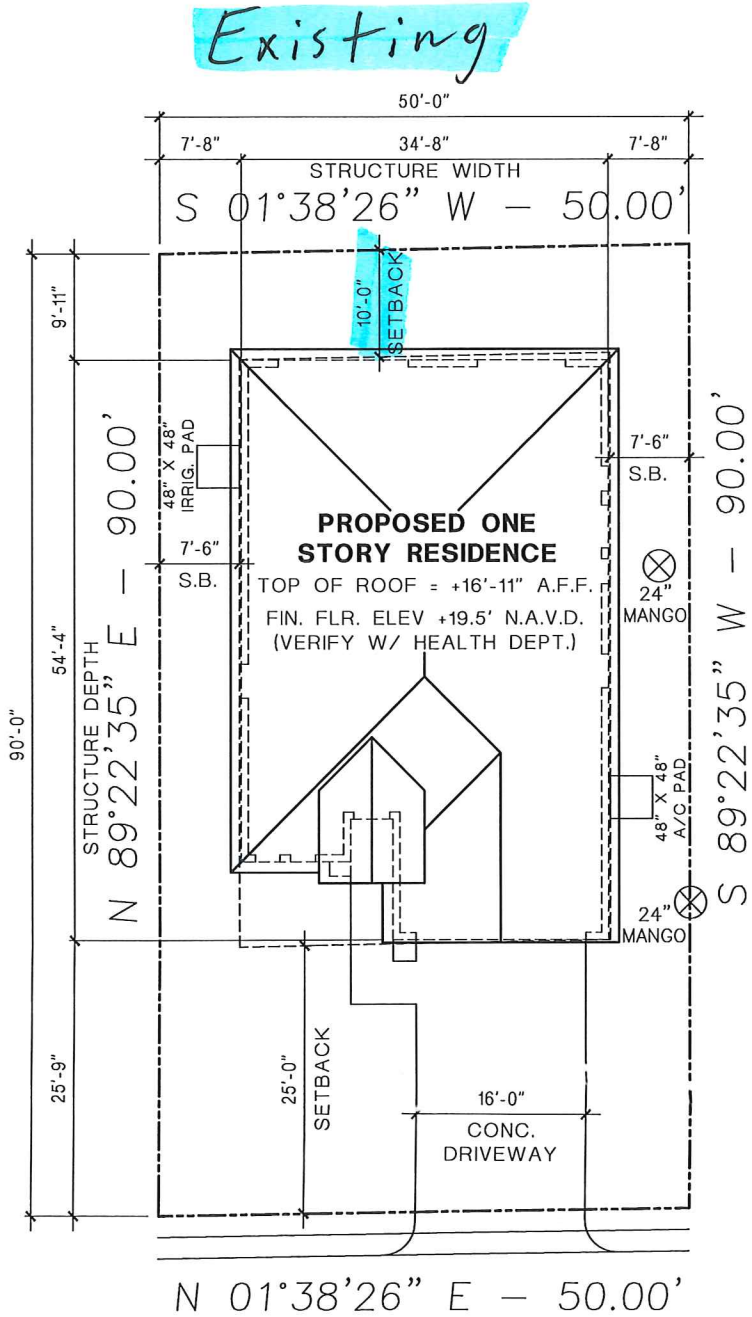
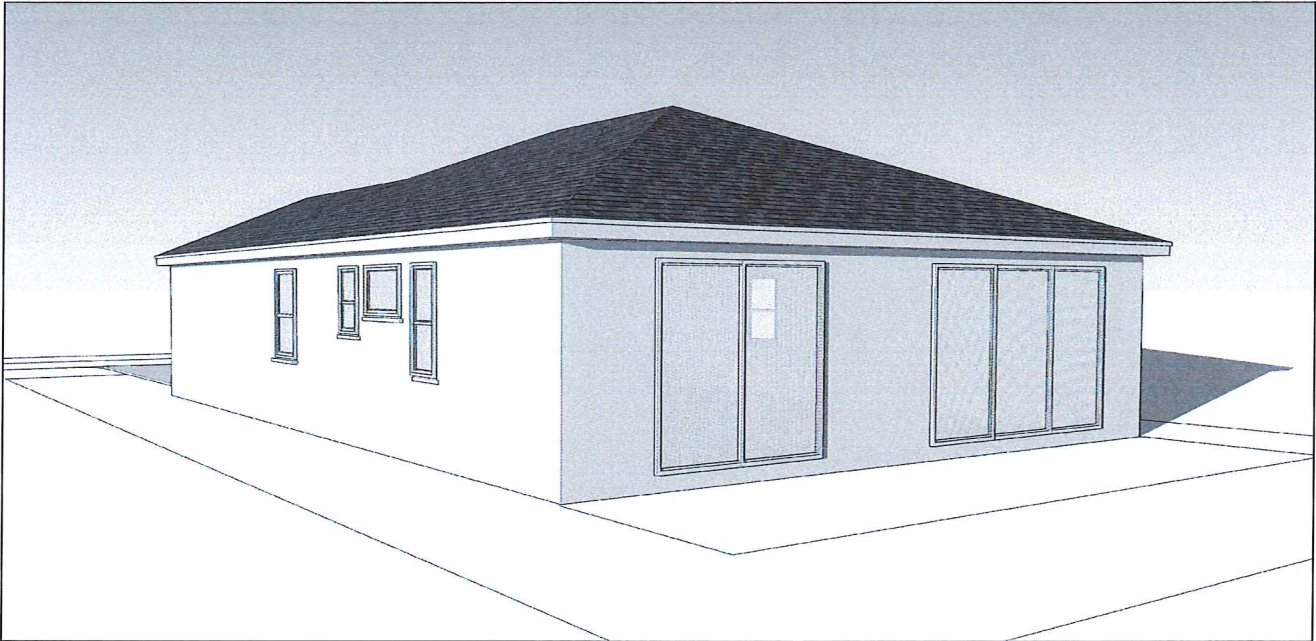
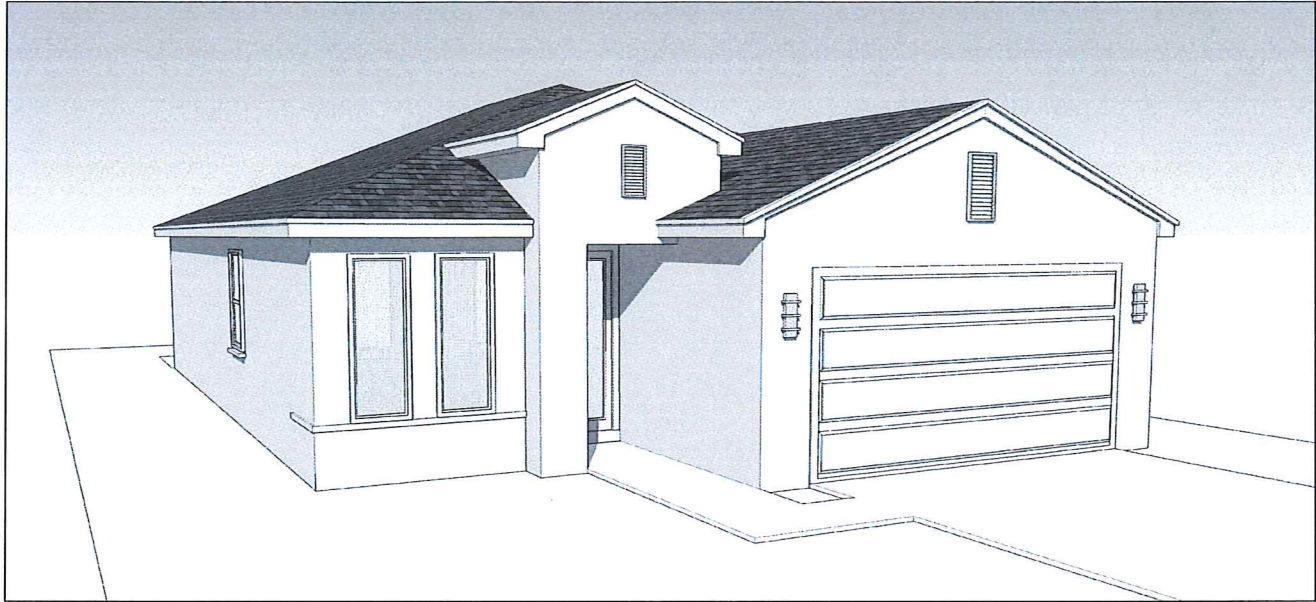




ALLEY



SITE PLAN

SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 17 AND 18, BLOCK 32, DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 97 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

STRUCTURAL DESIGN CRITERIA

ONE STORY ENGINEERED UNIT MASONRY SINGLE FAMILY RESIDENCE
FLORIDA BUILDING CODE
GROUP (R3) BUILDING TYPE (V-8) UNPROTECTED

- 1) APPLICABLE CODES:
THE DESIGN COMPLIES WITH THE FLORIDA BUILDING CODE (F.B.C.) AND OTHER REFERENCED CODES AND SPECIFICATIONS.
A: 7TH EDITION FLORIDA BUILDING CODE (2020) BUILDING & RESIDENTIAL, INCLUDING HIGH VELOCITY WIND ZONE REQUIREMENTS OF CHAPTERS 3 & 4.
A: A.C.I. 318-11 REINFORCED CONCRETE
B: REINFORCED MASONRY BY FBC R407 & B2121 & ACI 530-11/ASCE & THE MASONRY DESIGNERS GUIDE BY A.C.I. T.M.S., A.S.C.E.
- 2) WIND LOAD CRITERIA: (ASCE 7-16)
BASIC WIND VELOCITY 170 MPH, ENCLOSED
WIND EXPOSURE "C"
RISK CATEGORY = II
Kd = 0.85
APPLICABLE INTERNAL PRESSURE COEFFICIENT: ± 0.18
MEAN ROOF HEIGHT ± 13'-3"
NET UPLIFTS SHOWN HEREIN ARE BASED ON (GROSS UPLIFT) PER ASCE COMPONENTS & CLADDING ZONES 1 AND 2.
ZONE 1 - 46.51 PSF
ZONE 2a - 64.58 PSF
ZONE 2b - 64.58 PSF
ZONE 3 - 64.58 PSF
END A-ZONE DISTANCE 3'-5"
- 3) WIND NET UPLIFT: ARE AS INDICATED ON PLANS
- 4) ROOF DESIGN LOADS:
SUPERIMPOSED DEAD LOAD TOP CHORD 25 PSF
SUPERIMPOSED DEAD LOAD BOTTOM CHORD 10 PSF LIVE
LOAD TOP CHORD 20 PSF
PANEL POINTS 200 LBS LIVE

SITE NOTES

1. SLOPES ARE NOT TO EXCEED 4:1
2. OWNER SHALL SUBMIT A FINAL (AS BUILT) SURVEY TO THIS OFFICE PRIOR TO FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF SEPTIC TANK, DRAINFIELD, WELLS, AND SERVICE LINES TO THE BUILDING.
3. BEST MANAGEMENT PRACTICES (BMP) WILL BE OBSERVED, AND A SURFACE WATER MANAGEMENT PLAN WILL BE IN EFFECT AT ALL TIMES DURING CONSTRUCTION.
4. ALL TREES WITHIN A 50 FT. RADIUS OF THE NEW BUILDING WILL BE PROTECTED WITH BARRIERS THROUGHOUT ALL PHASES OF THE CONSTRUCTION.
5. GATE LIGHTING MUST CONFORM TO OUTDOOR LIGHTING STANDARD (ARTICLE 95 OF THE ULC); NO GLARE ONTO ADJACENT PROPERTIES OR STREETS IS PERMITTED. ALL FIXTURES MUST BE FULL CUTOFF FIXTURES, OVERSPILL OF LIGHT CANNOT EXCEED .10 HORIZONTAL FOOT CANDLE AND ONLY 1800 MAX LUMENS IS ALLOWED.
6. REFER TO CIVIL ENGINEERING DRAWINGS FOR DRAINAGE INFORMATION.
7. LANDSCAPE SCREENING TO BE PROVIDED AROUND ALL A/C CHUMP, & POOL EQUIP. PADS.

SITE DATA

ZONING DISTRICT = R-1-A
MINIMUM FRONT YARD SETBACK = 25'-0"
MINIMUM SIDE YARD SETBACK = 7'-6"
MINIMUM REAR YARD SETBACK = 10'-0"
LOT SIZE = 4,501 SQ. FT. / 0.103 ACRES
FLOOD ZONE: X
PROPOSED A/C LIVING AREA: 1,362 SQ. FT.
PROPOSED GARAGE: 400 SQ. FT.
PROPOSED COVERED ENTRY AREA: 22 SQ. FT.
PROPOSED UNDER ROOF AREA: 1,784 SQ. FT.
PROPOSED DRIVEWAY/WALKWAY AREA: 457 SQ. FT.
PROPOSED A/C & IRRIG. PAD AREA: 32 SQ. FT.
PROPOSED IMPERVIOUS AREA: 2,273 SQ. FT.
(50.5% OF LOT)

Digitally signed
by Maurice Menasche

Date: 2022.03.15

10:24:56 -0400

TABLE OF DRAWINGS

A-1	SITE PLAN
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	ROOF FRAMING PLAN
A-5	ELEVATIONS
A-6	TYPICAL DETAILS
A-7	TYPICAL NOTES
A-8	TYPICAL DETAILS
M-1	MECHANICAL PLAN & LEGENDS
M-2	MECHANICAL DETAILS & NOTES
E-1	ELECTRICAL PLAN
E-2	ELECTRICAL RISER & NOTES
P-1	PLUMBING SANITARY & WATER DISTR.
P-2	PLUMBING ISOMETRICS



Maurice Menasche, P.A.
Architecture - Planning - Design
12555 Orange Drive, Suite 122
Davie, Florida 33331
Ph: (561) 474-8550 Fax: (561) 474-8559
www.MenascheArchitecture.com

REVISIONS

ALL SCALE, DIMENSIONS, AND PLANS
SHOWN HEREIN ARE THE PROPERTY OF THE ENGINEER
AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN
ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION
SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ENGINEER.
ANY REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER.
BACKSHEETS WILL NOT BE ACCEPTED.

A STUART & SHELBY
DEVELOPMENT, INC. PROJECT

SPEC RESIDENCE
FOUR BEDROOMS & TWO BATHS
342 SW 4TH AVENUE
DELRAY BEACH, FLORIDA 33448

STRUCTURAL ENGINEERING
SERVICES PROVIDED BY:
PROJECT CLASSIC LLC
5908 NW 77TH TERRACE
PARKLAND, FL 33487
(954) 697-7803
FARID ABUGATTAS, PE
FL PE #12471

TO THE BEST OF MY KNOWLEDGE, THE DESIGN
CONTAINED ON THIS DRAWING COMPLIES WITH
THE APPLICABLE MINIMUM BUILDING CODE IN
EFFECT AS OF DATE OF CERTIFICATION BELOW.

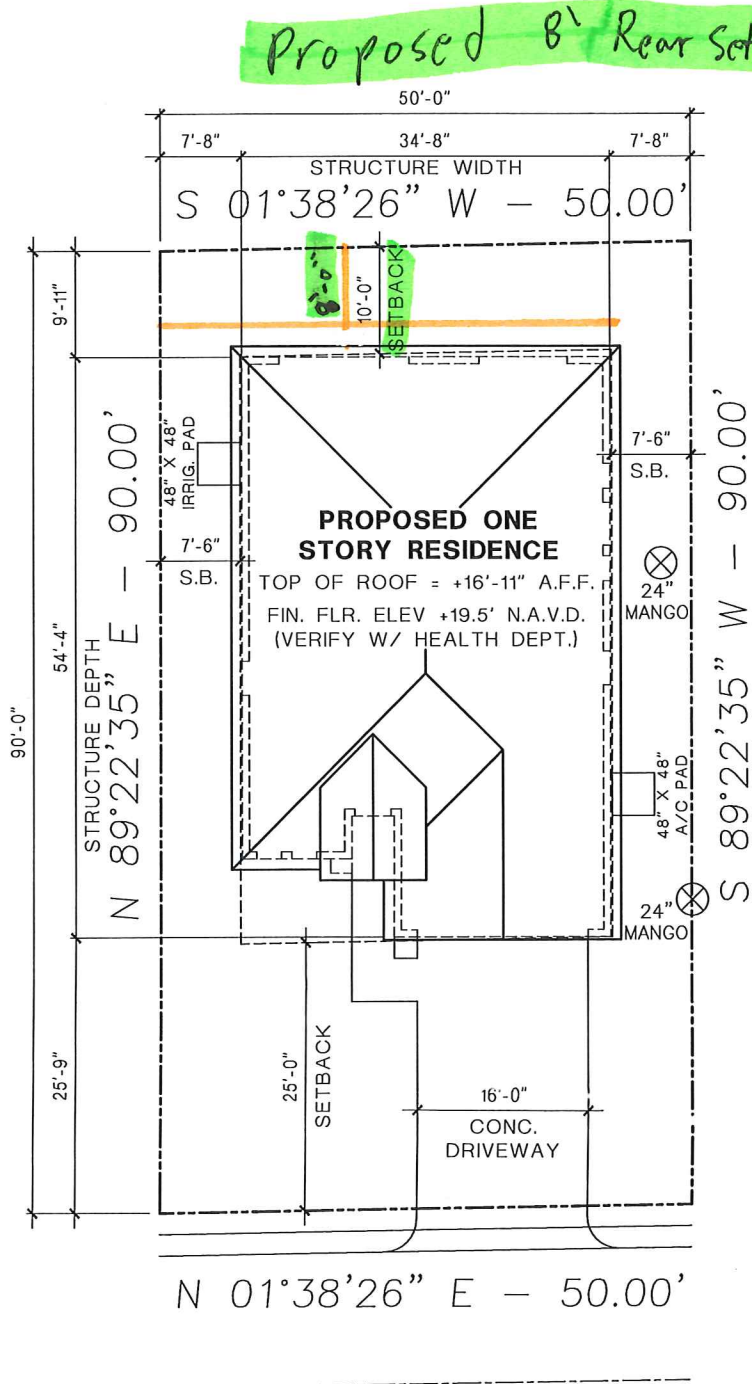
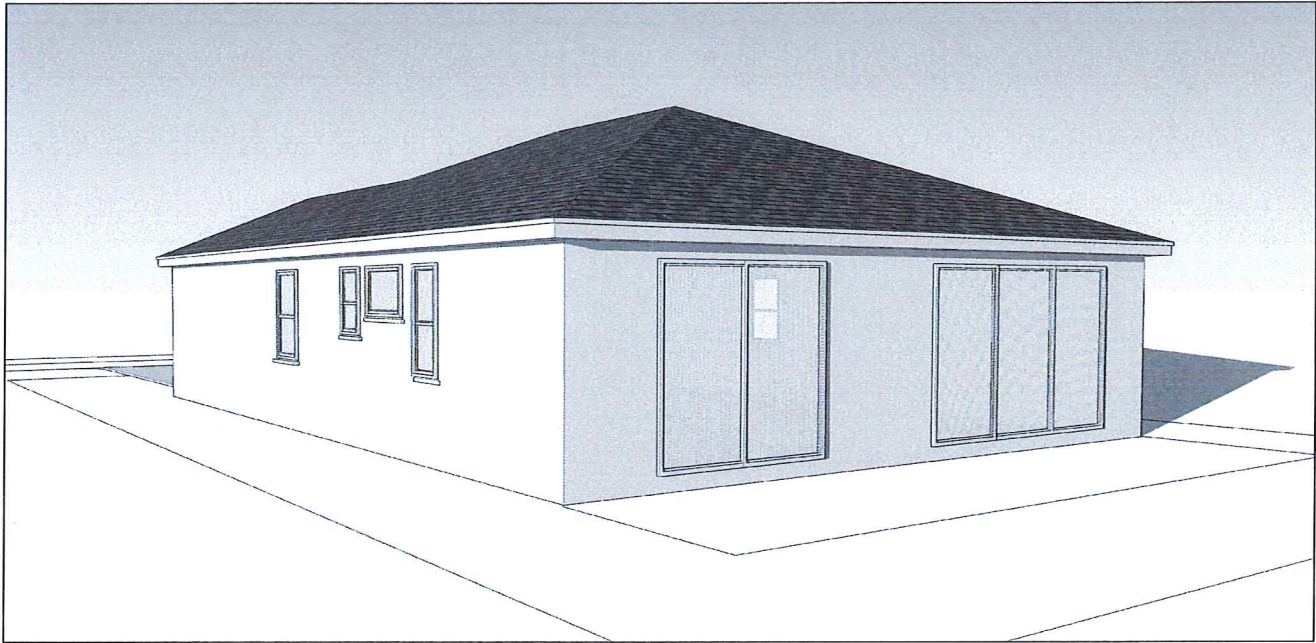
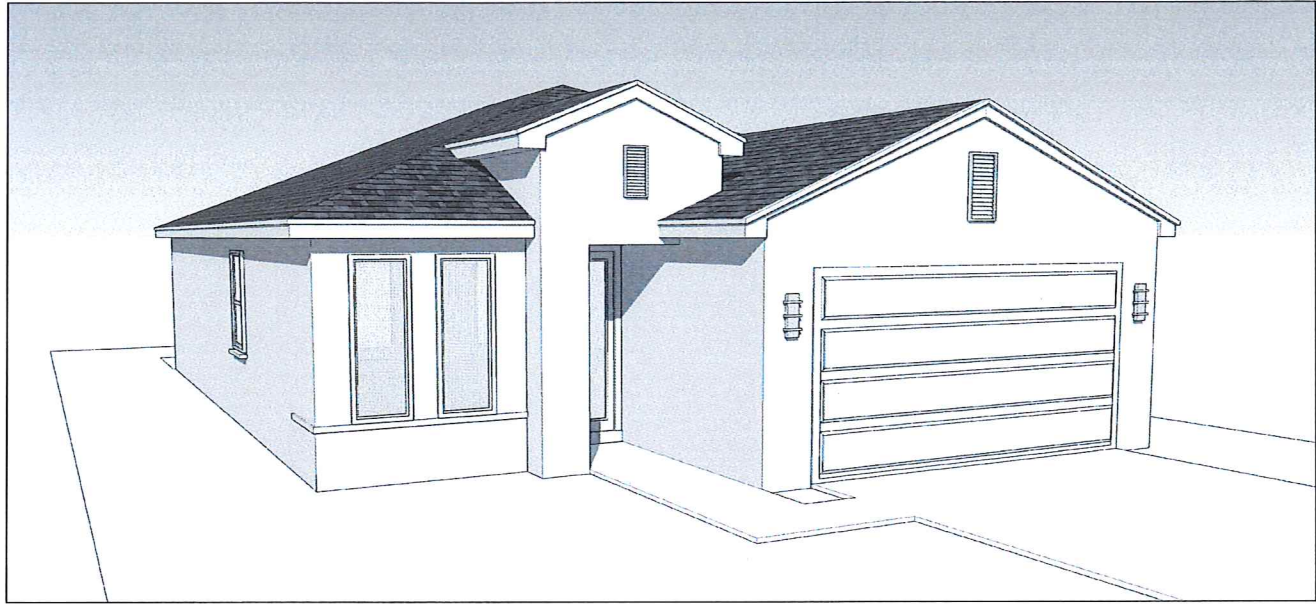


Maurice Menasche, AIA, LEED AP
P. REG. #16544

SHEET TITLE
SITE PLAN
DRAWN
MM
CHECKED
MM
DATE
3/15/22
SCALE
1/8" = 1'-0"
JOB. NO.
220309
SHEET

A-1

OF 14 SHEETS



 **SITE PLAN**
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 17 AND 18, BLOCK 32, DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 97 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

STRUCTURAL DESIGN CRITERIA

ONE STORY ENGINEERED UNIT MASONRY SINGLE FAMILY RESIDENCE

GROUP (R3) BUILDING TYPE (V-S) UNPROTECTED

1) APPLICABLE CODES:
THE DESIGN COMPLIES WITH THE FLORIDA BUILDING CODE (F.B.C.) AND OTHER REFERENCED CODES AND SPECIFICATIONS.
A. 17TH EDITION FLORIDA BUILDING CODE (2020) BUILDING & RESIDENTIAL, INCLUDING HIGH VELOCITY WIND ZONE REQUIREMENTS OF CHAPTERS 3 & 44.
B. A.C.I. 318-11 REINFORCED CONCRETE
C. REINFORCED MASONRY BY FBC R407 & B2121 & ACI 530-11/ASCE & THE MASONRY DESIGNERS GUIDE BY A.C.I. T.M.S., A.S.C.E.

2) WIND LOAD CRITERIA: (ASCE 7-16)
BASIC WIND VELOCITY 170 MPH, ENCLOSED
WIND EXPOSURE "C"
RISK CATEGORY = II
Kd = 0.85
APPLICABLE INTERNAL PRESSURE COEFFICIENT: ± 0.18
MEAN ROOF HEIGHT ± 13'-3"
NET UPLIFTS SHOWN HEREIN ARE BASED ON (GROSS UPLIFT) PER ASCE COMPONENTS & CLADDING ZONES 1 AND 2.
ZONE 1 - 45.51 PSF
ZONE 2 - 64.58 PSF
ZONE 2a - 64.58 PSF
ZONE 3 - 64.58 PSF
END A-ZONE DISTANCE 3'-5"
3) WIND NET UPLIFT: ARE AS INDICATED ON PLANS

4) ROOF DESIGN LOADS:
SUPERIMPOSED DEAD LOAD TOP CHORD 25 PSF
SUPERIMPOSED DEAD LOAD BOTTOM CHORD 10 PSF LIVE
LOAD TOP CHORD 20 PSF
PANEL POINTS 200 LBS LIVE

SITE NOTES

1. SLOPES ARE NOT TO EXCEED 4:1

2. OWNER SHALL SUBMIT A FINAL (AS BUILT) SURVEY TO THIS OFFICE PRIOR TO FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF SEPTIC TANK, DRAINFIELD, WELLS, AND SERVICE LINES TO THE BUILDING.

3. BEST MANAGEMENT PRACTICES (BMPs) WILL BE OBSERVED, AND A SURFACE WATER MANAGEMENT PLAN WILL BE IN EFFECT AT ALL TIMES DURING CONSTRUCTION.

4. ALL TREES WITHIN A 50 FT. RADIUS OF THE NEW BUILDING WILL BE PROTECTED WITH BARRIERS THROUGHOUT ALL PHASES OF THE CONSTRUCTION.

5. GATE LIGHTING MUST CONFORM TO OUTDOOR LIGHTING STANDARD (ARTICLE 95 OF THE UDOL) NO GLARE ONTO ADJACENT PROPERTIES OR STREETS IS PERMITTED. ALL FIXTURES MUST BE FULL CUTOFF FIXTURES, OVERSPILL OF LIGHT CANNOT EXCEED .10 HORIZONTAL FOOT CANDLE AND ONLY 1800 MAX LUMENS IS ALLOWED.

6. REFER TO CIVIL ENGINEERING DRAWINGS FOR DRAINAGE INFORMATION.

7. LANDSCAPE SCREENING TO BE PROVIDED AROUND ALL A/C COMP. & POOL EQUIP. PADS.

SITE DATA

ZONING DISTRICT = R-1-A
MINIMUM FRONT YARD SETBACK = 25'-0"
MINIMUM SIDE YARD SETBACK = 7'-5"
MINIMUM REAR YARD SETBACK = 10'-0"

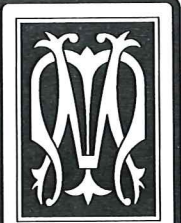
LOT SIZE = 4,501 SQ. FT. / 0.103 ACRES
FLOOD ZONE: X

PROPOSED A/C LIVING AREA: 1,362 SQ. FT.
PROPOSED GARAGE: 400 SQ. FT.
PROPOSED COVERED ENTRY AREA: 22 SQ. FT.
PROPOSED UNDER ROOF AREA: 1,784 SQ. FT.

PROPOSED DRIVEWAY/WALKWAY AREA: 457 SQ. FT.
PROPOSED A/C & IRRIG. PAD AREA: 32 SQ. FT.
PROPOSED IMPERVIOUS AREA: 2,273 SQ. FT. (50.5% OF LOT)

TABLE OF DRAWINGS

A-1	SITE PLAN
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	ROOF FRAMING PLAN
A-5	ELEVATIONS
A-6	TYPICAL DETAILS
A-7	TYPICAL NOTES
A-8	TYPICAL DETAILS
M-1	MECHANICAL PLAN & LEGENDS
M-2	MECHANICAL DETAILS & NOTES
E-1	ELECTRICAL PLAN
E-2	ELECTRICAL RISER & NOTES
P-1	PLUMBING SANITARY & WATER DISTR.
P-2	PLUMBING ISOMETRICS


Maurice Menasche, P.A.
Architect - Planning - Design
FL REG. #A00014891
12555 Orange Drive, Suite 122
Davie, Florida 33330
Ph: (954) 474-8550 Fax: (954) 474-8559
www.MenascheArchitecture.com

REVISIONS

ALL SCALE, DIMENSIONS, AND PLANS SHALL BE BASED ON THE INFORMATION PROVIDED BY THE OWNER AND THE DESIGNER. THE DESIGNER SHALL VERIFY AND BE RESPONSIBLE FOR ALL INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

A STUART & SHELBY DEVELOPMENT, INC. PROJECT

SPEC RESIDENCE
FOUR BEDROOMS & TWO BATHS
342 SW 4TH AVENUE
DELRAY BEACH, FLORIDA 33448

STRUCTURAL ENGINEERING SERVICES PROVIDED BY:
PROJECT CLASSIC LLC
5988 NW 77TH TERRACE
PARKLAND, FL 33467
(954) 667-7803
FARID ABUGATTAS, PE
FL PE #72471

TO THE BEST OF MY KNOWLEDGE, THE DESIGNER HAS COMPLIED WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE AND THE FLORIDA MASONRY CODE. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.


Maurice Menasche, P.E., LEED AP
FL REG. #A00014891

SHEET TITLE
SITE PLAN
DRAWN
MM
CHECKED
MM
DATE
3/15/22
SCALE
1/8" = 1'-0"
JOB. NO.
220309
SHEET
A-1
OF 14 SHEETS