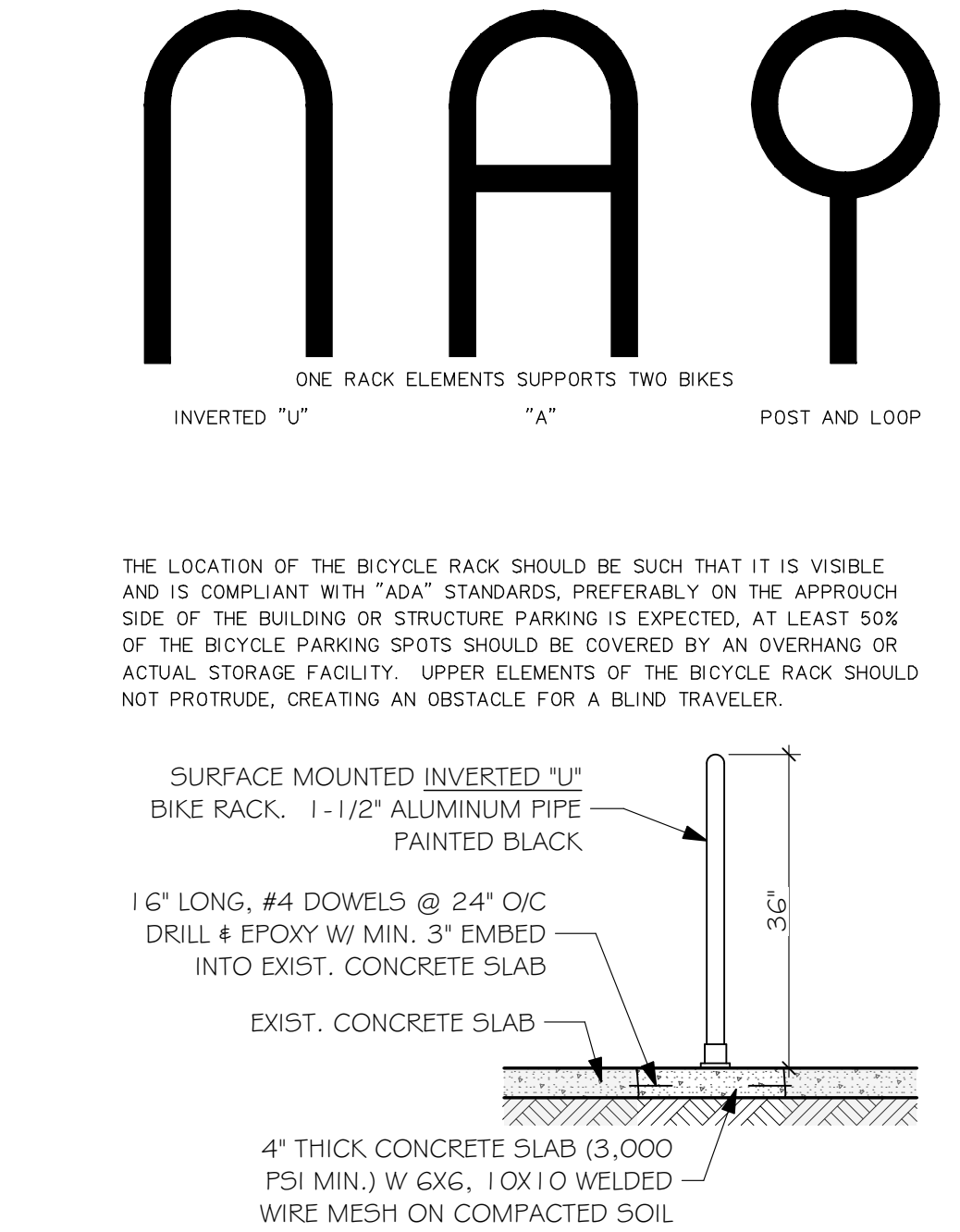
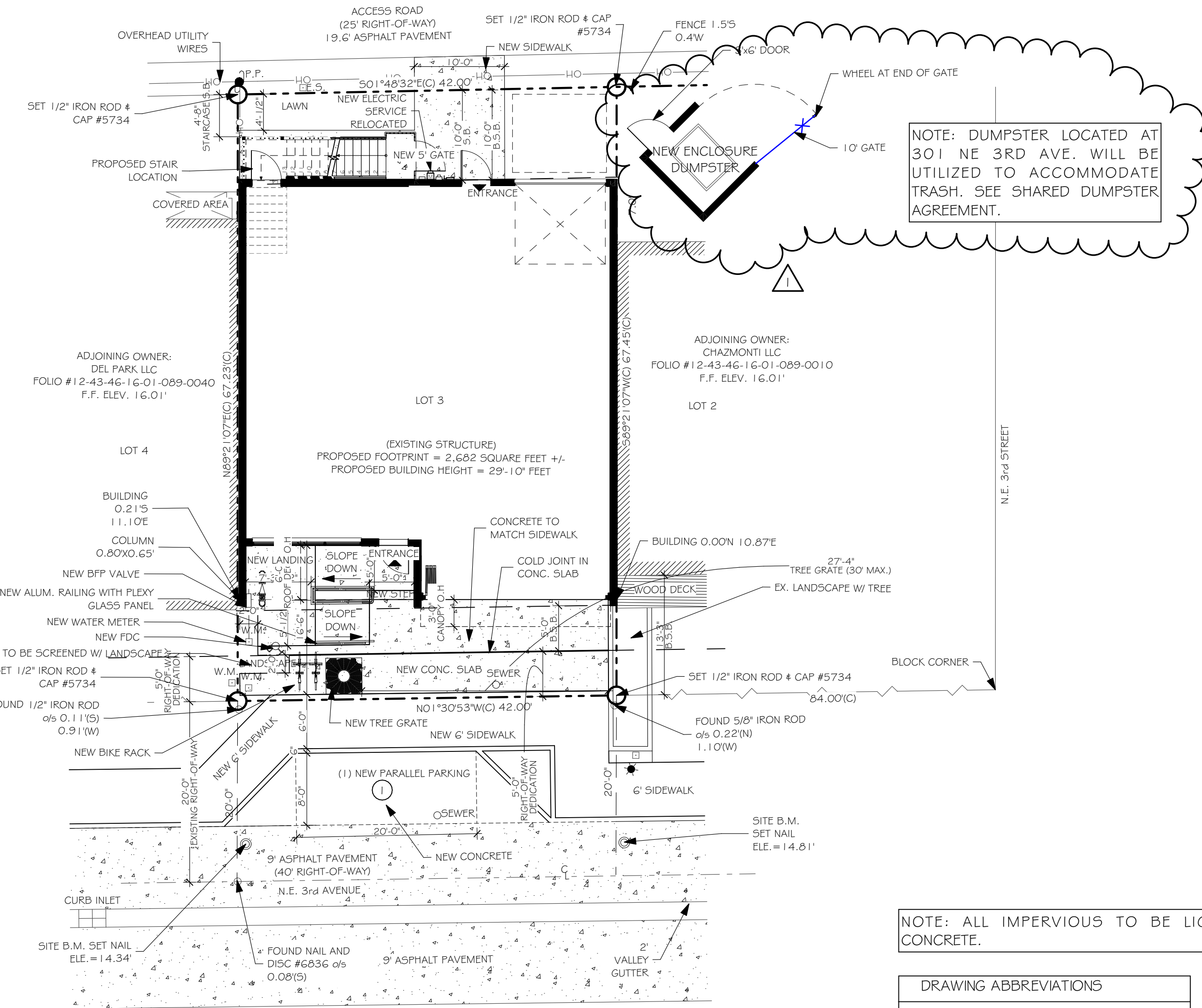


1 TYP. PARALLEL PARKING DTL.
SCALE: 1/8" = 1'-0"



2 BIKE RACK DTL.
SCALE: 1/2" = 1'-0"

NOTE:
1. WHERE ADJACENT SIDEWALK IS LESS THAN 14' WIDE, PARALLEL PARKING SPACES ARE REQUIRED TO BE LOCATED AT THE END OF THE BLOCK AND SHOULD NOT HAVE A CURB RAMP TO GET SOMEONE FROM THE ACCESSIBLE PARKING STALL TO THE SIDEWALK.
2. WHEN PARKING SPACE IS ADJACENT TO LANDSCAPE ISLAND, SPACE MAY BE REDUCED TO 20' FROM THE STANDARD 22' LENGTH.



NOTE: ALL IMPERVIOUS TO BE LIGHT COLOR CONCRETE.

DRAWING ABBREVIATIONS

| | |
|--------------|----------------------------|
| U.E. | UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| L.A.E. | LIMITED ACCESS EASEMENT |
| L.M.E. | LAKE MAINTENANCE EASEMENT |
| S.B. | SETBACK |
| B.S.B. | BUILDING SETBACK |
| PROP. B.S.B. | PROPOSED BUILDING SET BACK |
| E.O.W. | EDGE OF WATER |
| L.B.E. | LANDSCAPE BUFFER EASEMENT |
| R.O.W. | RIGHT OF WAY |
| CB. | CATCH BASIN |

NOTE: ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/CIVIL WORK AND/OR ANY SUCH DRAWINGS THAT ARE INSERTED INTO THIS SET AND/OR LACK THERE OF. THIS INCLUDES BUT IS NOT LIMITED TO THE PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE ADJUDICATING CITY OR A LICENSED CIVIL ENGINEER.

PROJECT DATA:

PROJECT DESCRIPTION:
THIS PROJECT IS AN INTERIOR REMODELING OF AN EXISTING VACANT SPACE IN THE ARTS DISTRICT OF DELRAY BEACH FLORIDA. WORK WILL INCLUDE A NEW INTERIOR LAYOUT FOR A NEW RESTAURANT, THE ADDITION OF A SECOND STORY WITH SAME ACTIVITIES, AND A FACADE RENOVATION.

PROJECT INFORMATION:
OWNER: BIG B INVESTMENTS LLC
ADDRESS: 319 NE 3RD AVE DELRAY BEACH, 33483
FOLIO: 12-43-46-16-01-089-0030
LEGAL: TOWN OF DELRAY LT 3 BLK 89
FLOOD: X

ZONING AND CODE INFORMATION:
ZONING: CBD-CENTRAL BUSINESS
OCCUPANCY: ASSEMBLY GROUP A-2
CONSTRUCTION TYPE: III B
CURRENT USE: 1700-OFFICE BLDG-NON MEDICAL 1 TO 3 STORIES
PROPOSED USE: BUSINESS-RESTAURANT

FLORIDA BUILDING CODE:
FBC-2020 BUILDING CODE, EX. BUILDINGS
FBC EC= FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
NEC= NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE
F5= FLORIDA STATUTES
FLORIDA FIRE PREVENTION CODE, 6TH EDITION
NFPA 101: LIFE SAFETY CODE 2018
ACCESSIBILITY CODE: 2018 FLORIDA ACCESSIBILITY CODE

BUILDING DATA:

| | |
|--------------------------|----------|
| BUILDING GROUND FLOOR: | 1,832 SF |
| PROPOSED OCC. ROOF DECK: | 850 SF |
| PROPOSED TOTAL SF: | 2,682 SF |

SITE/LAND DATA:

| | REQUIRED | EXISTING | PROPOSED |
|--|----------|----------------|----------------|
| TOTAL GROSS SITE AREA (2,827 SF (0.0648 ACRE)) | | | |
| FAR CALC.: | 3.0 MAX | .63 | .94 |
| MAX. NO. OF STORIES: | 4 | 1 | 2 |
| MAX. SITE COVERAGE(BLDG.): | N/A | 64% (1,808 SF) | 65% (1,832 SF) |
| HARDSCAPE (IMPERMEABLE W/ BLDG): | N/A | 87% (2,450 SF) | 84% (2,389 SF) |
| GREEN SPACE (PERMEABLE): | N/A | 13% (377 SF) | 16% (438 SF) |

SETBACKS:

| | REQUIRED | EXISTING | PROPOSED |
|-----------------------|-----------------------|----------|------------|
| FRONT: (WEST) | 10'-0" MIN/15'-0" MAX | 10' | 5' |
| REAR: (EAST) | 10'-0" MIN | 10' | 10' |
| SIDE: (NORTH) | 0'-0" | 0'-0" | 0' |
| SIDE: (SOUTH): | 0'-0" | 0'-0" | 0' |
| MAX. BUILDING HEIGHT: | 54'-0" | 12'-0" | 24'-9 1/4" |

* DUE TO 5' RIGHT OF WAY DEDICATION

PARKING DATA:

| | REQUIRED | EXISTING | PROPOSED |
|---|---------------------------|------------|---------------------------|
| RESTAURANT: | | | |
| FIRST FLOOR | 1,832 SF (6 SP/1000 sf) = | 11 SPACES | 5 SPACES |
| SECOND FLOOR | 850 SF (6 SP/1000 sf) = | 5 SPACES | 16 SPACES |
| (4) SPACES PROVIDED / EXISTING-CREDIT = | | - 4 SPACES | 12 SPACES REQUEST IN-LIEU |

IN-LIEU ALLOWANCE:
100% FOR CHANGE OF USE () = 11 SPACES (IN-LIEU)
30% FOR NEW AREA = 1 SPACE (IN-LIEU)
TOTAL = 12 SPACES MAX (IN-LIEU)

BICYCLE PARKING DATA:

| | REQUIRED | EXISTING | PROPOSED |
|--------------|----------|----------|----------|
| 1 SP/2500 sf | 1 | 0 | 2 |

WAIVER(*):

| | REQUIREMENT | REQUIRED | PROPOSED |
|----------------------|---------------------------------------|----------|----------|
| REAR SETBACK: (EAST) | Section 4.4.13(D)(2), Table 4.4.13(C) | 10' | 5' |

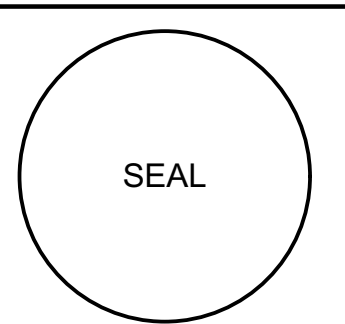
DEVELOPMENT STANDARDS PER LDR TABLE 4.4.13

| ZONE CBD | MIN. LOT SIZE (SF) | MIN LOT WIDTH (FT) | MIN LOT DEPTH (FT) | MAX LOT COVER (%) | MIN PERIMETER BUFFER (FT) | MIN OPEN SPACE (%) | (WEST) | | | (NORTH # SOUTH) | | | MAX BUILDING HEIGHT (FT) |
|----------|--------------------|--------------------|--------------------|-------------------|---------------------------|--------------------|------------------------|----------------------|---------------|-------------------|----------------|----------|--------------------------|
| | | | | | | | MIN FRONT SETBACK (FT) | MIN SIDE STREET (FT) | MIN SIDE (FT) | MIN REAR (FT) | MIN INTR. (FT) | MIN (FT) | |
| REQUIRED | 2,000 | 20' | NA | NA | NA | N/A | 10'-0" | 0'-0" | 0'-0" | 10'-0" | 54'-0" | | |
| PROVIDED | 2,827 | 42' EX | 67'-3" EX. | 72% | 0 | N/A | 5'-0" PROPOSED | N/A | 0'-0" EXIST. | (*)5'-0" PROPOSED | 29'-10" | | |

SITE PLAN
SCALE: 1" = 10'



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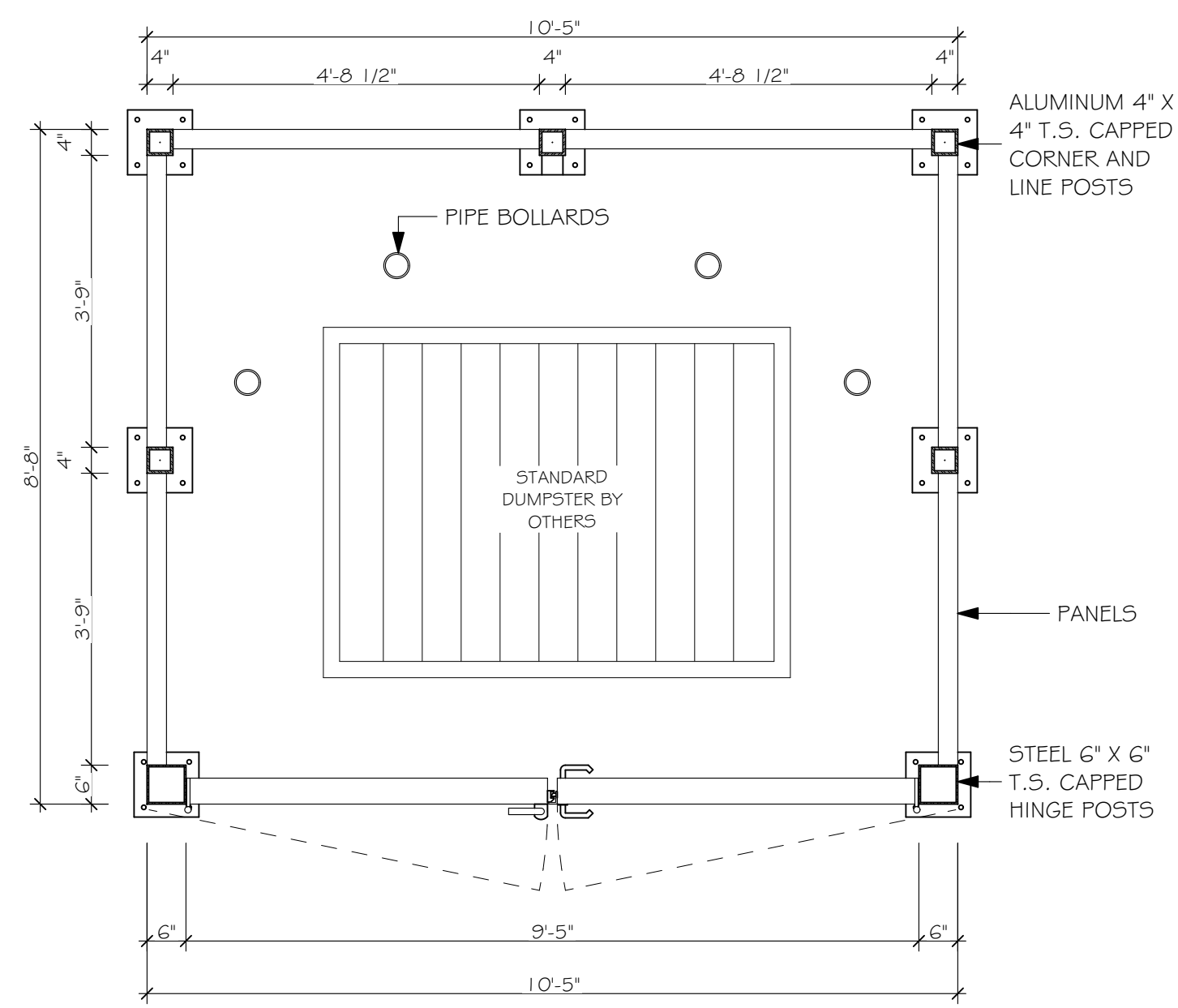
INTERIOR TENANT BUILD-OUT
319 RESTAURANT
319 NE 3RD AVE
DELRAY BEACH, FL 33483

CONSTRUCTION DOCUMENTS

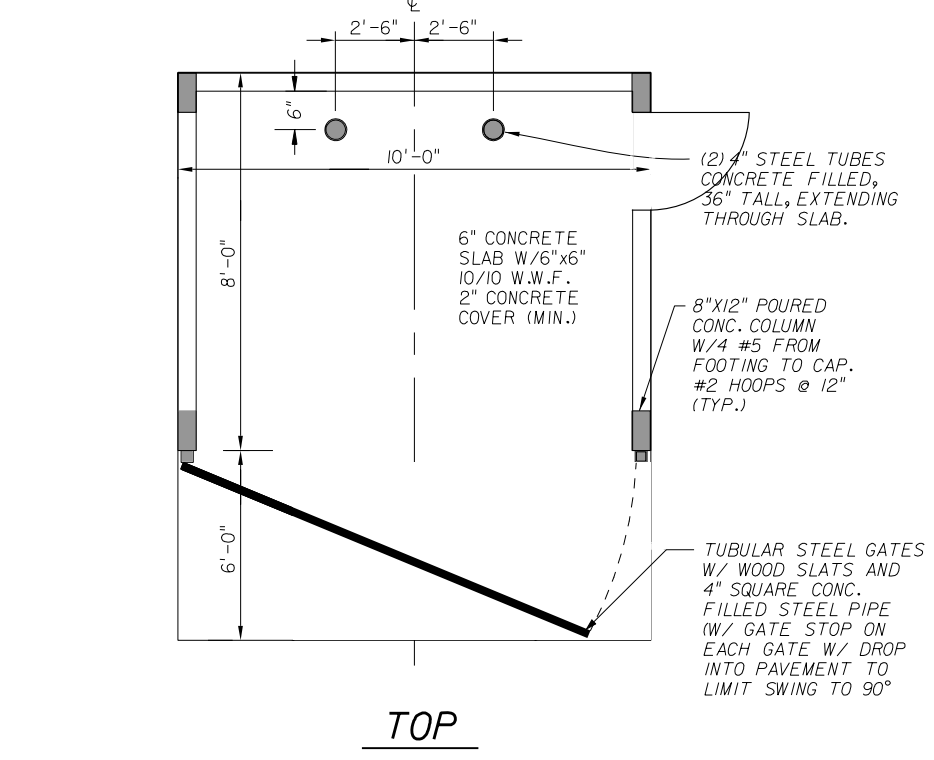
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DATE: 9.29.23
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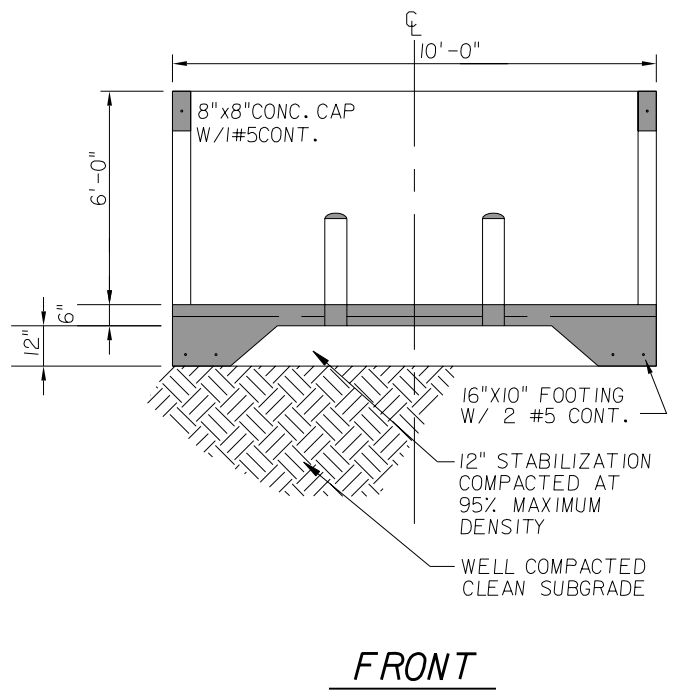
SITE PLAN
SP1.1



1 DUMPSTER DETAIL
SCALE: 1/2" = 1'-0"

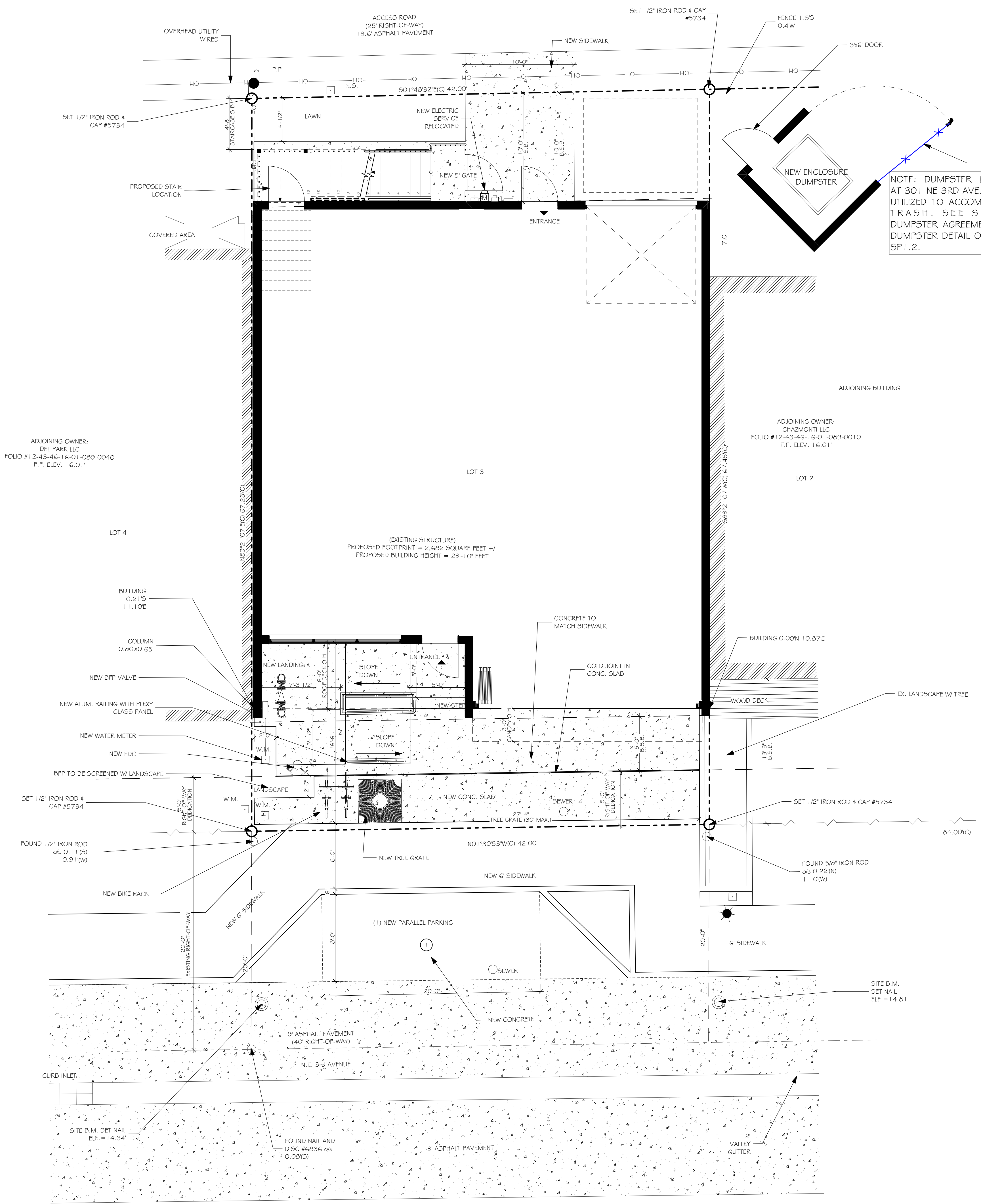


NOTE:
301 NE 3RD AVE. DUMPSTER ENCLOSURE TO BE COORDINATED W/ 302 NE 3RD AVE OWNER & 302 NE 3RD AVE TENANT.



- NOTES:**
- 1.) ALL REINFORCING STEEL SHALL BE GRADE 40 OR EQUAL.
 - 2.) SLAB LOCATION SHALL MEET REQUIREMENTS OF CITY OF BOCA RATON SANITATION DIVISION.
 - 3.) ENCLOSURE WALLS AND DOORS SHALL BE DESIGNED, CONSTRUCTED AND FINISHED PER C.A.D. CRITERIA.
 - 4.) TRUCK APPROACH SHALL HAVE 60000 LB. G.V.W. CAPACITY (MIN.).
 - 5.) WHEN THE DOORS ARE OPEN THE OBSTRUCTED ACCESS SHALL BE EQUAL TO THE INSIDE WIDTH OF THE ENCLOSURE. NO FRAMING, HINGES OR OTHER ITEMS SHALL ENCRUCH ON THIS OPENING.
 - 6.) ACCESS DOORS SHALL BE HUNG ON ENDS OF ENCLOSURE WALLS.
 - 7.) CONCRETE STOPS SHALL BE USED WITH CITY SERVICE AND APPROVED 2 C.Y.

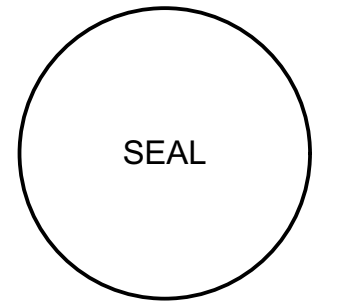
DUMPSTER ENCLOSURE
NOT TO SCALE 301 NE 3RD AVE. DUMPSTER ENCLOSURE



SITE PLAN
SCALE: 1" = 5'



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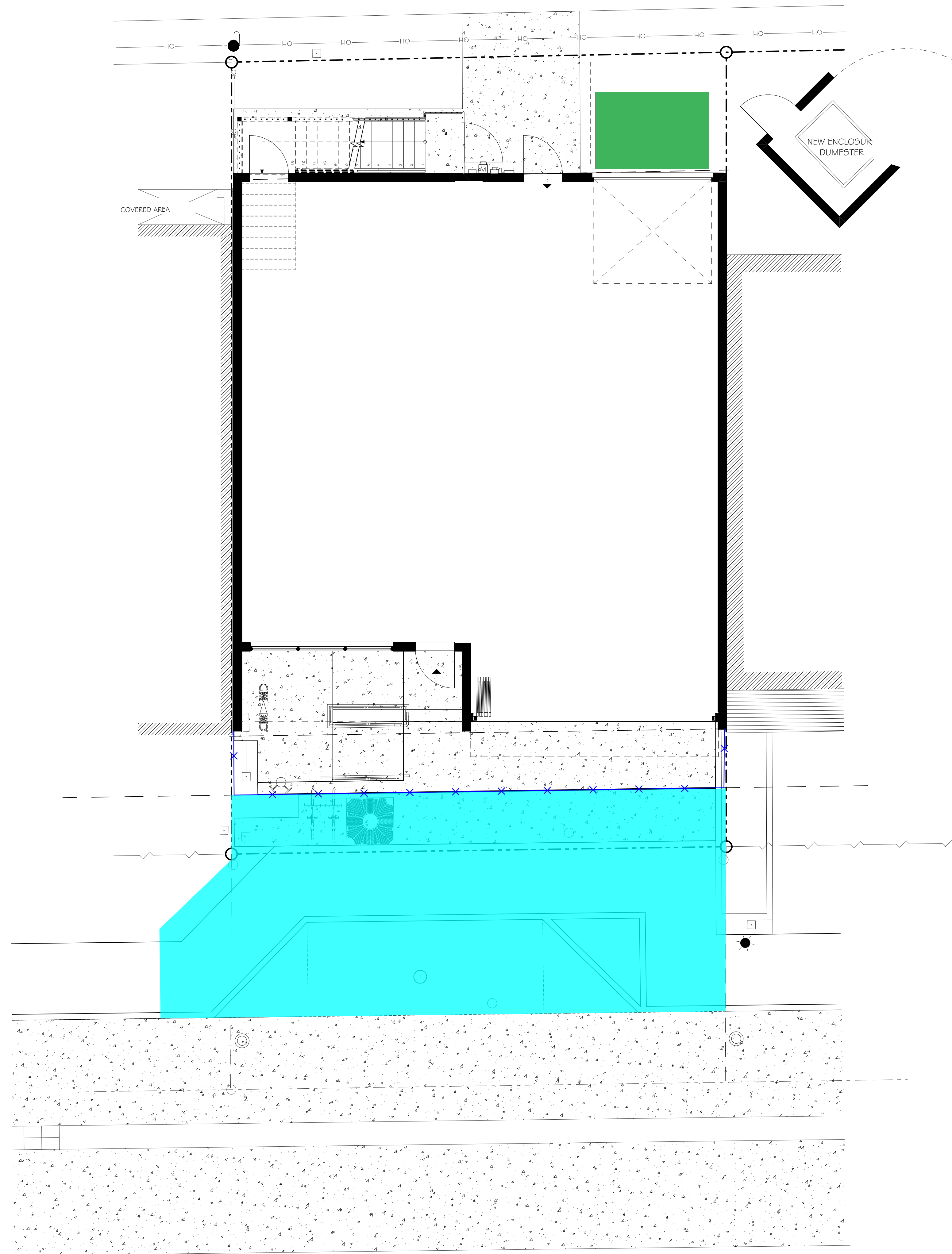
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REVISIONS:

ENLARGED SITE PLAN

SP1.2

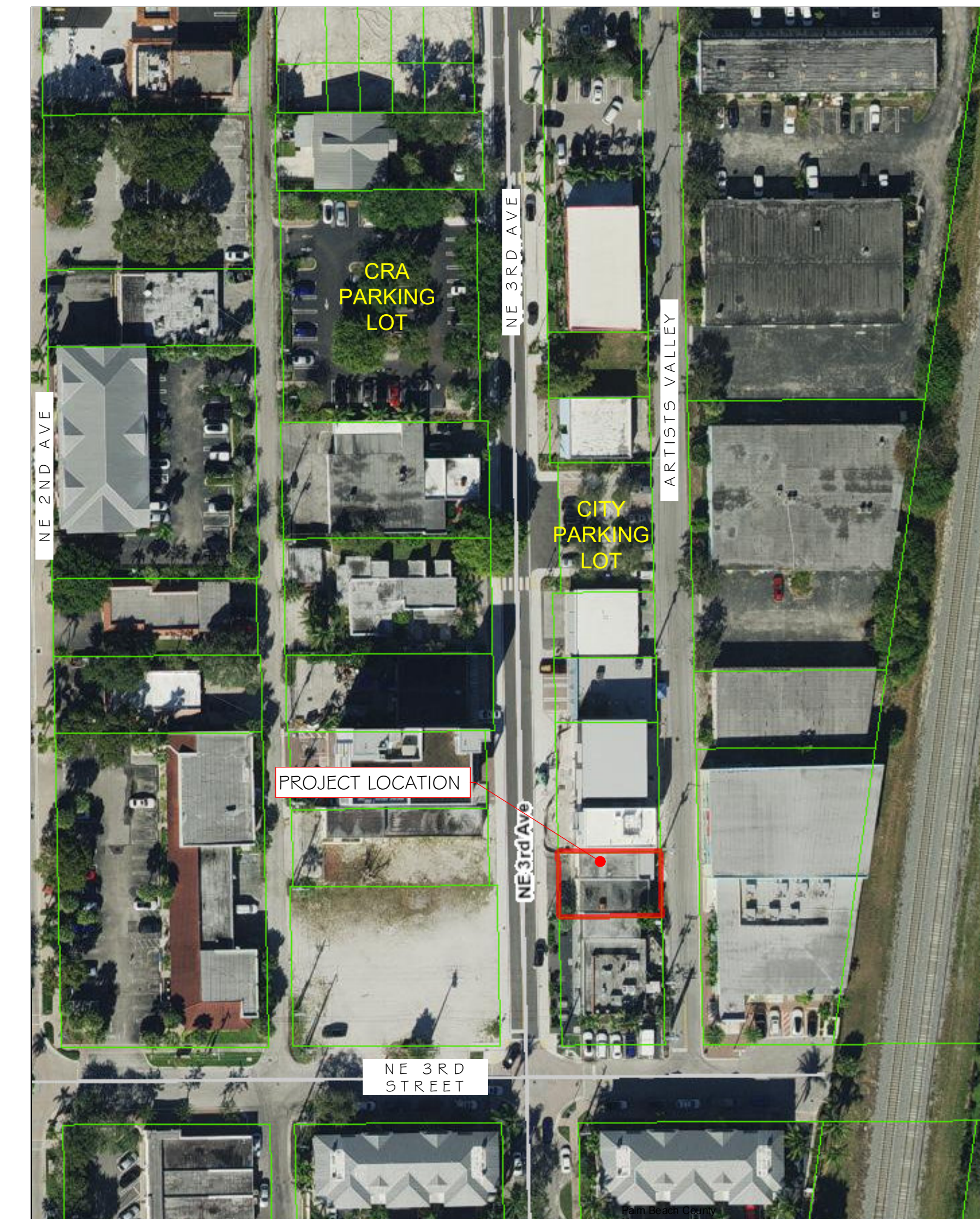


PRELIMINARY STAGING PLAN
SCALE: 1" = 5'

PARKING LOCATION MAP:

SCALE: NTS

319 NE 3rd Ave-12434616010890030



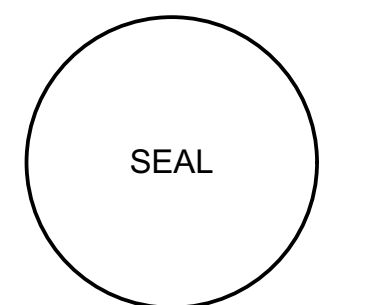
November 10, 2023



1:1,128
0 0.0075 0.015 0.03 mi
0 0.015 0.03 0.06 km



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DATE: 9.29.23
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PRELIMINARY STAGING PLAN
SP1.3

- LEGEND:
- CONSTRUCTION FENCE
 - CONSTRUCTION DUMPSTER
 - TEMPORARY ROW CONSTRUCTION OF PUBLIC IMPROVEMENTS- PARKING, SIDEWALK, CURB ZONE. ADDITIONAL DETAILS AND NOT TO BE PROVIDED WITH BUILDING PERMIT SUBMITTAL.

1. TEMPORARY CONSTRUCTION PARKING: CRA PARKING LOT (362 NE 3rd Ave) AND CITY PARKING LOT (353 NE 3rd Ave) JUST NORTH OF THE PROPERTY
2. CONSTRUCTION MATERIALS TO BE DELIVERED AS NEEDED AND STORED IN THE BUILDING IF NECESSARY