

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: October 28, 2015

ITEM: Retail Building – Class V Site Plan, Landscape Plan and Architectural Elevations associated with construction of a new retail shopping center with parking and landscaping.

GENERAL DATA:

Applicant/Owner..... PAAP, LLC

Agent..... Kravit Architectural Assoc., Inc.

Address..... 600 SE 5th Avenue

Location..... On the west side of SE 5th Ave.,
between SE 6th St. and SE 7th St.

Property Size..... 1.273 acres

Current FLUM..... GC (General Commercial)

Proposed FLUM..... No Change

Current Zoning..... GC (General Commercial)

Proposed Zoning..... No Change

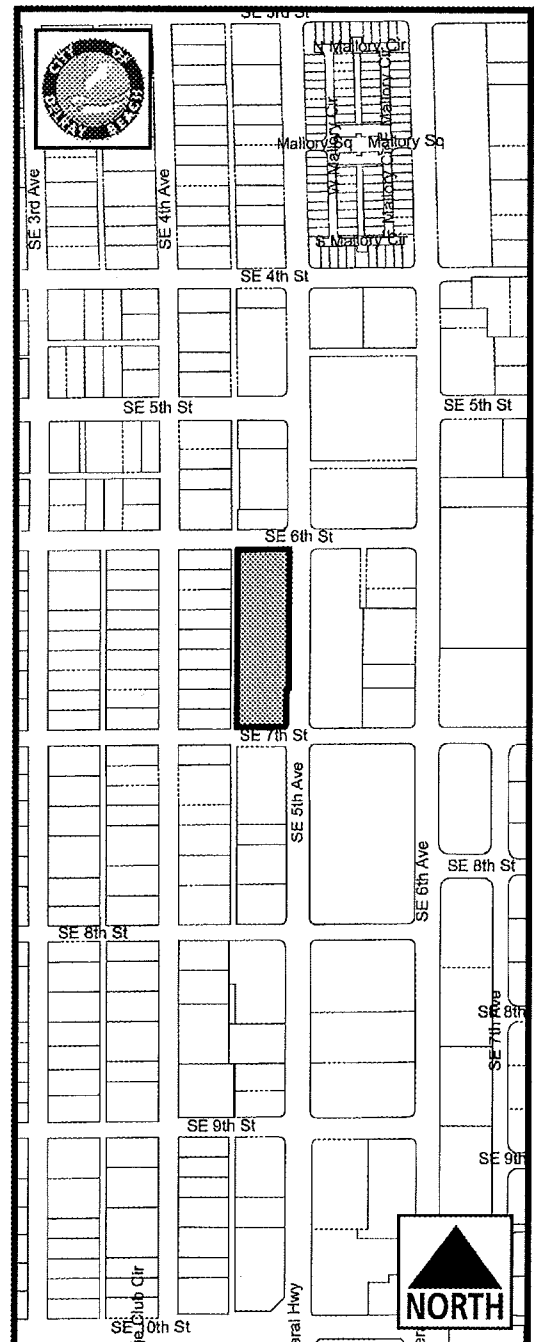
Adjacent Zoning.....North: GC (General Commercial)
East: GC (General Commercial)
South: GC (General Commercial)
West: R-1-A (Single Family Residential)

Existing Land Use..... Automotive Sales and Services

Proposed Land Use..... Retail Shopping Center

Water Service..... Connection available via an
existing 12" water main along
SE 5th Ave.

Sewer Service..... Connection available via an
existing 8" sewer main along
the rear alleyway



ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class V Site Plan request for **Retail Building**, pursuant to Land Development Regulations (LDR) Section 2.4.5(F):

- ☐ Site Plan;
- ☐ Landscape Plan; and,
- ☐ Architectural Elevations

The site is located on the west side of SE 5th Avenue, between SE 6th Street and SE 7th Street.

BACKGROUND ANALYSIS

The subject property was previously occupied by U-Haul, Hertz Rental Car and an automotive sales and repair facility. The site currently contains an existing 5,310 sq. ft. one-story building built in 1972. It consists of 1.273 acres on lots 19 through 27 of the Osceola Park Subdivision.

In October 1990, the property was rezoned from SC (Specialized Commercial) to GC (General Commercial) as part of the Citywide rezoning action associated with the adoption of the Land Development Regulations.

On February 11, 1992, the City Commission approved a privately initiated rezoning request to change the designation of the property from GC (General Commercial) to AC (Automotive Commercial) to accommodate the most recently vacated uses.

On October 20, 2014, the Planning and Zoning Board recommended approval to the City Commission to rezone the site from AC (Automotive Commercial) to GC (General Commercial).

On January 6, 2015, the City Commission adopted Ordinance No. 36-14 which rezoned the subject property from AC (Automotive Commercial) to GC (General Commercial).

Now before the Board for consideration is of a Class V Site Plan proposal to demolish the existing site and construct a retail shopping center with associated parking and landscaping.

PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Demolition of the existing site and infrastructure
- ☐ Construction of a 5,272 sq. ft. retail building containing five tenant bays to the north
- ☐ Construction of a 6,332 sq. ft. retail building containing six tenant bays to the south
- ☐ Construction of a sixty-one space parking lot
- ☐ Provision of bicycle racks serving each retail building
- ☐ Provision of handicap parking spaces serving each retail building
- ☐ Provision of a loading space serving the northernmost retail building

- ☐ Provision of a dumpster enclosure serving each retail building
- ☐ Provision of a vehicular access point along three separate rights-of-way
- ☐ Provision of pedestrian pathway connectors along South Federal Highway (US1)
- ☐ Provision of a six foot site wall along the rear alley
- ☐ Provision of a new concrete sidewalk along SE 6th Street
- ☐ Provision of a sidewalk connector along the rear of the buildings
- ☐ Installation of associated landscaping

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix – Nonresidential Zoning Districts:

The following table indicates that the retail buildings comply with LDR Section 4.3.4(K) as it pertains to the General Commercial (GC) zoning district:

		Standard	Provided
Building Height		48'	31'3"
Building Setbacks	Front (US1)	10'	60'4"
	Rear (Alley)	10'	10'2"
	Side Street (SE 6 th St.)	10'	75'6"
	Side Street (SE 7 th St.)	10'	74'7"
Open Space		25%	25%

LDR Article 4.6 – Supplemental District Regulations:

Lighting:

Site lighting limited to a maximum height of 25' must be provided on-site and be consistent with the illumination level requirements included in Section 4.6.8. Based upon the photometric plan included with the submittal, all of the proposed lighting fixtures will meet the 25' maximum height. The proposed photometric plan is consistent with the Illumination Levels and Uniformity criteria listed in LDR Section 4.6.8. These criteria require a maximum footcandle level of 12.0 and a minimum footcandle level of 1.0 for the entire site. The photometric plan submitted has a maximum footcandle level of 9.3 and a minimum footcandle level of 1.0 throughout the site. A north arrow should be included on the photometric plan. This is a condition of approval.

On-site Parking:

Pursuant to LDR Section 4.6.9(C)(3)(a), general commercial uses shall provide 4.5 parking spaces per 1,000 square feet of gross floor area which includes retail floor area. Thus, the

proposed 11,604 square feet of gross floor area within the two retail buildings shall require 52 parking spaces and 61 parking spaces have been proposed on-site. Therefore, this standard is met with a surplus of 9 spaces.

On-Street Parking:

For the Retail Building site, seven on-street parking spaces are proposed to be constructed by FDOT. Although these spaces will remain available to the general public, they will also help to meet the short-term parking requirements of future patrons of the project.

Pursuant to LDR Section 4.6.9(E)(2)(a), the following regulations apply to on-street parking:

- (2) Required off-street parking shall be provided on the same lot, or parcel, as the building and uses for which it is required. Where adequate right-of-way exists, construction of additional on-street parking spaces directly and wholly abutting the lot, or parcel, may be counted towards the off-street parking requirement of the lot or parcel it is intended to serve, provided that:

- (a) The adjacent right-of-way has not been previously utilized for parking or, in cases where the adjacent right-of-way has been used for parking only those spaces in addition to the number of existing spaces shall be counted.

Due the preexistence of these on-street parking areas, no parking credit is allowed per this provision of the Code.

Bicycle Parking:

LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan recommend that a bicycle parking facility be provided. Two bicycle parking locations are proposed. Bicycle racks will serve both retail buildings. Thus, this requirement has been met.

Compact Parking:

Pursuant to LDR Section 4.6.9(C)(1)(g), up to thirty percent (30%) of the required parking for any use may be designated for compact cars. The development proposal includes 52 required spaces. Fifteen compact parking spaces and thirty-seven standard spaces will meet this standard. Since 38 standard spaces are provided, excess compact spaces are allowed. The applicant has utilized 30% (i.e. 15 spaces) of the required parking as compact spaces. In addition, 5 of the surplus spaces are compact spaces. Thus, this standard is met.

Handicap Accessible Parking:

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction. Pursuant to the Florida Accessibility Code for Building Construction (Table 208.2), when 51 to 75 parking spaces are provided (not required), at least 3 parking spaces serving the development must be handicap accessible. The site proposes three ADA compliant handicap parking spaces. Thus, accessibility requirements have been met.

Stacking Distance:

Pursuant to LDR Section 4.6.9(D)(3)(c)(1), provisions must be made for stacking and transitioning of incoming traffic from a public street, such that traffic may not backup into the

public street system. The minimum distance between a right-of-way and first parking space or aisle way in a parking lot that contains 51 or more spaces is twenty feet for parking lots with two or more access points. The site proposed 3 access points, so a 20 foot stacking distance is allowed. Along SE 7th Street, a minimum 20'9" stacking distance is proposed. At SE 6th Street a minimum 21'8" stacking distance is proposed. For US1, a minimum 10' stacking distance is proposed. However, a deceleration lane of 105' will alleviate any stacking concerns. Thus, this standard is met.

Perimeter Landscape Buffers:

Pursuant to LDR Section 4.4.9(H)(1), the first ten feet (10') adjacent to a right-of-way shall be landscaped area. Within the required landscape area, no paving shall be allowed except for driveways and walkways which shall be generally perpendicular to the property line. This required buffer has been provided along South Federal Highway. Thus, this criteria has been met.

Sidewalks:

Pursuant to LDR Section 6.1.3(B), a five foot (5') wide sidewalk is required to be constructed within and adjacent to the street right-of-way. A minimum 5' sidewalk presently exists adjacent to the SE 7th Street and SE 5th Avenue rights-of-way. No sidewalk currently exists along SE 6th Street. The applicant proposes to construct a minimum 5' sidewalk along SE 6th Street to meet this standard. Thus, with the proposed improvements, this requirement will be met.

Right-of-way Dedications:

Pursuant to LDR Section 5.3.1(D)(2), a local residential street without curb and gutter is required sixty feet (60') of right-of-way. However, a local residential street with curb and gutter is required fifty feet (50') of right-of-way. SE 6th and 7th Streets are both local residential streets which currently provide 50' of right-of-way with curb and gutter. Thus, no dedication is required.

Pursuant to Table T-1 of the Comprehensive Plan, along US1 (South Federal Highway) from SE 10th Street to approximately Bond Way, 60' of right-of-way is required on the northbound (SE 6th Avenue) and southbound (SE 5th Avenue) sides. As 60' of right-of-way exists, no dedication is required.

Pursuant to LDR Section 5.3.1(D)(2), the required width of an alley is 20' or the existing dominant width. Further, pursuant to LDR Section 5.3.1(D)(3), additional right-of-way width may be required to promote public safety and to ensure adequate access, circulation and parking in high intensity use areas. The rear alley right-of-way width is sixteen feet (16'). The applicant will provide an additional four feet (4') in the form of a right-of-way dedication along the east side of the alleyway and this has been depicted on the site plan. The 4' r-o-w dedication shall be executed by deed agreement between the City of Delray Beach and the land owner, and thus, this is being attached as a condition of site plan approval.

Refuse Disposal:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way. The applicant proposes two dumpster enclosures visible from the adjacent rights-of-way. Both enclosures will be enclosed on three (3) sides with vision obscuring gates on the 4th side. Thus, this standard is met.

Undergrounding of Utilities:

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. A note to this effect must be placed on the site plan, and this is a condition of approval.

Engineering Technical Items: While revised plans have accommodated most of staff's concerns, the items attached in Appendix "A" remain outstanding and will need to be addressed prior to site plan certification.

LANDSCAPE PLAN ANALYSIS

Pursuant to LDR section 4.6.16 (C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A landscape plan has been submitted and evaluated by the City Senior Landscape Planner. The following technical items remain outstanding:

1. Per LDR 4.6.16(H)(4), all buildings shall have foundation trees spaced so that their canopies will be touching at maturity. Size specifications are to adhere to the chart listed within this regulation. The revised plan does show the required foundation trees, however, I am concerned that the two foot (2') landscape strip will not be large enough to accommodate the root ball of the proposed Montgomery Palms. You will likely need an additional two feet (2') to accommodate the root balls of the palms. A 4' x 4' tree pit should be sufficient. To maintain the sidewalk width, a porous ADA compliant surface can be applied to the tree well. The City has used a product called Flexipave and Add-a-Pave in the tree wells along Atlantic Avenue and Federal Highway in the downtown area. This product would work very well here. Show a detail on plans.
2. Show the caliper dimension in the chart on sheet TD-1 in inches for each tree. Some of the caliper measurements on this sheet are not accurate. More specifically, tree #'s 15, 87, 142 and 146 seem to be incorrect. Revise caliper measurements so that they accurately reflect the true DBH and make sure the units are in inches, not feet. Revise mitigation chart as well.

Based upon the aforementioned landscaping elements, the proposed development can be found in compliance with applicable requirements of LDR section 4.6.16, once these items have been addressed. This is a condition of landscape plan approval.

ARCHITECTURAL ELEVATIONS ANALYSIS

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The architectural elements for both proposed retail buildings include a "Dark Bronze" standing seam metal roof, "Silver Metallic" cantilevered entrance canopies, "Bronze" aluminum Bahama shutters, and "Silver Metallic" aluminum trim around the doors and windows. The façade will consist of Boral cultured brick referred to as "Rustic Manor" and "Moroccan Sand" colors. "Dover White" stucco walls breaks up the brick façade above the entrance canopies. White stucco banding is proposed between the alternating brick colors. The windows and doors will be impact resistant glass with light satin finish.

Specifically, the front facades have been broken up with material and height changes and differing entrance canopies to provide a variegated look. Stucco alternates with brick, traditional Bahama shutters alternate with sleek cantilevered aluminum canopies. Two colors of brick will alternate in horizontal banding around the buildings. Dark bronze and silver metallic finishes are utilized throughout the storefronts.

While the colors and materials are noted, the actual manufacture codes for the proposed building colors and elements have been omitted. As such, the color chips and material samples shall be updated to include the manufacture code for all feature elements. Also, on the rear (west) elevation the brick pattern has been inadvertently omitted on the lower façade banding for the "Rustic Manor" color. This shall be modified for consistency and to avoid confusion with potential stucco banding. These items are staff recommended conditions of approval.

All proposed architectural elevations will be compatible and harmonious with the surrounding properties and an enhancement to the area. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E), subject to conditions.

REQUIRED FINDINGS

Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a zoning designation of General Commercial (GC) and a General Commercial (GC) Future Land Use Map designation. General retail uses are allowed pursuant to LDR Section 4.4.9(B)(1). Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map (FLUM) designation.

LDR Section 3.1.1(B) - Concurrency:

As described in Appendix “B”, a positive finding of Concurrency can be made as it relates to water and sewer, drainage, parks and recreation, open space, solid waste, and schools. However, a revised traffic study is required for a review of concurrency with streets and traffic. This is a condition of approval.

LDR Section 3.1.1(C) - Consistency:

As described in Appendix “C”, a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions.

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDR can be made when all outstanding items attached as conditions of approval are addressed.

Required Findings:

Pursuant to LDR Section 2.4.5(F) (5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning Districts</i>	<i>Adjacent Land Uses</i>
<i>North</i>	General Commercial (GC)	Offices
<i>South</i>	General Commercial (GC)	Car Wash
<i>East</i>	General Commercial (GC)	Vacant
<i>West</i>	Single Family Residential (R-1-A)	Single Family Residences

The proposed Retail Building will provide a viable resource to the existing infrastructure of the South Federal Highway Corridor. With existing establishments that vary to the north, south, east and west of the site, it will be compatible with its surrounding land uses. Future establishment of a retail shopping center at this location will potentially increase property values of adjacent properties. Further, the development of the property will benefit not only the nearby community, but the City as a whole. The single family residences to the west are buffered by the adjacent alleyway and will not suffer any negative effects from the proposed Retail Building development. Similarly, the applicant is proposing to construct a six foot wall to further reduce the impact to the adjacent residential zoning district. The retail use will be compatible with the offices to the north and car wash to the south and will provide a new shopping opportunity in the vicinity for adjacent employees and residents. Future development of the vacant property to the east will also be a commercial use which is compatible to the proposed retail use. Based upon the above, a positive finding can be made with regard to LDR Section 2.4.5(F) (5) that the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole.

Comprehensive Plan Policies:

A review of the adopted Comprehensive Plan was conducted and the following applicable objectives and policies are noted:

Future Land Use Element Objective A-1: *Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.*

The proposed retail shopping center will be a physical and aesthetic improvement to the existing vacated site. The proposed landscaping and building architecture will also add an aesthetic value to the site that is presently nonexistent. As a result, there will be significant physical and environmental improvements to the land. The adjacent land uses (i.e. single family residential, car wash and offices) will likely be able to benefit from the activity resulting from the future retail shopping center. The proposed Retail Building is deemed a compatible and appropriate use for this site. Based upon the above, no incompatibility issues exist between the proposed retail store and bank and the surrounding land uses, therefore a positive finding can be made with regard to Future Land Use Element Objective A-1.

Transportation Element Policy D-1.1: *All new development and redevelopment shall provide for the installation of sidewalks or otherwise accommodate pedestrian traffic so that a pedestrian does not have to use vehicular travelways to access common areas or neighboring properties.*

The development proposal has provided for construction of a minimum five foot sidewalk along SE 6th Street. Pedestrians will also have access to the existing sidewalks along SE 7th Street and South Federal Highway (US1). Based upon the above, positive findings can be made with regard to Transportation Element Policy D-1.1.

Transportation Element Objective A-6: **The City's Land Development Regulations shall continue to provide standards which insure that new development and redevelopment mitigate adverse situations and/or provide for functionally safe traffic movements.**

Transportation Element Policy A-6.1: The Land Development Regulations shall maintain consistent standards for, but not limited to, the following:

- ☐ Location and design of driveway access and on-site circulation;
- The location of the loading area only serving the northernmost building is not a functionally realistic site design. Only pedestrian access is provided for the southernmost building for loading with the provision of the 4' wide sidewalk extending along the rear of the building. Deliverers will have to walk between 200' – 300' to serve these future six tenant bays. Realistically, the vehicles will park in the 7 space parking row north of the southernmost building and jump the 2' grass island to deliver to the southernmost building. Staff recommends providing a single loading area running north and south between the two retail buildings to serve both buildings simultaneously. With 79'7" of pavement, this is potentially feasible and will only require relocation or loss of 4-6 parking spaces, still leaving a parking surplus of 3-5 spaces. As a condition of approval, staff recommends potential redesign of the parking lot in between the two buildings to accommodate convenient vehicular access to a minimum 12' x 30' loading area serving both buildings, while maintaining the minimum parking requirement for the site.

- ☐ Width and location of curb cuts;
- ☐ Width and location of median openings;
- ☐ Radii of curves and criteria for locations where driveways or private streets may intersect on curves;
- ☐ Width and conditions of shoulders;
- ☐ Street lighting standards, particularly at intersections;
- ☐ Traffic impact analysis;
- ☐ Cross-access standards.

Transportation Element Policy A-6.1 would be better served if the location of the loading space served both buildings and provided convenient vehicular access to a minimum 12' x 30' loading area to the southernmost retail building. Currently, only pedestrian access is currently provided for the six retail tenant bays requiring the delivers to walk 200'-300' to the southernmost building. Staff recommends redesign of the parking lot in between the two retail buildings to address this issue and maintain the minimum parking requirement for the site. Currently, there is a nine space parking surplus. While the proposed loading area providing vehicular access to only the northernmost building is not a preferred design, there is no provision in the Land Development Regulations or Comprehensive Plan that prohibits such a design. Therefore, approval of this aspect of the proposed design is at the Board's discretion.

REVIEW BY OTHERS

The development proposal is not located in an area which requires review by the Downtown Development Authority (DDA), Pineapple Grove Main Street (PGMS) or West Atlantic Redevelopment Coalition (WARC).

Community Redevelopment Agency (CRA):

At its meeting of May 28, 2015, the CRA reviewed the proposed site plan for Retail Building and unanimously recommended approval.

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- ☐ Delray Citizen's Coalition
- ☐ Osceola Park
- ☐ Barton Apartment
- ☐ Mallory Square
- ☐ Churchill

Formal public notice is not required for site plan applications. Letters of objection and/or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

ASSESSMENT AND CONCLUSION

The development proposal is to construct a 11,064 sq. ft. retail shopping center within one phase. Whereas 52 parking spaces are required, the applicant proposes 61 parking spaces. Thus, there will be a 9 space parking surplus. Additionally, FDOT will construct 7 spaces adjacent to the property frontage along US1. While the applicant cannot take credit for these spaces, they will be available to the public and potential future patrons to the retail shopping center. One loading space is provided that primarily serves the northernmost building. Only pedestrian access is provided for delivery to the southernmost building. Given the 200' – 300' walking distance, staff recommends relocating the loading area to the 79'7" paved area situated between the two buildings and shifting, relocating or removing parking accordingly. Traffic concurrency is outdated and a new traffic study is required for the proposed development. A concurrency determination for the current proposal from the Palm Beach County Traffic Division is required prior to site plan certification. The color palette for the architectural elevations is absent manufacturer color codes and brick pattern details on the rear (west) elevation for Building A. This shall be provided prior to site plan certification. There are no incompatibility issues with the proposed use of the subject property and the surrounding land uses. The adjacent alleyway serves as physical buffer between the single family residences to the west. Similarly, the applicant is proposing a 6' high wall along the alley to further reduce any potential negative impacts. The proposed development will be consistent with required findings under Chapter Three and Section 2.4.5(F)(5) of the Land Development Regulations, as well as, the Objectives and Policies of the Comprehensive Plan, provided that the conditions of approval relative to the site plan, landscape plan and architectural elevations provided herein are addressed.

ALTERNATIVE ACTIONS

- A. Move **postponement** of the Class V Site Plan, Landscape Plan and Architectural Elevations for Retail Building, by electing to continue with direction.
- B. Move **approval** of the Class V Site Plan, Landscape Plan and Architectural Elevations for Retail Building, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Sections 2.4.5(F)(5) and Chapter Three of the Land Development Regulations, subject to the attached conditions of approval.
- C. Move **denial** of the Class V Site Plan, Landscape Plan and Architectural Elevations for Retail Building, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Sections 2.4.5(F)(5) and Chapter Three of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move approval of the Class V Site Plan for **Retail Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Section 2.4.5(F)(5) and Chapter Three of the Land Development Regulations subject to the following conditions:

1. Address the outstanding preliminary engineering technical items in "Appendix A", prior to site plan certification.
2. Relocate the foundation plantings adjacent to the base of the future retail buildings, as opposed to abutting the west end of the parking lot rows in front of the future retail buildings. This shall be reflected in revised plans prior to site plan certification.
3. Provide a note on the plans indicating that all utilities shall be placed underground. This shall be reflected in revised plans prior to site plan certification.
4. The 4' alley r-o-w dedication shall be executed by deed agreement between the City of Delray Beach and the land owner, prior to site plan certification.
5. Provide convenient vehicular access to a minimum 12' x 30' loading area serving the southernmost retail building. Only pedestrian access is currently provided for these six retail tenant bays. This shall be reflected in revised plans prior to site plan certification.
6. Provide a revised traffic study for the proposed 11,064 sq. ft. of retail uses. A redetermination letter from the Palm Beach County traffic division is required. The current traffic study and concurrency determination is based upon 20,000 sq. ft. of retail and 20,000 sq. ft. of medical office uses and is not relevant to the current proposal. This is required prior to site plan certification.

Landscape Plan:

Move approval of the landscape plan for **Retail Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with Section 4.6.16 of the Land Development Regulations, subject to the following conditions:

1. Per LDR 4.6.16(H)(4), all buildings shall have foundation trees spaced so that their canopies will be touching at maturity. Size specifications are to adhere to the chart listed within this regulation. The revised plan does show the required foundation trees, however, I am concerned that the two foot (2') landscape strip will not be large enough to accommodate the root ball of the proposed Montgomery Palms. You will likely need an additional two feet (2') to accommodate the root balls of the palms. A 4' x 4' tree pit should be sufficient. To maintain the sidewalk width, a porous ADA compliant surface can be applied to the tree well. The City has used a product called Flexipave and Add-a-Pave in the tree wells along Atlantic Avenue and Federal Highway in the downtown area. This product would work very well here. Show a detail on plans.

2. Show the caliper dimension in the chart on sheet TD-1 in inches for each tree. Some of the caliper measurements on this sheet are not accurate. More specifically, tree #'s 15, 87, 142 and 146 seem to be incorrect. Revise caliper measurements so that they accurately reflect the true DBH and make sure the units are in inches, not feet. Revise mitigation chart as well.

Architectural Elevations:

Move approval of the architectural elevations for **Retail Building**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations, subject to the following conditions:

1. While the colors and materials are noted, the actual manufacture codes for the proposed building colors and elements have been omitted. As such, the color chips and material samples shall be updated to include the manufacture code for all feature elements. This shall be reflected in revised plans prior to site plan certification.
2. On the rear (west) elevation for "Building A", the brick pattern has been inadvertently omitted on the lower façade banding for the "Rustic Manor" color. This shall be modified to for consistency and to avoid confusion with potential stucco banding. This shall be reflected in revised plans prior to site plan certification.

APPENDIX "A"
PRELIMINARY ENGINEERING TECHNICAL ITEMS

1. **Provide a response letter with a detailed description of how each of these comments has been addressed and reference plans sheet number for accurate review.**
2. Provide copy of certified boundary and topographic survey meeting requirements of LDR Section 2.4.3 (A), (B) and (D). Existing grades should be taken at least 10-feet outside all subject property lines for all adjacent properties per LDR Section 2.4.3 (B) (20). Survey shall provide sufficient information to determine historical drainage pattern. Survey shall include all existing easements.
3. Please coordinate location of all existing and proposed easements on Plat, Site, Civil, Landscape and Composite Utility Plans. Existing and proposed easement locations and labeling needs to be consistent on all plans. Will be check upon plat submittal.
4. Florida Department of Transportation (FDOT) permit(s) may be required for this project per LDR Section 2.4.2 (C) (2) (c). Since sidewalk connections are new, please confirm with FDOT if a permit is required and provide copy of correspondence, email is acceptable.
5. For fire suppression off of SE 6th Street, relocate so there are no bends prior to DCDA, as the City maintains up to first check valve, bends can occur on customer side.
6. Existing sewer main in alley may need to be upgraded in accordance with LDR Section 5.3.3 (E). The Utilities Department will TV line by first week of July 2015 to determine status and upgrade requirement. Also, we typically require that sewer laterals are removed and capped at main, if existing can be used this is preferred.
7. Provide a Composite Utility Plan signed by a representative of each utility provider in accordance with LDR Section 2.4.3 (F) (4).
8. Since there is an existing bus shelter, a contribution for the bus shelter program will be required prior to Building permit issuance in accordance with LDR Section 2.4.3 (D) (7).
9. **Please Resubmit Through The Planning and Zoning Department; and Clearly Indicate Which Documents Are For The Engineering Division. Also, Ensure A Complete Set Of Plans Is Provided For The Engineering Division.**
10. Additional comments may follow after review of revised plans.

APPENDIX "B" CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Connection available via an existing 12" water main along SE 5th Avenue
- Connection available via an existing 8" sewer main along the rear alleyway

Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

Streets and Traffic:

A traffic study has been provided for the development proposal indicating that proposed uses are 20,000 sq. ft. of retail and 20,000 sq. ft. of medical office use. Accordingly, the Palm Beach County Traffic Division provided a concurrency determination indicating it meet traffic concurrency standards. However, since this use is inconsistent with the current proposal a new traffic study and concurrency determination is required. Thus, as a condition of approval, confirmation of traffic concurrency is required prior to site plan certification for the proposed 11,064 sq. ft. of retail uses.

Parks and Recreation Facilities:

Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste:

The prior automotive sales and service uses (5,310 sq. ft.) generated 24.42 tons of solid waste per year. The proposed retail use (11,064 sq. ft.) will generate 56.42 tons of solid waste per year. Thus, the development proposal will result in a 32 ton net increase in solid waste generated annually. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2048.

Schools:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have any impacts with respect to this standard.

Drainage:

Drainage will be accommodated on-site via an exfiltration trench system. There should be no impact on drainage as it relates to this standard.

APPENDIX "C"
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

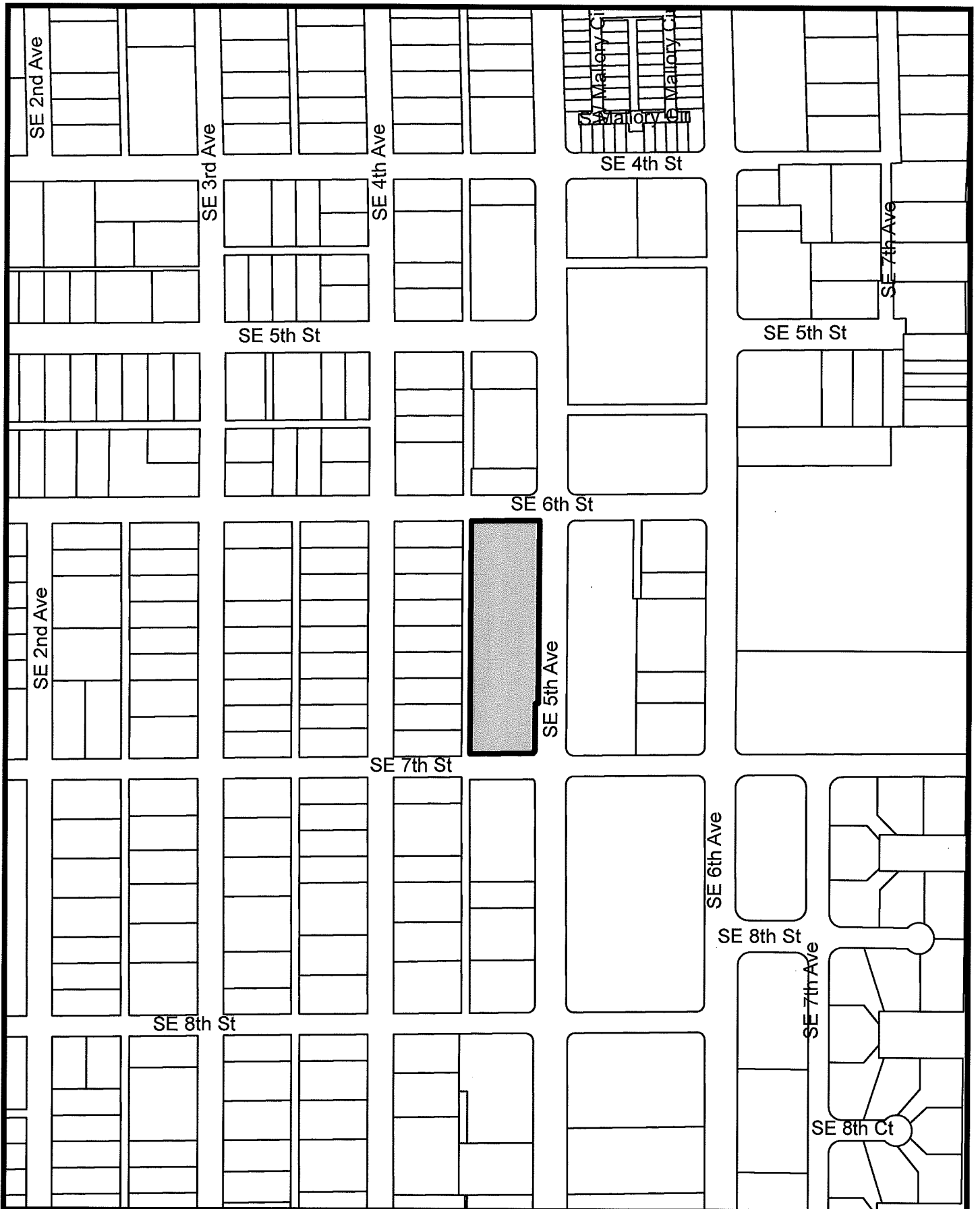
Not applicable _____
Meets intent of standard X
Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

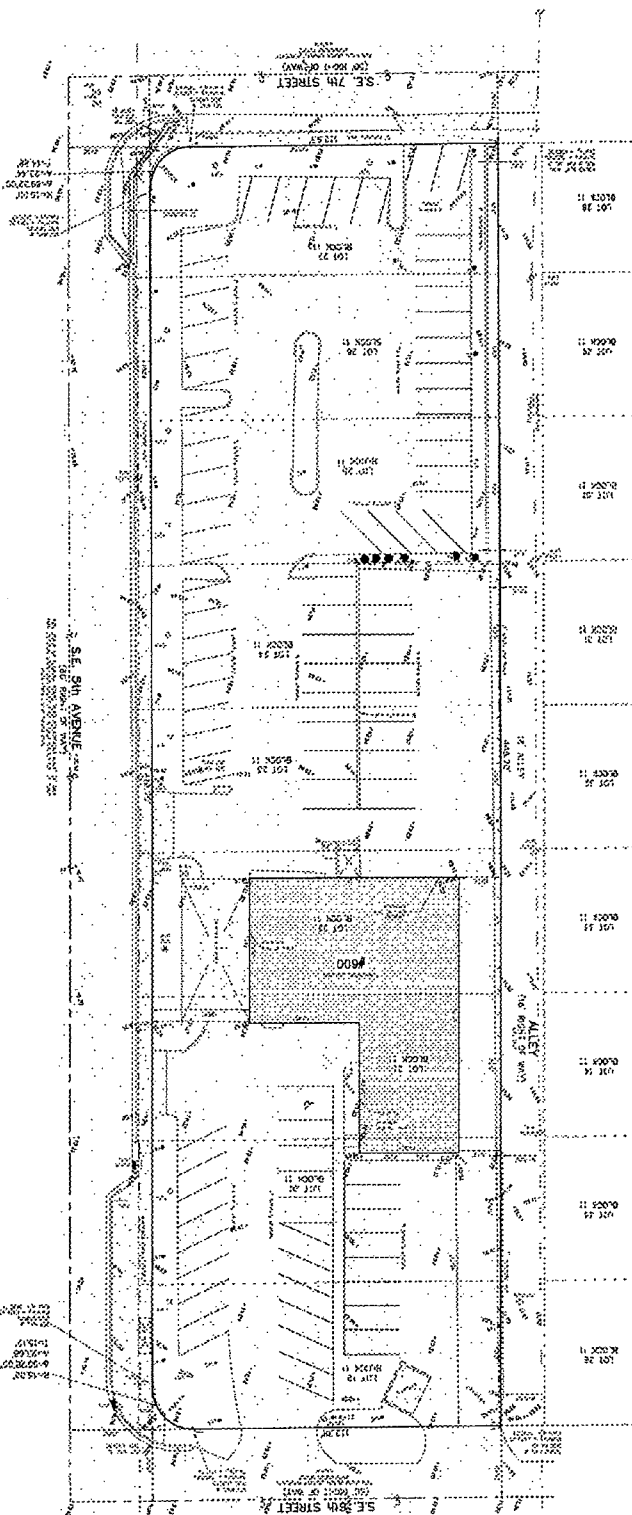
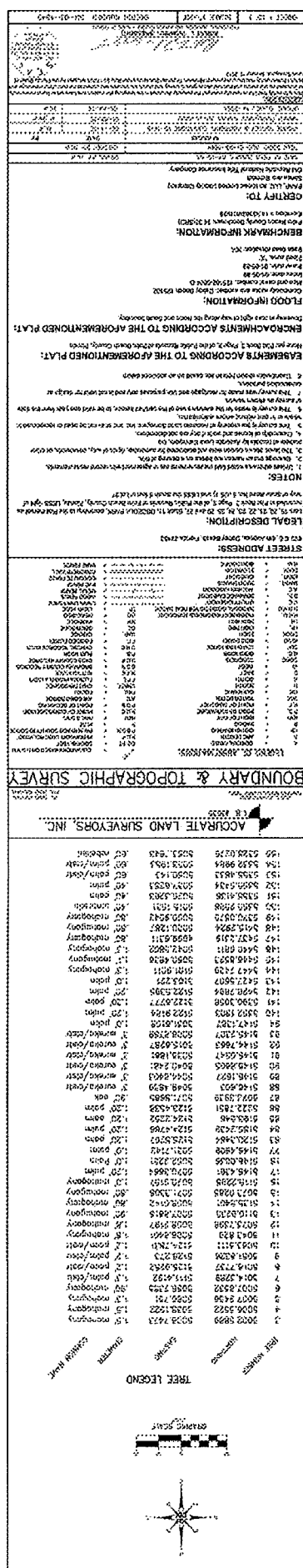
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____



RETAIL BUILDING **600 SE 5th Avenue** **LOCATION MAP**

 Subject Property





KRAVIT
ARCHITECTURAL
ASSOCIATES, INC.
302
CITY MOORE
SUITE 100
BIRMINGHAM
ALABAMA
35203
205-988-0000
205-988-0000

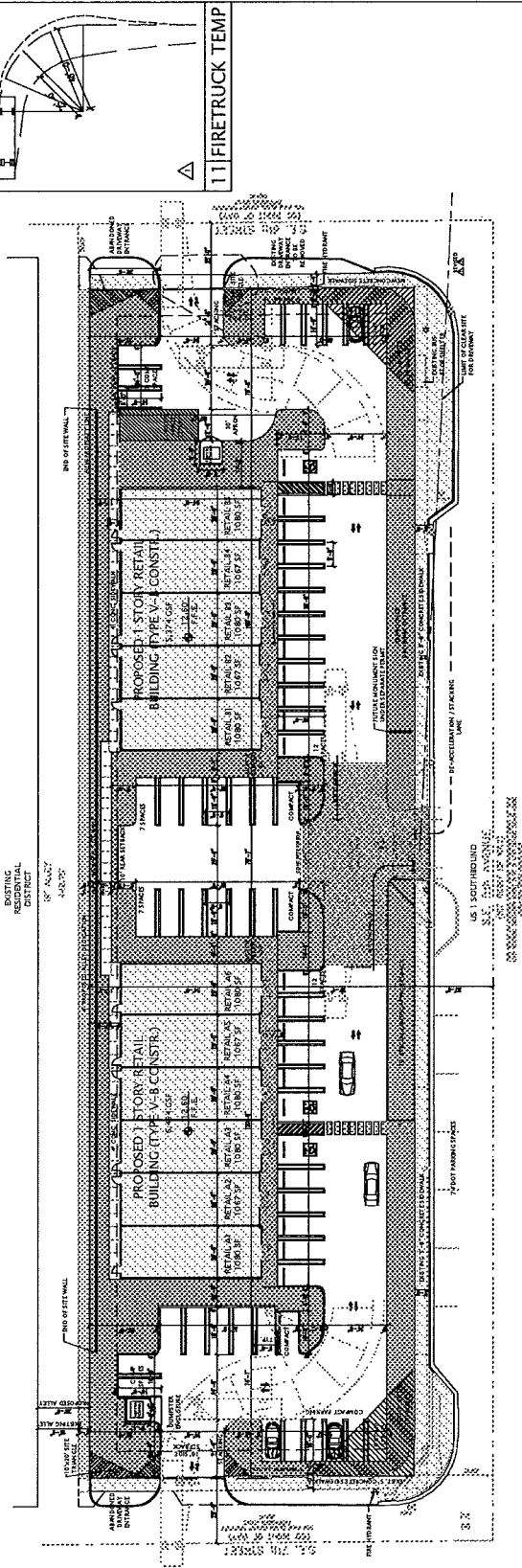
PROJECT
RETAIL STRIP
DEVELOPMENT
PAAP, LLC
DEVELOPERS
600 SE 5TH AVENUE
DELRAY BEACH
FLORIDA 33463
CONSULTANT

REVISIONS	
NO.	DATE
1	5/14/15
2	7/28/15
3	8/05/15

SIGNATURE OF ARCHITECT/DESIGNER
DATE
PROJECT NUMBER
DATE
PROJECT PHASE
SITEMAP
CONSTRUCTION DOCUMENTS

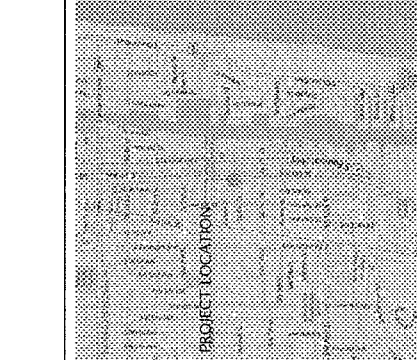
PROJECT PLAN & DETAILS
PROJECT NUMBER
DATE
PROJECT PHASE
SITEMAP
CONSTRUCTION DOCUMENTS

PROJECT PLAN & DETAILS
PROJECT NUMBER
DATE
PROJECT PHASE
SITEMAP
CONSTRUCTION DOCUMENTS



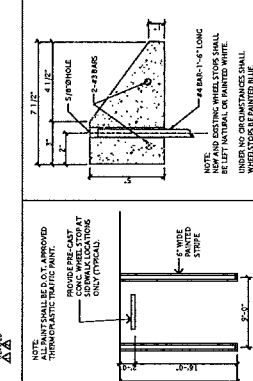
01 SITE PLAN

PROJECT NOTES
1. ALL UTILITIES TO BE INSTALLED ON ROOF AND SHALL BE CONFINED BY PARALLEL WALLS.
2. ALL UTILITIES TO BE INSTALLED ON ROOF AND SHALL BE CONFINED BY PARALLEL WALLS.
3. ALL UTILITIES TO BE INSTALLED ON ROOF AND SHALL BE CONFINED BY PARALLEL WALLS.
4. ALL UTILITIES TO BE INSTALLED ON ROOF AND SHALL BE CONFINED BY PARALLEL WALLS.
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10. ALL UTILITIES TO BE INSTALLED ON ROOF AND SHALL BE CONFINED BY PARALLEL WALLS.

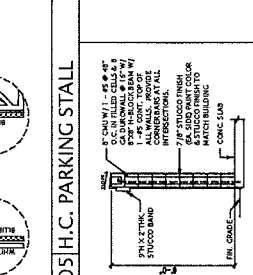
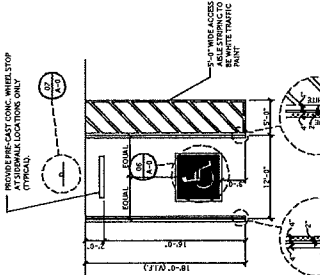


02 LOCATION MAP

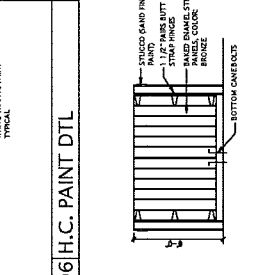
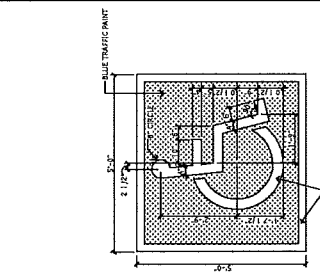
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LOT COVERAGE	1.00%
TOTAL BUILDING AREA	1,000.00 SQ. FT.
TOTAL PARKING AREA	1,000.00 SQ. FT.
TOTAL DRIVEWAY AREA	1,000.00 SQ. FT.
TOTAL DRIVEWAY AREA	1,000.00 SQ. FT.
TOTAL DRIVEWAY AREA	1,000.00 SQ. FT.
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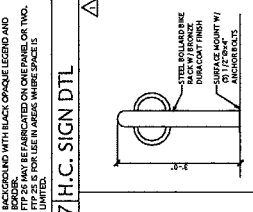
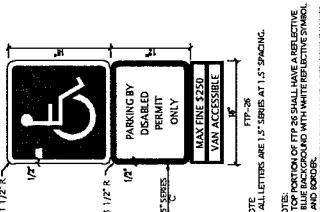
03 STD PARKING ST. 04 WHEEL STOP DTL



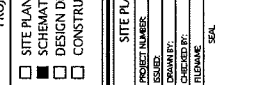
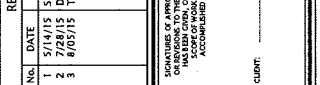
05 H.C. PARKING STALL



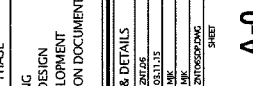
06 H.C. PAINT DTL



07 H.C. SIGN DTL



08 DUMPSTER DTL



09 DUMPSTER ELEVATION



10 BIKE RACK DTL



KRAVIT
ARCHITECTURAL
ASSOCIATES, INC.

902
CHIEF ARCHITECT
SHEILA B. BROWN
REGISTERED ARCHITECT
FLORIDA
S461093-2007
T4666
S461093-2003

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PROJECT

RETAIL STRIP
S&P LLC
P&P LLC
DEVELOPERS
600 SE FIFTH AVENUE
DEER BEACH
FLORIDA, 33443

CONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION
3	8/03/13	TAC MEMO REV.

SIGNATURE OF APPROVAL: ADDITIONAL, ALTERNATIVE, OR REVISED CHART, CONSTITUTE A CHANGE IN THE ORIGINAL DESIGN AND SHALL BE ACCOMPANIED BY THE CLIENT'S EXPENSE.

CLIENT: _____

DATE: _____

PROJECT PHASE

- ☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

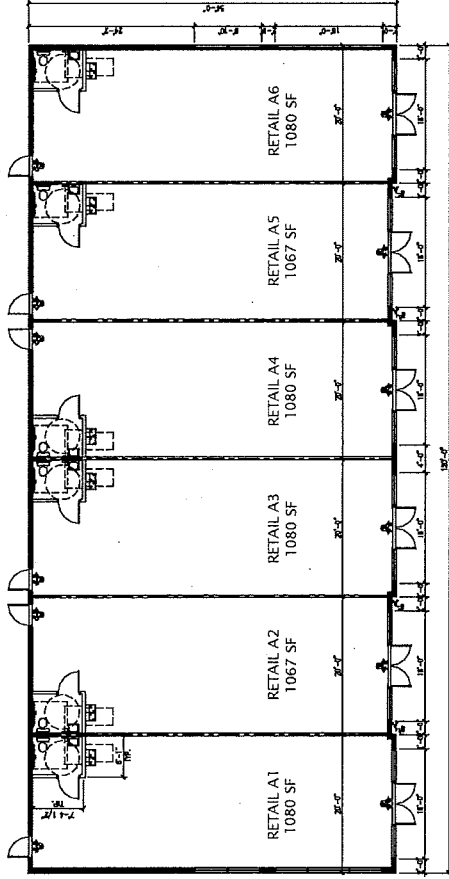
PROPOSED FLOOR PLANS

PROJECT NUMBER: 2012.06
ISSUED: 03.11.13
CHECKED BY: JMC
FILE NAME: 20120603P130130

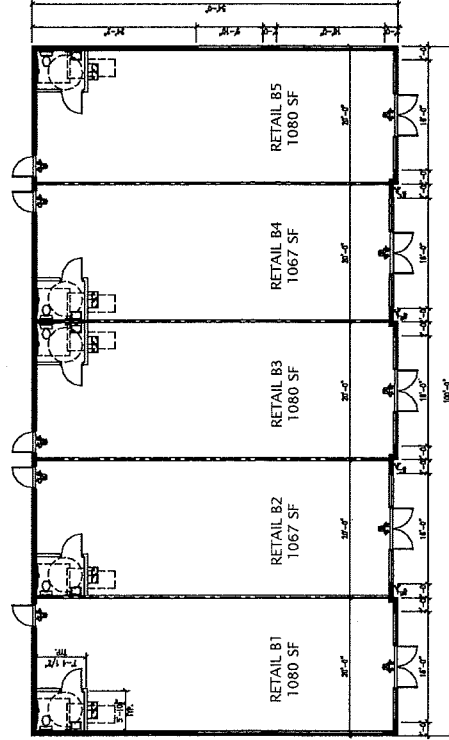
SHEET

A-00

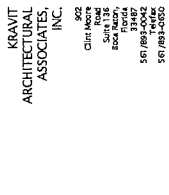
ARCHITECT: KRAVIT ARCHITECTURAL ASSOCIATES, INC.



01 FLOOR PLAN - BUILDING A



02 FLOOR PLAN - BUILDING B



FLORIDA COMPACTS LICENSE NO. LA0001491
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RETAIL STRIP
CENTER
PAPP, LLC
DEVELOPERS

600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA, 33483

NO.	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVS.

SIGNATURES OF APPROVAL, ADDITIONS, ALTERATIONS, OR REVISIONS TO THESE DRAWINGS AFTER APPROVAL HAS BEEN GIVEN, CONSTITUTE A CHANGE IN THE SCOPE OF WORK AS OUTLINED AND WILL BE ACCOMPLISHED AT THE CLIENTS EXPENSE.

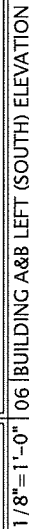
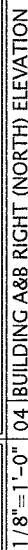
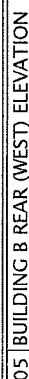
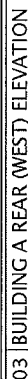
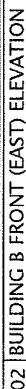
PROJECT PHASE

☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

EXTERIOR EVALUATIONS

PROJECT NUMBER	ZHT-06
SUBJECT	03.11.15
DRAWN BY:	MPK
CHECKED BY:	MPK
LENAME	ZHT05DOP.DWG
SEAL	SHEET

A-000



Free Legend (NEW)

9		10		11		12		13	
SOUTHERN LIVE OAK. 10 X 16-18 SP. 4" DBH.		CHINA STYLLIS. 10 X 16-18 SP. 4" DBH.		SINGLE TRUNK MATCHED PINE 16" X 8 SP. 4" DBH.		SOUTHERN PLATA 20" O.A. 12" DBH			
NATIVE		NATIVE		NATIVE		NATIVE		NATIVE	
14		15		16		17		18	
									
SOUTHERN LIVE OAK. 10 X 16-18 SP. 4" DBH.		CHINA STYLLIS. 10 X 16-18 SP. 4" DBH.		SINGLE TRUNK MATCHED PINE 16" X 8 SP. 4" DBH.		SOUTHERN PLATA 20" O.A. 12" DBH		CUCUMBER BURNINGWALL PHOENIX PLANT TREE 14" X 8 SP. 2 1/2" DBH	
NATIVE		NATIVE		NATIVE		NATIVE		NATIVE	

Quantity of Exposed Tissues

Shrubs and Groundcovers

[illegible]

LANDSCAPE BID CONDITIONS

- [illegible]

Free Protection Detail

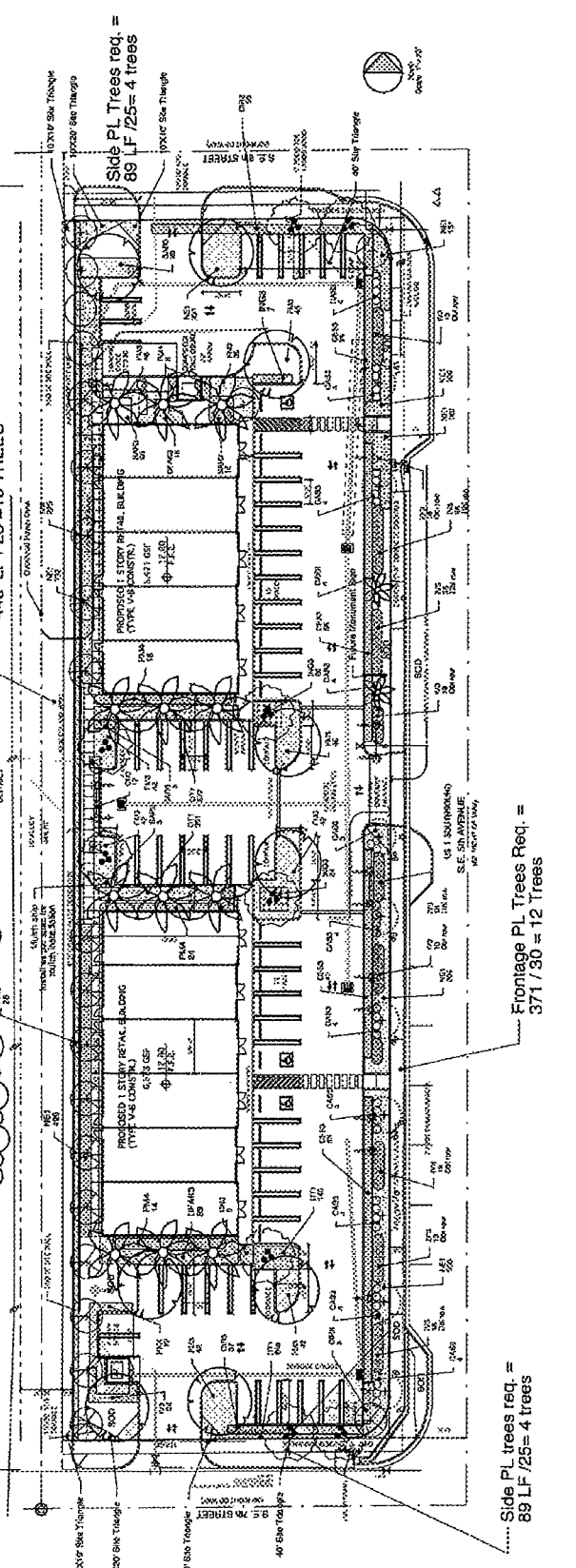


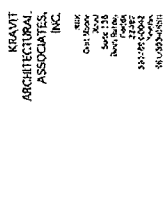
STOCK, BENT REPORT, BEARS AS MOVED UNDER
THE MARCHING POWER TO BE IN TALENT,
EIGHT EIGHTY.

City of Delray Beach Standard Note

[illegible]

REAR PL TREES =
449' LF / 25 = 18 TREES





RETAIL STRIP
CENTER
PAPI, LLC
DEVELOPERS

500 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA 33483

Logo of the American Society of Human Genetics (ASHG), featuring a stylized figure holding a torch, with the text "AMERICAN SOCIETY OF HUMAN GENETICS" and "FUNDING GENETIC RESEARCH" below it.

5-15-15	April 3rd City Comments
9-20-15	Site plan revision
8-25-15	Site plan / lighting revision

[illegible]

- ☒ SITE PLANNING
- ☒ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS

DATE	10/10/00	BY	10/10/00
TIME	10:10	TIME	10:10
LOCATION	10:10	LOCATION	10:10
REMARKS	10:10	REMARKS	10:10

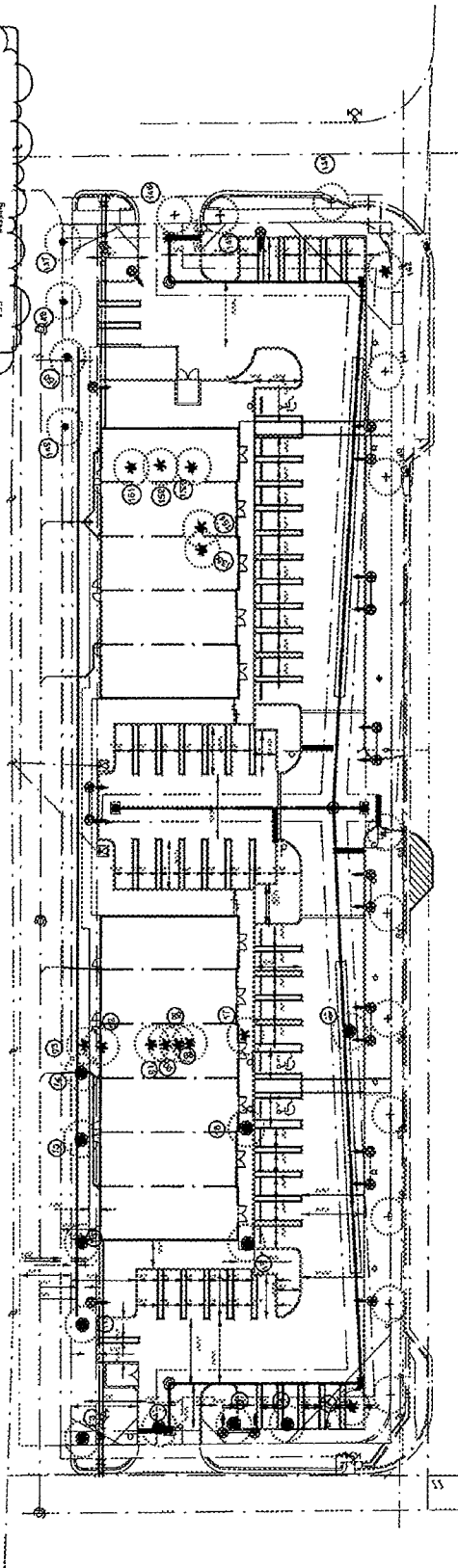
FD-1

Trio	User	Common Name	Condition	Action
1	1	Adoptive	Poor	Remove
2	1, 5	Adoptive	Poor	Remove
3	1, 5	Adoptive	Poor	Remove
4	1, 5	Adoptive	Poor	Remove
5	1, 3	Adoptive	Poor	Remove
6	1, 3	Adoptive	Poor	Remove
7	1, 3	Adoptive	Poor	Remove
8	1, 2	Adoptive	Poor	Remove
9	1, 2	Adoptive	Poor	Remove
10	1, 2	Adoptive	Poor	Remove
11	1, 2	Adoptive	Poor	Remove
12	1, 2	Adoptive	Poor	Remove
13	1, 2	Adoptive	Poor	Remove
14	Adoptive	Adoptive	Poor	Remove
15	Adoptive	Adoptive	Poor	Remove
16	Adoptive	Adoptive	Poor	Remove
17	Adoptive	Adoptive	Poor	Remove
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47	Adoptive	Adoptive	Poor	Remove
48	Adoptive	Adoptive	Poor	Remove
49	Adoptive	Adoptive	Poor	Remove
50	Adoptive	Adoptive	Poor	Remove
51	Adoptive	Adoptive	Poor	Remove
52	Adoptive	Adoptive	Poor	Remove
53	Adoptive	Adoptive	Poor	Remove
54	Adoptive	Adoptive	Poor	Remove
55	Adoptive	Adoptive	Poor	Remove

TOTAL DIRM OF TREES TO BE
REMOVED = 207"

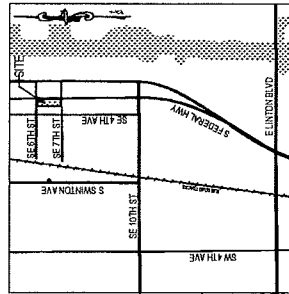
[illegible][illegible]

XX	EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
XX	EXISTING TREES TO REMOVE

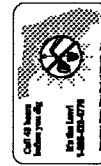


CIVIL ENGINEERING PLANS FOR RETAIL STRIP CENTER DELRAY BEACH, FLORIDA

OWNER: PAAP, LLC
600 SE 5TH AVE
DELRAY BEACH, FL 33483



SEC. 21 - TWP. 46S - RGE. 43E
LOCATION MAP
N.T.S.



INDEX OF SHEETS

SHEET No.	DESCRIPTION
C0.0	COVER SHEET
C0.1-C0.2	GENERAL NOTES
C1.1	SITE DEMOLITION & EROSION CONTROL PLAN
C2.1	SIGNING, STRIPING & GEOMETRIC PLAN
C3.1	PAVING, GRADING & DRAINAGE PLAN
C4.1-C4.4	PAVING, GRADING & DRAINAGE DETAILS
C5.1	POTABLE WATER & SANITARY SEWER PLAN
C6.1	POTABLE WATER DETAILS
C6.2	SANITARY SEWER DETAILS
C7.0	COMPOSITE UTILITY PLAN



KRAVIT
ARCHITECTURAL
ASSOCIATES,
INC.

602
CHIEF ARCHITECT
PAAP, LLC
SUITE 1136
BOX 1600
DELRAY BEACH,
FLORIDA 33487
561/793-0650
T 561/793-0650
F 561/793-0650

PAAP, LLC CONTRACT LICENSE No. 14111-0001-00000000
KRAVIT ARCHITECTURAL ASSOCIATES, INC. CONTRACT LICENSE No. 14111-0001-00000000

PROJECT

RETAIL STRIP
CENTER
PAAP, LLC
DEVELOPERS
600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA, 33483

CONSULTANT



GDI Engineering, Inc.
1400 Corporate Blvd., Suite 401
West Palm Beach, FL 33411
Tel: 561/861-1100
Fax: 561/861-1101
www.gdi-engineering.com

REVISIONS

No.	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVISION
2	7/28/15	DSMG REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

SIGNATURE OF APPROVAL ADDITIONAL ALTERNATIONS:
DRAWN BY: [Signature] CHECKED BY: [Signature] DATE: [Date]
SCALE: [Scale] DATE: [Date]
SCOPE OF WORK AS OUTLINED AND WILL BE
ACCURATE AS SHOWN ON THE CLIENT'S SOURCE

CURT: _____ DATE: _____

PROJECT PHASE

- ☐ SITE PLANNING
- ☒ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS

COVER SHEET

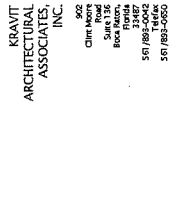
PROJECT NUMBER	14492-01
ISSUED	03/11/15
DRAWN BY	RR
CHECKED BY	JT
PLANNED BY	

SHEET

C0.0

COVER SHEET

[illegible][illegible]



RETAIL STRIP
CENTER
PAAP, LLC
DEVELOPERS

600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA 33483

GGDI
CIVIL DESIGN, INC.

1000 Centenary Blvd., Suite 103
New York, New York 10017
T: 516.239.2780
F: 516.239.2772
www.civil-design.com
Certification of Authority: 0601444

REVISIONS		
No.	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVISION
2	7/28/15	DSMG REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

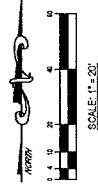
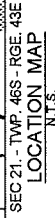
SIGNATURES OF APPROVAL, ADDITIONS, ALTERATIONS, OR REVISIONS TO THESE DRAWINGS AFTER A PROVAL HAS BEEN GIVEN, CONSTITUTE A CHANGE IN THE SCOPE OF WORK AS OUTLINED AND WILL BE ACCOMPLISHED AT THE CLIENTS EXPENSE.

☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

SITE DEMOLITION & EROSION CONTROL PLAN

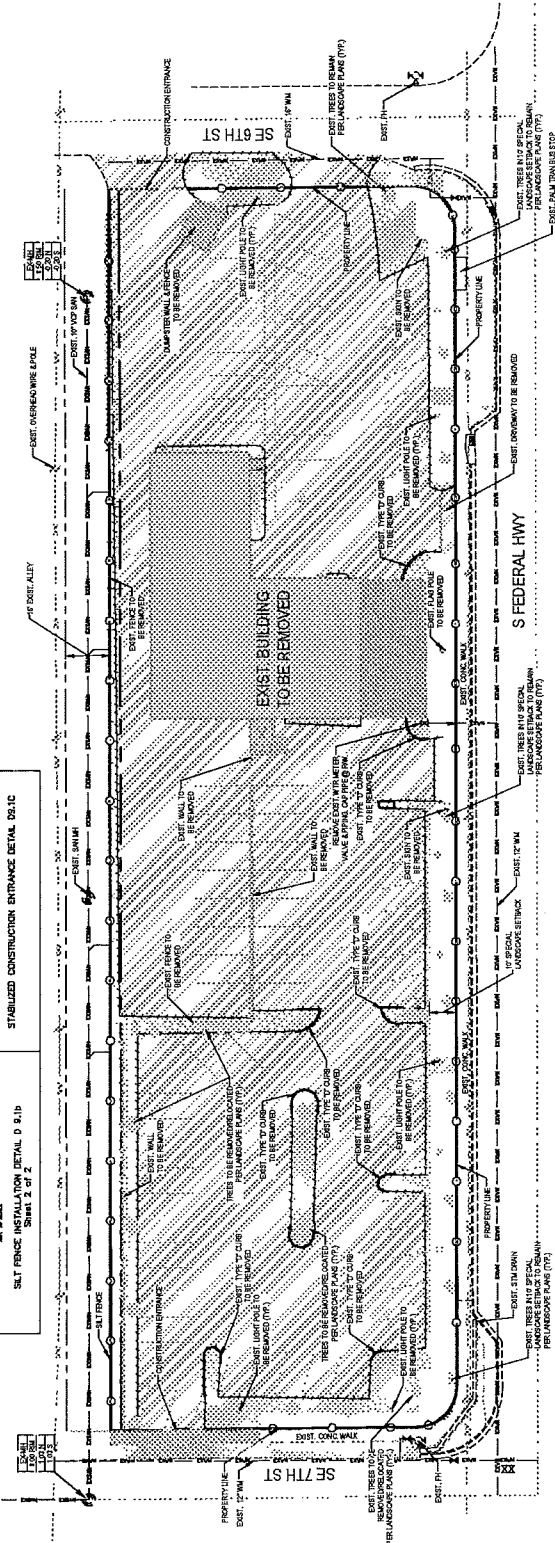
PROJECT NUMBER	1 435-01
ISSUED	03.11.15
DRAWN BY:	PR
CHECKED BY:	IT
DATE	

SEAL SHEET C1.1



SYMBOL	DESCRIPTION
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM DRAINAGE
	EXISTING EDGE OF PAVEMENT TO BE REMOVED
	EXISTING CURB TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	PROPOSED SUBGRADE
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING BALLAST TO BE REMOVED
	EXISTING LANDSCAPING TO BE REMOVED
	EXISTING LANDSCAPING TO BE RETAINED

NOTE:
PRINT AND CAP ALL EXISTING SOWERS! AT 5 DAYS AT NIGHT, 06, WAY LINE



SITE DEMOLITION & EROSION CONTROL PLAN

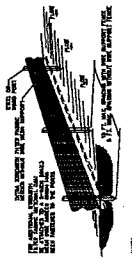
the United States. It is the defendant's responsibility to provide the court with the information necessary to make a decision on the defendant's ability to pay. The court will consider the defendant's income, assets, and liabilities. The court will also consider the defendant's ability to pay the fine. The court will consider the defendant's ability to pay the fine. The court will consider the defendant's ability to pay the fine.

EROSION CONTROL NOTES DETAIL D9.1

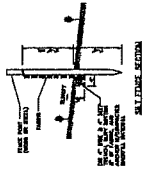


NOTE:
A COMBINED EXPENSE SHALL BE
CONSIDERED AND COUNTED AS A SINGLE
LAW ENFORCEMENT ACTIVITY AT LEAST
ONCE PER YEAR. IT MUST FIT INTO THE
COURSE OF THE VEHICLE'S HISTORY AND
BE A REASONABLE INVESTIGATION.

STABILIZED CONSTRUCTION ENTRANCE DETAIL 02.1C

[illegible]

SILT FENCE INSTALLATION DETAIL D 9.1a



1. DATE TIME PLACE
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 3. PHONE CITY STATE ZIP
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 140. NAME ADDRESS
 141.

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED



902
Clint Moore
Road
Suite 136
Boca Raton,
Florida
33487
561/893-0042
Telex
561/893-0650

ELIZONDA CONSULTANTS, INC., A/C#01495
22014 GRAVITY AERONAUTICALS, INC., ALL RIGHTS RESERVED.
THESE INDENTURES MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM

PROJECT

RETAIL STRIP
CENTER
PAAP, LLC
DEVELOPERS

CONSULTANT



CIVIL DESIGN, INC.
10101 E. 15th Ave. • Suite 200 • Denver, CO 80231
(303) 751-1100 • FAX (303) 751-1101

REVISIONS		
o.	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVISION
2	7/28/15	DSMG REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

SIGNATURES OF APPROVAL, ADDITIONS, ALTERATIONS, OR REVISIONS TO THESE DRAWINGS AFTER APPROVAL HAS BEEN GIVEN, CONSTITUTE A CHANGE IN THE SCOPE OF WORK AS OUTLINED AND WILL BE ACCOMPLISHED AT THE CLIENT'S EXPENSE.

CLIENT: _____ DATE: _____

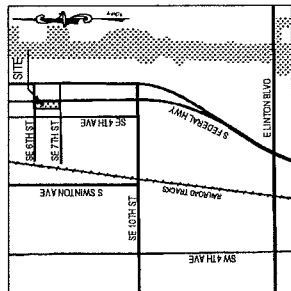
DIRECT PHASE

☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

STUDYING COMMUNITY & ENVIRONMENTAL PLANNING

PROJECT NUMBER	14435-01
SUBJ.	03.11.15
DRAWN BY:	RR
CHECKED BY:	JT
LENAME	

C2.1

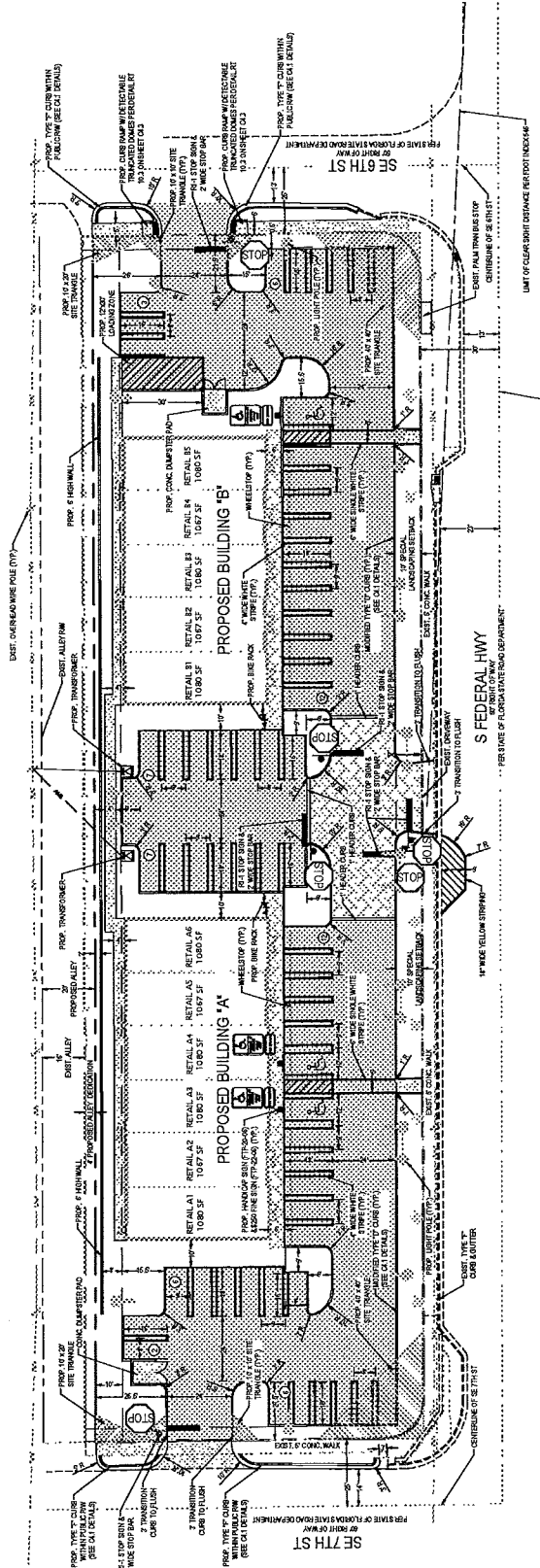
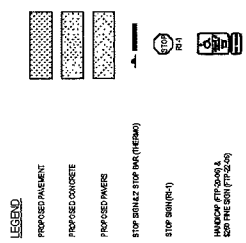


SEC 21. - TWP. 46S - RGE. 43E
LOCATION MAP
NTS



SCALE: 1" = 20'

1. CONTRACTOR TO RESTORE ALL WALLS, PAVEMENT, LANDSCAPE, ETC. TO PRE-CONSTRUCTION CONDITION OR BETTER.
2. ALL UTILITIES MUST BE MOVED TO NORTH SIDE OF ROAD.
3. STREET LIGHTS TO BE REMOVED AND NEW STREETS LIGHTS TO BE INSTALLED IN THE CITY OF DELRAY BEACH AS QUICKLY AS POSSIBLE BY THE CITY OF DELRAY BEACH. ALL UTILITIES MUST BE MOVED TO NORTH SIDE OF ROAD.
4. ACCURATE LAND SURVEYS, AND "PROTECT TO CONSTRUCTION," IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VISIT (RELAY) TO DETERMINE ALL EXISTING UTILITIES. ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF WORK.
5. RECORD DRAWINGS SHALL BE PROVIDED BY A LICENSED SURVEYOR IN ACCORDANCE WITH CITY OF DELRAY BEACH REQUIREMENTS.
6. ALL UTILITIES SHALL BE MOVED TO NORTH SIDE OF ROAD.
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12. ALL UTILITIES SHALL BE MOVED TO NORTH SIDE OF ROAD.



SIGNING, STRIPING & GEOMETRIC PLAN

KRAVITT ASSOCIATES, INC.

ARCHITECTURAL

ENGINEERING

CONSULTING

200

501 N. W. 10th Ave.

Fort Lauderdale, FL 33311

954/348-7400

954/348-7401

954/348-7402

954/348-7403

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954/348-7407

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PROJECT

RETAIL STRIP

CENTER

PAVING

DEVELOPERS

600 SE FIFTH AVENUE

DELBAY BEACH

FLORIDA, 33483

CONSULTANT

GDI

GRUPPO DI INGENIERIA

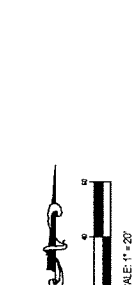
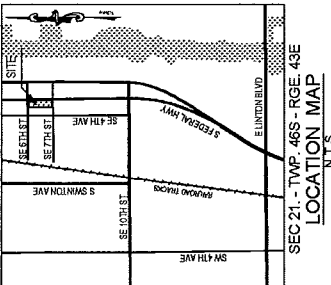
CONSTRUCTION

NO.	DATE	DESCRIPTION
1	5/14/15	SIA REVIEW REVISION
2	7/28/15	OSING REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

SIGNATURES OF APPROVALS: ALTERNATE, ORIGINAL, AND APPROVED FOR THE PROJECT. THE ORIGINAL MUST BE SUBMITTED WITH THE PROJECT. THE APPROVED FOR THE PROJECT MUST BE SUBMITTED WITH THE PROJECT. THE APPROVED FOR THE PROJECT MUST BE SUBMITTED WITH THE PROJECT.

PROJECT PHASE
☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

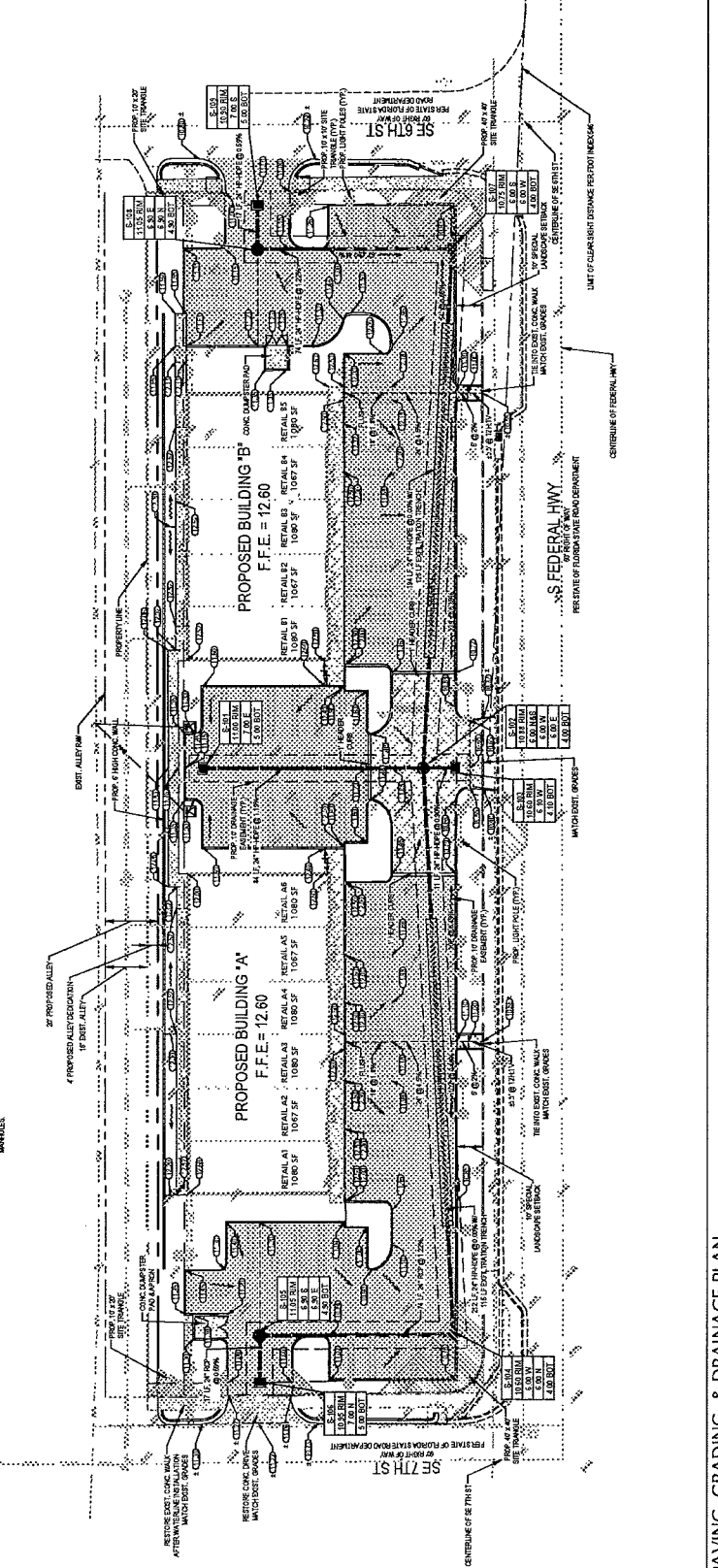
PAYING, GRADING & DRAINAGE PLAN	14432-01
PROJECT NUMBER	03.11.15
ISSUED BY	WFE
CHECKED BY	JT
DATE	7/28/15
SHEET	C3.1



STRUCT. NO.	STRUCT. TYPE	GRATE TYPE
S-101	C	U.S.E. 4155-0208
S-102	C	U.S.E. 4155-0208
S-103	C	U.S.E. 4155-0208
S-104	C	U.S.E. 4155-0208
S-105	C	U.S.E. 4155-0208
S-106	C	U.S.E. 4155-0208
S-107	C	U.S.E. 4155-0208
S-108	C	U.S.E. 4155-0208
S-109	C	U.S.E. 4155-0208
S-110	C	U.S.E. 4155-0208

NOTE: THE OWNER MAY REQUEST FOR ANY OTHER TYPE OF GRATE. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY OTHER TYPE OF GRATE.

- CONTRACTOR TO RESURFACE ALL WALKS, TRAVELERS, LANDSCAPE, ETC. TO PRE-CONSTRUCTION CONDITION AFTER.
- ALL WALKS TO BE 18" MIN. THICK.
- EXIST. UTILITY INFORMATION IS BASED ON RECORDS PROVIDED BY THE CITY OF DELRAY BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. ANY CHANGES SHALL BE REPORTED TO THE CITY OF DELRAY BEACH IMMEDIATELY.
- RECORD DRAWINGS SHALL BE PROVIDED BY THE CITY OF DELRAY BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. ANY CHANGES SHALL BE REPORTED TO THE CITY OF DELRAY BEACH IMMEDIATELY.
- ANY PIPES OR STRUCTURES PLACED WITHIN THE WATER SHED, OR DRAINAGE BASIN, SHALL BE IN ACCORDANCE WITH THE CITY OF DELRAY BEACH REQUIREMENTS.
- NO PROPOSED STRUCTURES SHALL BE PLACED WITHIN THE WATER SHED, OR DRAINAGE BASIN, WITHOUT THE APPROVAL OF THE CITY OF DELRAY BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS.
- NO PROPOSED STRUCTURES SHALL BE PLACED WITHIN THE WATER SHED, OR DRAINAGE BASIN, WITHOUT THE APPROVAL OF THE CITY OF DELRAY BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS.
- EXIST. WATER MAINS SHALL BE 18" MIN. DIAMETER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL WATER MAINS. ANY CHANGES SHALL BE REPORTED TO THE CITY OF DELRAY BEACH IMMEDIATELY.
- ALL WATER MAINS SHALL BE 18" MIN. DIAMETER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL WATER MAINS. ANY CHANGES SHALL BE REPORTED TO THE CITY OF DELRAY BEACH IMMEDIATELY.
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- ALL WATER MAINS SHALL BE 18" MIN. DIAMETER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL WATER MAINS. ANY CHANGES SHALL BE REPORTED TO THE CITY OF DELRAY BEACH IMMEDIATELY.



PAVING, GRADING & DRAINAGE PLAN



KRAVITT
ARCHITECTURAL
ASSOCIATES, INC.
INC.
CITY MOBILE
SUNSHINE
BOCA RATON
33489
561/983-0850
561/983-0850
FILL AREA FOR THE PROJECT SHALL BE THE SAME AS THE FILL AREA FOR THE PROJECT. THE FILL AREA FOR THE PROJECT SHALL BE THE SAME AS THE FILL AREA FOR THE PROJECT.

PROJECT
RETAIL STRIP
CENTER
PAAP LLC
DEVELOPERS
600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA, 33483

CONSULTANT



REV	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVISION

NOTES:
1. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
3. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.

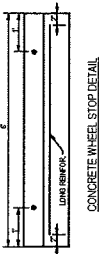
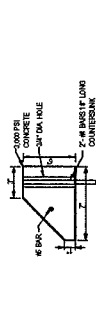
CLIENT: _____ DATE: _____

PROJECT PHASE

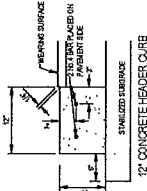
- ☐ SITE PLANNING
- ☒ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS

PROJECT NUMBER	14455-01
ISSUED	03.11.15
DESIGNED BY	RF
CHECKED BY	JT
DATE	03.11.15

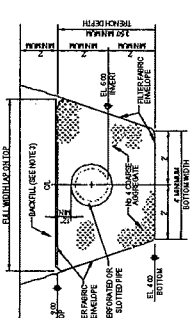
SHEET
C4.1



CONCRETE WHEEL STOP DETAIL
N.T.S.

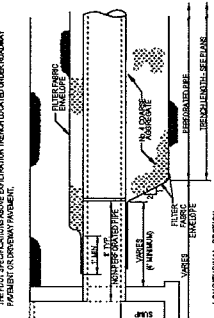


CONCRETE WHEEL STOP DETAIL
N.T.S.

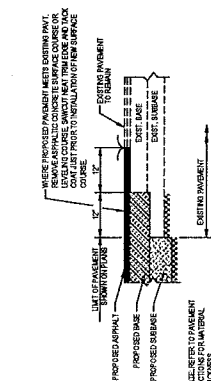


EXFILTRATION TRENCH
GENERAL SECTION
N.T.S.

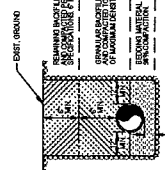
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2. EXCEPT AS SHOWN ON OR
3. EXCEPT AS SHOWN ON OR



EXFILTRATION TRENCH TYPICAL DETAIL
N.T.S.



PAVING, GRADING & DRAINAGE DETAILS
N.T.S.

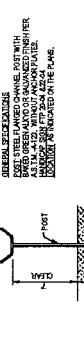


PAVING, GRADING & DRAINAGE DETAILS
N.T.S.

1. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
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3. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
4. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
5. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.



PAVING, GRADING & DRAINAGE DETAILS
N.T.S.



PAVING, GRADING & DRAINAGE DETAILS
N.T.S.



PAVING, GRADING & DRAINAGE DETAILS
N.T.S.

TYPE	WORKING SURFACE	BASE	PAVING PROPORTIONS
PASADENA	1 1/2" THICK TYPE 3A A.C. - 7.5% FILL	8" THICK TYPE 3A A.C. - 7.5% FILL	CONCRETE



KRAVITT
ASSOCIATES, INC.

302
CHIEF OFFICE
SUITE 130
BONITA AVENUE
FLORIDA
33409
TEL: 813-487-1444
FAX: 813-487-1444
WWW.KRAVITT.COM

PROJECT
RETAIL STRIP
CENTER
PAVING
DEVELOPERS
600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA, 33483

CONSULTANT
PHIL DENIER, INC.
11000 Corporate Blvd. Suite 400
Fort Myers, FL 33907
TEL: 813-487-1444
FAX: 813-487-1444
WWW.PHILDENIER.COM

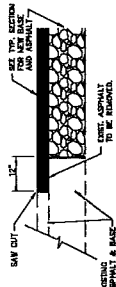
REVISIONS
NO. DATE DESCRIPTION
1 5/14/15 SPA REVIEW REVISION

SIGNATURE OF APPROVAL ADDITIONS, ALTERATIONS, OR DELETIONS TO THIS DRAWING SHALL BE ACCOMPANIED BY A CHANGE IN THE PROJECT NUMBER AND DATE. NO CHANGES SHALL BE MADE WITHOUT THE SIGNATURE OF THE ENGINEER.

CLIENT
DATE

PROJECT PHASE
☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

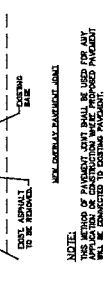
PAVING, GRADING & DRAINAGE DETAILS
PROJECT NUMBER: 14457-01
DATE: 05/11/15
DRAWN BY: JF
CHECKED BY: JF
FILM NAME: JF
SHEET: C4.2



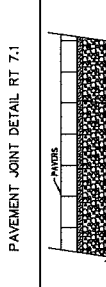
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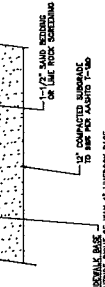
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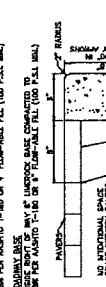
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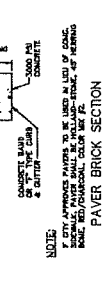
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PAVEMENT JOINT DETAIL RT 7.1



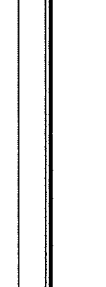
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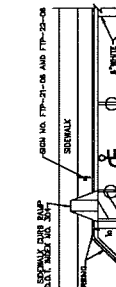
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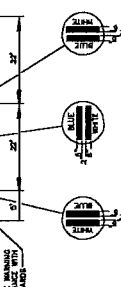
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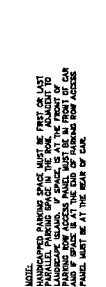
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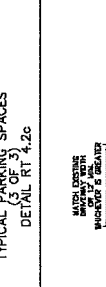
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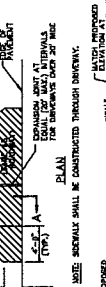
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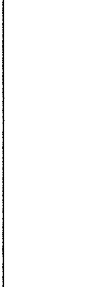
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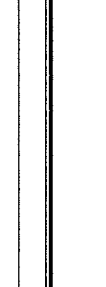
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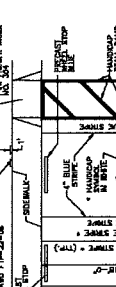
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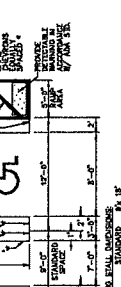
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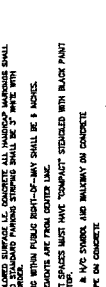
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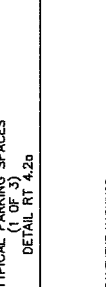
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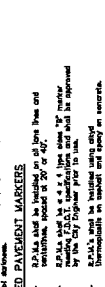
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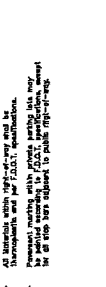
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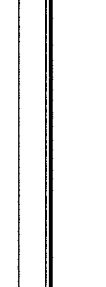
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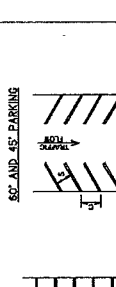
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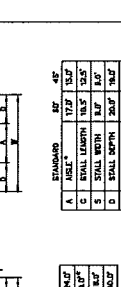
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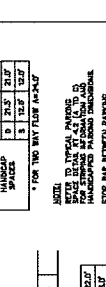
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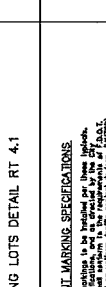
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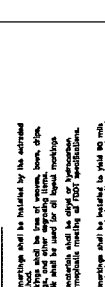
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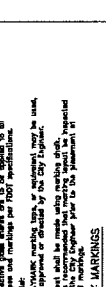
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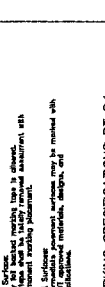
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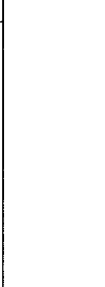
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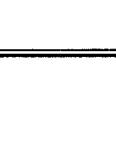
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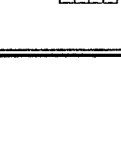
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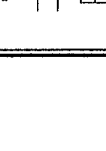
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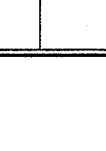
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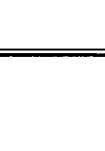
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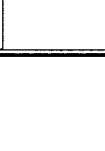
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TYPICAL PARKING SPACES DETAIL RT 4.2c



TYPICAL PARKING SPACES DETAIL RT 4.2c



KRAVIT
ARCHITECTURAL
ASSOCIATES, INC.
502
CITY PLACE
SUITE 110
BOCA RATON
FLORIDA
33433
561/993-0002
FAX 561/993-0003
FEDERAL COMMUNICATIONS COMMISSION
FCC FORM 716, REV. 10-1995
THIS FORM IS REQUIRED FOR ALL WIRELESS COMMUNICATIONS
EQUIPMENT OPERATING IN THE 900 MHz BAND

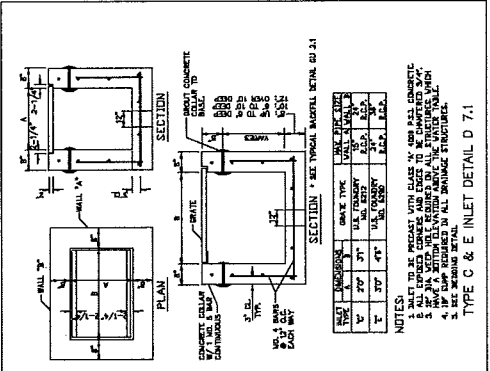
PROJECT
RETAIL STRIP
PAAP LLC
DEVELOPERS
600 SE FIFTH AVENUE
DELLAY BEACH
FLORIDA, 33465
CONSULTANT
GRIFFIN BECKETT, INC.
1000 Corporate Blvd., Suite 200
West Palm Beach, FL 33411
Tel: 561/833-1100
Fax: 561/833-1101
www.griffinbeckett.com
C-001-0000000000

REVISIONS	
NO.	DATE DESCRIPTION
1	5/14/15 SPA REVIEW REVISION

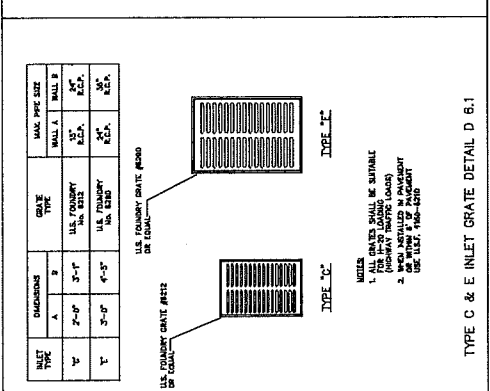
DATE: _____
CLIENT: _____
PROJECT: _____
SHEET: _____

PROJECT PHASE
☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

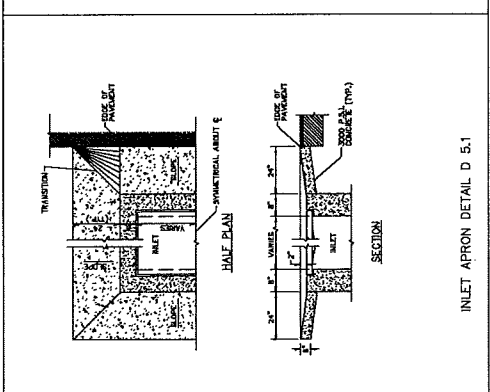
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SHEET NO.: 03/11/15
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CHECKED BY: JT
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SHEET: _____
C4.4



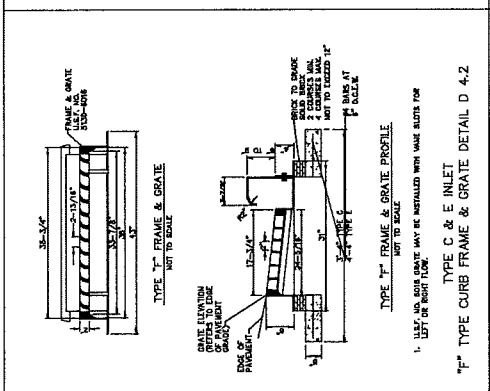
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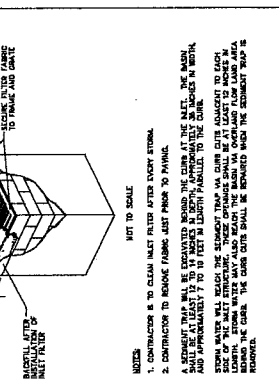
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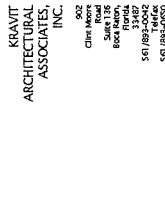
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TYPE C & E INLET DETAIL D 4.2
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INLET FILTER DETAIL D 6.1
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10. ALL GRATES SHALL BE SURTABLE



RETAIL STRIP
CENTER
PAAP, LLC
DEVELOPERS

600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA 33483

REVISIONS		
No.	DATE	DESCRIPTION
1	5/14/15	SPA REVIEW REVISION
2	7/28/15	DSMG REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

SIGNATURES OF APPROVAL, ADDITIONS, ALTERATIONS, OR REVISIONS TO THESE DRAWINGS AFTER APPROVAL HAS BEEN GIVEN, CONSTITUTE A CHANGE IN THE SCOPE OF WORK AS OUTLINED AND WILL BE ACCOMPISHED AT THE CLIENT'S EXPENSE.

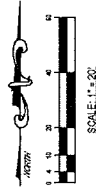
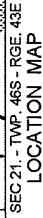
DATE: _____

☐ SITE PLANNING
☒ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

PROJECT NUMBER	14435-02
ISSUED	03.11.15
DRAWN BY:	PR
CHECKED BY:	IT

[illegible]

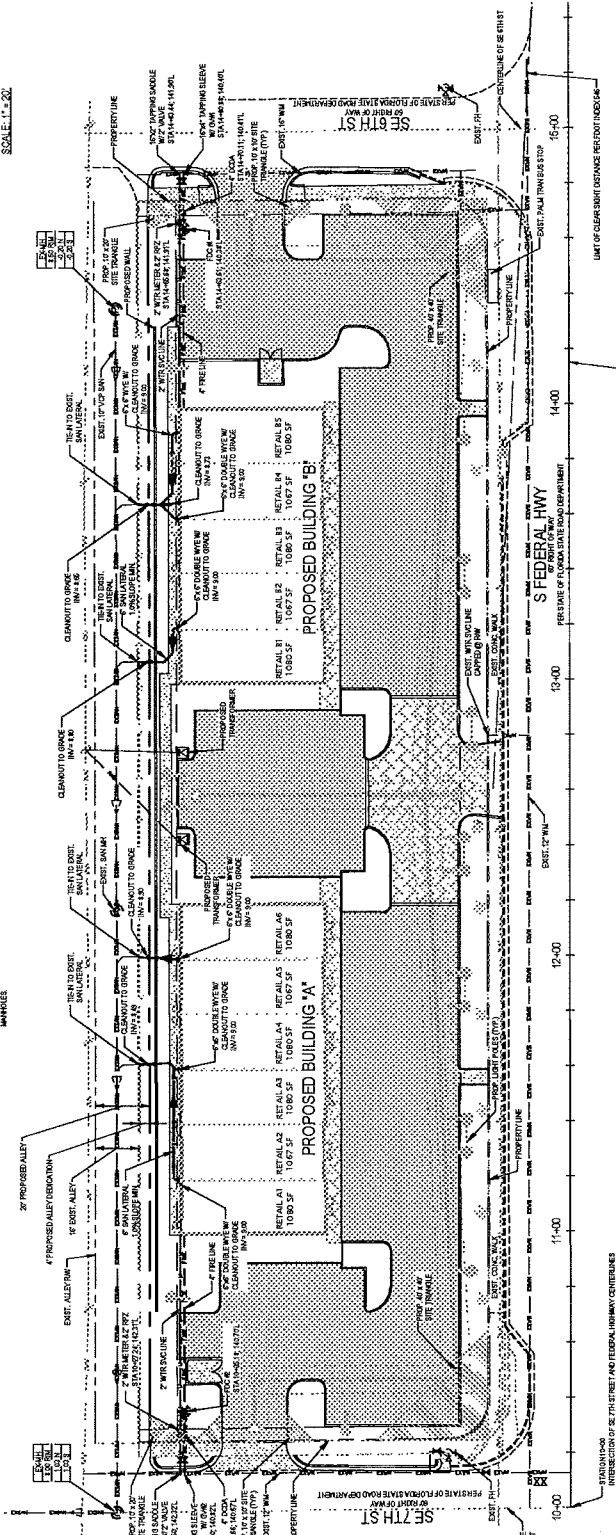
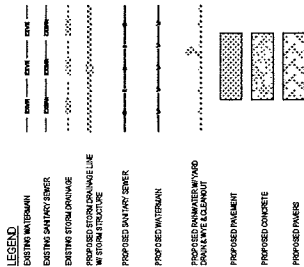
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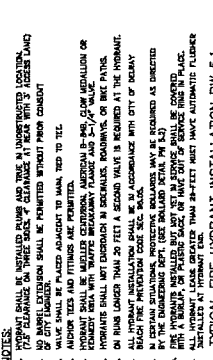
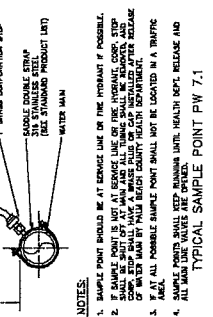
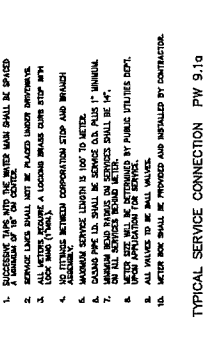
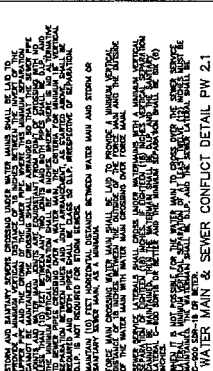
SEC 21. - TWP. 46S - RGE. 43E
LOCATION MAP

1. CONTRACTOR TO RESTORE ALL WALKS, PAVEMENT, LANDSCAPE AREAS, ETC. TO PRE-CONSTRUCTION CONDITION OR BETTER.

1. CONSTRUCTION TO RESTORE ALL WATERS (NATURAL, LANDSCAPE AREAS, ETC.) TO PRE-CONSTRUCTION CONDITION OR BETTER.
2. ALL EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. EXIST (TYPICAL) SECTION SHOWN FOR CONSTRUCTION (PARKWAY) THROUGH THE CITY OF THE WEST. SCHEDULES PREPARED BY THE CITY OF THE WEST. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER.
4. RECORD DRAWINGS SHALL BE PREPARED BY A LICENSED SURVEYOR IN ACCORDANCE WITH THE CITY OF THE WEST. RECORD DRAWINGS SHALL BE PREPARED BY A LICENSED SURVEYOR IN ACCORDANCE WITH THE CITY OF THE WEST. RECORD DRAWINGS SHALL BE PREPARED BY A LICENSED SURVEYOR IN ACCORDANCE WITH THE CITY OF THE WEST.
5. ANY TIES TO EXISTING UTILITIES (WATER, SEWER, GROUNDWATER, EROSION CONTROL, ETC.) SHALL BE MAINTAINED TO THE CITY OF THE WEST. ANY TIES TO EXISTING UTILITIES (WATER, SEWER, GROUNDWATER, EROSION CONTROL, ETC.) SHALL BE MAINTAINED TO THE CITY OF THE WEST.
6. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY TYPE OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR GROUNDWATER, UNLESS APPROVED BY THE CITY OF THE WEST. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY TYPE OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR GROUNDWATER, UNLESS APPROVED BY THE CITY OF THE WEST.
7. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY TYPE OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR GROUNDWATER, UNLESS APPROVED BY THE CITY OF THE WEST. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY TYPE OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR GROUNDWATER, UNLESS APPROVED BY THE CITY OF THE WEST.
8. BECAUSE OF THE CITY OF THE WEST, THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER.
9. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER.
10. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER.
11. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER. THE CITY OF THE WEST IS NOT RESPONSIBLE FOR THE CONSTRUCTION TO RESTORE EXISTING WATERS TO PRE-CONSTRUCTION CONDITION OR BETTER.



POTABLE WATER & SANITARY SEWER PLAN





RETAIL STRIP
CENTER
PAAP, LLC
DEVELOPERS

600 SE FIFTH AVENUE
DELRAY BEACH
FLORIDA. 33483



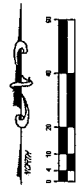
REVISIONS		DESCRIPTION
No.	DATE	
1	5/14/15	SPA REVIEW REVISION
2	7/28/15	DSMIG REVIEW REVISION
3	8/05/15	TAC MEMO REVISION

DATE:

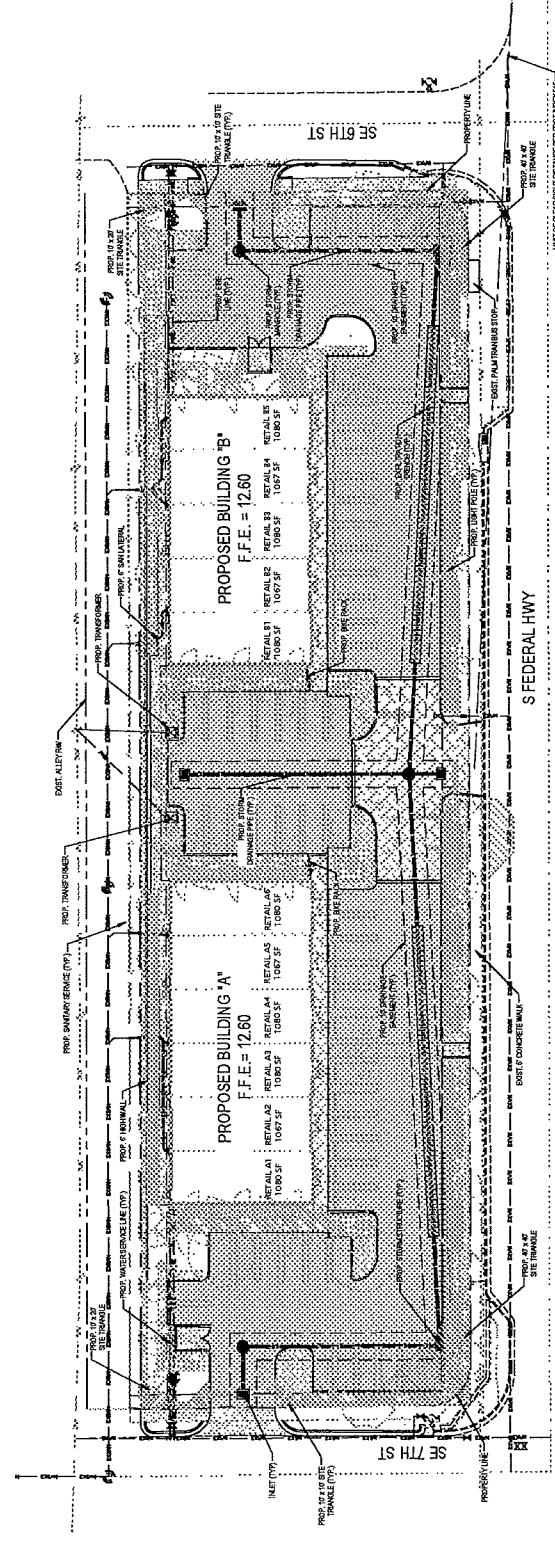
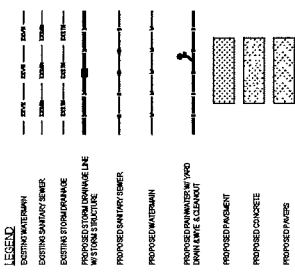
**SITE PLANNING
SCHEMATIC DESIGN
DESIGN DEVELOPMENT
CONSTRUCTION DOCUMENTS**

COMPOSITE UTILITY PLAN	
PROJECT NUMBER	14935-01
ISSUED	03.11.15
DRAWN BY	NR
CHECKED BY	JT
FILENAME	

C7.0



NOTES	
1.	ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DULUTH BEACH STANDARD DETAILS, LOT 1:1 & 1:2.
2.	NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS PERMITTED BY THE CITY OF DULUTH BEACH CITY ENGINEER.
3.	NO PROPOSED PLANTING OF TREES OR SHRUBS WITHIN AN EASEMENT DISTANCE OF 10 FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DULUTH BEACH CITY ENGINEER.



COMPOSITE UTILITY PLAN

REVISIONS

1	5/11/15	J.P.
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2 6/1/35 A.P.

8 8/11/75 J.P.

4	8/21/15	J.P.
---	---------	------

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WFLIGHTING.COM

Consider the impact!

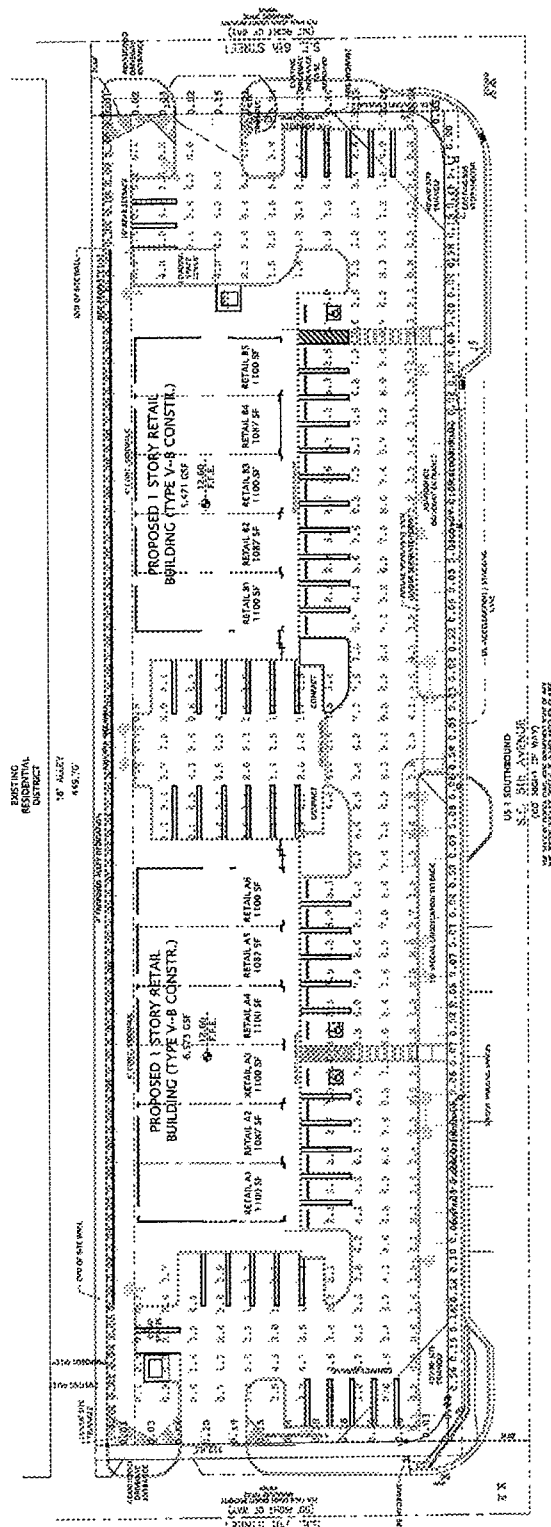
1148-EE9-008

SCALE: 1"=20'

DATE - 3/3/15

899901-57M

DELRAY RETAIL
DELRAY, FL



Sample	Age	Sex	Age	Sex	Age	Sex	Age	Sex	Age	Sex	Age	Sex
1	69	M	64	F	64	F	64	F	64	F	64	F
2	69	M	64	F	64	F	64	F	64	F	64	F
3	69	M	64	F	64	F	64	F	64	F	64	F
4	69	M	64	F	64	F	64	F	64	F	64	F
5	69	M	64	F	64	F	64	F	64	F	64	F
6	69	M	64	F	64	F	64	F	64	F	64	F
7	69	M	64	F	64	F	64	F	64	F	64	F
8	69	M	64	F	64	F	64	F	64	F	64	F
9	69	M	64	F	64	F	64	F	64	F	64	F
10	69	M	64	F	64	F	64	F	64	F	64	F
11	69	M	64	F	64	F	64	F	64	F	64	F
12	69	M	64	F	64	F	64	F	64	F	64	F
13	69	M	64	F	64	F	64	F	64	F	64	F
14	69	M	64	F	64	F	64	F	64	F	64	F
15	69	M	64	F	64	F	64	F	64	F	64	F
16	69	M	64	F	64	F	64	F	64	F	64	F
17	69	M	64	F	64	F	64	F	64	F	64	F
18	69	M	64	F	64	F	64	F	64	F	64	F
19	69	M	64	F	64	F	64	F	64	F	64	F
20	69	M	64	F	64	F	64	F	64	F	64	F
21	69	M	64	F	64	F	64	F	64	F	64	F
22	69	M	64	F	64	F	64	F	64	F	64	F
23	69	M	64	F	64	F	64	F	64	F	64	F
24	69	M	64	F	64	F	64	F	64	F	64	F
25	69	M	64	F	64	F	64	F	64	F	64	F
26	69	M	64	F	64	F	64	F	64	F	64	F
27	69	M	64	F	64	F	64	F	64	F	64	F
28	69	M	64	F	64	F	64	F	64	F	64	F
29	69	M	64	F	64	F	64	F	64	F	64	F
30	69	M	64	F	64	F	64	F	64	F	64	F
31	69	M	64	F	64	F	64	F	64	F	64	F
32	69	M	64	F	64	F	64	F	64	F	64	F
33	69	M	64	F	64	F	64	F	64	F	64	F
34	69	M	64	F	64	F	64	F	64	F	64	F
35	69	M	64	F	64	F	64	F	64	F	64	F
36	69	M	64	F	64	F	64	F	64	F	64	F
37	69	M	64	F	64	F	64	F	64	F	64	F
38	69	M	64	F	64	F	64	F	64	F	64	F
39	69	M	64	F	64	F	64	F	64	F	64	F
40	69	M	64	F	64	F	64	F	64	F	64	F
41	69	M	64	F	64	F	64	F	64	F	64	F
42	69	M	64	F	64	F	64	F	64	F	64	F
43	69	M	64	F	64	F	64	F	64	F	64	F
44	69	M	64	F	64	F	64	F	64	F	64	F
45	69	M	64	F	64	F	64	F	64	F	64	F
46	69	M	64	F	64	F	64	F	64	F	64	F
47	69	M	64	F	64	F	64	F	64	F	64	F
48	69	M	64	F	64	F	64	F	64	F	64	F
49	69	M	64	F	64	F	64	F	64	F	64	F
50	69	M	64	F	64	F	64	F	64	F	64	F
51	69	M	64	F	64	F	64	F	64	F	64	F
52	69	M	64	F	64	F	64	F	64	F	64	F
53	69	M	64	F	64	F	64	F	64	F	64	F
54	69	M	64	F	64	F	64	F	64	F	64	F
55	69	M	64	F	64	F	64	F	64	F	64	F
56	69	M	64	F	64	F	64	F	64	F	64	F
57	69	M	64	F	64	F	64	F	64	F	64	F
58	69	M	64	F	64	F	64	F	64	F	64	F
59	69	M	64	F	64	F	64	F	64	F	64	F
60	69	M	64	F	64	F	64	F	64	F	64	F
61	69	M	64	F	64	F	64	F	64	F	64	F
62	69	M	64	F	64	F	64	F	64	F	64	F
63	69	M	64	F	64	F	64	F	64	F	64	F
64	69	M	64	F	64	F	64	F	64	F	64	F
65	69	M	64	F	64	F	64	F	64	F	64	F
66	69	M	64	F	64	F	64	F	64	F	64	F
67	69	M	64	F	64	F	64	F	64	F	64	F
68	69	M	64	F	64	F	64	F	64	F	64	F
69	69	M	64	F	64	F	64	F	64	F	64	F
70	69	M	64	F	64	F	64	F	64	F	64	F
71	69	M	64	F	64	F	64	F	64	F	64	F
72	69	M	64	F	64	F	64	F	64	F	64	F
73	69	M	64	F	64	F	64	F	64	F	64	F
74	69	M	64	F	64	F	64	F	64	F	64	F
75	69	M	64	F	64	F	64	F	64	F	64	F
76	69	M	64	F	64	F	64	F	64	F	64	F
77	69	M	64	F	64	F	64	F	64	F	64	F
78	69	M	64	F	64	F	64	F	64	F	64	F
79	69	M	64	F	64	F	64	F	64	F	64	F
80	69	M	64	F	64	F	64	F	64	F	64	F
81	69	M	64	F	64	F	64	F	64	F	64	F
82	69	M	64	F	64	F	64	F	64	F	64	F
83	69	M	64	F	64	F	64	F	64	F	64	F
84	69	M	64	F	64	F	64	F	64	F	64	F
85	69	M	64	F	64	F	64	F	64	F	64	F
86	69	M	64	F	64	F	64	F	64	F	64	F
87	69	M	64	F	64	F	64	F	64	F	64	F
88	69	M	64	F	64	F	64	F	64	F	64	F
89	69	M	64	F	64	F	64	F	64	F	64	F
90	69	M	64	F	64	F	64	F	64	F	64	F
91	69	M	64	F	64	F	64	F	64	F	64	F
92	69	M	64	F	64	F	64	F	64	F	64	F
93	69	M	64	F	64	F	64	F	64	F	64	F
94	69	M	64	F	64	F	64	F	64	F	64	F
95	69	M	64	F	64	F	64	F	64	F	64	F
96	69	M	64	F	64	F	64	F	64	F	64	F
97	69	M	64	F	64	F	64	F	64	F	64	F
98	69	M	64	F	64	F	64	F	64	F	64	F
99	69	M	64	F	64	F	64	F	64	F	64	F
100	69	M	64	F	64	F	64	F	64	F	64	F

155555270	958660556	057100	01	055	000120	812000	0447	16	009	260700	20	1-008-445-2723		
95828804	057100	050000	057100	01	055	000120	812000	0447	16	009	260700	20	1-008-445-2723	
899505	0571	140000	340000	200	200	200	200	200	200	200	200	200	200	
155555270	958660556	057100	050000	057100	01	055	000120	812000	0447	16	009	260700	20	1-008-445-2723

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS, INCLUDING RECOMMENDED POSITIONS, THE DIMENSIONS OF THE LUMINAIRE, THE EFFECT OF THE LUMINAIRE ON THE VISIBILITY OF THE LAYOUT TO RESPOND TO FUTURE FLOOR RECONFIGURING.