THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT WILL BE BENEATH THE PAVEMENT CURRENTLY TO BE CONSTRUCTED SHALL BE INSTALLED PRIOR TO THE COMPLETION OF SUBGRADE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND COUNTY ON ALL PIPE, PIPE BANDS, DRAINAGE STRUCTURES, GRATES, FRAMES AND COVERS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UTILITIES WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS AND SHALL VERIFY ALL ELEVATIONS BEFORE STARTING CONSTRUCTION. ALL EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO EXISTING OR BETTER CONDITIONS BY CONTRACTOR AT NO CHARGE TO OWNER.
- WHERE CONNECTIONS TO AN EXISTING DRAINAGE SYSTEM ARE PROPOSED, SAID EXISTING DRAINAGE STRUCTURES AND LINES SHALL BE PURGED OF ALL SILT AND DEBRIS PRIOR TO SAID CONNECTION, AND WHERE EXISTING DRAINAGE SYSTEM INCLUDES DITCHES, SAID DITCHES SHALL BE CLEARED AND REWORKED, AS NECESSARY, TO RESTORE THEM TO THEIR APPROVED DESIGN SECTION.
- ALL PIPE JOINTS ARE TO BE INSPECTED BY A REPRESENTATIVE OF THE ENGINEER PRIOR TO BACKFILLING. ALL INSPECTIONS SHOULD BE ARRANGED NO LESS THAN 48 HOURS IN ADVANCE.
- ALL CATCH BASIN GRATES MUST HAVE LOOKING CHAINS IN ACCORDANCE WITH FOOT INDEX 200.
- CLEARING AND GRUBBING:
 - WORK SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL BUILDINGS, TIMBER, BRUSH, STUMPS, ROOTS, RUBBISH, AND DEBRIS AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND AND THE SURFACE OF EXCAVATED AREAS, AND ALL OTHER STRUCTURES AND OBSTRUCTIONS NECESSARY TO BE REMOVED, INCLUDING SEPTIC TANKS, BUILDING FOUNDATIONS, AND PILES.
 - ROOTS AND OTHER DEBRIS SHALL BE REMOVED TO A DEPTH OF AT LEAST ONE FOOT BELOW THE GROUND SURFACE. ALL STUMPS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY REMOVED AND DISPOSED OF BY THE CONTRACTOR.
 - EXISTING TREES TO REMAIN WHERE SO DIRECTED BY THE ENGINEER, SHALL BE TRIMMED, PROTECTED AND LEFT STANDING.
 - PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, POSTS, BRIDGES, ETC. ARE TO BE CAREFULLY PROTECTED FROM INJURY AND ARE NOT TO BE DISPLACED.
- CLEARING AND GRUBBING MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR IN LOCATIONS AND BY METHODS APPROVED BY THE ENGINEER.
- SUBGRADE:
 - UTILIZATION OF MATERIAL IN SUBGRADE CONSTRUCTION SHALL BE IN ACCORDANCE WITH PLAN DETAILS OR AS DIRECTED BY THE ENGINEER.
 - A PROCTOR TEST SHALL BE PERFORMED ON THE PROPOSED SUBGRADE MATERIAL TO DETERMINE THE OPTIMUM MOISTURE CONTENT AND MAXIMUM DENSITY OF THE MATERIAL. IN-PLACE DENSITY TESTS OF THE FINISH SUBGRADE SHALL BE PERFORMED AT A FREQUENCY OF AT LEAST ONE TEST PER EVERY 7,000 SQ.FT. OF PROPOSED PAVEMENT AREA TO DETERMINE COMPLIANCE WITH THE DESIGN SPECIFICATIONS OF 100% OF MAX. DENSITY PER AASHTO T-99 TESTING METHOD.
 - STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIME/ROCK BEARING RATIO (LBR) OF 40. OF THE COMPACTED SUBGRADE SHALL CONFORM TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN ON THE PLANS. ALL ROOTS, STUMPS, OR OBSTRUCTIBLE MATERIAL PRESENT ON, UNDER, OR PROTRUDING THROUGH THE SURFACE SHALL BE COMPLETELY REMOVED FROM THE SUBGRADE. THE FINISHED SURFACE OF THE SUBGRADE SHALL BE STRING-LINED PRIOR TO PLACEMENT OF ROCK BASE TO VERIFY THAT THE SUBGRADE HAS BEEN CONSTRUCTED TO THE PROPER LINES, CROSS-SECTIONS, AND ELEVATIONS WITHIN AN ALLOWABLE TOLERANCE OF 1/2" OF THE PROPOSED FINISH SUBGRADE ELEVATIONS.

BASE: (CONTINUED)

- ON THE ROAD:
 - A PROCTOR TEST SHALL BE PERFORMED ON THE PROPOSED LIME/ROCK MATERIAL TO DETERMINE THE MAXIMUM DENSITY OF THE MATERIAL. IN-PLACE DENSITY TESTS SHALL BE TAKEN AT A FREQUENCY OF AT LEAST ONE TEST PER EVERY 7,000 SQ.FT. OF PROPOSED PAVEMENT TO DETERMINE COMPLIANCE WITH THE DESIGN SPECIFICATIONS OF 88% OF MAX. DENSITY PER AASHTO T-180 TESTING METHODS.
 - THE COMPACTED BASE SHALL CONFORM TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN ON THE PLANS. THE FINISH BASE SURFACE SHALL BE STRING-LINED OR CHECKED WITH A TEMPLATE TO VERIFY CONFORMANCE WITH THE PLAN GRADES WITHIN AN ALLOWABLE TOLERANCE OF 1/4" OF THE PROPOSED BASE ELEVATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ASPHALTIC CONCRETE SURFACE COURSE:
 - TACK COAT:
 - PRIOR TO INSTALLATION OF THE OVERLAY, THE SURFACE OF THE EXISTING ASPHALT SHALL BE BROGOM TO REMOVE ALL LOOSE MATERIAL WHICH MIGHT INTERFERE WITH THE ADHESION OF THE EXISTING ASPHALT AND OVERLAY.
 - A TACK COAT SHALL BE APPLIED TO THE TOP OF THE CLEAN ASPHALT SURFACE AT A RATE OF 0.10 GALLONS/SQ.FT. IN THE PRESENCE OF THE ENGINEER'S REPRESENTATIVE.
 - PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTION 300-1 THROUGH 300-7 OF F.O.D.T. STANDARDS SPECIFICATIONS.
 - ASPHALTIC CONCRETE SHALL CONFORM TO FLORIDA D.O.T. REQUIREMENTS OF TYPE S-1 AND S-3. CERTIFICATIONS OF THE ASPHALT MIX SHALL BE SUBMITTED BY THE ASPHALT PLANT TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - THE TEMPERATURE OF THE ASPHALT SHALL BE AT LEAST 230 DEGREES F. DURING THE LAYING OPERATION.
 - THE THICKNESS OF THE FINISHED SURFACE COURSE SHALL BE CHECKED AT VARIOUS INTERVALS TO INSURE THE CONSTRUCTED SURFACE COURSE IS WITHIN 1/8" OF THE DESIGN THICKNESS (NO NEGATIVE TOLERANCE WILL BE ACCEPTABLE).
 - THE FINISHED SURFACE OF THE ASPHALT SHALL BE CHECKED WITH A STRAIGHT EDGE TO INSURE THAT THE LINE, GRADE, AND CROSS-SECTION OF THE FINISHED PAVEMENT SECTION IS IN CONFORMANCE WITH THE DESIGN PLANS. THE FINISHED SURFACE SHALL BE OF UNIFORM TEXTURE AND COMPACTION. THE SURFACE SHALL HAVE NO LULLED, TORN, OR LOOSED PORTIONS AND SHALL BE FREE OF SEGREGATION, SAND, STREAKS, SAND SPOTS, OR RIPPLES. ALL AREAS OF THE SURFACE WHICH DOES NOT MEET THE FOREGOING REQUIREMENTS SHALL BE CORRECTED TO THE ENGINEER'S SATISFACTION.
 - ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAWCUT EDGE PRIOR TO RELAYING ASPHALT. UNDER PAVEMENT UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILL.
 - ALL PERMANENT CONTROL POINTS AND/OR REFERENCE MARKERS SHOWN ON PLANS SHALL BE RAISED TO FINAL GRADE IF LOCATED IN PAVEMENT OR CONCRETE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAN.
- NOTIFICATION, TESTING:
 - NOTIFICATION - THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE COUNTY AND UTILITIES 48 HOURS PRIOR TO SCHEDULING FIELD OBSERVATIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO TEST THE COMPLETED WORK. CALL U.N.C.L.E. PRIOR TO ANY EXCAVATION.
 - ALL DRAINAGE SYSTEMS SHALL BE PUMPED DOWN TO BELOW 1/3 OF THE DIAMETER OF THE PIPE (FROM THE INVERT) AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
 - GRATE AND RIM ELEVATION ARE BASED ON PROPOSED FINISHED GRADE. ADJUSTMENTS MAY BE NECESSARY DUE TO FIELD CONDITIONS. ADJUSTMENTS ARE TO BE MADE BY THE CONTRACTOR WHEN THE BASE COURSE IS IN PLACE OR SITE GRADING IS COMPLETE. COST OF ADJUSTING RIMS AND GRATES IS TO BE INCLUDED IN BASE BID.
- SODDING:
 - WORK CONSISTS OF THE ESTABLISHING OF A STAND OF GRASS WITHIN THE AREAS CALLED FOR BY THE FURNISHING AND PLACING OF GRASS SOD AND FERTILIZING, WATERING, AND MAINTAINING SODDED AREAS SUCH AS TO ASSURE A HEALTHY STAND OF GRASS.
 - THE AREA OVER WHICH THE SOD IS TO BE PLACED SHALL BE SCARIFIED OR LOOSENED TO SUITABLE DEPTH. THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH EDGES IN CLOSE CONTACT AND SHALL BE FIRMLY AND SMOOTHLY EMBEDDED BY LIGHT TAMPING WITH APPROPRIATE TOOLS. ON AREAS WHERE THE SOD MAY SLIDE DUE TO HEIGHT AND SLOPE, THE ENGINEER MAY DIRECT THAT THE SOD BE PECEGGED WITH PEGS DRIVEN THROUGH THE SOD BLOCKS INTO FIRM EARTH AT SUITABLE INTERVALS.



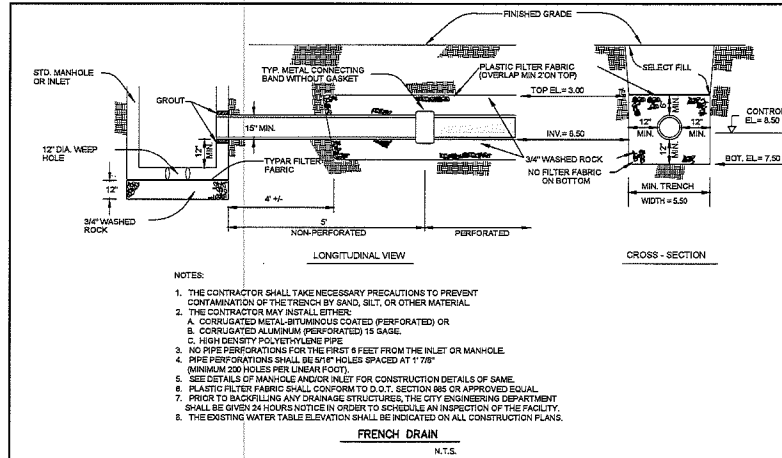
PRECAST CATCH BASIN
TYPE "C" & "E" N.T.S.



GENERAL NOTES:

- WHEN PERPENDICULAR CURB RAMPS ABOUT THE BACK OF CURB, A DETECTABLE WARNING SHALL BE APPLIED TO THE FULL WIDTH AND LENGTH OF THE RAMP. WHEN LANNINGS OF PARALLEL CURB RAMPS ABOUT THE BACK OF CURB, THE DETECTABLE WARNING SHALL EXTEND FULL WIDTH AND 3' BACK OF THE CURB.
- DETECTABLE WARNINGS SHALL BE CONSTRUCTED BY TEXTURING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, A.D.A. GUIDELINES, SECTION 4.29.2 (DETAIL SHOWN ABOVE). TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.
- THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTERNAL PART OF THE WALKING SURFACE.

DETECTABLE WARNING SURFACE
N.T.S.



NOTES:

- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE FRENCH BY SAND, SILT, OR OTHER MATERIAL.
- THE CONTRACTOR MAY INSTALL EITHER:
 - CORRUGATED METAL-BITUMINOUS COATED (PERFORATED) OR
 - CORRUGATED ALUMINUM (PERFORATED) 18 GAGE.
- HIGH DENSITY POLYETHYLENE PIPE.
- NO PIPE PERFORATIONS FOR THE FIRST 6 FEET FROM THE INLET OR MANHOLE.
- PIPE PERFORATIONS SHALL BE 6" HOLE SPACED AT 1' MIN. (MINIMUM 200 HOLES PER LINEAR FOOT).
- SEE DETAILS OF MANHOLE AND/OR INLET FOR CONSTRUCTION DETAILS OF SAME.
- PLASTIC FILTER FABRIC SHALL CONFORM TO D.O.T. SECTION 808 OR APPROVED EQUAL.
- PRIOR TO BACKFILLING ANY DRAINAGE STRUCTURES, THE CITY ENGINEERING DEPARTMENT SHALL BE GIVEN 24 HOURS NOTICE IN ORDER TO SCHEDULE AN INSPECTION OF THE FACILITY.
- THE EXISTING WATER TABLE ELEVATION SHALL BE INDICATED ON ALL CONSTRUCTION PLANS.

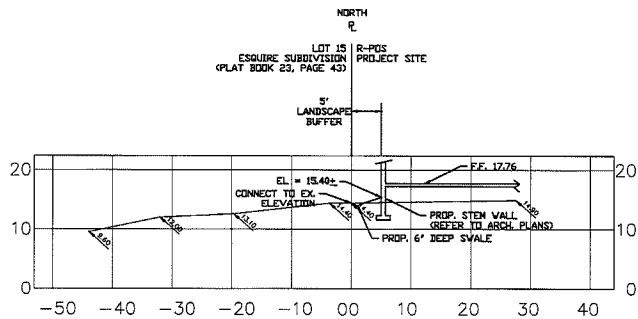
FRENCH DRAIN
N.T.S.

Class III Site Plan Mod - 12 NOV 15
Paving, Grading, & Drainage Details
Resource POS - New Offices and Warehouse Facility

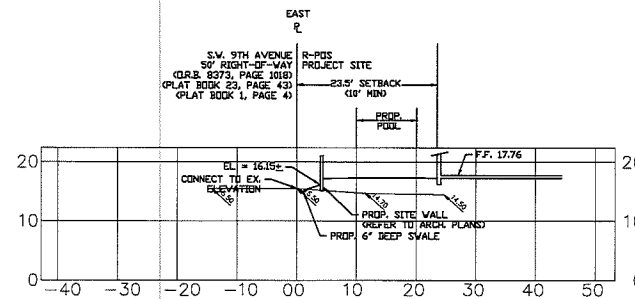
Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN BY: _____ CHECKED BY: _____
SCALE: As Noted
DATE: 06-30-14

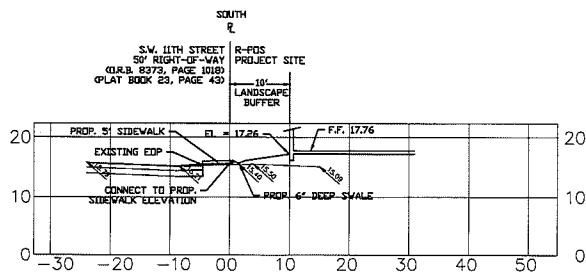
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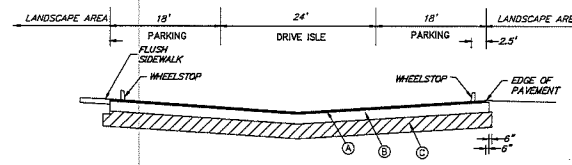
SECTION N-N



SECTION E-E



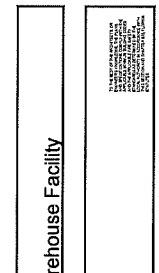
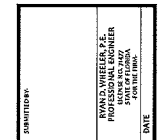
SECTION S-S



- A. 1 1/2" - INCH (COMPACTED THICKNESS APPLIED IN TWO 3/4" LIFTS) TYPE S-III ASPHALTIC CONCRETE SURFACE COURSE OVER PRIME BASE, AND TACK COAT BETWEEN PAVING COURSES.
- B. 6 1/2" COMPACTED LIMEROCK BASE, COMPACTED TO A MINIMUM OF 98% OF MAX. DENSITY PER AASHTO T-180; MIN. % CARBONATE = 60% AND LBR OF 100.
- C. 12" COMPACTED SUBGRADE, COMPACTED TO A MINIMUM OF 98% OF MAX. DENSITY PER AASHTO T-180.

PROPOSED PARKING / PAVEMENT SECTION

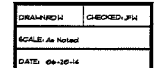
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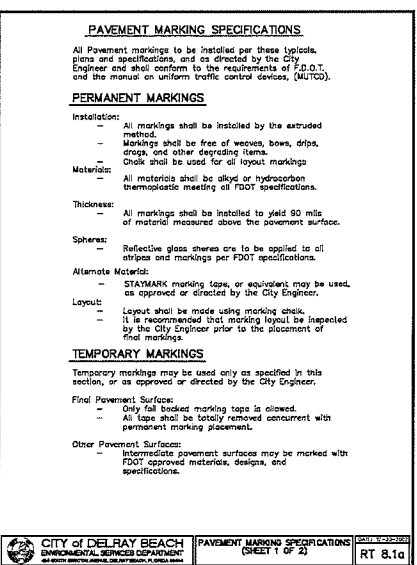
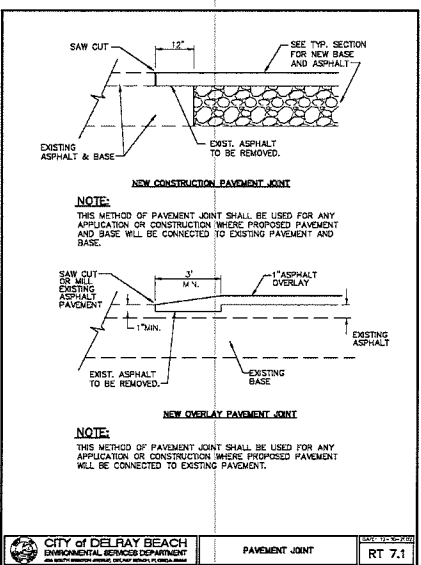
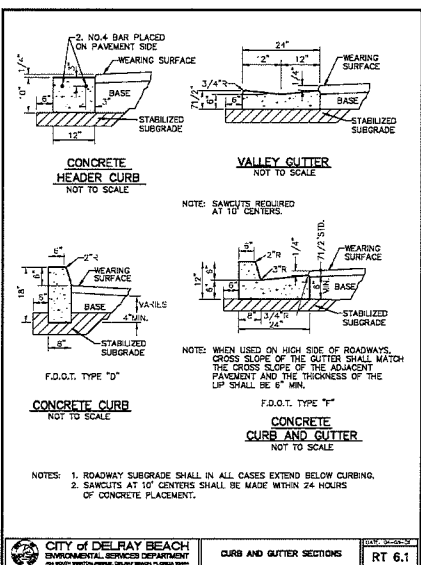
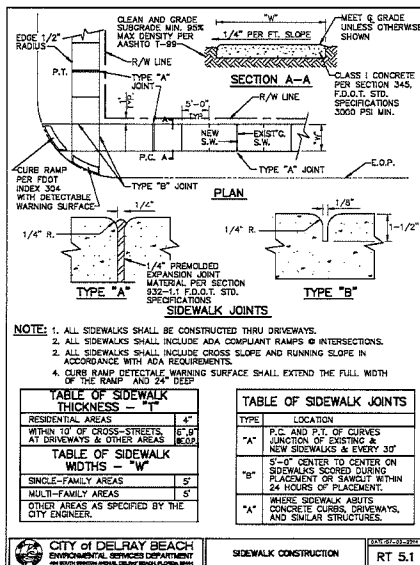
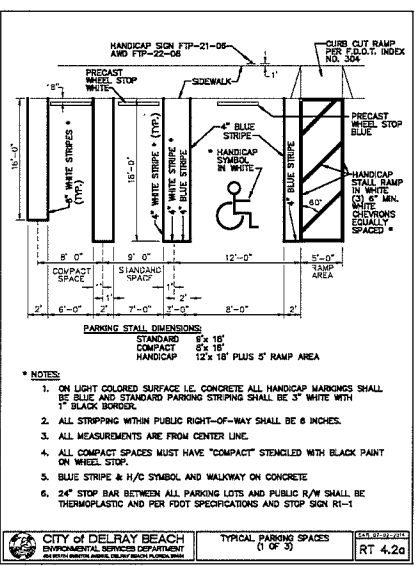
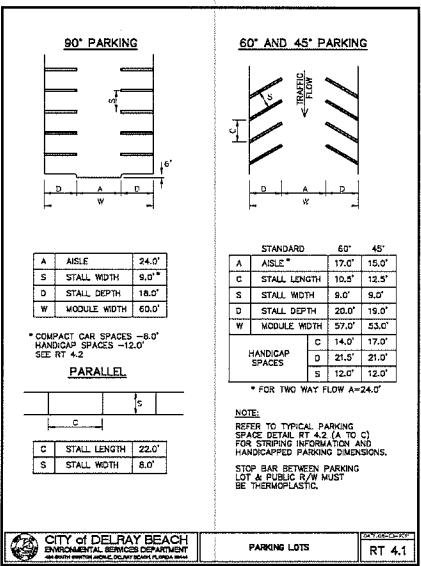
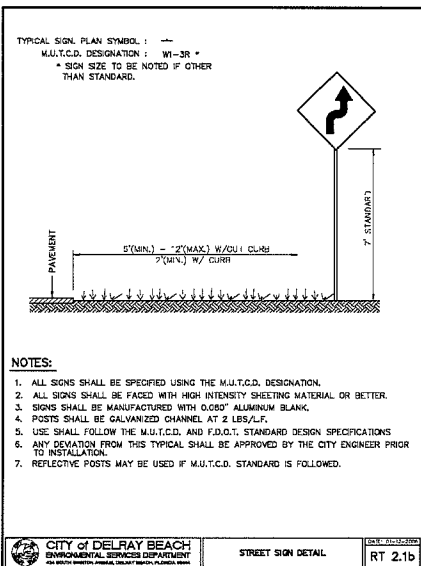
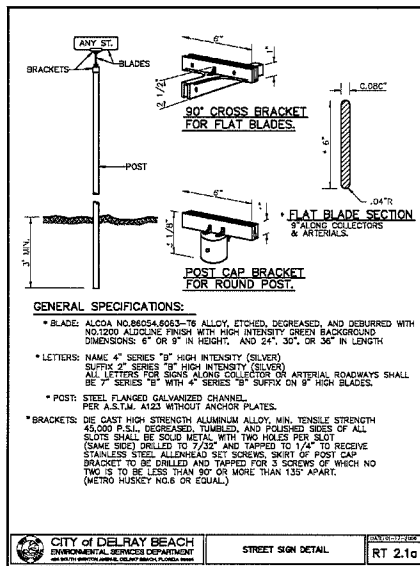
Class III Site Plan Mod. - 12 NOV 15

Paving, Grading, & Drainage Details
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444



C-4A

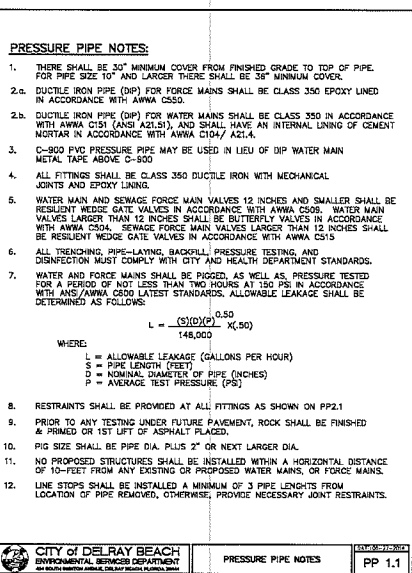
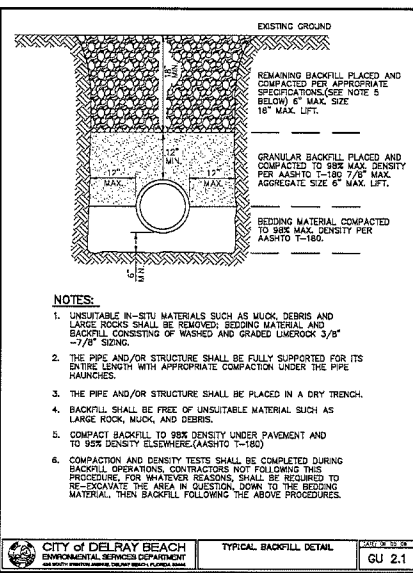
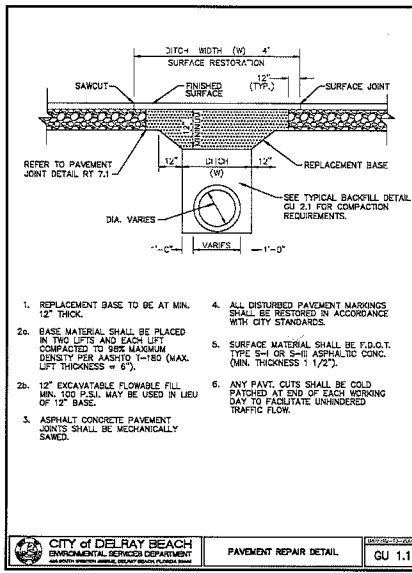


Class III Site Plan Mod. - 12 NOV 15
Paving, Grading, & Drainage Details
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN: JH
CHECKED: JH
SCALE: As Noted
DATE: 09-26-16

C-5



MINIMUM LENGTHS OF PIPE (FT) TO BE RESTRAINED

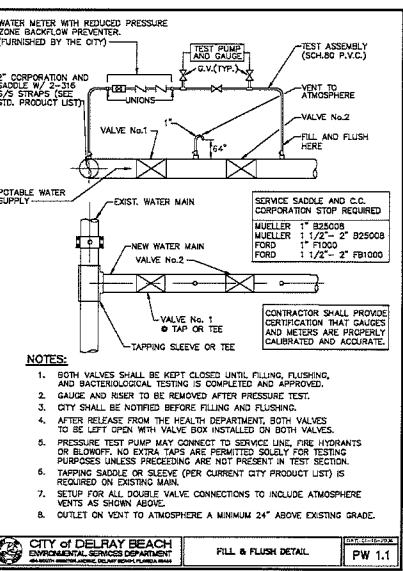
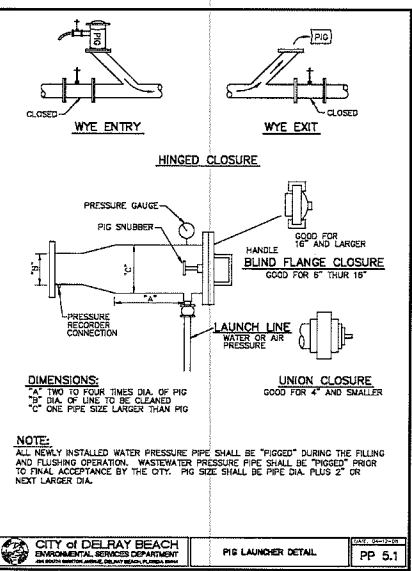
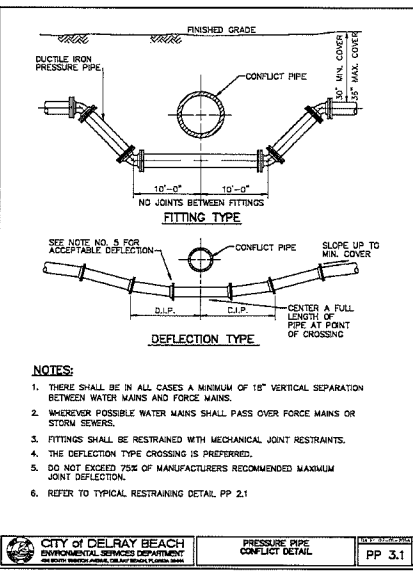
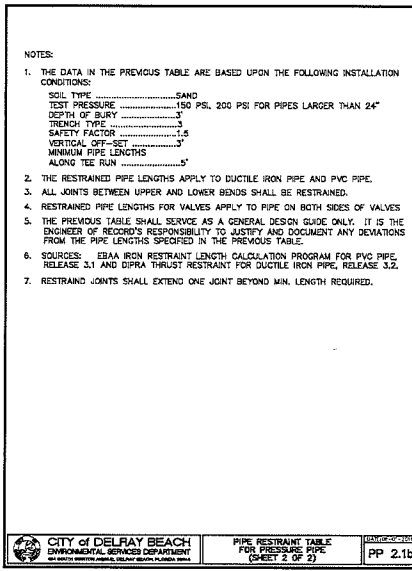
FITTING TYPE	PIPE SIZE							
	4"	6"	8"	10"	12"	16"	20"	24"
90° HORIZ. BEND	14	20	25	30	35	45	54	62
45° HORIZ. BEND	6	8	11	13	15	19	22	26
22.5° HORIZ. BEND	3	4	5	6	7	9	11	12
11.25° HORIZ. BEND	1	2	3	3	4	4	5	6
90° VERT. OFFSET	55	79	103	125	147	189	228	266
45° VERT. OFFSET	22	38	49	59	68	88	108	123
22.5° VERT. OFFSET	10	14	19	23	28	35	43	50
11.25° VERT. OFFSET	2	4	6	6	10	14	17	21
11.25° VERT. OFFSET	1	1	1	2	3	5	7	8
PLUG (DEAD END)	32	45	59	70	83	107	129	151
INLINE VALVE	32	45	59	70	83	107	129	151
TEE (GRANULAR RESTRAINT)	4"x10"	23	35					
	6"x10"	18	34	47				
	10"x10"	16	32	46	58			
	12"x10"	13	30	44	57	69		
	16"x10"	7	28	41	55	67	80	
	20"x10"	1	21	38	52	65	88	109
REDUCER (LARGER PIPE RESTRAINT)	24"x10"	23	35	49	62	88	108	129
	6"x10"	36	25					
	10"x10"	57	43	24				
	12"x10"	72	60	44	41			
	16"x10"	99	80	78	75	45		
	20"x10"	123	116	107	105	81	45	

RESTRAIN PIPE ONE BELL PAST MINIMUM DISTANCE.

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
300 SOUTH DELRAY AVENUE, SUITE 200, DELRAY BEACH, FLORIDA 33483

PIPE RESTRAINT TABLE FOR PRESSURE PIPE (SHEET 1 OF 2)

PP 2.1a



Class III Site Plan Mod. - 12 NOV 15

Water Distribution & Sanitary Sewer Details

Resource POS - New Offices and Warehouse Facility

Store Edward Architecture LLC
954.695.0990
941 S.E. 14 Terrace
Fort Lauderdale, FL 33304

RAWA WHEELER, P.E.
PROFESSIONAL ENGINEER
STATE OF FLORIDA
EXPIRATION DATE: 12/31/2016

CAVALIER & WHEELER, INC.
ENGINEERS, ARCHITECTS, PLANNERS
UNIVERSITY MICROFILMS INTERNATIONAL
300 N. ZEEB RD., ANN ARBOR, MI 48106
(734) 769-7000 FAX (734) 769-7001

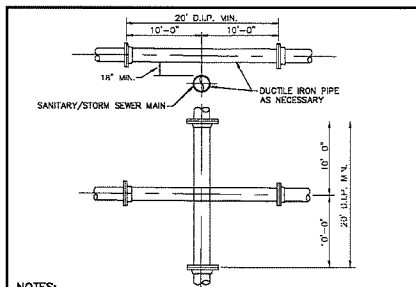
Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN BY **CHECKED BY**

SCALE: As Noted

DATE: 06-12-14

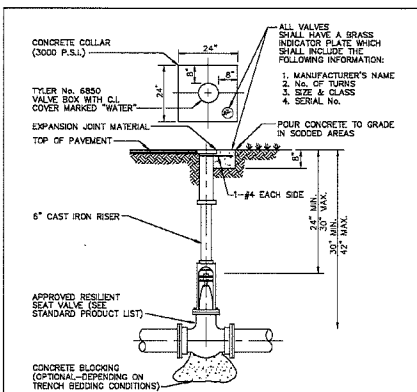
C-7



NOTES:

- STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE BOTTOM OF THE LOWER PIPE AND THE TOP OF THE UPPER PIPE. WHERE THE MINIMUM SEPARATION CANNOT BE MAINTAINED, TWO JOINTS AND TWO JOINTS SHALL BE USED. THE SEWER PIPE JOINTS AND WATER MAIN JOINTS ARE EQUIVALENT FROM POINT OF CROSSING WITH NO LESS THAN (10) FEET BEING MAINTAINED. THE JOINTS SHALL BE 6" DIA. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE OUTSIDE FOR MINIMUM 18" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STARTED ABOVE, SHALL BE REQUIRED AND BOTH PIPES SHALL BE CLASS 52 D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
- MAINTAIN (10) FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN, AS A MINIMUM.
- FORCE MAIN CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE WATER MAIN WITH WATER MAIN CROSSING OVER FORCE MAIN.
- SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES. IF SEWER LATERAL (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATER MAIN SHALL BE D.I.P. AND THE SANITARY LATERAL C-100 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE 5' (6) INCHES.
- WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL, A MINIMUM VERTICAL SEPARATION OF AT LEAST TWO FEET MUST BE MAINTAINED. THE WATER MAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-100 SDR18 OR BETTER.

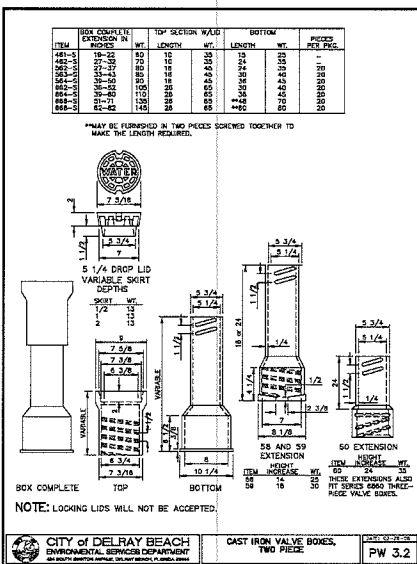
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
WATER MAIN & SEWER CONFLICT
PW 2.1



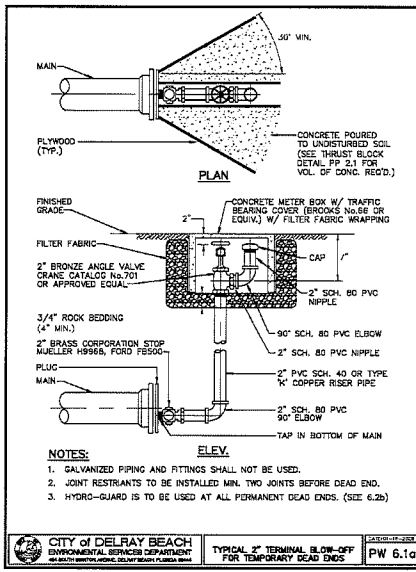
NOTES:

- WHEN VALVE IS DEEPER THAN 30" AN EXTENSION WITH UNIVERSAL JOINT SHALL BE REQUIRED TO BRING OPERATING NUT 24"-30" BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS SHALL BE 316 STAINLESS STEEL. A 316 STAINLESS STEEL CENTERING PLATE SHALL ALSO BE REQUIRED.
- AT DEAD END OR WHERE MAIN LINES CHANGE DIRECTION, VALVES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS, TIERS, OR OTHER APPROVED RESTRAINT.

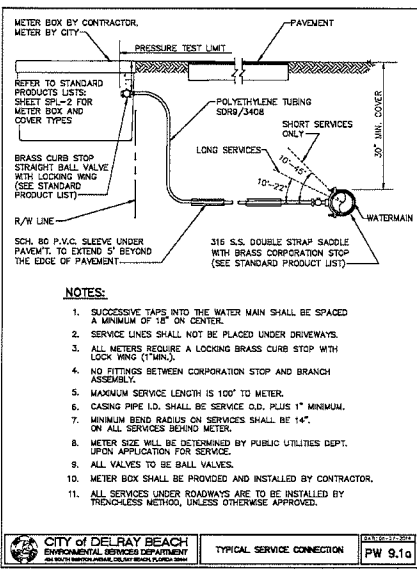
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL GATE VALVE DETAIL
4" THRU 12"
PW 3.1



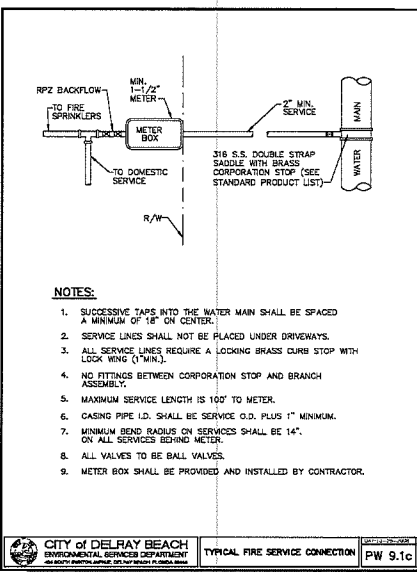
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL FIRE HYDRANT INSTALLATION
PW 5.1



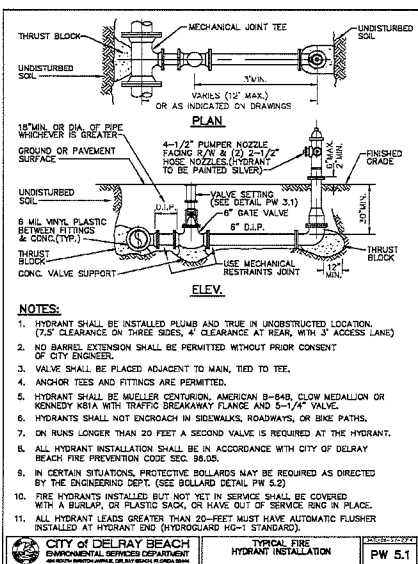
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL 2" TERMINAL CLOS-OFF
FOR TEMPORARY DEAD ENDS
PW 6.1a



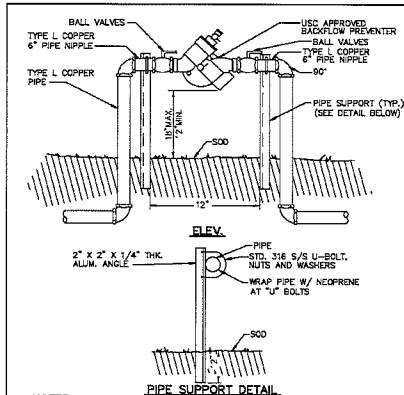
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL SERVICE CONNECTION
PW 9.1a



CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL FIRE SERVICE CONNECTION
PW 9.1c



CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL DOUBLE DETECTOR CHECK VALVE
PW 10.1



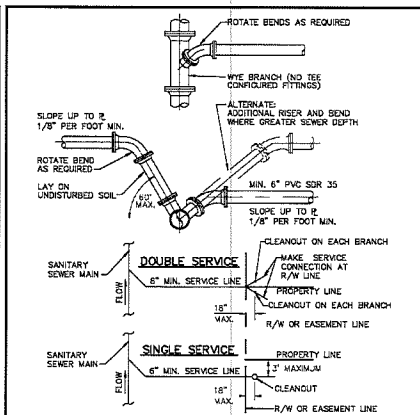
- NOTES:**
1. FOR ALL SERVICES LESS THAN OR EQUAL TO 2\"/>

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
REDUCED PRESSURE ZONE
BACKFLOW PREVENTER
PW 10.2

GRAVITY SEWER NOTES

1. MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
2. ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
3. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
4. (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
5. (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, EPOXY LINED OR AS OTHERWISE APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.
6. NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
7. MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4\"/>

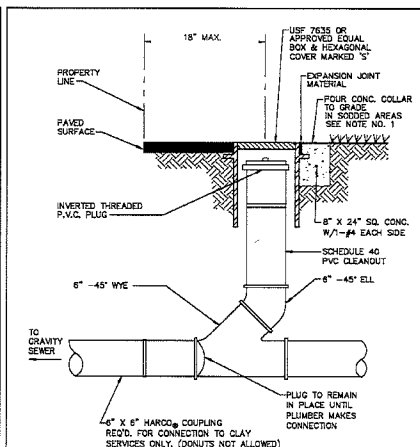
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
GRAVITY SEWER NOTES
WW 1.1



NOTE:

1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2\"/>

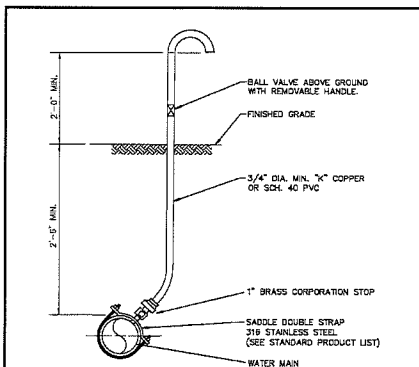
CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
SEWER SERVICE CONNECTION
WW 4.1



NOTE:

1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL COMMERCIAL CLEANOUT
WW 5.2



NOTES:

1. SAMPLE POINT SHOULD BE AT SERVICE LINE OR FIRE HYDRANT IF POSSIBLE.
2. IF SAMPLE POINT IS NOT AT SERVICE LINE OR FIRE HYDRANT, CORP. STOP SHALL BE SHUT OFF AT MAIN AND ALL TUBING SHALL BE REMOVED, AND CORP. STOP SHALL HAVE A BRASS PLUG OR CAP INSTALLED AFTER RELEASE OF WATER MAIN BY PALM BEACH COUNTY HEALTH DEPARTMENT.
3. IF AT ALL POSSIBLE SAMPLE POINT SHALL NOT BE LOCATED IN A TRAFFIC AREA.
4. SAMPLE POINTS SHALL KEEP RUNNING UNTIL HEALTH DEPT. RELEASE AND ALL MAIN LINE VALVES ARE OPENED.

CITY OF DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
TYPICAL SAMPLE POINT
PW 7.1

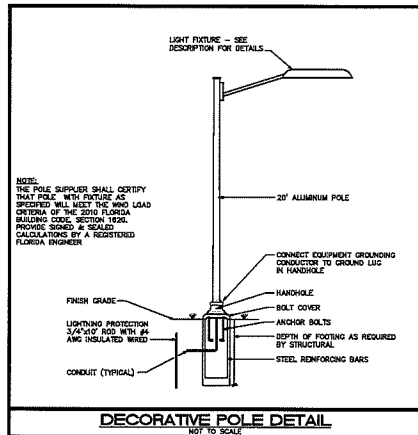
Class III Site Plan Mod. - 12 NOV 15

Water Distribution & Sanitary Sewer Details
Resource POS - New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sales, LLC
1044 SW 10th Avenue
Delray Beach, FL 33444

DRAWN BY: [] CHECKED BY: []
SCALE: As Noted
DATE: 06-28-14

C-9

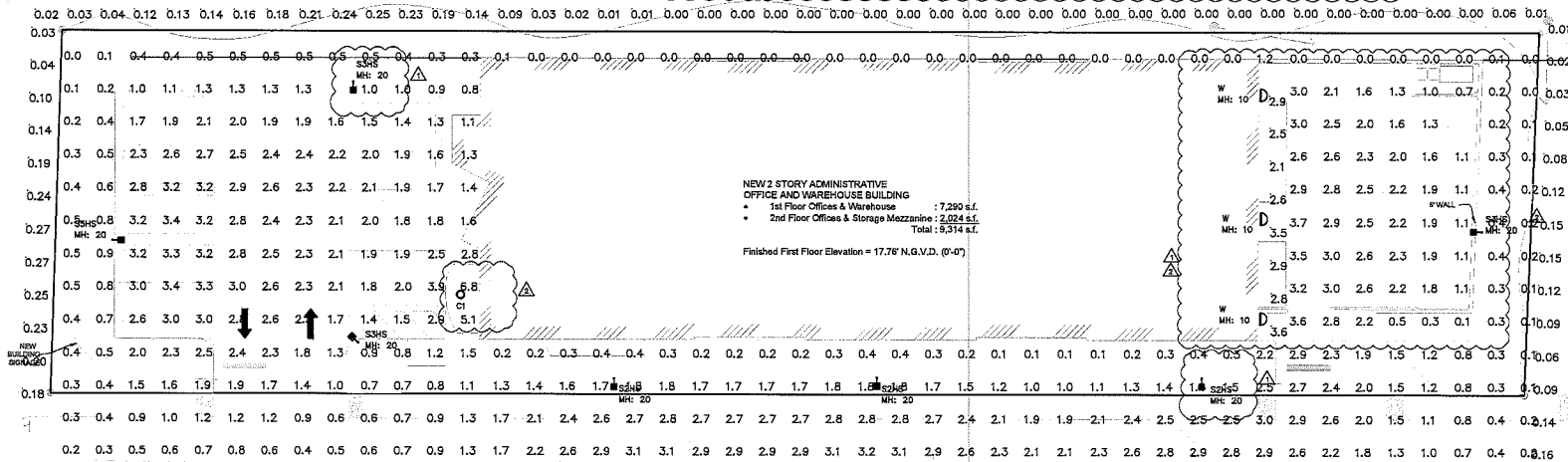


LITHONIA "DSXQ" SERIES
*COLOR TO BE WHITE

LITHONIA "DSXW" SERIES
*COLOR TO BE WHITE

Symbol	Qty	Label	Arrangement	[MANUFACT]	Description	Lot, Lumens	LF	Lot, Watts
DSXQ	3	DSXQ	SINGLE	Lithonia Lighting	DSXQ LED 300 1000 30K 120 MVOLT HS	8250	0.880	73
DSXW	3	DSXW	SINGLE	Lithonia Lighting	DSXW LED 300 500 30K 120 MVOLT HS	3088	0.800	35
DSXQ	1	DSXQ	SINGLE	Lithonia Lighting	DSXQ LED 300 1000 30K 120 MVOLT HS	4880	0.880	73
DSXW	1	DSXW	SINGLE	BECA	LIMBORG LED SURFACE CEILING LUMINAIRE	1887	0.800	31
DSXW	3	DSXW	SINGLE	Lithonia Lighting	DSXW LED 100 500 30K 120 MVOLT	1851	0.800	30

Label	Color/Type	Units	Meter Type	Avg	Max	Min	Avg/ft ²	Max/ft ²
PROPERTY LINE EAST	Horizontal	Ft	Horizontal	0.08	0.15	0.01	0.00	16.00
PROPERTY LINE NORTH	Horizontal	Ft	Horizontal	0.05	0.25	0.00	N/A	N/A
PROPERTY LINE WEST	Horizontal	Ft	Horizontal	0.15	0.27	0.03	0.00	8.00
UNDER CANOPIES	Horizontal	Ft	Horizontal	2.88	3.8	2.1	1.36	1.71
11 ST SIDEWALK	Horizontal	Ft		1.60	3.0	0.3	6.00	10.00
FRONT ENTRANCE	Horizontal	Ft		5.99	6.8	5.1	1.17	1.33
LOADING	Horizontal	Ft		2.36	3.7	1.1	2.15	3.38
WEST PARKING LOT	Horizontal	Ft		5.38	5.8	1.8	2.33	3.80



ANY ACCEPTABLE ALTERNATE/SUBSTITUTE MUST BE APPROVED IN WRITING PRIOR TO BID DATE. TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING THE IES PHOTOMETRIC FILE FOR THE PROPOSED ALTERNATE/SUBSTITUTE MUST BE SUBMITTED TO KAMM CONSULTING ENGINEERS FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID.

S.W. 11th STREET
(50 FEET WIDE)

SITE
PHOTOMETRIC PLAN
NORTH

DESIGNED FOR PERMIT	12-2014
DESIGNED FOR CONSTRUCTION	
KAMM CONSULTING ENGINEERS & PROJECT MANAGER	
1887 West Northwest Corner Drive Davie, FL 33414 Phone 954 947 3300 Fax 954 349 2201 kammce@kammce.com www.kammce.com	
DATE: 1-6-16	
BY: [Signature]	

Steve Edwards Architectural LLC
594 955 0959
594 955 0959
Clearfield North Florida
33448

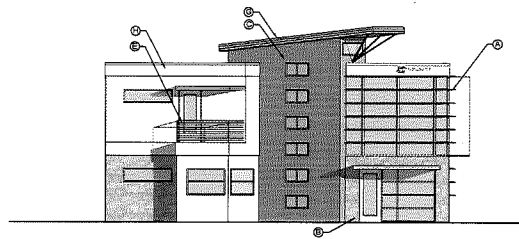
Stephen Patrick Kennedy
ID 15438

ReSource POS New Offices and Warehouse Facility

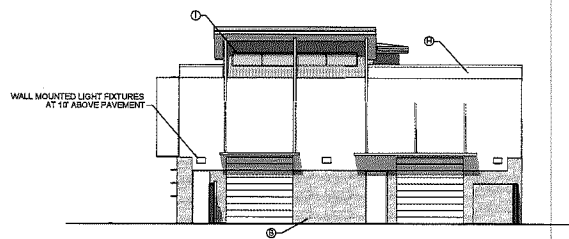
Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10TH Avenue
Deerfield Beach, FL 33441

CLASS & SITE PLAN SET	1/16" = 1'-0"
SITE PLAN SCALE	1/8" = 1'-0"
DESIGNED	CHECKED
SCALE	
DATE	

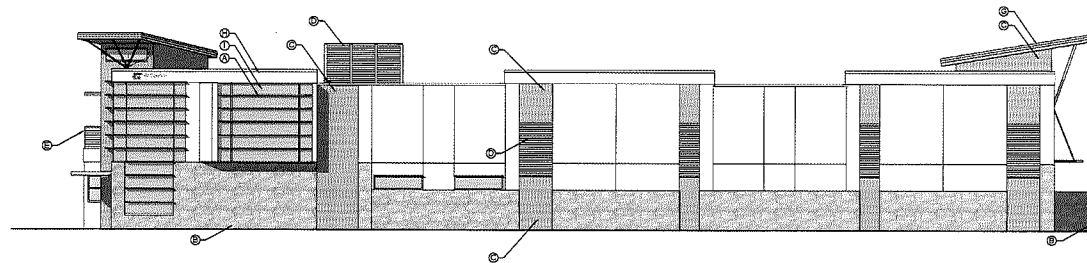
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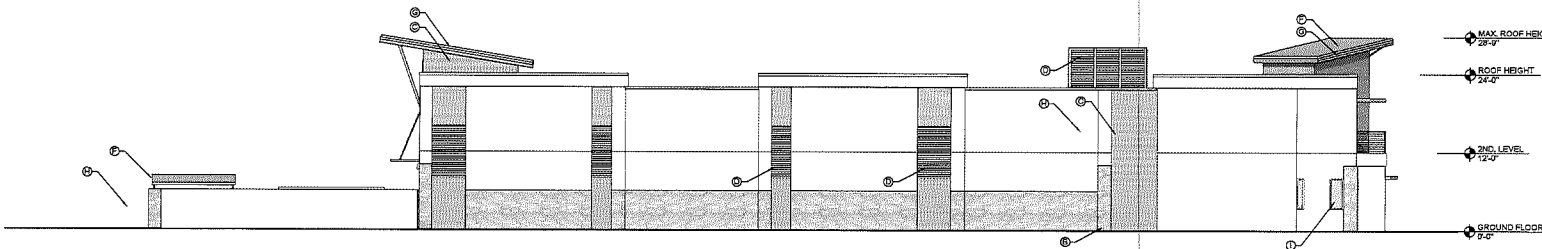
③ WEST ELEVATION



④ EAST ELEVATION

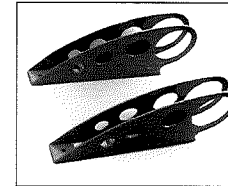


① SOUTH ELEVATION

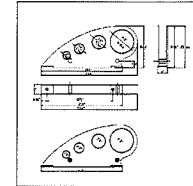


② NORTH ELEVATION

ELEVATIONS



BICYCLE RACK IMAGE



BICYCLE RACK DETAIL

MATERIALS LEGEND

① ALUMINUM SOLAR SHADES



② COQUINA SHELL STONE TILE



③ CORRUGATED METAL SIDING



④ METAL VENTILATION LOUVER



⑤ STAINLESS STEEL CABLE RAIL



⑥ STANDING SEAM METAL ROOF



⑦ ROOF FASCIA ACCENT COLOR



⑧ STUCCO WALL COLOR



⑨ WINDOW AND DOOR GLASS



1 8 16 1/8"=1'

Class III Site Plan Modification - 12 November 2015

Concept Elevations
New Offices and Warehouse Facility

Austin M. Chavez, CEO
Resource Point of Sale, LLC
1044 SW 10th Avenue
Deerfield Beach, FL 33444

Drawn by: TW
Checked by: SC
Scale: As Noted
Date: 1-8-18

A-3.0

1312.03 A-3.dwg

Steve Edwards Architecture LLC
954 675 0990
940 S.E. 14 Terrace
Deerfield Beach Florida
33441

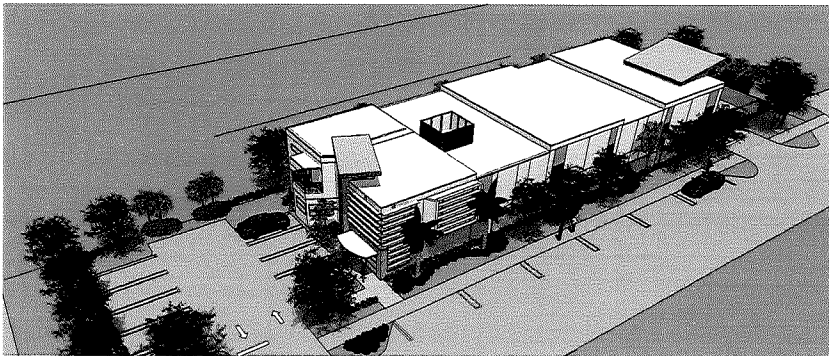
Stephen Patrick Edwards
ID: 5457
AS 4857



FROM SOUTHWEST CORNER



FROM SOUTHEAST CORNER



BIRD'S EYE VIEW



FROM NORTHWEST CORNER



FROM S.W. 10th AVENUE



FROM S.W. 9th AVENUE

PERSPECTIVE VIEWS

Steve Edwards Architecture LLC
894.625.0990
991 S.E. 14 Terrace
Deerfield Beach Florida
33441

Stephen Patrick Edwards
ID: 9487

Class III Site Plan Modification - 12 November 2015
Perspective Views
New Offices and Warehouse Facility

Austin M. Chavez, CEO
ReSource Point of Sale, LLC
1044 SW 10th Avenue
Deerfield Beach, FL 33444

ReSource
POINT OF SALE

ReSource
POINT OF SALE

ReSource
POINT OF SALE

DRAWN: TW CHECKED: SC
SCALE: As Noted
DATE: 1-8-18

A-4.0

1312.03 A-3.dwg