



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Place South
Project Location: 1911 South Federal Highway
Request: Class III Site Plan Modification
Board: Site Plan Review and Appearance Board
Meeting Date: August 14, 2019

Board Action:

Approved (4-2 Patton & Brewer in opposition, Purdo Absent) the Class III Site Plan Modification subject to the condition that pedestrian safety measures be provided for the Eve Street crossing, per the direction of the City Engineer.

Project Description:

The subject property is located on the east side of South Federal Highway, between Eve Street and Tropic Boulevard. The site measures 1.78 Acres (77,430 sq. ft.) and is zoned Planned Commercial (PC) with a General Commercial (GC) Future Land Use Map (FLUM) designation. The shopping plaza was built in 1977 as Gateway Shopping Center.

The Class III Site Plan Modification includes the demolition of a portion of the existing shopping plaza and construction of building addition, both at the northeast corner of property. The modification will allow for a driveway connection to Eve Street. The modification also includes outdoor dining areas and building façade improvements.

Board Comments:

The majority of the Board member's comments were supportive.

Public Comments:

Numerous members of the public spoke for and against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: August 14, 2019

File No.: 2019-121-SPM-SPR-CL3

Application Type: Class III Site Plan Modification

General Data:

Applicant/Owner: Delray Place, LLC
Agent: Dunay, Miskel, Backman, & Blattner, LLP
Location: 1911 South Federal Highway
PCN: 12-43-46-28-06-001-0010
Property Size: 1.78 Acres
FLUM: GC (General Commercial)
Zoning: PC (Planned Commercial)

Adjacent Zoning:

- SAD (Special Activities District)(North)
- AC (Automotive Commercial) (South)
- RM (East)
- AC (West)

Existing Land Use: Commercial (Delray Place South Shopping Center)

Proposed Land Use: Commercial (Delray Place South Shopping Center)

Item before the Board:

Consideration of a Class III Site Plan for Delray Place South, pursuant to Land Development Regulations (LDR) Section 2.4.5(G). This application includes:

- Site Plan Modification
- Landscape Plan
- Architectural Elevations



Alternative Actions:

- A. Move **postponement** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by electing to continue with direction.
- B. Move **approval** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Sections 2.4.5(G), 4.6.9(F)(1), 4.6.16, 4.6.18 and Chapter 3 of the Land Development Regulations.
- C. Move **denial** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Sections 2.4.5(G), 4.6.9(F)(1), 4.6.16, 4.6.18 and Chapter 3 of the Land Development Regulations.

Notes:

1. Revise the plans to include raised speed tables along the north/south drive aisle prior to site plan certification.

Project Planner:

Scott Pape, Principal Planner;
pape@mydelraybeach.com,
561-243-7321

Review Dates:

SPRAB Board:
August 14, 2019

Attachments:

1. Site Plans
2. Architectural Elevations
3. Landscape Plans



Project Assessment

The item before the Board is for consideration of a Class III Site Plan Modification request for Delray Place South which includes a Site Plan, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request. The proposed redevelopment of the existing Delray Place South (fka Tropic Square) is consistent with the South Federal Highway Redevelopment Plan which calls for shopping centers for PC-zoned properties along US1, as well as, architectural and aesthetic improvements for the South Federal Highway Corridor.

Background:

The subject property is located on the east side of South Federal Highway, between Eve Street and Tropic Boulevard. The site measures 1.78 Acres (77,430 sq. ft.) and is zoned Planned Commercial (PC) with a General Commercial (GC) Future Land Use Map (FLUM) designation. The shopping plaza was built in 1977 as Gateway Shopping Center.

On August 16, 2000, the Site Plan Review and Appearance Board (SPRAB) approved minor site plan modifications and architectural elevation changes for the subject property. At its meeting of May 1, 2001, the SPRAB approved another site plan modification which included construction of two towers with a cupola along the front façades of the two existing buildings, installation of new canvas awnings over each door along the rear of the two buildings, and landscaping upgrades throughout the property.

At its meeting of October 26, 2016, the SPRAB considered a Class III Site Plan Modification for the demolition of a portion of the existing commercial center and provision of a driveway to Eve Street. The SPRAB approved the following items associated with the application:

1. Special Landscape Area waiver
2. Landscape Island Shade Tree waiver
3. Landscape Plan
4. Architectural Elevations

At this meeting, the SPRAB denied the following items associated with the Class III Site Plan Modification:

1. Special Action Parking Reduction
2. Site Plan Modification

Without the approval of the site plan modification and Special Action Parking Reduction, the application was deemed disapproved.

Now before the Board for consideration is a Class III Site Plan Modification, Landscape Plan and Architectural Elevations associated with the redevelopment of a shopping center known as Delray Place South (fka Tropic Square), including but not limited to partial demolition of the site, construction of a new building addition, reconfiguration of the existing parking lot, landscaping upgrades and provision of additional parking and outdoor dining areas.

Project Description:

The development proposal consists of the following:

- Demolition of 2,904 square feet of building area.
- Construction of a 2,860 square foot building addition.
- Addition of 1,651 square feet of outdoor dining area.
- Elimination of 12 parking spaces due to the building addition and demolition.
- Construction of 14 new parking spaces on-site and on-street within Eve Street.
- Façade improvements to the buildings.
- Associated landscape improvements.



Site Plan Analysis:

Compliance with The Land Development Regulations (LDR):

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request

LDR Section 4.3.4(K) Development Standards Matrix – Nonresidential Zoning Districts:

Please note the Land Development Regulations (LDR) Section 4.3.4 – as it pertains to the PC (Planned Commercial) zoning districts:

		Standard	Provided
Open Space		25%	19%*
Minimum Setback	North	10' (Side Street)	15' 1"
	South	10' (Side Street)	6'*
	East	10' (Rear)	10'
	West	10' (Front)	7' 2"*
Maximum Building Height		48'	24' 6"
Minimum Lot Frontage		50'	835.8'
Minimum Lot Width		100'	281.81'
Minimum Lot Depth		50'	271.78'
Minimum Lot Area		0.23 acres	1.77 acres

*Existing non-conformity.

LDR Section 4.6 - Supplemental District Regulations:

Lighting:

The applicant has submitted a photometric plan that demonstrates compliance with LDR Section 4.6.8.

Dumpsters:

Per 4.6.16(H)(3)(n) all dumpster and refuse areas shall be screened. The dumpster shall be screened on three (3) sides and shall have vision obscuring gates on the fourth side. The proposed dumpster enclosure area is proposed to be screened by a wall on three sides and vision obscuring door on the front. The existing dumpster will be removed and replaced with a trash compactor and roll out bins. The provisions for trash collection satisfy the requirements of the LDRs.

SPECIAL ACTION PARKING REDUCTION

LDR ARTICLE 4.6 - SUPPLEMENTAL DISTRICT REGULATIONS

LDR Section 4.6.9(C)(3) Requirements For Commercial Uses:

(e) **Shopping Centers**: Spaces required based upon size of center per gross leasable floor area, irrespective of uses:

According to LDR Section 4.6.9(C)(3)(e), shopping centers are required 4 spaces per 1,000 sq. ft. of gross leasable floor area, irrespective of uses, for centers with 25,000 sq. ft. up to 400,000 sq. ft. The existing Tropic Square has a total of 22,089 sq. ft. of leasable floor area. Thus, it does not meet the minimum square footage for a shopping center for purposes of the reduced parking rate. In such case, parking is typically determined by the allocation of uses. As part of the 2016 Class III Site Plan



Modification, the applicant provided a use list with square footages that indicated 209 parking spaces are required based on the individual uses.

With the current site plan modification request, the applicant has submitted the attached vested parking rights statement. The position of the applicant is that the shopping center has a vested parking ratio of four parking spaces per 1,000 square feet of retail space. Based on the proposed modification, the required parking for the 22,045 square foot center would be 88 parking spaces ($22,045/1,000 \times 4 = 88$ spaces). The applicant indicates that additional parking spaces are not required for the new 1,651 square feet of outdoor dining area. However, per LDR Section 4.6.9(B)(1)(c), parking is required for the addition or enlargement of a use. Therefore, the 1,651 square feet of outdoor dining area would require an additional 7 parking spaces at 4:1,000 for a total of 95 parking spaces. (It is noted that the outdoor dining area would require an additional 20 parking spaces if calculated at the standard restaurant parking calculation noted above for a total of 229 required parking spaces).

Based on the above, the shopping center is 5 spaces deficient per the applicant's methodology and 139 spaces deficient based on the City's standard parking calculation.

LDR Section 4.6.9(F)(1) - Reduction Allowed:

Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when **upon receipt and acceptance of special documentation** it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant has submitted a Parking Utilization Study from a traffic engineer as the special documentation to support the reduced parking request for the plaza. The study concludes that an appropriate parking ratio of 3.3 parking spaces per 1,000 square feet of use area is appropriate for this plaza. Based on this ratio, 78 parking spaces are necessary for this plaza and 90 spaces are provided.

Landscape Analysis

A landscape plan has been submitted and evaluated by the City's Senior Landscape Planner. The changes to the approved landscape plan occur on the north and south sides of the building due to the reconfiguration of the landscape islands. The modification is minor and does not significantly impact the aesthetics of the development and continues to comply with the landscape requirements.

Architectural Elevations and Aesthetics

Pursuant to **LDR Section 4.6.18(E), Criteria for Board Action**, the following criteria shall be considered, by the SPRAB, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- 1) The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal includes building elevation changes to the plaza. The changes include removal of the existing tower features and decorative parapets. These will be replaced with new tower features and decorative parapets. The columns will be finished with Coronado stone veneer. The storefront glass will be replaced with new impact resistant windows. The elevations also include new decorative wall sconces. The eclectic architectural approach is similar to the Delray Place shopping center at the southeast corner of Federal Highway and Linton Boulevard. The color scheme includes eight different shades that are primarily earth tone with the exception of a blue. The proposed elevation changes will provide an updated improved image to the plaza. Based on the above, a positive finding with respect to LDR Section 4.6.18(E) is made.



INFRASTRUCTURE IMPROVEMENT ANALYSIS

Eve Street Access:

An extensive review has been performed for the Delray Place North and South shopping centers addressing the potential impacts of modifying the Delray Place South configuration to allow for cross access between sites. The positive and negative ramifications of the proposed cross access connection are summarized below:

Advantage of Cross Access Connection:

- Generally, cross access is encouraged and considered “good practice” by planners and engineers.
- Relieves traffic; particularly, the westbound left turn movement on Linton Boulevard at Federal Highway.
- Reduces traffic at the two Linton Boulevard driveways at Delray Place North which has limited driveway reservoir for stacking and circulation.

Disadvantage of Cross Access Connection:

- Increase traffic and vehicular delay for Tropic Boulevard. The overall intersection operations will be impacted as well. However, the increase in traffic can be mitigated to acceptable Levels of Service through signal timing improvements.
- As opposed to the previous proposal, the current proposal does not include dual left turn lanes westbound along Tropic Boulevard. These dual left turn lanes would have increased vehicle queueing on Tropic Boulevard and improve turning operations onto Federal Highway. The elimination of the dual turn lanes will increase stacking and negatively impact this intersection.

SOUTH FEDERAL HIGHWAY REDEVELOPMENT PLAN

The South Federal Highway Redevelopment Plan creates a framework for the future redevelopment of US1 along the south corridor in Delray Beach. The Redevelopment Area includes the commercial property along both sides of South Federal Highway, between Linton Boulevard on the north and the City Limits to the south. The purpose of this plan is to guide and promote the future redevelopment of the area. The Plan, which was developed by the City of Delray Beach Development Services Department, was adopted by the City Commission on September 20, 2012. The adopted Plan supports the following applicable initiatives relative to the proposed development:

Proposed Delray Place South:

- Reduces the special landscape setback along South Federal Highway to create an urban edge with a more pedestrian-friendly environment
- Provides architectural elevation and façade improvements which have variations in rooflines, building materials and a clear indication of entryways
- Figure 2.5 identifies the existing Tropic Square as one of the preferred General Commercial uses (i.e. shopping centers) on the east side of South Federal Highway
- Planned Commercial (PC) zoning uses are preferred to be in high visibility areas and attractively developed
- Figure 3-1, indicates that due to its close proximity to Interstate 95 and the Linton Boulevard interchange, the redevelopment area is a prime location for destination shopping for goods and services

As such, the proposed Delray Place South is consistent with the South Federal Highway Redevelopment Plan and associated aspects of the Comprehensive Plan.



REQUIRED FINDINGS

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

Section 3.1.1(B) - Concurrency:

As described in Appendix “A”, a positive finding of concurrency can be made as it relates to water, sewer, drainage, parks and recreation, solid waste, and traffic.

Section 3.1.1(C) - Consistency (Standards for Site Plan Actions):

As described in Appendix “B”, a positive finding of consistency can be made as it relates to development standards for site plan actions, upon Board approval of the requested waiver and associated conditions of approval.

Section 3.1.1(D) - Compliance With the Land Development Regulations:

As described under the “Site Plan Analysis” of this report, a positive finding of compliance with the LDRs can be made, when the outstanding note is addressed.

Section 2.4.5(F)(5) - Required Findings:

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>
<i>North</i>	Special Activities District (SAD)	Delray Place North
<i>East</i>	Multi-Family Residential (RM)	Multi-Family Dwellings
<i>South</i>	Automotive Commercial (AC)	Grieco Mazda Auto Dealership
<i>West</i>	Automotive Commercial (AC)	Delray Lincoln Mercury Auto Dealership

The proposed Delray Place South shopping center is consistent with the PC Zoning district uses which allow all retail uses permitted with the General Commercial (GC) zoning district. To the north is Delray Place North shopping plaza, which is zoned (SAD). The architectural elevations of proposed Delray Place South have been designed to be compatible with this adjacent property. To the south is Grieco Mazda Automotive Dealership which has existed for decades with no incompatibility issues. To the west, across South Federal Highway, is the Delray Lincoln Mercury Auto Dealership, which has also existed for years with no incompatibility issues. To the east, across the existing alley are multi-family residential buildings zoned RM (Multi-Family Residential). Since the use of the existing Tropic Square has existed over 30 years, the shopping center use is not incompatible.



However, it should be noted that residents have concerns about improvements to allow through access from Tropic Boulevard to Eve Street. To assist in mitigating these concerns, staff is requesting that the applicant provide traffic calming devices (i.e. speed bumps) along the new two-way interior drive aisle to discourage cut-through and also reduce speeds interior to the plaza for the safety of their patrons and this is added as a note. Whereas the existing Tropic Square shopping plaza has coexisted adjacent to the existing uses, no adverse effect is anticipated. The subject site contains an existing shopping plaza, thus, the proposed redevelopment of the shopping plaza will be a continuation of the current use of the site. With the provision of traffic calming devices along the interior drive aisle connector, potential adverse impacts can be mitigated. As such, positive findings can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties, subject to raised tables for traffic calming devices to discourage cut-through from Tropic Boulevard to Eve Street and maintain safe vehicle speeds.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property is proposed to be developed consistent with the PC zoning designation. The property is included in the South Federal Highway Redevelopment Plan. Redevelopment of the existing Tropic Square as “Delray Place South” meets the original vision for the area for revitalization of the US1 corridor with the provision of shopping centers with aesthetic appeal.

Transportation Element Policy A-1.3: The City endorses the continued operations of the Palm Tran Transit System and its operations in Delray Beach, and through policies of this Element related to the TCEA, will coordinate with Palm Tran to improve the system.

Studies have shown that the provision of bus shelters to protect riders from the elements leads to increased utilization and mitigates negative impacts to adjacent properties. The location of an existing bus shelter is not graphically shown along the South Federal Highway property frontage. The applicant has submitted a letter from Palm Tran that indicates a bus shelter is not necessary at the subject property. However, a bus stop is provided along Federal Highway.

Transportation Element Objective A-6: The City's Land Development Regulations shall continue to provide standards which insure that new development and redevelopment mitigate adverse situations and/or provide for functionally safe traffic movements.

Transportation Element Policy A-6.1: The Land Development Regulations shall maintain consistent standards for, but not limited to, the following:

- Location and design of driveway access and on-site circulation;
 - The development proposes a new curb cut along Eve Street and a new 24 foot wide two-way interior drive aisle connector between the two roads. It should be noted that when compared to the existing survey, the proposed improvements do not appear to be necessary for the purpose of improving on-site circulation. There are already two ingress and egress points along South Federal Highway and one ingress and egress point along Tropic Boulevard. With three existing access points for vehicular traffic, a fourth one along Eve Street is not necessary, but rather voluntary. It should also be noted that the intent is to connect the proposed “Delray Place South” to the existing “Delray Place North” shopping center north of Eve Street at the southeast corner of US1 and Linton Boulevard.

- Width and location of curb cuts;
 - It is noted that the distance between the curb cuts is consistent with the LDR requirement that curb cuts within the same parcel boundaries must be placed with a minimum at twenty-five foot separation distance.



- ❑ Radii of curves and criteria for locations where driveways or private streets may intersect on curves;
 - The radii of the curves have been provided for entering the site from Eve Street, as well as, turning movements onto Tropic Boulevard from US1 traveling into the shopping center. These movements have been deemed satisfactory by the City Engineering Department, Fire Department and the Palm Beach County Traffic Division.

Review by Others:

The development proposal is not located within a geographical area requiring review by the PGMS (Pineapple Grove Main Street), WARC (West Atlantic Development Coalition), HPB (Historic Preservation Board), CRA (Community Redevelopment Agency) or the DDA (Downtown Development Authority).

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations that have requested notice of developments in their areas:

- Domaine Delray
- Linton Woods
- Tropic Isle
- Harbour's Edge
- Pelican Pointe
- Tropic Harbor
- Tropic Bay
- Pelican Harbor
- Harbourside
- Banyan Tree
- Ronald Kolins

Public Notices:

No public notice is required for Class III Site Plan Modification applications. Letters of objection, if any, will be presented at the SPRAB meeting.



Appendix “A” – Concurrency Findings

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water and sewer services are adequately provided to the site and will remain as the proposed redeveloped results in reduction in floor area.

Streets and Traffic: The traffic analysis report for the proposed use indicates a net decrease of four trips per day. The proposal has been reviewed by Palm Beach County Traffic Engineering and determined that it meets the Traffic Performance Standards of Palm Beach County. Therefore, a positive finding can be made.

Parks and Recreation Facilities: It is noted that the park impact fee is not applicable to the subject request as it does not include a residential component.

Solid Waste: The change in use will not significantly change the solid waste generation. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2047.

Drainage: Drainage will not be affected by the proposed modification.

APPENDIX “B” - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
 - Not applicable
 - Meets intent of standard
 - Does not meet intent

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
 - Not applicable
 - Meets intent of standard



Does not meet intent

F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

- Not applicable
- Meets intent of standard
- Does not meet intent

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

- Not applicable
- Meets intent of standard
- Does not meet intent

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

- Not applicable
- Meets intent of standard
- Does not meet intent

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

- Not applicable
- Meets intent of standard
- Does not meet intent

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

- Not applicable
- Meets intent of standard
- Does not meet intent



May 29, 2019

Palm Tran

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**Palm Beach County
Board of County
Commissioners**

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Dave Kerner, Vice Mayor

Hal R. Valeche

Gregg K. Weiss

Robert S. Weinroth

Mary Lou Berger

Melissa McKinlay

County Administrator

Verdenia C. Baker

*"An Equal Opportunity
Affirmative Action Employer"*

Scott Pape, Principal Planner

Sent Via Email: pape@mydelraybeach.com

Delray Beach Planning and Zoning

100 NW 1ST Avenue

Delray Beach, FL 33444

RE: Bus Stop Sign Relocation approved by Palm Tran for proposed redevelopment of Delray Place South f/k/a Tropic Square located at the Northeast Corner of Federal Highway & Tropic Blvd, in the City of Delray Beach, Palm Beach County, Florida

Dear Scott:

I have worked thru the details of our Palm Tran requirements with the property owner, and Palm Tran approves the re-location of the existing bus stop sign located next to the Pylon Sign on Federal Highway to a new location in front of the Fed Ex Office on Federal Highway, as shown on the attached site plan.

Palm Tran approves of this new bus stop sign re-location, with the property owner installing a two-foot-wide by five-foot-long, concrete pad of 6 inch thickness, contiguous with the existing sidewalk and with a bench thereon, and as outlined on the attached site plan.

Palm Tran does not require any additional type of bus shelter and/or any other type of additional bus related items.

Please e-mail and/or call me with any questions and/or comments.

Sincerely,

Steve Anderson, AICP

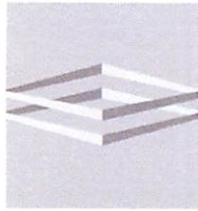
Director of Transit Planning

Palm Tran

Palm Beach County Board of Commissioners

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June 17, 2019

Tim Stillings, AICP, Director
Sent Via Email To: stillings@mydelraybeach.com
Planning and Zoning Department
City of Delray Beach
100 NW 1st Avenue
Delray Beach, FL 33444

Re: Determination of Existing Vested Parking Rights and Parking Requirements for Redevelopment of Delray Place South, Delray Beach, Florida

Dear Mr. Stillings:

As you know and as discussed during our recent meeting, this law firm represents Delray Place, LLC ("Petitioner"), the owner of the +/- 1.78-acre property located at 1911 South Federal Highway ("Property"), which is generally located on the east side of South Federal Highway between Eve Street and Tropic Boulevard within the City of Delray Beach ("City") in matters concerning the development of the Property.

As background, the Property is comprised of one (1) parcel identified by Property Control Number 12-43-46-28-06-001-0010, is designated GC, General Commercial, on the City's Future Land Use Map, and is located within the PC, Planned Commercial, zoning district. The Property is located in a predominantly commercial area and was developed as a +/- 22,089 square foot shopping center comprised of three (3) buildings ("Shopping Center") – a +/- 9,539 square foot building located along the northern property line ("Building 1"), a +/- 10,554 square foot building located along the eastern property line ("Building 2"), and a +/- 1,996 square foot building located in the southwest corner of the Property ("Building 3") and was originally approved and built in 1977 as the Gateway Shopping Center.

In accordance with the original Shopping Center approval and regulations in effect at the time, the Property provided parking for the existing Shopping Center use consistent at the City's Shopping Center parking rate, which required 4 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor dining areas ("Existing Shopping Center Parking Ratio").

The Shopping Center is in need of redevelopment and revitalization and is specifically identified as such in the South Federal Highway Redevelopment Plan, which was adopted by the City Commission on September 20, 2012. In order to stimulate activity in the Shopping Center and economic growth within the City, Petitioner proposes to redevelop the Shopping Center by amending the site plan to demolish +/- 2,898

square feet from the eastern portion of Building 1 and to add +/- 2,860 square feet to the north side of Building 2 ("Addition"), resulting in a net reduction of +/- 44 square feet for a new total building area of +/- 22,045 square feet within the Shopping Center ("Project").

Considering that the Shopping Center Parking Ratio is irrespective of uses and is based on gross leasable area, which does not require additional parking for outdoor dining areas, the existing parking requirement for the Shopping Center is eighty-eight (88) parking spaces regardless of the mix of uses for the existing building area, and as such the eighty nine (89) parking spaces currently provided satisfy the parking code requirements.

Section 4.6.9(B)(1), Applicability of Off-Street Parking Regulations, requires off-street parking facilities in the following situations:

- (a) For any new building constructed;
- (b) For any new category of use established including a new conditional use;
- (c) For any addition or enlargement of an existing building or use;
- (d) For any change in the occupancy of an existing building or the manner in which a use is conducted that would result in additional parking spaces being required.

Section 4.6.9(B)(2) states: "For items (c) and (d) from above, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval associated with the approval of the addition, enlargement, or change."

Pursuant to the off-street parking code regulations detailed above, which explicitly state that additional parking spaces shall only be required for addition, enlargement, or change and not for the entire building or use, the parking code requires that the existing +/- 19,191 square feet (22,089 square feet existing less 2,898 square feet to be demolished) of Shopping Center use that remains unaffected shall continue to be assessed utilizing the Existing Shopping Center Parking Ratio, irrespective of uses and not including outdoor dining areas that are not classified as gross leasable area. As such, the parking requirement for the Shopping Center building areas that are not being relocated and their related outdoor dining areas is seventy-seven (77) parking spaces (19,191 square feet existing and remaining/1000 x 4) irrespective of uses and based on the gross leasable floor area, which does not include outdoor dining areas that are not classified as gross leasable area ("Vested Parking Requirements").

Applying the above parking code requirements to the Project, the parking code only requires additional parking for the Addition as outlined above in subsection (c), which applies today's parking requirements to any addition or enlargement of an existing building or use, and does not require any parking in excess of the Vested Parking Requirements for the unchanged building areas. As such, the parking ratio under the current Code will only apply to the +/- 2,860 square foot Addition utilizing today's additional varied off-street parking regulations for specific uses.

Considering that the nature of shopping center development and leasing requires flexibility to allow change of tenancy without any additional governmental parking approval requirements, for the purposes of determining the additional required parking for the +/- 2,860 square foot Addition, Petitioner is requesting to apply the restaurant parking rate of twelve (12) parking spaces per 1,000 square feet of gross floor area to the Addition. As applied, the restaurant parking ratio would require thirty-four (34) (2,860 square foot Addition/1000 x 12) parking spaces, (the, "Addition Parking Requirements"). The Vested Parking

Requirements of seventy-seven (77) parking spaces together with the Addition Parking Requirements of thirty-four (34) parking spaces create an overall parking requirement of one hundred eleven (111) parking spaces, where it is only possible to provide ninety (90) parking spaces. As such, a twenty-one (21) parking space shortfall exists based on an aggregation of the Vested Parking Requirements and Addition Parking Requirements.

Considering the foregoing, Petitioner has retained a third party traffic engineer to complete a professional engineering review and analysis to evaluate anticipated parking demand for the Project in order to determine whether a parking reduction is warranted and allowed by the City's parking code as related to the Property ("Parking Demand Analysis").

As detailed in the Parking Demand Analysis, a copy of which is attached hereto as Exhibit "A", the City's cumulative parking code for shopping centers under 25,000 square feet requires the parking to be calculated based on specific uses, which significantly overestimates parking requirements because it does not recognize shared parking principles that occur with multiple-tenant commercial developments and internal trips that occur when you have an integrated group of commercial establishments on a common parcel.

As such, parking occupancy counts were recently collected at the Delray Plaza located at 2275 North Federal Highway in Delray Beach, which is a similar shopping center nearby, and an analysis of the parking demand was completed in accordance with actual on-site parking counts and the most up-to-date information from the Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition). Based on these analyses, the third party traffic engineer recommends a parking ratio of 3.3 parking spaces per 1,000 square feet for the interior of stores and for any outdoor seating areas, irrespective of different uses, ("Engineer Recommended Parking Ratio") for purposes of determining the amount of parking spaces required.

Applying the Engineer Recommended Parking Ratio to the Addition, ten (10) parking stalls are required to serve the Addition, (the, "Addition Parking Requirements", (2,860 square foot Addition/1000 x 3.3), which generates a total parking requirement of eighty-seven (87) parking spaces for the Shopping Center (existing Vested Parking Requirements of seventy-seven (77) parking spaces plus the ten (10) parking spaces required for the Addition). Since there are ninety (90) parking spaces proposed, the proposed site plan for the Project provides sufficient parking as outlined herein.

As justified herein and as a result of construction of the Addition, Petitioner is requesting a Special Action Parking Reduction Request to allow for the above outlined shortfall of twenty-one (21) parking spaces shortfall pursuant to LDR Section 4.6.9(F)(1) for purpose of determining the amount of parking spaces required ("Parking Required") outlined as follows and to be included on the final City approved site plan:

Parking Required: 3.3 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor seating and other areas.

The foregoing analysis, together with the attached Parking Demand Study, provides a professional engineering analysis detailing how the Project satisfies LDR Section 4.6.9(F)(1) for purpose of determining the amount of parking spaces required.

As provided herein, we would appreciate your confirmation of the above determined "Vested Parking Requirements" of 77 parking spaces and your recommendation of approval of the Special Action Parking Reduction Request to establish the Parking Required for the Addition Parking Requirement of 10 spaces based upon the engineer's recommended rate of 3.3 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor seating and other areas, pursuant to LDR Section 4.6.9(F)(1).

Please do not hesitate to contact me directly at (561) 405-3321 or Beth Schrantz directly at (786) 763-0565 should you have any questions or need additional information. Thank you.

Sincerely,



Bonnie Miskel, Esq.

Dunay, Miskel and Backman, LLP

cc: Joe Carosella, President – *Retail Property Group, LLC* – Via Email: jcarosella@rpg123.com
Louis Carosella, Vice President – *Retail Property Group, LLC* – Via Email: lcarosella@rpg123.com
Michele Burns, Retail Property Group, LLC – Via Email: admin@rpg123.com
Scott Pape, Principal Planner – City of Delray Beach – Via Email: pape@mydelraybeach.com

Exhibit "A"

Traf Tech

ENGINEERING, INC.

June 12, 2019

Tim Stillings, Director of Planning & Zoning
Sent Via Email To: stillings@mydelraybeach.com
Scott Pape, Principal Planner
Sent Via Email: pape@mydelraybeach.com
Delray Beach Planning and Zoning
100 NW 1ST Avenue
Delray Beach, Florida 33444

RE: Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), supported by Parking Utilization Study to determine Parking Requirements for proposed redevelopment of Delray Place South f/k/a Tropic Square located at the Northeast Corner of Federal Highway & Tropic Blvd, in the City of Delray Beach, Palm Beach County, Florida.

Dear Tim & Scott:

The Shopping Center Owner is requesting a Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required. The purpose of this Parking Utilization Study is to provide a professional engineering analysis on how the existing and proposed redevelopment of Delray Place South satisfies LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required.

Traf Tech Engineering, Inc has undertaken the following professional engineering review and analysis to evaluate anticipated parking requirements for the redevelopment of the Delray Place South Shopping Center, and Figure 1 attached shows the location & proposed site plan.

Project Overview

The existing Delray Place South shopping center has a back-corner L-shaped design, with no direct access to Eve Street, and includes one outparcel building, for a total shopping center size of approximately 22,089 square feet. A total of 89 existing parking spaces are provided for an existing parking ratio of approximately 4.03 parking spaces per 1,000 square feet of commercial space.

With the planned renovation of the Delray Place South shopping center, the back-corner L-shaped portion will be removed, and will provide direct access to Eve Street, and the one outparcel building will remain. Once renovated, Delray Place South, will be reduced in size by approximately 44 sf to 22,045 sf and provide a total of 90 parking spaces, for a parking ratio of approximately 4.08 parking spaces per 1,000 square feet.

Historical Parking

According to the property owner, the following three informational bullets are provided:

(1) the existing approximately 30-year-old Delray Place South has been occupied by a diverse mix of commercial tenants and has been operating as a Shopping Center under LDR Section 4.6.9 (C) (3) (e) Shopping Centers, for purposes of determining the amount of parking spaces required.

(2) Historically, the existing Delray Place South with 22,089 sf, was under the City of Delray Beach parking code for Shopping Centers, which allows an overall 4.0 parking spaces per 1,000 square feet, irrespective of individual different uses, and without additional parking requirements for outdoor seating. However, as time passed, the City of Delray Beach parking code for Shopping Centers, was revised so that only shopping centers with at least 25,000 sf or more would qualify and since the existing Delray Place South with 22,089 sf, was approximately 2,911 sf under the City of Delray Beach revised parking code for Shopping Centers, this Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required, would need to be conducted

(3) throughout past years, other tenants with higher parking requirements other than retail have been allowed to occupy Delray Place South. Existing restaurants Dunkin Donuts, and Jimmy Johns Sub Shop, and past restaurant tenants such as IL Girasole with 2,300 sf, Last Resort Restaurant & Bar with 3,516 sf, Cucina Romano Restaurant with 3,516 sf, Middle Eastern Delights with 925 sf, Little Italy Restaurant with 7475 sf, along with Dental Offices and personal service providers have all been allowed to fall within LDR Section 4.6.9 (C) (3) (e) Shopping Centers, for purposes of determining the amount of parking spaces required, and Delray Place South has never had a parking problem.

Code Required Parking Ratio

According to current City of Delray Beach Code of Ordinances (Code Section 4.6.9), the required parking for a commercial center of less than 25,000 square feet is determined by adding the parking requirements of the individual uses. For example, restaurants with less than 6,000 square feet require 12.0 parking spaces per 1,000 square feet, medical office use requires 5.0 parking spaces per 1,000 square feet, retail uses require 4.5 parking spaces per 1,000 square feet and office use requires 4.0 parking spaces per 1,000 square feet. This cumulative approach overestimates parking requirements because it does not recognize shared parking principles that occur with multiple-tenant commercial developments and internal trips that occur when you have an integrated group of commercial establishments on a common parcel.

Comprehensive Parking Demand Study

In order to determine the actual parking requirements of a commercial establishment of a comparable size as Delray Place South, parking occupancy counts (number of actual counted vehicles parked on site) were conducted at the existing Delray Plaza shopping center, which is located nearby to the south, at 2275 North Federal Highway in Delray Beach, and consists of approx. of approximately 35,080 square feet.

Parking occupancy counts were conducted at Delray Plaza on Wednesday, May 8 and Saturday, May 11, 2019.

Tables 1 and 2 present the results of the parking occupancy counts recorded during the two-day study period. The results of the parking counts indicate that:

- The maximum number of parking spaces occupied on Wednesday, May 8, 2019 was 81. This resulted in a peak parking ratio of 2.31 parking spaces per 1,000 square feet. The peak parking period occurred at 11:30 AM.
- The maximum number of parking spaces occupied on Saturday, May 11, 2019 was 84. This resulted in a peak parking ratio of 2.39 parking spaces per 1,000 square feet. The peak parking period occurred at 11:30 AM.

Adjustments to Account for Peak Season

According to seasonal variation in traffic conditions published by the Florida Department of Transportation, traffic data recorded in east Palm Beach County in early-May should be increased by approximately 15% in order to reflect peak season conditions. Therefore, the peak parking demand for the Delray Plaza commercial center during the peak season is determined as follows:

84 parked cars x 1.15 = 97 parked cars required at maximum capacity.

Based on the above parking information and analysis, the existing comparable Delray Plaza shopping center is currently consuming at maximum capacity, approximately 2.76 parking spaces per 1,000 square feet.

Institute of Transportation Engineers

According to the Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition), a shopping center is defined as an integrated group of commercial establishments that are planned, developed, owned and managed as a unit, such as how the existing and proposed redevelopment of Delray Place South operate. ITE defines Shopping Centers to include a mix of uses other than retail such as restaurants, banks, offices, etc. As such, internal trips occur within the shopping centers due to the mixed-use nature of the development, thereby reducing the amount of parking required. Moreover, the size of the existing and proposed redevelopment of

Delray Place South as outlined above, both adequately fall within the range of shopping centers as defined by ITE.

According to the Institute of Transportation Engineers (ITE) *Parking Generation Manual* (5th Edition), a commercial establishment such as Delray Place South requires, 3.1 parking stalls per 1,000 square feet.

Recommended Adequate Parking Ratio for Special Action Parking Reduction Request

Based on the above analysis, Traf Tech Engineering, Inc. recommends an adequate parking ratio of 3.3 parking stalls per 1,000 square feet, for the interior of stores and for any outdoor seating areas, and for all different uses and irrespective of different uses, for purposes of determining the amount of parking spaces required.

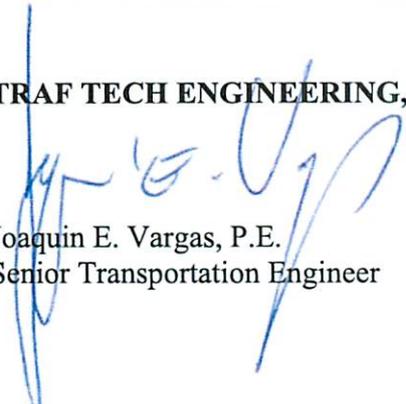
With the above-recommended parking ratio, the existing & planned redevelopment of Delray Place South is projected to have an adequately sized surface parking lot with the current and future mix of commercial establishments including retail, restaurants, personal service providers, medical & dental offices and business & professional offices.

This Parking Utilization Study outlines how the existing and proposed redevelopment of Delray Place South with the parking provided satisfies the determination of the amount of parking spaces required by providing adequate on-site and off-street parking to meet the needs of users of structures and usage of land, with parking areas designed to ensure their usefulness.

In Summary, based on the above Parking Utilization Study, the existing and proposed redevelopment of Delray Place South shopping center is projected to have sufficient parking to operate properly with a diverse mix of tenant uses, and therefore, it has been demonstrated that the parking spaces proposed will adequately accommodate the parking requirements for this shopping center, and the existing parking requirements per Code overestimate the required parking this shopping center

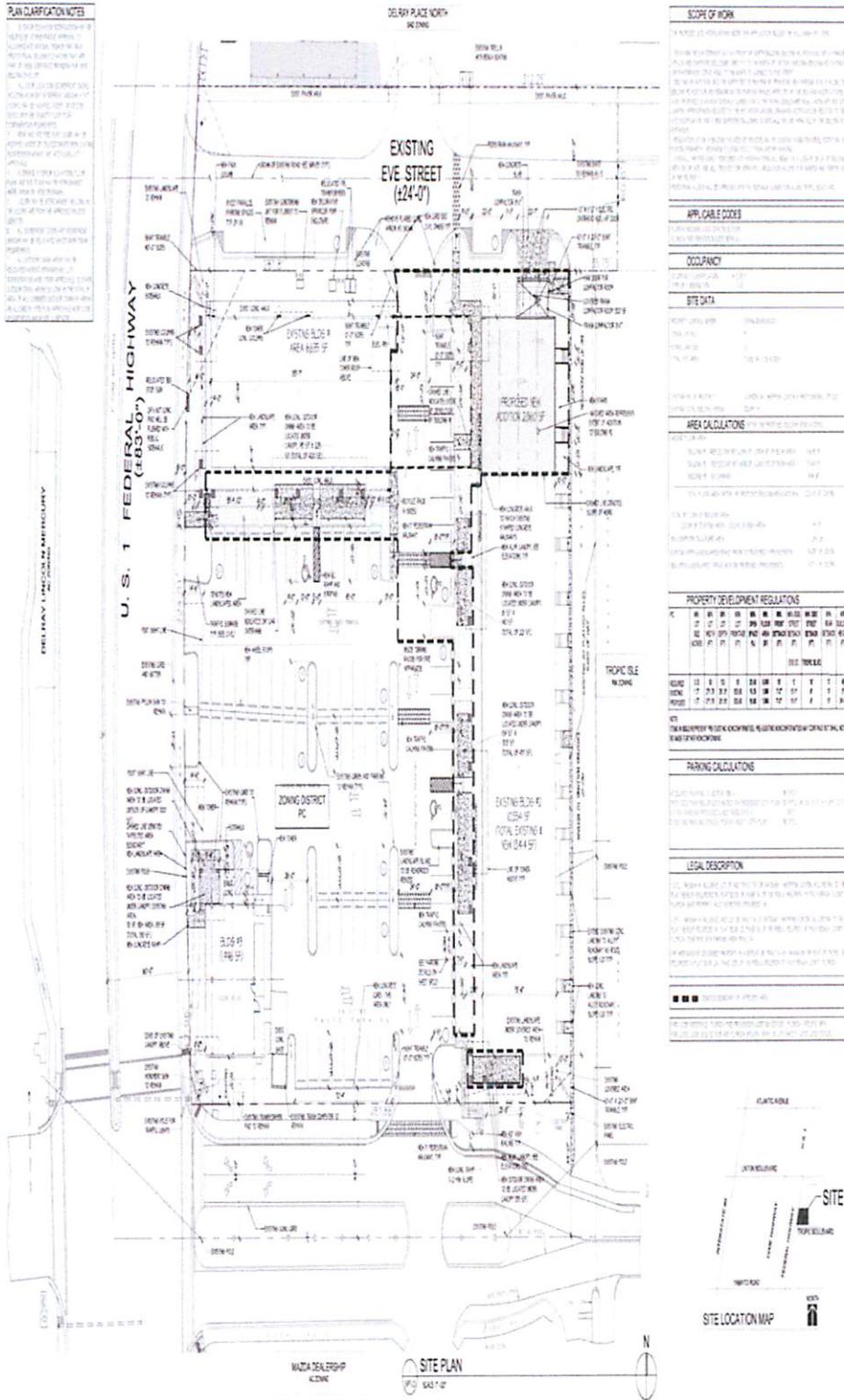
Please feel free to call and/or Email me, as we work through this project together.

TRAF TECH ENGINEERING, INC.



Joaquin E. Vargas, P.E.
Senior Transportation Engineer

Figure 1



**FACADE RENOVATION FOR
DELRAY PLACE (SOUTH)**
(CORNERLY TROPIC ISLAND SQUARE)

**SALTY WIRELESS
ARCHITECTS**

THE GREENWOOD
P. GREENWOOD
1000 N. GREENWOOD
MILWAUKEE, WI 53212
TEL: 414.224.1111
WWW.SALTYWIRELESS.COM

TABLE 1 Delray Plaza Parking Occupancy Counts on 5/8/2019	
Time of Day	Parked Vehicles
08:00 AM	24
08:30 AM	30
09:00 AM	46
09:30 AM	59
10:00 AM	60
10:30 AM	74
11:00 AM	77
11:30 AM	81
12:00 PM	76
12:30 PM	68
01:00 PM	65
01:30 PM	64
02:00 PM	60
02:30 PM	55
03:00 PM	64
03:30 PM	67
04:00 PM	69
04:30 PM	68
05:00 PM	65
05:30 PM	64

SOURCE: Video Data Solutions (Wednesday 5/8/19)

TABLE 2 Delray Plaza Parking Occupancy Counts on 5/11/2019	
Time of Day	Parked Vehicles
08:00 AM	14
08:30 AM	14
09:00 AM	50
09:30 AM	58
10:00 AM	69
10:30 AM	73
11:00 AM	84
11:30 AM	84
12:00 PM	79
12:30 PM	67
01:00 PM	69
01:30 PM	66
02:00 PM	72
02:30 PM	78
03:00 PM	82
03:30 PM	79
04:00 PM	76
04:30 PM	54
05:00 PM	51
05:30 PM	44

SOURCE: Video Data Solutions (Saturday 5/11/19)

SPRAB SUBMITTAL FOR EXTERIOR FACADE REMODEL OF DELRAY PLACE SOUTH

(FORMERLY KNOWN AS TROPIC SQUARE)
DELRAY BEACH, FLORIDA

FACADE RENOVATION FOR
DELRAY PLACE (SOUTH)
(FORMERLY KNOWN AS TROPIC SQUARE)
DELRAY BEACH, FLORIDA

SALTZ MICHELSON
ARCHITECTS

3501 GRIFFIN ROAD
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

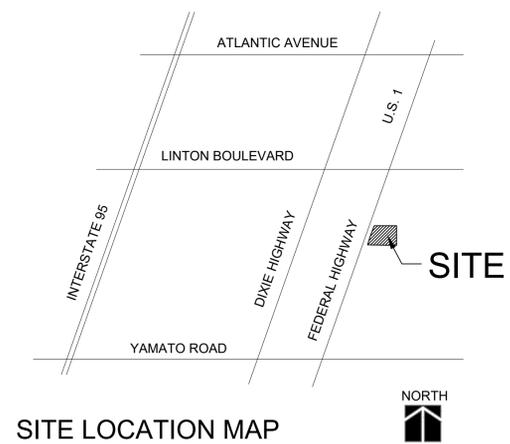
AA-0002897

OWNER / DEVELOPER: DELRAY PLACE, LLC
C/O RETAIL PROPERTY GROUP
ROYAL PALM PLACE
101 PLAZA REAL SOUTH, SUITE 200
BOCA RATON, FL 33432
TELEPHONE: (561) 961-1730

ARCHITECT: SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD
FORT LAUDERDALE, FLORIDA, 33312
TELEPHONE: (954) 266-2700

INDEX OF DRAWINGS

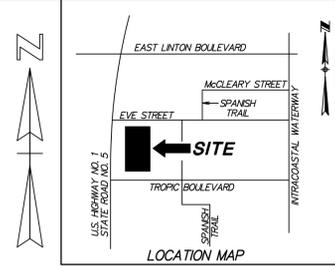
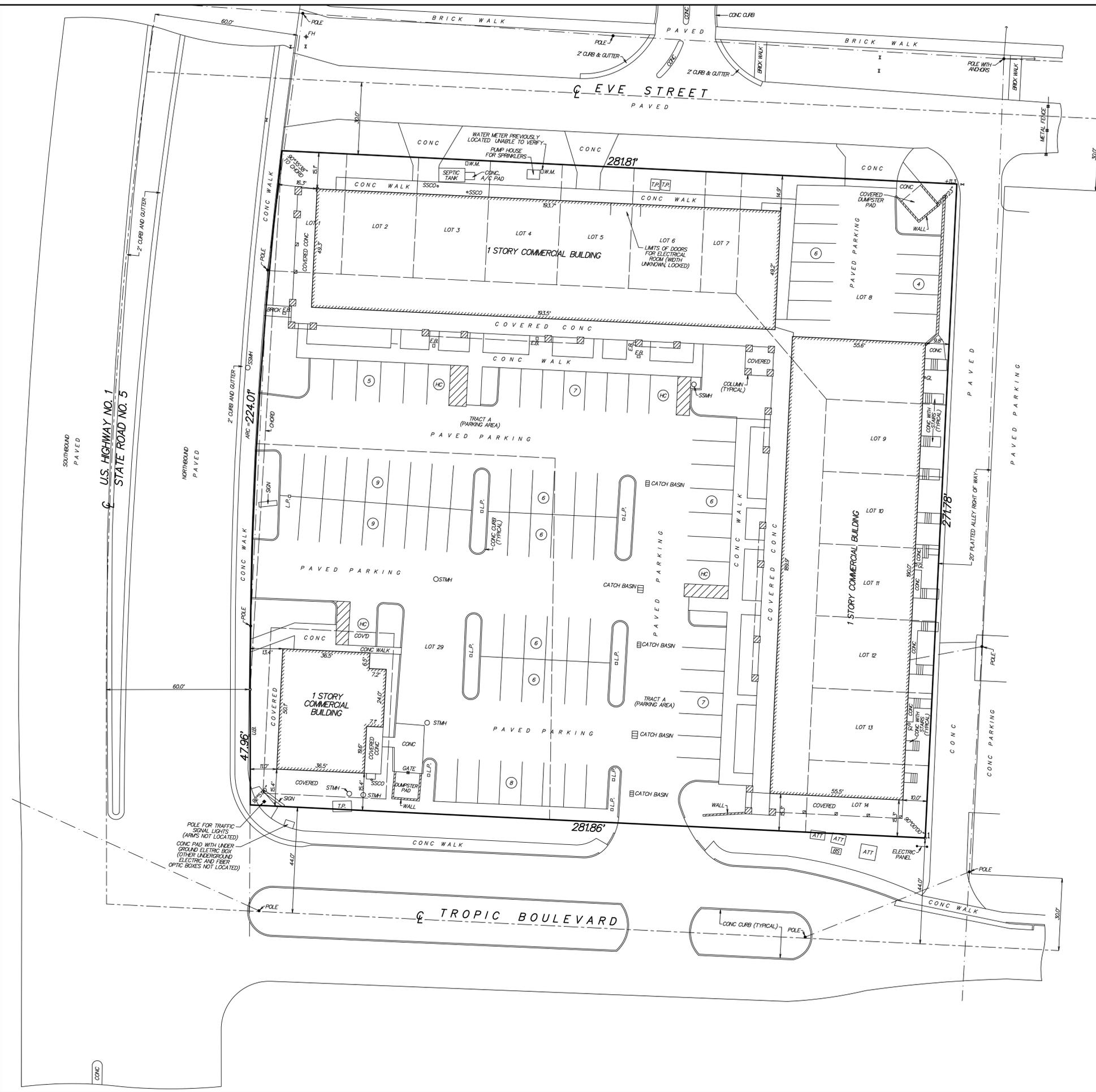
A0	COVER SHEET SURVEY
SP1	SITE PLAN
SP1.1	COMPOSITE OVERLAY PLAN
SP1.2	LANDSCAPE OVERLAY
SP1.3	FIRE TRUCK ROUTE PLAN
SP2	SITE DETAILS
A1.0	ROOF PLAN
A2.0	ELEVATIONS BUILDING #1
A2.1	ELEVATIONS BUILDING #1
A2.2	ELEVATIONS BUILDING #2
A2.3	ELEVATIONS BUILDING #2
A2.4	ELEVATIONS BUILDING #2
A2.5	ELEVATIONS BUILDING #3
A4.0	SCHEMATIC SECTIONS
E1.1	PHOTOMETRIC SITE PLAN



Mark L. Saltz AR 007171

Project No.:
2013-214
Drawn By:
NH-CR
Checked By:
MA
Date:
06-01-16
REVISIONS:
△ BLDG DEPT COMM.
02-16-16
△ SPRAB COMM.
07-10-16

Drawing title: S:\Projects\2013-214\SPRAB\SPRAB Comm\SPRAB Comm.dwg Layout Name: A0 Plotted by: smaiff Printed on: 06/11/2016 4:48pm



DESCRIPTION:

LOTS 1 THROUGH 14, INCLUSIVE, LOT 29 AND TRACT "A", OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS:

LOTS 1 THROUGH 14, INCLUSIVE, AND LOT 29, TRACT A, OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A.

THE HEREINABOVE DESCRIBED PROPERTY IS A REPLAT OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-II OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, ORDER NO. 4391550, DATED APRIL 27, 2013.

Ⓜ PARCEL SUBJECT TO DECLARATION OF UNITY OF TITLE AS RECORDED IN O.R.B. 2468, PAGE 799

Ⓜ PARCEL SUBJECT TO TERMS, CONDITIONS, AND PROVISIONS OF ORDER AS RECORDED IN O.R.B. 2610, PAGE 271.

SITE INFORMATION:

PARCEL ZONING: PC PLANNED COMMERCIAL

PROPERTY ADDRESS: 1911 SOUTH FEDERAL HIGHWAY DELRAY BEACH, FLORIDA 33444

PARCEL CONTROL NO. 12-43-46-28-06-001-0010

LAND AREA = 77,430 SQ. FT. (1.78 ACRES), MORE OR LESS

SETBACKS:	FRONT	10'
	SIDE STREET	10'
	SIDE INTERIOR	0'
	REAR	10'

LEGEND:

- ⊖ = CENTERLINE
- CONC. = CONCRETE
- W.M. = WATER METER
- F.H. = FIRE HYDRANT
- ⊗ = WATER VALVE
- B.F.P. = BACK FLOW PREVENTER
- — — — — = OVERHEAD UTILITY LINES

SSCO = SANITARY SEWER CLEAN OUT

SSMH = SANITARY SEWER MANHOLE

Ⓜ = REFERS TO ITEM NUMBER IN SCHEDULE B-II OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT

T.P. = CONCRETE TRANSFORMER PAD

STMH = STORM SEWER MANHOLE

COVD = COVERED

E.B. = ELECTRIC BOX FLUSH WITH GROUND

FLOOD ZONE: X

COMMUNITY PANEL NO. 125102 0979

SUFFIX F

EFFECTIVE DATE: OCTOBER 05, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

MAP OF AS-BUILT SURVEY
 SITE ADDRESS: 1911 S. FED. HIGHWAY
 DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 55-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
 PAUL D. ENGLE
 SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

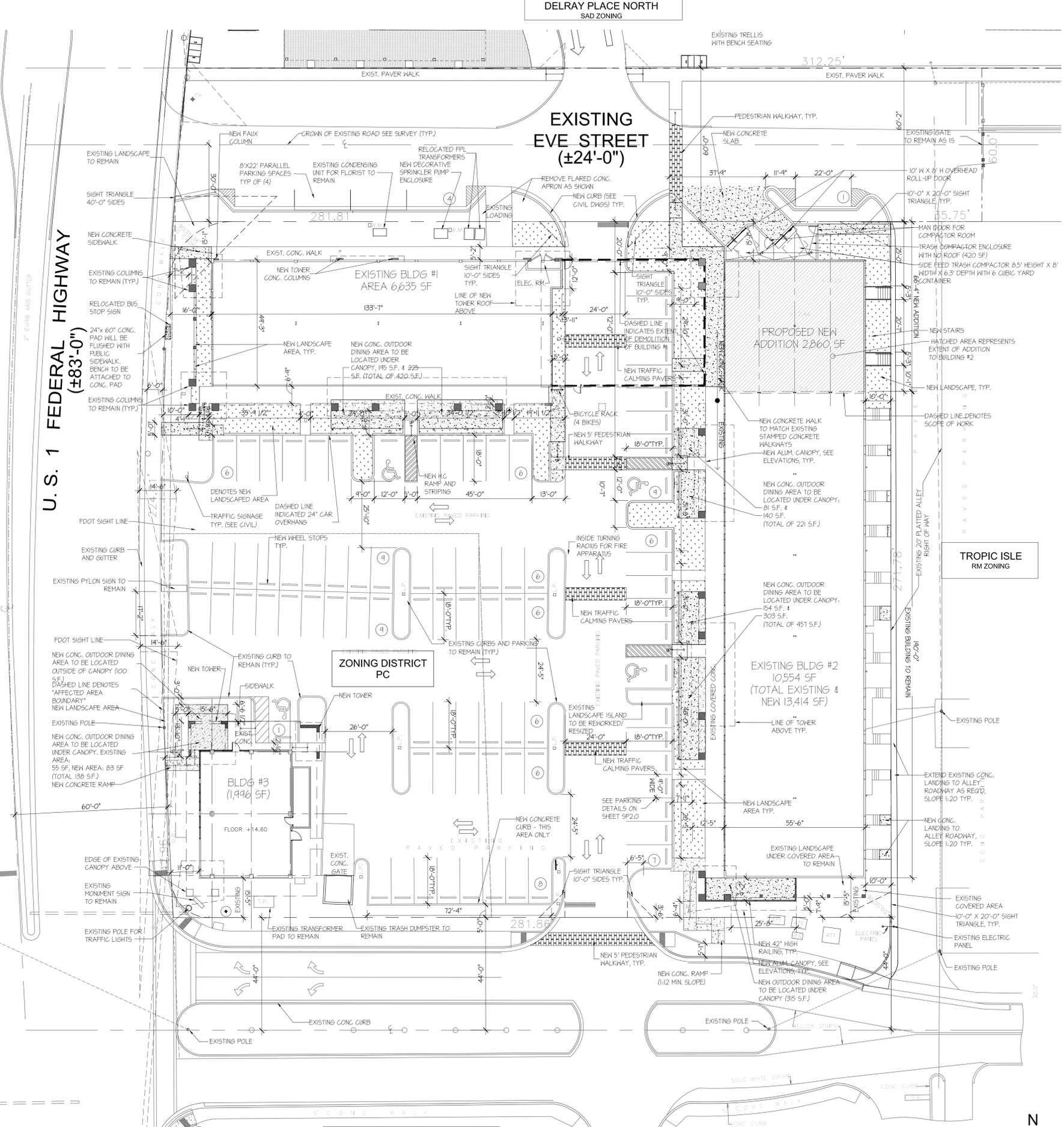
O'BRIEN, SUITER & O'BRIEN, INC.
 LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY	JAN. 15, 2019	SCALE:	1" = 20'
FIELD BOOK	D.303	PAGE NO.	58
ORDER NO.	13-37ab		

PLAN CLARIFICATION NOTES

- EXTERIOR ELEVATION MODIFICATIONS MAY BE MODIFIED BY ADMINISTRATIVE APPROVAL TO ACCOMMODATE NATIONAL TENANTS THAT HAVE PROTOTYPICAL BUILDING ELEVATIONS THAT ARE PART OF THEIR CORPORATE BRANDING FOR THEIR BUILDING ENVELOPE.
- ALL DOOR LOCATIONS (STOREFRONT DOORS INCLUDING ADJACENT STOREFRONT WINDOWS & EXIT DOORS), MAY BE MODIFIED, ADDED OR DELETED BASED UPON THE TENANT'S FLOOR PLAN CONFIGURATION REQUIREMENTS.
- REAR AND SITE FIRE EXIST DOORS MAY BE MODIFIED, ADDED OR DELETED BASED UPON EXISTING REQUIREMENTS WITHOUT ANY ADDITIONAL CITY APPROVALS.
- ALTERNATE EXTERIOR ELEVATIONS, FLOOR PLANS AND SITE PLANS MAY BE INTERCHANGED WHERE SHOWN ON THESE DRAWINGS.
- COLORS MAY BE INTERCHANGED AS LONG AS THE COLORS ARE FROM THE APPROVED PALETTE SUBMITTED.
- ALL STOREFRONT DOORS AND STOREFRONT WINDOWS MAY BE RELOCATED BASED UPON TENANT REQUIREMENTS.
- ALL OUTDOOR DINING AREAS MAY BE RELOCATED WITHOUT OBTAINING ANY CITY ADMINISTRATIVE 4/ OR OTHER APPROVALS, TO OTHER OUTDOOR DINING AREAS SO LONG AS THE TOTAL SF AREA OF ALL COMBINED OUTDOOR DINING SF AREAS AS ALLOWED BY SITE PLAN APPROVALS 4/ OR CODE REQUIREMENTS, WHICHEVER IS GREATER.



SCOPE OF WORK

THE PROPOSED SITE MODIFICATIONS UNDER THIS APPLICATION INCLUDE THE FOLLOWING KEY ITEMS:

- REMOVING THE EASTERMOST 60' (4'-) FROM THE NORTH BUILDING (BUILDING #1), REMOVING THE 10 PARKING SPACES AND DUMPSTER ENCLOSURE DIRECTLY TO THE NORTH OF THE EAST BUILDING (BUILDING #2), EXTENDING THE EASTERMOST DRIVE AISLE TO THE NORTH TO CONNECT TO EVE STREET.
- BUILDING AN ADDITION ONTO THE NORTH END OF BUILDING #2, PROVIDING NEW PARKING STALLS ALONG THE BUILDING #2 ADDITION AND REWORKING THE PARKING SPACES AFFECTED BY THE BUILDING MODIFICATIONS, ALSO PROPOSED IS AN ADA SIDEWALK CONNECTION TO THE TROPIC BOULEVARD ROW, LANDSCAPE AND SITE LIGHTING IMPROVEMENTS RELATED TO THE SITE MODIFICATIONS, DRAINAGE MODIFICATIONS RELATED TO THE SITE MODIFICATION, AND A NEW DUMPSTER ENCLOSURE TO REPLACE THE ONE IMPACTED BY THE BUILDING #2 EXPANSION.
- RENOVATION OF THE 3 BUILDING FACADES BY RENOVATING THE EXISTING TOWER FEATURES, MODIFYING THE EXISTING PARAPETS, REPAIRING EXISTING STUCCO FINISH AND RE-PAINTING.
- OVERALL, THE PREVIOUSLY MENTIONED SITE MODIFICATIONS WILL RESULT IN A LOSS OF 36 SF OF BUILDING AREA ON THE SITE, AND WILL PROVIDE FOR IMPROVED CIRCULATION, ACCESS FOR INGRESS AND EGRESS OUT OF THE PROPERTY. PEDESTRIAN ACCESS WILL BE IMPROVED WITH THE SIDEWALK CONNECTION ALONG TROPIC BOULEVARD.

APPLICABLE CODES

FLORIDA BUILDING CODE 2014, 5th EDITION
FLORIDA FIRE PREVENTION CODE NFPA 101

OCCUPANCY

OCCUPANCY CLASSIFICATION: A-2, B, M
TYPE OF CONSTRUCTION: II-B

SITE DATA

PROPERTY CONTROL NUMBER: 1243462806001010
ZONING DISTRICT: PC
FUTURE LAND USE: GC
TOTAL SITE AREA: 11,430 SF. (1.78 ACRES)

EXISTING USE OF PROPERTY: COMMERCIAL SHOPPING CENTER & PROFESSIONAL OFFICES
EXISTING TOTAL BUILDING AREAS: 22,084 SF

AREA CALCULATIONS (AFTER THE PROPOSED BUILDING RENOVATIONS):

GROUND FLOOR AREA:		
BUILDING #1 (REFLECTING NET LOSS OF -2,904 SF OF BLDG AREA)	6,635 SF.	
BUILDING #2 (REFLECTING NET GAIN OF +2,860 SF OF BLDG AREA)	13,414 SF.	
BUILDING #3 (NO CHANGE)	1,946 SF.	
TOTAL FLOOR AREA (AFTER THE PROPOSED BUILDING RENOVATIONS):	22,045 SF. (28.5%)	
TOTAL OUTDOOR DINING AREA:	1,651 SF.	
TOTAL INDOOR AREA AND OUTDOOR DINING AREA:	23,696 SF.	

TOTAL NET LOSS OF BUILDING AREA: 22,084 SF (EXISTING AREA) - 22,045 SF (NEW AREA) = 44 SF.

NEW DUMPSTER ENCLOSURE AREA: 420 SF.

EXISTING OPEN (LANDSCAPED) SPACE PRIOR TO PROPOSED IMPROVEMENTS: 14,081 SF. (18.2%)

NEW OPEN (LANDSCAPED) SPACE WITH THE PROPOSED IMPROVEMENTS: 14,108 SF. (18.2%)

PROPERTY DEVELOPMENT REGULATIONS

PC	MIN. LOT SIZE (ACRES)	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	MIN. LOT FRONTAGE (FT)	MIN. OPEN SPACE (%)	MIN. FLOOR AREA (SF)	MIN. FRONT SETBACK (FT)	MIN. SIDE STREET SETBACK (FT)	MIN. SIDE SETBACK (FT)	MIN. REAR SETBACK (FT)	MIN. BUILDING HEIGHT (FT)
REQUIRED	0.23	50	100	50	25.00	6,000	10'	10'	10'	10'	48'
EXISTING	1.77	271.78	281.81	835.80	18.29	1,996	7'-2"	15'-1"	6'	10'	31'
PROPOSED	1.77	271.78	281.81	835.80	19.00	1,996	7'-2"	15'-1"	6'	10'	24'-6"

NOTE: ITEMS IN BOLD REPRESENT PRE-EXISTING NONCONFORMITIES. PRE-EXISTING NONCONFORMITIES MAY CONTINUE BUT SHALL NOT BE MADE FURTHER NONCONFORMING.

PARKING CALCULATIONS

PARKING REQUIRED: 3.3 PARKING SPACES PER 1,000 SQUARE FEET OF GROSS LEASABLE FLOOR AREA, IRRESPECTIVE OF USES AND INCLUSIVE OF ALL OUTDOOR SEATING AREAS.

PARKING REQUIRED DETAILS =

INTERIOR GROSS LEASABLE FLOOR AREA =	22,045 SF
EXTERIOR OUTDOOR SEATING GROSS LEASABLE FLOOR AREA =	1,651 SF
TOTAL INTERIOR/EXTERIOR OUTDOOR SEATING GROSS LEASABLE FLOOR AREA =	23,696 SF

PARKING REQUIRED AT 3.3 PER 1,000 SQUARE FEET OF TOTAL GROSS LEASABLE FLOOR AREA = 23,696 SF / 1,000 X 3.3 = 78 PARKING SPACES

PROVIDED PARKING = 90 SPACES WITH 85 ON SITE +5 OFF SITE

EXISTING PARKING SPACES PER AS BUILT SITE = 84 PARKING SPACES

LEGAL DESCRIPTION

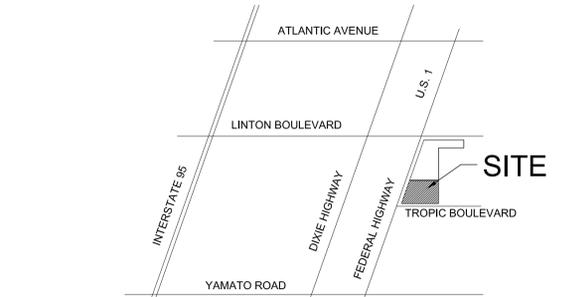
LOTS 1 THROUGH 14, INCLUSIVE, LOT 24 AND TRACT 'A', OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS:

LOTS 1 THROUGH 14, INCLUSIVE, AND LOT 24, TRACT A, OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A.

THE HEREINABOVE DESCRIBED PROPERTY IS A REPLAT OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

■ ■ ■ DENOTES BOUNDARY OF AFFECTED AREA

FIRE CODE REFERENCE: FLORIDA FIRE PREVENTION CODE 5th EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, CODE 2012 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2012 EDITION.



**FACADE RENOVATION FOR
DELAY PLACE (SOUTH)**
(FORMERLY KNOWN AS TROPIC SQUARE)
DELAY BEACH, FLORIDA

SALTZ MICHELSON
ARCHITECTS

3501 GRIFFIN ROAD
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

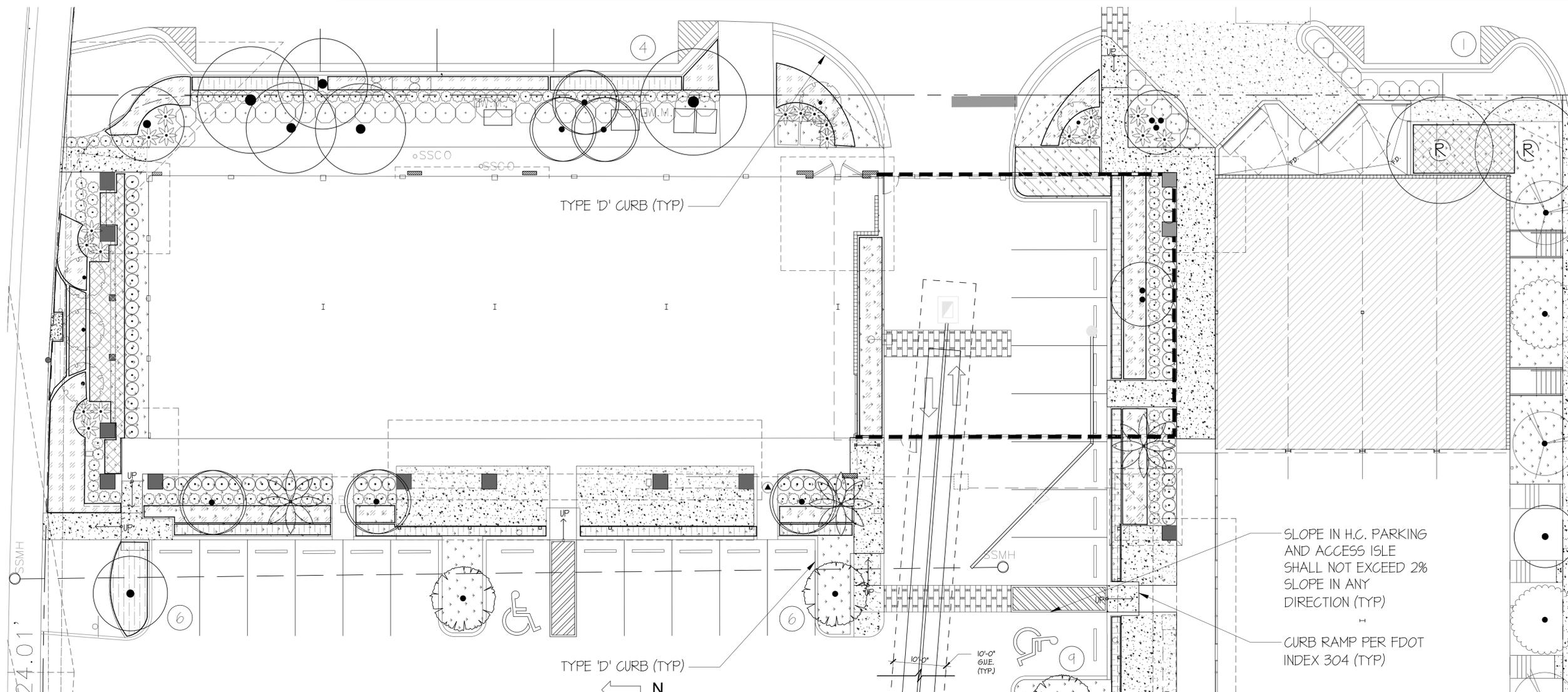
Mark L. Saltz AR 007171

Project No.: 2013-214
Drawn By: NH-CR
Checked By: MA
Date: 06-01-16
REVISIONS:

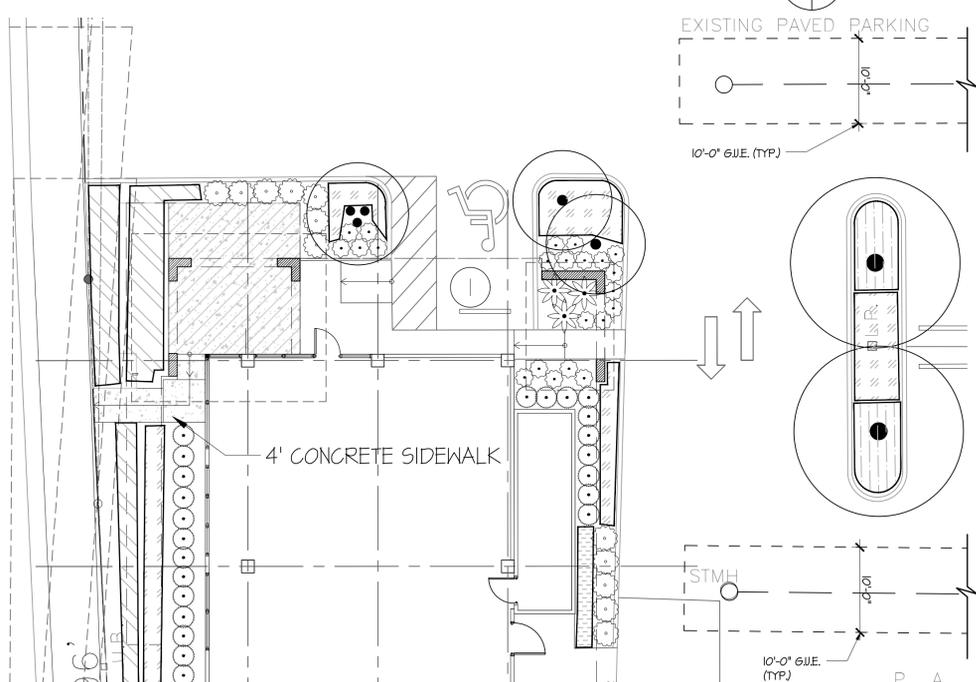
- 1 BLDG DEPT COMM. 02-16-16
- 2 CLIENT COMM. 04-06-16
- 3 CLIENT COMM. 04-15-16
- 4 SFRAB COMM. 08-03-16
- 5 SFRAB COMM. 11-11-16
- 6 COORDINATION 11-24-16
- 7 SFRAB COMM. 05-22-16
- 8 SFRAB COMM. 07-02-16
- 9 SFRAB COMM. 07-10-16

SP1.0

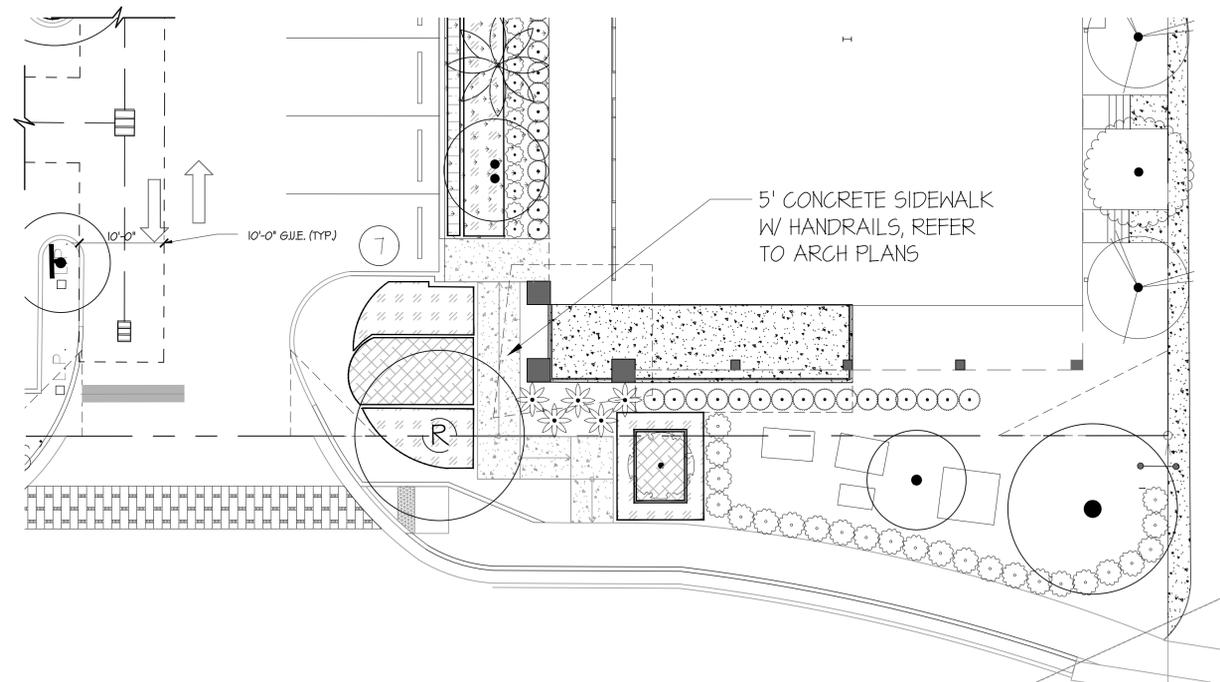
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 Project: 2013-214
 Layer: 0
 Plot: 0
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 Title: SP1.0



1
SP1.1
SCALE: 1" = 10'



2
SP1.1
SCALE: 1" = 10'



3
SP1.1
SCALE: 1" = 10'

**FACADE RENOVATION FOR
DELRAY PLACE (SOUTH)**
(FORMERLY KNOWN AS TROPIC SQUARE)
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON
ARCHITECTS**

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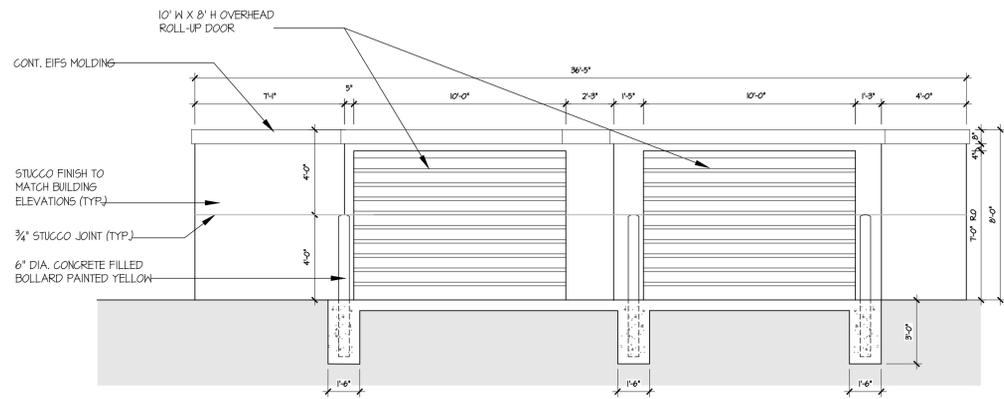
Mark L. Saltz AR 007171

Project No.:
2013-214
Drawn By:
NH-CR

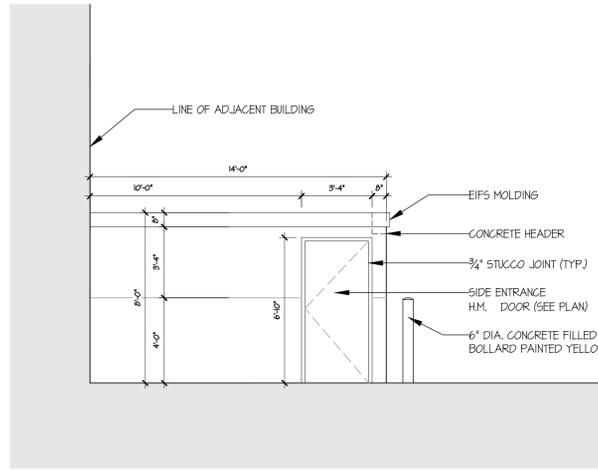
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MA
Date:
06-01-16

REVISIONS:

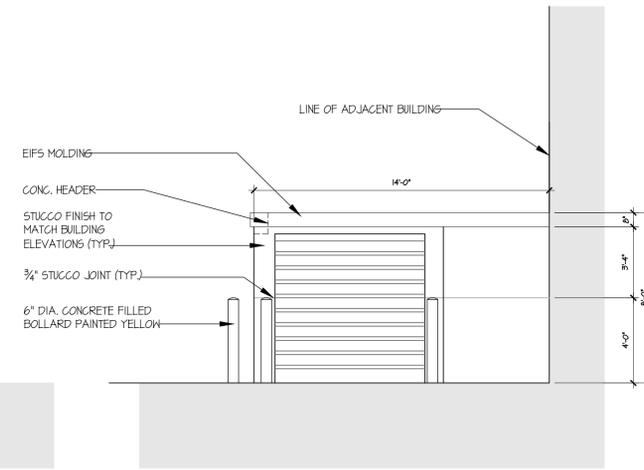
- ▲ CLIENT COMM. 04-06-16
- ▲ SPRAB COMM. 08-03-16
- ▲ COORDINATION 11-24-16
- ▲ SPRAB COMM. 05-22-19
- ▲ SPRAB COMM. 07-02-19
- ▲ SPRAB COMM. 07-10-19



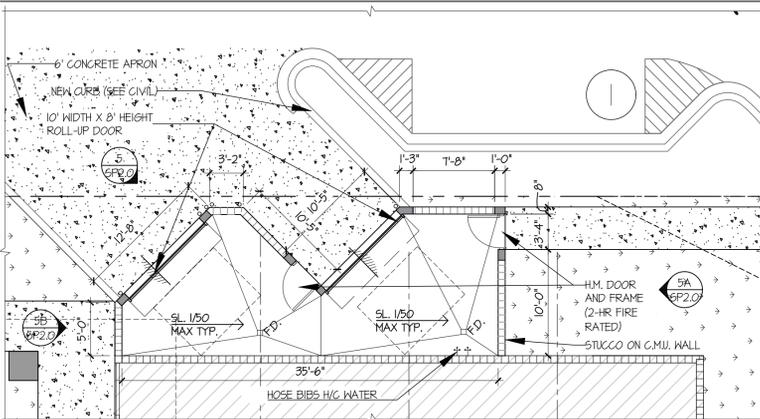
5 TRASH COMPACTOR ENCLOSURE ELEVATIONS
SP2.0 SCALE: 1/4" = 1'-0"



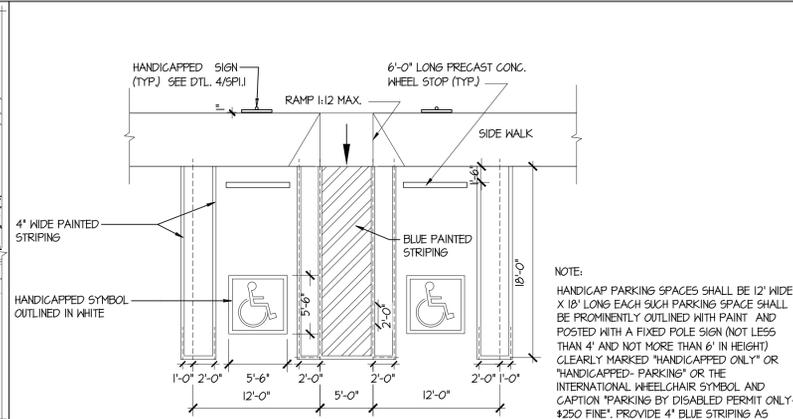
5A TRASH COMPACTOR ENCLOSURE SIDE ELEVATION
SP2.0 SCALE: 1/4" = 1'-0"



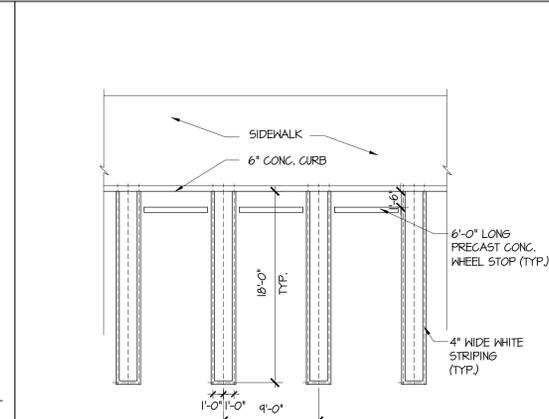
5B TRASH COMPACTOR ENCLOSURE SIDE ELEVATION
SP2.0 SCALE: 1/4" = 1'-0"



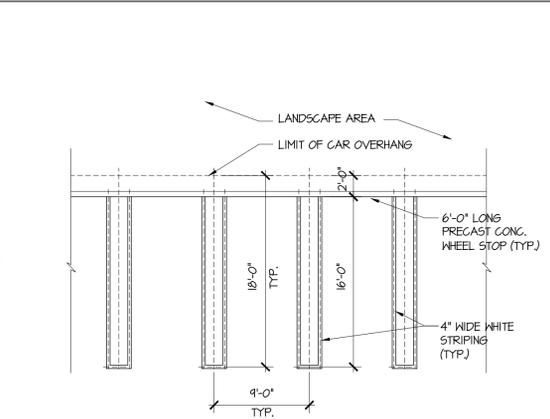
6 TRASH COMPACTOR ENCLOSURE FLOOR PLAN
SP2.0 SCALE: 1/4" = 1'-0"



3 TYPICAL HANDICAPPED PARKING DETAIL
NT.S.

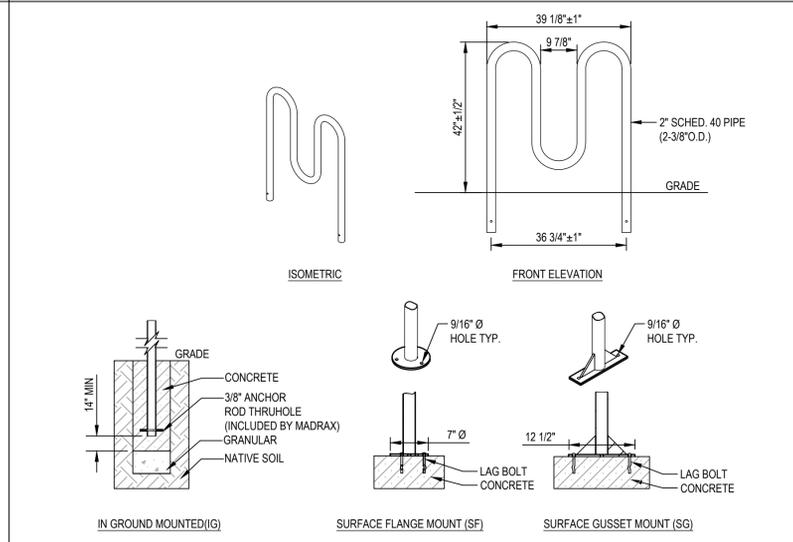


2 TYPICAL PARKING SPACES AT SIDEWALKS
NT.S.

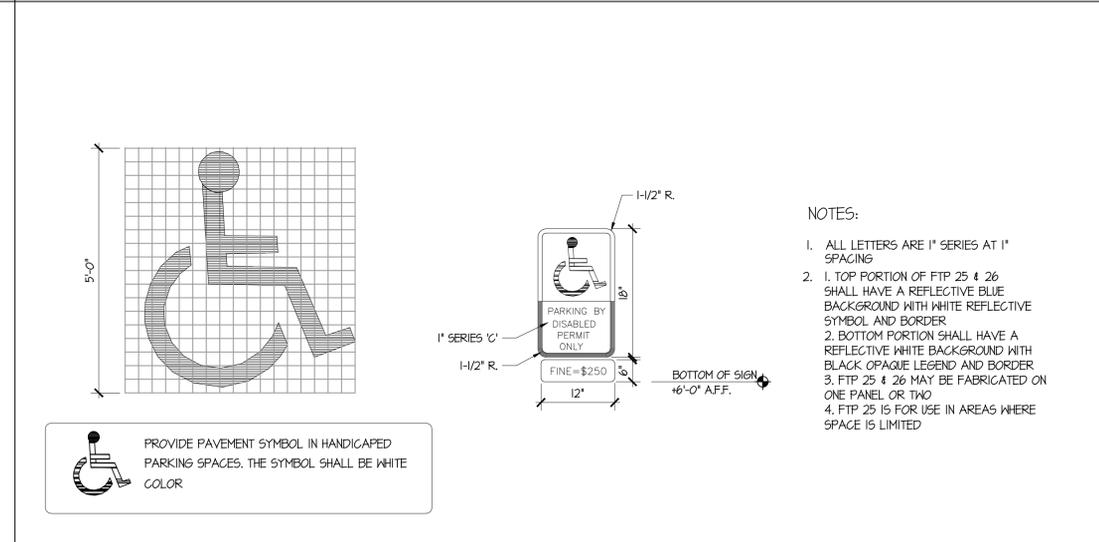


1 TYPICAL PARKING SPACES AT LANDSCAPE AREAS
NT.S.

- NOTES:
- EXTERIOR ELEVATION MODIFICATIONS MAY BE MODIFIED BY ADMINISTRATIVE APPROVAL TO ACCOMMODATE NATIONAL TENANTS THAT HAVE PROTOTYPICAL BUILDING ELEVATIONS THAT ARE PART OF THEIR CORPORATE BRANDING FOR THEIR BUILDING ENVELOPE.
 - REAR AND SIDE FIRE EXIT DOORS MAY BE MODIFIED, ADDED OR DELETED BASED UPON EXISTING REQUIREMENTS WITHOUT ANY ADDITIONAL CITY APPROVALS.
 - ALTERNATE EXTERIOR ELEVATIONS, FLOOR PLANS AND SITE PLANS MAY BE INTERCHANGED WHERE SHOWN ON THESE DRAWINGS.
 - COLORS MAY BE INTERCHANGED AS LONG AS THE COLORS ARE FROM THE APPROVED PALETTE SUBMITTED.
 - ALL STOREFRONT DOORS AND STOREFRONT WINDOWS MAY BE RELOCATED BASED UPON TENANT REQUIREMENTS.



7 BICYCLE RACK DETAIL
SCALE: NT.S.



4 HANDICAPPED SIGNAGE DETAIL
SCALE: NT.S.

FACADE RENOVATION FOR
DELRAY PLACE (SOUTH)
(FORMERLY KNOWN AS TROPIC SQUARE)
DELRAY BEACH, FLORIDA

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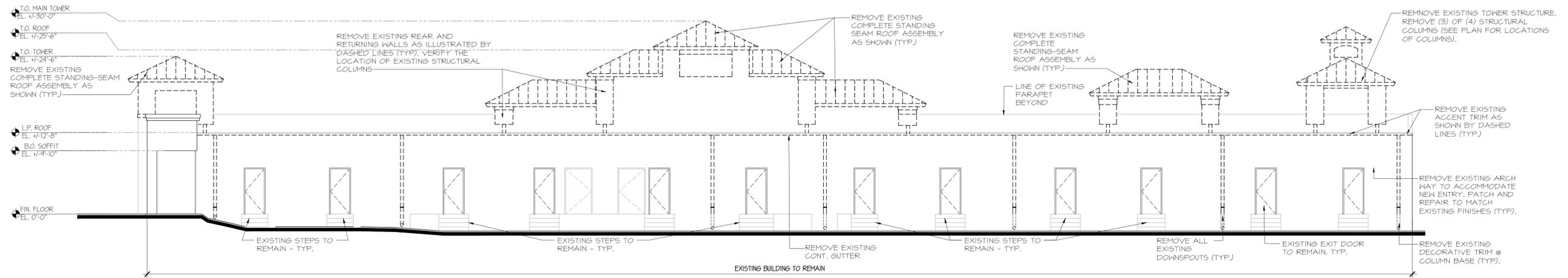
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Drawn By: NH-CR
Checked By: MA
Date: 06-01-16

REVISIONS:

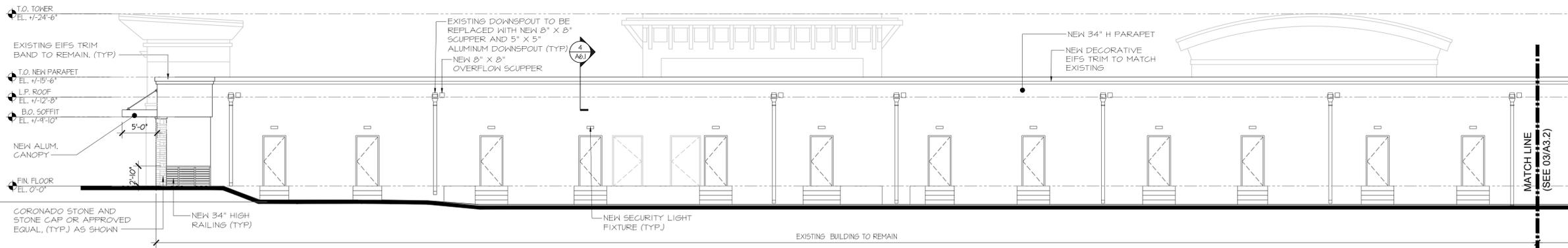
BLDG DEPT COMM. 02-15-16
CLIENT COMM. 04-06-16
SPRAB COMM. 08-03-16
COORDINATION 11-24-16
SPRAB COMM. 05-22-14
SPRAB COMM. 01-02-14
SPRAB COMM. 01-10-14

- NOTES:
- ALL LETTERS ARE 1" SERIES AT 1" SPACING
 1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER
 3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO
 4. FTP 25 IS FOR USE IN AREAS WHERE SPACE IS LIMITED

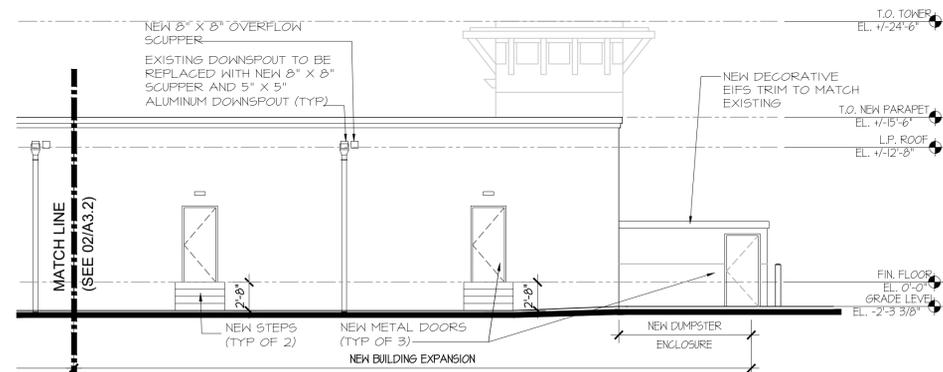
SP2.0



1
A2.3
DEMOLITION EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)
SCALE: 1/8" = 1'-0"



2
A2.3
PROPOSED EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)
SCALE: 1/8" = 1'-0"



3
A2.3
PROPOSED BLDG #2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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Mark L. Saltz AR 007171

Project No:
2013-214

Drawn By:
NH-CR

Checked By:
MA

Date:
06-01-16

REVISIONS:

1 BLDG DEPT COMM. 01-23-16

2 BLDG DEPT COMM. 02-16-16

3 SPRAB COMM. 08-03-16

4 COORDINATION 11-24-16

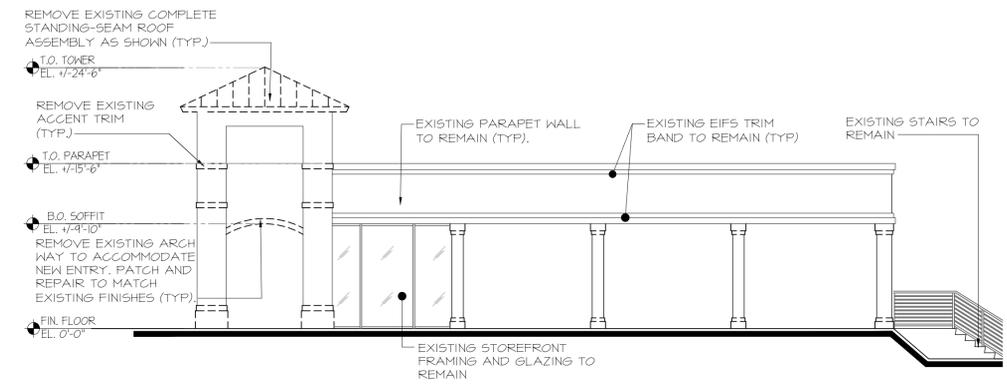
5 SPRAB COMM. 05-22-14

6 SPRAB COMM. 07-10-14

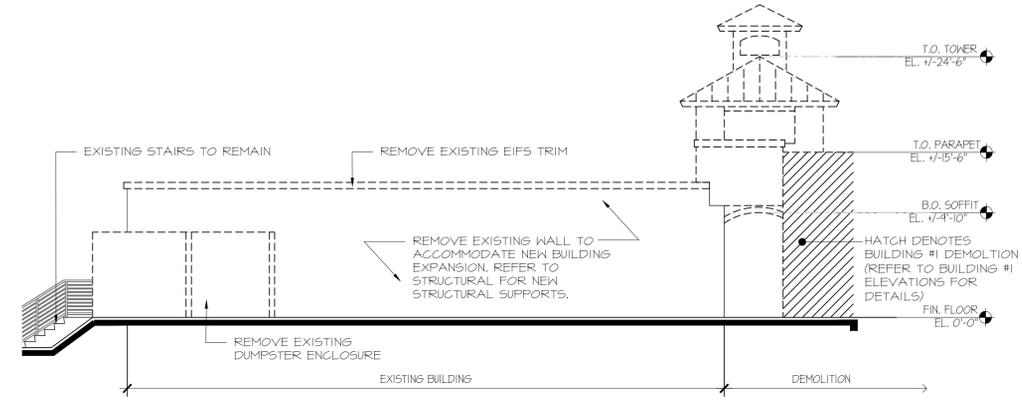
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 Drawn By: NH-CR
 Checked By: MA
 Date: 06-01-16

REVISIONS:

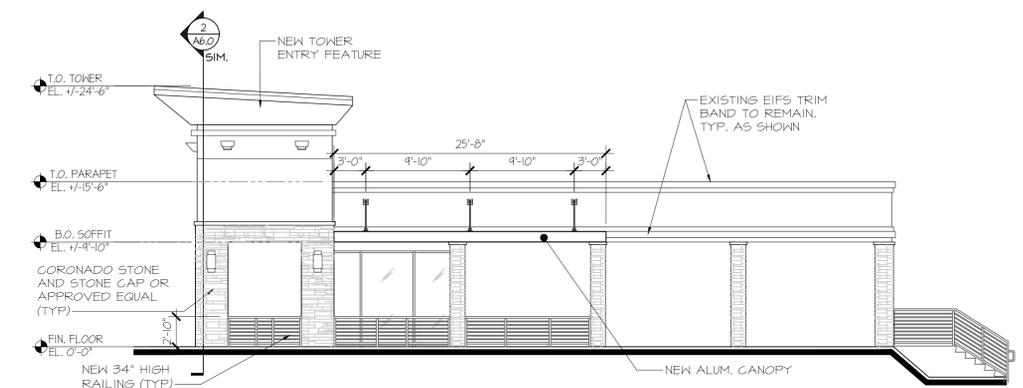
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2	CLIENT COMM.	04-06-16
3	SPRAB COMM.	08-03-16
4	COORDINATION	11-24-16
5	SPRAB COMM.	05-22-19
6	SPRAB COMM.	07-10-19



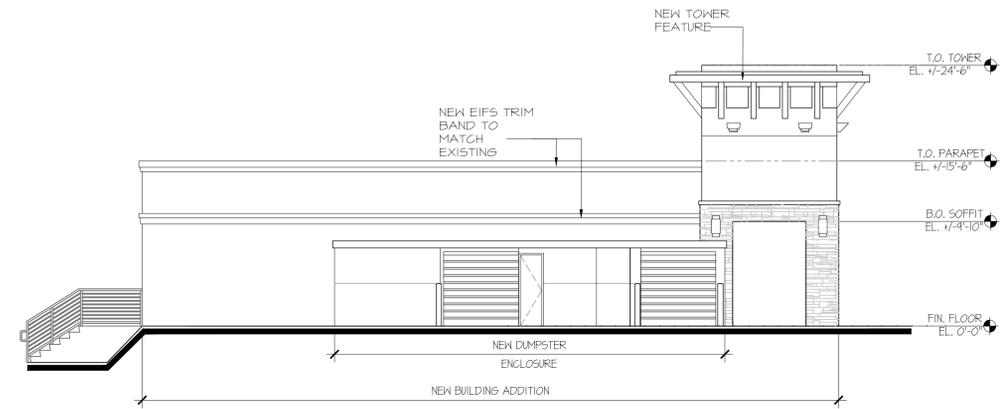
1
A2.4
DEMOLITION SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)
SCALE: 1/8" = 1'-0"



3
A2.4
DEMOLITION NORTH ELEVATION - BLDG #2 (FACING EVE STREET)
SCALE: 1/8" = 1'-0"

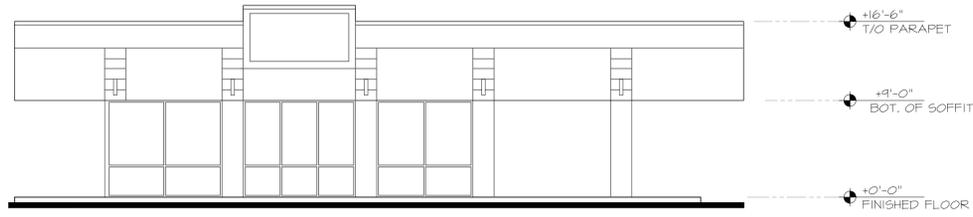


2
A2.4
PROPOSED SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)
SCALE: 1/8" = 1'-0"

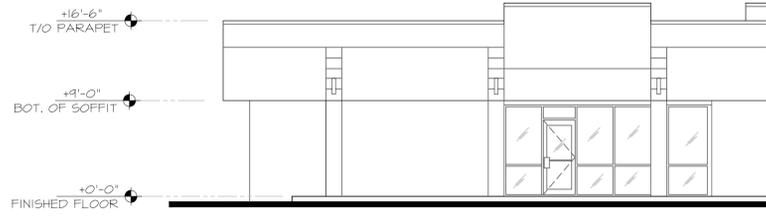


4
A2.4
PROPOSED NORTH ELEVATION - BLDG #2 (FACING EVE STREET)
SCALE: 1/8" = 1'-0"

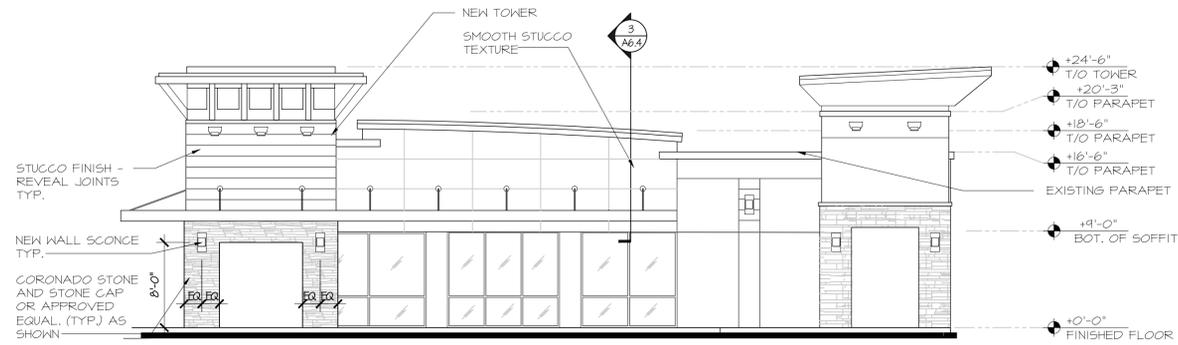
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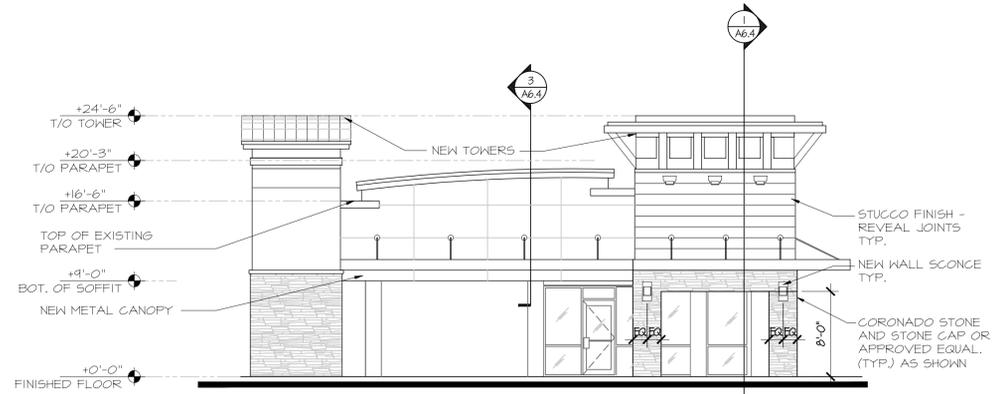
1
A25
EXISTING WEST ELEVATION - BLDG #3 (FACING FEDERAL HIGHWAY)
SCALE: 1/8" = 1'-0"



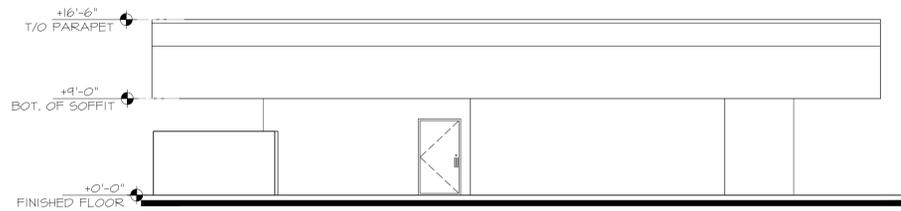
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A25
EXISTING NORTH ELEVATION - BLDG #3 (FACING PARKING LOT)
SCALE: 1/8" = 1'-0"



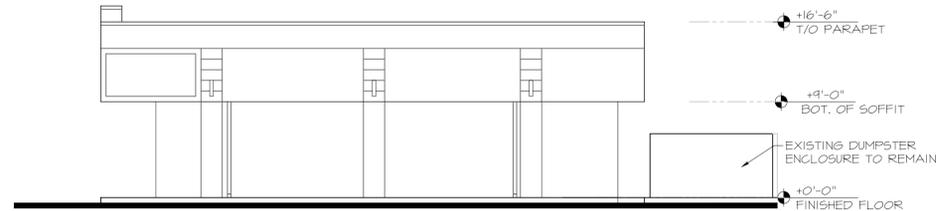
2
A25
PROPOSED WEST ELEVATION - BLDG #3 (FACING FEDERAL HIGHWAY)
SCALE: 1/8" = 1'-0"



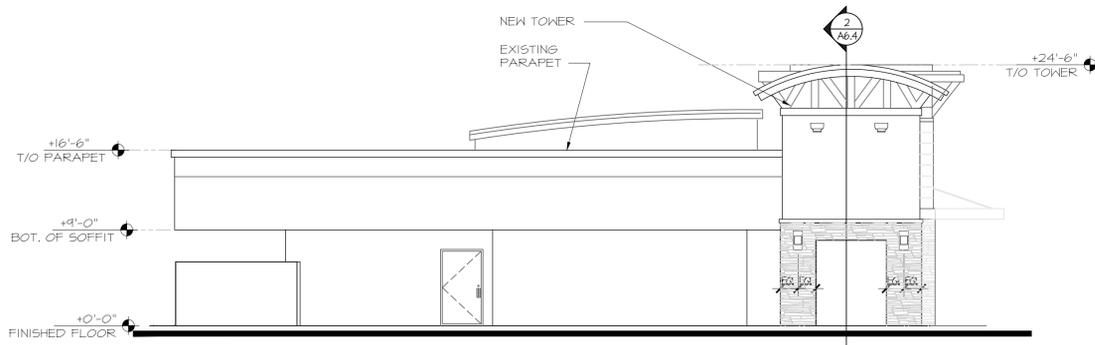
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A25
PROPOSED NORTH ELEVATION - BLDG #3 (FACING PARKING LOT)
SCALE: 1/8" = 1'-0"



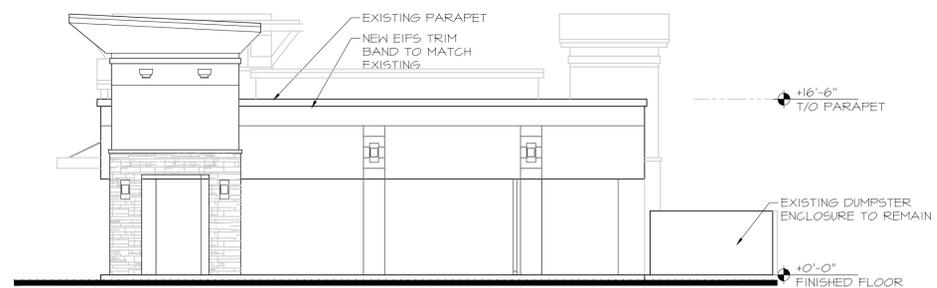
3
A25
EXISTING EAST ELEVATION - BLDG #3 (FACING PARKING LOT)
SCALE: 1/8" = 1'-0"



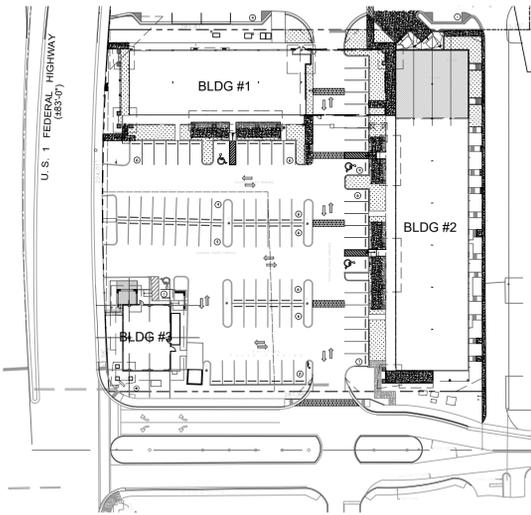
7
A25
EXISTING SOUTH ELEVATION - BLDG #3 (FACING TROPIC BLVD)
SCALE: 1/8" = 1'-0"



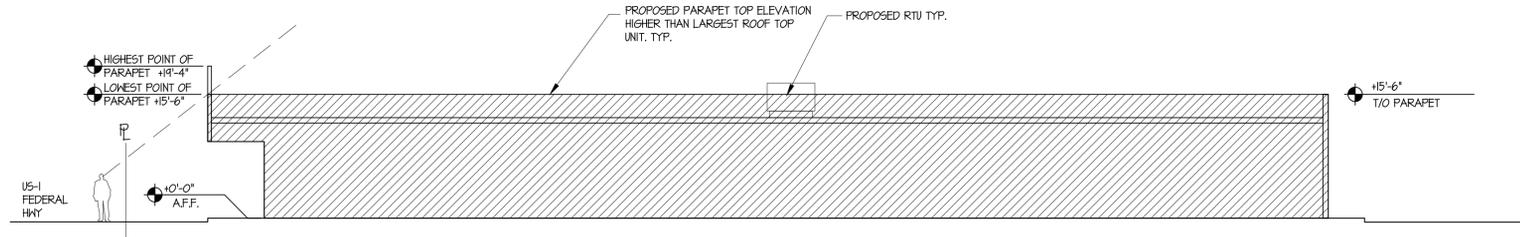
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A25
PROPOSED EAST ELEVATION - BLDG #3 (FACING PARKING LOT)
SCALE: 1/8" = 1'-0"



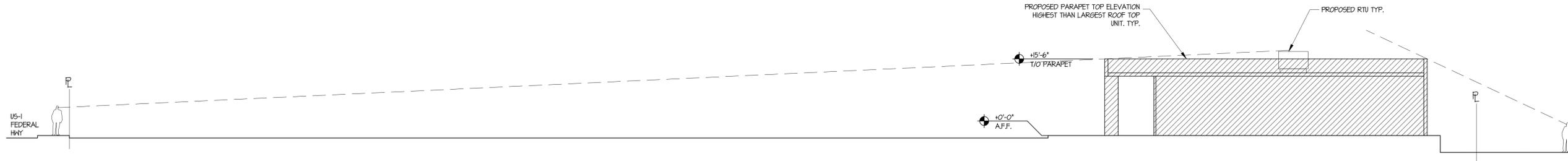
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A25
PROPOSED SOUTH ELEVATION - BLDG #3 (FACING TROPIC BLVD)
SCALE: 1/8" = 1'-0"



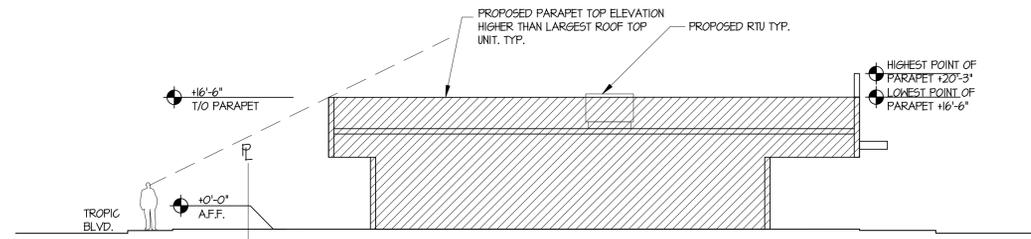
1 KEY PLAN
 A4.0 SCALE: 1/32" = 1'-0"
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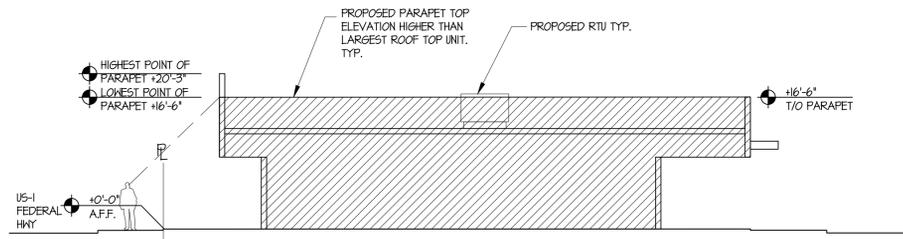
2 SCHEMATIC SIGHT-LINE SECTION - BUILDING #1
 A4.0 SCALE: 3/32" = 1'-0"



3 SCHEMATIC SIGHT-LINE SECTION - BUILDING #2
 A4.0 SCALE: 3/32" = 1'-0"



4 SCHEMATIC SIGHT-LINE SECTION - BUILDING #3
 A4.0 SCALE: 3/32" = 1'-0"



4.1 SCHEMATIC SIGHT-LINE SECTION - BUILDING #3
 A4.0 SCALE: 3/32" = 1'-0"

FACADE RENOVATION FOR
 DELRAY PLACE (SOUTH)
 (FORMERLY KNOWN AS TROPIC SQUARE)
 DELRAY BEACH, FLORIDA

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Mark L. Saltz AR 007171

Project No.:
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REVISIONS:

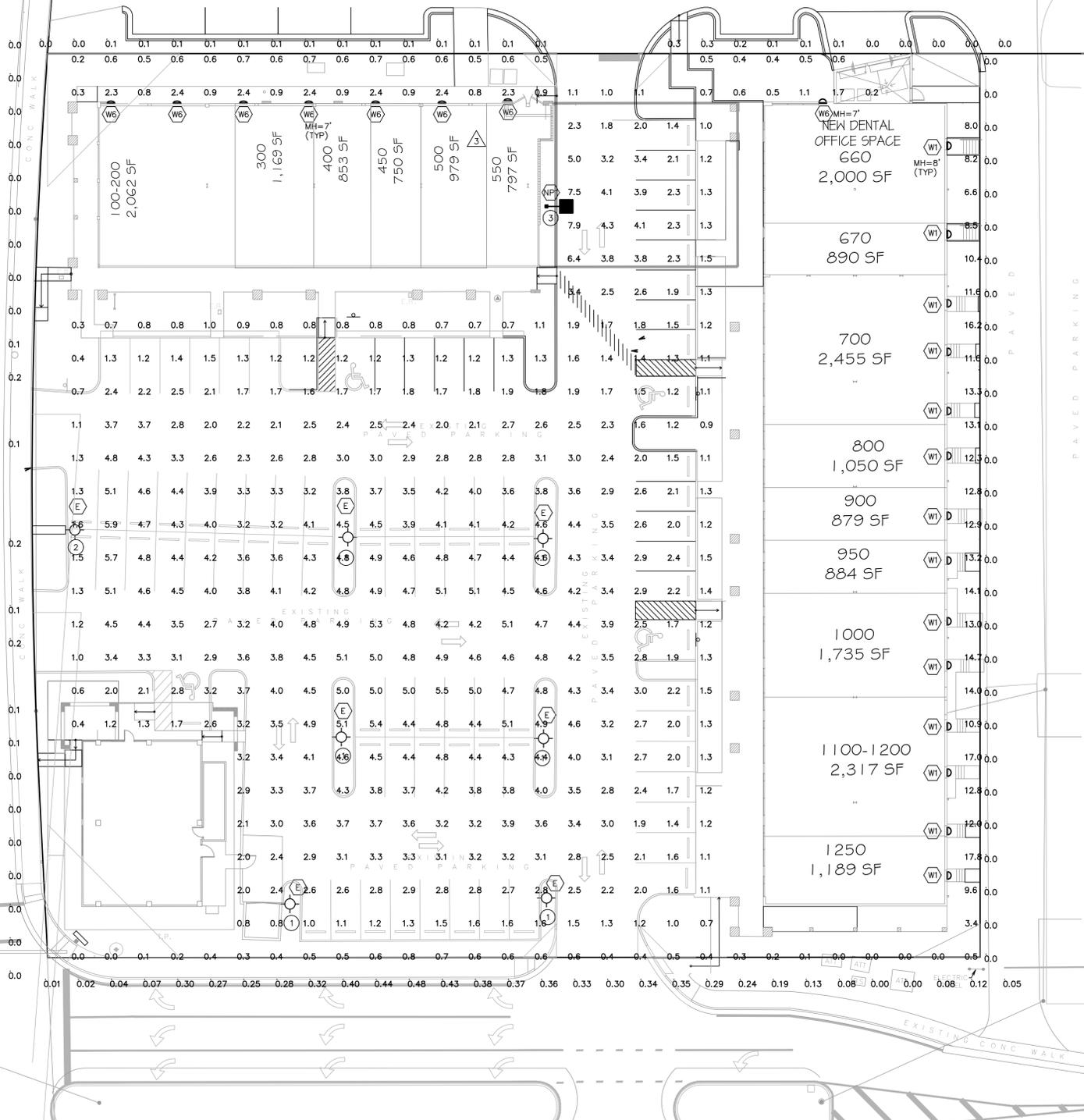
1 SPRAB COMM
 05-22-14

U. S. 1 FEDERAL HIGHWAY
(±83'-0")

EXISTING
EVE STREET
(±24'-0")

TROPIC BOULEVARD
(±65'-7")

SITE PHOTOMETRIC PLAN
1"=20'-0" NORTH

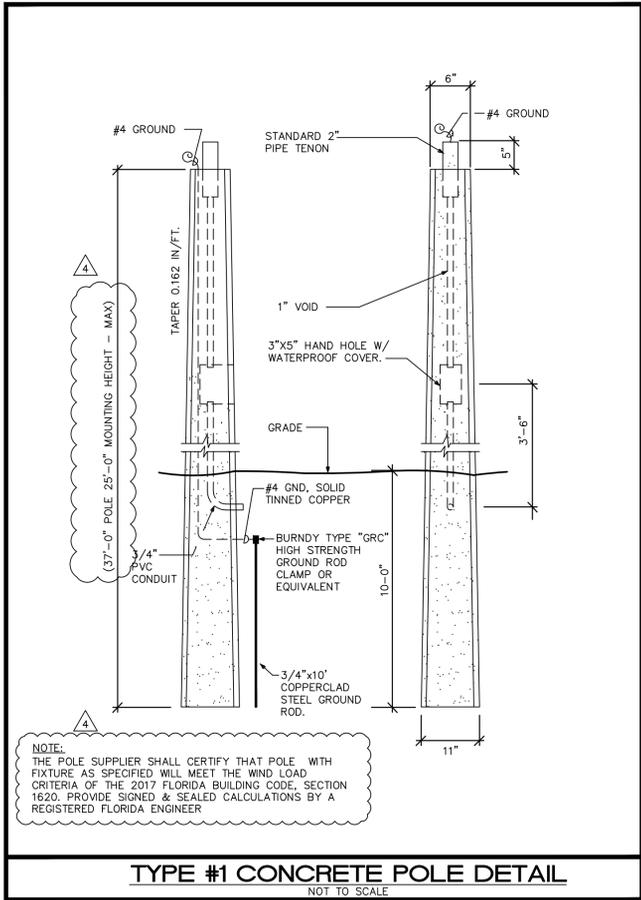


- KEY NOTES**
- TRIM, REMOVE OR REPLACE VEGETATION THAT IS BLOCKING THE LIGHT FROM EXISTING FIXTURE. RELAMP AND REPAIR FIXTURES TO WORKING CONDITION.
 - RELOCATE EXISTING POLE AND FIXTURE. RELAMP AND REPAIR EXISTING LIGHTPOLE AND FIXTURE TO WORKING CONDITION. INSTALL HOUSE SIDE SHIELD TO PREVENT SPILL LIGHT ON R.O.W.
 - NEW LIGHTPOLE AND LED FIXTURE

ANY ACCEPTABLE ALTERNATE/SUBSTITUTE MUST BE APPROVED IN WRITING PRIOR TO BID DATE.
TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING THE IES PHOTOMETRIC FILE FOR THE PROPOSED ALTERNATE/SUBSTITUTION MUST BE SUBMITTED TO KAMM CONSULTING ENGINEERS FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID.

GENERAL NOTE

RELAMP ALL EXISTING BUILDING MOUNTED LIGHT FIXTURES AND REPAIR IF NEEDED.



Luminaire Schedule

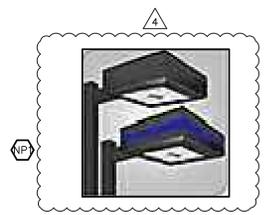
Symbol	Label	[MANUFAC]	Description	Arrangement	Total Lamp Lumens	LLF	Lum. Watts
E	EXISTING		EXISTING LIGHTPOLE AND FIXTURE TO REMAIN				
W6	Kenall Manufacturing		Millenium Round MR13EL-PP-MW-BL35K-DCC MTD @ 7'-0"	SINGLE	N.A.	0.900	11.77
NP1	LSI LIGHTING		XGBM-FT-LED-SS-NW	SINGLE	17239	0.900	189
W1	WLS LIGHTING SYSTEMS		WLS-WMEL-WT-LED-28-450-CW-UE MTD @ 8'-0"	SINGLE	N.A.	0.900	44

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE ALLEY	Illuminance	Fc	1.56	2.2	0.1	15.60	22.00
PROPERTY LINE EVE ST	Illuminance	Fc	0.49	0.9	0.1	4.90	9.00
PROPERTY LINE FEDERAL HWAY	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.
PROPERTY LINE TROPIC BLVD	Illuminance	Fc	0.25	0.5	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	3.19	7.9	1.0	3.19	7.90

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY-6 FT	Illuminance	Fc	0.09	0.0	0.0	N.A.	N.A.
NORTH-6 FT	Illuminance	Fc	0.09	0.2	0.0	N.A.	N.A.
TROPIC-6 FT	Illuminance	Fc	0.23	0.5	0.0	N.A.	N.A.
US1 (EXISTING)-6 FT	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	3.19	7.9	1.0	3.19	7.90



COMBINED SITE PLAN
DELRAY PLACE
DELRAY BEACH, FLORIDA

SALTZ MICHELSON
ARCHITECTS

3501 GRIFFIN ROAD
Ft. Lauderdale, FL 33312
(954) 266-2700 Ex: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR 007171

Project No.: 2013-214

Drawn By: NH-CR

Checked By: MA

Date: 10-16-14

REVISIONS:

- △ SITE PLAN UPDATE 6-1-16
- △ SITE PLAN UPDATE 9-8-16
- △ BLD DEPT COMMENT 10-26-16
- △ BLD DEPT COMMENT 7-3-19

SITE PHOTOMETRIC PLAN

ISSUED FOR PERMIT
ISSUED FOR CONSTRUCTION

KAMM CONSULTING PROJECT #: 2016-0090
PROJECT MANAGER: ART KAMM

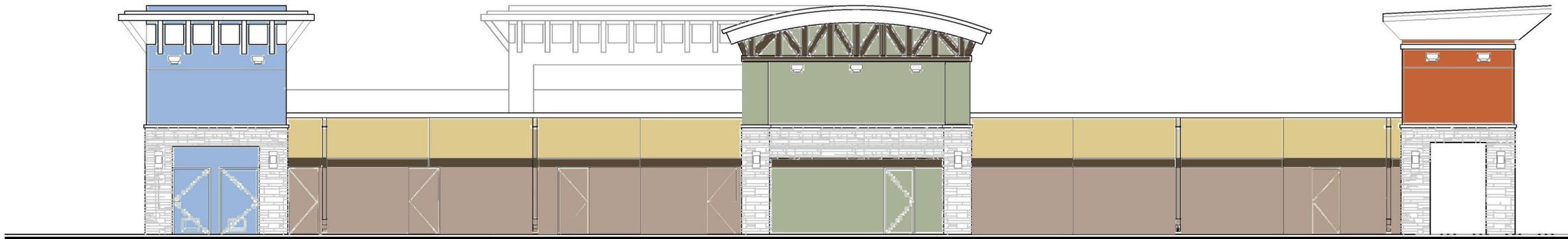
KAMM Consulting
1407 West Newport Center Drive
Deerfield Beach, Florida 33442
Phone 954-949-2200 Fax 954-949-2201
engineering@kammconsulting.com
Certification of Authorization #8189

7-12-19
date
signed

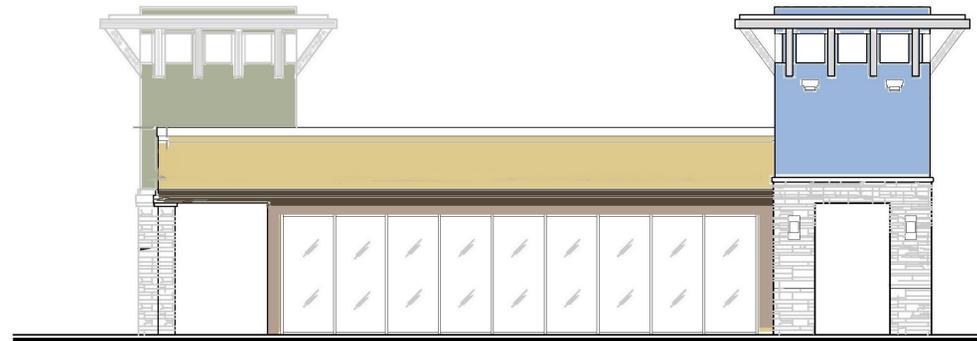
E1.1



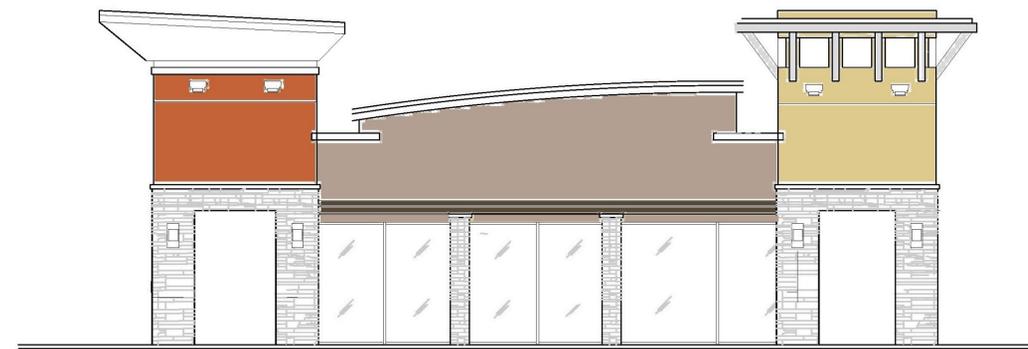
PROPOSED SOUTH ELEVATION - BLDG #1 (FACING TROPIC BLVD & MAIN PARKING AREA)



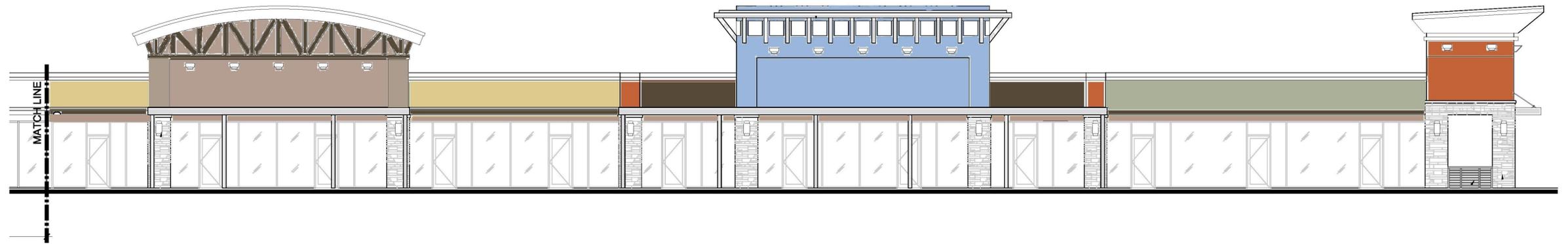
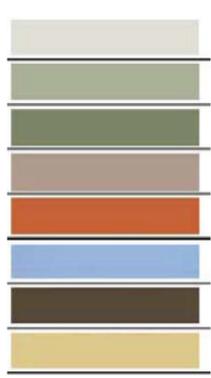
PROPOSED BLDG #1 NORTH ELEVATION (FACING EVE STREET)



PROPOSED EAST ELEVATION - BLDG #1 (VIEW TOWARDS BLDG #2)



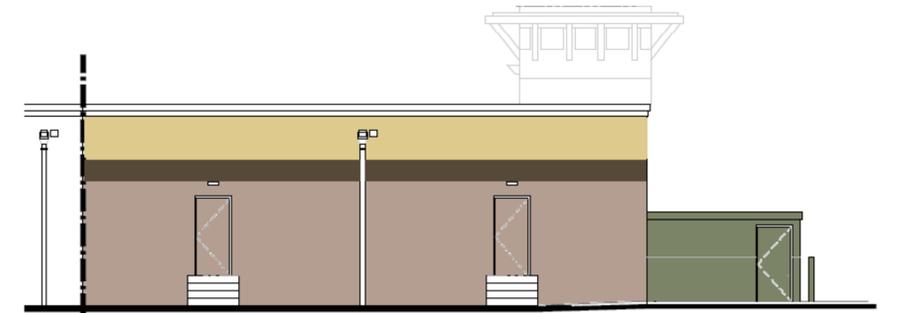
PROPOSED WEST ELEVATION - BLDG #1 (VIEW TOWARDS FEDERAL HWY)



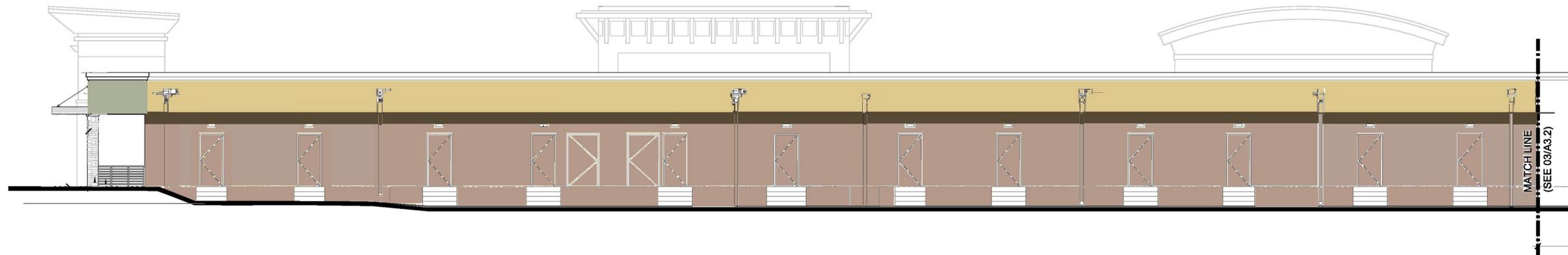
PROPOSED BLDG #2 PARTIAL WEST ELEVATION (FACING FEDERAL HIGHWAY AND MAIN PARKING AREA)



PROPOSED BLDG #2 PARTIAL WEST ELEVATION (FACING FEDERAL HIGHWAY AND MAIN PARKING AREA)



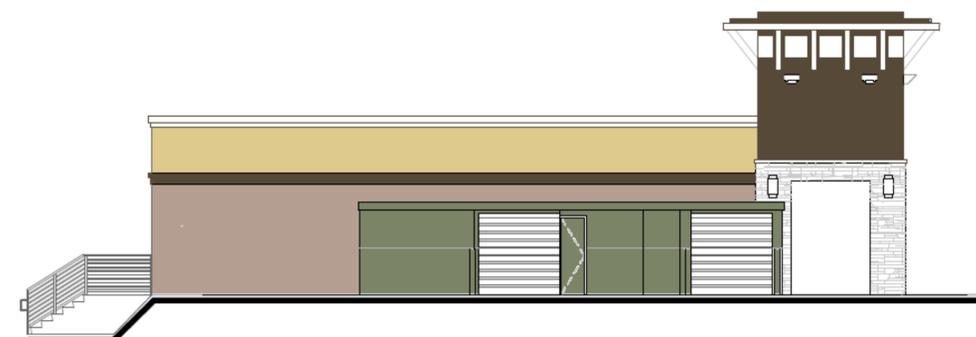
PROPOSED BLDG #2 EAST ELEVATION (FACING REAR ACCESS ALLEY)



PROPOSED EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)



PROPOSED SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)



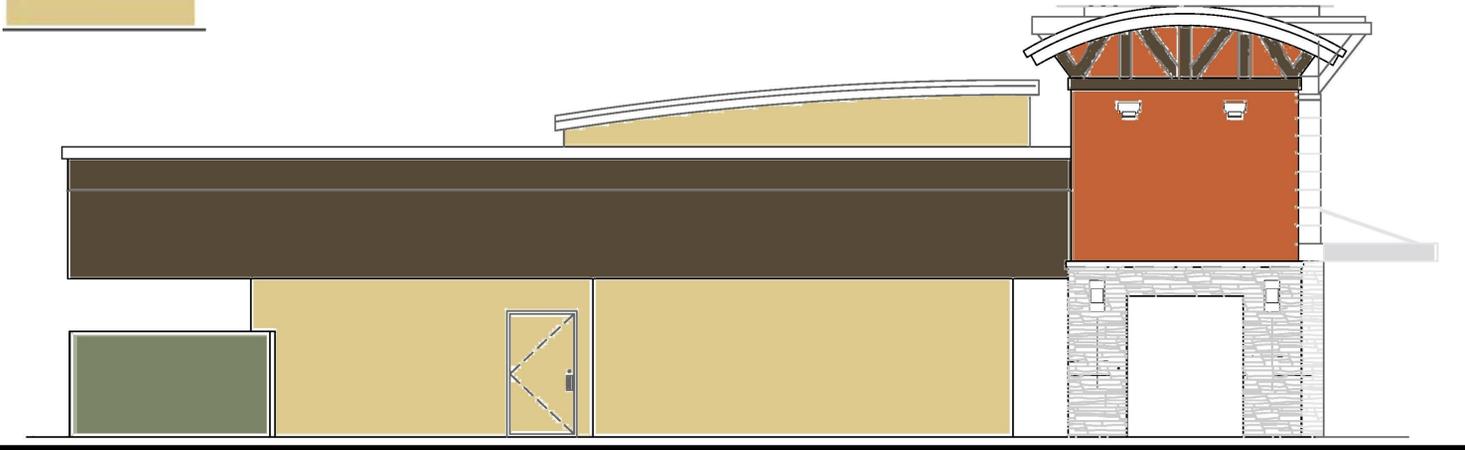
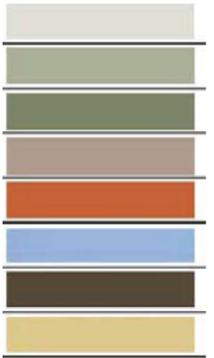
PROPOSED NORTH ELEVATION - BLDG #2 (FACING EVE STREET)



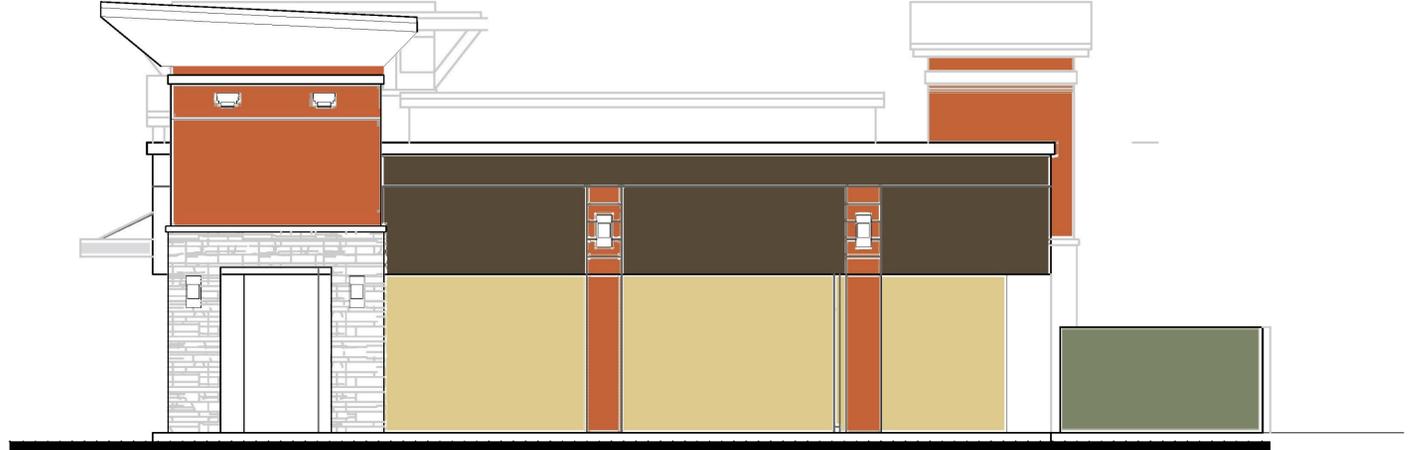
PROPOSED WEST ELEVATION - BLDG #3 (FACING FEDERAL HIGHWAY)



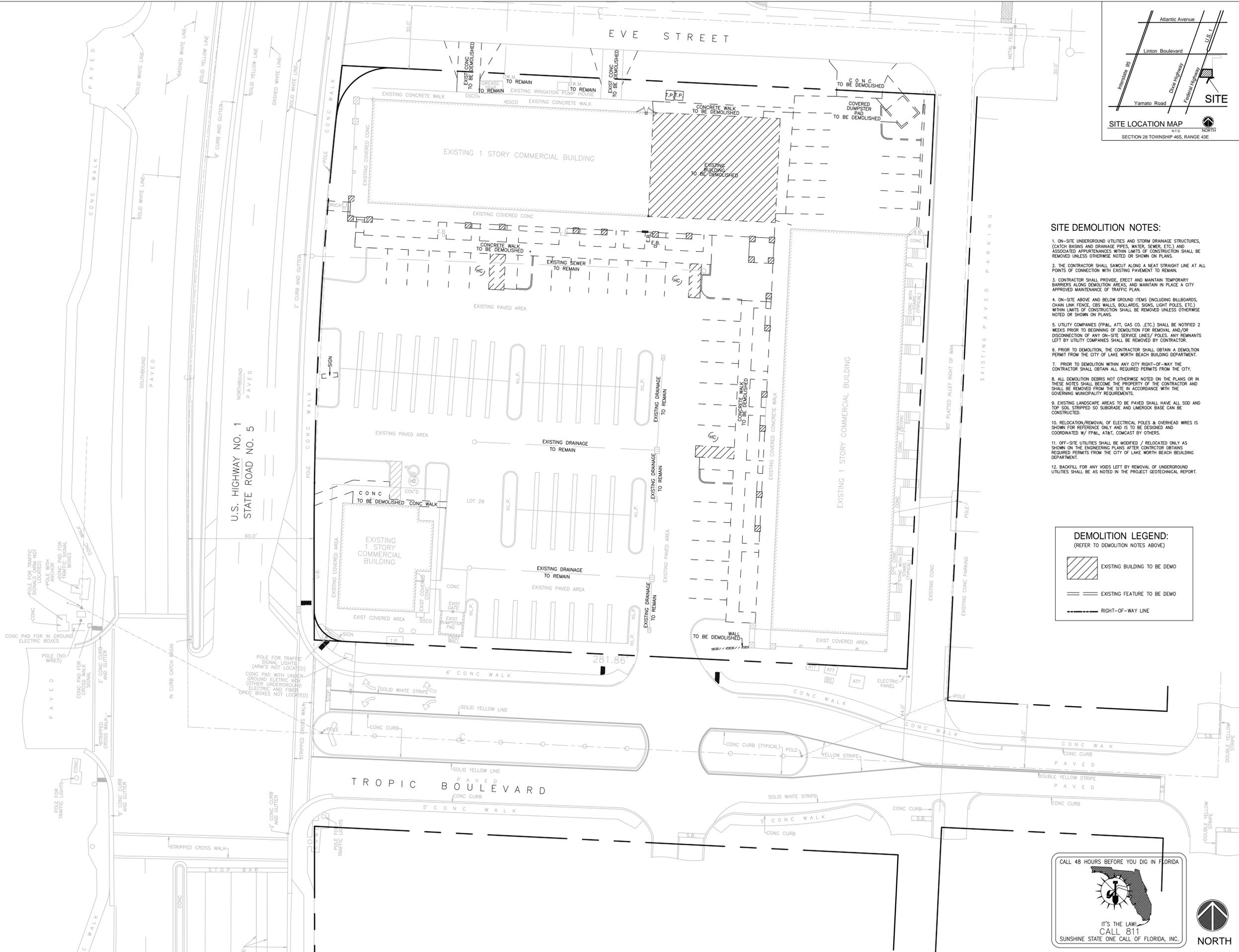
PROPOSED NORTH ELEVATION - BLDG #3 (FACING PARKING LOT)



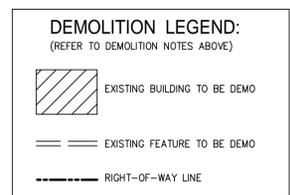
PROPOSED EAST ELEVATION - BLDG #3 (FACING PARKING LOT)



PROPOSED SOUTH ELEVATION - BLDG #3 (FACING TROPIC BLVD)

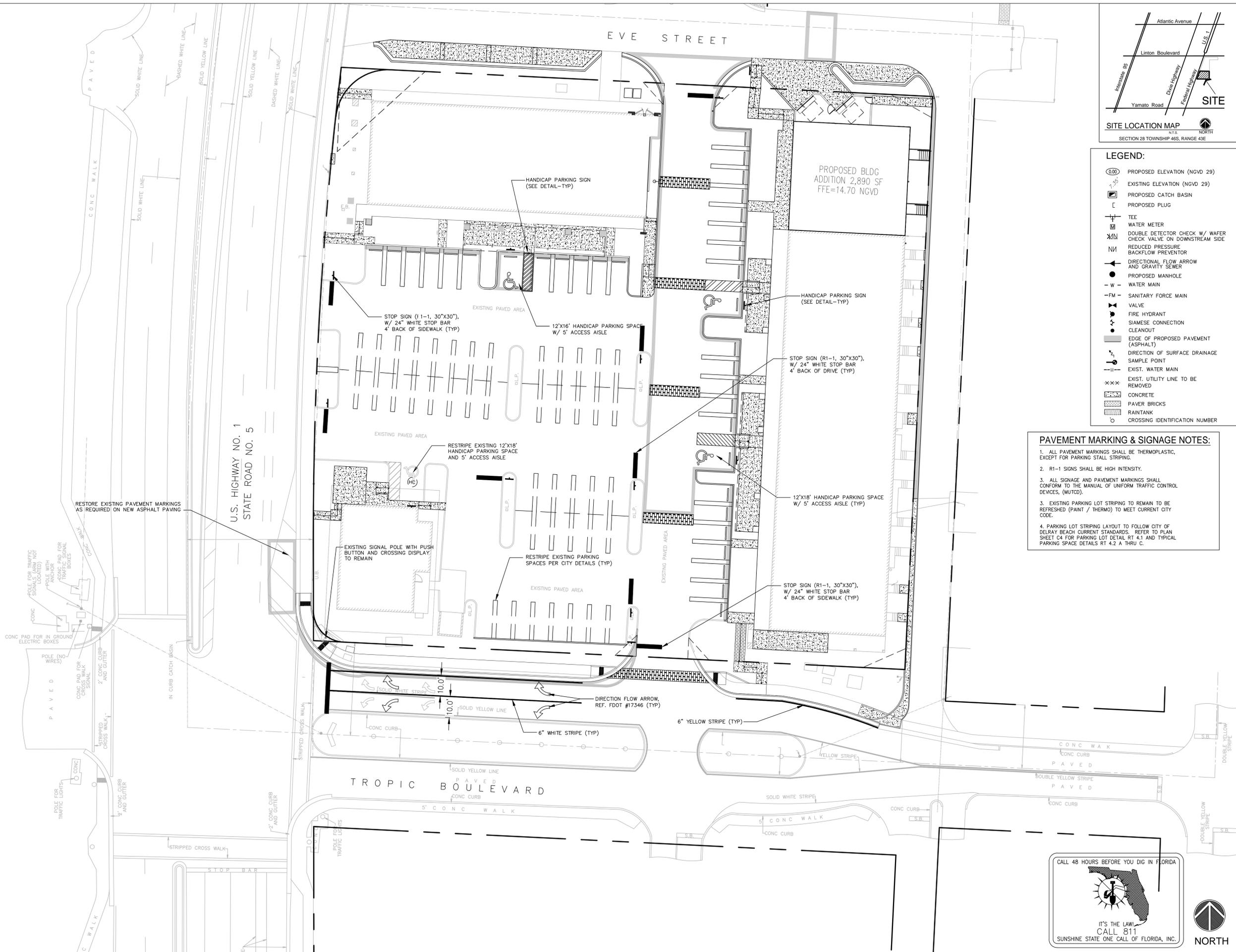


- SITE DEMOLITION NOTES:**
- ON-SITE UNDERGROUND UTILITIES AND STORM DRAINAGE STRUCTURES, (CATCH BASINS AND DRAINAGE PIPES, WATER, SEWER, ETC.) AND ASSOCIATED APPURTENANCES WITHIN LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.
 - THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT TO REMAIN.
 - CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS, AND MAINTAIN IN PLACE A CITY APPROVED MAINTENANCE OF TRAFFIC PLAN.
 - ON-SITE ABOVE AND BELOW GROUND ITEMS (INCLUDING BILLBOARDS, CHAIN LINK FENCE, CBS WALLS, BOLLARDS, SIGNS, LIGHT POLES, ETC.) WITHIN LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.
 - UTILITY COMPANIES (FP&L, ATT, GAS CO., ETC.) SHALL BE NOTIFIED 2 WEEKS PRIOR TO BEGINNING OF DEMOLITION FOR REMOVAL AND/OR DISCONNECTION OF ANY ON-SITE SERVICE LINES/ POLES. ANY REMNANTS LEFT BY UTILITY COMPANIES SHALL BE REMOVED BY CONTRACTOR.
 - PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF LAKE WORTH BEACH BUILDING DEPARTMENT.
 - PRIOR TO DEMOLITION WITHIN ANY CITY RIGHT-OF-WAY THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE CITY.
 - ALL DEMOLITION DEBRIS NOT OTHERWISE NOTED ON THE PLANS OR IN THESE NOTES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY REQUIREMENTS.
 - EXISTING LANDSCAPE AREAS TO BE PAVED SHALL HAVE ALL SOD AND TOP SOIL STRIPPED SO SUBGRADE AND LIMEROCK BASE CAN BE CONSTRUCTED.
 - RELOCATION/REMOVAL OF ELECTRICAL POLES & OVERHEAD WIRES IS SHOWN FOR REFERENCE ONLY AND IS TO BE DESIGNED AND COORDINATED W/ FP&L, AT&T, COMCAST BY OTHERS.
 - OFF-SITE UTILITIES SHALL BE MODIFIED / RELOCATED ONLY AS SHOWN ON THE ENGINEERING PLANS AFTER CONTRACTOR OBTAINS REQUIRED PERMITS FROM THE CITY OF LAKE WORTH BEACH BUILDING DEPARTMENT.
 - BACKFILL FOR ANY Voids LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED IN THE PROJECT GEOTECHNICAL REPORT.



CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

NORTH



LEGEND:

	PROPOSED ELEVATION (NGVD 29)
	EXISTING ELEVATION (NGVD 29)
	PROPOSED CATCH BASIN
	PROPOSED PLUG
	TEE
	WATER METER
	DOUBLE DETECTOR CHECK W/ W/FER CHECK VALVE ON DOWNSTREAM SIDE
	REDUCED PRESSURE BACKFLOW PREVENTOR
	DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
	PROPOSED MANHOLE
	WATER MAIN
	SANITARY FORCE MAIN
	VALVE
	FIRE HYDRANT
	SIAMESE CONNECTION CLEANOUT
	EDGE OF PROPOSED PAVEMENT (ASPHALT)
	DIRECTION OF SURFACE DRAINAGE
	SAMPLE POINT
	EXIST. WATER MAIN
	EXIST. UTILITY LINE TO BE REMOVED
	CONCRETE
	PAVER BRICKS
	RAINTANK
	CROSSING IDENTIFICATION NUMBER

PAVEMENT MARKING & SIGNAGE NOTES:

- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
- R1-1 SIGNS SHALL BE HIGH INTENSITY.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).
- EXISTING PARKING LOT STRIPING TO REMAIN TO BE REFRESHED (PAINT / THERMO) TO MEET CURRENT CITY CODE.
- PARKING LOT STRIPING LAYOUT TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS. REFER TO PLAN SHEET C4 FOR PARKING LOT DETAIL RT 4.1 AND TYPICAL PARKING SPACE DETAILS RT 4.2 A THRU C.

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 241 COMMERCIAL BLD., LAUDERDALE-BY-SEA, FL 33308
 PHONE (954) 522-1004 | WWW.FLYNNENGINEERING.COM
 EBF 6578

Sheet Title
PAVEMENT MARKINGS AND SIGNAGE PLAN

Job Title
DELRAY PLACE SOUTH
 (P.K.A. TROPIC SQUARE)
 CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

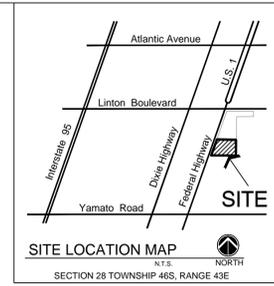
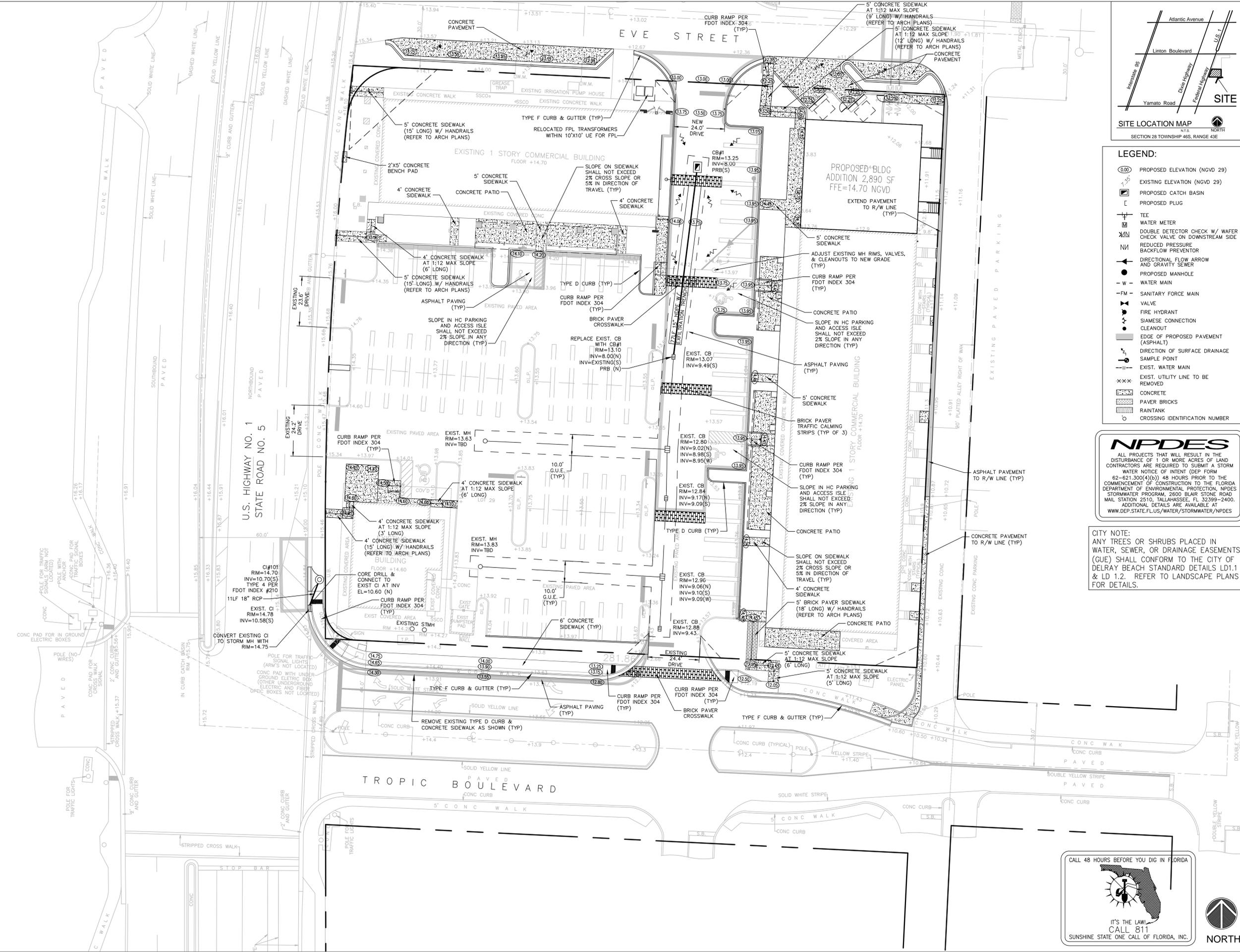
Phase:
 PERMITTING DOCUMENTS

Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plot Date 07/12/19
Drawn by DRS	Sheet No. C1
Proj. Eng. DRS	Appr. by DRS
	1 of 4

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW!
 CALL 811
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NORTH



- LEGEND:**
- (0.00) PROPOSED ELEVATION (NGVD 29)
 - (1.50) EXISTING ELEVATION (NGVD 29)
 - [] PROPOSED CATCH BASIN
 - [] PROPOSED PLUG
 - [] TEE
 - [] WATER METER
 - [] DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 - [] REDUCED PRESSURE BACKFLOW PREVENTOR
 - [] DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - [] PROPOSED MANHOLE
 - W - WATER MAIN
 - FM - SANITARY FORCE MAIN
 - [] VALVE
 - [] FIRE HYDRANT
 - [] SIAMESE CONNECTION
 - [] CLEANOUT
 - [] EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - [] DIRECTION OF SURFACE DRAINAGE
 - [] SAMPLE POINT
 - W - EXIST. WATER MAIN
 - [] EXIST. UTILITY LINE TO BE REMOVED
 - [] CONCRETE
 - [] PAVEMENT BRICKS
 - [] RAIN TANK
 - [] CROSSING IDENTIFICATION NUMBER

NPDES

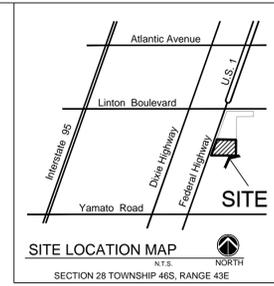
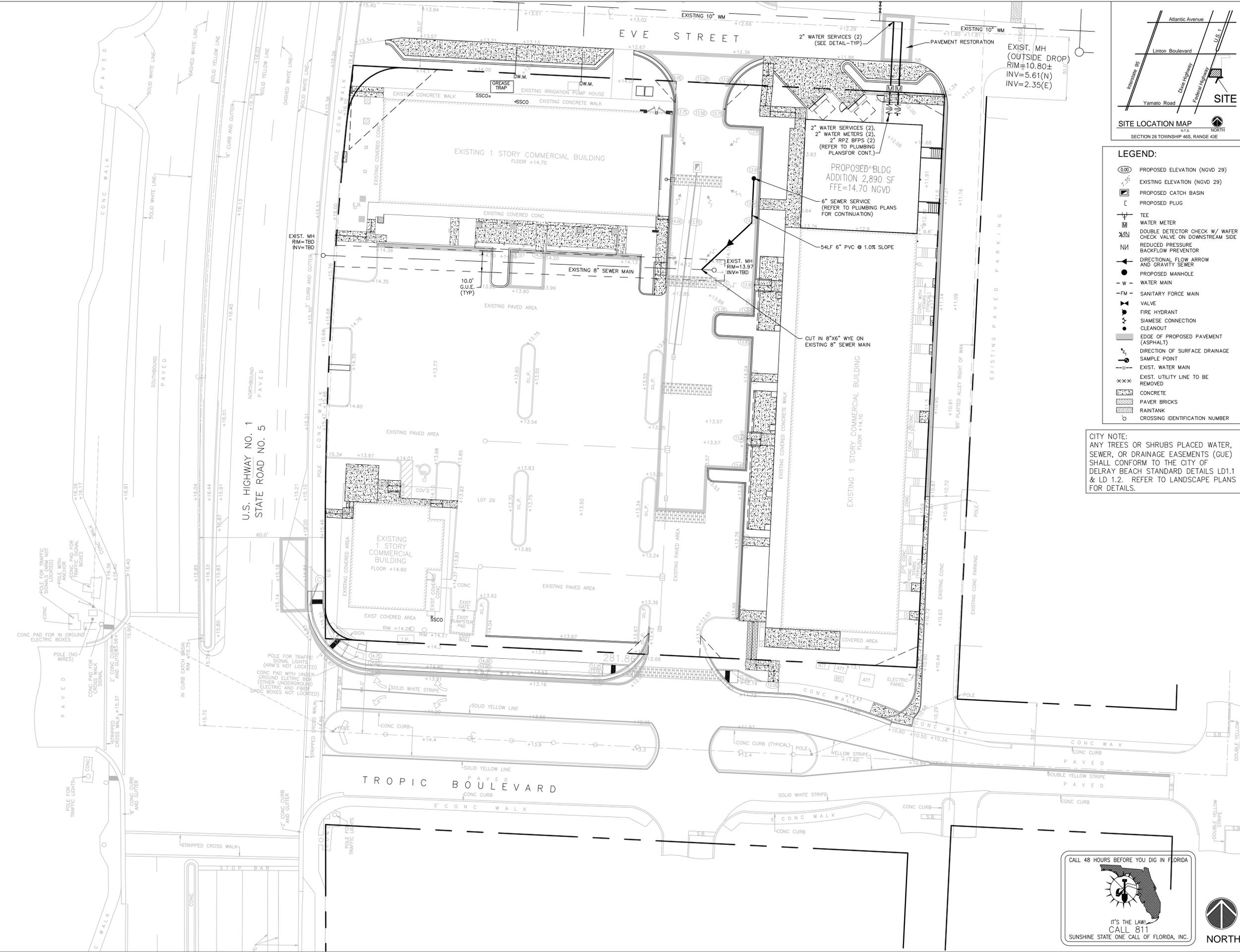
ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 52-621.300(4)(b)), 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEF.STATE.FL.US/WATER/STORMWATER/NPDES

CITY NOTE:
ANY TREES OR SHRUBS PLACED IN WATER, SEWER, OR DRAINAGE EASEMENTS (GUE) SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD1.1 & LD 1.2. REFER TO LANDSCAPE PLANS FOR DETAILS.

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

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CALL 811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NORTH



- LEGEND:**
- 0.00 PROPOSED ELEVATION (NGVD 29)
 - 1.50 EXISTING ELEVATION (NGVD 29)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMOSE CONNECTION CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE REMOVED
 - CONCRETE
 - PAVER BRICKS
 - RAIN TANK
 - CROSSING IDENTIFICATION NUMBER

CITY NOTE:
 ANY TREES OR SHRUBS PLACED WATER, SEWER, OR DRAINAGE EASEMENTS (GUE) SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD.1.1 & LD.1.2. REFER TO LANDSCAPE PLANS FOR DETAILS.

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Sheet Title
WATER AND SEWER PLAN

Job Title
DELRAY PLACE SOUTH
 (P.K.A. TROPIC SQUARE)
 CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

Phase:
 PERMITTING DOCUMENTS

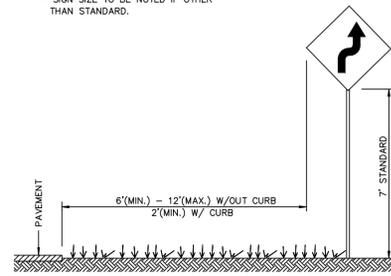
Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plot Date 07/12/19
Drawn by DRS	Sheet No. C3
Proj. Engr. DRS	Appr. by DRS
	3 of 4

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW!
 CALL 811
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NORTH

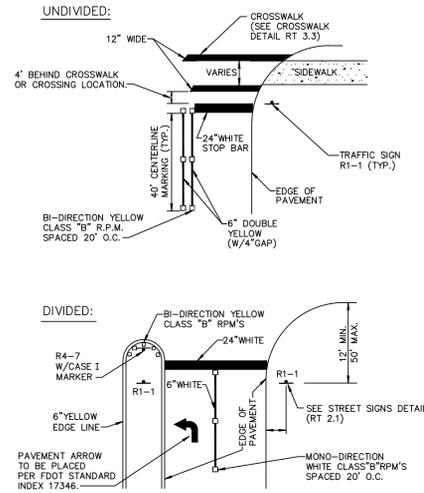
TYPICAL SIGN PLAN SYMBOL : 
M.U.T.C.D. DESIGNATION : W1-3R *
* SIGN SIZE TO BE NOTED IF OTHER THAN STANDARD.



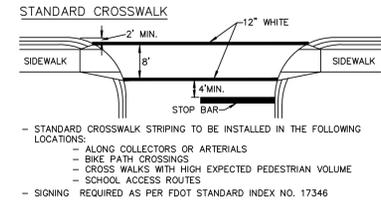
NOTES:

1. ALL SIGNS SHALL BE SPECIFIED USING THE M.U.T.C.D. DESIGNATION.
2. ALL SIGNS SHALL BE FACED WITH HIGH INTENSITY SHEETING MATERIAL OR BETTER.
3. SIGNS SHALL BE MANUFACTURED WITH 0.080" ALUMINUM BLANK.
4. POSTS SHALL BE GALVANIZED CHANNEL AT 2 LBS./L.F.
5. USE SHALL FOLLOW THE M.U.T.C.D. AND F.D.O.T. STANDARD DESIGN SPECIFICATIONS TO INSTALLATION.
6. ANY DEVIATION FROM THIS TYPICAL SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO INSTALLATION.
7. REFLECTIVE POSTS MAY BE USED IF M.U.T.C.D. STANDARD IS FOLLOWED.

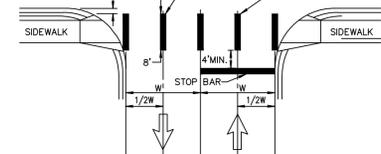
STREET SIGNS DETAIL RT 2.1b



INTERSECTION TRAFFIC CONTROL STOP CONDITION DETAIL RT 3.2



STANDARD CROSSWALK STRIPING TO BE USED ONLY AT DESIGNATED SUPERVISED SCHOOL CROSSING



SCHOOL CROSSWALK STRIPING TO BE USED ONLY AT DESIGNATED SUPERVISED SCHOOL CROSSING

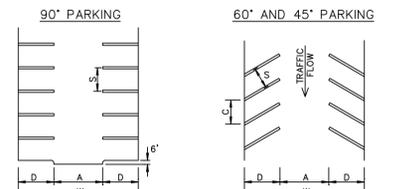
SIGNS AND ADVANCED PAVEMENT MESSAGES TO BE DESIGNED AND INSTALLED PER FDOT STANDARD (INDEX NO. 17346)

CROSSWALKS LOCATED MIDBLOCK MIN. WIDTH 10' ALL CROSSWALK MARKINGS SHALL BE WHITE

LONGITUDINAL LINES IN SPECIAL EMPHASIS CROSSWALK SHALL BE 24" WHITE AND SPACED TO AVOID THE WHEEL PATH OF VEHICLES AS SHOWN IN DETAIL. THE SPACE BETWEEN MARKINGS SHALL NOT EXCEED 60". A LONGITUDINAL MARKING SHALL BE CENTERED AT EACH LANE LINE. ADDITIONAL LONGITUDINAL MARKINGS SHALL BE PLACED AT THE CENTER OF EACH LANE.

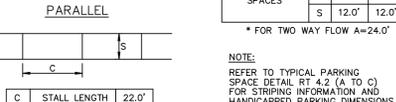
WHERE THE CROSSWALK IS SKewed TO THE LANE LINES, THE SPECIAL EMPHASIS LONGITUDINAL LINES SHOULD BE PARALLEL TO THE LANE LINE.

CROSSWALK DETAILS RT 3.3



STANDARD		60°	45°
A	aisle *	17.0'	15.0'
S	stall width	9.0'	9.0'
C	stall length	10.5'	12.5'
S	stall width	9.0'	9.0'
D	stall depth	20.0'	19.0'
W	module width	57.0'	53.0'

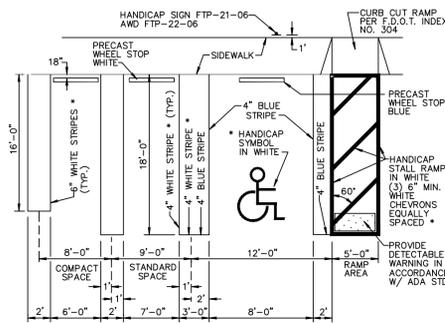
* COMPACT CAR SPACES - 8.0' HANDICAP SPACES - 12.0' SEE RT 4.2



REFER TO TYPICAL PARKING SPACE DETAIL RT 4.2 (A TO C) FOR STRIPING INFORMATION AND HANDICAPPED PARKING DIMENSIONS.

STOP BAR BETWEEN PARKING LOT & PUBLIC R/W MUST BE THERMOPLASTIC.

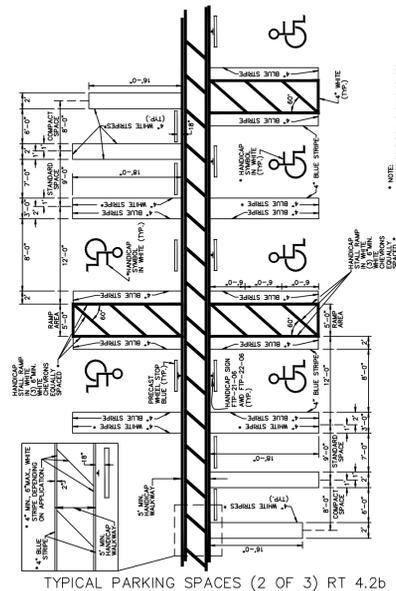
PARKING LOTS DETAIL RT 4.1



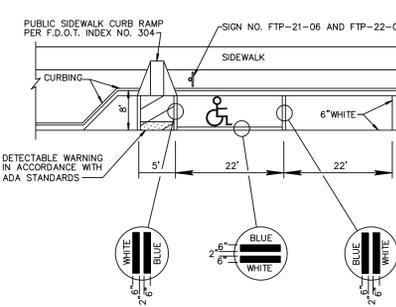
PARKING STALL DIMENSIONS:
STANDARD 9' x 18'
COMPACT 8' x 16'
HANDICAP 12' x 18' PLUS 5' RAMP AREA

- NOTES:
1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
 2. ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
 3. ALL MEASUREMENTS ARE FROM CENTER LINE.
 4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
 5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE.
 6. YELLOW STRIPE ON CONCRETE.
 7. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN RT-1

TYPICAL PARKING SPACES (1 OF 3) DETAIL RT 4.2a



TYPICAL PARKING SPACES (2 OF 3) RT 4.2b



NOTE:
HANDICAPPED PARKING SPACE MUST BE FIRST OR LAST PARALLEL PARKING SPACE IN THE ROW. ADJACENT TO LANDSCAPE ISLAND. IF SPACE IS AT THE FRONT OF PARKING ROW ACCESS PANEL MUST BE IN FRONT OF CAR AND IF SPACE IS AT THE END OF PARKING ROW ACCESS PANEL MUST BE AT THE REAR OF CAR.

TYPICAL PARKING SPACES (3 OF 3) DETAIL RT 4.2c

PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices (MUTCD).

PERMANENT MARKINGS

- Installation:
- All markings shall be installed by the extruded method.
 - Markings shall be free of weaves, bows, drips, drops, and other degrading items.
 - Chalk shall be used for all layout markings
- Materials:
- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.
- Thickness:
- All markings shall be installed to yield 90 mils of material measured above the pavement surface.
- Spheres:
- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.
- Alternate Material:
- STAMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.
- Layout:
- Layout shall be made using marking chalk.
 - It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

- Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.
- Final Pavement Surface:
- Only full backed marking tape is allowed.
 - All tape shall be totally removed concurrent with permanent marking placement.
- Other Pavement Surfaces:
- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a (Sheet 1 of 2)

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

PAVEMENT MARKING SPECIFICATIONS RT 8.1b (Sheet 2 of 2)

Scale:	Date
NTS	02/15/16
Job No.	Plot Date
12-1005.03	06/14/19
Drawn by	Sheet No.
DRS	C4
Proj. Mgr.	
DRS	
Appr. by	4 of 4
DRS	

U.S. 1 FEDERAL HIGHWAY (±83'-0")

EVE STREET (±24'-0")

TROPIC BOULEVARD

TREES & PALMS REMOVALS/REPLACEMENTS

TYPE	QTY	DESCRIPTION	SHEET NUMBER
PALM	25	REMOVE	TD.1 (TREE DISPOSITION)
PALM	20	REPLACEMENT (NEW)	LP.1 (THIS SHEET)
TREE	4*	REMOVE	TD.1 (TREE DISPOSITION)
TREE	20	REPLACEMENT (NEW)	LP.1 (THIS SHEET)

*5 TOTAL TREES ARE SHOWN FOR REMOVAL ON TD.1 BUT ONE TREE IS AN INVASIVE CARROTWOOD TREE AND IS NOT INCLUDED IN THE TOTAL ABOVE.

EXISTING TREES & PALMS TO REMAIN SCHEDULE

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
BB-EX	2	BLACK OLIVE	BUCIDA BUCERAS	TO REMAIN ON SITE
CA-EX	1	CARPENTER PALM	CARPENTARIA ACUMINATA	TO REMAIN ON SITE
DL-EX	1	ARECA PALM	DYSPIS LUTESCENS	TO REMAIN ON SITE
PE-EX	1	SOLITAIRE PALM	PTYCHOSPERMA ELEGANS	TO REMAIN ON SITE
PR-EX	2	PYGMY DATE PALM	PHOENIX ROEBELENI	TO REMAIN ON SITE
QV-EX	1	LIVE OAK	QUERCUS VIRGINIANA	TO REMAIN ON SITE
RR-EX	10	ROYAL PALM	ROYSTONIA REGIA	TO REMAIN ON SITE
SM-EX	2	MAHOGANY	SWIETENIA MAHAGONI	TO REMAIN ON SITE
SP-EX	7	SABAL PALM	SABAL PALMETTO	TO REMAIN ON SITE

EXISTING TREES & PALMS TO BE RELOCATED SCHEDULE

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
RR-RE	5	ROYAL PALM	ROYSTONIA REGIA	TRANSPLANTED ON SITE

PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
CE	6	GREEN BUTTWOOD	CONOCARPUS ERECTUS	1'6" HT. X 7' SPR. MIN./ 6' C.T.
IC	7	DAHOON HOLLY	ILEX CASSINE	1'6" HT. X 7' SPR. MIN./ 6' C.T.
JAT	7	JATROPHA	JATROPHA CURCAS	5' HT. X 4' SPR.
PALMS				
PE2	4	SOLITAIRE PALM	PTYCHOSPERMA ELEGANS	1'8" C.T./ DOUBLE-TRUNK
PR3	2	PYGMY DATE PALM	PHOENIX ROEBELENI	6' OA HT./ TRIPLE-TRUNK
PS	4	SYLVESTER PALM	PHOENIX SYLVESTRIS	1'8" C.T./ Diamond Cut/ FL#1/ Matched
RE	3	ROYAL PALM	ROYSTONIA ELATA	14' G.W. MIN./ 20' C.T. MIN. CONTINUOUS TRUNK DIAMETER
SP	3	SABAL PALM	SABAL PALMETTO	20' OA HT./ 8' C.T.
VM	3	MONTGOMERY PALM	VEITCHIA MONTGOMERYANA	20' C.T./ 8" CAL. MIN./ Matched
SHRUBS				
CHR	142	REDTIP COCOPLUM	CHRYSOBALANUS ICACO	30" HT. X 24" SPRD. 30-36" O.C.
CLS	12	CLUSIA	CLUSIA GUTTIFERA	60" HT. X 30" SPRD. 30" O.C.
CLU	49	CLUSIA	CLUSIA GUTTIFERA	36" HT. X 24" SPRD. 36-42" O.C.
CRI	28	GREEN CRINUM LILY	CRINUM ASIATICUM	36" HT. X 24" SPRD. AS SHOWN
CRO	606	'MAGNIFICENT' CROTON	CROTON VAR. 'MAGNIFICENT'	24" HT. X 18" SPRD. 24" O.C.
FMD	40	PODOCARPUS	PODOCARPUS MACROPHYLLUS	42" HT. X 30" SPRD. 36-42" O.C.
POD	218	PODOCARPUS	PODOCARPUS MACROPHYLLUS	24" HT. X 18" SPRD. 18" O.C.
SCH	245	VARIEGATED SCHEFFLERA	SCHEFFLERA ARB. 'VARIEGATA'	24" HT. X 24" SPRD. 24" O.C.
THR	87	THRYALLIS	GALPHIMIA SPECIOSA	24" HT. X 24" SPRD. 30" O.C.
GROUNDCOVERS				
DIA	940	FLAX LILY	DIANELLA TASMANICA VARIEGATA	12" HT. X 12" SPRD. 12" O.C.
PEN	180	PENTAS	PENTAS SPP.	12" HT. X 12" SPRD. 12" O.C.
POP	270	'PRINGLES' PODOCARPUS	PODOCARPUS MAC. 'PRINGLES'	12" HT. X 12" SPRD. 12" O.C.
SOD	T.B.D.	ST. AUGUSTINE SOD	STENOTAPHRUM SECUNDATUM	CONTRACTOR TO DETERMINE QTY.

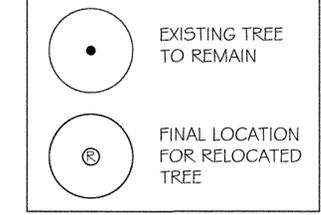
LANDSCAPE NOTES:

- ALL PLANTS TO BE FLORIDA #1 QUALITY OR BETTER AS DEFINED IN THE LATEST EDITION OF THE FLORIDA GRADES AND STANDARDS FOR NURSEY PLANTS, UNLESS OTHERWISE NOTED.
- ALL PLANTING AND SOD AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.
- ALL PLANTING BEDS/ ISLANDS SHALL BE FREE OF SHELLROCK, CONSTRUCTION DEBRIS, OR OTHER MISCELLANEOUS DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS, AND BACKFILLED WITH THE SPECIFIED SOIL MIXTURE.
- TREES SHALL NOT BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITIES. ROOT BARRIER IS REQUIRED, IF ANY TREE OR PALM IS TO BE PLANTED WITHIN FOUR (4) FEET OF ANY UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED APPROVALS AND PERMITS FROM LOCAL MUNICIPALITY AND GOVERNING AGENCIES PRIOR TO REMOVAL OF ANY EXISTING VEGETATION OR BEGINNING INSTALLATION.
- IN THE EVENT OF A CONFLICT BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND GRAPHICALLY DEPICTED AND LABELED ON THE PLAN, THE PLAN WILL PREVAIL. IF SUCH CONFLICT IS DISCOVERED, CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT.
- ALL TREES PLANTED UNDER OR NEAR OVERHEAD POWER LINES SHALL COMPLY WITH FPL RIGHT TREE, RIGHT PLACE REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING, EXCAVATION, OR UNDERGROUND WORK. IF PROPOSED DESIGN CONFLICTS WITH EXISTING OR PROPOSED UTILITY LOCATIONS, CONTRACTOR SHALL IMMEDIATELY CONTACT LANDSCAPE ARCHITECT TO DEVELOP A SOLUTION FOR THE CONFLICT.

PLAN REVIEW NOTE:

- THE LANDSCAPE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CITY OF DELRAY BEACH LANDSCAPE REQUIREMENTS AND IN ACCORDANCE WITH THE PREVIOUSLY APPROVED LANDSCAPE PLAN. SPECIFIC LANDSCAPE REQUIREMENTS PER THE CITY OF DELRAY BEACH CODE ARE NOT PROVIDED AS THIS IS AN EXISTING SITE WITH A SMALL AREA AFFECTED BY THE PROPOSED IMPROVEMENTS.

EXISTING TREE LEGEND



LOCATION MAP



Always call 811 two full business days before you dig to have underground utilities located and marked.



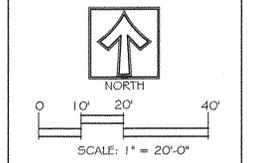
insite studio
 planning + landscape architecture
 8144 Okeechobee Blvd, Suite A, West Palm Beach, FL 33411
 phone: 561-249-0940 | email: info@insitestudio.com
 www.insitestudio.com | License#: LC26000606

Consultants:

Revisions:	Per Client Comments:	12/13/18
	Per Client Comments:	12/18/18
	Per City Comments:	6/13/19
	Per Site Plan Revisions:	7/8/19
	Per Site Plan Revisions:	7/9/19
	Per Site Plan Revisions:	7/11/19

Delray Place South
 City of Delray Beach, Florida

BRYAN ROBERT DONAHUE, PLA
 LICENSE # LA6667130



Drawn By: SMT
 Drawing #: 1049
 Date: 12/3/2018

Landscape Plan
 SHEET # LP.1

Consultants:

Revisions:
 Per City Comments: 6/13/19

Delray Place South
 City of Delray Beach, Florida



BRYAN ROBERT DONAHUE, PLA
 LICENSE # LA6667130

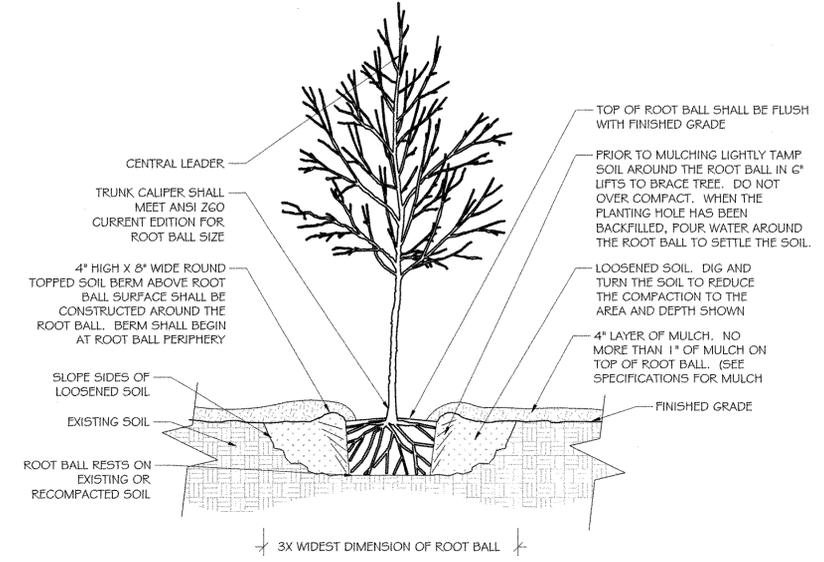
Always call 811 two full business days before you dig to have underground utilities located and marked.



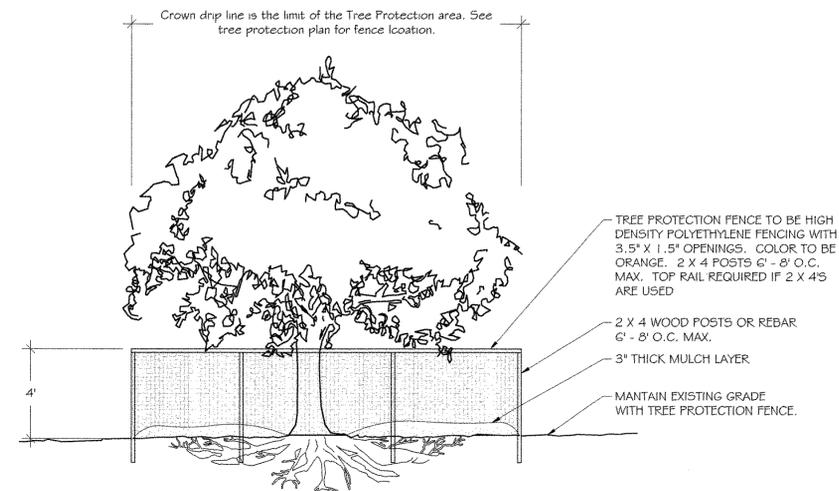
Drawn By: SMT
 Drawing #: 1049
 Date: 12/3/2018

LANDSCAPE DETAILS
 AND SCHEDULE

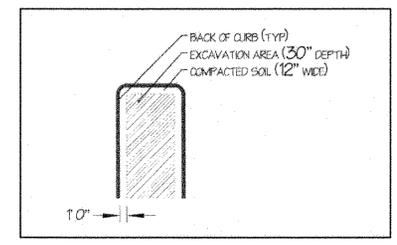
SHEET # LP.2



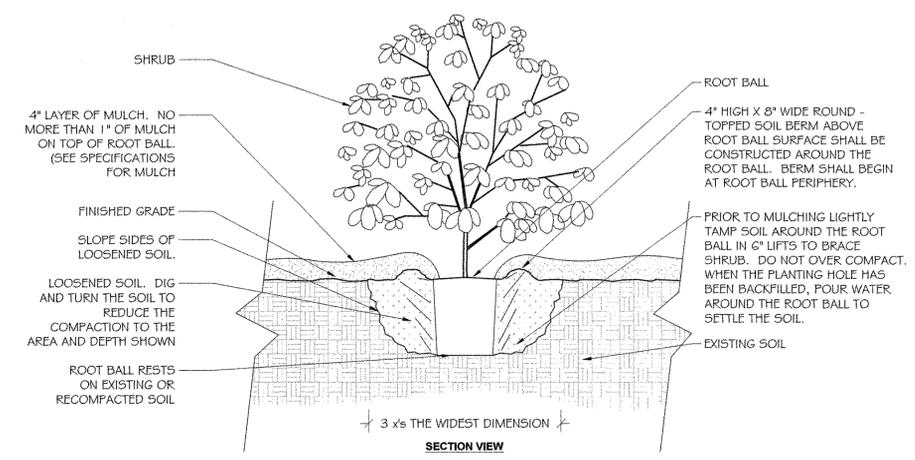
1 TREE PLANTING DETAIL SCALE: 1/2" = 1'-0"
 NOTES:
 1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



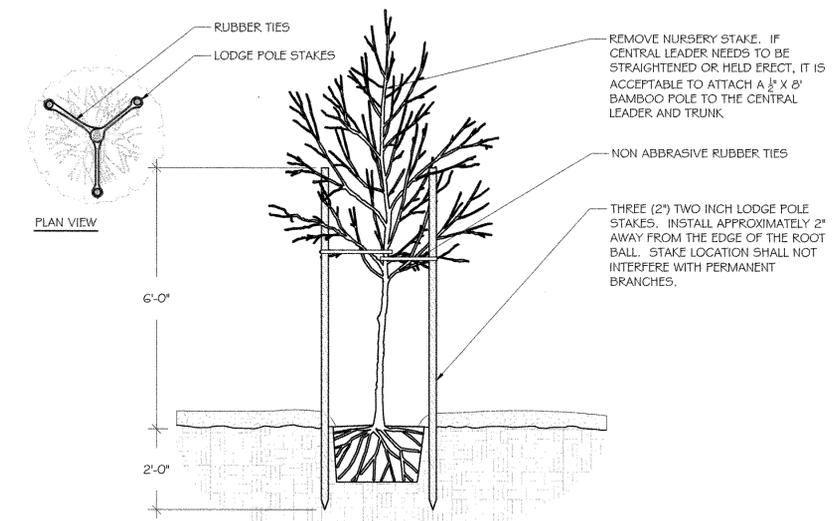
4 TREE PROTECTION DETAIL SCALE: 1/4" = 1'-0"
 NOTES:
 1. KEEP OUT OF TREE PROTECTION AREA
 2. FENCE TO BE INSTALLED ALONG DRIPLINE OF EXISTING TREES
 3. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.



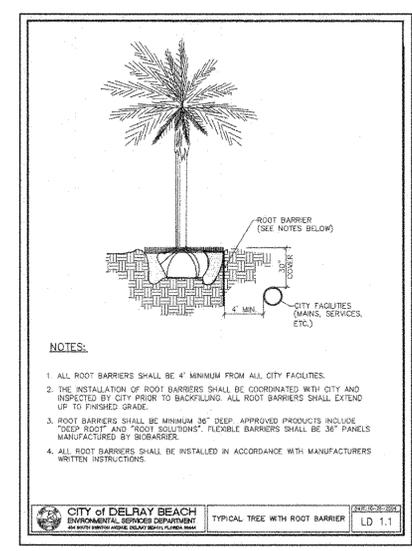
7 EXCAVATION DETAIL SCALE: N.T.S.
 NOTE: THIS DETAIL APPLIES TO NEW PARKING ISLANDS ONLY.



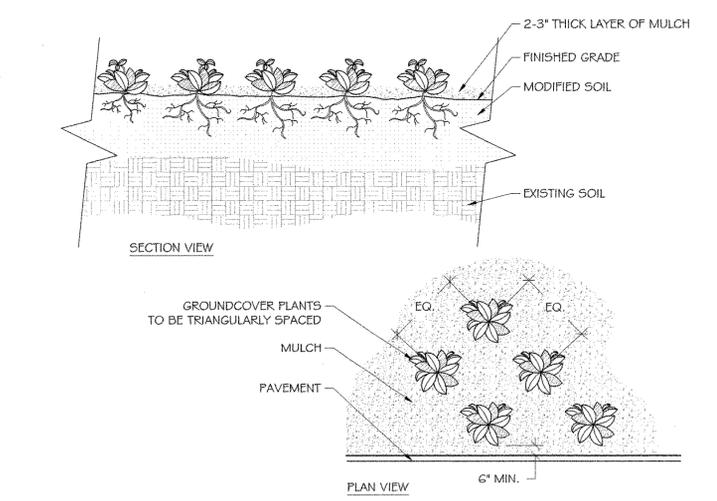
2 SHRUB PLANTING DETAIL SCALE: 3/4" = 1'-0"
 NOTES:
 1. SHRUB SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



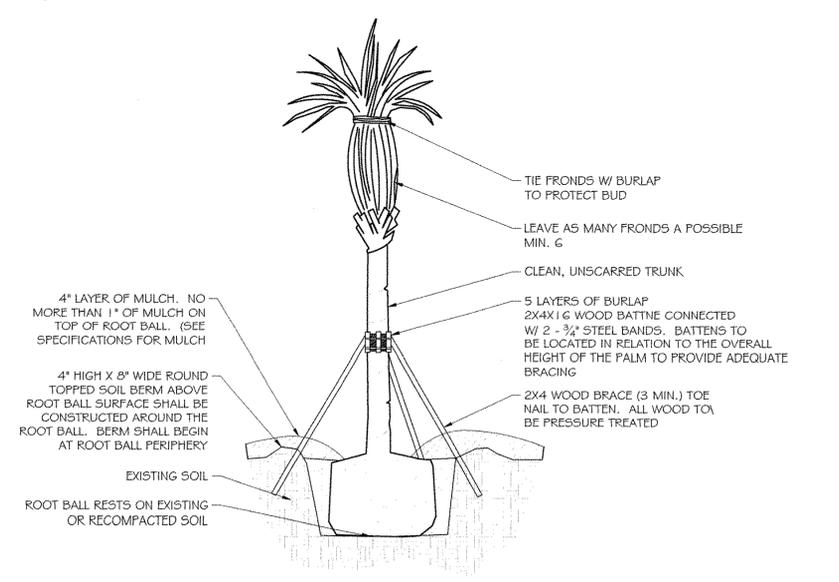
5 TREE STAKING DETAIL SCALE: 1/2" = 1'-0"



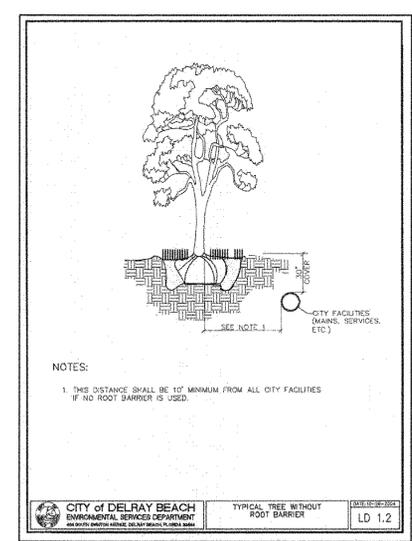
CITY OF DELRAY BEACH ENVIRONMENTAL SERVICES DEPARTMENT TYPICAL TREE WITH ROOT BARRIER LD 1.1



3 GROUNDCOVER SCALE: 3/4" = 1'-0"
 NOTES:
 1- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
 3- SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.



6 PALM STAKING DETAIL SCALE: 1/4" = 1'-0"



CITY OF DELRAY BEACH ENVIRONMENTAL SERVICES DEPARTMENT TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

GENERAL CONDITIONS

All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below. Owner's Representative: The person appointed by the Owner to represent their interest in the review and approval of the work and to serve as the contracting authority with the Contractor. The Owner's Representative or Owner may appoint other persons to review and approve any aspects of the work, such as the landscape architect who prepared the plans.

- A. CONTRACT DOCUMENTS: Shall consist of specifications and its general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. VERIFICATION: The Contractor shall verify measurements on the drawings before beginning work. In case of error or discrepancy in the drawings or specifications or in the work of others affecting his/her work, he/she shall notify the Owner's Representative immediately. The Contractor shall be held responsible for any damages or loss due to his/her failure to observe these instructions.

- C. MATERIALS, MACHINERY, EMPLOYEES: Except as otherwise noted, the Contractor shall provide and pay for all materials, labor, tools, and other items necessary and incidental to the completion of his/her work.
- D. SURVEYS, PERMITS, REGULATIONS: The Owner shall furnish an adequate survey of the property. The Contractor shall obtain and pay for all permits and comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a variance exists therewith he/she shall promptly notify the Owner's Representative in writing and any necessary changes shall be adjusted as provided in the contract for changes in the work.

- E. PROTECTION OF WORK, PROPERTY AND PERSON: The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- F. CHANGES IN THE WORK: The owner may order changes in the work, and the contract sum being adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extras must be made in writing before executing the work involved.
- G. CORRECTION OF WORK: The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative for a period of ninety (90) days from the date of completion of the contract.

- H. Owner's Authorized Representative: The Owner's authorized representative acts as the authorized representative of the Owner in conjunction with the project manager, and has authority to accept or reject materials or workmanship and to make minor changes in the work not involving extra cost. He will also interpret the meaning of the contract documents and may stop the work if necessary to ensure its proper execution.
- I. CLARIFICATION OF DRAWINGS BEFORE BIDDING: After reviewing the drawings thoroughly it is the Contractor's responsibility to clarify with the Owner's Representative any questions the Contractor may have regarding the method of construction, quantities, or quality of materials included or called out. If the Contractor cannot contact the Owner's Representative, the Contractor must qualify his/her bid or accept the interpretation of the Owner's Representative on the questionable areas as they develop during construction.
- J. SAMPLES: The Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request by the Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
- K. PRE-CONSTRUCTION CONFERENCE: Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work. The purpose of this conference is to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

015639
Tree and Plant Protection

PART 1 GENERAL

- 1.1 SUMMARY
The scope of work includes all labor, materials, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with protection of existing trees and other plants as shown on the drawings and as specified herein.
- 1. Provide preconstruction evaluations
- 2. Provide tree and plant protection fencing
- 3. Provide protection of root zones and above ground tree and plants
- 4. Provide pruning of existing trees and plants
- 5. Coordinate with the requirements of Section Planting Soil for modifications to the soil within the root zone of existing trees and plants.
- 6. Provide all insect and disease control.
- 7. Provide maintenance of existing trees and plants including irrigation during the construction period as recommended by the arborist report.
- 8. Provide maintenance of existing trees and plants including irrigation during the post construction plant maintenance period.
- 9. Remove tree protection fencing and other protection from around and under trees and plants.
- 10. Clean up and disposal of all excess and surplus material.

- 1.2 CONTRACT DOCUMENTS
A. Shall consist of specifications and general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. It is the intent of this section that the requirements apply to all sections of the project specification such that any subcontractor must comply with the restrictions on work within designated Tree and Plant Protection Areas.
- 1.3 RELATED DOCUMENTS AND REFERENCES
A. Related Documents:
 - 1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section.
 - 2. Section - Planting
- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail.

- 1. ANSI A300 (Part 5) - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current editions.
- 2. Pruning practices shall conform with recommendations "Structural Pruning: A Guide For The Green Industry", Published by Urban Tree Foundation, Visalia, California, most current edition.
- 3. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.
- 1.4 VERIFICATION
A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all scales and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
- 1.5 PERMITS AND REGULATIONS
A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
- B. Whenever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
- C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.

- 1.6 PROTECTION OF WORK, PROPERTY AND PERSON
A. The Contractor shall protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- 1.7 CHANGES IN THE WORK
A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
- 1.8 CORRECTION OF WORK
A. The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest possible time that can be coordinated with other work and seasonal weather demands.
- 1.9 DEFINITIONS
All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.

- inches of Wood Chips or Mulch.
- 4. Areas where heavy vehicle traffic is unavoidable provide a layer of Geogrids under 8 - 12 inches of Wood Chips or Mulch and a layer of matting over the Wood Chips or Mulch.
- B. The Owner's Representative shall approve the appropriate level of protection.
- C. In the above requirements, light vehicle is defined as a truck sided steer with a ground pressure of 4 psi or lighter. A heavy vehicle is any vehicle with a tire or track pressure of greater than 4 psi. Lightweight materials are any packaged materials that do not contain any sharp or pointed objects. Bulk materials such as soil, or aggregate shall never be stored within the Tree and Plant Protection Area.
- 3.8 PROTECTION:
A. Protect the Tree and Plant Protection Area at all times from compaction of the soil, damage of any kind to trunks, bark, branches, leaves and roots of all plants; and contamination of the soil, bark or leaves with construction materials, debris, silt, fuels, oils, and any chemically substance. Notify the Owner's Representative of any spills, compaction or damage and take corrective action immediately using methods approved by the Owner's Representative.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA

- A. The Contractor shall not engage in any construction activity within the Tree and Plant Protection Area without the approval of the Owner's Representative including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity, if any, within the Tree and Plant Protection Area may be indicated on the drawings along with any required remedial activity as listed below.
- B. In the event that construction activity is unavoidable within the Tree and Plant Protection Area, notify the Owner's Representative and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not suited; a description of the proposed activity; the time period for the activity; and a list of remedial actions that will reduce the impact on the Tree and Plant Protection Area from the activity. Remedial actions shall include but shall not be limited to the following:
 - 1. In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either by the use of hand tools, directional boring and/or Air Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots or soil.
 - 2. When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent wet point at all times. Roots one inch and larger in diameter shall not be cut with out the approval of the owner's representative. Excavation shall be tunnelled under these roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
 - 3. Tree branches that interfere with the construction may be tied back or pruned to clear only to the point necessary to complete the work. Other branches shall only be removed when specifically indicated by the Owner's Representative. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboricultural practices (ANSI A300, part 8) and be performed under supervision of the arborist.
 - 4. Matting: Install temporary matting over the Wood Chips or Mulch to the extent indicated. Do not permit foot traffic, scaffolding, or the storage of materials within the Tree and Plant Protection Area to occur off of the temporary matting.

- 5. Trunk Protection: Protect the trunk of each tree to remain by covering it with a ring of 8 foot long 2 inch x 6 - inch planks loosely banded onto the tree with 3 steel bands. Staple the bands to the planks as necessary to hold them securely in place. Trunk protection must be kept in place no longer than 12 months. If construction requires work near a particular tree, it shall be continuous longer than 12 months, the steel bands shall be inspected every six months and loosened if they are found to have become tight.
- 6. Air Excavation Tool: If excavation for footings or utilities is required within the Tree and Plant Protection Area, air excavation tool techniques shall be used where practical or as designed on the drawings.
 - a. Remove the Wood Chips from an area approximately 18 inches beyond the limits of the hole or trench to be excavated. Cover the Wood Chips for a distance of not less than 15 feet around the limit of the excavation area with Filter Fabric or plastic sheeting to protect the Wood Chips from silt. Mound the Wood Chips so that the plastic slopes towards the excavation.
 - b. Using a sprinker or soaker hose, apply water slowly to the area of the excavation for a period of at least 4 hours, approximately 12 hours prior to the work so that the ground water level is at or near field capacity at the beginning of the work. For excavations that go beyond the damp soil, rewet the soil as necessary to keep soil moisture near field capacity.
 - c. Using an air excavation tool specifically designed and manufactured for the intended purpose, and at pressures recommended by the manufacturer of the equipment, fracture the existing soil to the shape and depths required. Work at rates and using techniques that do not harm tree roots. Air pressure shall be a maximum of 90-100 psi.
 - 1.) The air excavation tool shall be "Air-Spade" as manufactured by Concept Engineering Group, Inc., Verona, PA (412) 826-8800, or Air Knife as manufactured by Easy Use Air Tools, Inc. Allison Park, Pa (866) 528-5723 or approved equal.
 - d. Using a commercial, high-powered vacuum truck if required, remove the soil from the excavation produced by the Air Knife excavation. The vacuum truck should generally operate simultaneously with the hose operator, such that the soil produced is picked up from the excavation hole, and the exposed roots can be observed and not damaged by the ongoing operation. Do not drive the vacuum truck into the Tree and Plant Protection Area unless the area is protected from compaction as approved in writing by the Owner's Representative.

- a. Remove all excavated soil and excavated Wood Chips, and contained soil at the end of the excavation.
- 1. Schedule the work so that foundations or utility lines is completed immediately after the excavation. Do not let the roots dry out. Mat the roots over several times during the day. If the excavated area must remain open over night, mat the roots and cover the excavation with black plastic.
- g. Dispose of all soil in a manner that meets local laws and regulations.
- h. Restore soil within the trench as soon as the work is completed. Utilize soil of similar texture to the removed soil and lightly compact with hand tools. Leave soil mounded over the trench to a height of approximately 10% of the trench depth to allow for settlement.
- i. Restore any Geogrids, Filter Fabric, Wood Chips or Mulch and or matting that was previously required for the area.

- 2.5 TREE GROWTH REGULATOR (TGR)
A. Cambistat 25C.
B. Submit suppliers product data that product meets the requirements for approval.
- 2.6 MATTING
A. Matting for vehicle and work protection shall be heavy duty matting designed for vehicle loading over tree roots. Aluminums as manufactured by Aluminums, Inc., Fraxville, PA 16123 or approved equal.
B. Submit suppliers product data that product meets the requirements for approval.
- 2.7 GEOGRID
A. Geogrid shall be woven polyester fabric with PVC coating, Uni-axial or biaxial geogrid, inert to biological degradation, resistant to naturally occurring chemicals, alkalis, acids.
 - 1. Geogrid shall be Miragrid 2XT as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

- 2.8 FILTER FABRIC
A. Filter Fabric shall be nonwoven polypropylene fibers, inert to biological degradation and resistant of naturally occurring chemicals, alkalis and acids.
 - 1. Miral 135 N as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
 - B. Submit suppliers product data that product meets the requirements for approval.
- PART 3 EXECUTION
3.1 SITE EXAMINATION
A. Examine the site, tree, plant and soil conditions. Notify the Owner's Representative in writing of any conditions that may impact the successful Tree and Plant Protection Areas to the intent of this section.
- 3.2 COORDINATION WITH PROJECT WORK
A. The Contractor shall coordinate with all other work that may impact the completion of the work.
B. Prior to the start of Work, prepare a detailed schedule of the work for coordination with other trades.
C. Coordinate the relocation of any irrigation lines currently present on the irrigation plan, heads or the conduits of other utility lines or structures that are in conflict with tree locations. Root balls shall not be altered to fit around lines. Notify the Owner's Representative of any conflicts encountered.
- 3.3 TREE AND PLANT PROTECTION AREA: The Tree and Plant Protection Area is defined as all areas indicated on the tree protection plan. Where no limit of the Tree and Plant Protection area is defined on the drawings, the limit shall be the drip line (outer edge of the branch crown) of each tree.
 - 3.4 Preparation:
 - 1. Prior to the preconstruction meeting, layout the limits of the Tree and Plant Protection Area and then alignments of required Tree and Plant Protection Fencing and root pruning. Obtain the Owner's Representative's approval of the limits of the protection area and the alignment of all fencing and root pruning.
 - 2. Flag all trees and shrubs to be removed by wrapping orange plastic ribbon around the trunk and obtain the Owner's Representative's approval of all trees and shrubs to be removed prior to the start of tree and shrub removal. After approval, mark all trees and shrubs to be removed with orange paint in a band completely around the base of the tree or shrub 4.5 feet above the ground.
 - 3. Flag all trees and shrubs to remain with white plastic ribbon tied completely around the trunk or each tree and on a prominent branch for each shrub. Obtain the Owner's Representative's approval of all trees and shrubs to be remain prior to the start of tree and shrub removal.
 - D. Prior to any construction activity at the site including utility work, grading, storage of materials, or installation of temporary construction facilities, install all tree protection fencing, Filter Fabric, silt fence, tree protection signs, Geogrid, Mulch and or Wood Chips as shown on the drawings.
- 3.5 SOIL MOISTURE
A. Volumetric soil moisture level, in all soils within the Tree and Plant Protection Area shall be maintained above permanent wet point to a depth of at least 8 inches. No soil work or other activity shall be permitted within the Tree and Plant Protection Area when the volumetric soil moisture is above field capacity. The permanent wet point and field capacity for each type of soil texture shall be defined as follows: (numbers indicate percentage volumetric soil moisture).

Soil type	Permanent wet point v/v	Field capacity v/v
Sand, Loamy sand, Sandy loam	5 - 8%	12 - 18%
Loam, Sandy clay, Sandy clay loam	14 - 25%	27 - 36%
Clay loam, Silt loam	11 - 22%	31 - 36%
Silty clay, Silty clay loam	22 - 27%	38 - 41%

- 1. Volumetric soil moisture shall be measured with a digital, electric conductivity meter. The meter shall be the Digital Soil Moisture Meter, DMSM50 by General Specialty Tools and Instruments, or approved equivalent meter.
- B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend operations until the soil moisture drains to below field capacity.
- 3.6 ROOT PRUNING:
A. Prior to any excavating into the existing soil grade within 25 feet of the limit of the Tree and Plant Protection Area or trees to remain, root prune all existing trees to a depth of 24 inches below existing grade in alignment following the edge of the Tree and Plant Protection Area or as directed by the Owner's Representative. Root pruning shall be in conformance with ANSI A300 (part 8) latest edition.
 - 1. Using a rock saw, chain trencher or similar trenching device, make a vertical cut within 2 feet of the limit of grading.
 - 2. After completion of the cut, make clean cuts with a lopper, saw or pruner to remove all top root ends on the tree side of the excavation, and backfill the trench immediately with existing soil, filling all voids.
- 3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, WOOD CHIPS AND OR MULCH
A. Install Geogrids, Filter Fabric, matting, Wood Chips and or Mulch in areas and depths shown on the plans and details or as directed by the Owner's representative. In general it is the intent of this specification to provide the following levels of protection:
 - 1. All areas within the Tree and Plant Protection area provide a minimum of 5 inches of Wood Chips or Mulch.
 - 2. Areas where foot traffic or storage of lightweight materials is anticipated to be unavoidable provide a layer of Filter Fabric under the 5 inches of Wood Chips or Mulch.
 - 3. Areas where occasional light vehicle traffic is anticipated to be unavoidable provide a layer of Geogrids under 8

- 3.17 Removal of fencing and other Tree and plant protection
A. At the end of the construction period or when requested by the Owner's Representative remove all fencing, Wood Chips or Mulch, Geogrids and Filter Fabric, trunk protection and or any other Tree and Plant Protection material.
- 3.18 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN
A. Any trees or plants designated to remain and which are damaged by the Contractor shall be replaced in kind by the Contractor at their own expense. Trees shall be replaced with a tree of similar species and of equal size or 6 inch caliper which ever is less. Shrubs shall be replaced with a plant of similar species and equal size or the largest size plants reasonably available which ever is less. Where replacement plants are to be less than the size of the plant that is damaged, the Owner's Representative shall approve the size and quality of the replacement plant.
 - 1. All trees and plants shall be installed per the requirements of Specification Section Planting.
 - C. Plants that are damaged shall be considered as requiring replacement or appraisal in the event that the damage affects more than 25% of the crown, 25% of the trunk circumference, or root protection area, or the tree is damaged in such a manner that the tree could develop into a potential hazard. Trees and shrubs to be replaced shall be removed by the Contractor at his own expense.
 - 1. The Owner's Representative may engage an independent arborist to assess any tree or plant that appears to have been damaged to determine their health or condition.
 - C. Any tree that is determined to be dead, dormant or potentially hazardous by the Owner's arborist and upon the request of the Owner's Representative shall be immediately removed by the Contractor at an additional expense to the owner. Tree removal shall include all clean up of all wood parts and grinding of the stump to a depth sufficient to plant the replacement tree or plant, removal of all chips from the stump site and filling the resulting hole with topsoil.
 - D. Any remedial work on damaged existing plants recommended by the consulting arborist shall be completed by the Contractor at no cost to the owner. Remedial work shall include but is not limited to: soil compaction remediation and vertical mulching, pruning and or cabling, insect and disease control including injections, compensatory watering, additional mulching, and could include application tree growth regulators (TGR).
 - E. Remedial work may extend up to two years following the completion of construction to allow for any requirements of multiple applications of the need to undertake applications at required seasons of the year.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA

- A. The Contractor shall not engage in any construction activity within the Tree and Plant Protection Area without the approval of the Owner's Representative including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity, if any, within the Tree and Plant Protection Area may be indicated on the drawings along with any required remedial activity as listed below.
- B. In the event that construction activity is unavoidable within the Tree and Plant Protection Area, notify the Owner's Representative and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not suited; a description of the proposed activity; the time period for the activity; and a list of remedial actions that will reduce the impact on the Tree and Plant Protection Area from the activity. Remedial actions shall include but shall not be limited to the following:
 - 1. In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either by the use of hand tools, directional boring and/or Air Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots or soil.
 - 2. When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent wet point at all times. Roots one inch and larger in diameter shall not be cut with out the approval of the owner's representative. Excavation shall be tunnelled under these roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
 - 3. Tree branches that interfere with the construction may be tied back or pruned to clear only to the point necessary to complete the work. Other branches shall only be removed when specifically indicated by the Owner's Representative. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboricultural practices (ANSI A300, part 8) and be performed under supervision of the arborist.
 - 4. Matting: Install temporary matting over the Wood Chips or Mulch to the extent indicated. Do not permit foot traffic, scaffolding, or the storage of materials within the Tree and Plant Protection Area to occur off of the temporary matting.

END OF SECTION 015639
SECTION 32 9300
PLANTING

PART 1 GENERAL

- 1.1 SUMMARY
A. The scope of work includes all labor, materials, appliances, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") complete as shown on the drawings and as specified herein.
- B. The scope of work in this section includes, but is not limited to, the following:
 - 1. Locate, purchase, deliver and install all specified plants.
 - 2. Water all purchased plants.
 - 3. Mulch, fertilize, stake, and prune all specified plants.
 - 4. Maintenance of all specified plants until the beginning of the warranty period.
 - 5. Plant warranty.
 - 6. Clean up and disposal of all excess and surplus material.
 - 7. Maintenance of all specified plants during the warranty period.

1.2 CONTRACT DOCUMENTS

- A. Shall consist of specifications and general conditions and the construction drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- 1.3 RELATED DOCUMENTS AND REFERENCES
A. Related Documents:
 - 1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section
 - 2. Related Specification Sections
 - a. Section - Tree Protection and Plant Protection
- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail or as determined by the Owners Representative.

- 1. State of California, Department of Food and Agriculture, Regulations for Nursery Inspections, Rules and Grading.
- 2. ANSI Z60.1 American Standard for Nursery Stock, most current edition.
- 3. ANSI A300 - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current edition and parts.
- 4. Florida Grades and Standards for Nursery Stock, current edition (Florida Department of Agriculture, Tallahassee FL).
- 5. Interpretation of plant names and descriptions shall reference the following documents. Where the names or plant descriptions disagree between the several documents, the most current document shall prevail.
 - a. USDA - The Germplasm Resources Information Network (<http://www.ars-grin.gov/npgs/SEARCHINJ.html>)
 - b. Manual of Woody Landscape Plants, Michael Dirr; Stipes Publishing, Champaign, Illinois, Most Current Edition.
 - c. The New Sunset Western Garden Book, Osmore House, most current edition.
- 6. Pruning practices shall conform to recommendations "Structural Pruning: A Guide For The Green Industry" most current edition; published by Urban Tree Foundation, Visalia, California.
- 7. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.

- 1.4 VERIFICATION
A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
- B. In the case of a discrepancy in the plant quantities between the plan drawings and the plant call outs, list or plant schedule, the number of plants or square footage of the planting bed actually drawn on the plan drawings shall be deemed correct and prevail.

- 1.5 PERMITS AND REGULATIONS
A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
- B. Whenever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
- C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.

- 1.6 PROTECTION OF WORK, PROPERTY AND PERSON
A. The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- 1.7 CHANGES IN THE WORK
A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
- B. All changes in the work, notifications and contractor's request for information (RFI) shall conform to the contract general condition requirements.

- 1.8 CORRECTION OF WORK
A. The Contractor, at their own cost, shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest possible time that can be coordinated with other work and seasonal weather demands.
- 1.9 DEFINITIONS
All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.
 - A. Boxed trees: A container root ball package made of wood in the shape of a four-sided box.
 - B. Container plant: Plants that are grown in and/or are currently in a container including boxed trees.
 - C. Defective plant: Any plant that fails to meet the plant quality requirement of this specification.
 - D. End of Warranty Final Acceptance: The date when the Owner's Representative accepts that the plants and work in this section are in accordance with the requirements of the warranty. It is intended that the materials and workmanship warranted for Planting, Planting Soil, and Irrigation work shall be in accordance with the requirements of this specification.
 - E. Field grown trees (BAG): Trees growing in field soil for at least 12 months prior to harvest.
 - F. Healthy: Plants that are growing in a condition that expresses leaf size, crown density, color, and with annual growth rates typical of the species and cultivar's horticultural description, adjusted for the planting site soil, drainage and weather conditions.
 - G. Kinked root: A root within the root package that bends more than 90 degrees.
 - H. Maintenance: Actions that preserve the health of plants after installation and as defined in this specification.
 - I. Maintenance period: The time period, as defined in this specification, which the Contractor is to provide maintenance.
 - J. Normal: The prevailing protocol of industry standards(s).
 - K. Owner's Representative: The person appointed by the Owner to represent their interest in the review and approval of the work and to serve as the contracting authority with the Contractor. The Owner's Representative or Owner may appoint other persons to review and approve any aspects of the work, such as the landscape architect who prepared the plans.
 - L. Reasonable and reasonably: When used in this specification relative to plant quality, it is intended to mean that the conditions cited will not affect the establishment or long term stability, health or growth of the plant. This specification recognizes that it is not possible to produce plants free of all defects, but that some accepted industry protocols and standards

- result in plants unacceptable to this project.
- When reasonably or reasonably is used in relation to other issues such as weeds, disease, insects, it shall mean at levels low enough that no treatment would be required when applying recognized Integrated Plant Management practices.
- This specification recognizes that some decisions cannot be totally based on measured findings and that professional judgment is required. In cases of differing opinion, the Owner's Representative's expert shall determine when conditions are judged as reasonable.
- M. Root ball: The mass of roots including any soil or substrate that is shipped with the tree within the root ball package.
 - N. Root ball package: The material that surrounds the root ball during shipping. The root package may include the material in which the plant was grown, or new packaging placed around the root ball for shipping.
 - O. Root collar (root crown, root flare, trunk flare, flare): The region at the base of the trunk where the majority of the structural roots of the plant stem, usually at or near ground level.
 - P. Shrub: Woody plants with mature height approximately less than 15 feet.
 - Q. Spade harvested and transplanted: Field grown trees that are mechanically harvested and immediately transplanted to the final growing site without being removed from the digging machine.
 - R. Stem: The trunk of the tree.
 - S. Substantial Completion Acceptance: The date at the end of the Planting, Planting Soil, and Irrigation installation where the Owner's Representative accepts that all work in these sections is complete and the Warranty period has begun. This date may be different than the date of substantial completion for the other sections of the project.
 - T. Stem girdling root: Any root more than 1/4 inch diameter directly touching the trunk, or with the potential to touch the trunk, above the root collar approximately tangent to the trunk circumference or circling the trunk. Roots shall be considered as Stem Girdling that have, or are likely to have in the future, the ability to cut the bark contact.
 - U. Structural root: One of the largest roots emerging from the root collar.
 - V. Tree: Single and multi-stemmed plants with mature height approximately greater than 15 feet.

- 1.10 SUBMITTALS
A. See contract general conditions for policy and procedure related to submittals.
B. Submit all general submittals 4 weeks prior to installation of plants.
C. Product data: Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative for approval. Provide submittal four weeks before the installation of plants.
D. Plant growers' certificates: Submit plant growers' certificates for all plants indicating that each meets the requirements of the specification, including the requirements of tree quality, to the Owner's Representative for approval. Provide submittal four weeks before the installation of plants.
E. Samples: Submit samples of each product and material where required by the specification to the Owner's Representative for approval. Label samples to indicate product, characteristics, and locations in the work. Samples will be reviewed for appearance only. Compliance with all other requirements is the exclusive responsibility of the Contractor.
F. Plant sources: Submit sources of all plants as required by Article - "Selection of Plants" to the Owner's Representative for approval.
G. Close out submittals: Submit to the Owner's Representative for approval.
 - 1. Plant maintenance data and requirements.
- H. Warranty period site visit record: If there is no maintenance during the warranty period, after each site visit during the warranty period, by the Contractor, as required by this specification, submit a written record of the visit, including any problems, potential problems, and any recommended corrective action to the Owner's Representative for approval.
- 1.11 OBSERVATION OF THE WORK
A. The Owner's Representative may observe the work at any time. They may remove samples of materials for conformity to specifications. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
B. The Owner's Representative shall be informed of the progress of the work so the work may be observed at the following key times in the construction process. The Owner's Representative shall be afforded sufficient time to schedule visit to the site. Failure of the Owner's Representative to make field observations shall not relieve the Contractor from meeting all the requirements of this specification.

- 1. SITE CONDITIONS PRIOR TO THE START OF PLANTING: review the soil and drainage conditions.
- 2. COMPLETION OF THE PLANT LAYOUT STAKING: Review of the plant layout.
- 3. PLANT QUALITY: Review of plant quality at the time of delivery and prior to installation. Review tree quality prior to unloading where possible, but in all cases prior to planting.
- 4. COMPLETION OF THE PLANTING: Review the completed planting.

- 1.12 PRE-CONSTRUCTION CONFERENCE
A. Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

1.13 QUALITY ASSURANCE

- A. Substantial Completion Acceptance - Acceptance of the work prior to the start of the warranty period:
 - 1. Once the Contractor completes the installation of all items in this section, the Owner's Representative will observe all work for Substantial Completion Acceptance upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date of the observation.
 - 2. Substantial Completion Acceptance by the Owner's Representative shall be for general conformance to the specified size, character and quality of the work. The Owner's Representative shall not be held responsible for non-conformance to the contract documents, including correct species.
- B. The Owner's Representative will provide the Contractor with written acknowledgment of the date of Substantial Completion Acceptance and the beginning of the warranty period and plant maintenance period (if plant maintenance is included).
- C. The Contractor's Quality Assurance Responsibilities: The Contractor is solely responsible for quality control of the work.
- D. Installer Qualifications: The installer shall be a firm having at least 5 years of successful experience of a scope similar to that required for the work, including the handling and planting of large specimen trees in urban areas. The same firm shall install planting soil (where applicable) and plant material.
 - 1. The bidders list for work under this section shall be approved by the Owner's Representative.
 - 2. Install Field Supervisor: When any planting work is in progress, install shall maintain, on site, a full-time supervisor who can communicate in English with the Owner's Representative.
 - 3. Installer's field supervisor shall have a minimum of five years experience as a field supervisor installing plants and trees of the quality and scale of the proposed project, and can communicate in English with the Owner's Representative.
 - 4. The installer's crew shall have a minimum of 3 years experience in the installation of Planting Soil, Plantings, and Irrigation (where applicable) and interpretation of soil plans, planting plans and irrigation plans.

- 1.14 PLANT WARRANTY:
A. The Contractor agrees to replace defective work and defective plants. The Owner's Representative shall make the final determination if plants meet these specifications or that plants are defective.
Plants warranty shall begin on the date of Substantial Completion Acceptance and continue for the following periods, classed by plant type:
 - d. Trees - 1 Year(s).
 - e. Shrubs - 1 Year(s).
 - f. Ground cover and perennial flower plants - 1 Year(s).
 - g. Bulbs, annual flower and seasonal color plants - for the period of expected bloom or primary display.
- 2. When the work is accepted in parts, the warranty periods shall extend from each of the partial Substantial Completion Acceptances to the terminal date of the last warranty period. Thus, all warranty periods for each class of plant warranty, shall terminate at one time.

- 3. All plants shall be warranted to meet all the requirements for plant quality at installation in this specification. Defective plants shall be defined as plants not meeting these requirements. The Owner's representative shall make the final determination that plants are defective.
- 3. Any work required by this specification of the Owner's Representative during the progress of the work, to correct plant defects including the removal of roots or branches, or planting plants that have been bare rooted during installation to observe for or correct root defects shall not be considered as grounds to void any conditions of the warranty. In the event that the Contractor decides that such remediation work may compromise the future health of the plant, the plant or plants in question shall be rejected and replaced with plants that do not contain defects that require remediation or correction.
- 4. The Contractor is exempt from replacing plants, after Substantial Completion Acceptance and during the warranty period, that are removed by others, lost or damaged due to occupancy of project, lost or damaged by a third party, vandalism, or any natural disaster.
- 5. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification. Make all necessary repairs due to plant replacements. Such repairs shall be done at no extra cost to the Owner.
- 6. The warranty of all replacement plants shall extend for an additional one-year period from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of the said extended warranty period, the Owner's Representative may elect one more replacement items or credit for each item. These tertiary replacement items are not protected under a warranty period.
- 7. During and by the end of the replacement period, remove all tree wrap, ties, and guying unless agreed to by the Owner's Representative to remain in place. All trees that do not have sufficient caliper to remain upright, or those requiring additional anchorage in windy locations, shall be staked or remain staked, if required by the Owner's Representative.

- B. End of Warranty Final Acceptance - Acceptance of plants at the end of the warranty period.
 - 1. At the end of the warranty period, the Owner's Representative shall observe all warranted work, upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date for final observation.
- 2. End of Warranty Final Acceptance will be given only when all the requirements of the work under this specification and in Specification sections Planting Soil and Irrigation have been met.

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Consultants:

- A. See contract general conditions for policy and procedure related to submittals.
- B. Submit all general submittals 4 weeks prior to installation of plants.
- C. Product data: Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative

1.15 SELECTION AND OBSERVATION OF PLANTS

- A. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
B. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification.
C. The Contractor shall bear all cost related to plant corrections.
D. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
E. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide.
F. The Contractor shall require the grower or re-wholesale supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting or to randomly remove soil or substrate around the base of the plant.
G. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick.
1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE
A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution.
1.17 SITE CONDITIONS
A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings.
B. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions, Report any potential conflicts, in writing, to the Owner's Representative.
C. This specification requires that all Planting Soil and Irrigation (if applicable) work be completed and accepted prior to the installation of any plants.
1. Planting operations shall not begin until such time that the irrigation system is completely operational for the area(s) to be planted, and the irrigation system for that area has been preliminarily observed and approved by the Owner's Representative.
D. Actual planting shall be performed during those periods when weather and soil conditions are suitable in accordance with locally accepted horticultural practices.
1. Do not install plants into saturated or frozen soils. Do not install plants during inclement weather, such as rain or snow or during extremely hot, cold or windy conditions.
1.18 PLANTING AROUND UTILITIES
A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.
B. Determine location of underground utilities and perform work in a manner that will avoid possible damage.
C. Notification of Local Utility Locator Service, Sunshine 811, is required for all planting areas.
PART 2 PRODUCTS
2.1 PLANTS: GENERAL
A. Standards and measurement: Provide plants of quantity, size, genus, species, and variety or cultivars as shown and scheduled in contract documents.
1. All plants including the root ball dimensions or container size to trunk caliper ratio shall conform to ANSI Z60.1 "American Standard for Nursery Stock" latest edition, unless modified by provisions in this specification.
2. Plants larger than specified may be used if acceptable to the Owner's Representative.
3. If a range of size is given, no plant shall be less than the minimum size and not less than 50 percent of the plants shall be as large as the maximum size specified.
B. Proper Identification: All trees shall be true to name as ordered or shown on planting plans.
C. Compliance: All trees shall comply with federal and state laws and regulations requiring observation for plant disease, pests, and weeds.
D. Plant Quality:
1. General: Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, bores, and larvae.
2. Plant quality above the soil line:
a. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified.
2.5 PLANTING SOIL
Planting Soil shall contain a mixture of 1/3 sand, 2/3 topsoil and 1/2 peat humus.
2.6 MULCH
A. Mulch shall be Melaleuca or Eucalyptus and shall cover all landscape bed areas in a 3" minimum layer.
2.7 TREE STAKING AND GUYING MATERIAL
A. Tree guying to be flat woven polypropylene material, 3/4 inch wide, and 900 lb. break strength.
2.8 WATERING BAGS
E. Plastic tree watering bags holding a minimum of 15 gallons of water and with a slow drip hole(s) for water release system, specifically designed to water establishing trees.
3.1 DELIVERY, STORAGE AND HANDLING
A. Protect materials from deterioration during delivery and storage.
3.2 ADVERSE WEATHER CONDITIONS
A. No planting shall take place during extremely hot, dry, windy or freezing weather.
3.3 COORDINATION WITH PROJECT WORK
A. The Contractor shall coordinate with all other work that may impact the completion of the work.
3.4 LAYOUT AND PLANTING SEQUENCE
A. Relative positions of all plants and trees are subject to approval of the Owner's Representative.
B. Notify the Owner's Representative, one (1) week prior to layout.
C. When applicable, plant trees before other plants are installed.
D. It is understood that plants are not precise objects and that minor adjustments in the layout will be required as the planting plan is constructed.
3.5 SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION
A. Protect soil from compaction during the delivery of plants to the planting locations.
3.6 SOIL MOISTURE
A. Volumetric soil moisture level, in both the planting soil and the root balls of all plants, prior to, during and after planting shall be above permanent wilting point and below field capacity for each type of soil texture within the following ranges.
3.7 INSTALLATION OF PLANTS: GENERAL
C. Observe each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant.
3.8 PERMITTED ROOT BALL PACKAGES AND SPECIAL PLANTING REQUIREMENTS
A. The following are permitted root ball packages and special planting requirements that shall be followed during the planting process in addition to the above General planting requirements.
B. BALLED AND BURLAPPED PLANTS
1. After the root ball has been backfilled, remove all twine and burlap from the top of the root ball.
3.9 GROUND COVER, PERENNIAL AND ANNUAL PLANTS
A. Assume that soil moisture is within the required levels prior to planting.
B. Assume that plant grades in the beds are smooth and as shown on the plans.
C. Plants shall be planted in even, triangularly spaced rows, at the intervals called out for on the drawings, unless otherwise noted.
D. Dig planting holes sufficiently large enough to insert the root system without deforming the roots.
E. Schedule the planting to occur prior to application of the mulch.
F. Press soil to bring the root system in contact with the soil.
G. Spread any excess soil around in the spaces between plants.
H. Apply mulch to the bed being sure to cover the tops of the plants with or the tops of the root ball with mulch.
I. Water each planting area as soon as the planting is completed.
3.10 PALM PLANTING
A. Palm trees shall be placed at grade making sure not to plant the tree any deeper in the ground than the palm trees originally stood.
B. The trees shall be placed with their vertical axis in a plumb position.
C. All backfill shall be native soil except in cases where planting in rock.
D. Do not cover root ball with mulch or topsoil.
E. Provide a watering berm at each palm.
F. Remove twine which ties fronds together after placing palm in planting hole and securing it in the upright position.
3.11 STAKING AND GUYING
A. Do not stake or guy trees unless specifically required by the Contract Documents, or in the event that the Contractor feels that staking is the only alternative way to keep particular trees plumb.
B. The Owner's Representative shall have the authority to require that trees are staked or to reject staking as an alternative way to stabilize the tree.
C. Trees that are guyed shall have their guys and stakes removed after one full growing season or at other times as required by the Owner's Representative.
C. Tree guying shall utilize the tree staking and guying materials specified.
3.12 STRAIGHTENING PLANTS
A. Maintain all plants in a plumb position throughout the warranty period.
B. Do not straighten plants by pulling the trunk with guys.
3.13 INSTALLATION OF FERTILIZER AND OTHER CHEMICAL ADDITIVES
A. Do not apply any soluble fertilizer to plantings during the first year after transplanting unless soil test determines that fertilizer or other chemical additives is required.
3.14 PRUNING OF TREES AND SHRUBS
A. Prune plants as directed by the Owner's Representative.
B. All pruning shall be performed by a person experienced in structural tree pruning.
C. Except for plants specified as multi-stemmed or as otherwise instructed by the Owner's Representative, preserve or create a central leader.
3.15 MULCHING OF PLANTS
A. Apply 3 inches of mulch before settlement, covering the entire planting bed area.
3.16 PLANTING BED FINISHING
A. After planting, smooth out all grades between plants before mulching.
B. Separate the edges of planting beds and lawn areas with a smooth, formed edge cut into the turf with the bed mulch level slightly lower, 1 and 2 inches, than the adjacent turf sod or as directed by the Owner's Representative.
3.17 WEATHERING
A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of Substantial Completion Acceptance.
3.18 CLEAN-UP
A. During installation, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day.
B. BALLED AND BURLAPPED PLANTS
1. After the root ball has been backfilled, remove all twine and burlap from the top of the root ball.
3.19 PROTECTION DURING CONSTRUCTION
A. The Contractor shall protect planting and related work and other site work from damage due to planting operations, operations by other Contractors and equipment or trespassers.
B. Damage done by the Contractor, or any of his sub-contractors to existing or installed plants, or any other parts of the work or existing features to remain, including roots, trunk or branches of large existing trees, no paving, utilities, lighting, irrigation, other finished work and surfaces including those on adjacent property, shall be cleaned, repaired or replaced by the Contractor at no expense to the Owner.
3.20 PLANT MAINTENANCE PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE
A. During the project work period and prior to Substantial Completion Acceptance, the Contractor shall maintain all plants.
B. Maintenance during the period prior to Substantial Completion Acceptance shall consist of pruning, watering, cultivating, weeding, mulching, removal of dead material, repairing and replacing of tree stakes, tightening and repairing of guys, repairing and replacing of damaged tree wrap material, resetting plants to proper grades and upright position, and other maintenance and applying such sprays as are necessary to keep plantings reasonably free of damaging insects and disease, and in healthy condition.
3.21 SUBSTANTIAL COMPLETION ACCEPTANCE
A. Upon written notice from the Contractor, the Owners Representative shall review the work and make a determination if the work is substantially complete.
1. Notification shall be at least 7 days prior to the date the contractor is requesting the review.
B. The date of substantial completion of the planting shall be the date when the Owner's Representative accepts that all work in Planting, Planting Soil, and Irrigation installation sections is complete.
3.22 MAINTENANCE DURING THE WARRANTY PERIOD BY OTHERS
A. After Substantial Completion Acceptance, the Contractor shall make sufficient site visits to observe the Owner's Representative.
1. Notify the Owner's Representative in writing if maintenance, including watering, is not sufficient to maintain plants in a healthy condition.
2. In the event that the Contractor fails to visit the site and/or in writing, the Owner's Representative of maintenance needs, lack of maintenance shall not be used as grounds for voiding or modifying the provisions of the warranty.
3.23 MAINTENANCE DURING THE WARRANTY PERIOD BY THE PLANT INSTALLER
A. During the warranty period, provide all maintenance for all plantings to keep the plants in a healthy state and the planting areas clean and neat.
B. General requirements:
1. All work shall be undertaken by trained planting crews under the supervision of a foreman with a minimum of 5 years experience supervising commercial plant maintenance crews.
2. All chemical and fertilizer applications shall be made by licensed applicators for the type of chemicals to be used.
3. Assume that hoses and watering equipment and other maintenance equipment does not block paths or be placed in a manner that may create tripping hazards.
4. All workers shall wear required safety equipment and apparel appropriate for the tasks being undertaken.
5. The Contractor shall not store maintenance equipment at the site at times when they are not in use unless authorized in writing by the Owner's Representative.
6. Maintenance vehicles shall not park on the site including walks and lawn areas at any time without the Owner's Representative's written permission.
7. Maintain a detailed log of all maintenance activities including types of tasks, date of task, times and quantities of materials and products used, watering times and amounts, and number of each crew.
8. Meet with the Owner's Representative a minimum of every three (3) times a year to review the progress and discuss any changes that are needed in the maintenance program.
C. Provide the following maintenance tasks:
1. Watering: Provide all water required to keep soil within and around the root balls at optimum moisture content for plant growth.
a. Maintain all watering systems and equipment and keep them operational.
b. Monitor soil moisture to provide sufficient water.
2. Trash removal: Remove all trash and debris from all planting beds and maintain the beds in a neat and tidy appearance.
3. Plant pruning: Remove cross over branching, shorten or remove developing co dominant leaders, dead wood and winter-damaged branches.
4. Restore plants: Reset any plants that have settled or are leaning as soon as the condition is noticed.
5. Guying and staking: Maintain plant guys in a taut position.
6. Weed control: Keep all beds free of weeds.
7. Trash removal: Remove all trash and debris from all planting beds and maintain the beds in a neat and tidy appearance.
8. Leaf, fruit and other plant debris removal: Remove fall leaf, spent flowers, fruit and plant part accumulations from beds and paved surfaces.
9. Bed edging: Check and maintain edges between mulch and lawn areas in smooth neat lines as originally shown on the drawings.
10. Damage from site use: Repair of damage by site visitors and contractors, beyond normal wear, are not part of this maintenance.
3.27 END OF WARRANTY FINAL ACCEPTANCE / MAINTENANCE OBSERVATION
A. At the end of the Warranty and Maintenance period the Owner's Representative shall observe the work and establish that all provisions of the contract are complete and the work is satisfactory.
1. If the work is satisfactory, the maintenance period will end on the date of the final observation.
2. If the work is deemed unsatisfactory, the maintenance period will continue at no additional expense to the Owner until the work has been completed, observed, and approved by the Owner's Representative.
B. FAILURE TO PASS OBSERVATION: If the work fails to pass final observation, any subsequent observations must be rescheduled as per above.
C. END OF SECTION 32 9900



Consultants:

Revisions:

7/11/17

BRYAN ROBERT DONAHUE, PLA LICENSE # LA6667130

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine 811 logo

Drawn By: SMT

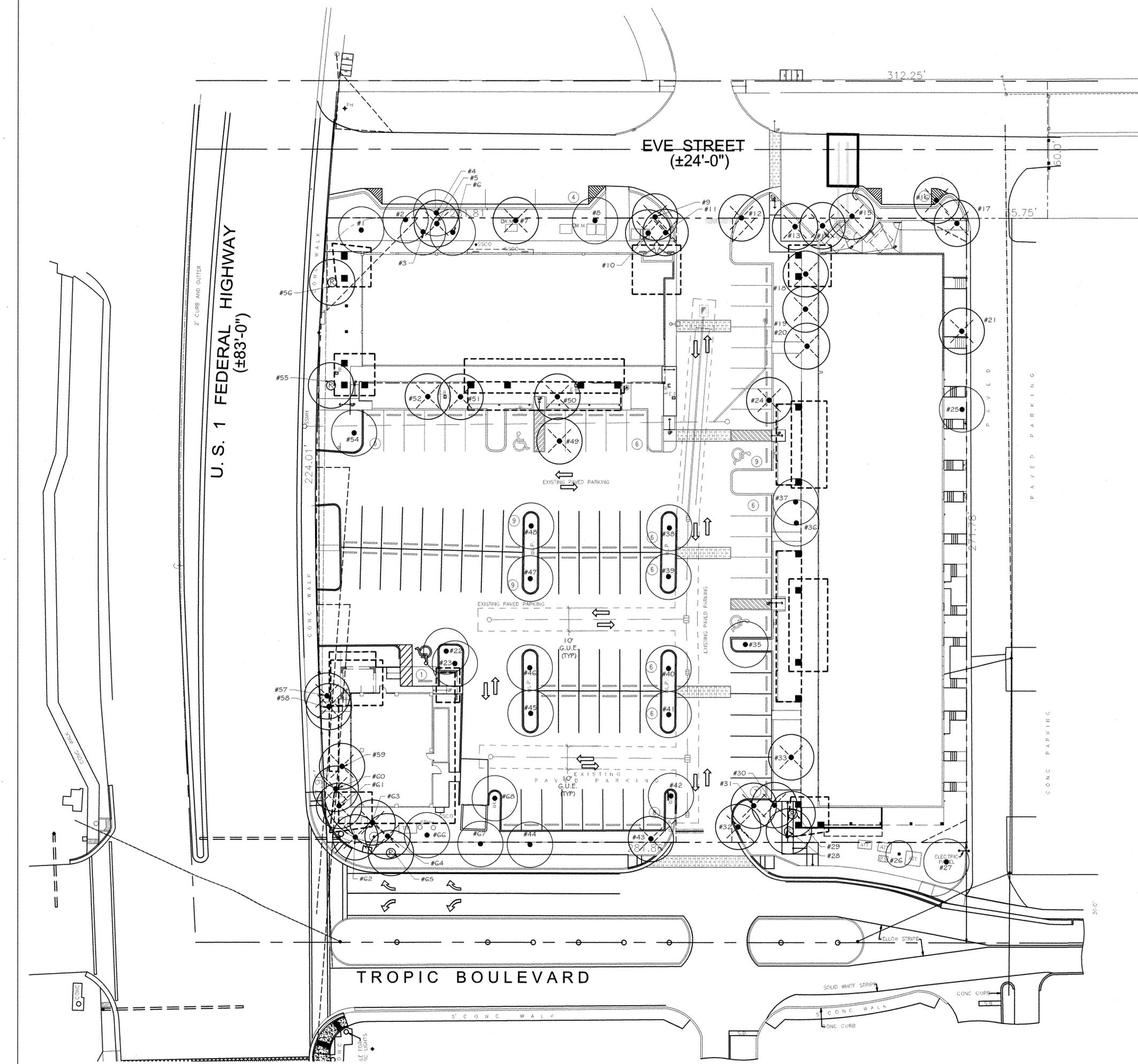
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Date: 12/3/2018

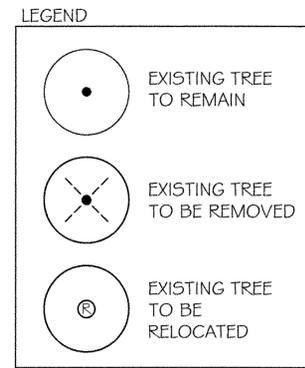
LANDSCAPE SPECIFICATIONS

SHEET # LP.4

Delray Place South City of Delray Beach, Florida



TREE #	TYPE	DISPOSITION	DBH (Inches)
1	PYGMY DATE PALM	PRESERVE	3
2	MAHOGANY	PRESERVE	12
3	SABAL PALM	PRESERVE	16
4	SABAL PALM	PRESERVE	14
5	QUEEN PALM	REMOVE	3
6	SABAL PALM	PRESERVE	18
7	MAHOGANY	REMOVE	14
8	MAHOGANY	PRESERVE	15
9	SABAL PALM	REMOVE	16
10	SABAL PALM	REMOVE	18
11	SABAL PALM	REMOVE	18
12	BLACK OLIVE	REMOVE	16
13	SABAL PALM	REMOVE	12
14	SABAL PALM	REMOVE	12
15	BLACK OLIVE	REMOVE	18
16	SABAL PALM	REMOVE	14
17	SABAL PALM	REMOVE	18
18	JATROPHA	REMOVE	3
19	ARECA PALM	REMOVE	8
20	JATROPHA	REMOVE	3
21	BLACK OLIVE	REMOVE	16
22	SABAL PALM	PRESERVE	8
23	SABAL PALM	PRESERVE	10
24	PYGMY DATE PALM	REMOVE	6
25	LIVE OAK	PRESERVE	8
26	ADONIDIA PALM	PRESERVE	10
27	ARECA PALM	PRESERVE	10
28	ROYAL PALM (Double)	RELOCATE	12
29	ROYAL PALM (Double)	RELOCATE	13
30	SABAL PALM	REMOVE	12
31	SABAL PALM	REMOVE	2
32	SABAL PALM	REMOVE	8
33	CARPENTER PALM	REMOVE	20
35	ROYAL PALM	PRESERVE	20
36	CARPENTER PALM	PRESERVE	20
37	CARPENTER PALM	PRESERVE	20
38	ROYAL PALM	PRESERVE	16
39	ROYAL PALM	PRESERVE	18
40	ROYAL PALM	PRESERVE	18
41	ROYAL PALM	PRESERVE	18
42	SABAL PALM	PRESERVE	12
43	CARROTWOOD	REMOVE	6
44	BLACK OLIVE	PRESERVE	21
45	ROYAL PALM	PRESERVE	14
46	ROYAL PALM	PRESERVE	16
47	ROYAL PALM	PRESERVE	16
48	ROYAL PALM	PRESERVE	14
49	ROYAL PALM	REMOVE	16
50	CARPENTER PALM	REMOVE	18
51	CARPENTER PALM	REMOVE	14
52	CARPENTER PALM	REMOVE	3
54	PYGMY DATE PALM	PRESERVE	12
55	ROYAL PALM	RELOCATE	14
56	ROYAL PALM	RELOCATE	12
57	SOLITAIRE PALM	DEAD_REMOVE	12
58	SOLITAIRE PALM	REMOVE	12
59	SOLITAIRE PALM	REMOVE	10
60	SOLITAIRE PALM	REMOVE	8
61	SOLITAIRE PALM	REMOVE	10
62	SOLITAIRE PALM	REMOVE	12
63	SOLITAIRE PALM	REMOVE	10
64	SOLITAIRE PALM	REMOVE	12
65	ROYAL PALM	RELOCATE	6
66	ROYAL PALM (Double)	PRESERVE	12
67	BLACK OLIVE	PRESERVE	11
68	SABAL PALM	PRESERVE	14



Always call 811 two full business days before you dig to have underground utilities located and marked.



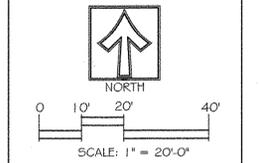
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Consultants:

Revisions:
 Per Client Comments: 12/13/18
 Per Site Plan Revisions: 7/8/19
 Per Site Plan Revisions: 7/9/19
 Per Site Plan Revisions: 7/11/19

Delray Place South
 City of Delray Beach, Florida

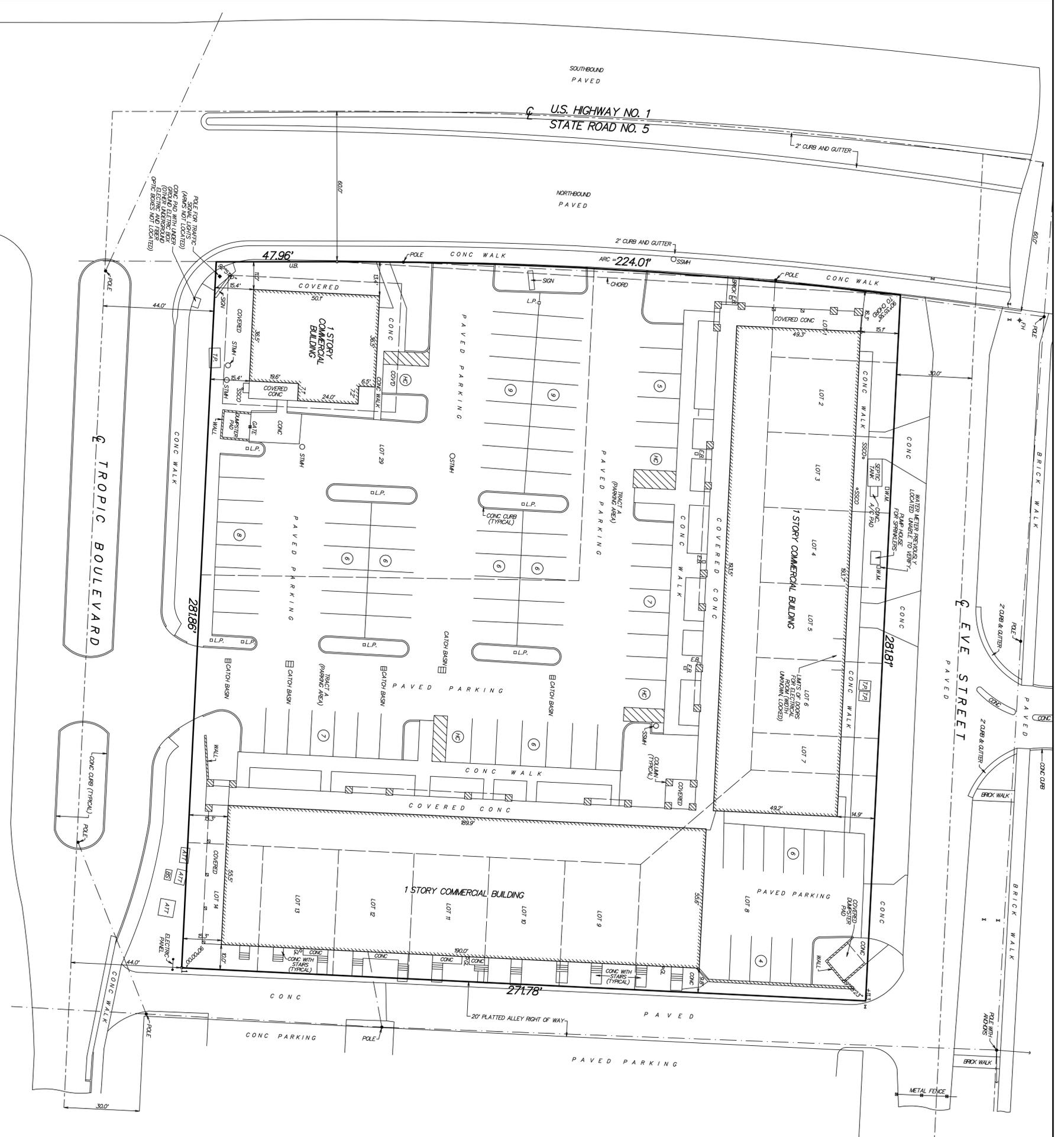
7/11/19
 BRYAN ROBERT DONAHUE, PLA
 LICENSE # LA6667130



Drawn By: SMT
 Drawing #: 1049
 Date: 12/3/2018

Tree Disposition Plan

SHEET # TD.1



DESCRIPTION:

LOTS 1 THROUGH 14, ACQUISITION LOT 29 AND TRACT "A" OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS: LOTS 1 THROUGH 14, ACQUISITION AND LOT 29, TRACT A OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A. THE HEREBY DESCRIBED PROPERTY IS A BEHALF OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

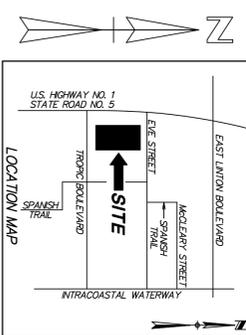
TITLE NOTES:

- THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-1 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, ORDER NO. 439550, DATED APRIL 27, 2013.
- PARCEL SUBJECT TO DECLARATION OF UNITY OF TITLE AS RECORDED IN ORDER 2498, PAGE 799.
- PARCEL SUBJECT TO TERMS, CONDITIONS, AND PROVISIONS OF ORDER AS RECORDED IN ORDER 2601, PAGE 271.

SITE INFORMATION:

PARCEL ZONING: PC - PLANNED COMMERCIAL
 PROPERTY ADDRESS: 8911 SOUTH FEDERAL HIGHWAY DELRAY BEACH, FLORIDA 33444
 PARCEL CONTROL NO. 12-43-46-28-06-001-000
 LAND AREA = 77,430 SQ. FT. (1.78 ACRES), MORE OR LESS
 SETBACKS: FRONT 10'
 STREET 10'
 SIDE 0'
 REAR 10'

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE TO DETERMINE THAT NO SURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS



LEGEND:

- ☉ = CENTERLINE
- CONC. = CONCRETE
- W.M. = WATER METER
- F.H. = FIRE HYDRANT
- X = WATER VALVE
- B-F-P = BACK FLOW PREVENTER
- SSCO = SANITARY SEWER CLEAN OUT
- SSM = SANITARY SEWER MANHOLE
- ☐ = REFERS TO ITEM NUMBER IN SCHEDULE B-1 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT
- TR = CONCRETE TRANSFORMER PAD
- STM = STORM SEWER MANHOLE
- COVD = COVERED
- EB = ELECTRIC BOX FLUSH WITH GROUND
- FLOOD ZONE: X
- COMMUNITY PANEL NO. 12502 0879
- SUFFIX F
- EFFECTIVE DATE: OCTOBER 05, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.
 ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.
 THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL SURVEYING. THIS SURVEY IS BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.
 NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE TO DETERMINE THAT NO SURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

MAP OF AS-BUILT SURVEY
 SITE ADDRESS: 1911 S. FED. HIGHWAY
 DELRAY BEACH, FLORIDA 33483

Paul D. Engle
 PAUL D. ENGLE
 SURVEYOR & MAPPER #5708

O'BRIEN, SUTER & O'BRIEN, INC.
 LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION #18331
 SUPERIOR ASSOCIATES, 10801 DELRAY BEACH, FLORIDA 33445
 955 N.W. 17TH AVENUE, SUITE 112, DELRAY BEACH, FLORIDA 33445
 (561) 276-4901 FAX 276-2390

DATE OF SURVEY	JAN. 15, 2019	SCALE	1" = 20'
FIELD BOOK NO.	58	REVISION NO.	13-370b